

*BEACON PLANNING BOARD*  
*Via Video Conference*  
*BEACON, NEW YORK 12508*  
*Phone (845) 838-5002 Fax (845) 838-5026*

The Planning Board will meet on **Tuesday, April 14, 2020** in the Municipal Center Courtroom. Due to public health and safety concerns related to COVID-19, the Planning Board will not be meeting in-person. In accordance with the Governor's Executive Order 202.1, the April 14, 2020 meeting will be held starting at 7:00 PM via videoconferencing, and a transcript will be provided at a later date. The public can watch the live meeting online at YouTube at [www.youtube.com/channel/UCvPpigGwZdeR7WYmw-SuDxg](http://www.youtube.com/channel/UCvPpigGwZdeR7WYmw-SuDxg). If any interested members of the public would like to provide comments on the application, comments can be called in during the meeting at (929) 205-6099. Webinar ID: 254 824 895 Comments can also be provided via email no later than 5PM on April 14, 2020 to Etha Grogan, Planning Board Secretary, at [egrogan@cityofbeacon.org](mailto:egrogan@cityofbeacon.org). Please check the meeting Agenda posted on the City website ([www.cityofbeacon.org](http://www.cityofbeacon.org)) for further instructions to access the virtual meeting and for updated information.

- **Regular Meeting**

1. 248 Tioronda Avenue  
Continue public hearing on applications for Subdivision and Site Plan Approval relative to Concept Plan Approval, Mixed Use Development, 248 Tioronda Avenue, submitted by Chai Builders Corp
2. 1182 North Avenue  
Public hearing on application for Site Plan Approval (relative to a Special Use Permit) and Subdivision Approval for a new Single-Family house with an Accessory Apartment, 1182 North Avenue, submitted by Andrew MacDonald
3. 160 Rombout Avenue  
Public hearing on application for Subdivision Approval (2-lot residential), 160 Rombout Avenue, submitted by Karic Associates, LLC
4. 511 Fishkill Avenue  
Public hearing on application to amend existing Site Plan Approval, add outdoor deck, 511 Fishkill Avenue, submitted by Diamond Properties, 511 Fishkill Avenue
5. 177 Main Street  
Public hearing on application to amend existing Site Plan Approval, one-story sunroom addition, 177 Main Street, submitted by Frog Leap, Inc.
6. 3 Water Street  
Continue review of application for Site Plan Approval (relative to a Special Use Permit) , Accessory Apartment, 3 Water Street, submitted by POK Beacon, LLC

- **Miscellaneous Business**

1. Zoning Board of Appeals  
Zoning Board of Appeals – no meeting in April
2. Local Law Review  
City Council request to review proposed Local Law regarding Noticing of Public Hearings

- **Architectural Review**

**City of Beacon Planning Board**  
**4/14/2020**

**Title:**

**248 Tioronda Avenue**

**Subject:**

Continue public hearing on applications for Subdivision and Site Plan Approval relative to Concept Plan Approval, Mixed Use Development, 248 Tioronda Avenue, submitted by Chai Builders Corp

**Background:**

**ATTACHMENTS:**

Description	Type
248 Tioronda Cover Letter	Cover Memo/Letter
248 Tioronda Site Plan	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment



March 31, 2020

Mr. John Gunn, Chairman  
and Members of the Beacon Planning Board  
Beacon City Hall  
1 Municipal Center  
Beacon, New York 12508

VIA EMAIL DELIVERY

*Re: Continuation of Public Hearing  
248 Tioronda Avenue, City of Beacon, Dutchess County, NY  
Chazen Project #81750.00*

Dear Chairman Gunn and Members of the Beacon Planning Board:

This letter is being submitted to request that the 248 Tioronda Avenue Project be placed on the Planning Board's Agenda for the April 14<sup>th</sup> meeting to continue with the public hearing and for us to address any further or additional comments to our submittal made last month. It is our understanding that the meeting will be held via the Zoom App.

If you have any questions or need anything further, please email me at [lboudreau@chazencompanies.com](mailto:lboudreau@chazencompanies.com) call me on my cell at 404-357-9789. Thank you and be safe.

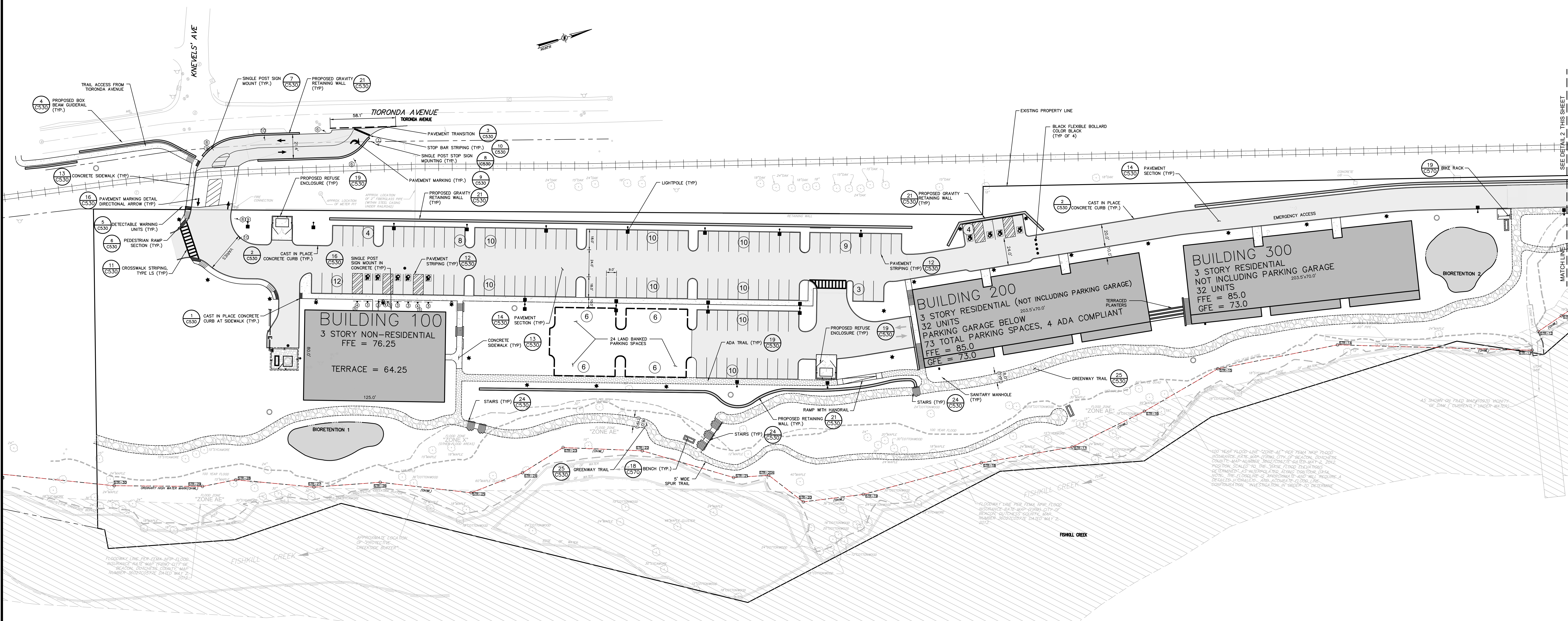
Sincerely,



Larry Boudreau, RLA (GA & NY), MBA  
Director of Land Development

Cc: Berry Kohan

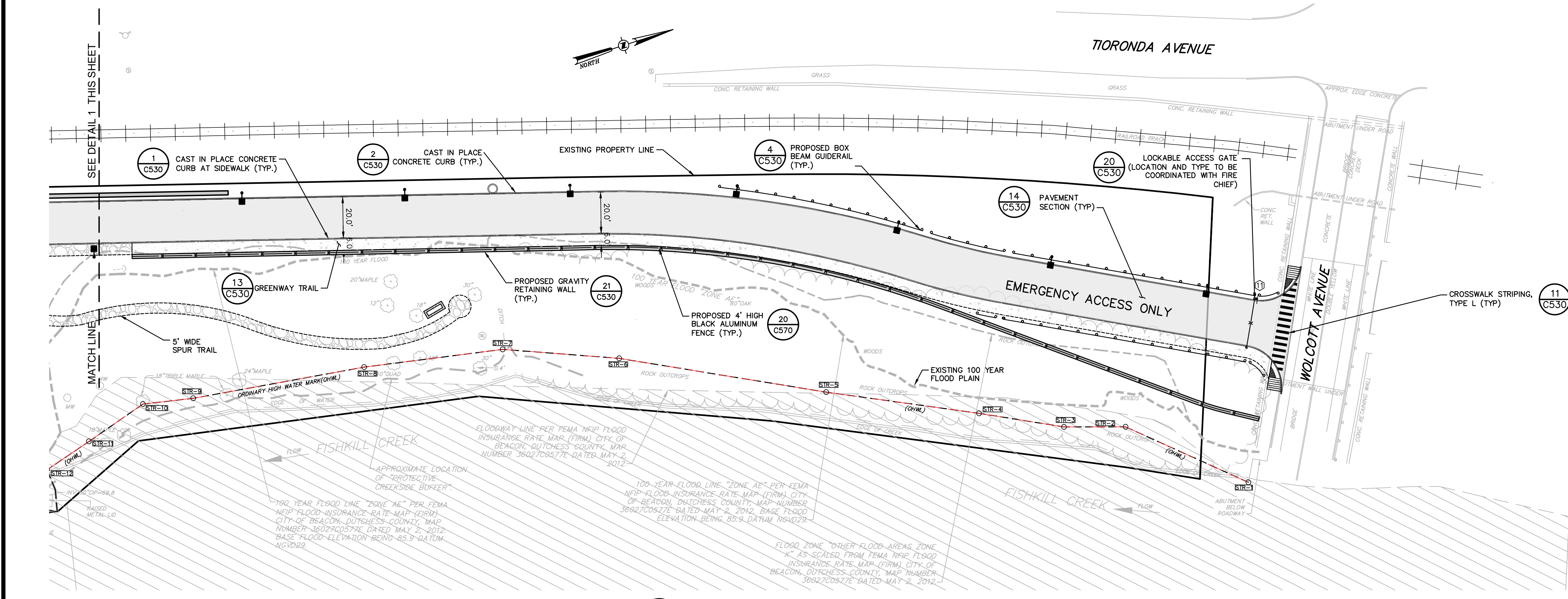




1 SITE PLAN  
SCALE: 1"=30'

- LEGEND:**
- EXISTING 100-YEAR FLOOD PLAN
  - EXISTING PROPERTY LINE
  - EASEMENT LINE
  - ▭ PROPOSED BUILDING
  - ▨ PROPOSED PAVEMENT
  - ② PROPOSED PARKING COUNT
  - ▨ PROPOSED SIDE WALK
  - EXISTING METRO-NORTH RAILROAD TRACKS (ACTIVE)
  - PROPOSED CURB
  - ⊙ PROPOSED LIGHT POLE
  - ▨ PROPOSED RETAINING WALL
  - GREENWAY TRAIL

**SITE PLAN NOTES:**  
LAND BANKED PARKING SHALL BE CONSTRUCTED IF REQUIRED PER SECTION 223-26E OF CITY CODE.  
THE BEACON GREENWAY TRAIL COMMITTEE WILL BE ASKED TO REVIEW LAYOUT OF TRAIL PRIOR TO CONSTRUCTION.



2 SITE PLAN  
SCALE: 1"=30'

**Dig Safely. Dig Right.**  
Call Before You Dig  
Mark the Required Time  
Confirm Utility Response  
Respect The Marks  
Dig Smart  
800-962-7962  
www.digsaferdigright.com

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**THE CHAZEN COMPANIES**  
Environmental & Safety Professionals  
Landscape Architects

**CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C.**  
Office Locations:  
Dutchess County Office: 21 Van Street, Poughkeepsie, New York 12601  
North Country Office: 22 Elm Street, Suite 1101, Glen Falls, New York 12801  
Northville Tennessee Office: 2416 21st Ave S, Suite 1033, Nashville, Tennessee 37212  
Digital District Office: 547 New York Street, White Plains, New York 10601  
Chattanooga Tennessee Office: 437 E. 9th St, Suite 203, Chattanooga, Tennessee 37403

REV.	DATE	DESCRIPTION
1	02/25/20	REVISED PER PLANNING BOARD COMMENTS
2	03/26/20	REVISED PER PLANNING BOARD COMMENTS
3	05/20/20	REVISED PER PLANNING BOARD COMMENTS
4	06/24/20	REVISED PER CITY COUNCIL COMMENTS
5	09/10/20	REVISED FOR INTERNAL REVIEW

248 TIORONDA AVE., BEACON, N.Y.  
**SITE PLAN**  
CITY OF BEACON, DUTCHESS COUNTY, NEW YORK

Designed	Checked
CL	CL
Date: 09/10/20	Scale: 1" = 30'
Project No.: 81750.00	Sheet No.: 3 of 10
<b>C130</b>	



To: John Gunn, Chair, and the City of Beacon Planning Board  
Date: April 9, 2020  
Re: **248 Tioronda Avenue, Site Plan Application**

I have reviewed the March 31, 2020 cover letter from The Chazen Companies and Sheet 3 of a 10-sheet Site Plan set with last revision date of February 25, 2020. No new or updated documents were submitted since the last Planning Board meeting, so the following comments will mostly repeat my previous March 6, 2020 comment memo.

### **Proposal**

The applicant is proposing to construct two multifamily buildings with a total of 64 units and a separate office building with 25,400 square feet on two parcels containing 9.18 acres in the Fishkill Creek Development district and the LWRP area. The two lots will need to be consolidated, and a Greenway Trail is proposed as part of the project.

### **Comments and Recommendations**

1. For the Site Plan Sheet C130:
  - a. The proposed sidewalk along the upper parking area should be extended north to connect to the Building 200 entrance or at least the primarily pedestrian-oriented driveway in front of Building 200. If grading is an issue in this area, the intervening spaces closest to Building 200 could be relocated to across the parking aisle and/or near the refuse enclosure.
  - b. The detail for the upper ADA trail section is 26, not 19.
  - c. The ramp near the refuse enclosure should have a handrail detail.
2. In response to the Greenway Trail Committee comments:
  - a. The Greenway Trail detail on C530 should be consistent with the standards for a 2-foot shoulder and 2-foot buffer.
  - b. The 20-foot Greenway Trail easement should be shown on the plans.
  - c. The Trail Committee requested that typical 8-foot through trail width be maintained at the stairs, but the plan narrows the trail at the three stair sections between buildings 100 and 200.
3. On Sheet C530 the trail surface on Site Detail 22 or 25 should be noted as ADA-compliant.
4. The location of a second bike rack should be shown on the Site Plan near Building 100.
5. The C190 Lighting Schedule was not printed.

6. For the previously submitted building plans:
  - a. The proposal was reviewed by the Architectural Review Subcommittee on February 14, 2020 to assess the building design and consistency with the architectural standards in Section 223-41.13 I. The revised elevations should incorporate the recommendations in the Subcommittee report.
  - b. The final plan set should incorporate the architectural elevations at a measurable scale with material specifications and colors noted, as well as the sections, simulations, typical floor plans, and a parking level plan.
  - c. The City Council Concept Plan approval included a condition that the Planning Board review rooftop structures, including the stair and elevator bulkheads, to ensure that they are designed to the minimum dimensions necessary and that all rooftop structures have appropriate screening.

If you have any questions or need additional information, please feel free to email me.

John Clarke, Beacon Planning Consultant

- c: Dave Buckley, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Larry Boudreau, RLA, Project Representative

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal  
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal  
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal  
John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

April 9, 2020

Mr. John Gunn  
Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: Beacon 248 Development  
City of Beacon  
Tax Map Nos. 5954-10-993482,  
6054-45-012574

Dear Mr. Gunn:

Our office has reviewed the following documents as submitted for the 248 Tioronda Avenue Development project.

- Correspondence dated March 31, 2020 from The Chazen Companies.
- Sheet C130 titled "Site Plan" with the latest revision date of February 25, 2020.

The applicant has not submitted any new or revised plans at this time, as it appears, they are looking to acquire any additional comments during the public hearing prior to revising the plans. With this in mind, it should be noted that our previous comments in our correspondence of March 5, 2020 are still outstanding. Once revised plans are submitted, we will continue our review of the project.

If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.

  
John Russo, P.E.

Cc: Jennifer Gray, Esq.  
John Clarke, Planner  
David Buckley, Building Inspector

**City of Beacon Planning Board**  
**4/14/2020**

**Title:**

**1182 North Avenue**

**Subject:**

Public hearing on application for Site Plan Approval (relative to a Special Use Permit) and Subdivision Approval for a new Single-Family house with an Accessory Apartment, 1182 North Avenue, submitted by Andrew MacDonald

**Background:**

**ATTACHMENTS:**

Description	Type
1182 North Avenue Site Plan Set	Plans
1182 North Avenue Subdivision Plat	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment
Site Plan and Subdivision Approval Draft Resolution	Resolution



**GENERAL NOTES:**

- THE PROPOSAL CALLS FOR CONSTRUCTION OF A NEW STRUCTURE ON THE EASTERN LOT, AS MODIFIED BY A CONCURRENT LOT LINE REALIGNMENT APPLICATION. THE STRUCTURE IS GENERALLY BROKEN DOWN AS FOLLOWS:
  - 2,406 SQFT OF SINGLE FAMILY RESIDENTIAL.
  - 626 SQFT GARAGE.
  - 646 ACCESSORY APARTMENT.
  - 594 UNFINISHED STORAGE ABOVE GARAGE.
  - 211 SQFT COMMON FOYER.
- SINGLE FAMILY RESIDENTIAL USE IS PERMITTED BY RIGHT IN THE R1-7.5 ZONING DISTRICT. ACCESSORY APARTMENTS ARE SPECIALLY PERMITTED USES IN THE HISTORIC OVERLAY AND LANDMARK DISTRICT AND REQUIRES SITE PLAN APPROVAL FROM THE PLANNING BOARD AND SPECIAL USE PERMIT ISSUANCE FROM THE CITY COUNCIL.
- EXISTING PLANIMETRIC INFORMATION FOR THE OVERALL SITE WAS TAKEN FROM A MAP PREPARED BY DECKER SURVEYING, P.C. IN MARCH OF 2019.
- THE SITE DOES NOT CONTAIN ANY WETLANDS OR FLOODPLAINS PER AVAILABLE GIS MAPPING.
- THE PROJECT IS SERVED BY PUBLIC WATER AND SEWER FROM THE CITY OF BEACON WATER AND SEWER DISTRICTS, RESPECTIVELY.

**GENERAL CONSTRUCTION NOTES:**

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7952.
- WATER, SEWER AND STORM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED FOLLOWING SITE PLAN APPROVAL. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, LOCATION, DEPTH AND CONDITION OF ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT.
- THE CONTRACTOR SHALL CONSTRUCT ALL IMPROVEMENTS AS SHOWN ON PLANS. ANY FIELD CONDITIONS THAT MAY RESULT IN A VARIATION FROM THE PLAN SET SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IN WRITING. VARIATIONS FROM THE PLAN WITHOUT APPROVAL FROM THE ENGINEER WILL BE CONSIDERED DEFICIENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ON-SITE OR OFF-SITE DAMAGES TO VEGETATION OR PROPERTY CAUSED BY HIS OPERATIONS. SUCH DAMAGES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS COST TO THE SATISFACTION OF THE ENGINEER, PROPERTY OWNER OR AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL SECURE THE WORK LIMITS OF THE SITE BY INSTALLATION OF CONSTRUCTION FENCING AND OTHER MEASURES, AS NECESSARY TO PREVENT NON-AUTHORIZED ENTRY.
- THE CONTRACTOR SHALL KEEP THE SITE IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR SHALL NOT INTERRUPT EXISTING ACCESS OR OPERATIONS FOR THE REMAINDER OF THE SITE.
- THERE IS NO DISTURBANCE WITHIN THE RIGHT-OF-WAY OF NYS ROUTE 9D, THEREFORE, THERE ARE NO PERMITS REQUIRED BY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION.
- THE INSTALLED EXPANSION JOINTS IN THE CONCRETE SIDEWALK RESTORATION AREAS SHALL MATCH THE EXISTING EXPANSION JOINT SPACING ON THE EXISTING SIDEWALK ON RALPH STREET.

**SPECIAL ACCESSORY APARTMENT NOTES:**

- THE OWNER OF THE SINGLE-FAMILY LOT UPON WHICH AN ACCESSORY APARTMENT IS LOCATED SHALL OCCUPY AT LEAST ONE THE DWELLING UNITS.
- THE MINIMUM FLOOR AREA FOR AN ACCESSORY APARTMENT SHALL BE 400 SQFT. THE MAXIMUM FLOOR AREA SHALL BE 650 SQFT, BUT IN NO CASE SHALL THE FLOOR AREA OF THE APARTMENT EXCEED 30% OF THE TOTAL FLOOR AREA OF THE DWELLING BUILDING IN WHICH IT IS LOCATED. THE PROPOSED ACCESSORY APARTMENT IS 646 SQFT, OR APPROXIMATELY 16.7% OF THE TOTAL FLOOR AREA OF THE DWELLING BUILDING (CALCULATION DOES NOT INCLUDE GARAGE FLOOR AREA).
- FOR ACCESSORY APARTMENTS LOCATED IN A DETACHED SINGLE-FAMILY DWELLINGS, THE ENTRY TO SUCH UNIT AND ITS DESIGN SHALL BE SUCH THAT, TO THE DEGREE REASONABLY FEASIBLE, THE EXTERIOR APPEARANCE OF THE BUILDING WILL RETAIN THAT OF A SINGLE-FAMILY RESIDENCE. THE PLAN CALLS FOR A SINGLE ENTRY LEADING TO A COMMON FOYER, THEREBY PROVIDING AN EXTERIOR APPEARANCE OF A SINGLE-FAMILY RESIDENCE.
- THE ACCESSORY APARTMENT SHALL BE INSPECTED BY THE BUILDING DEPARTMENT EVERY TWO YEARS IN ORDER TO DETERMINE WHETHER THE APARTMENT REMAINS IN COMPLIANCE. UPON A SATISFACTORY INSPECTION REPORT, THE ACCESSORY APARTMENT OWNER SHALL BE REISSUED A CERTIFICATE OF OCCUPANCY. IN THE EVENT THAT THE INSPECTION INDICATES THAT THE ACCESSORY APARTMENT IS NOT IN COMPLIANCE, THE CERTIFICATE OF OCCUPANCY SHALL BE REVOKED UNTIL THE VIOLATIONS ARE CURED.

**BUILDING PERMIT NOTE:**

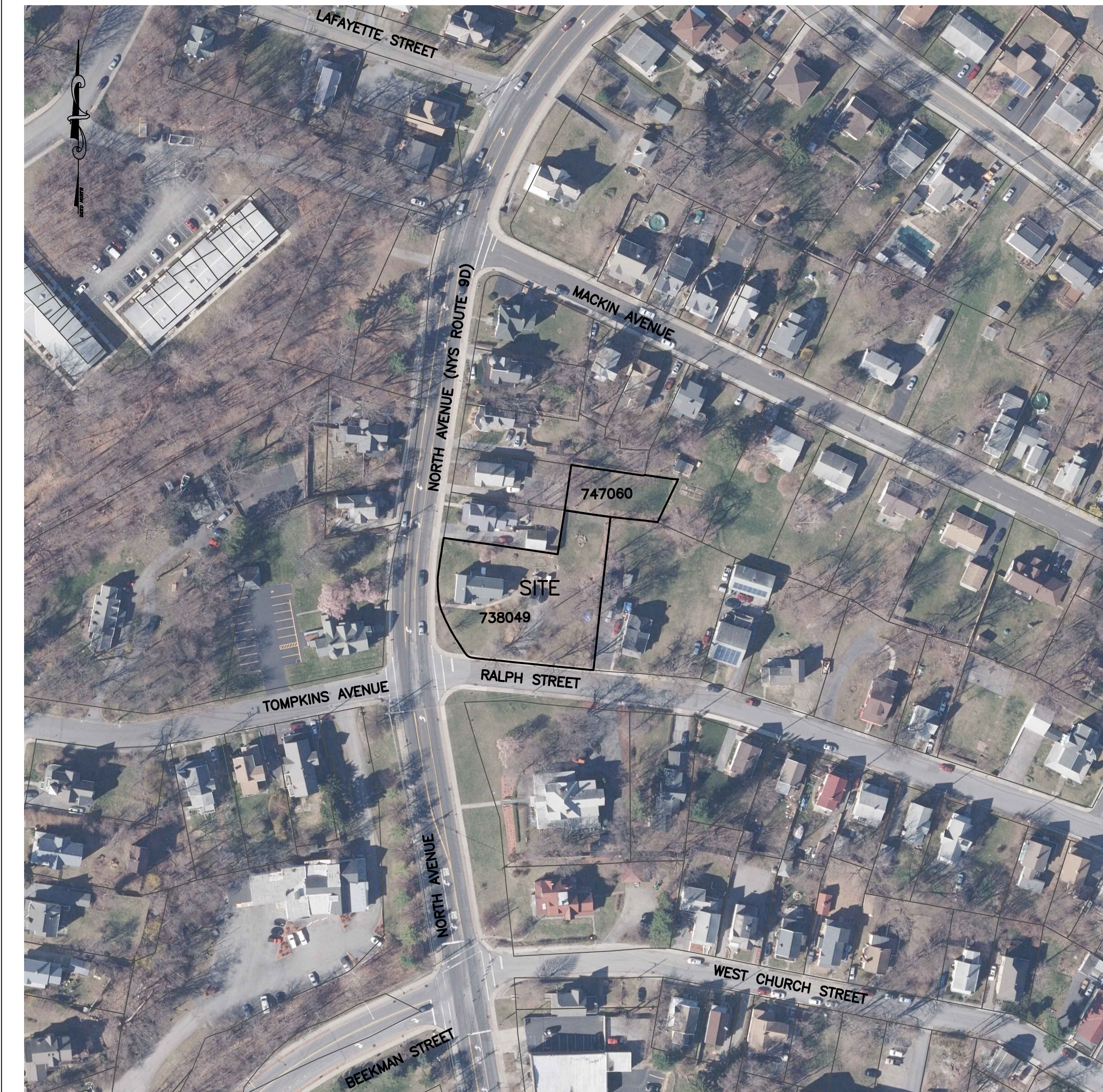
- THE APPLICANT HEREBY AGREES THAT HE/SHE WILL NOT REQUEST A BUILDING PERMIT FOR LOT 2 UNTIL SUCH TIME THAT THE CITY OF BEACON HAS MADE CERTAIN IMPROVEMENTS TO THE WEST MAIN STREET SEWAGE PUMP STATION.

**DRAWING INDEX:**

- SHEET 1: COVER SHEET: CV-1
- SHEET 2: EXISTING CONDITIONS & REMOVALS PLAN: XC-1
- SHEET 3: SUBDIVISION & SITE PLAN: SP-1
- SHEET 4: EROSION & SEDIMENT CONTROL PLAN & GRADING AND UTILITY PLAN: GU-1
- SHEET 5: CONSTRUCTION DETAILS: CD-1
- SHEET 6: CONSTRUCTION DETAILS: CD-2

# 1182 NORTH AVENUE SITE PLAN AND SPECIAL USE PERMIT

1182 NORTH AVENUE  
CITY OF BEACON, DUTCHESS COUNTY, NEW YORK  
TAX ID: 5955-19-738049 & 5955-19-747060  
LOT AREA: ±0.68 ACRES TOTAL  
R1-7.5 ZONING DISTRICT AND HISTORIC DISTRICT AND LANDMARK OVERLAY



AREA MAP

SCALE: 1" = 100'

**OWNER & APPLICANT:**  
ANDREW MACDONALD  
97 ROOSEVELT DRIVE  
POUGHQUAG, NY 12570  
PHONE: 914-645-4351

**PROJECT SURVEYOR:**  
DECKER SURVEYING  
JOHN H. DECKER LS  
290 FRALEIGH LANE  
RED HOOK, NEW YORK 12571  
PH: 845-758-4442

**PROJECT ENGINEER:**  
HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926  
F: 845-440-6637

**PROJECT ARCHITECT:**  
D M FLORANCE ARCHITECTURE PLLC  
DOUGLAS M. FLORANCE R.A. A.I.A.  
6 GRIFFIN STREET  
POUGHQUAG, NY 12570  
PH: 845-227-8516

**CONSTRUCTION SEQUENCING SCHEDULE:**  
(FOR STORMWATER MANAGEMENT AND EROSION/SEDIMENT CONTROL PURPOSES)

- ROUGH GRADE AS NECESSARY TO ESTABLISH DRIVEWAY GRADE. PREPARE A STABILIZED CONSTRUCTION ENTRANCE AS SHOWN.
- INSTALL SILT FENCE PER THE PLAN AND AS NEEDED TO PROTECT THE ADJACENT PROPERTIES.
- CONSTRUCT THE HOUSE AND ALL ASSOCIATED UTILITY SERVICE CONNECTIONS. FINE GRADE AROUND THE HOUSE TO ESTABLISH FINISHED GRADES.
- TOPSOIL, SEED AND MULCH THE DISTURBED AREAS TO ESTABLISH VEGETATION.
- REMOVE THE STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCT THE DRIVEWAY TO FINAL TOP TREATMENT.
- REMOVE SILT FENCE WHEN 80% STABILIZATION IS ACHIEVED.

**PARKING NOTES:**

- REQUIRED PARKING = 2 SPACES PER SINGLE FAMILY RESIDENTIAL, PLUS 2 SPACES FOR PER ACCESSORY APARTMENT = 4 SPACES REQUIRED.
- THE PROPOSED PARKING ARRANGEMENT CONSISTS OF 4 SPACES IN THE PARKING AREA TO THE NORTH OF THE PROPOSED STRUCTURE AND 2 SPACES IN THE PROPOSED GARAGE FOR A TOTAL OF 4 SPACES.

**UTILITY NOTES:**

- ALL WATER & SEWER CONNECTIONS SHALL COMPLY WITH CITY WATER AND SEWER DISTRICT REQUIREMENTS.
- THE PROPOSED BUILDING SHALL BE SET AT SUCH ELEVATION TO ENSURE GRAVITY FLOW FROM THE RAW SEWER LINE TO THE POINT OF CONNECTION WITH THE EXISTING SEWER MAIN, WHILE MAINTAINING PROPER EARTH COVER ABOVE ALL PIPING.
- NO CELLAR, ROOF, OR FOOTING DRAINS SHALL BE DISCHARGED INTO THE SANITARY SEWER SYSTEM.

**EROSION AND SEDIMENT CONTROL NOTES:**

- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THIS PLAN.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
- THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

**INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES**

**PERMANENT AND TEMPORARY VEGETATION:**  
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

**STABILIZED CONSTRUCTION ENTRANCE:**  
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.

**SILT FENCE:**  
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

**SOIL STOCKPILE:**  
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

**DUST CONTROL:**  
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AS STATED THEREIN.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY

\_\_\_\_\_  
CHAIRMAN, CITY PLANNING BOARD DATE

**OWNER'S CONSENT:**

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ANDREW G. MACDONALD DATE

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	11/26/19	PER PLANNING BOARD COMMENTS	AG				
2	02/25/20	PER CONSULTANT COMMENTS	AG				

BEFORE UNDERTAKING ANY DIGGING, DRILLING, BLASTING OR DISTURBANCE TO THE GROUND IN ANY WAY, FOR ANY REASON, ALL INDIVIDUALS MUST CONTACT  
DIG SAFELY NEW YORK  
AT  
811 OR WWW.CALL811.COM



**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN ST., BEACON, NEW YORK 12508  
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
PH: 845-440-6926  
F: 845-440-6637

**COVER SHEET**  
1182 NORTH AVENUE  
1182 NORTH AVENUE (NYS ROUTE 9D)  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5955-19-738049 & 5955-19-747060

JOB #: 2019-021  
DATE: 10/29/19  
SCALE: AS SHOWN  
TITLE: CV-1  
SHEET: 1 OF 6



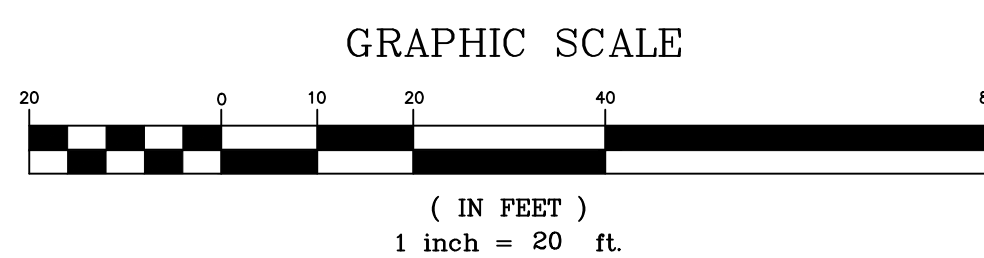
**LEGEND:**

- — — — — EXISTING PROPERTY LINE
- - - - - ADJOINING PROPERTY LINE
- 2.30 — — — — — EXISTING MAJOR CONTOUR
- 2.32 — — — — — EXISTING MINOR CONTOUR
- — — — — EXISTING UTILITY POLE
- — — — — EXISTING OVERHEAD WIRE
- — — — — EXISTING WATER MAIN
- — — — — EXISTING WATER VALVE
- — — — — EXISTING HYDRANT
- — — — — EXISTING SEWER MANHOLE
- — — — — EXISTING SEWER MAIN
- — — — — EXISTING STORMWATER LINE
- [Hatched Box] EXISTING BUILDINGS
- [Dotted Box] EXISTING SIDEWALK AREA
- [Hatched Box] EXISTING BUILDING AREA
- TBR TO BE REMOVED

PROJECT INFORMATION:	
PARCEL OWNER:	ANDREW MACDONALD; 97 ROOSEVELT DRIVE, POUGHQUAG NY 12570
ENGINEER OF RECORD:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
ARCHITECT OF RECORD:	D. M. FLORANCE ARCHITECTURE PLLC; 6 GRIFFIN ST., POUGHQUAG NY 12570
SURVEYOR OF RECORD:	DECKER SURVEYING; 290 FRALEIGH LANE, RED HOOK NY 12571
PROJECT LOCATION:	1182 NORTH AVENUE, BEACON NY 12508
TAX PARCEL ID:	CITY OF BEACON - 5955-19-738049 & 5955-19-747060
PARCEL AREA:	0.68 ACRES TOTAL
ZONING DISTRICT:	R1-7.5 ZONING DISTRICT
POTABLE WATER SUPPLY:	MUNICIPAL WATER
SEWAGE DISPOSAL:	MUNICIPAL SEWER



**EXISTING CONDITIONS & REMOVAL PLAN**  
SCALE: 1" = 20'



**OWNER'S CONSENT:**

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ANDREW G. MACDONALD \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AS STATED THEREIN.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN, CITY PLANNING BOARD \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
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PH: 845-440-6926  
F: 845-440-6637

**EXISTING CONDITIONS & REMOVAL PLAN**

1182 NORTH AVENUE

1182 NORTH AVENUE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5955-19-738049 & 5955-19-747060

JOB #:	2019:021
DATE:	10/29/19
SCALE:	1" = 20'
TITLE:	XC-1
SHEET:	2 OF 6



**LEGEND:**

- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- 100 PROPOSED MAJOR CONTOUR
- 97 PROPOSED MINOR CONTOUR
- 112.5 PROPOSED SPOT ELEVATION
- WS WS PROPOSED WATER SERVICE LINE
- WS PROPOSED WATER SHUTOFF VALVE
- CS PROPOSED CLEANOUT
- SS SS PROPOSED SEWER SERVICE LINE
- ST PROPOSED CULVERT
- - - PROPOSED UNDERDRAIN
- RL PROPOSED ROOF LEADER PIPE
- RL PROPOSED ROOF LEADER LOCATION
- ASPHALT AREA
- EXISTING SIDEWALK AREA
- EXISTING BUILDING AREA

**MAP REFERENCES:**

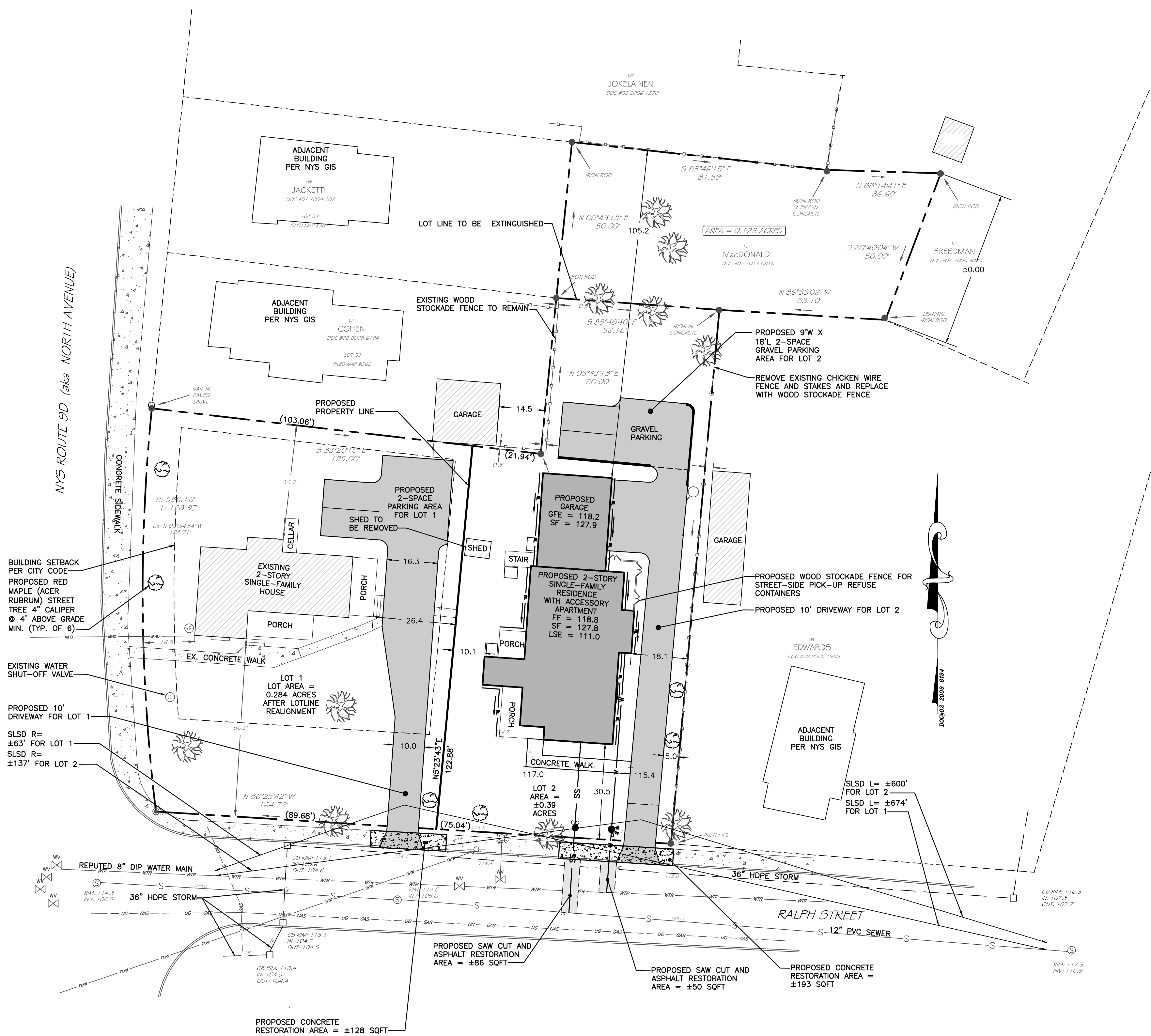
1. EXISTING FEATURES AS SHOWN ON THIS SUBDIVISION PLAN PROVIDED BY MAPPING OBTAINED FROM DECKER SURVEYING, LLC.

**SITE SPECIFIC NOTES:**

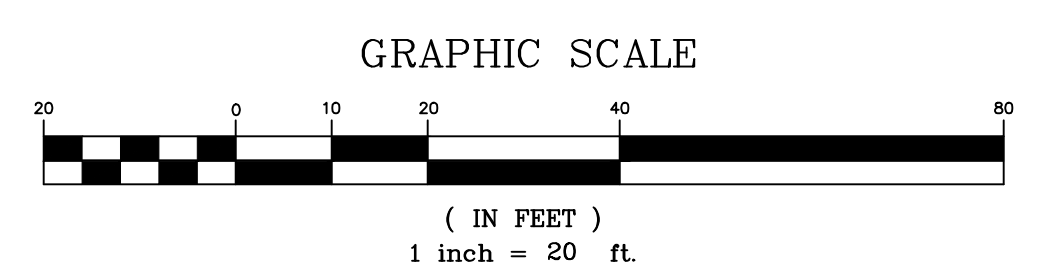
1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPD @ 1-800-962-7862. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
2. THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
3. THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
4. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
5. THE WATER SERVICE LINE SHALL BE 3/4" K-COPPER.
6. THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
7. A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER AND SEWER SERVICES FOR THE NEW LOT. STREET CLOSURE FOR WATER AND SEWER SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
9. ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
10. SLUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
11. THE DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:  
 LOT 1: SLSD LEFT = ±674 FEET (TO INTERSECTION OF RALPH STREET AND DUTCHESS TERRACE)  
 SLSD RIGHT = ±63 FEET (TO INTERSECTION OF RALPH STREET AND NYS ROUTE 9D)  
 LOT 2: SLSD LEFT = ±600 FEET (TO INTERSECTION OF RALPH STREET AND DUTCHESS TERRACE)  
 SLSD RIGHT = ±137 FEET (TO INTERSECTION OF RALPH STREET AND NYS ROUTE 9D)
12. STOPPING SIGHT DISTANCE (SSD) WAS OBSERVED TO BE IN EXCESS OF THE REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FOR BOTH LOT 1 AND LOT 2 FROM THE LEFT. SSD FROM THE RIGHT WAS DEFICIENT PER STANDARDS BUT MEASURED TO THE INTERSECTION OF RALPH STREET AND NYS ROUTE 9D. THE SSD AND SLSD RIGHT MEASUREMENTS WERE TAKEN TO THE INTERSECTION OF ROUTE 9D AND RALPH STREET, BUT GOES THROUGH THE INTERSECTION. VEHICLES APPROACHING FROM TOMPKINS AVE ARE STOP CONTROLLED, AND VEHICLES TURNING ONTO RALPH STREET WILL BE ACCELERATING AND NOT AT FULL POSTED SPEED; THEREFORE THE SIGHT DISTANCES ARE DEEMED ACCEPTABLE.
13. VEGETATION ALONG LOT 1 AND LOT 2 FRONTAGE ON RALPH STREET SHALL BE REMOVED TO FACILITATE SIGHT LINE SIGHT DISTANCES FOR THE PROPOSED DRIVEWAYS.
14. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS, STORM SEWER LINES, SANITARY MANHOLES, SEWER LINES, WATERLINES, AND UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.

**SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT 1	LOT 2
LOT AREA:	7,500 S.F.	12,391 S.F.	17,082 S.F.
LOT WIDTH:	75 FT	±101 FEET	±251 FEET
LOT DEPTH:	100 FT	±127.8 FEET	±221 FEET
<b>YARD SETBACKS:</b>			
FRONT YARD:	30 FEET MINIMUM	56.8 FEET	30.5 FEET
SIDE YARDS/TOTAL OF 2:	10 FEET MINIMUM/20 FEET	16.5/42.9 FEET	10.1/28.2 FEET
REAR YARD:	30 FEET MINIMUM	36.7 FEET	105.2 FEET
BUILDING COVERAGE:	MAX 30%	11.7%	15.8%



**SITE PLAN**  
SCALE: 1" = 20'



I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON MARCH 3, 2019.

JOHN DECKER, LLS, NYS LIC. #050572

**OWNER'S CONSENT:**

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ANDREW G. MACDONALD DATE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY

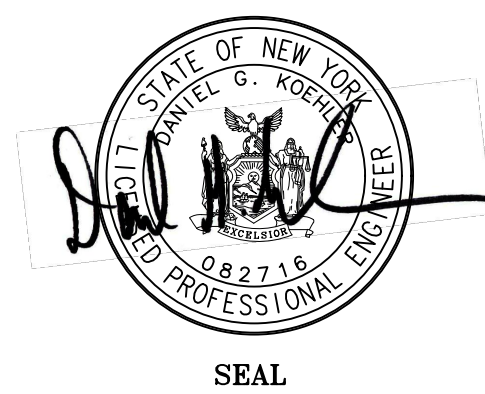
\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	11/26/19	PER PLANNING BOARD COMMENTS	AG				
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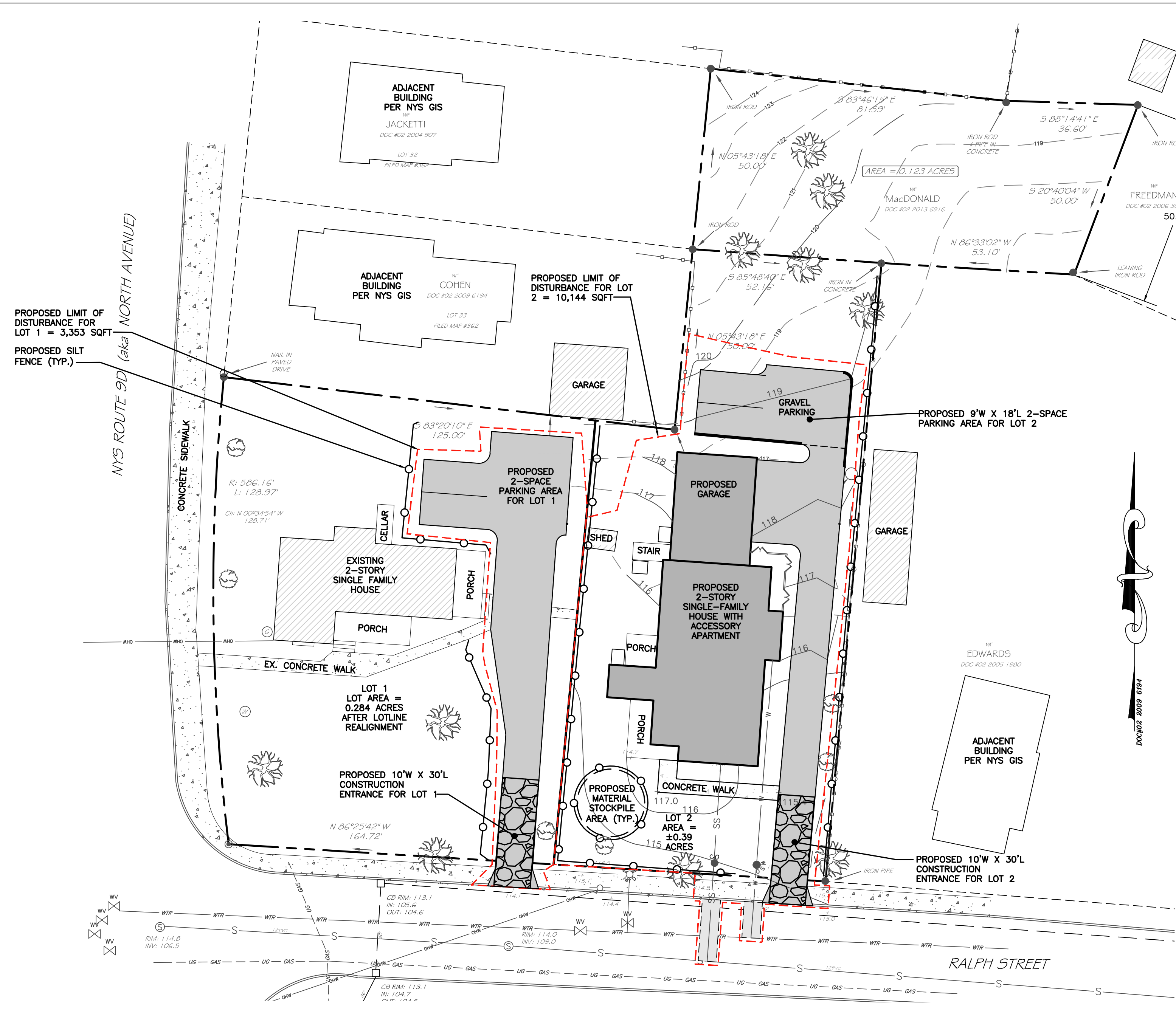


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**SITE PLAN**  
 1182 NORTH AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 5955-19-738049 & 5955-19-747060

JOB #: 2019-021  
 DATE: 10/29/19  
 SCALE: 1" = 20'  
 TITLE: SP-1  
 SHEET: 3 OF 6





**EROSION AND SEDIMENT CONTROL PLAN**  
 SCALE: 1" = 20'  
 GRAPHIC SCALE

- LEGEND:**
- 120 --- EXISTING MAJOR CONTOUR
  - 121 --- EXISTING MINOR CONTOUR
  - +121.17 EXISTING SPOT ELEVATION
  - [ ] EXISTING CATCH BASIN
  - [ ] EXISTING UTILITY POLE
  - [ ] PROPOSED SILT FENCE
  - [ ] PROPOSED CATCH BASIN WITH INLET PROTECTION
  - [ ] IMPERVIOUS SURFACE
  - [ ] PROPOSED CONSTRUCTION ENTRANCE
  - - - - - PROPOSED LIMIT OF DISTURBANCE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

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ANDREW G. MACDONALD \_\_\_\_\_ DATE \_\_\_\_\_

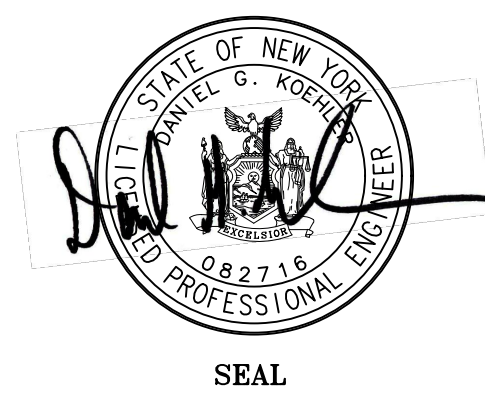


**GRADING AND UTILITY PLAN**  
 SCALE: 1" = 20'  
 GRAPHIC SCALE

- LEGEND:**
- PROPOSED PROPERTY LINE
  - EXISTING PROPERTY LINE
  - 100 PROPOSED MAJOR CONTOUR
  - 97 PROPOSED MINOR CONTOUR
  - 112.5 PROPOSED SPOT ELEVATION
  - WS --- WS PROPOSED WATER SERVICE LINE
  - [ ] PROPOSED WATER SHUTOFF VALVE
  - [ ] PROPOSED CLEANOUT
  - SS --- SS PROPOSED SEWER SERVICE LINE

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	11/26/19	PER PLANNING BOARD COMMENTS	AG				
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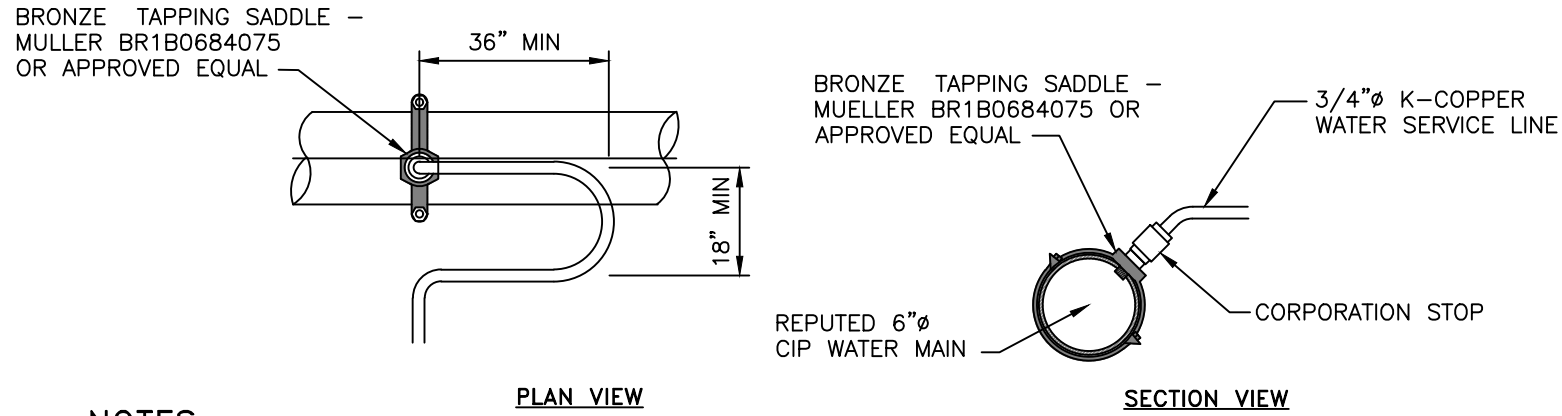
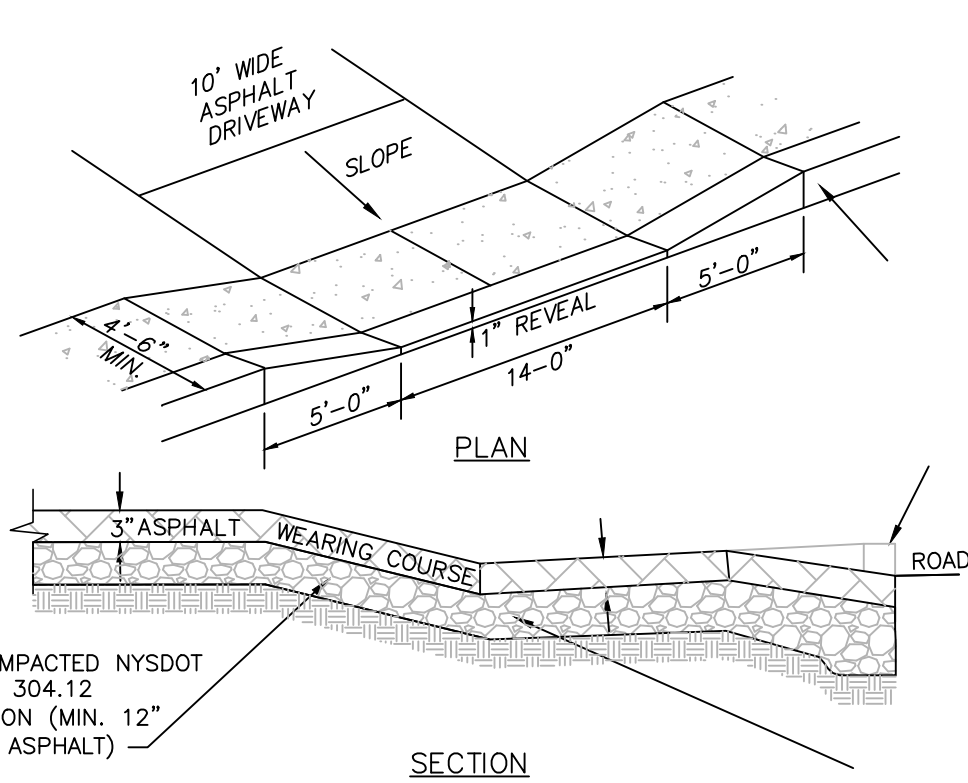
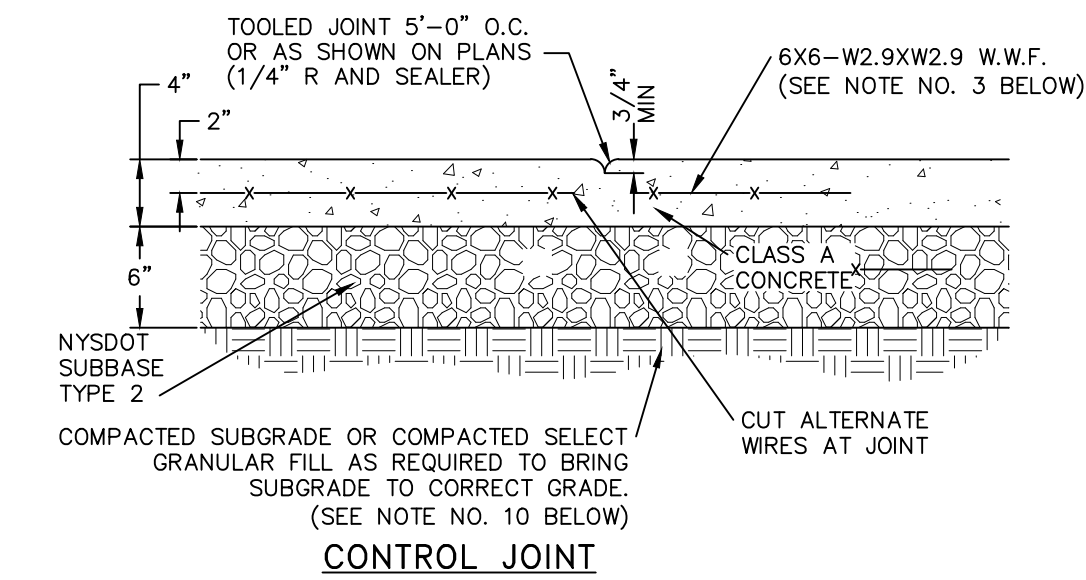
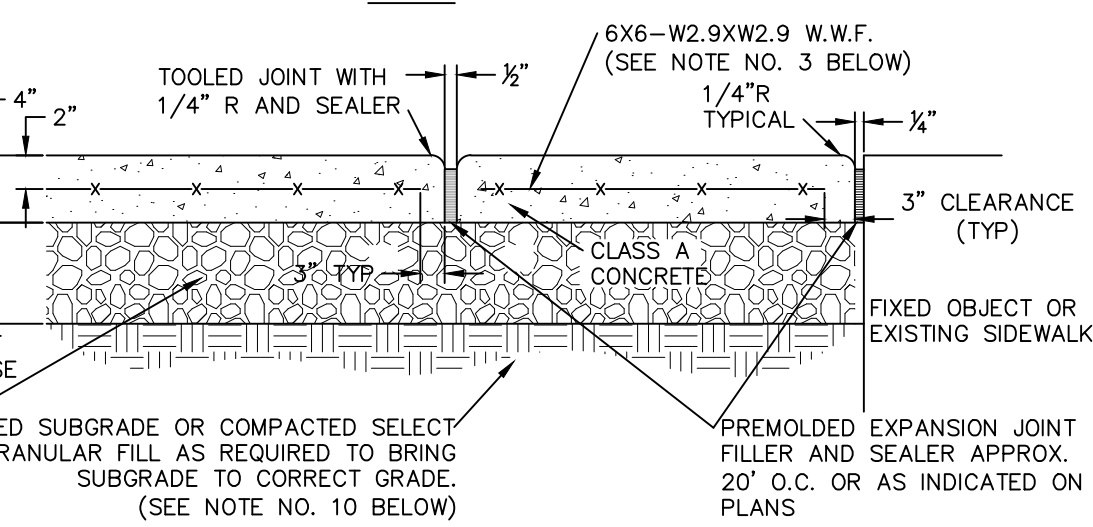
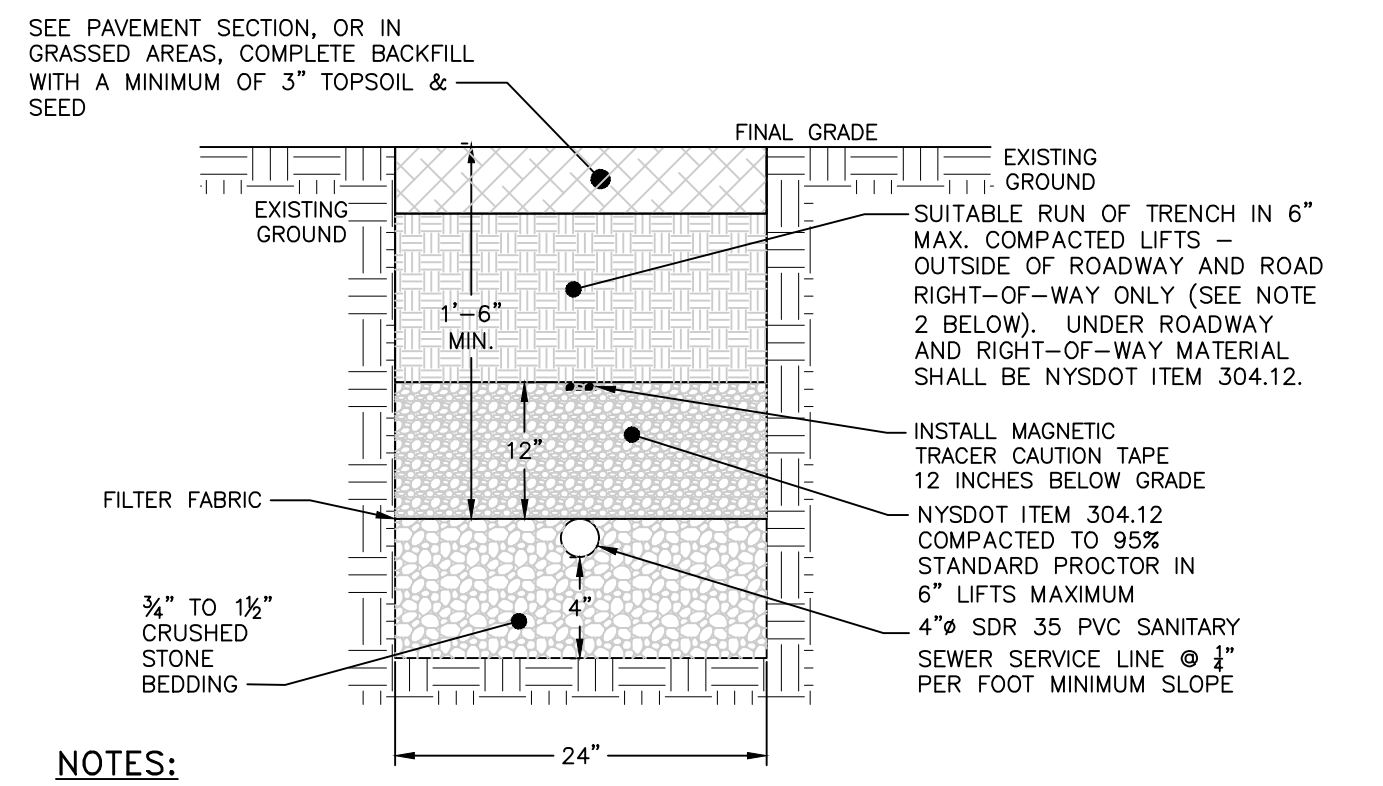
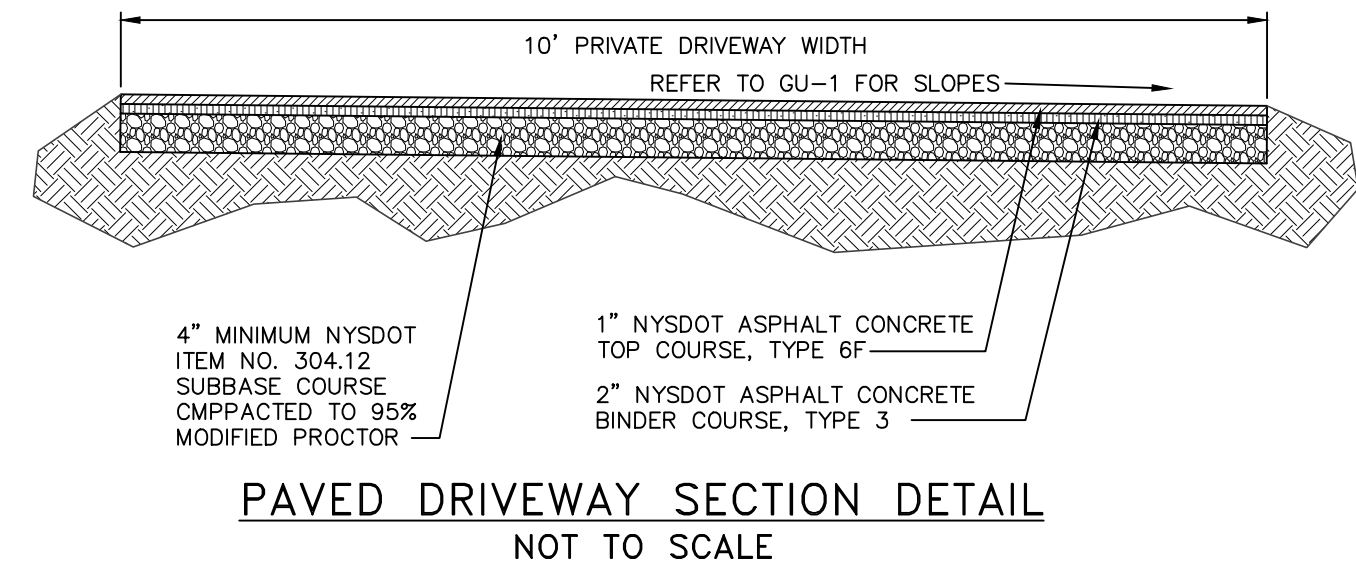
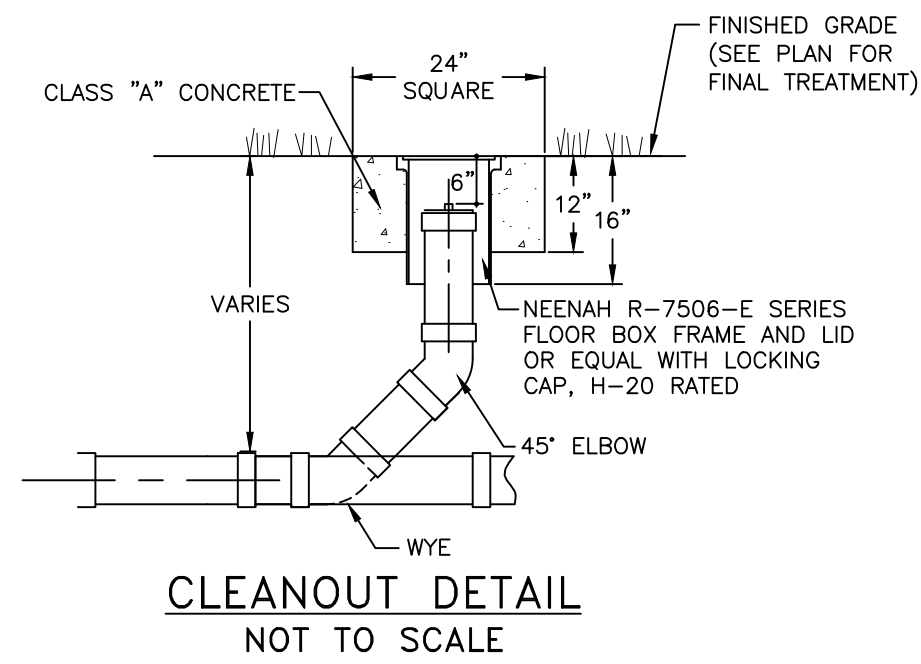
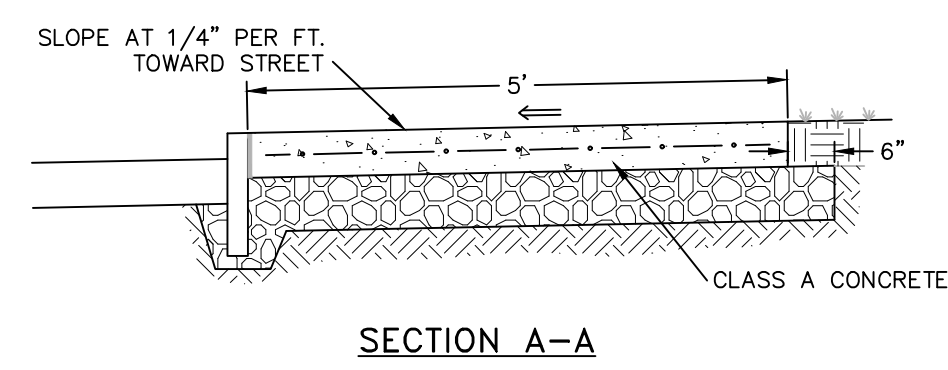
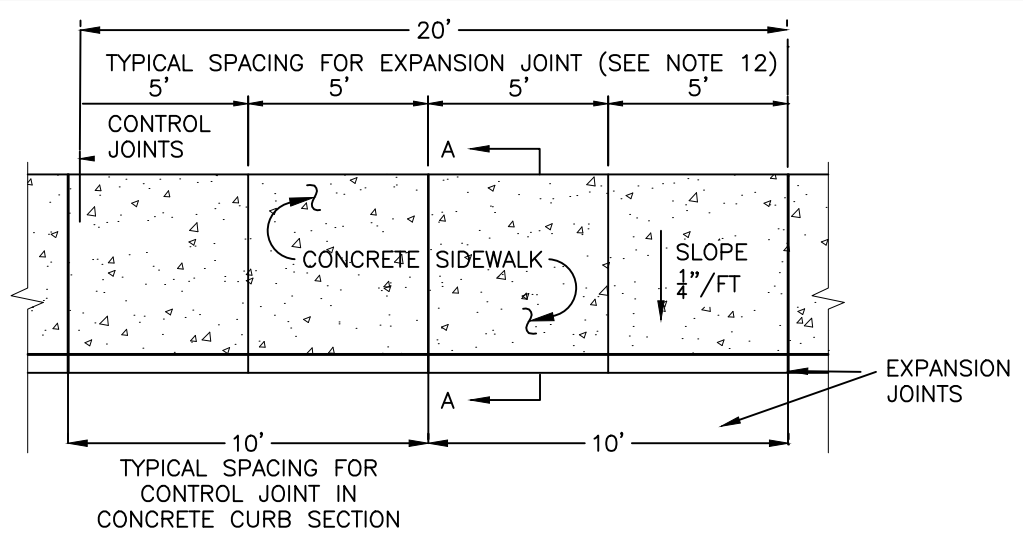


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**E&S AND GRADING & UTILITY PLAN**  
 1182 NORTH AVENUE  
 1182 NORTH AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 5955-19-738049 & 5955-19-747060

JOB #: 2019-021  
 DATE: 10/29/19  
 SCALE: 1" = 20'  
 TITLE: GU-1  
 SHEET: 4 OF 6





**NOTES:**  
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.  
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

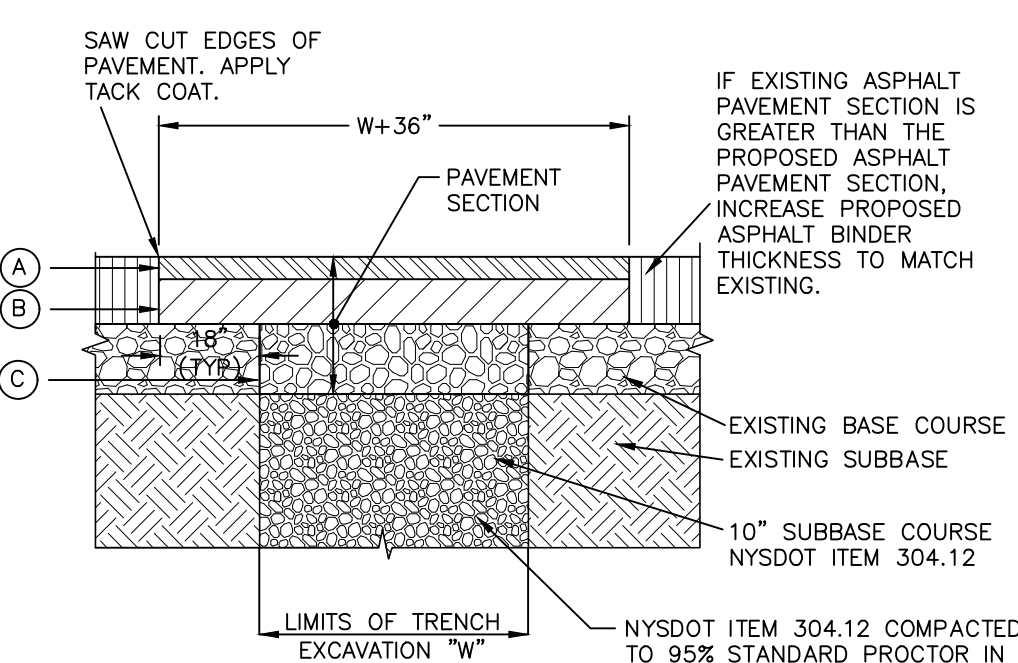
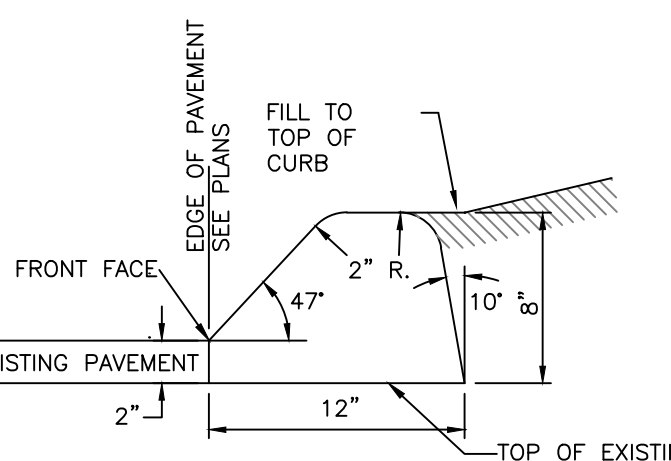
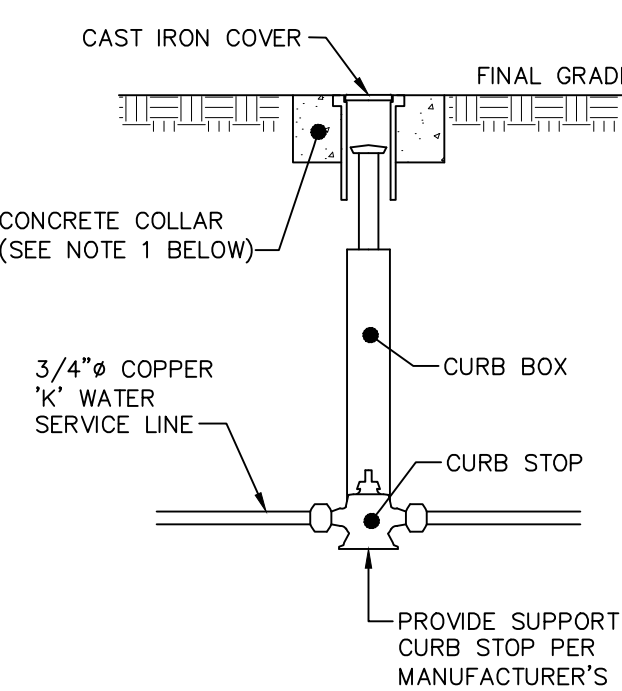
**NOTES:**  
 1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.  
 2. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, LATEST REVISION.  
 3. ALL CONCRETE SHALL BE 3500 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.  
 4. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.  
 5. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.  
 6. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20'-0" ON CENTER, OR AS INDICATED ON PLANS.  
 7. JOINTS SHALL NOT BE SAW CUT.  
 8. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFEOND" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.  
 9. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSOT STANDARD.  
 10. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.  
 11. ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.  
 12. SPACING OF EXPANSION JOINTS ON CONCRETE RESTORED SIDEWALKS SHALL MATCH THE CURRENT SPACING OF EXPANSION JOINTS ON EXISTING SIDEWALK.

**NOTE:**  
 1. RESEED AND STABILIZE GRASS AREAS AFTER ASPHALT AND CONCRETE INSTALLATION.

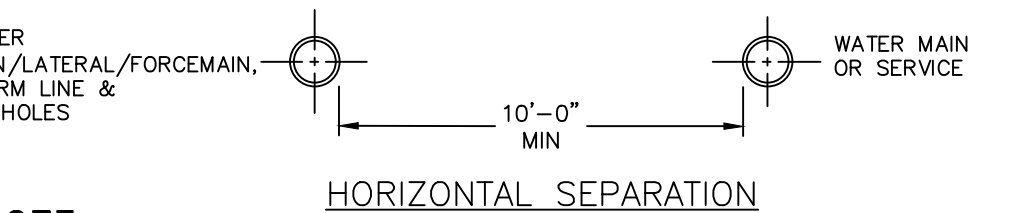
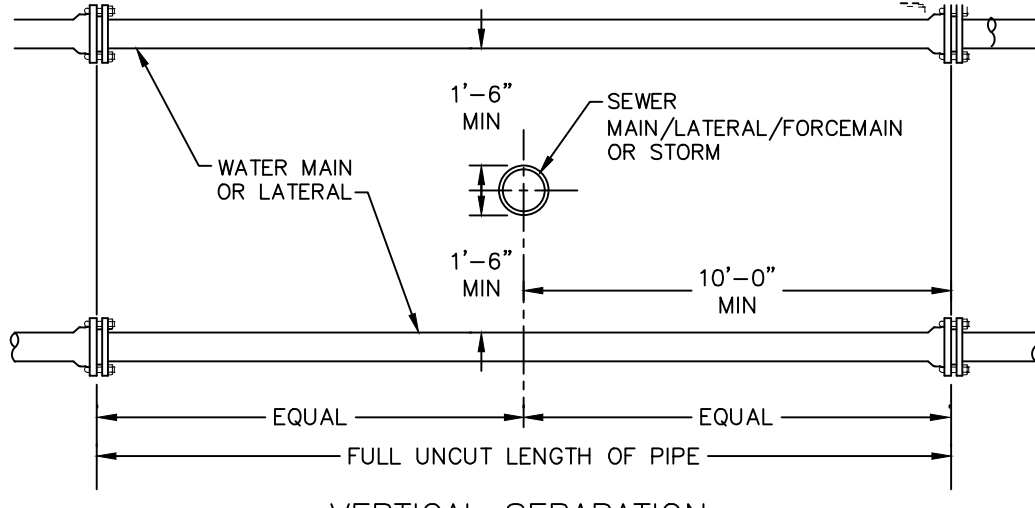
**NOTES:**  
 1. A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).  
 2. CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.  
 3. WATER SERVICE LINE TO HAVE A "GOOSENECK" NEAR CORPORATION STOP.  
 4. CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.  
 5. THE CONTRACTOR SHALL INSTALL A FULL BODIED STAINLESS STEEL TAPPING SLEEVE AT THE PROPOSED WATER SERVICE LOCATION.

**NOTES:**  
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.  
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

**CONCRETE SIDEWALK DETAIL**  
 NOT TO SCALE

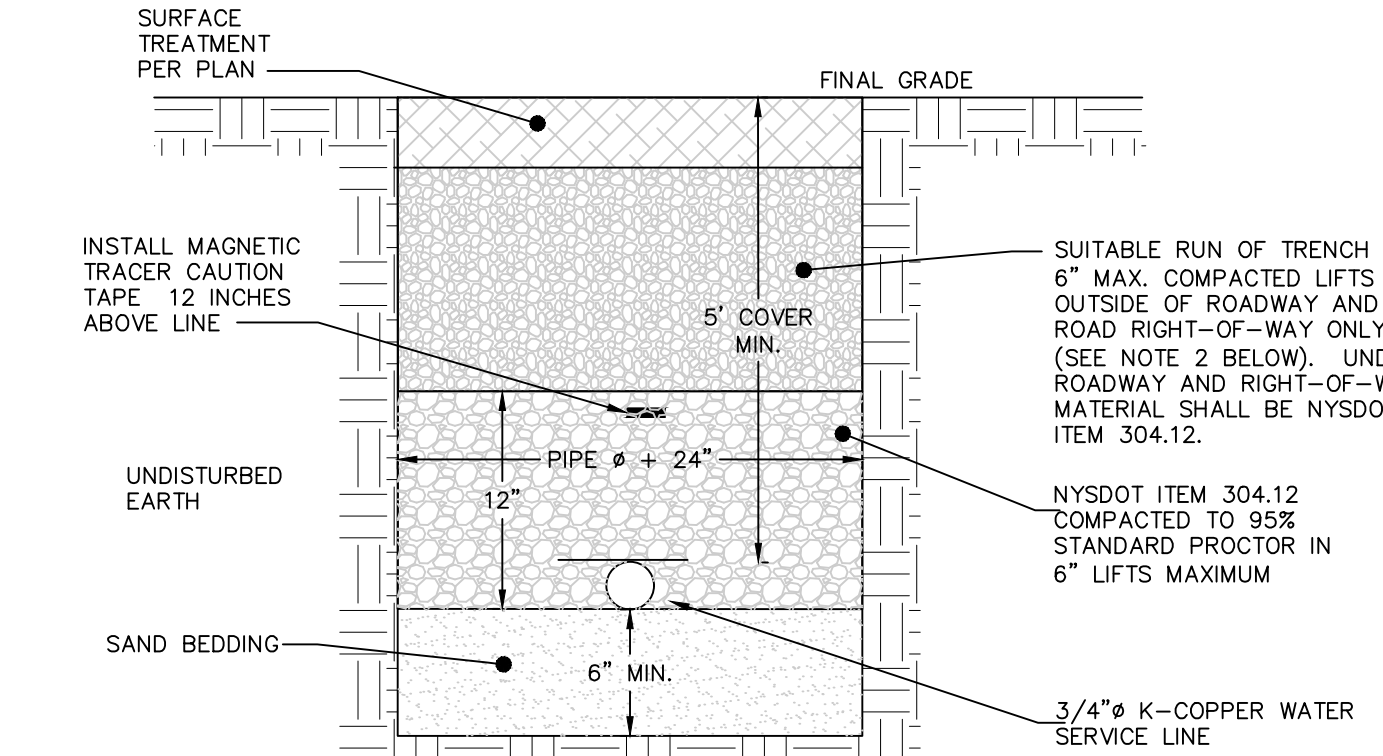


**WATER SERVICE CONNECTION DETAIL**  
 NOT TO SCALE



**NOTE:**  
 1. NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASUREMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

**WATER LINE SEPARATION DETAIL**  
 NOT TO SCALE



**NOTES:**  
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.  
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.  
 3. IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.  
 4. IF WATER SERVICE AND SEWER SERVICE LINE CROSSINGS ARE NEEDED, PROVIDE 18" OF VERTICAL SEPARATION

**WATER SERVICE LINE TRENCH DETAIL**  
 NOT TO SCALE

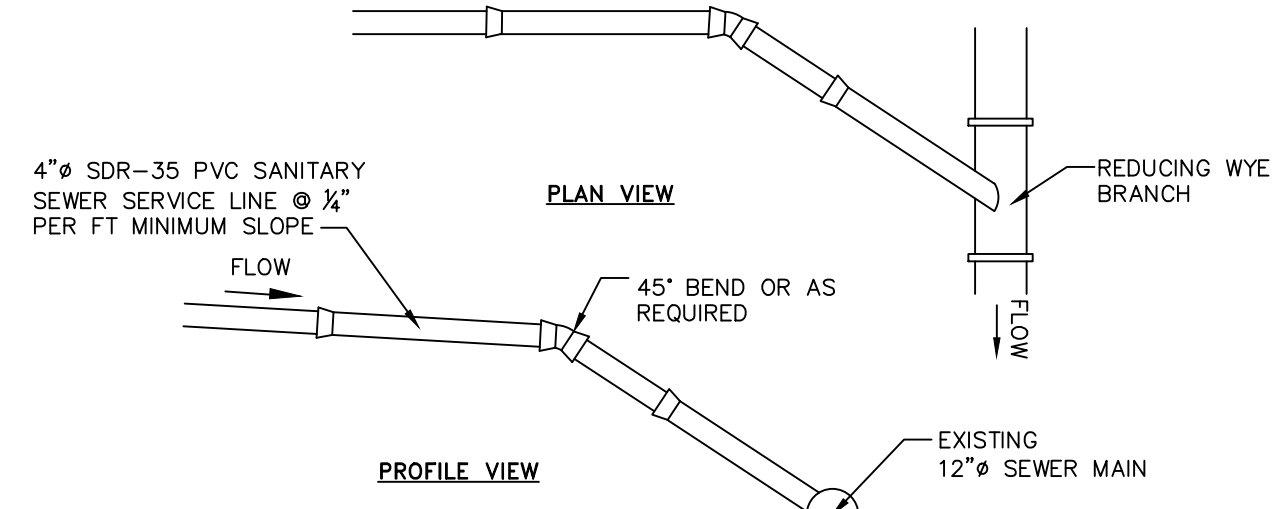
**NOTES:**  
 1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.  
 2. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.  
 3. AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.

**NOTE:**  
 DIMENSIONS SHOWN ARE STANDARD. ADJUSTMENTS TO THE ABOVE DIMENSIONS SHALL BE MADE TO MATCH EXISTING ASPHALT CURB.

**LEGEND**  
 (A) 1.5" ASPHALT CONCRETE TOP COURSE- NYSOT TYPE F1  
 (B) 3.0" ASPHALT CONCRETE BINDER COURSE- NYSOT TYPE F9  
 (C) 3.0" ASPHALT BASE COURSE- NYSOT TYPE F9

**NOTES:**  
 1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED. JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.  
 2. FURNISH, PLACE, AND COMPACT SUBBASE.  
 3. TACK COAT IN ACCORDANCE WITH NYSOT STANDARD SPEC.  
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

**PAVEMENT RESTORATION DETAIL**  
 NOT TO SCALE

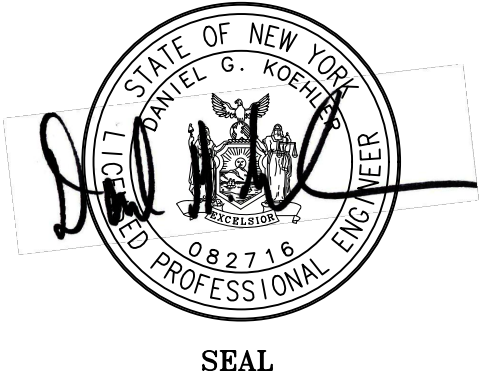


**NOTES:**  
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.  
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.  
 3. TAPPING SADDLE FOR CONNECTION OF THE PROPOSED SERVICE LINE TO THE EXISTING SEWER MAIN TO BE A 4" PREDCO HUB TAP SADDLE - MODEL #HTS4/E.

**SANITARY SEWER SERVICE CONNECTION DETAIL**  
 NOT TO SCALE

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	11/26/19	PER PLANNING BOARD COMMENTS	AG				
2	02/25/20	PER CONSULTANT COMMENTS	AG				

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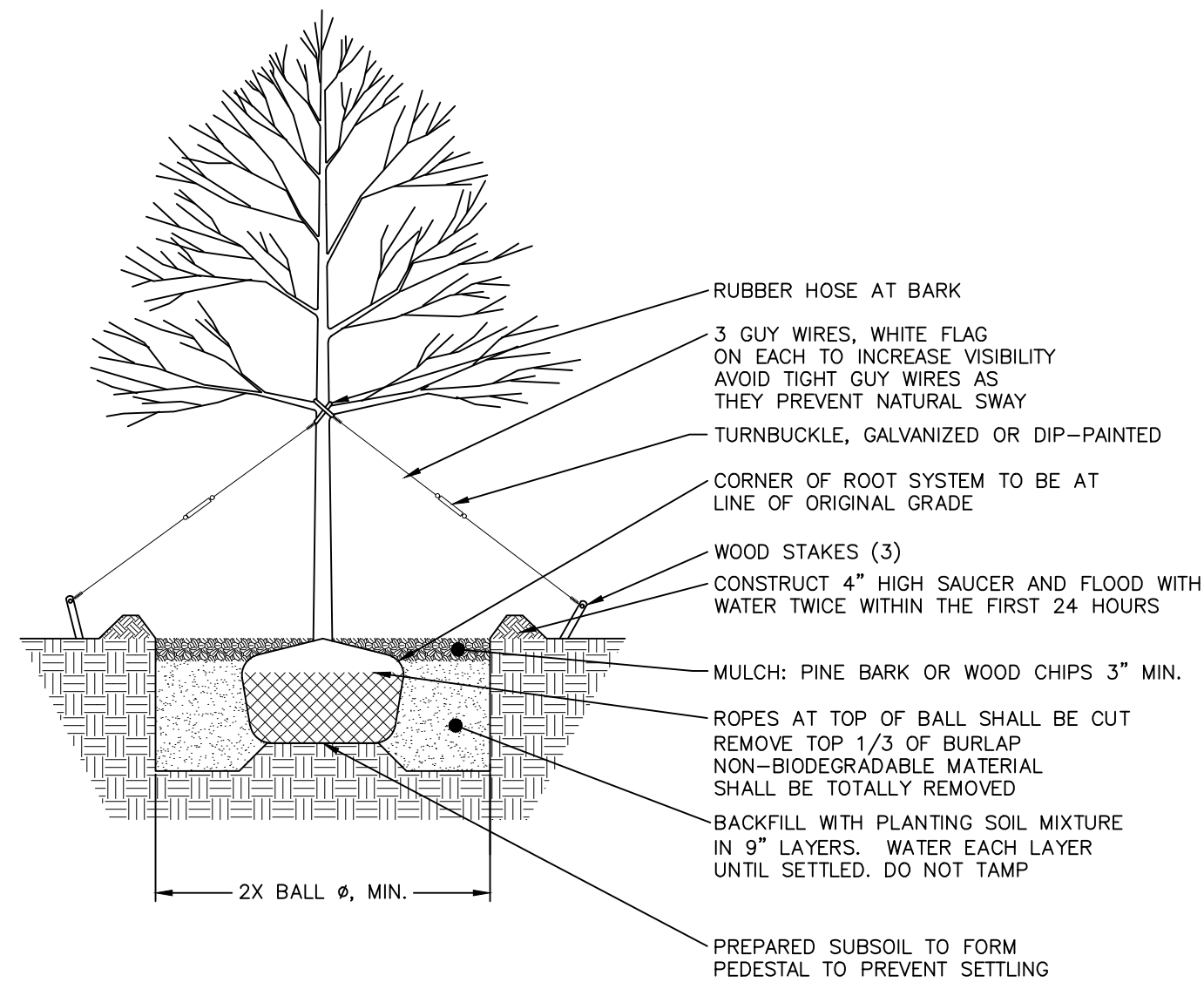


**HUDSON LAND DESIGN**  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN ST., BEACON, NEW YORK 12508  
 13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
 PH: 845-440-6926  
 F: 845-440-6637

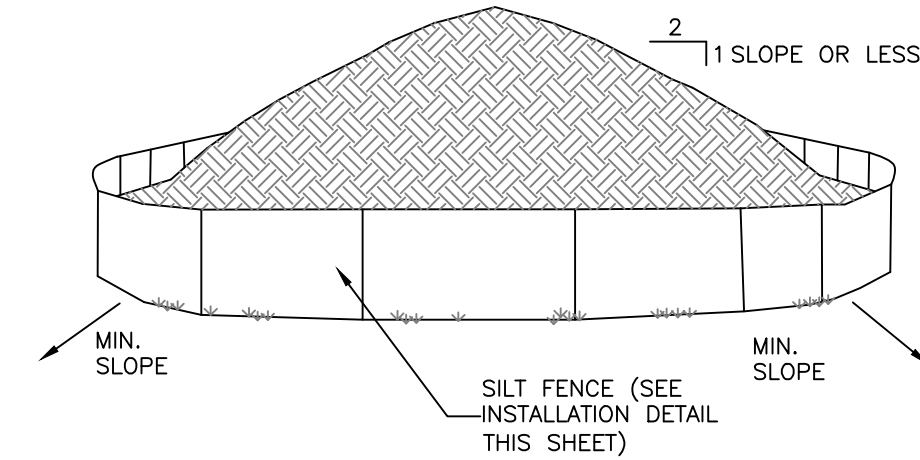
**CONSTRUCTION DETAILS**  
 1182 NORTH AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 5955-19-738049 & 5955-19-747060

**JOB #:** 2019-021  
**DATE:** 10/29/19  
**SCALE:** AS SHOWN  
**TITLE:** CD-1  
**SHEET:** 5 OF 6

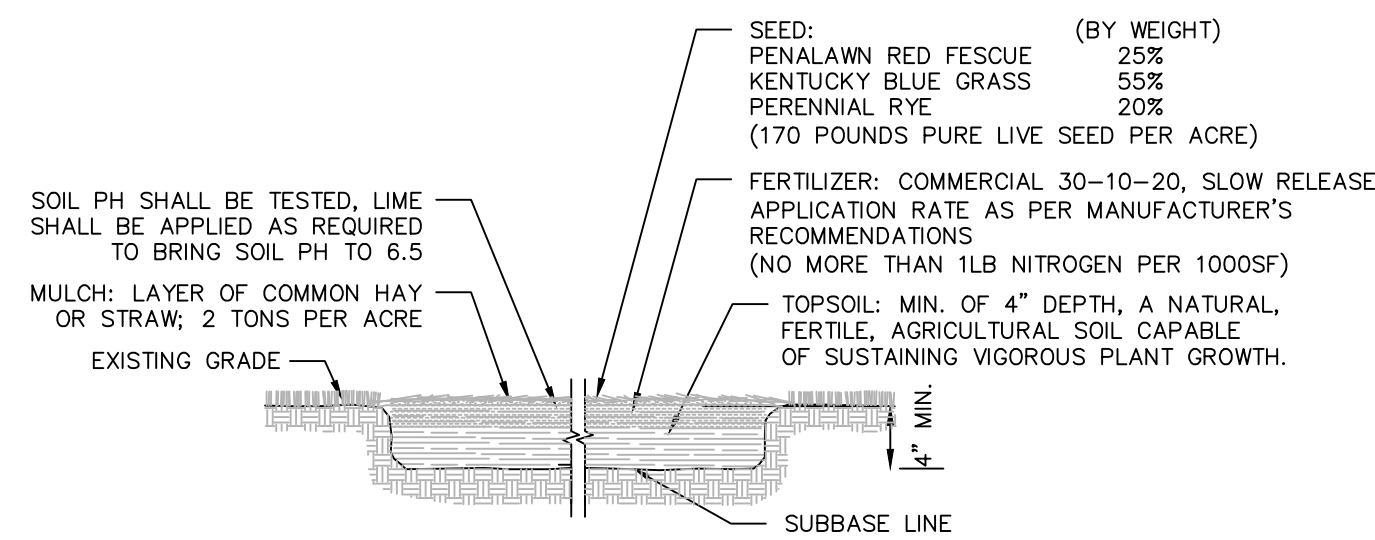




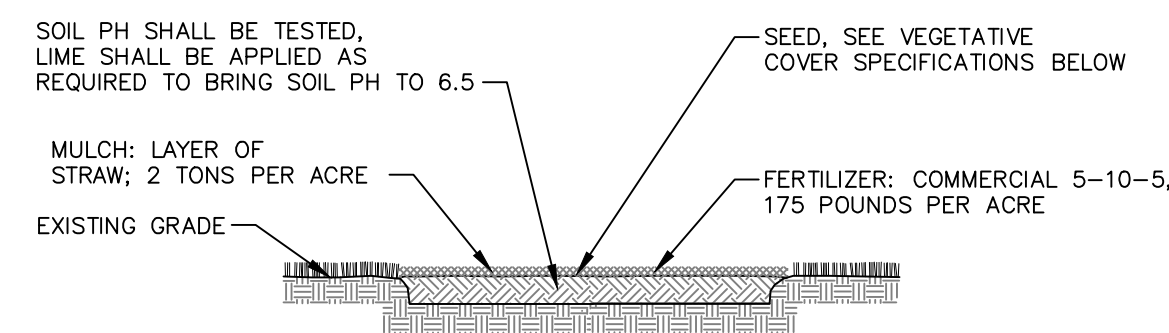
**TREE DETAIL**  
NOT TO SCALE



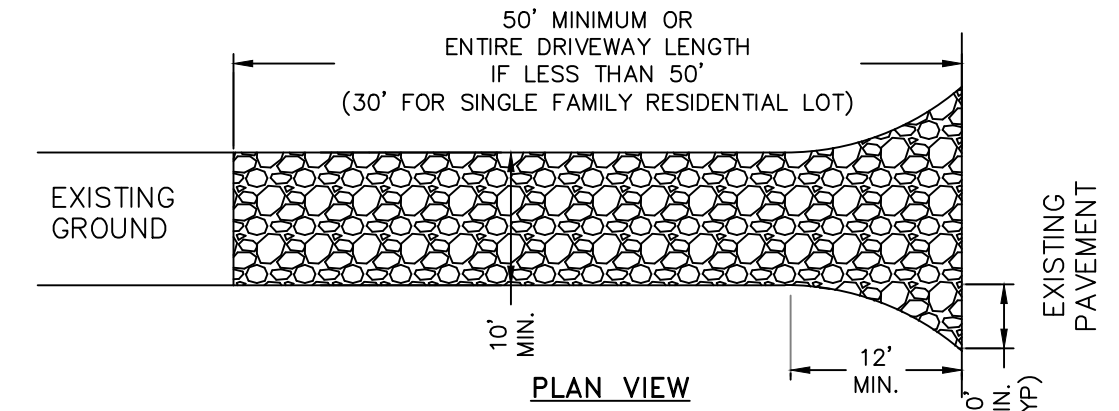
**TEMPORARY SOIL STOCKPILE DETAIL**  
NOT TO SCALE



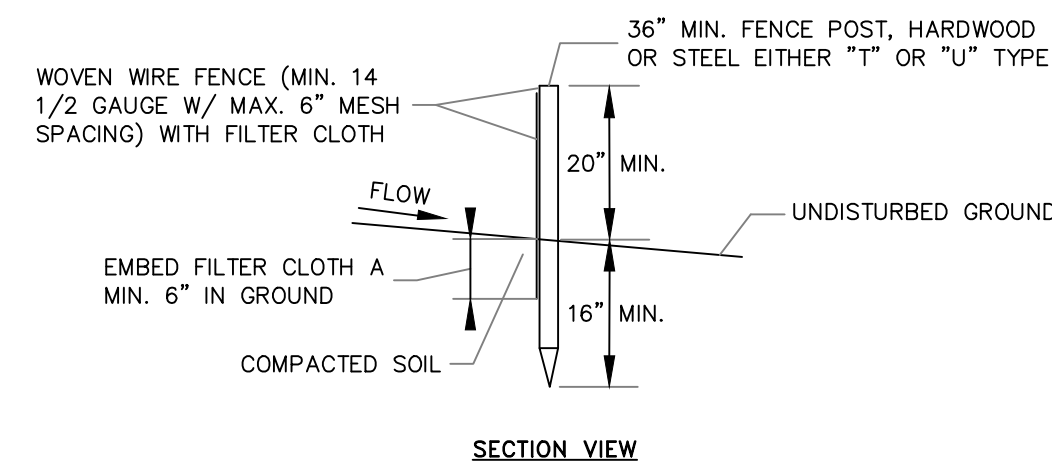
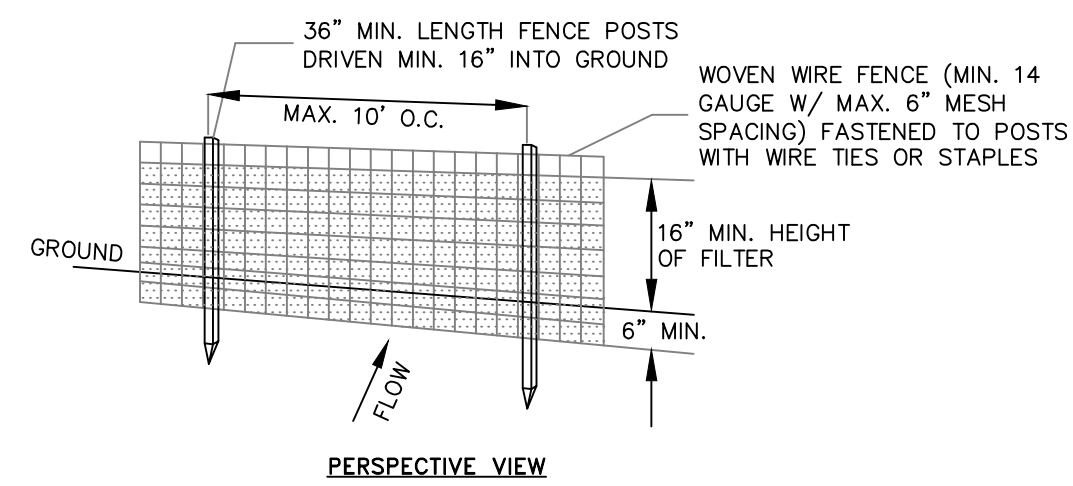
**TOPSOIL SEED, FERTILIZER AND MULCH DETAIL**  
NOT TO SCALE



**TEMPORARY SEEDING DETAIL**  
NOT TO SCALE

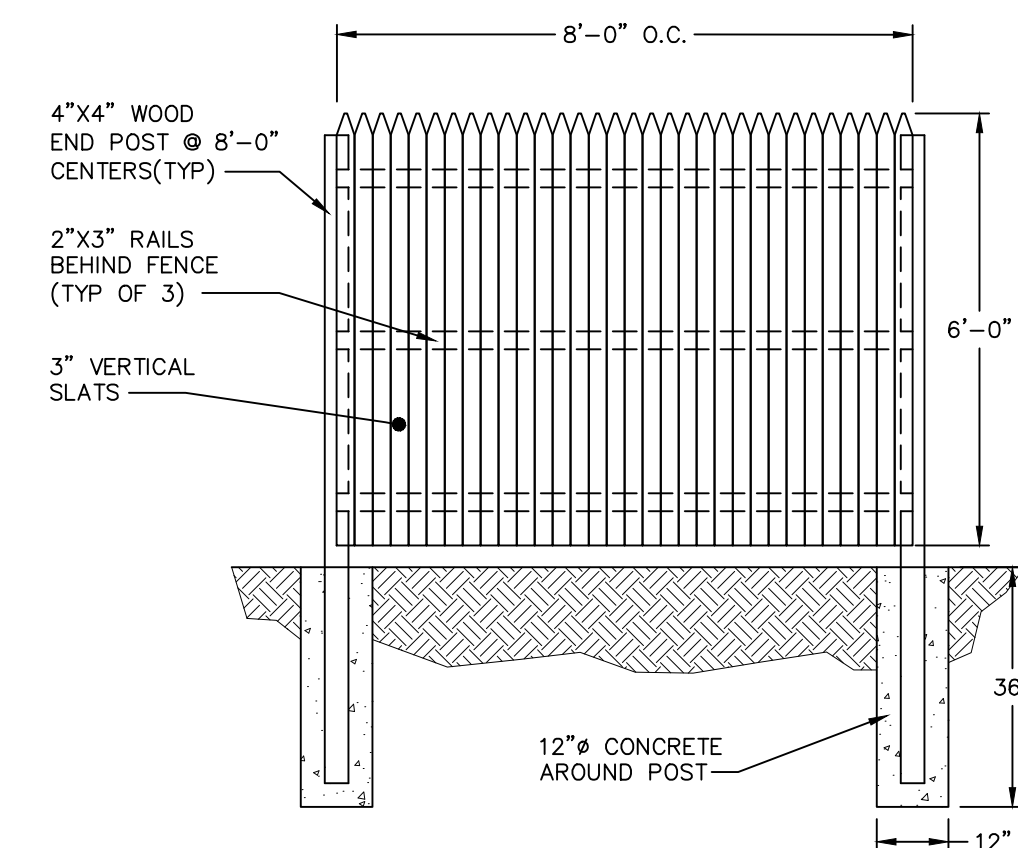


**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



**NOTES:**  
1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

**SILT FENCE DETAIL**  
NOT TO SCALE



**WOOD STOCKADE FENCE DETAIL**  
NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AS STATED THEREIN.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN, CITY PLANNING BOARD

DATE

DRAWN BY: CMB

CHECKED BY: DGK

REVISIONS:

REVISIONS:

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	11/26/19	PER PLANNING BOARD COMMENTS	AG				
2	02/25/20	PER CONSULTANT COMMENTS	AG				

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F: 845-440-6637

CONSTRUCTION DETAILS

1182 NORTH AVENUE

1182 NORTH AVENUE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5955-19-738049 & 5955-19-747060

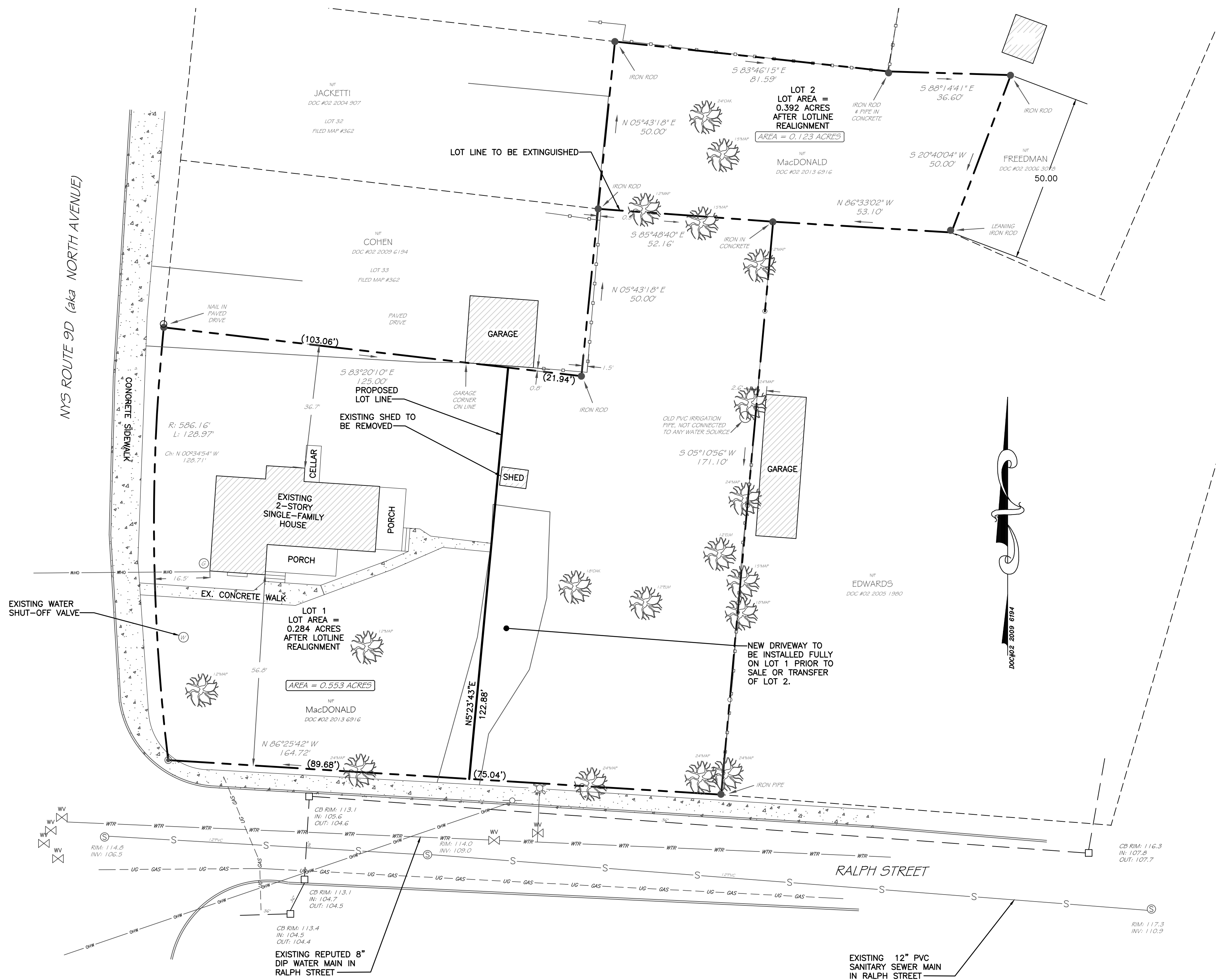
JOB #: 2019-021

DATE: 10/29/19

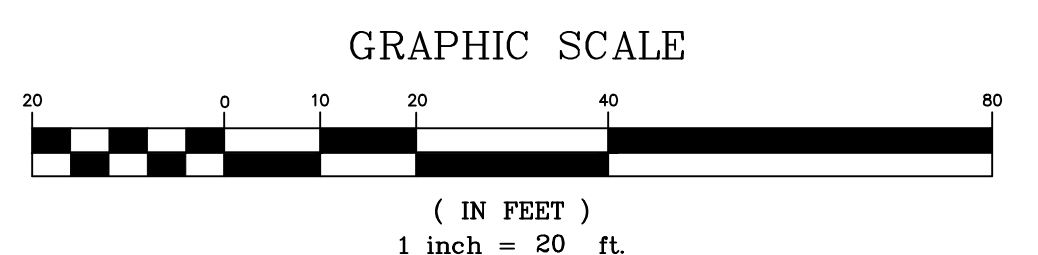
SCALE: AS SHOWN

TITLE: CD-2

SHEET: 6 OF 6



PRELIMINARY SUBDIVISION PLAT  
SCALE: 1" = 20'



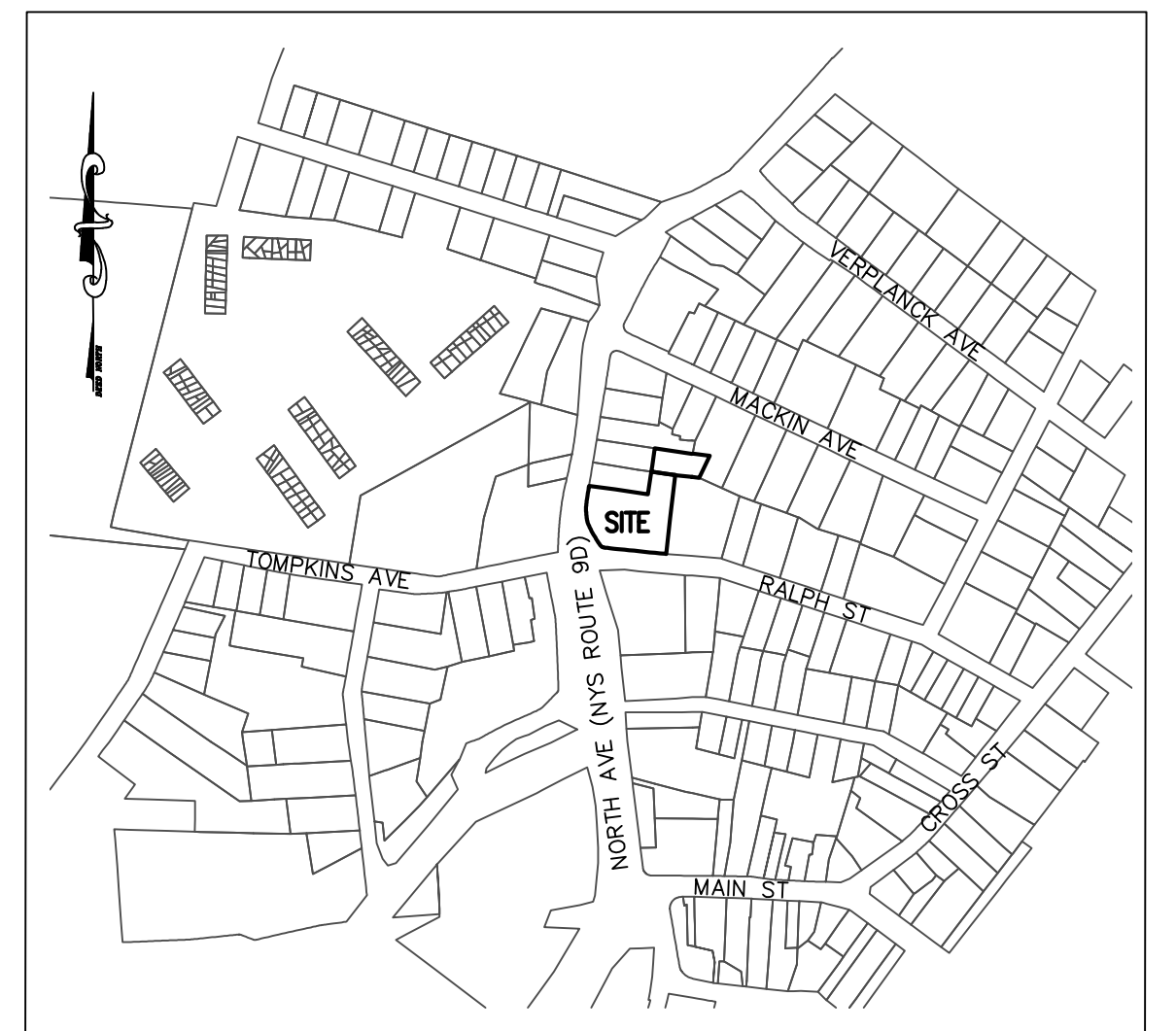
**LEGEND:**

---	EXISTING PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
○	EXISTING UTILITY POLE
---	EXISTING OVERHEAD WIRE
---	EXISTING WATER MAIN
---	EXISTING WATER VALVE
---	EXISTING HYDRANT
○	EXISTING SEWER MANHOLE
---	EXISTING SEWER MAIN
---	EXISTING STORMWATER LINE
▨	EXISTING BUILDINGS

**DCDOH STANDARD NOTE:**

FOR PERMISSION TO FILE  
THIS PLAN DOES NOT CONSTITUTE A REALTY SUBDIVISION AS DEFINED BY ARTICLE XI, TITLE II, SECTION 1115 OF THE PUBLIC HEALTH LAW OF THE STATE OF NEW YORK, AND ARTICLE XI OF THE DUTCHESS COUNTY SANITARY CODE. PERMISSION IS HEREBY GRANTED FOR THE FILING OF THIS MAP WITH THE CLERK OF DUTCHESS COUNTY. APPROVAL FOR ARRANGEMENTS FOR WATER SUPPLY AND/OR SEWAGE DISPOSAL IS NEITHER SOUGHT NOR GRANTED.

AUTHORIZED REPRESENTATIVE OF THE COMMISSIONER OF HEALTH \_\_\_\_\_ DATE \_\_\_\_\_



SITE LOCATION MAP SCALE: 1" = 400'

**SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT 1	LOT 2
LOT AREA:	7,500 S.F.	12,391 S.F.	17,082 S.F.
LOT WIDTH:	75 FT	±101 FEET	±75.1 FEET
LOT DEPTH:	100 FT	±127.8 FEET	±221 FEET
YARD SETBACKS:			
FRONT YARD:	30 FEET MINIMUM	56.8 FEET	30.5 FEET
SIDE YARDS/TOTAL OF 2:	10 FEET MINIMUM/20 FEET	16.5/42.9 FEET	10.1/28.2 FEET
REAR YARD:	30 FEET MINIMUM	36.7 FEET	105.2 FEET
BUILDING COVERAGE:	MAX 30%	11.7%	15.8%

- SURVEY NOTES:**
1. THE PARCEL SHOWN HEREON ARE GENERALLY AS DESCRIBED PER DOCUMENT 02 2013 6916 RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE.
  2. SUBJECT TO ANY EASEMENTS AND/OR RIGHTS OF WAY THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
  3. SURVEYED AS PER RECORD DEED, EXISTING MONUMENTATION, RECORDED AND UNRECORDED MAPS.

**MAP REFERENCE:**

1. EXISTING FEATURES AS SHOWN ON THIS SUBDIVISION PLAN PROVIDED BY MAPPING OBTAINED FROM DECKER SURVEYING, LLC DATED MARCH 3, 2019.

**TOTAL PARCEL AREA:**  
±29,473 S.F. OR ± 0.68 ACRE.

**TAX MAP REFERENCE:**  
CITY OF BEACON 5955-19-738049 & 5955-19-747060.

**VERTICAL DATUM:**  
ASSUMED

**FLOOD BOUNDARY:**

1. SUBJECT PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) PER PANEL 36027C0463E DATED MAY 2, 2012.

**WETLAND NOTE:**

1. NO NYSDEC OR FEDERAL WETLANDS WERE FOUND ONSITE.

**BUILDING PERMIT NOTE:**

1. THE APPLICANT HEREBY AGREES THAT HE/SHE WILL NOT REQUEST A BUILDING PERMIT FOR LOT 2 UNTIL SUCH TIME THAT THE CITY OF BEACON HAS MADE CERTAIN IMPROVEMENTS TO THE WEST MAIN STREET SEWAGE PUMP STATION.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON MARCH 3, 2019.

JOHN DECKER, LLS, NYS LIC. #050572

**OWNER'S CONSENT:**  
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ANDREW G. MACDONALD \_\_\_\_\_ DATE \_\_\_\_\_

SEAL

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PRELIMINARY SUBDIVISION PLAT  
1182 NORTH AVENUE  
1182 NORTH AVENUE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5955-19-738049 & 5955-19-747060

JOB #: 2019-021  
DATE: 09/24/19  
SCALE: 1" = 20'  
TITLE: PL  
SHEET: 1 OF 1

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	11/26/19	PER PLANNING BOARD COMMENTS	AG				
2	02/25/20	PER CONSULTANT COMMENTS	AG				

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: January 10, 2019

Re: **1182 North Avenue, Subdivision, Site Plan, and Special Permits for an Accessory Apartment and Artist Studio**

No new materials were submitted for this meeting, but I have no opposition to the Board adopting a Negative Declaration under SEQRA. The following comments are based on the previous documents and discussion at the December 10, 2019 Planning Board meeting, including the November 26, 2019 Subdivision Plat from Hudson Land Design, 6-sheet Subdivision and Site Plan set from Hudson Land Design dated November 26, 2019, and a 3-sheet House Plan set from D. M. Florance Architecture dated November 26, 2019.

### **Proposal**

The applicant proposes to reconfigure two existing lots with a lot line realignment in the R1-7.5 zoning district and the Historic District and Landmark Overlay (HDLO) zone and build a new house, including an accessory apartment and a for-rent artist studio with associated parking.

### **Comments and Recommendations**

1. Sheet XC-1 shows that four trees along the eastern boundary are to be removed because a new fence is proposed along the property line. The applicant should plant a few replacement trees to act as additional screening and landscaping.
2. For Sheets SP-1 and GU-1, the fence for the refuse containers should be completely shown on the plans.
3. The accessory apartment appears to meet all the standards in Section 223-24.1, but it requires a Special Permit from the City Council. The Planning Board should submit a recommendations report to the Council.
4. The for-rent artist studio may be allowed in the HDLO by Special Permit from the City Council. The Planning Board should submit a recommendations report to the Council.
5. To achieve the required HDLO Certificate of Appropriateness and satisfy the design standards in Section 134-7 B(3)(h), the proposed fiber-cement siding should be smooth-finished, so it looks more like traditional wood than vinyl siding.
6. The exterior lighting details should include a note on the plans that the lights will be shielded so that there will be no direct glare or light spillover onto adjacent properties or above the horizontal plane into the night sky. All exterior lighting specifications will need to comply with the recently adopted lighting standards in 223-14 B.

Page 2, January 10, 2020 Memo re: 1182 North Avenue

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Dave Buckley, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Daniel G. Koehler, P.E., Project Engineer



**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal  
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal  
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal  
John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

April 9, 2020

Mr. John Gunn  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 1182 North Ave.  
Subdivision & Site Plan  
Tax Nos. 5955-19-738049 & 747060  
City of Beacon

Dear Mr. Gunn:

My office has received the following in regard to the above application:

- Plan titled "Preliminary Subdivision Plat – 1182 North Avenue", last revised February 25, 2020, as prepared by John Decker, LS and Hudson Land Design.
- Set of plans titled "1182 North Avenue – Site Plan and Special Use Permit" with the latest revision date of February 25, 2020 and consisting of 6 sheets as prepared by Hudson Land Design.

As previously noted in our March 5, 2020 correspondence, the project was revised to eliminate the 2 artist workspaces that were previously proposed. The project now consists of the development of a 3-bedroom single-family home with an accessory apartment. Based on our review of the above plans, we would like to offer the following comments:

Subdivision Plat:

1. The plat will need to be signed and sealed by the licensed land surveyor. Prior to signing and sealing of the subdivision plat, the word "Preliminary" should be removed from the title box and title under the plan view.

This completes our review at this time. Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,  
LANC & TULLY, P.C.

  
John Russo, P.E.

cc: John Clarke, Planner  
Jennifer Gray, Esq.  
David Buckley, Building Inspector



**CITY OF BEACON**

**CITY COUNCIL**

Resolution No. \_\_\_\_\_ of 2020

**RESOLUTION**

**PRELIMINARY & FINAL SUBDIVISION PLAT APPROVALS, SITE PLAN APPROVAL AND CERTIFICATE OF APPROPRIATENESS APPROVAL FOR 1182 NORTH AVENUE**

**Parcel ID# 5955-19-747060**

**WHEREAS**, the Beacon Planning Board received applications for Preliminary and Subdivision Plan Approvals, Site Plan Approval and Special Use Permit Approval from Andrew G. MacDonald (the “Applicant”), to reconfigure two existing lots with a lot line realignment and build a new house, including an attached 646 square foot accessory apartment and associated parking (the “Proposed Action”) on property located at 1182 North Avenue in the R1-7.5 and Historic District and Landmark Overlay Zone. Said premises being known and designated on the tax map of the City of Beacon as **Parcel ID# 5955-19-747060** (the “Property”); and

**WHEREAS**, as initially submitted the Proposed Action included a request for a Special Permit for an artist studio, but the application was subsequently amended to withdraw that portion of the Proposed Action; and

**WHEREAS**, the Applicant seeks to re-configure two existing lots, one of which is currently landlocked and vacant (Parcel 747060), and the other that is developed with a single-family house (Parcel 738049);

**WHEREAS**, after the proposed lot line realignment Parcel 747060 will be 0.392 acres and Parcel 738048 will be 0.284 acres; and

**WHEREAS**, the Proposed Action includes a request for a Certificate of Appropriateness from the Planning Board pursuant to Chapter 134 of the City of Beacon Code; and

**WHEREAS**, the City Council is the approval authority for the Special Use Permit for an accessory apartment pursuant to City of Beacon Zoning Code §§ 223-18.B and 223-24.1; and

**WHEREAS**, the Planning Board is the approval authority for the Subdivision (lot line realignment) and Site Plan pursuant to City of Beacon Code §§ 195-2 and 223-25; and

**WHEREAS**, the application consists of application forms, correspondence, and the Full Environmental Assessment Form (“EAF”); and

**WHEREAS**, the Subdivision is shown on the drawing, entitled “Preliminary Subdivision Plat 1182 North Avenue,” prepared by John Decker, LS and Hudson Land Design Professional Engineering, P.C., last revised February 25, 2020; and

**WHEREAS**, the Site Plan is shown the following drawings, generally entitled “1182 North Avenue- Site Plan and Special Use Permit,” prepared by Hudson Land Design Professional Engineering P.C., last revised February 25, 2020:

<u>Sheet</u>	<u>Title</u>
1 of 6	<i>Cover Sheet, CV-1</i>
2 of 6	<i>Existing Conditions &amp; Removals Plan, XC-1</i>
3 of 6	<i>Subdivision &amp; Site Plan, SP-1</i>
4 of 6	<i>Erosion &amp; Sediment Control Plan &amp; Grading and Utility Plan, GU-1</i>
5 of 6	<i>Construction Details, CD-1</i>
6 of 6	<i>Construction Details, CD-2; and</i>

**WHEREAS**, the proposed floor plans and elevations are shown on the following drawings, entitled “MacDonald Subdivision- Proposed House Plans,” prepared by DM Florance Architecture, PLLC, last revised on February 18, 2020:

<u>Sheet</u>	<u>Title</u>
1 of 3	<i>Proposed House Plans, A-1</i>
2 of 3	<i>Proposed House Front and Left Side Elevations, A-2</i>
3 of 3	<i>Proposed House Rear and Right Side Elevations, A-3; and</i>

**WHEREAS**, the Proposed Action is an Unlisted Action, pursuant to New York State Environmental Quality Review Act (SEQRA); and

**WHEREAS**, the Planning Board reviewed the application at its meetings on November 12, 2019, December 10, 2019, January 14, 2020, March 10, 2020, and April 14, 2020; and

**WHEREAS**, on November 27, 2019 the Planning Board circulated its Notice of Intent to Declare itself Lead Agency pursuant to SEQRA and received no objections; and

**WHEREAS**, on December 10, 2019, the Planning Board opened and closed a public hearing to consider comments regarding any environmental impacts associated with the proposed lot line realignment between two parcels, where an existing single-family residence will remain, and proposed construction of a single-family residence with a 646 square foot accessory apartment; and

**WHEREAS**, after taking a “hard look” at each of the relevant areas of environmental concern through review of the Environmental Assessment Form and all associated materials prepared in connection with the Proposed Action, the Planning Board adopted a Negative Declaration on March 10, 2020; and

**WHEREAS**, on March 16, 2020, the City Council opened and closed a public hearing on the Special Use Permit application in connection with the proposed attached 646 square foot accessory apartment and approved the Special Use Permit application after finding that the Proposed Action complies with the City of Beacon Zoning Code §§ 223-18.B and 223-24.1; and

**WHEREAS**, on April 14, 2020 the Planning Board opened a duly noticed public hearing on the application for Subdivision, Site Plan and Certificate of Appropriateness approvals concerning the Proposed Action, at which time all those interested were given an opportunity to be heard and the public hearing was closed on August 14, 2020; and

**WHEREAS**, due to public health and safety concerns related to the current COVID-19 pandemic, the public hearing was duly noticed by publication, mailing and signage in accordance with notice requirements of the Zoning Code of the City of Beacon, and held by videoconference in accordance with the Governor’s Executive Orders which suspend the “in-person” requirements of the NYS Open Meetings Law and provide alternative means by which to conduct public meetings and hearings remotely; and

**WHEREAS**, in reviewing the application the Planning Board has considered the criteria for approval of a Certificate of Appropriateness set forth in City Code § 134-7; and

**WHEREAS**, the Planning Board is fully familiar with the Proposed Action and has reviewed the Proposed Action relative to all applicable provisions of the City Code.

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Board hereby finds pursuant to City Code § 134-7 that the Proposed Action will be consistent with the historic character of the surrounding area and grants Certificate of Appropriateness Approval for the Proposed Action.

**BE IT FURTHER RESOLVED**, that the Planning Board hereby grants Preliminary Subdivision Plat Approval (lot line realignment) for the Proposed Action, as shown on the plan entitled “Preliminary Subdivision Plat 1182 North Avenue,” prepared by John Decker, LS and Hudson Land Design Professional Engineering, P.C., last revised February 25, 2020.

**BE IT FURTHER RESOLVED**, that the Planning Board hereby finds the Final Subdivision Plat will not be substantively changed from the Preliminary Subdivision Plat and hereby determines that a public hearing on the Final Plat is not required.

**BE IT FURTHER RESOLVED**, that the Planning Board hereby grants Final Subdivision Plat Approval (lot line realignment), as shown on the plan entitled “Preliminary

Subdivision Plat 1182 North Avenue,” last revised February 25, 2020, prepared by Hudson Land Design Professional Engineering, P.C. , subject to the conditions and modifications set forth herein.

**BE IT FURTHER RESOLVED**, that the Planning Board hereby grants Site Plan Approval as set forth and detailed on the plans prepared by prepared by Hudson Land Design Professional Engineering P.C., last revised February 25, 2020, subject to the following conditions set forth below and any other requirements which must be met by law:

**A. The following conditions shall be fulfilled prior to the signing of the Final Subdivision Plat by the Chairman of the Planning Board:**

1. All application review fees shall be paid in full.
2. The Applicant shall seek and obtain all required permits and/or approvals from the appropriate agencies for the Project, including but not necessarily limited to approval from the Dutchess County Department of Health, and shall meet all conditions contained in such approvals, as required therein.
3. The comments contained in the City Engineer’s letter to the Planning Board dated April 9, 2020, and all comments in any subsequent letter(s) issued, shall be fulfilled to the satisfaction of the City Engineer.
4. The comments contained in the City Planner’s letter to the Planning Board dated April 9, 2020, and all comments in any subsequent letter(s) issued, shall be fulfilled to the satisfaction of the City Planner.
5. All existing and proposed easements, as applicable, shall be shown on the Final Subdivision Plat to the satisfaction of the City Engineer and City Attorney. Proposed easement agreements, declarations of restrictive covenants or other appropriate documents corresponding with the easements and notes shown on the Final Subdivision Plat shall be prepared, as applicable, and submitted to the City Attorney for review as to form and shall be recorded in the Dutchess County Clerk’s Office simultaneously with the Subdivision Plat, with a copy of the recorded documents submitted to the City Clerk for filing.

When the conditions above have been satisfied, six (6) sets of the above referenced plans revised as per the conditions above shall be submitted for endorsement by the Planning Board Chairman. One set of the endorsed plans will be returned to the Applicant, one set will be retained by the City Clerk, one set will be provided to the Planning Board, and one set each will be forwarded to the Building Inspector, City Engineer and City Planner.

**B. The following conditions shall be fulfilled prior to the signing of the Site Plan by the Chairman of the Planning Board.**

1. All application review fees shall be paid in full.
2. The Applicant shall seek and obtain all required permits and/or approvals from the appropriate agencies for the Project, including but not necessarily limited to approval from the Dutchess County Department of Health, and shall meet all conditions contained in such approvals, as required therein.
3. The comments contained in the City Engineer's letter to the Planning Board dated April 9, 2020, and all comments in any subsequent letter(s) issued, shall be fulfilled to the satisfaction of the City Engineer.
4. The comments contained in the City Planner's letter to the Planning Board dated April 9, 2020, and all comments in any subsequent letter(s) issued, shall be fulfilled to the satisfaction of the City Planner.

When the conditions above have been satisfied, six (6) sets of the above referenced plans revised as per the conditions above shall be submitted for endorsement by the Planning Board Chairman. One set of the endorsed plans will be returned to the Applicant, one set will be retained by the City Clerk, one set will be provided to the Planning Board, and one set each will be forwarded to the Building Inspector, City Engineer and City Planner.

**C. The following are general conditions which shall be fulfilled:**

1. All conditions, set forth in any previous Planning Board Resolution related to the Property, and not superseded herein, shall remain in full force and effect.
2. The Building Inspector and the City Engineer shall have the right to direct the Applicant to cause the placement, cleaning and/or repair of sedimentation and erosion control devices wherever and whenever deemed necessary during construction.
3. The Applicant shall be responsible for the payment of all application review costs incurred by the City in its review and approval of this project. Such fees shall be paid by the Applicant within thirty (30) days of each notification by the City that such fees are due. If such fees are not paid within said thirty (30) day period, and an extension therefore has not been granted by the City, this resolution shall be rendered null and void.
4. As used herein, the term "Applicant" shall include its heirs, successors and assigns, and where applicable its contractors and employees.

5. If any of the conditions enumerated in this resolution upon which this approval is granted are found to be invalid or unenforceable, then the integrity of this resolution and the remaining conditions shall remain valid and intact.
6. The approvals granted by this resolution do not supersede the authority of any other entity.
7. This approval is conditioned upon compliance with all of the mitigation measures specified in the Applicant's Environmental Assessment Form. The Applicant shall be responsible for the funding and/or implementation of all such identified mitigation measures. Where the terms of this Resolution may be inconsistent with the EAF, the terms of this Resolution shall be controlling.
8. Conditional approval of the Final Subdivision Plat shall expire one hundred eighty (180) days from the date of the adoption of this resolution unless all items in Condition A above have been certified as completed and the Final Plat has been submitted for endorsement by the Planning Board Chairman, or unless a written request for an extension of Final Subdivision Plat Approval is granted. The Planning Board may grant ninety (90) day extensions to said time period.
9. Once the Final Subdivision Plat has been endorsed by the Planning Board Chairman, said plat must be filed in the Dutchess County Clerk's Office within sixty-two (62) days. After said filing, two (2) copies of the Final Plat certified by Dutchess County shall be submitted to the Planning Board Secretary. One (1) certified copy of the Final Plat shall be retained by the Planning Board and the other certified copy shall be transmitted to the City Clerk along with a signed copy of this resolution and proof of recording of the easement documents described above.
10. Any proposed revision to the approved Subdivision or Site Plan Drawings, except revisions determined by the Building Inspector and City Engineer to be field changes, shall be submitted to the Planning Board. The Planning Board, in its discretion, shall determine the appropriate procedures for consideration of the proposed revision, and whether such revision is material enough to require further environmental analysis and/or further project review, as the Board may deem appropriate.

Resolution Adopted: April 14, 2020

Beacon, New York

5102/15/708557v1 4/11/20

\_\_\_\_\_  
John Gunn Chairman  
City of Beacon Planning Board

\_\_\_\_\_  
Date

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_:

Kevin Byrne

Voting:

Leonard Warner

Voting:

Rick Muscat

Voting:

J. Randall Williams

Voting:

Karen Quiana

Voting:

John Gunn, Chairman

Voting:

Jill Reynolds

Voting:

Resolution: \_\_\_\_\_

**City of Beacon Planning Board**  
**4/14/2020**

**Title:**

**160 Rombout Avenue**

**Subject:**

Public hearing on application for Subdivision Approval (2-lot residential), 160 Rombout Avenue, submitted by Karic Associates, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
160 Rombout Response Letter	Cover Memo/Letter
160 Rombout Subdivision Plan Set	Plans
160 Rombout Drainage Report	Backup Material
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment
Negative Declaration Draft	EAF
EAF Narrative	EAF
Draft Resolution of Subdivision Approval	Resolution





*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508 (Main Office and Mailing Address)  
13 Chambers Street, Newburgh, New York 12550 (Satellite Office)  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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March 31, 2020

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 160 Rombout Avenue  
Tax IDs: 5954-35-853796 ( $\pm 0.33$  acres)  
Lots 8, 9 & 10 of Filed Map 579  
City of Beacon, New York

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the subdivision plan set and the Engineer's Drainage Report in response to Lanc & Tully's March 4, 2020 comment letter and John Clarke Planning and Design's March 6, 2020 comment letter. Below is a point-by-point response to the comments received.

**Lanc & Tully's March 4, 2020 Comment Letter:**

**General Comments:**

1. A maintenance agreement for the infiltration basin will be provided once the design concept has been approved.

**Subdivision Plat:**

1. Comment is duly noted. The final plans will be signed by a licensed surveyor as appropriate.
2. We believe that the existing utilities shown match those additional components per the City's improvement plans for Rombout Avenue. The previously shown sewer main has been removed in accord with the improvement plan.
3. There are fence encroachments on both the north and east property lines. The applicant is attempting to have discussions with the adjacent property owners to determine the disposition (re-setting the fence on the line, removing, easement, etc.). Fence

encroachments are shown on the plan in red for ease of review. We hope to have made headway by the April planning board meeting.

**Subdivision Plan:**

1. See previous response regarding utilities.

**Construction Details:**

1. Construction details and notation have been provided on the plan. The intent is to provide an infiltration basin with a modified bottom covering of hardwood mulch (similar to a bioretention area). We feel that this will help maintain the infiltrative capacity of the underlying soils.
2. The underground stormwater details have been removed.
3. A detail has been added regarding landscaping for the infiltration basin.
4. Maintenance notes have been added to the plans. If approved, they will be added to the maintenance agreement.

**Drainage Report:**

1. The revised engineer's report provides an in-depth discussion of the stormwater design point 1 located along the northern boundary of the property.

**John Clarke Planning and Design's March 6, 2020 Comment Letter:**

1. The project information table has been revised to show the subject parcel is 0.33 acre.
2. Sheet CD-1 has a wood stockade fence detail.
3. The driveway provides for two parking spaces, with an area for either car to back into in order to drive forward out of the driveway. We believe that the configuration works and would not like to add more impervious area to the driveway.

Please note that this submittal is being made via email to Etha Grogan (egrogan@cityofbeacon.org) and includes pdf files of the revised Subdivision Plan Set (4 Sheets) and the Engineer's Drainage Report. We look forward to discussing the project at the next planning board meeting, for which a public hearing has been scheduled. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Daniel G. Koehler, P.E  
Principal

cc: Applicant (via email)  
Michael A. Bodendorf, P.E. (HLD File)

**SURVEY NOTES:**

1. MAP REFERENCE: FILED MAP 579, LOTS 8,9,&10.
2. SURVEYED AS PER RECORD DESCRIPTIONS AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHTS OF WAY THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.

**MAP REFERENCE:**

1. "EXISTING CONDITIONS SURVEY OF 160 ROMBOUT AVE" DATED NOVEMBER 21, 2019 AS PREPARED BY JOHN J. POST JR., LAND SURVEYOR, N.Y.S. LICENSE NO. 50643.

**TOTAL PARCEL AREA:**

±14,500.5 S.F. OR ± 0.33 ACRE

**TAX MAP REFERENCE:**

CITY OF BEACON 5954-35-853796

**VERTICAL DATUM:**

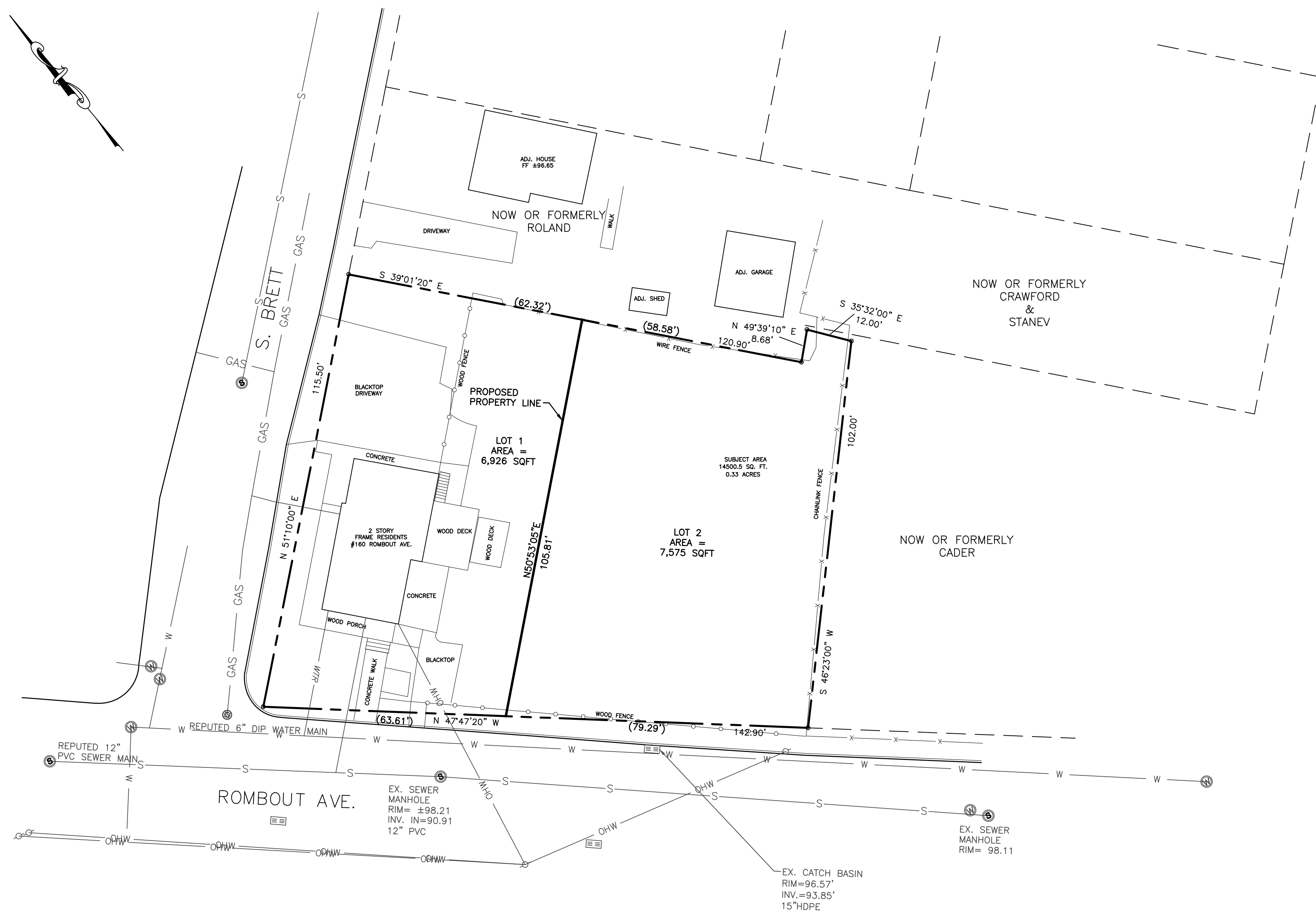
ASSUMED

**FLOOD BOUNDARY:**

1. SUBJECT PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) PER PANEL 36027C0463E DATED MAY 2, 2012.

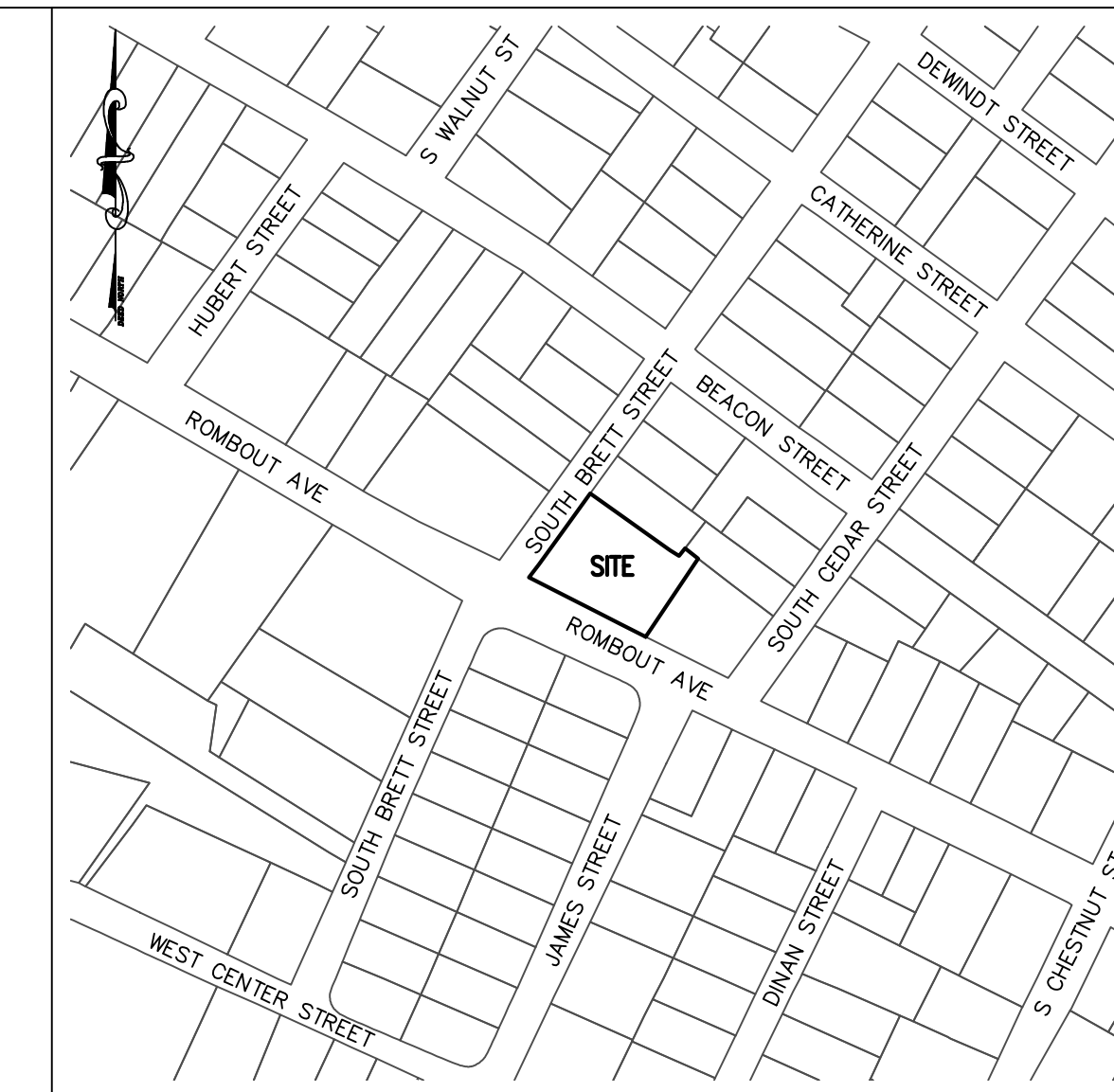
**WETLAND NOTE:**

1. NO NYSDEC OR FEDERAL WETLANDS WERE FOUND ONSITE.



**LEGEND:**

- EXISTING PROPERTY LINE
- ADJOINING PROPERTY LINE
- 95 --- EXISTING MAJOR CONTOUR
- 94 --- EXISTING MINOR CONTOUR
- x x x EXISTING CHAINLINK FENCE
- o o o EXISTING WOOD FENCE
- W --- EXISTING WATER LINE
- S --- EXISTING SEWER LINE
- GAS --- EXISTING GAS LINE
- OHW --- EXISTING OVERHEAD WIRE
- ⊗ EXISTING WATER VALVE
- ⊕ EXISTING SEWER MANHOLE
- ⊗ EXISTING CATCH BASIN
- ⊕ EXISTING GAS VALVE
- ⊗ EXISTING UTILITY POLE
- - - PROPOSED PROPERTY LINE



**SITE LOCATION MAP** SCALE: 1" = 200'

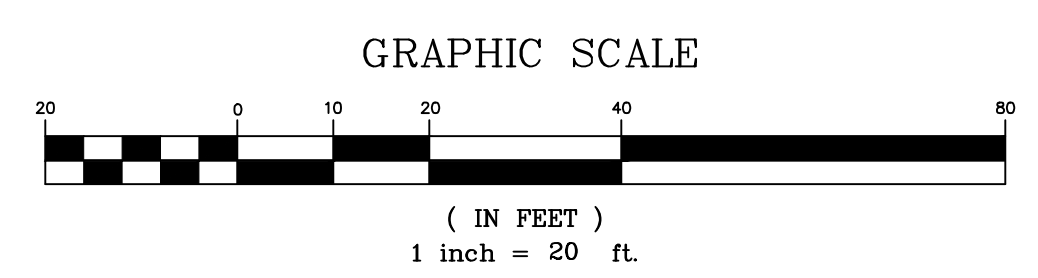
**PROJECT INFORMATION:**

PARCEL OWNER:	KARIC ASSOCIATES, LLC; 4 SCHOEN LANE, NEW ROCHELLE, NY 10804
ENGINEER OF RECORD:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
SURVEYOR OF RECORD:	JOHN J. POST JR., PO BOX 827, STONE RIDGE, NY 12484 (P) 845-331-3931
PROJECT LOCATION:	160 ROMBOUT AVENUE, BEACON NY 12508
TAX PARCEL ID:	CITY OF BEACON: 5954-35-853796
PARCEL AREA:	0.33 ACRES TOTAL
ZONING DISTRICT:	R1-5 ZONING DISTRICT
POTABLE WATER SUPPLY:	MUNICIPAL WATER
SEWAGE DISPOSAL:	MUNICIPAL SEWER

**SCHEDULE OF REGULATIONS (R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	5,000 SQUARE FEET MIN	6,926 S.F.	7,575 S.F.
LOT WIDTH:	50 FEET MINIMUM	62.6 FEET	74.9 FEET
LOT DEPTH:	100 FEET MINIMUM	105.4 FEET	101.0 FEET

**PRELIMINARY SUBDIVISION PLAT**  
SCALE: 1" = 20'



**DCDOH STANDARD NOTE:**

**FOR PERMISSION TO FILE**  
THIS PLAN DOES NOT CONSTITUTE A REALTY SUBDIVISION AS DEFINED BY ARTICLE XI, TITLE II, SECTION 1115 OF THE PUBLIC HEALTH LAW OF THE STATE OF NEW YORK, AND ARTICLE XI OF THE DUTCHESS COUNTY SANITARY CODE. PERMISSION IS HEREBY GRANTED FOR THE FILING OF THIS MAP WITH THE CLERK OF DUTCHESS COUNTY. APPROVAL FOR ARRANGEMENTS FOR WATER SUPPLY AND/OR SEWAGE DISPOSAL IS NEITHER SOUGHT NOR GRANTED.

AUTHORIZED REPRESENTATIVE OF THE COMMISSIONER OF HEALTH \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_  
\_\_\_\_\_  
CHAIRMAN  
\_\_\_\_\_  
SECRETARY  
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**OWNER'S CONSENT:**

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON NOVEMBER 21, 2019.

KARIC ASSOCIATES LLC \_\_\_\_\_ DATE \_\_\_\_\_ BY: John J. Post, Jr., L.L.S. N.Y. State Lic. no. 50643

**DRAWING INDEX:**

- SHEET 1: PRELIMINARY SUBDIVISION PLAT (PL-1)
- SHEET 2: PRELIMINARY SUBDIVISION PLAN (SP-1)
- SHEET 3: CONSTRUCTION DETAILS (CD-1)
- SHEET 4: CONSTRUCTION DETAILS & NOTES (CD-2)

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	2/25/2020	PER PLANNING BOARD COMMENTS	CMB				
2	3/31/2020	PER PLANNING BOARD COMMENTS	DGK				

BEFORE UNDERTAKING ANY DIGGING, DRILLING, BLASTING OR DISTURBANCE TO THE GROUND IN ANY WAY, FOR ANY REASON, ALL INDIVIDUALS MUST CONTACT  
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**HUDSON LAND DESIGN**  
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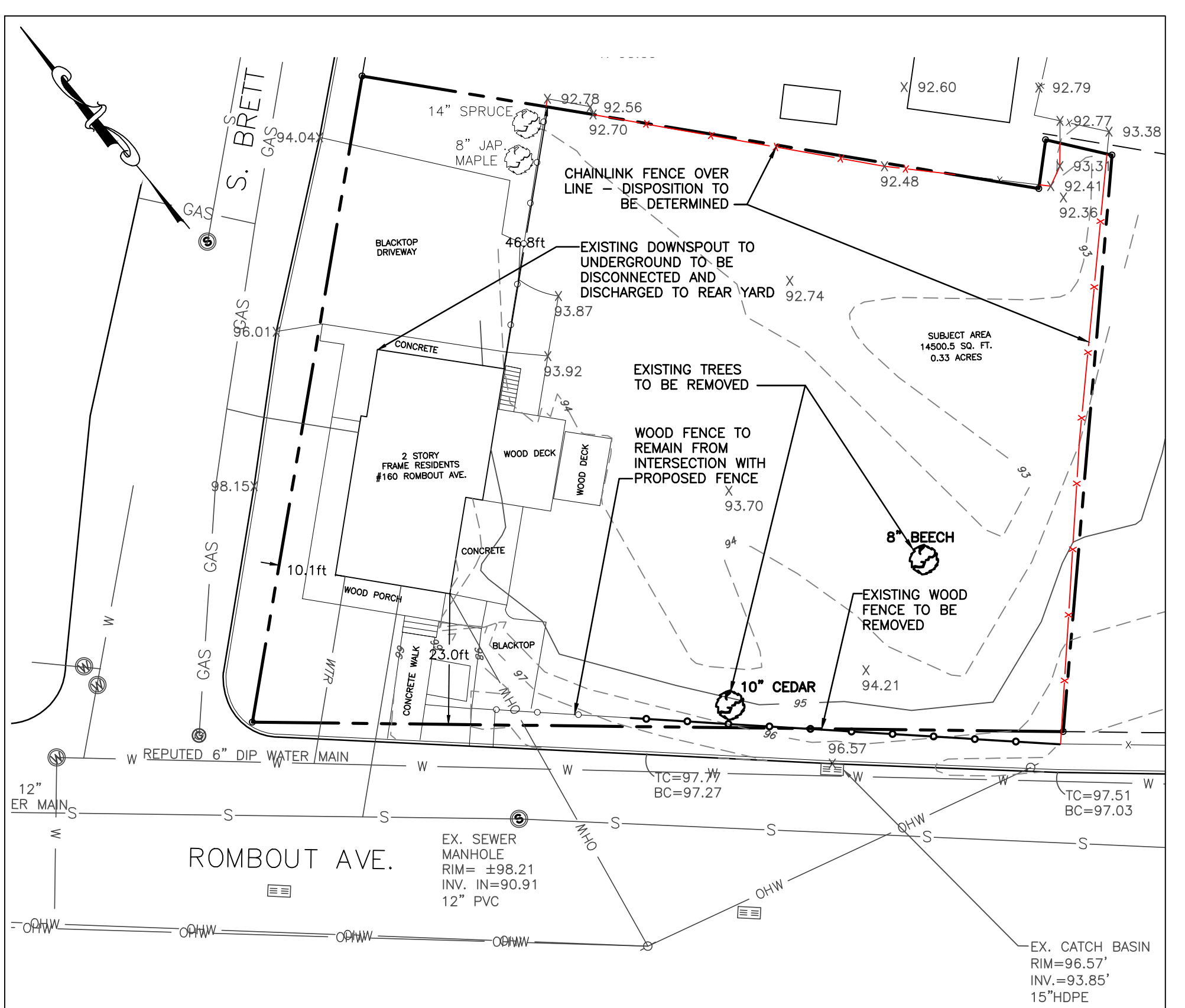
**PRELIMINARY SUBDIVISION PLAT**  
**160 ROMBOUT AVENUE SUBDIVISION**  
160 ROMBOUT AVENUE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5954-35-853796

JOB #:	2019-050
DATE:	12/31/19
SCALE:	1" = 20'
TITLE:	PL-1
SHEET:	1 OF 4

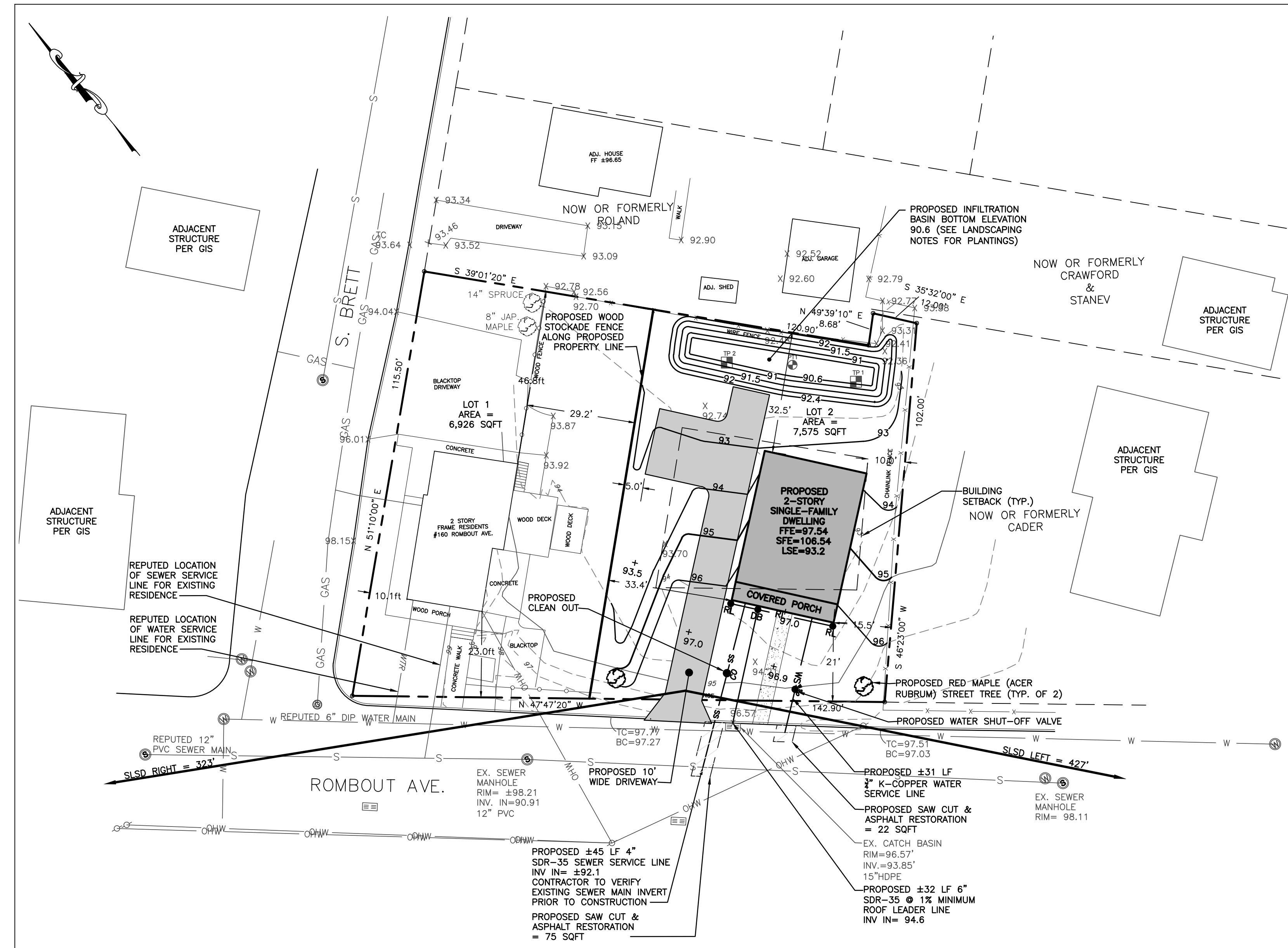
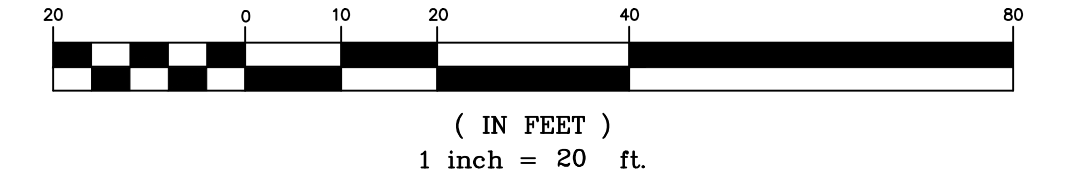


PROJECT INFORMATION:	
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SURVEYOR OF RECORD:	JOHN J. POST JR., P.O. BOX 827, STONE RIDGE, NY 12484 (P) 845-331-3931
PROJECT LOCATION:	160 ROMBOUT AVENUE, BEACON NY 12508
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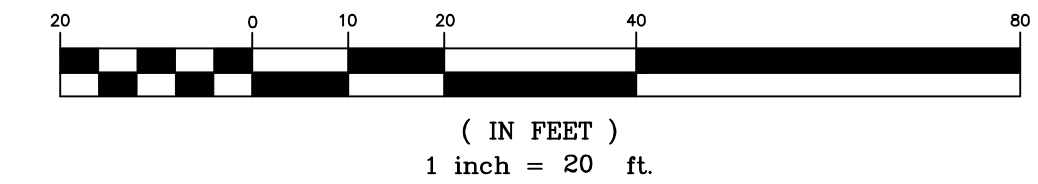
**MAP REFERENCES:**  
 1. EXISTING FEATURES AS SHOWN ON THIS SUBDIVISION PLAN PROVIDED BY MAPPING OBTAINED FROM JOHN J. POST JR., L.S. FROM NOVEMBER 21, 2019.



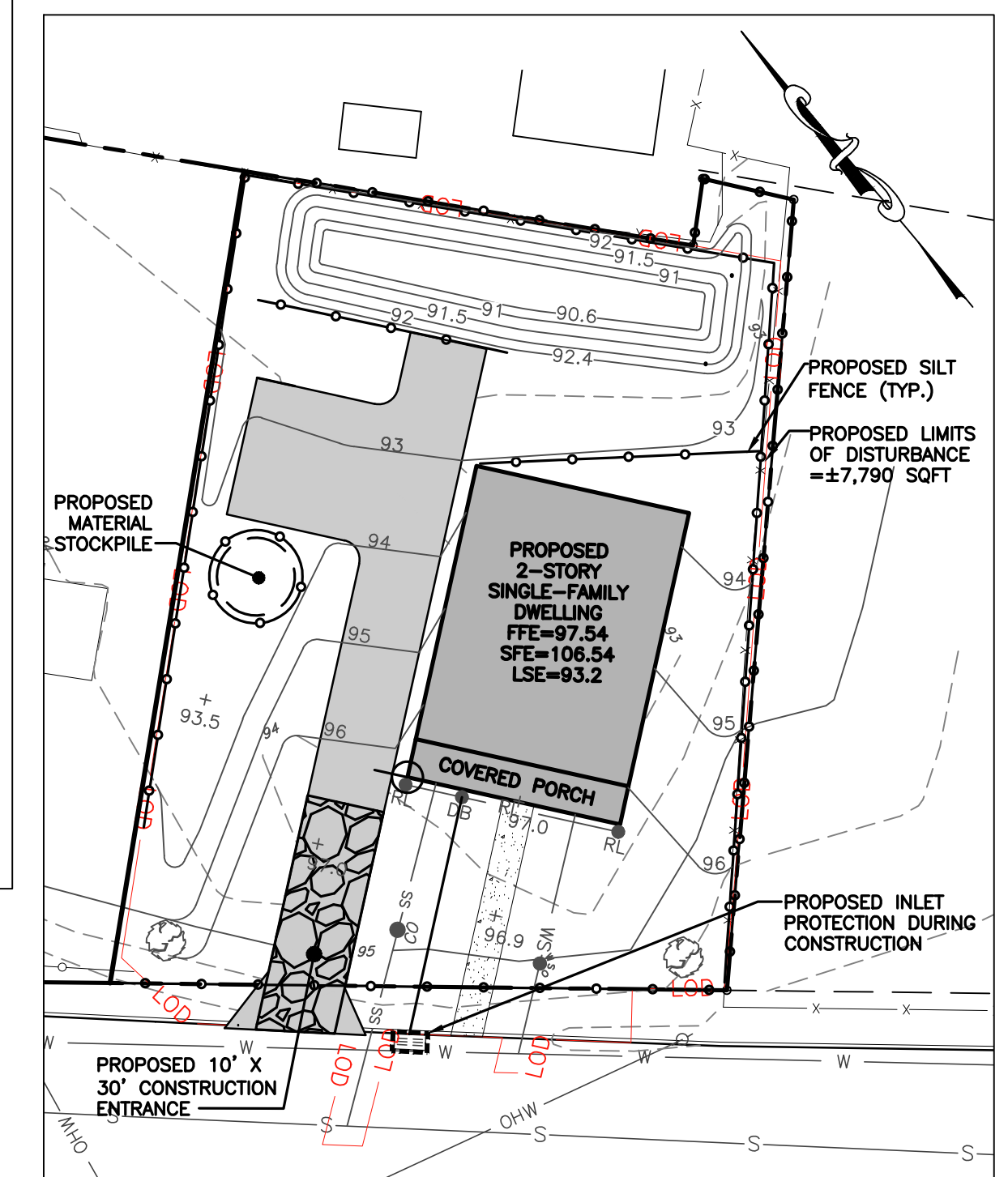
**EXISTING CONDITIONS & REMOVALS PLAN**  
 SCALE: 1" = 20'  
 GRAPHIC SCALE



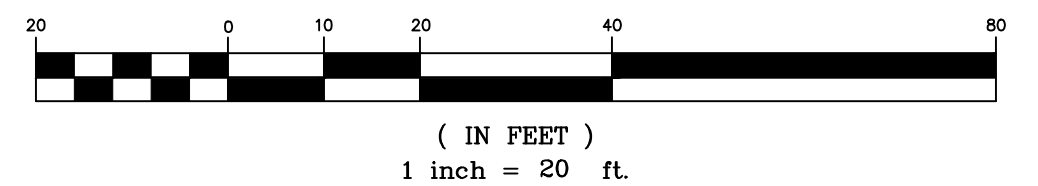
**PRELIMINARY SUBDIVISION PLAN**  
 SCALE: 1" = 20'  
 GRAPHIC SCALE



LEGEND:	
---	EXISTING PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
X-X-X	EXISTING CHAINLINK FENCE
W	EXISTING WOOD FENCE
W	EXISTING WATER LINE
S	EXISTING SEWER LINE
GAS	EXISTING GAS LINE
OHW	EXISTING OVERHEAD WIRE
W	EXISTING WATER VALVE
W	EXISTING SEWER MANHOLE
W	EXISTING CATCH BASIN
W	EXISTING GAS VALVE
W	EXISTING UTILITY POLE
---	PROPOSED PROPERTY LINE
---	SETBACK LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED SPOT ELEVATION
---	PROPOSED WATER SERVICE LINE
---	PROPOSED SWALE
---	PROPOSED ROOF LEADER PIPE
---	PROPOSED ROOF LEADER LOCATION
---	PROPOSED DRAIN BASIN LOCATION
---	PROPOSED CLEANOUT
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED IMPERVIOUS SERVICE
---	PROPOSED DEEP TEST PIT LOCATION
---	INFILTRATION TEST HOLE LOCATION
---	PROPOSED SILT FENCE
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED INLET PROTECTION
---	PROPOSED CONSTRUCTION ENTRANCE



**EROSION & SEDIMENT CONTROL PLAN**  
 SCALE: 1" = 20'  
 GRAPHIC SCALE



**SCHEDULE OF REGULATIONS (R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	5,000 SQUARE FEET MIN	6,926 S.F.	7,575 S.F.
LOT WIDTH:	50 FEET MINIMUM	62.6 FEET	74.9 FEET
LOT DEPTH:	100 FEET MINIMUM	105.4 FEET	101.0 FEET (AVG)
YARD SETBACKS (RESIDENTIAL USE):			
FRONT YARD:	30 FEET MINIMUM	23 FEET**	21.0 FEET**
SIDE YARD:	10 FEET MINIMUM	10.1 FEET***	10.0 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	39.3 FEET	43.4 FEET
REAR YARD:	30 FEET MINIMUM	46.8 FEET	32.5 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	N/A	N/A
REAR YARD:	5 FEET MINIMUM	N/A	N/A
MAX. BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET
MIN. BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12 FEET	>12 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	N/A
DWELLING UNITS PER LOT:	MAX 1	1	1

\*\* EXISTING, NON-COMFORMING  
 \*\*\* THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT #2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO HOUSES ALONG ROMBOUT AVE.)  
 \*\*\*\* LOT 1 IS A CORNER LOT. IT IS ASSUMED THAT THE FRONT YARD ALONG SOUTH BRETT STREET IS REDUCED TO 0.25 X LOT WIDTH = 15.7'. THE YARD FROM SOUTH BRETT STREET IS CURRENTLY NON-COMFORMING, AND REMAINS SO FOLLOWING SUBDIVISION.

DEEP TEST HOLE TABLE:		
DEEP TEST HOLE RESULTS ESTABLISHED ON 2/21/2020		
TEST PIT ID	EX. ELEVATION	DESCRIPTION
TP-A1	92.4	0'-2" TOPSOIL; 2'-16" SAND; 16"-18" ASH; 18"-60" SANDY CLAY LOAM GROUNDWATER @ 60", NO MOTTLING, NO BEDROCK
TP-A2	92.6	0'-2" TOPSOIL; 2'-16" SAND; 16"-18" ASH; 18"-60" SANDY CLAY LOAM GROUNDWATER @ 60", NO MOTTLING, NO BEDROCK

INFILTRATION TEST TABLE:		
INFILTRATION TESTS RESULTS ESTABLISHED ON 2/21/2020		
ALL TESTS PRESOAKED 24 HOURS PRIOR		
TEST ID	TEST HOLE BOTTOM ELEVATION	RESULTS
IT-1	90.4	11:31-11:57 24"/38 MINUTES; 11:58-12:36 24"/38 MINUTES; 12:37-13:15 24"/38 MINUTES

**OWNER'S CONSENT:**  
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

KARIC ASSOCIATES LLC \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
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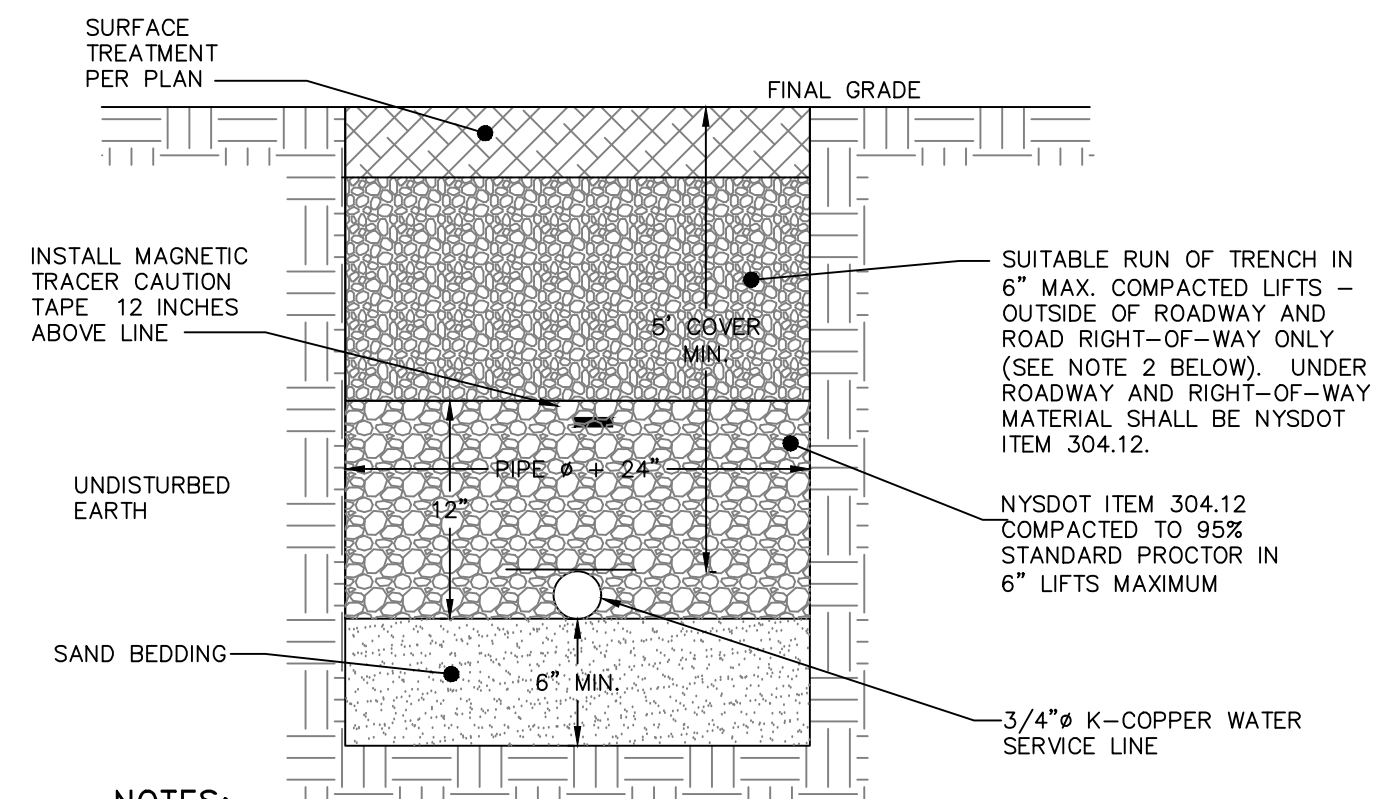


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**PRELIMINARY SUBDIVISION PLAN**  
 160 ROMBOUT AVENUE SUBDIVISION  
 160 ROMBOUT AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 5954-35-853796

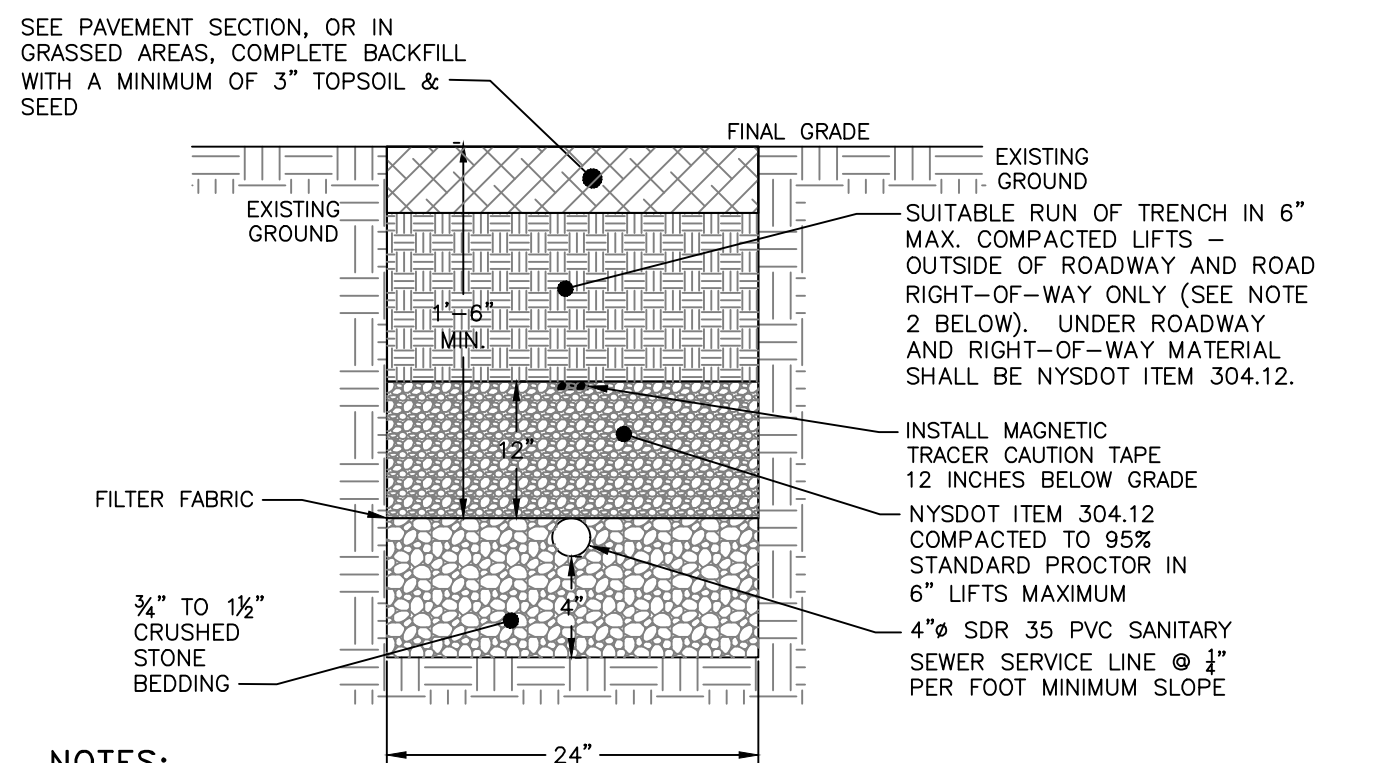
JOB #:	2019-050
DATE:	12/31/19
SCALE:	AS NOTED
TITLE:	SP-1
SHEET:	2 OF 4





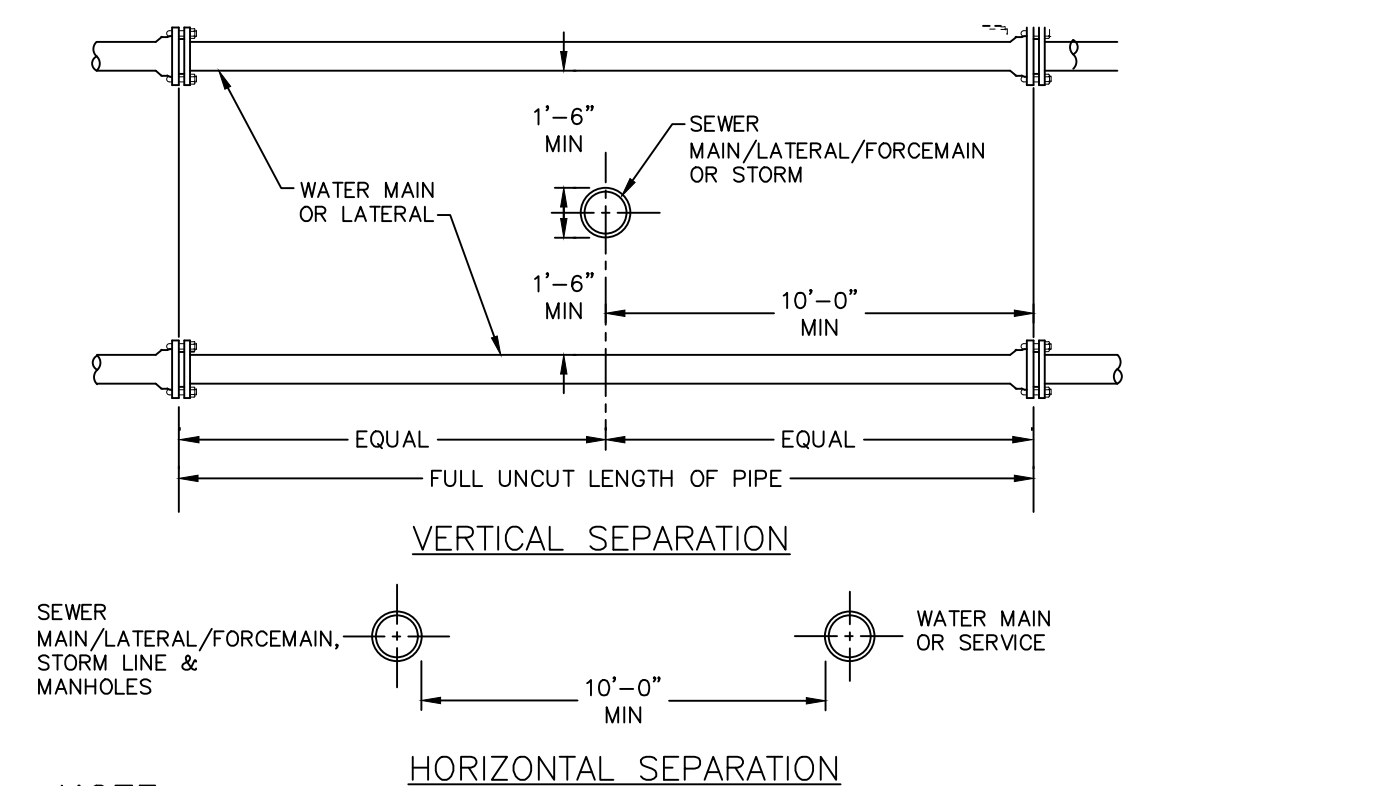
**NOTES:**  
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.  
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.  
 3. IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.  
 4. IF WATER SERVICE AND SEWER SERVICE LINE CROSSINGS ARE NEEDED, PROVIDE 18" OF VERTICAL SEPARATION

**WATER SERVICE LINE TRENCH DETAIL**  
NOT TO SCALE



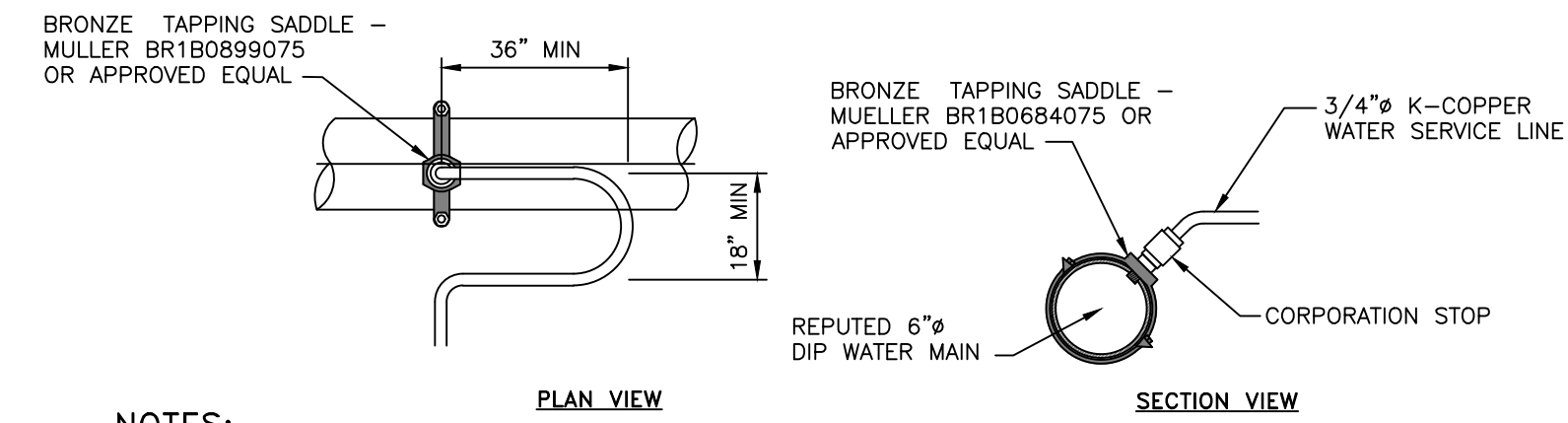
**NOTES:**  
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**SANITARY SEWER SERVICE LINE TRENCH DETAIL**  
NOT TO SCALE



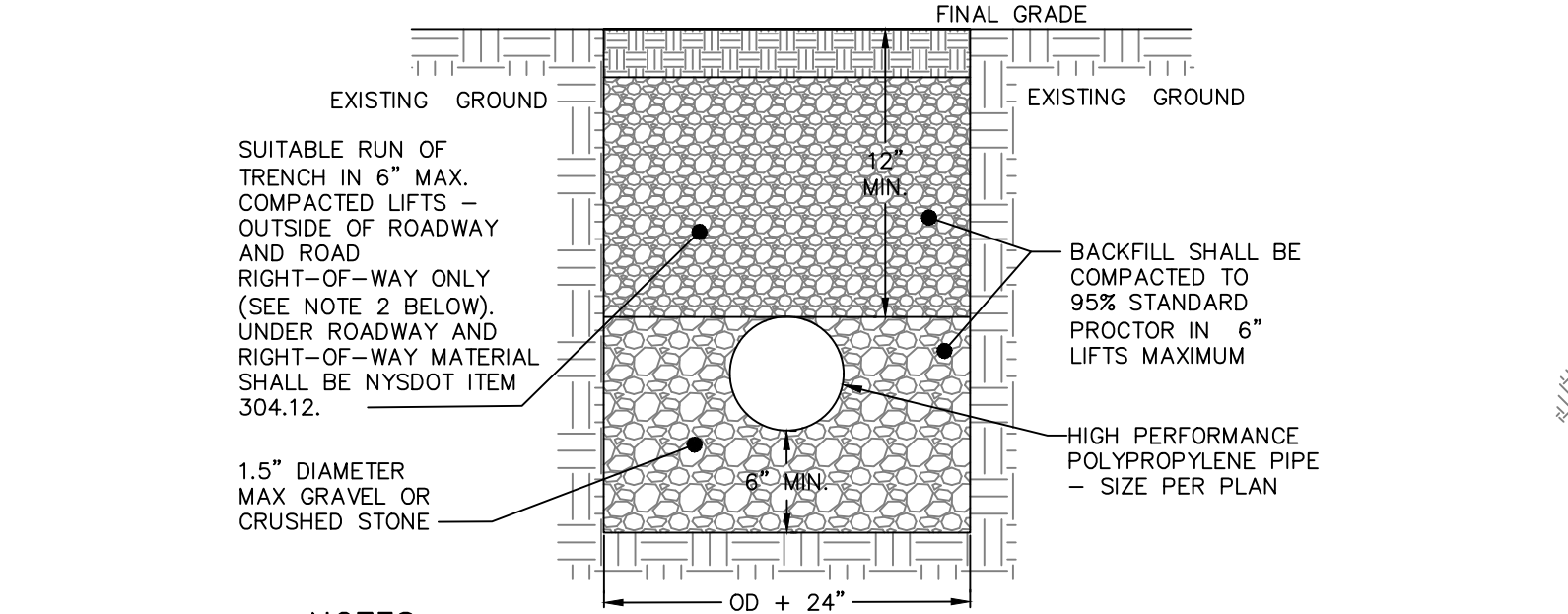
**NOTE:**  
 1. NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASUREMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

**WATER LINE SEPARATION DETAIL**  
NOT TO SCALE



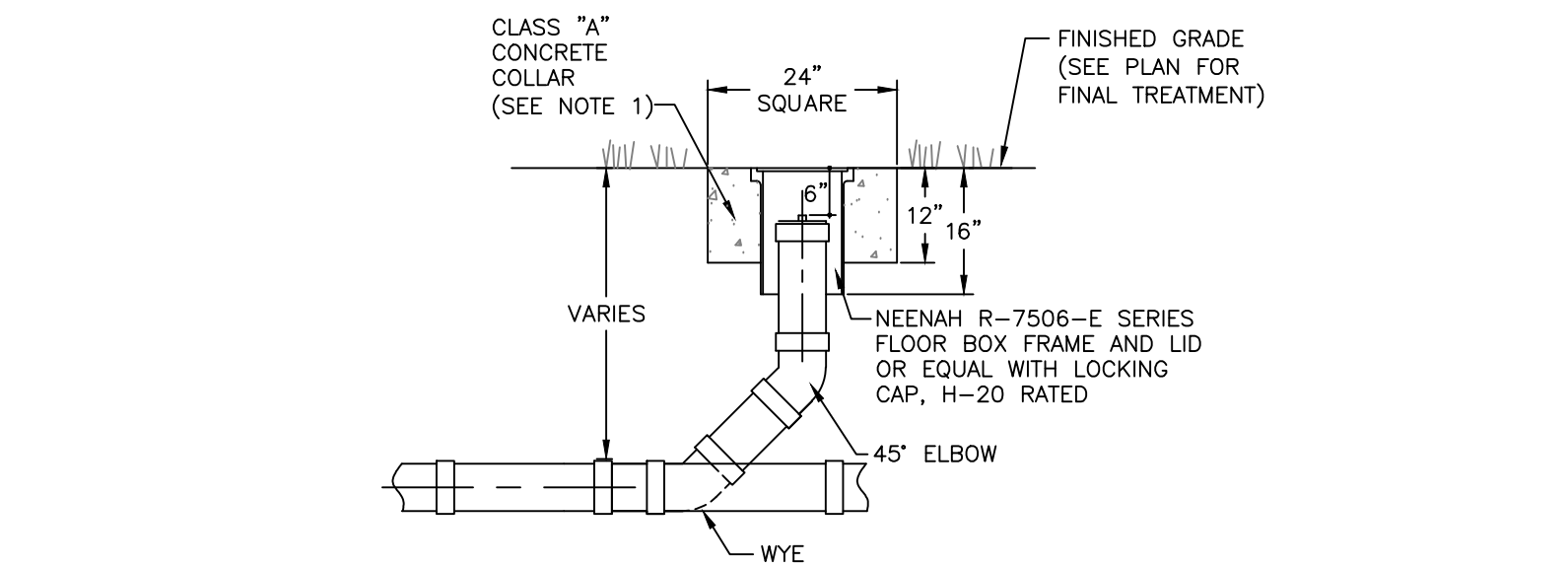
**NOTES:**  
 1. A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL 5' MIN. WATER MAIN DEPTH).  
 2. CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.  
 3. WATER SERVICE LINE TO HAVE A 'GOOSENECK' NEAR CORPORATION STOP.  
 4. CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.  
 5. THE CONTRACTOR SHALL INSTALL A FULL BODIED STAINLESS STEEL TAPPING SLEEVE AT THE PROPOSED WATER SERVICE LOCATION.

**WATER SERVICE CONNECTION DETAIL**  
NOT TO SCALE



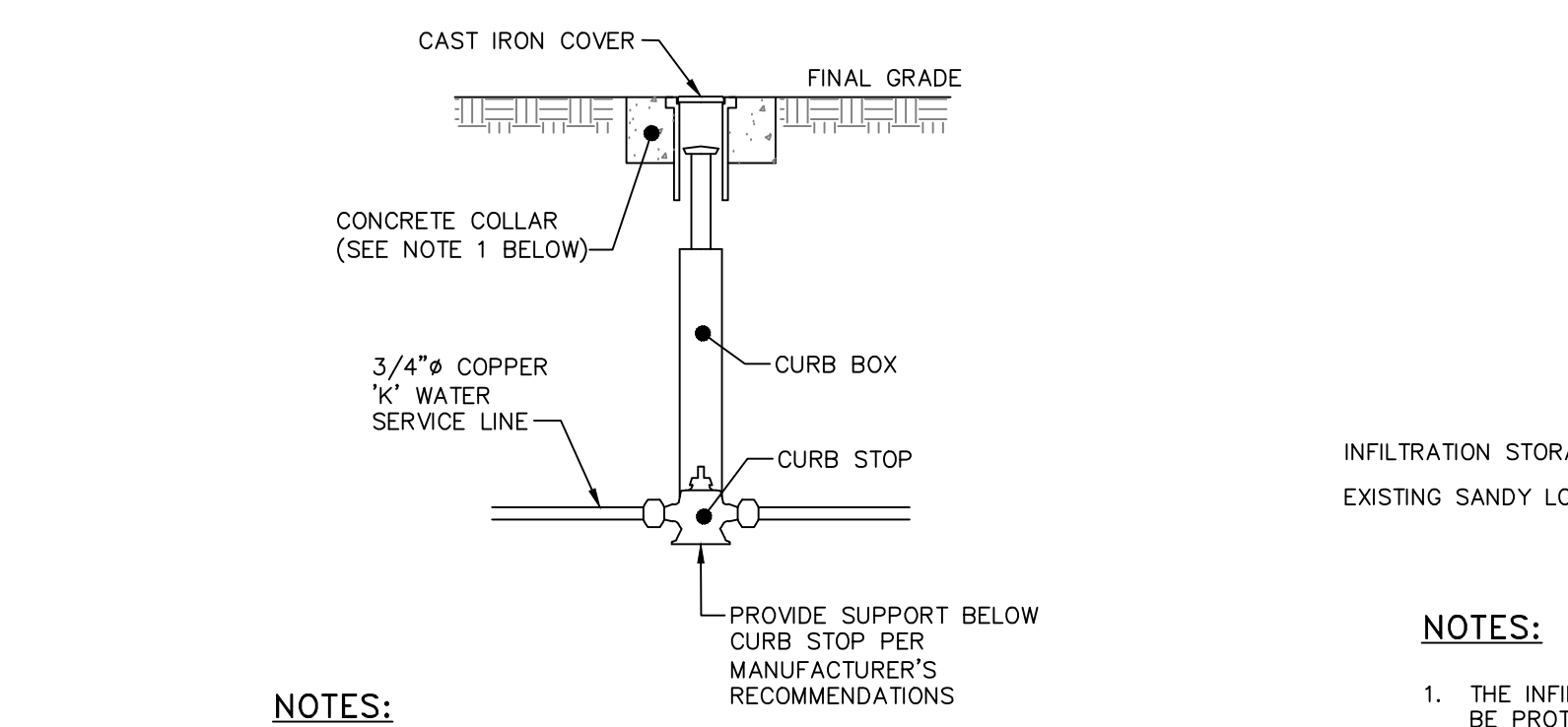
**NOTES:**  
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

**STORM LINE TRENCH DETAIL**  
NOT TO SCALE



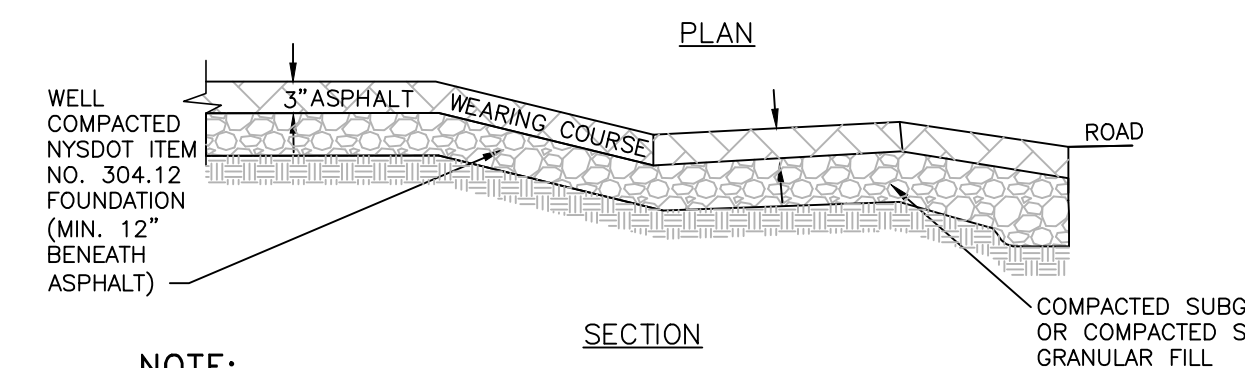
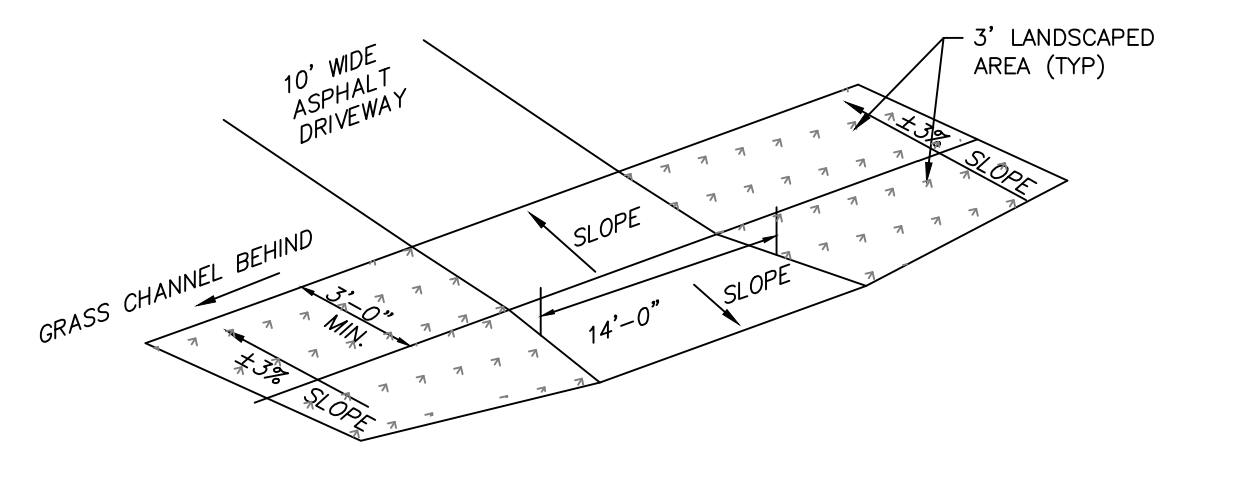
**NOTES:**  
 1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.

**CLEANOUT DETAIL**  
NOT TO SCALE



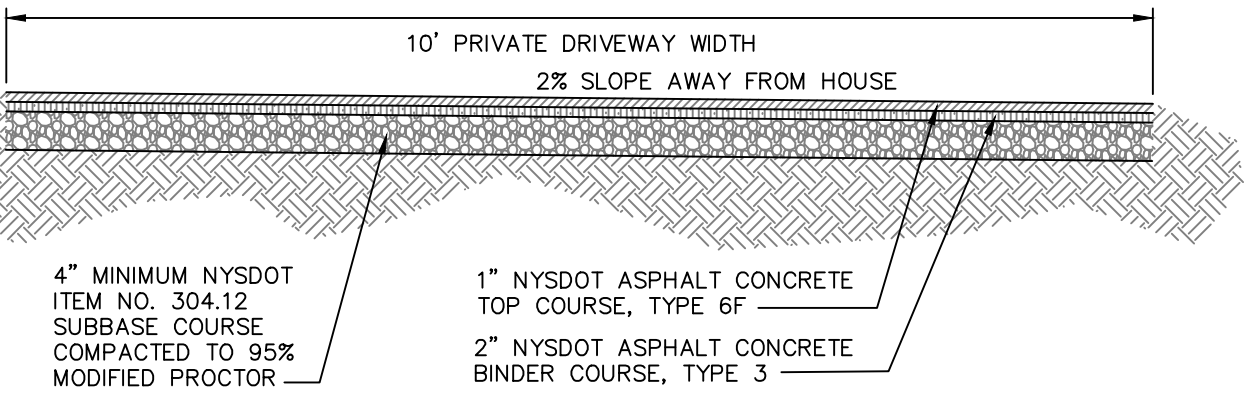
**NOTES:**  
 1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.  
 2. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.  
 3. AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.

**WATER SHUT-OFF VALVE DETAIL**  
NOT TO SCALE

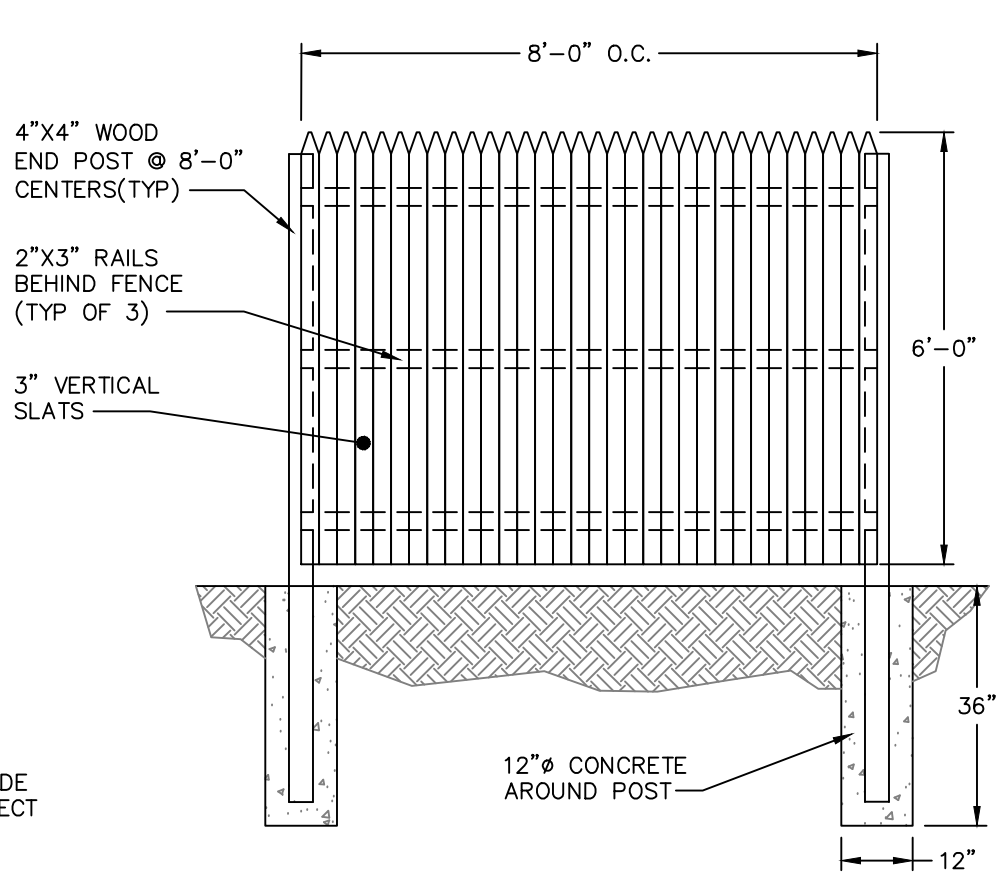


**NOTE:**  
 1. RESEED AND STABILIZE GRASS AREAS AFTER ASPHALT INSTALLATION.

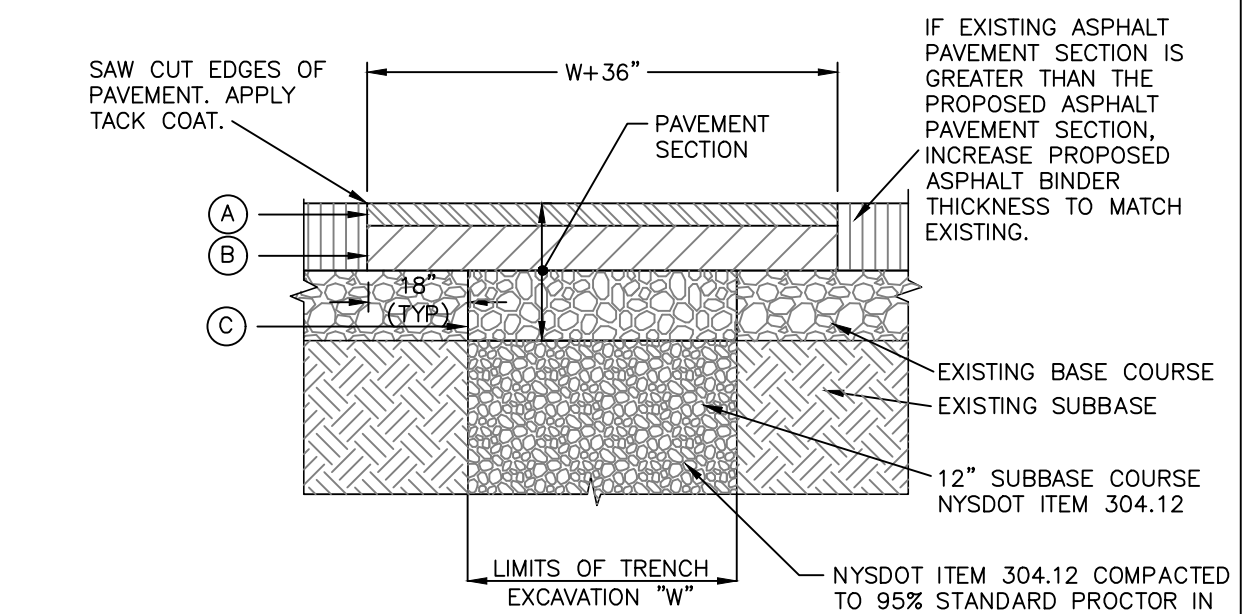
**LOT 2 DRIVEWAY ENTRANCE DETAIL**  
NOT TO SCALE



**PAVED DRIVEWAY SECTION DETAIL**  
NOT TO SCALE



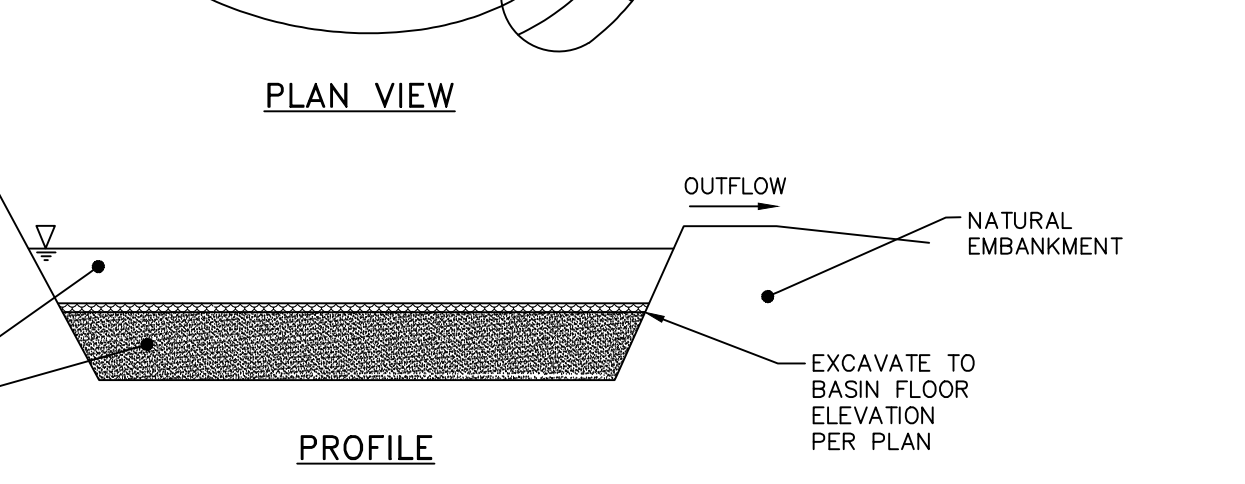
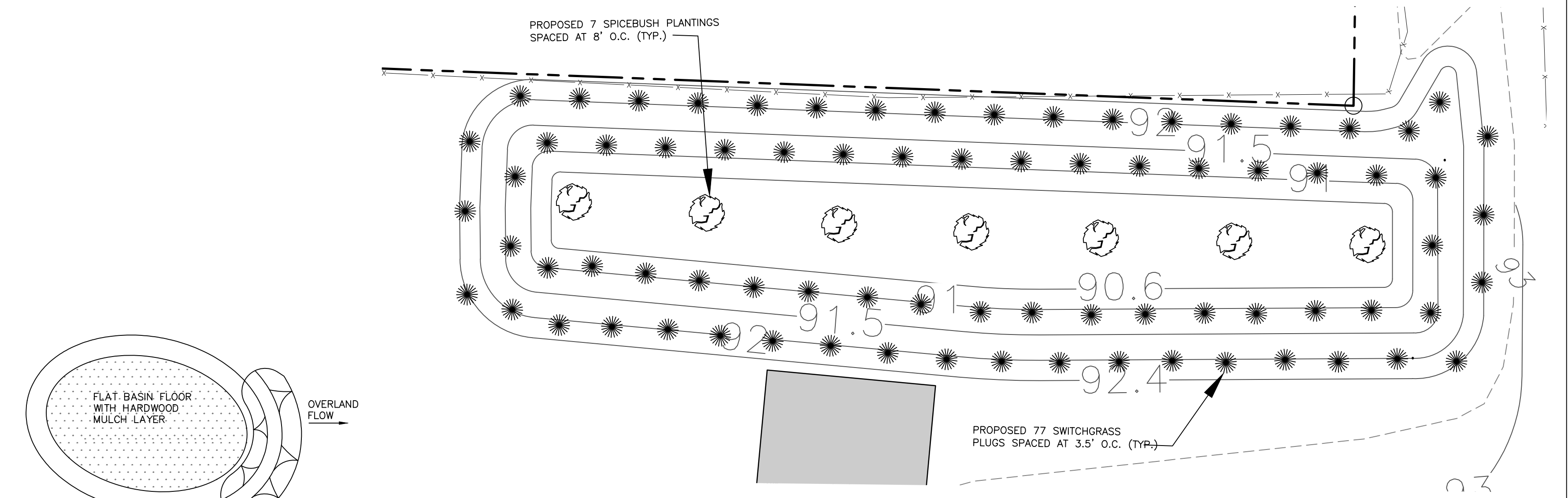
**WOOD STOCKADE FENCE DETAIL**  
NOT TO SCALE



**LEGEND**  
 (A) 1.5" ASPHALT CONCRETE TOP COURSE - NYSDOT TYPE F1  
 (B) 3.0" ASPHALT CONCRETE BINDER COURSE - NYSDOT TYPE F9  
 (C) 3.0" ASPHALT BASE COURSE - NYSDOT TYPE F9

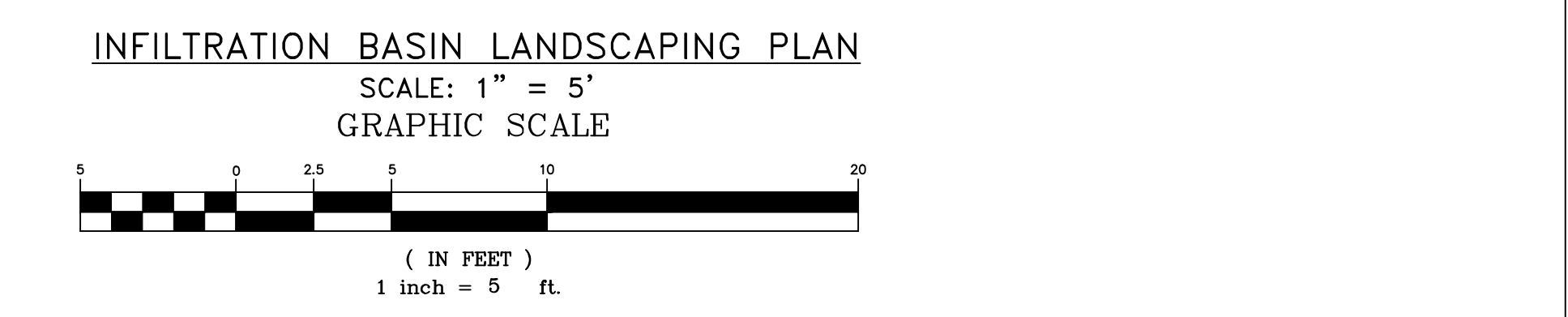
**NOTES:**  
 1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED, JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.  
 2. FURNISH, PLACE, AND COMPACT SUBBASE.  
 3. TACK COAT IN ACCORDANCE WITH NYSDOT STANDARD SPEC.  
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE



**NOTES:**  
 1. THE INFILTRATION BASIN SHALL NOT SERVE AS A SEDIMENT TRAP DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.  
 2. RELATIVELY LIGHT TRACKED EQUIPMENT IS RECOMMENDED FOR CONSTRUCTION PURPOSES TO AVOID COMPACTION OF THE BASIN FLOOR.  
 3. A HIGHLY POROUS SURFACE TEXTURE SHALL BE RETAINED ALONG THE BASIN FLOOR, ESPECIALLY WITHIN THE AREA IDENTIFIED AS BEING USED FOR INFILTRATION.  
 4. PROVIDE A 4" LAYER OF HARDWOOD MULCH OVER THE BASIN FLOOR.

**TYPICAL INFILTRATION BASIN DETAIL**  
NOT TO SCALE

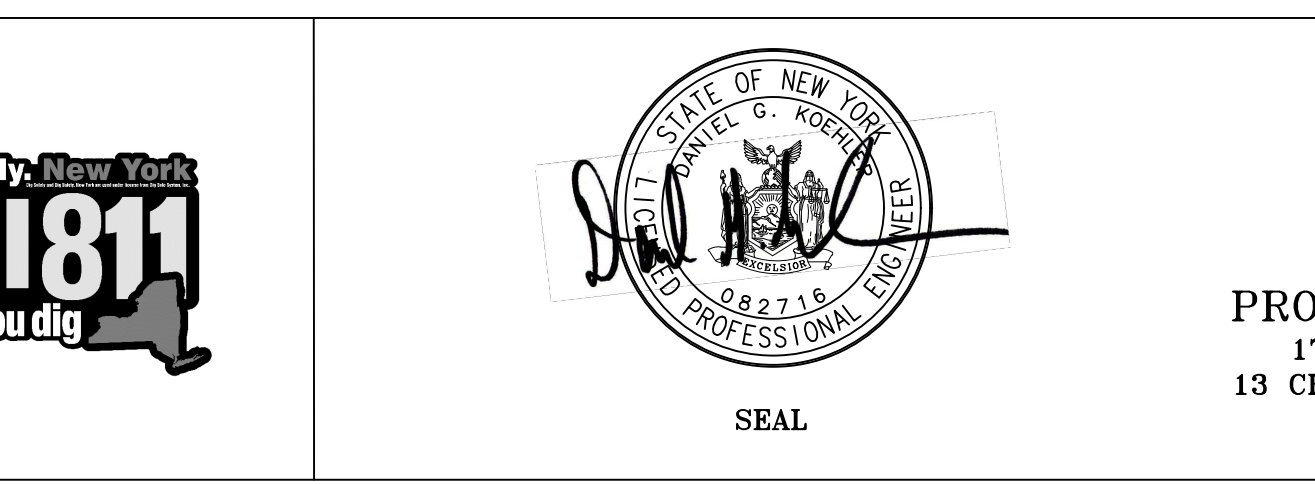


**INFILTRATION BASIN MAINTENANCE SCHEDULE:**

PRACTICE	INSPECTION	MAINTENANCE REQUIRED
INFILTRATION BASIN	SHORT TERM (MONTHLY)	INSPECT FOR SEDIMENTATION, WATER AND WEED AS NECESSARY, REMOVE DEAD OR DYING PLANTS, INSPECT FOR EROSION
	LONG TERM (YEARLY)	REMOVE SEDIMENT BUILD-UP, REPLACE MULCH AS NECESSARY, SCARIFY ±6" EXISTING SANDY LOAM IF WATER PONDS MORE THAN 48 HOURS, REPLACE ANY DYING PLANTINGS, REMOVE INVASIVE SPECIES.

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	2/25/2020	PER PLANNING BOARD COMMENTS	CMB				
2	3/31/2020	PER PLANNING BOARD COMMENTS	DGK				

BEFORE UNDERTAKING ANY DIGGING, DRILLING, BLASTING OR DISTURBANCE TO THE GROUND IN ANY WAY, FOR ANY REASON, ALL INDIVIDUALS MUST CONTACT  
 DIG SAFELY NEW YORK  
 AT  
 811 OR WWW.CALL811.COM

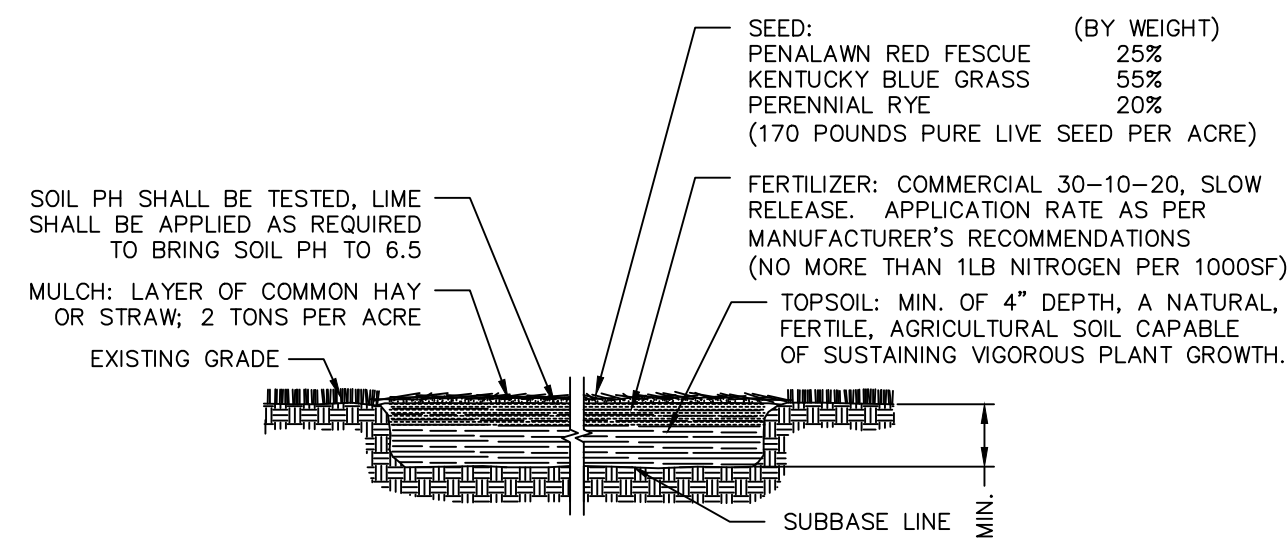


**HUDSON LAND DESIGN**  
 HUDSON LAND DESIGN  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN ST., BEACON, NEW YORK 12508  
 13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
 PH: 845-440-6926  
 F: 845-440-6637

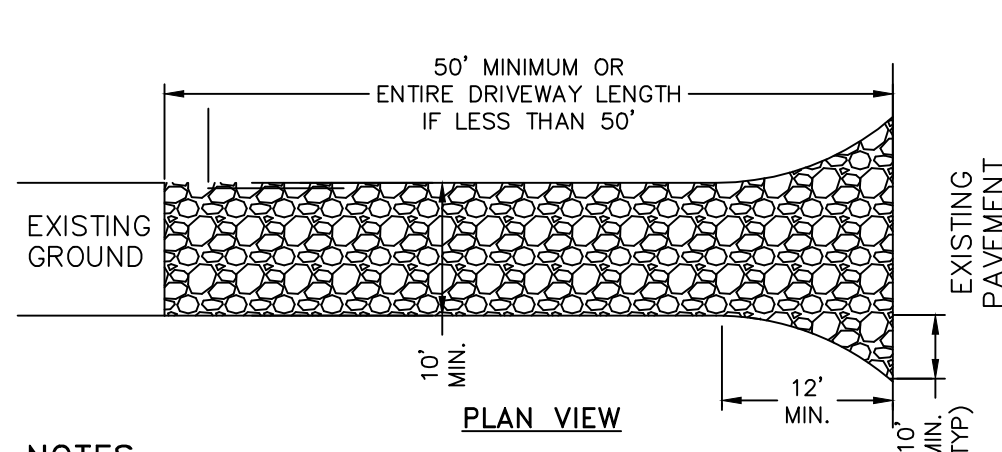
**CONSTRUCTION DETAILS**  
 160 ROMBOUT AVENUE SUBDIVISION  
 160 ROMBOUT AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 5954-35-853796

JOB #: 2019-050  
 DATE: 12/31/19  
 SCALE: AS SHOWN  
 TITLE: CD-1  
 SHEET: 3 OF 4



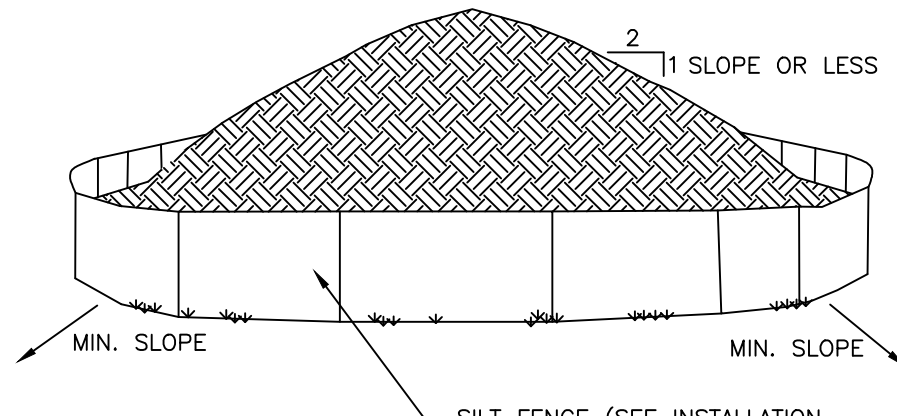


**TOPSOIL SEED, FERTILIZER AND MULCH DETAIL**  
NOT TO SCALE



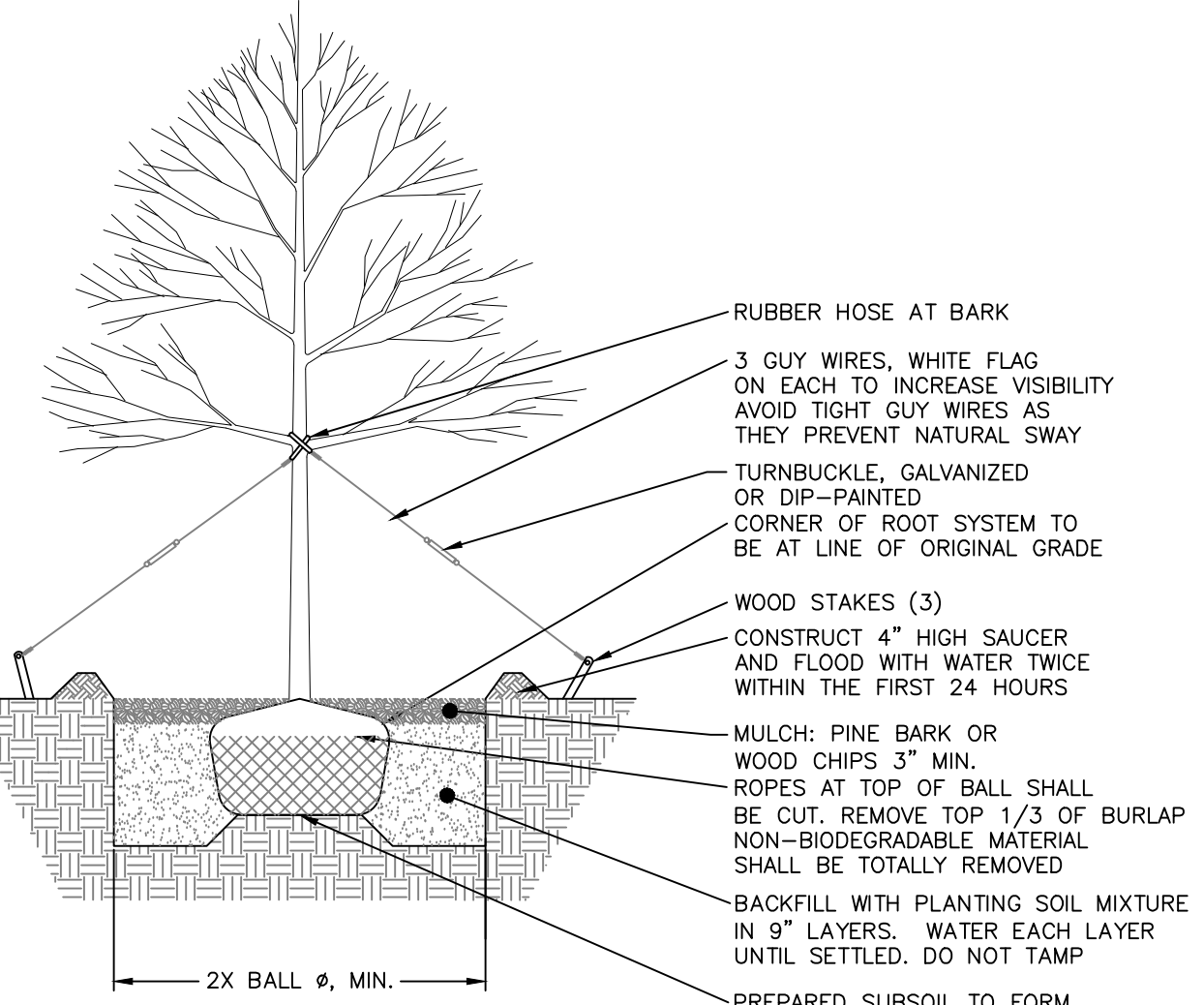
- NOTES:**
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



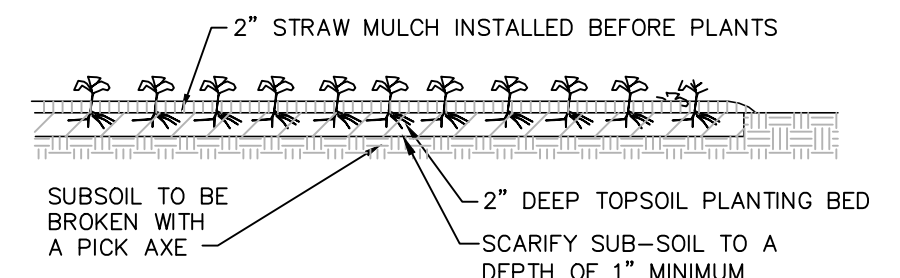
- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  - EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

**TEMPORARY SOIL STOCKPILE DETAIL**  
NOT TO SCALE



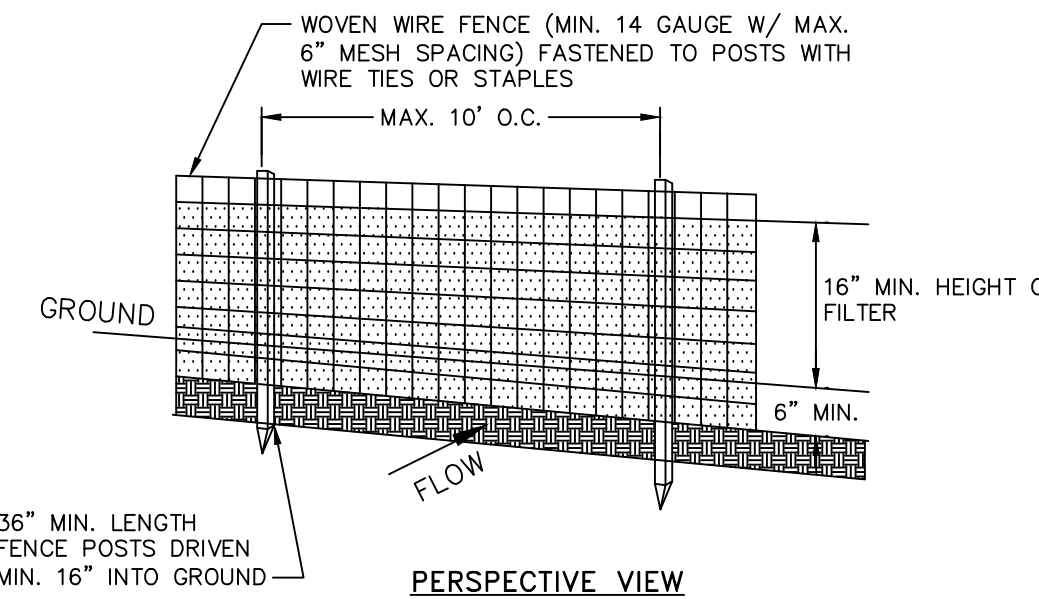
- NOTES:**
- PROPOSED TREES TO BE RED MAPLE. REFER TO SHEET 2 PLANS FOR LOCATIONS.

**TREE PLANTING DETAIL**  
NOT TO SCALE



- NOTES:**
- HERBACEOUS PLANTS SHOULD BE PEAT POT GROWN. PLANT PLUGS WITH PEAT POT INTACT.
  - REMOVE ALL UNDESIRABLE PLANTS OR WEEDY VEGETATION FROM THE PLANTING BED.
  - HERBICIDES SHALL NOT BE USED TO REMOVE EXISTING WEED GROWTH
  - PREPARE BED BY TILLING THE SOIL ONE INCH DEEP 5 TO 7 DAYS AFTER A RAINFALL EVENT. THEN PREPARE PLANTING SOIL.
  - PLANTING SHALL TAKE PLACE IMMEDIATELY AFTER SOIL PREPARATION IF NECESSARY. UTILIZE JUTE NETTING TO STABILIZE SOIL UNTIL PLANTING CAN BE ACCOMPLISHED.

**PLUG PLANTING DETAIL**  
NOT TO SCALE



- NOTES:**
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
  - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIRANCE OR APPROVED EQUAL
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**  
NOT TO SCALE

**EROSION AND SEDIMENT CONTROL NOTES:**

- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY PILE OF POTENTIALLY EROSION MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THIS PLAN.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
- THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

**INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES**

- PERMANENT AND TEMPORARY VEGETATION:**  
 INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE:**  
 INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.
- SILT FENCE:**  
 INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
- SOIL STOCKPILE:**  
 INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.
- DUST CONTROL:**  
 SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED, REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

**INDIANA BAT PROTECTION NOTES:**

- TREE CLEARING SHALL BE RESTRICTED TO THE PERIOD BETWEEN OCTOBER 1 AND MARCH 31.
- THE LIMITS OF DISTURBANCE SHALL BE DEMARCATED BY INSTALLING ORANGE CONSTRUCTION FENCE FOR THE GENERAL IMPROVEMENT AND INFRASTRUCTURE CONSTRUCTION ACTIVITIES AND FOR THE INDIVIDUAL LOT CONSTRUCTION. THESE LIMITS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- DUST CONTROL DURING CONSTRUCTION SHALL BE IMPLEMENTED. THIS INCLUDES USE OF CONSTRUCTION ENTRANCES, APPLYING LIGHT WATER, AND ESTABLISHING VEGETATION.
- STREET LIGHTS ARE NOT PERMITTED. RESIDENTIAL LIGHTING SHALL BE DIRECTED DOWNWARD TO REDUCE IMPACTS TO BATS FORAGING FOR FOOD.

**SITE SPECIFIC NOTES:**

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
- THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
- THE WATER SERVICE LINE SHALL BE 3/4" K-COPPER.
- THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
- A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER AND SEWER SERVICES FOR THE NEW LOT. STREET CLOSURE FOR WATER AND SEWER SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
- ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
- SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
- THE DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:  
 LOT 2: SLSD LEFT = ±427 FEET  
 SLSD RIGHT = ±81 FEET (TO INTERSECTION OF S. BRETT STREET AND ROMBOUT AVE)  
 ±323 FEET (TO VERTICAL CURVE ON ROMBOUT AVE)
- STOPPING SIGHT DISTANCE (SSD) WAS OBSERVED TO BE IN EXCESS OF THE REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FOR LOT 2 FROM RIGHT AND LEFT.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS, STORM SEWER LINES, SANITARY MANHOLES, SEWER LINES, WATERLINES, AND UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.

**GENERAL NOTES:**

- EXISTING PLANIMETRIC INFORMATION FOR THE OVERALL SITE WAS TAKEN FROM A MAP PREPARED BY JOHN J. POST JR, LS. IN NOVEMBER OF 2019.
- THE SITE DOES NOT CONTAIN ANY WETLANDS OR FLOODPLAINS PER AVAILABLE GIS MAPPING.
- THE PROJECT IS SERVICED BY PUBLIC WATER AND SEWER FROM THE CITY OF BEACON WATER AND SEWER DISTRICTS, RESPECTIVELY.

**GENERAL CONSTRUCTION NOTES:**

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962.
- WATER, SEWER AND STORM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED FOLLOWING SITE PLAN APPROVAL. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, LOCATION, DEPTH AND CONDITION OF ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT.
- THE CONTRACTOR SHALL CONSTRUCT ALL IMPROVEMENTS AS SHOWN ON PLANS. ANY FIELD CONDITIONS THAT MAY RESULT IN A VARIATION FROM THE PLAN SET SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IN WRITING. VARIATIONS FROM THE PLAN WITHOUT APPROVAL FROM THE ENGINEER WILL BE CONSIDERED DEFICIENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ON-SITE OR OFF-SITE DAMAGES TO VEGETATION OR PROPERTY CAUSED BY HIS OPERATIONS. SUCH DAMAGES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS COST TO THE SATISFACTION OF THE ENGINEER, PROPERTY OWNER OR AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL SECURE THE WORK LIMITS OF THE SITE BY INSTALLATION OF CONSTRUCTION FENCING AND OTHER MEASURES, AS NECESSARY TO PREVENT NON-AUTHORIZED ENTRY.
- THE CONTRACTOR SHALL KEEP THE SITE IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR SHALL NOT INTERRUPT EXISTING ACCESS OR OPERATIONS FOR THE REMAINDER OF THE SITE.

**CONSTRUCTION SEQUENCING SCHEDULE:**

- (FOR STORMWATER MANAGEMENT AND EROSION/SEDIMENT CONTROL PURPOSES)
- ROUGH GRADE AS NECESSARY TO ESTABLISH DRIVEWAY GRADE. PREPARE A STABILIZED CONSTRUCTION ENTRANCE AS SHOWN.
  - INSTALL SILT FENCE PER THE PLAN AND AS NEEDED TO PROTECT THE ADJACENT PROPERTIES.
  - CONSTRUCT THE HOUSE AND ALL ASSOCIATED UTILITY SERVICE CONNECTIONS. FINE GRADE AROUND THE HOUSE TO ESTABLISH FINISHED GRADES.
  - TOPSOIL, SEED AND MULCH THE DISTURBED AREAS TO ESTABLISH VEGETATION.
  - REMOVE THE STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCT THE DRIVEWAY TO FINAL TOP TREATMENT.
  - REMOVE SILT FENCE WHEN 80% STABILIZATION IS ACHIEVED.
  - CONSTRUCT THE INFILTRATION BASIN WHEN THE CONTRIBUTING DRAINAGE AREA IS 80% STABILIZED.

**UTILITY NOTES:**

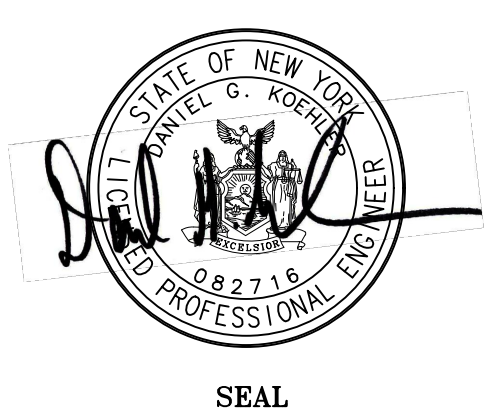
- ALL WATER & SEWER CONNECTIONS SHALL COMPLY WITH CITY WATER AND SEWER DISTRICT REQUIREMENTS.
- THE PROPOSED BUILDING SHALL BE SET AT SUCH ELEVATION TO ENSURE GRAVITY FLOW FROM THE RAW SEWER LINE TO THE POINT OF CONNECTION WITH THE EXISTING SEWER MAIN, WHILE MAINTAINING PROPER EARTH COVER ABOVE ALL PIPING.
- NO CELLAR, ROOF, OR FOOTING DRAINS SHALL BE DISCHARGED INTO THE SANITARY SEWER SYSTEM.

**INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES**

**INFILTRATION BASIN:**  
 REFER TO THE TABLE ON SHEET CD-1.

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	2/25/2020	PER PLANNING BOARD COMMENTS	CMB				
2	3/31/2020	PER PLANNING BOARD COMMENTS	DGK				

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**CONSTRUCTION DETAILS & NOTES**  
 160 ROMBOUT AVENUE SUBDIVISION  
 160 ROMBOUT AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 5954-35-853796

JOB #:	2019-050
DATE:	12/31/19
SCALE:	AS SHOWN
TITLE:	CD-2
SHEET:	4 OF 4

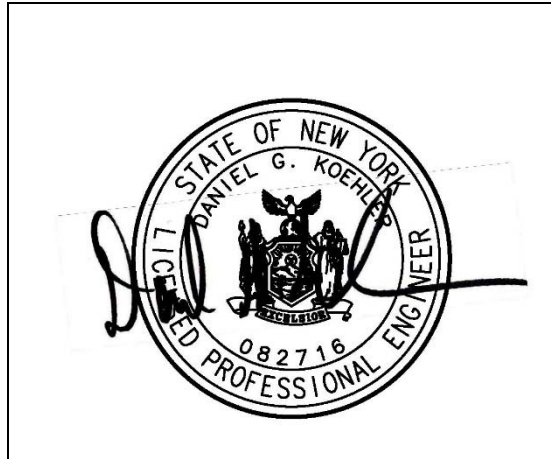


***Drainage Report:  
for  
160 Rombout Avenue Subdivision***

Prepared for:

Karic Associates, LLC  
4 Schoen Lane  
New Rochelle, NY 10804

February 25, 2020  
Revised March 31, 2020



Prepared by:  
Hudson Land Design Professional Engineering, P.C.  
174 Main Street  
Beacon, NY 12508  
Ph: (845) 440-6926

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## **APPENDICES**

<b>APPENDIX A:</b>	<b>DRAINAGE MAPS</b>
<b>APPENDIX B:</b>	<b>SUPPORTING DATA</b>
<b>APPENDIX C:</b>	<b>PRE-DEVELOPMENT HYDROLOGY CALCULATIONS</b>
<b>APPENDIX D:</b>	<b>POST-DEVELOPMENT HYDROLOGY CALCULATIONS</b>

## 1.0 INTRODUCTION

The 160 Rombout Subdivision project is located at 160 Rombout Avenue in the City of Beacon, Dutchess County, New York. The project consists of one parcel, Tax ID: 5954-35-853796 (+/- 0.33 acres) and contains an existing single-family residence. The project proposes to subdivide Parcel 853796 into two single family lots each with a private driveway and associated parking. The subdivided lot will have a proposed single-family residence, water and sewer utilities and a stormwater management area. The parent parcel is in the R1-5 zoning district.

## 2.0 METHODOLOGY AND REGULATORY COMPLIANCE

The proposed subdivision of Parcel 853796 will result in 2,342 sqft of additional impervious area and approximately 7,790 sqft of disturbance, and therefore is not subject to the requirements of NYSDEC GP-0-20-001 General Permit for Construction Activities. Pre-development vs. post-development drainage analysis for the project was performed to evaluate stormwater runoff patterns and demonstrate that the post-development runoff rates to the existing stormwater discharge points do not exceed the pre-development runoff rates.

Runoff calculations were performed utilizing HydroCAD® version 10.00 published by HydroCAD Software Solutions, LLC. The software utilizes the principles of TR-55 and TR-20 to generate unit hydrographs. Rainfall events are generated utilizing Soil Conservation Service (SCS) Type III, 24-hour rainfall event for Dutchess County, NY. The Type III rainfall depths for the 1-Year, 10-Year, 25-Year and 100-Year rainfall events are 2.61, 4.70, 5.90 and 8.34 inches, respectively. Rainfall Data can be found within Appendix B of this report.

## 3.0 SOIL CONDITIONS

A review of the Soil Survey of Dutchess County indicates that there are three types of soil present on the project site and its associated contributing drainage area. Table I below summarizes the characteristics of the soil types present within the drainage area.

**Table I: Soil Types**

<b>Map Unit</b>	<b>Soil Names</b>	<b>Water Table (ft)</b>	<b>Bedrock</b>	<b>Hydrologic Soil Group</b>	<b>Erosion Hazard</b>
DxB	Dutchess-Cardigan Urban Land Complex, Undulating and Rocky	>80"	>80"	C	Moderate

Source: [websoilsurvey.sc.egov.usda.gov](http://websoilsurvey.sc.egov.usda.gov)

Soil testing in the proposed stormwater sump on the northern side of the project area was conducted on February 21, 2020 (Deep Test Pits and Infiltration Tests). Two test pits were excavated to a total depth of 6 feet and were primarily comprised of a brown sandy-clay loam.

Test Pit 1 had 2” of topsoil over 14” of brown sandy loam. At 16”-18” in depth a coal ash layer was observed. At >18” of depth the soil strata changed to a brown sandy-clay loam. No bedrock or mottling was observed. Groundwater was observed at 60” in depth. Test Pit 2 had the same soil strata as Test Pit 1.

One infiltration test was conducted in the area of the proposed stormwater area. The infiltration test was run three times at a depth of 36” below existing grade. Existing grade in the stormwater sump area is at elevation 92.4. The 36” test was conducted approximately 1’ below the bottom of the stormwater area, elevation 90.6. Infiltration Test 1 was repeated three times infiltrating 24” of water in less than an hour. The slowest test resulted in an infiltration of 30 inches/hour, which was used for the stormwater modeling.

Supporting information has been provided in Appendix B.

## 4.0 EXISTING DRAINAGE CONDITIONS

### 4.1 Design Points

Design Points represent the location where the majority of runoff from an area exits the site. The same design point is identified in post-development conditions, so that a comparison can be made between the pre-development and post-development conditions. Two design points for the main project area were selected, and are as follows:

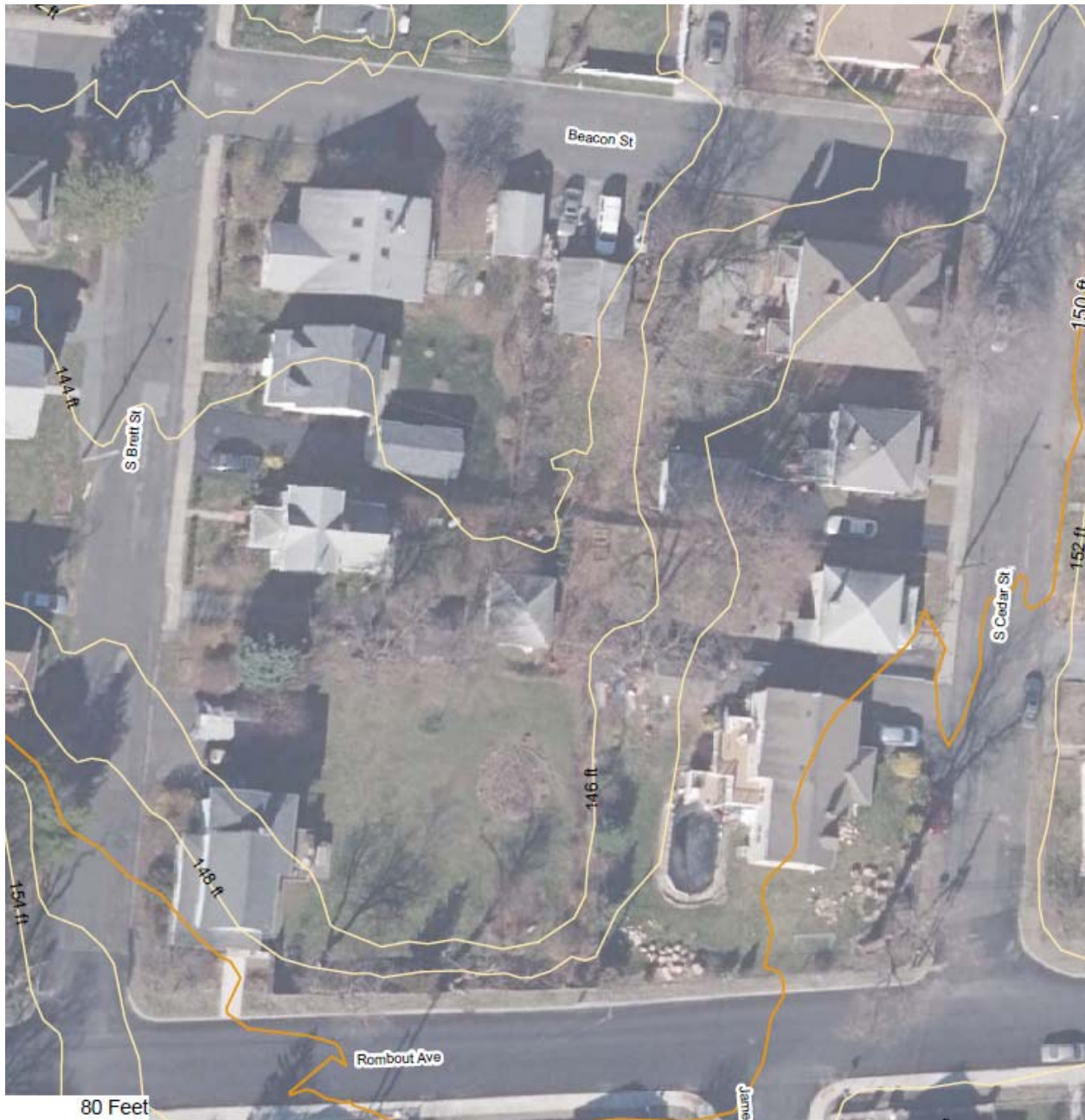
**Table II - Stormwater Design/Discharge Point**

<b>SDP</b>	<b>Description</b>
1	Northern Property Line
2	Existing Catch Basin in Rombout Avenue*

\* Under existing conditions the site does not contribute runoff to this catch basin.

### 4.2 Existing Watershed Area

The pre-developed watershed is 24,421 sqft in total, and includes the existing single-family residence and shed, parking areas on Parcel 853796 and landscaped areas, and also includes runoff from the adjacent property to the east. In the drainage analysis model, the existing pre-development area is delineated as subcatchment 1. Drainage generally flows via sheet flow to the stormwater design point located on the northern property line. The surveyor recently generated additional topographic elevation shots that shows that the runoff generally ponds on the subject parcel and at approximately elevation 92.6, spills in a northerly direction behind the houses along S. Brett Street toward Beacon Street. The low point in the existing depression is at the northeast corner of the subject parcel with an elevation of 92.36. The following graphic provides a view of the general topography of the site and parcels to the north (note that the project surveyor used an assumed datum that does not match the vertical datum used in the graphic).



The Time of Concentration ( $T_c$ ) is less than 6 minutes, so a minimum of 6 minutes was used, and therefore the  $T_c$  is not graphically shown or listed on the drainage map. The watershed area contributing to the SDP is graphically shown and listed on the drainage map, and is also provided within the HydroCAD computations within Appendix C. A drainage map is included within Appendix A. The existing depressed area was modelled as a pond with a weir outlet to provide for peak rates of flow off-site. A theoretical area for elevation 92.7 was estimated in order for the program to be able to calculate a peak elevation and to allow for the outflow via weir flow. In addition, an infiltration rate of 30 inches per hour was applied, where the topsoil layer likely does not permit (i.e., the topsoil layer likely results in slower infiltration rates).

### 4.3 Existing Runoff Volumes and Rates

Runoff volumes and rates for existing conditions have been calculated at the designated SDP and summarized in Table III as follows:

**TABLE III - EXISTING RUNOFF VOLUMES AND RATES**

<b>Runoff Volumes (acre-feet) / Rates (cfs)</b>					
<b>Designation</b>	<b>Area (sqft)</b>	<b>1-Year</b>	<b>10-Year</b>	<b>25-Year</b>	<b>100-Year</b>
SDP 1	24,421	0.000 / 0.00 <sup>1</sup>	0.005 / 0.58	0.015 / 1.21	0.047 / 2.51

1. Ponding to elevation 92.49' – no outflow, assumed to be eventually infiltrated  
Unit hydrograph analysis results for pre-development conditions have been included as Appendix C.

## 5.0 PROPOSED DRAINAGE CONDITIONS

### 5.1 Developed Watershed Area

The proposed project results in a total of approximately 7,790 sqft of disturbance due to the construction of the proposed single-family residence and driveway. The post-developed watershed area is 15,205 sqft in total, and includes the existing & proposed residences, proposed driveway, as well as the grass & landscaped areas, including those associated with the property to the east. The post development watershed was divided into two stormwater subcatchments; Subcatchment 10 and Subcatchment 20.

Subcatchment 10 consists of the existed single-family residence, driveway, and yard, the proposed driveway and yard for lot 2, and the existing developed parcel to the east of the property. The subcatchment contains soils in hydrologic soil group C. Drainage generally flows via sheet flow to the stormwater design point, SDP1, located on the northern property line, which is being enhanced to provide an infiltration basin.

Subcatchment 20 consists of the proposed single-family residence, the rooftop runoff that is captured by piping and conveyed to the existing catch basin on Rombout Avenue, designated as SDP2.

The Time of Concentration (Tc) is less than 6 minutes for all analyzed subcatchments, so a minimum of 6 minutes was used, and therefore the Tc is not graphically shown or listed on the drainage map. The watershed area contributing to each SDP is graphically shown and listed on the drainage map. The hydrologic model can be found in Appendix D. A post-development drainage map is included within Appendix A.

## 5.2 Proposed Runoff Volumes and Rates

Runoff volumes and rates for proposed conditions have been calculated at the designated SDP and summarized in Table IV as follows:

**TABLE IV  
PROPOSED RUNOFF VOLUMES AND RATES**

**Runoff Volumes (acre-feet) / Rates (cfs)**

Designation	Area (sqft)	1-Year	10-Year	25-Year	100-Year
SDP1	23,273	0.000 / 0.00 <sup>1</sup>	0.000 / 0.00 <sup>2</sup>	0.000 / 0.00 <sup>3</sup>	0.028 / 2.29
SDP2	1,148	0.005 / 0.07	0.009 / 0.12	0.011 / 0.15	0.016 / 0.22

1. Ponding to elevation 91.12' – no outflow, all infiltrated
2. Ponding to elevation 92.29' – no outflow, all infiltrated
3. Ponding to elevation 92.59' – no outflow, all infiltrated

Unit hydrograph analysis results for post-development conditions have been included as Appendix D.

## 6.0 DRAINAGE ANALYSIS CONCLUSIONS

The stormwater runoff rates at SDP1 under pre-development and post-development conditions are summarized below.

SDP	1 – Year (ac-ft)		10 – Year (ac-ft)		25 – Year (ac-ft)		100 – Year (ac-ft)	
	Pre	Post	Pre	Post	Pre	Post	Pre	Post
1	0.000	0.000	0.005	0.000	0.015	0.000	0.047	0.016

SDP	1 – Year (cfs)		10 – Year (cfs)		25 – Year (cfs)		100 – Year (cfs)	
	Pre	Post	Pre	Post	Pre	Post	Pre	Post
1	0.00	0.00	0.58	0.00	1.21	0.00	2.51	2.29

The runoff rates at the SDP1 decrease from pre-development to post-development conditions with the infiltration facility in place. In addition, the volume of runoff to SDP1 is also being reduced in all storm events analyzed. The runoff from the proposed dwelling roof will be directed to the existing catch basin in Rombout Avenue, this small amount of additional runoff is not expected to have a significant impact on the existing stormwater system.

Supporting hydrologic analyses for pre-development and post-development conditions are included in Appendices C and D.

## **7.0 EROSION AND SEDIMENT CONTROL**

Contractors shall adhere to the temporary and permanent erosion control measures as indicated on the plans. Repairs shall be made as necessary to remain in compliance with the New York State Standards and Specifications for Erosion and Sediment Control, 2016.

**APPENDIX A**  
**DRAINAGE MAPS**





- LEGEND:**
- SOIL BOUNDARY ———
  - DRAINAGE BOUNDARY - - - - -
  - SUBCATCHMENT ID 1
  - DESIGN POINT SDP1

PRE-DRAINAGE  
 DA 1 = 24,421 SQFT  
 IMPERVIOUS = 4,736 SQFT  
 GRASS C = 19,685 SQFT

TIME OF CONCENTRATION, T<sub>c</sub>:  
 1. DIRECT ENTRY = 6 MINUTES

EX. SEWER MANHOLE  
 RIM = 93.21  
 INV. = 90.91  
 12" PVC

EX. SEWER MANHOLE  
 RIM = 98.11

EX. CATCH BASIN  
 RIM = 96.57  
 INV. = 93.85  
 18" DIAMETER

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	03/31/20	PER PLANNING BOARD COMMENTS	DGK				

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PRE-DEVELOPMENT DRAINAGE MAP

**160 ROMBOULT AVENUE SUBDIVISION**

160 ROMBOULT AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 5954-35-853796

JOB #: 2019-050  
 DATE: 02/25/2020  
 SCALE: AS NOTED  
 TITLE: DM-1  
 SHEET: 1 OF 2





- LEGEND:**
- SOIL BOUNDARY ———
  - DRAINAGE BOUNDARY - - - - -
  - SUBCATCHMENT ID 10
  - DESIGN POINT SDP

**POST-DRAINAGE**

DA 10 = 23,273 SQFT  
 IMPERVIOUS = 6,124 SQFT  
 GRASS C = 17,149 SQFT

TIME OF CONCENTRATION, T<sub>c</sub>:  
 1. DIRECT ENTRY = 6 MINUTES

DA 20 = 1,148 SQFT  
 IMPERVIOUS = 1,148 SQFT

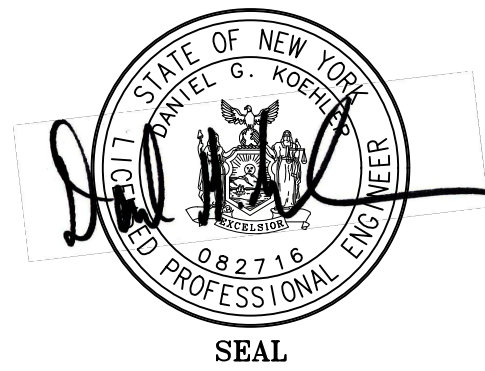
TIME OF CONCENTRATION, T<sub>c</sub>:  
 1. DIRECT ENTRY = 6 MINUTES

SUBJECT AREA  
 14500.5 SQ. FT.  
 0.33 ACRES  
 2-STORY  
 SINGLE-FAMILY  
 DWELLING  
 FFC=97.54  
 SFE=106.54  
 LSE=93.2

COVERED PORCH

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	03/31/20	PER PLANNING BOARD COMMENTS	DGK				

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PRE-DEVELOPMENT DRAINAGE MAP

160 ROMBOUT AVENUE SUBDIVISION

160 ROMBOUT AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 5954-35-853796

JOB #: 2019-050  
 DATE: 02/25/2020  
 SCALE: AS NOTED  
 TITLE: DM-2  
 SHEET: 2 OF 2



**APPENDIX B**  
**SUPPORTING DATA**

# Extreme Precipitation Tables

## Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

<b>Smoothing</b>	Yes
<b>State</b>	New York
<b>Location</b>	
<b>Longitude</b>	73.973 degrees West
<b>Latitude</b>	41.504 degrees North
<b>Elevation</b>	0 feet
<b>Date/Time</b>	Mon, 24 Feb 2020 15:49:55 -0500

## Extreme Precipitation Estimates

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr
<b>1yr</b>	0.33	0.50	0.62	0.82	1.02	1.26	<b>1yr</b>	0.88	1.19	1.45	1.77	2.15	2.61	2.96
<b>2yr</b>	0.39	0.60	0.74	0.98	1.23	1.53	<b>2yr</b>	1.06	1.43	1.75	2.14	2.61	3.16	3.57
<b>5yr</b>	0.46	0.71	0.89	1.19	1.52	1.91	<b>5yr</b>	1.31	1.76	2.20	2.70	3.28	3.96	4.52
<b>10yr</b>	0.51	0.80	1.02	1.38	1.79	2.27	<b>10yr</b>	1.55	2.07	2.62	3.22	3.90	4.70	5.40
<b>25yr</b>	0.60	0.95	1.21	1.67	2.23	2.85	<b>25yr</b>	1.92	2.56	3.30	4.06	4.93	5.90	6.86
<b>50yr</b>	0.68	1.09	1.39	1.95	2.63	3.39	<b>50yr</b>	2.27	3.00	3.93	4.84	5.86	7.02	8.21
<b>100yr</b>	0.77	1.24	1.60	2.28	3.10	4.03	<b>100yr</b>	2.68	3.53	4.68	5.77	6.99	8.34	9.84
<b>200yr</b>	0.87	1.43	1.85	2.66	3.67	4.79	<b>200yr</b>	3.17	4.15	5.58	6.89	8.33	9.93	11.79
<b>500yr</b>	1.05	1.73	2.26	3.28	4.59	6.03	<b>500yr</b>	3.96	5.15	7.04	8.70	10.51	12.50	14.99

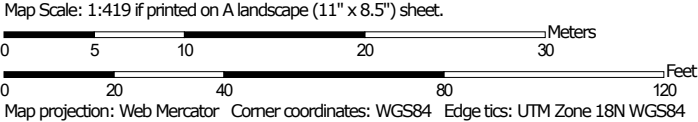
## Lower Confidence Limits

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr
<b>1yr</b>	0.28	0.44	0.53	0.72	0.88	1.09	<b>1yr</b>	0.76	1.06	1.24	1.59	2.01	2.08	2.36
<b>2yr</b>	0.37	0.58	0.71	0.96	1.19	1.42	<b>2yr</b>	1.03	1.39	1.61	2.05	2.58	3.07	3.45
<b>5yr</b>	0.42	0.65	0.81	1.11	1.41	1.65	<b>5yr</b>	1.22	1.62	1.88	2.42	3.01	3.65	4.17
<b>10yr</b>	0.47	0.72	0.89	1.25	1.61	1.85	<b>10yr</b>	1.39	1.81	2.11	2.71	3.38	4.14	4.81
<b>25yr</b>	0.54	0.82	1.02	1.46	1.92	2.13	<b>25yr</b>	1.66	2.09	2.45	3.05	3.94	4.86	5.81
<b>50yr</b>	0.60	0.92	1.14	1.64	2.21	2.38	<b>50yr</b>	1.91	2.33	2.76	3.41	4.43	5.50	6.73
<b>100yr</b>	0.68	1.03	1.29	1.86	2.56	2.67	<b>100yr</b>	2.21	2.61	3.12	3.81	5.01	6.19	7.79
<b>200yr</b>	0.77	1.16	1.47	2.13	2.97	2.98	<b>200yr</b>	2.56	2.92	3.52	4.27	5.66	6.92	9.05
<b>500yr</b>	0.92	1.37	1.76	2.56	3.64	3.48	<b>500yr</b>	3.14	3.40	4.16	4.98	6.68	8.02	11.04

Hydrologic Soil Group—Dutchess County, New York  
(160 Rombout)



Soil Map may not be valid at this scale.



## MAP LEGEND

### Area of Interest (AOI)









 Area of Interest (AOI)

### Soils

#### Soil Rating Polygons





 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Lines


 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Points

 A  
 A/D  
 B  
 B/D

 C  
 C/D  
 D  
 Not rated or not available

### Water Features

 Streams and Canals

### Transportation

 Rails  
 Interstate Highways  
 US Routes  
 Major Roads  
 Local Roads

### Background

 Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Dutchess County, New York  
 Survey Area Data: Version 16, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 7, 2013—Feb 26, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
DxB	Dutchess-Cardigan-Urban land complex, undulating, rocky	C	0.3	100.0%
<b>Totals for Area of Interest</b>			<b>0.3</b>	<b>100.0%</b>

### Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

### Rating Options

*Aggregation Method:* Dominant Component

*Component Percent Cutoff: None Specified*

*Tie-break Rule: Higher*





## INFILTRATION TEST DATA

Project: 160 Rombout Ave. \_\_\_\_\_ City of Beacon

Date: 2/21/2020

By: Daniel G. Koehler, P.E. \_\_\_\_\_

Test Hole #	Test Hole Bottom Elevation	Soil Type	Soaked	TEST RUNS					
				*	1	2	3	4	5
IT 1	90.4	Sandy-Clay Loam	Yes	Finish	11:57	12:36	13:15		
				Start	11:31	11:48	12:37		
				Depth (in)	24	24	24		
				Finish					
				Start					
				Depth (in)					
				Finish					
				Start					
				Depth (in)					
				Finish					
				Start					
				Depth (in)					
				Finish					
				Start					
				Depth (in)					
				Finish					
				Start					
				Depth (in)					

I, Daniel G. Koehler, P.E., the undersigned, certify that these infiltration tests were done by myself or under my direction according to the standard procedure as outlined in the NYS Stormwater Management Design Manual. The data and results presented are true and correct.

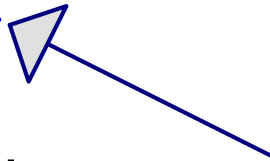
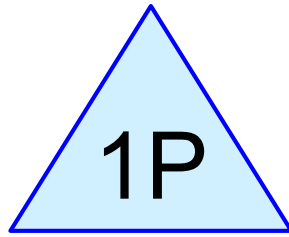
Dated: 2/21/2020

Signature: \_\_\_\_\_

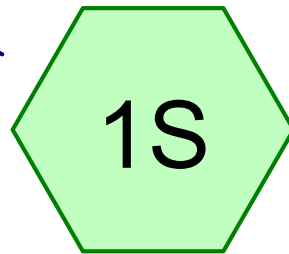
License No. (P.E.) \_\_\_\_\_



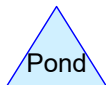
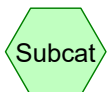
**APPENDIX C**  
**PRE-DEVELOPMENT HYDROLOGY CALCULATIONS**



Ex. Depression



DA 1



**Routing Diagram for Galezo Model 2020-0331**

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**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Pre-development  
 Type III 24-hr 1-Year Rainfall=2.61"  
 Printed 3/31/2020

**Summary for Subcatchment 1S: DA 1**

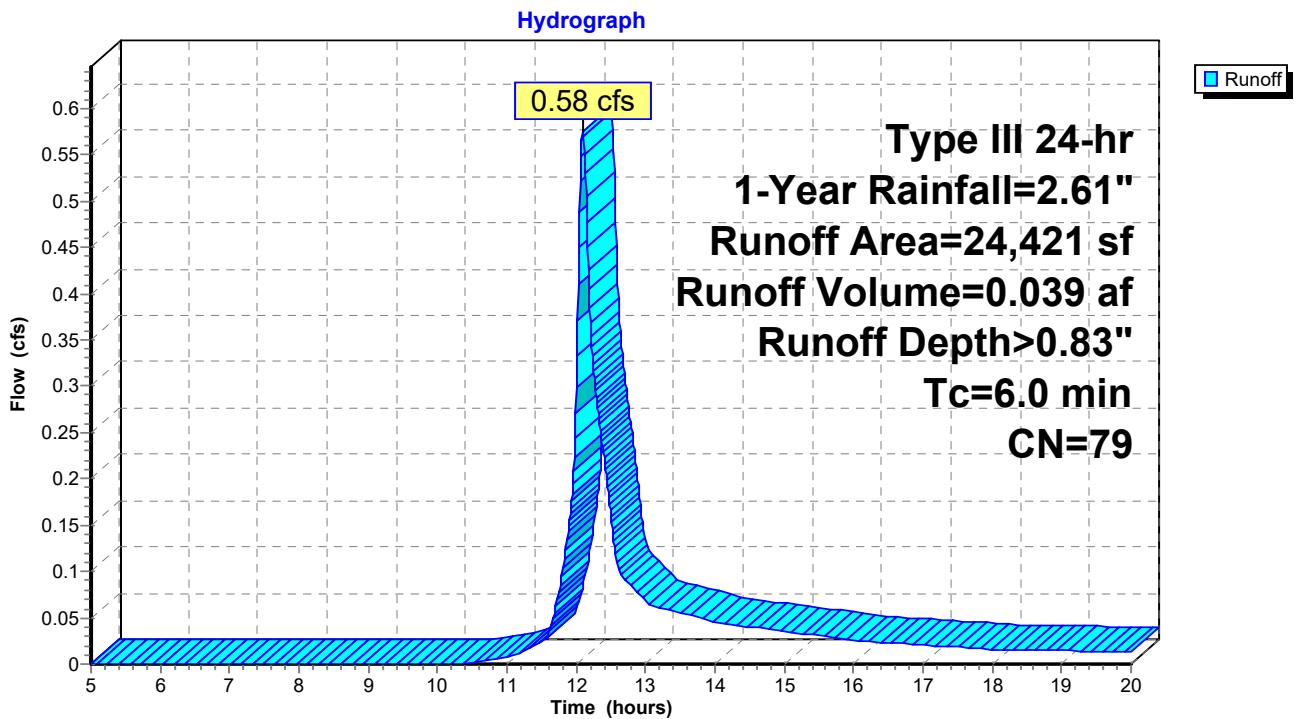
Runoff = 0.58 cfs @ 12.09 hrs, Volume= 0.039 af, Depth> 0.83"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
 Type III 24-hr 1-Year Rainfall=2.61"

Area (sf)	CN	Description
4,736	98	Paved roads w/curbs & sewers, HSG C
19,685	74	>75% Grass cover, Good, HSG C
24,421	79	Weighted Average
19,685		80.61% Pervious Area
4,736		19.39% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 1S: DA 1**



**Galezo Model 2020-0331**

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Pre-development  
Type III 24-hr 1-Year Rainfall=2.61"

Printed 3/31/2020

**Summary for Pond 1P: Ex. Depression**

Inflow Area = 0.561 ac, 19.39% Impervious, Inflow Depth > 0.83" for 1-Year event  
Inflow = 0.58 cfs @ 12.09 hrs, Volume= 0.039 af  
Outflow = 0.52 cfs @ 12.13 hrs, Volume= 0.039 af, Atten= 9%, Lag= 2.3 min  
Discarded = 0.52 cfs @ 12.13 hrs, Volume= 0.039 af  
Primary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Peak Elev= 92.49' @ 12.13 hrs Surf.Area= 753 sf Storage= 49 cf

Plug-Flow detention time= 0.5 min calculated for 0.039 af (100% of inflow)  
Center-of-Mass det. time= 0.5 min ( 815.2 - 814.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	92.36'	331 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
92.36	0	0	0
92.70	1,949	331	331

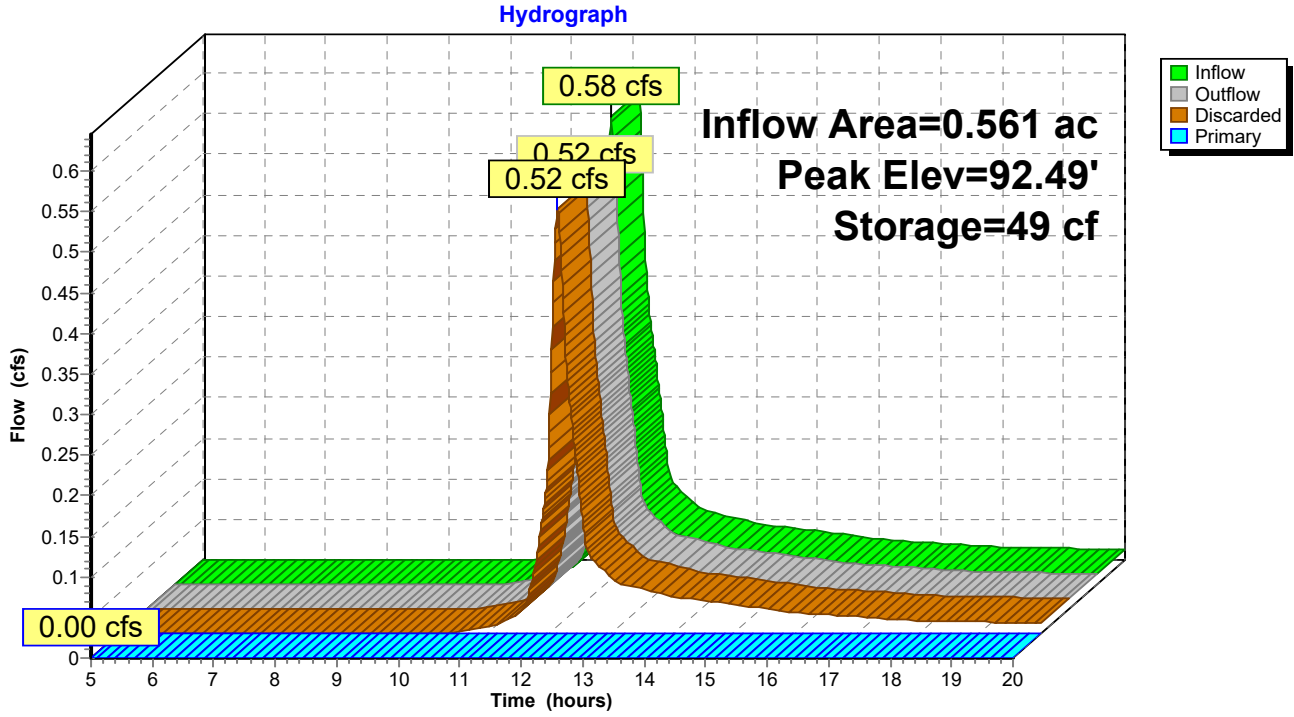
Device	Routing	Invert	Outlet Devices
#1	Primary	92.60'	<b>40.0' long Sharp-Crested Rectangular Weir</b> 2 End Contraction(s)
#2	Discarded	92.36'	<b>30.000 in/hr Exfiltration over Surface area</b>

**Discarded OutFlow** Max=0.52 cfs @ 12.13 hrs HW=92.49' (Free Discharge)  
↳**2=Exfiltration** (Exfiltration Controls 0.52 cfs)

**Primary OutFlow** Max=0.00 cfs @ 5.00 hrs HW=92.36' (Free Discharge)  
↳**1=Sharp-Crested Rectangular Weir** ( Controls 0.00 cfs)



### Pond 1P: Ex. Depression



**Galezo Model 2020-0331**

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Pre-development  
Type III 24-hr 10-Year Rainfall=4.70"

Printed 3/31/2020

**Summary for Subcatchment 1S: DA 1**

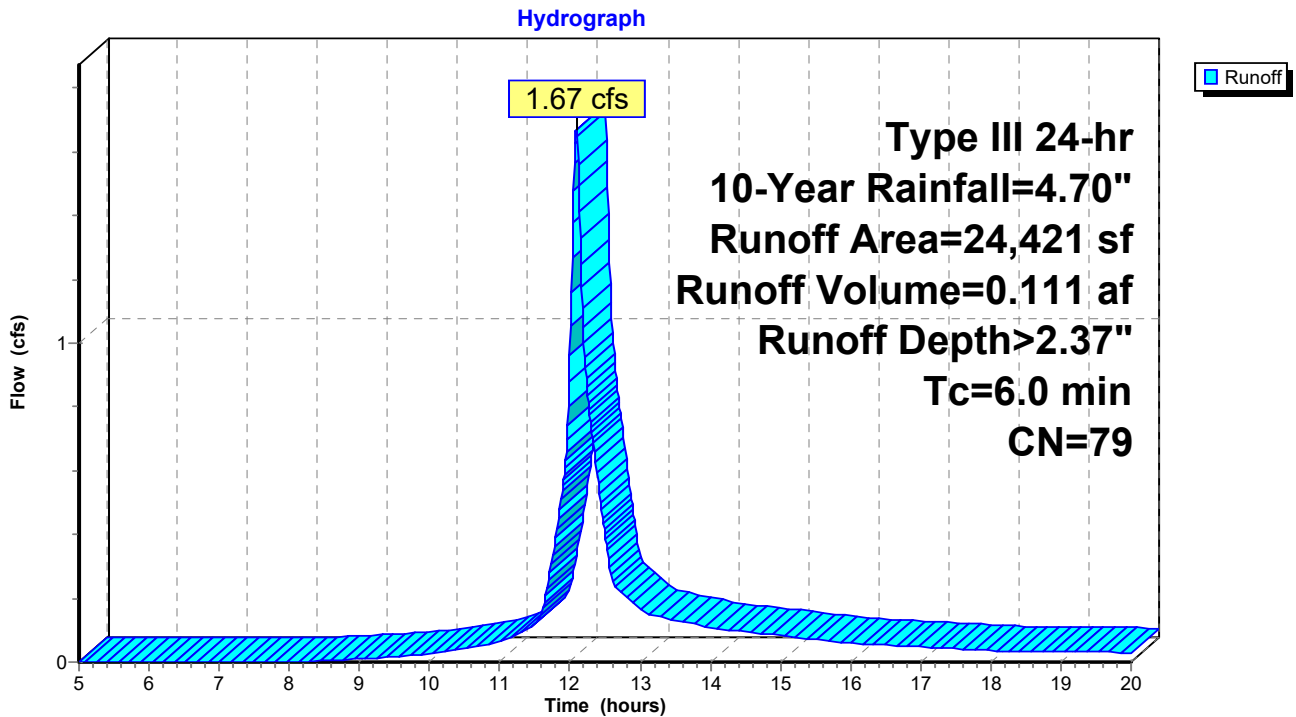
Runoff = 1.67 cfs @ 12.09 hrs, Volume= 0.111 af, Depth> 2.37"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-Year Rainfall=4.70"

Area (sf)	CN	Description
4,736	98	Paved roads w/curbs & sewers, HSG C
19,685	74	>75% Grass cover, Good, HSG C
24,421	79	Weighted Average
19,685		80.61% Pervious Area
4,736		19.39% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 1S: DA 1**





**Galezo Model 2020-0331**

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Pre-development  
 Type III 24-hr 10-Year Rainfall=4.70"  
 Printed 3/31/2020

**Summary for Pond 1P: Ex. Depression**

Inflow Area = 0.561 ac, 19.39% Impervious, Inflow Depth > 2.37" for 10-Year event  
 Inflow = 1.67 cfs @ 12.09 hrs, Volume= 0.111 af  
 Outflow = 1.65 cfs @ 12.10 hrs, Volume= 0.111 af, Atten= 2%, Lag= 0.9 min  
 Discarded = 1.06 cfs @ 12.10 hrs, Volume= 0.106 af  
 Primary = 0.58 cfs @ 12.10 hrs, Volume= 0.005 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
 Peak Elev= 92.63' @ 12.10 hrs Surf.Area= 1,531 sf Storage= 204 cf

Plug-Flow detention time= 1.2 min calculated for 0.111 af (100% of inflow)  
 Center-of-Mass det. time= 1.2 min ( 792.4 - 791.2 )

Volume	Invert	Avail.Storage	Storage Description
#1	92.36'	331 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
92.36	0	0	0
92.70	1,949	331	331

Device	Routing	Invert	Outlet Devices
#1	Primary	92.60'	<b>40.0' long Sharp-Crested Rectangular Weir</b> 2 End Contraction(s)
#2	Discarded	92.36'	<b>30.000 in/hr Exfiltration over Surface area</b>

**Discarded OutFlow** Max=1.06 cfs @ 12.10 hrs HW=92.63' (Free Discharge)  
 ↳**2=Exfiltration** (Exfiltration Controls 1.06 cfs)

**Primary OutFlow** Max=0.58 cfs @ 12.10 hrs HW=92.63' (Free Discharge)  
 ↳**1=Sharp-Crested Rectangular Weir** (Weir Controls 0.58 cfs @ 0.54 fps)

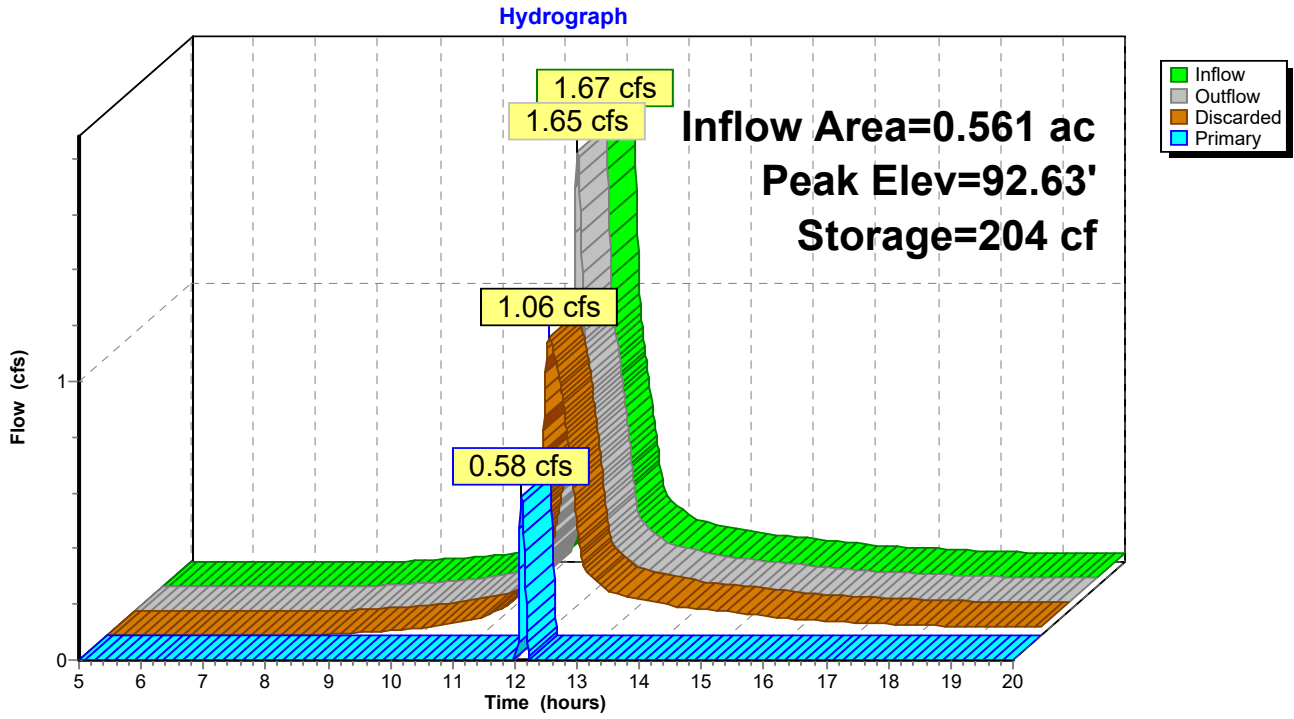
**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Pre-development  
Type III 24-hr 10-Year Rainfall=4.70"

Printed 3/31/2020

**Pond 1P: Ex. Depression**





**Galezo Model 2020-0331**

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Pre-development  
Type III 24-hr 25-Year Rainfall=5.90"

Printed 3/31/2020

**Summary for Subcatchment 1S: DA 1**

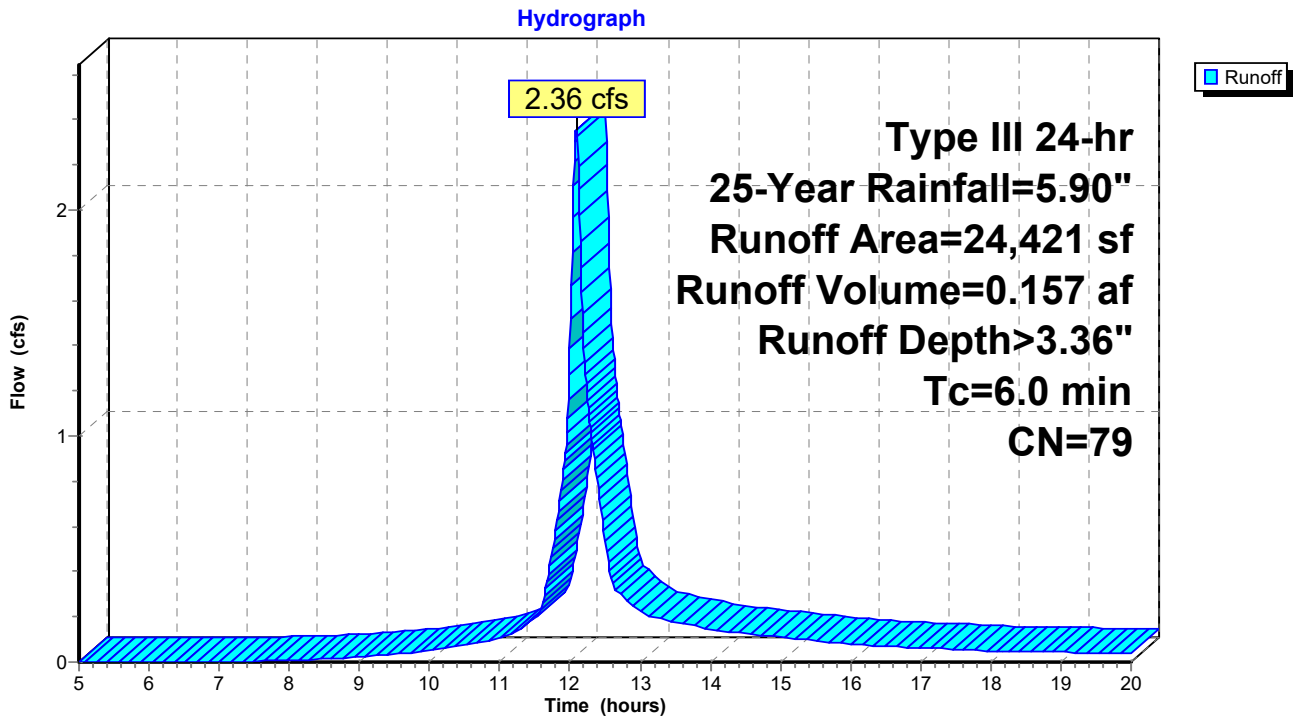
Runoff = 2.36 cfs @ 12.09 hrs, Volume= 0.157 af, Depth> 3.36"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 25-Year Rainfall=5.90"

Area (sf)	CN	Description
4,736	98	Paved roads w/curbs & sewers, HSG C
19,685	74	>75% Grass cover, Good, HSG C
24,421	79	Weighted Average
19,685		80.61% Pervious Area
4,736		19.39% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 1S: DA 1**



**Galezo Model 2020-0331**

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Pre-development  
Type III 24-hr 25-Year Rainfall=5.90"

Printed 3/31/2020

**Summary for Pond 1P: Ex. Depression**

Inflow Area = 0.561 ac, 19.39% Impervious, Inflow Depth > 3.36" for 25-Year event  
Inflow = 2.36 cfs @ 12.09 hrs, Volume= 0.157 af  
Outflow = 2.34 cfs @ 12.10 hrs, Volume= 0.157 af, Atten= 1%, Lag= 0.6 min  
Discarded = 1.13 cfs @ 12.10 hrs, Volume= 0.142 af  
Primary = 1.21 cfs @ 12.10 hrs, Volume= 0.015 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Peak Elev= 92.64' @ 12.10 hrs Surf.Area= 1,628 sf Storage= 231 cf

Plug-Flow detention time= 1.2 min calculated for 0.157 af (100% of inflow)  
Center-of-Mass det. time= 1.2 min ( 784.4 - 783.2 )

Volume	Invert	Avail.Storage	Storage Description
#1	92.36'	331 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
92.36	0	0	0
92.70	1,949	331	331

Device	Routing	Invert	Outlet Devices
#1	Primary	92.60'	<b>40.0' long Sharp-Crested Rectangular Weir</b> 2 End Contraction(s)
#2	Discarded	92.36'	<b>30.000 in/hr Exfiltration over Surface area</b>

**Discarded OutFlow** Max=1.13 cfs @ 12.10 hrs HW=92.64' (Free Discharge)  
↳**2=Exfiltration** (Exfiltration Controls 1.13 cfs)

**Primary OutFlow** Max=1.20 cfs @ 12.10 hrs HW=92.64' (Free Discharge)  
↳**1=Sharp-Crested Rectangular Weir** (Weir Controls 1.20 cfs @ 0.69 fps)



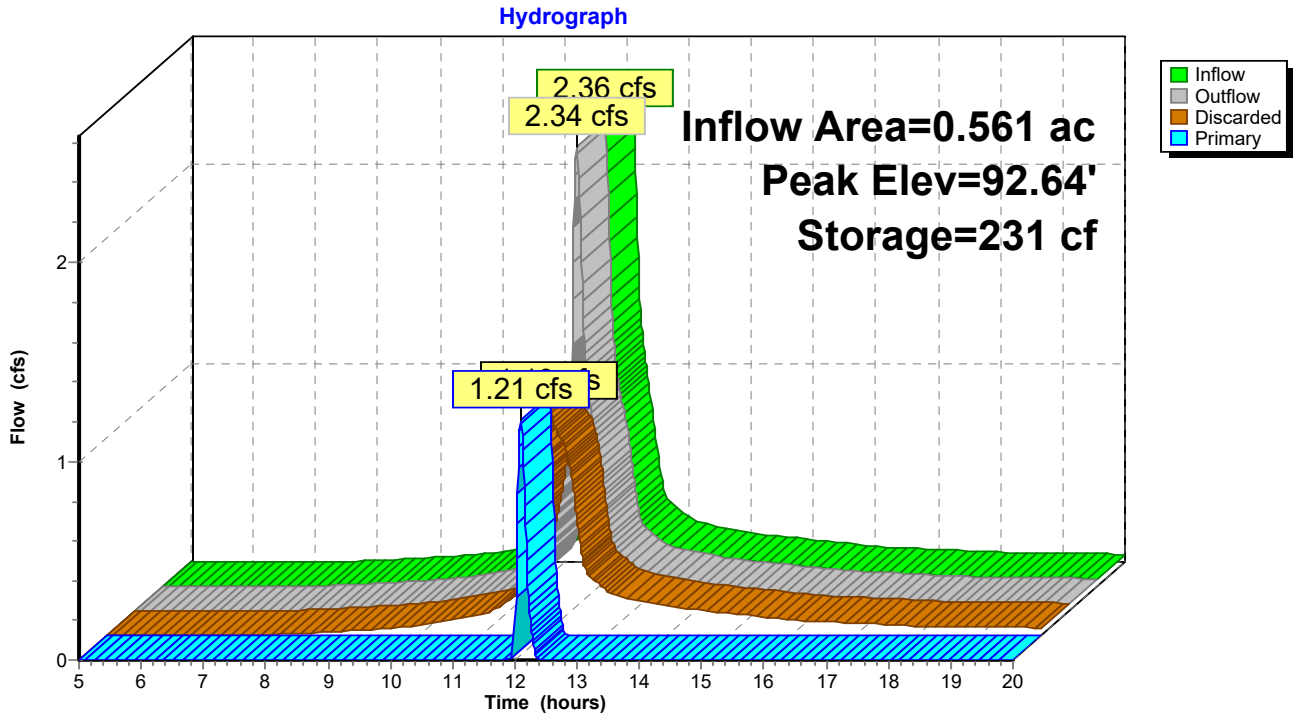
**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Pre-development  
Type III 24-hr 25-Year Rainfall=5.90"

Printed 3/31/2020

**Pond 1P: Ex. Depression**



**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Pre-development  
 Type III 24-hr 100-Year Rainfall=8.34"  
 Printed 3/31/2020

**Summary for Subcatchment 1S: DA 1**

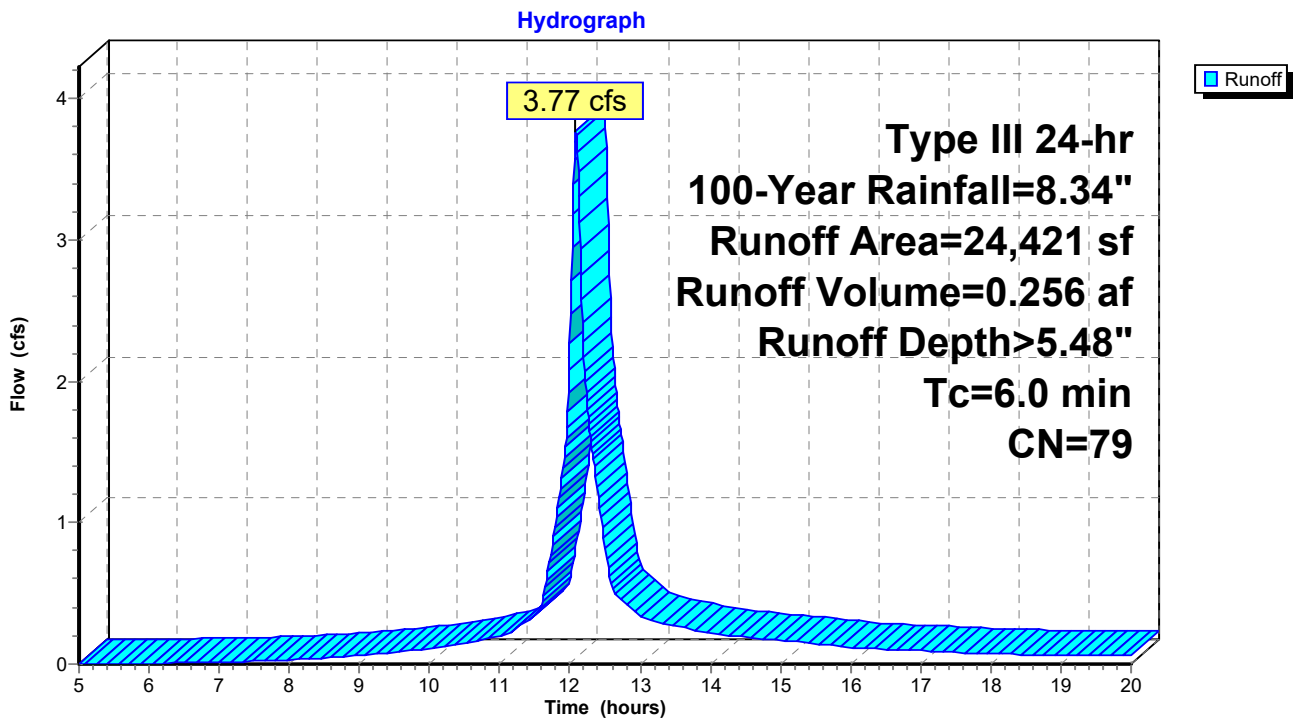
Runoff = 3.77 cfs @ 12.09 hrs, Volume= 0.256 af, Depth> 5.48"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
 Type III 24-hr 100-Year Rainfall=8.34"

Area (sf)	CN	Description
4,736	98	Paved roads w/curbs & sewers, HSG C
19,685	74	>75% Grass cover, Good, HSG C
24,421	79	Weighted Average
19,685		80.61% Pervious Area
4,736		19.39% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 1S: DA 1**





**Galezo Model 2020-0331**

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Pre-development  
Type III 24-hr 100-Year Rainfall=8.34"

Printed 3/31/2020

**Summary for Pond 1P: Ex. Depression**

Inflow Area = 0.561 ac, 19.39% Impervious, Inflow Depth > 5.48" for 100-Year event  
Inflow = 3.77 cfs @ 12.09 hrs, Volume= 0.256 af  
Outflow = 3.75 cfs @ 12.10 hrs, Volume= 0.256 af, Atten= 1%, Lag= 0.5 min  
Discarded = 1.24 cfs @ 12.10 hrs, Volume= 0.209 af  
Primary = 2.51 cfs @ 12.10 hrs, Volume= 0.047 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Peak Elev= 92.67' @ 12.10 hrs Surf.Area= 1,787 sf Storage= 278 cf

Plug-Flow detention time= 1.2 min calculated for 0.256 af (100% of inflow)  
Center-of-Mass det. time= 1.2 min ( 772.8 - 771.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	92.36'	331 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
92.36	0	0	0
92.70	1,949	331	331

Device	Routing	Invert	Outlet Devices
#1	Primary	92.60'	<b>40.0' long Sharp-Crested Rectangular Weir</b> 2 End Contraction(s)
#2	Discarded	92.36'	<b>30.000 in/hr Exfiltration over Surface area</b>

**Discarded OutFlow** Max=1.24 cfs @ 12.10 hrs HW=92.67' (Free Discharge)  
↳**2=Exfiltration** (Exfiltration Controls 1.24 cfs)

**Primary OutFlow** Max=2.50 cfs @ 12.10 hrs HW=92.67' (Free Discharge)  
↳**1=Sharp-Crested Rectangular Weir** (Weir Controls 2.50 cfs @ 0.87 fps)

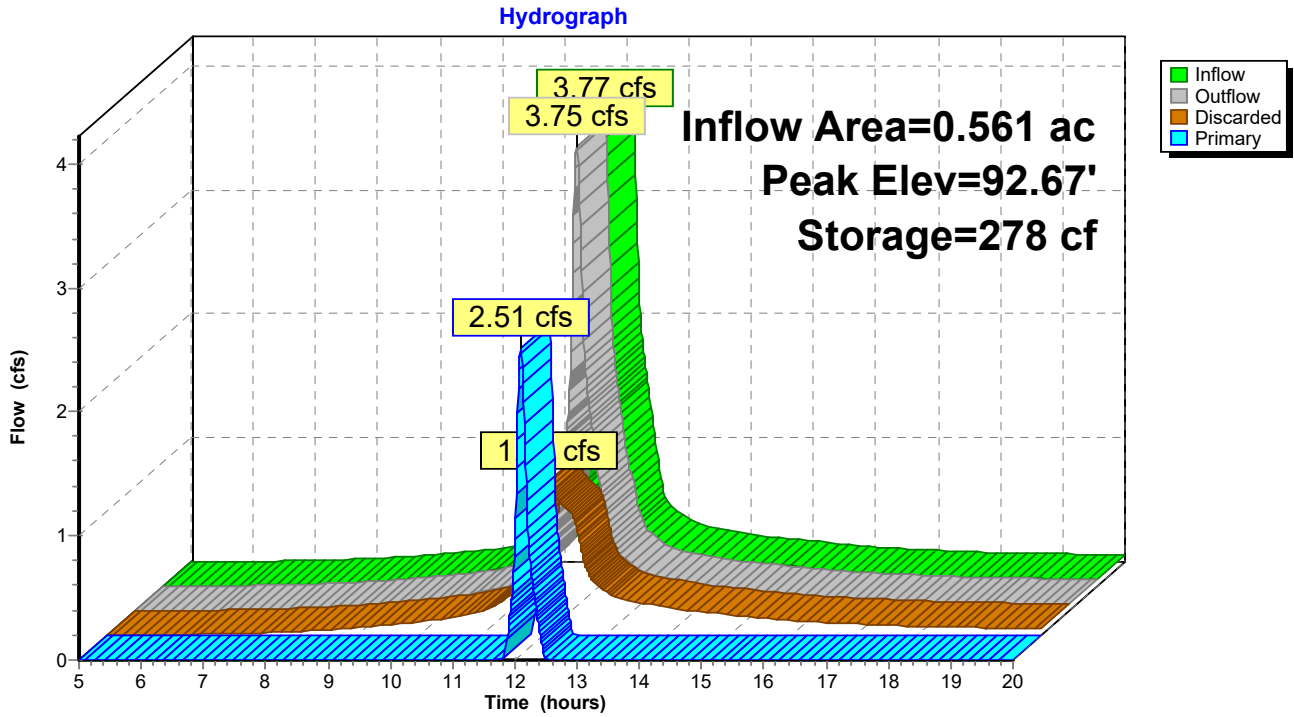
**Galezo Model 2020-0331**

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Pre-development  
Type III 24-hr 100-Year Rainfall=8.34"

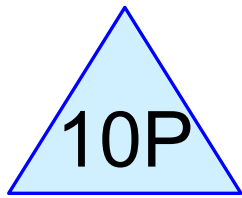
Printed 3/31/2020

**Pond 1P: Ex. Depression**

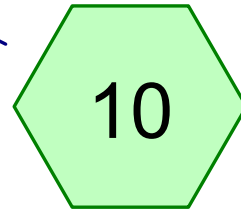


**APPENDIX D**  
**POST-DEVELOPMENT HYDROLOGY CALCULATIONS**

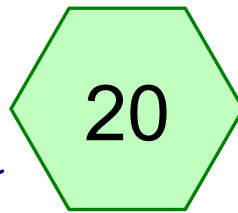




Infiltration Basin



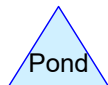
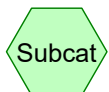
DA 10



DA 20



SDP2



**Routing Diagram for Galezo Model 2020-0331**

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**Galezo Model 2020-0331**

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Post-Development  
Type III 24-hr 1-Year Rainfall=2.61"  
Printed 3/31/2020

**Summary for Subcatchment 10: DA 10**

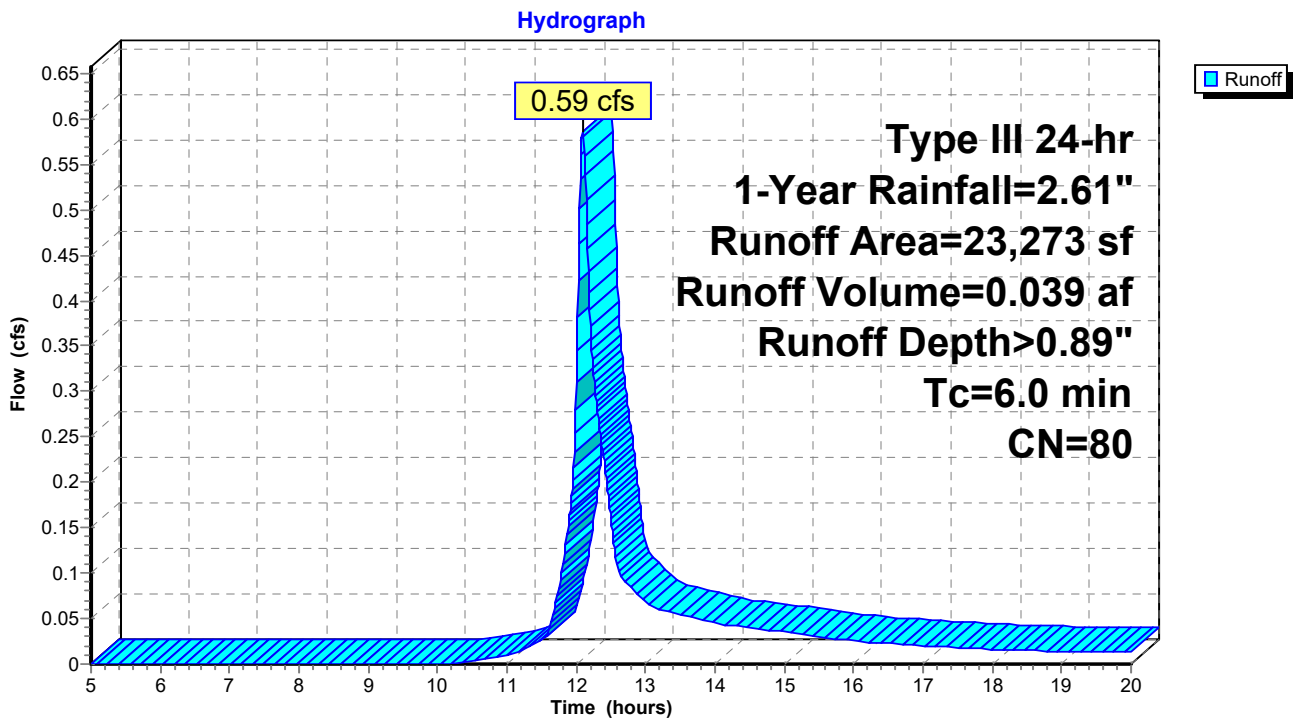
Runoff = 0.59 cfs @ 12.09 hrs, Volume= 0.039 af, Depth> 0.89"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 1-Year Rainfall=2.61"

Area (sf)	CN	Description
6,124	98	Paved parking, HSG C
17,149	74	>75% Grass cover, Good, HSG C
23,273	80	Weighted Average
17,149		73.69% Pervious Area
6,124		26.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 10: DA 10**



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Post-Development  
Type III 24-hr 1-Year Rainfall=2.61"  
Printed 3/31/2020

**Summary for Pond 10P: Infiltration Basin**

Inflow Area = 0.534 ac, 26.31% Impervious, Inflow Depth > 0.89" for 1-Year event  
Inflow = 0.59 cfs @ 12.09 hrs, Volume= 0.039 af  
Outflow = 0.31 cfs @ 12.26 hrs, Volume= 0.039 af, Atten= 47%, Lag= 10.1 min  
Discarded = 0.31 cfs @ 12.26 hrs, Volume= 0.039 af  
Primary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Peak Elev= 91.12' @ 12.26 hrs Surf.Area= 445 sf Storage= 184 cf

Plug-Flow detention time= 3.4 min calculated for 0.039 af (100% of inflow)  
Center-of-Mass det. time= 3.3 min ( 815.3 - 812.0 )

Volume	Invert	Avail.Storage	Storage Description
#1	90.60'	1,525 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
90.60	264	0	0
91.00	400	133	133
91.50	584	246	379
92.00	794	345	723
92.40	971	353	1,076
92.70	2,019	448	1,525

Device	Routing	Invert	Outlet Devices
#1	Primary	92.60'	<b>40.0' long Sharp-Crested Rectangular Weir</b> 2 End Contraction(s)
#2	Discarded	90.60'	<b>30.000 in/hr Exfiltration over Surface area</b>

**Discarded OutFlow** Max=0.31 cfs @ 12.26 hrs HW=91.12' (Free Discharge)  
↑**2=Exfiltration** (Exfiltration Controls 0.31 cfs)

**Primary OutFlow** Max=0.00 cfs @ 5.00 hrs HW=90.60' (Free Discharge)  
↑**1=Sharp-Crested Rectangular Weir** ( Controls 0.00 cfs)



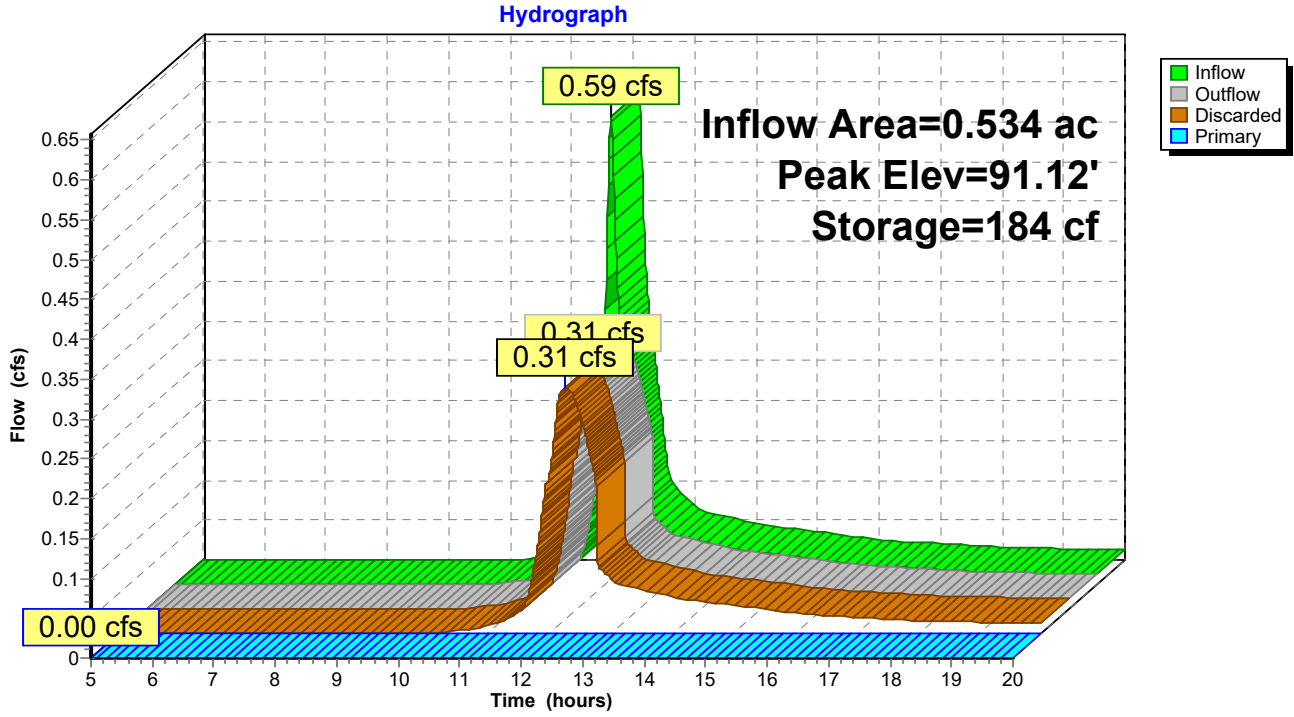
**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Post-Development  
Type III 24-hr 1-Year Rainfall=2.61"

Printed 3/31/2020

**Pond 10P: Infiltration Basin**



**Galezo Model 2020-0331**

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Post-Development  
Type III 24-hr 1-Year Rainfall=2.61"  
Printed 3/31/2020

**Summary for Subcatchment 20: DA 20**

Runoff = 0.07 cfs @ 12.08 hrs, Volume= 0.005 af, Depth> 2.23"

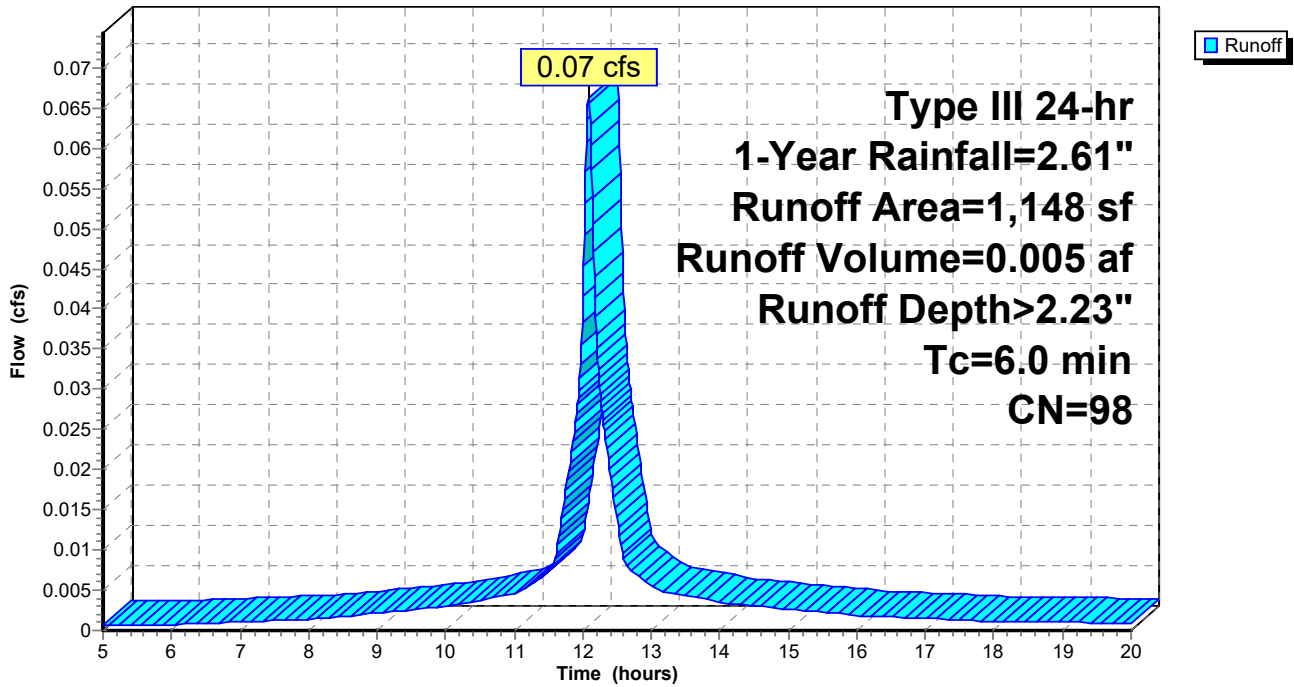
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 1-Year Rainfall=2.61"

Area (sf)	CN	Description
1,148	98	Paved parking, HSG C
1,148		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 20: DA 20**

Hydrograph



**Galezo Model 2020-0331**

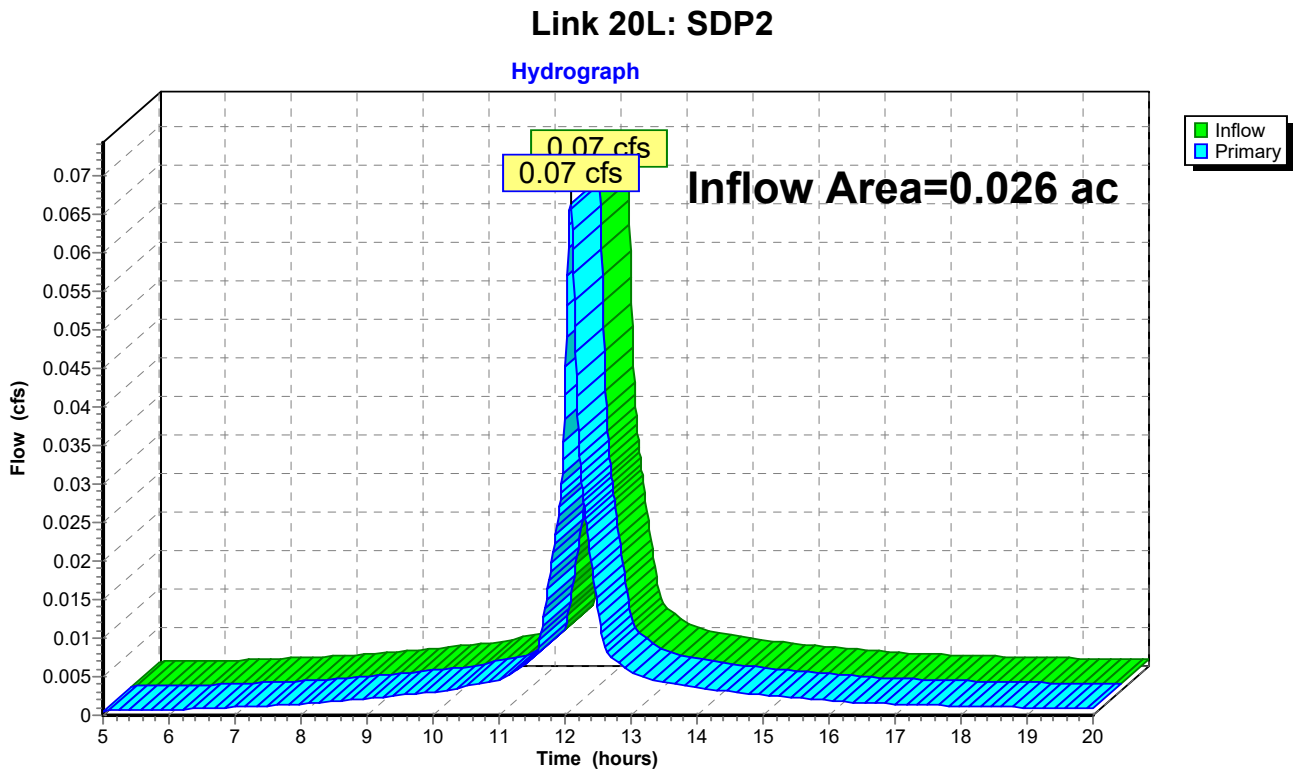
Prepared by Hudson Land Design Professional Engineering, P.C.  
HydroCAD® 10.00-20 s/n 04797 © 2017 HydroCAD Software Solutions LLC

Post-Development  
Type III 24-hr 1-Year Rainfall=2.61"  
Printed 3/31/2020

**Summary for Link 20L: SDP2**

Inflow Area = 0.026 ac, 100.00% Impervious, Inflow Depth > 2.23" for 1-Year event  
Inflow = 0.07 cfs @ 12.08 hrs, Volume= 0.005 af  
Primary = 0.07 cfs @ 12.08 hrs, Volume= 0.005 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs





# Galezo Model 2020-0331

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Post-Development  
Type III 24-hr 10-Year Rainfall=4.70"

Printed 3/31/2020

## Summary for Subcatchment 10: DA 10

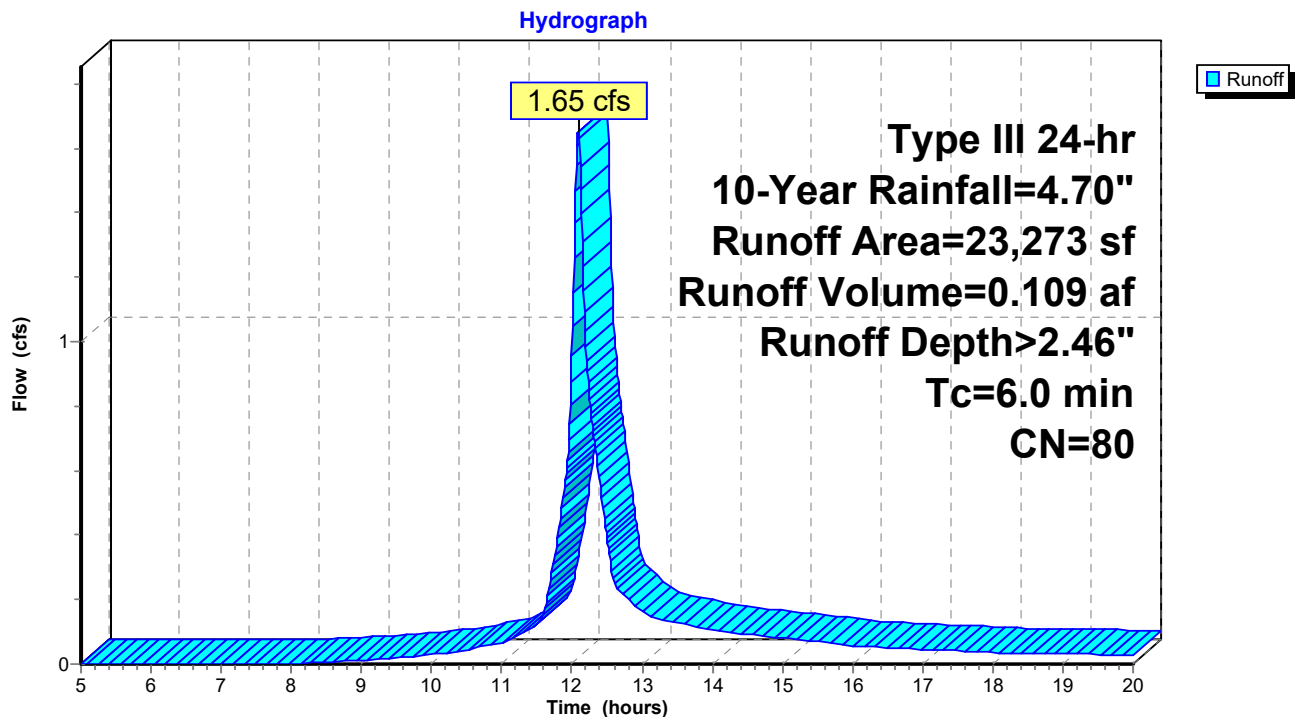
Runoff = 1.65 cfs @ 12.09 hrs, Volume= 0.109 af, Depth> 2.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-Year Rainfall=4.70"

Area (sf)	CN	Description
6,124	98	Paved parking, HSG C
17,149	74	>75% Grass cover, Good, HSG C
23,273	80	Weighted Average
17,149		73.69% Pervious Area
6,124		26.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

## Subcatchment 10: DA 10



**Galezo Model 2020-0331**

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Post-Development  
Type III 24-hr 10-Year Rainfall=4.70"  
Printed 3/31/2020

**Summary for Pond 10P: Infiltration Basin**

Inflow Area = 0.534 ac, 26.31% Impervious, Inflow Depth > 2.46" for 10-Year event  
Inflow = 1.65 cfs @ 12.09 hrs, Volume= 0.109 af  
Outflow = 0.64 cfs @ 12.35 hrs, Volume= 0.109 af, Atten= 61%, Lag= 15.6 min  
Discarded = 0.64 cfs @ 12.35 hrs, Volume= 0.109 af  
Primary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Peak Elev= 92.29' @ 12.35 hrs Surf.Area= 921 sf Storage= 969 cf

Plug-Flow detention time= 11.1 min calculated for 0.109 af (100% of inflow)  
Center-of-Mass det. time= 11.0 min ( 800.0 - 789.0 )

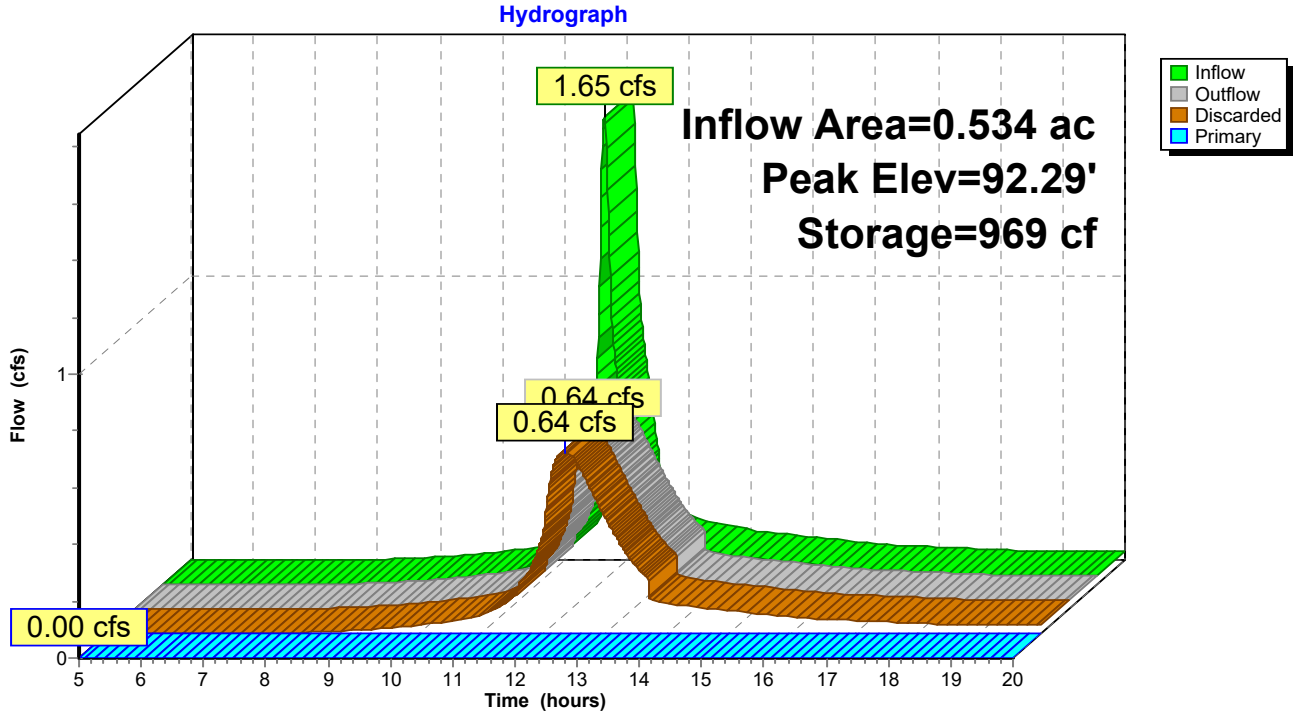
Volume	Invert	Avail.Storage	Storage Description
#1	90.60'	1,525 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
90.60	264	0	0
91.00	400	133	133
91.50	584	246	379
92.00	794	345	723
92.40	971	353	1,076
92.70	2,019	448	1,525

Device	Routing	Invert	Outlet Devices
#1	Primary	92.60'	<b>40.0' long Sharp-Crested Rectangular Weir</b> 2 End Contraction(s)
#2	Discarded	90.60'	<b>30.000 in/hr Exfiltration over Surface area</b>

**Discarded OutFlow** Max=0.64 cfs @ 12.35 hrs HW=92.29' (Free Discharge)  
↑**2=Exfiltration** (Exfiltration Controls 0.64 cfs)

**Primary OutFlow** Max=0.00 cfs @ 5.00 hrs HW=90.60' (Free Discharge)  
↑**1=Sharp-Crested Rectangular Weir** ( Controls 0.00 cfs)

### Pond 10P: Infiltration Basin





**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
HydroCAD® 10.00-20 s/n 04797 © 2017 HydroCAD Software Solutions LLC

Post-Development  
Type III 24-hr 10-Year Rainfall=4.70"  
Printed 3/31/2020

**Summary for Subcatchment 20: DA 20**

Runoff = 0.12 cfs @ 12.08 hrs, Volume= 0.009 af, Depth> 4.14"

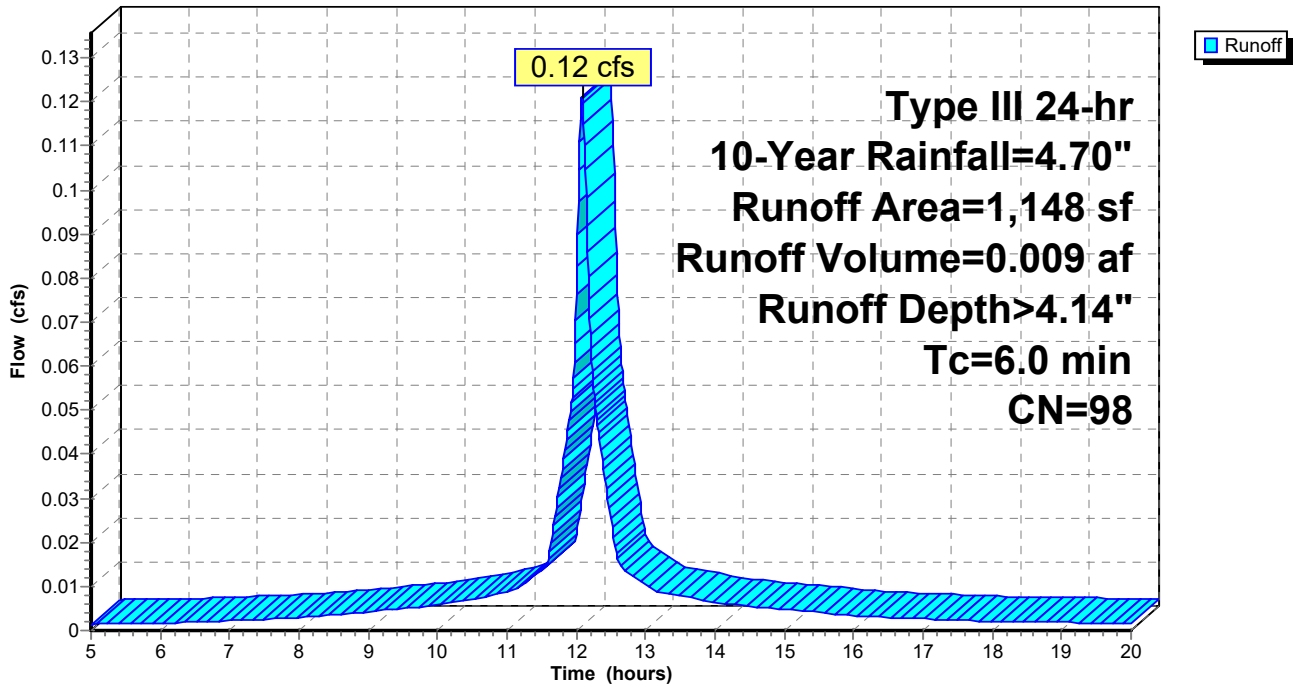
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-Year Rainfall=4.70"

Area (sf)	CN	Description
1,148	98	Paved parking, HSG C
1,148		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 20: DA 20**

Hydrograph



**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
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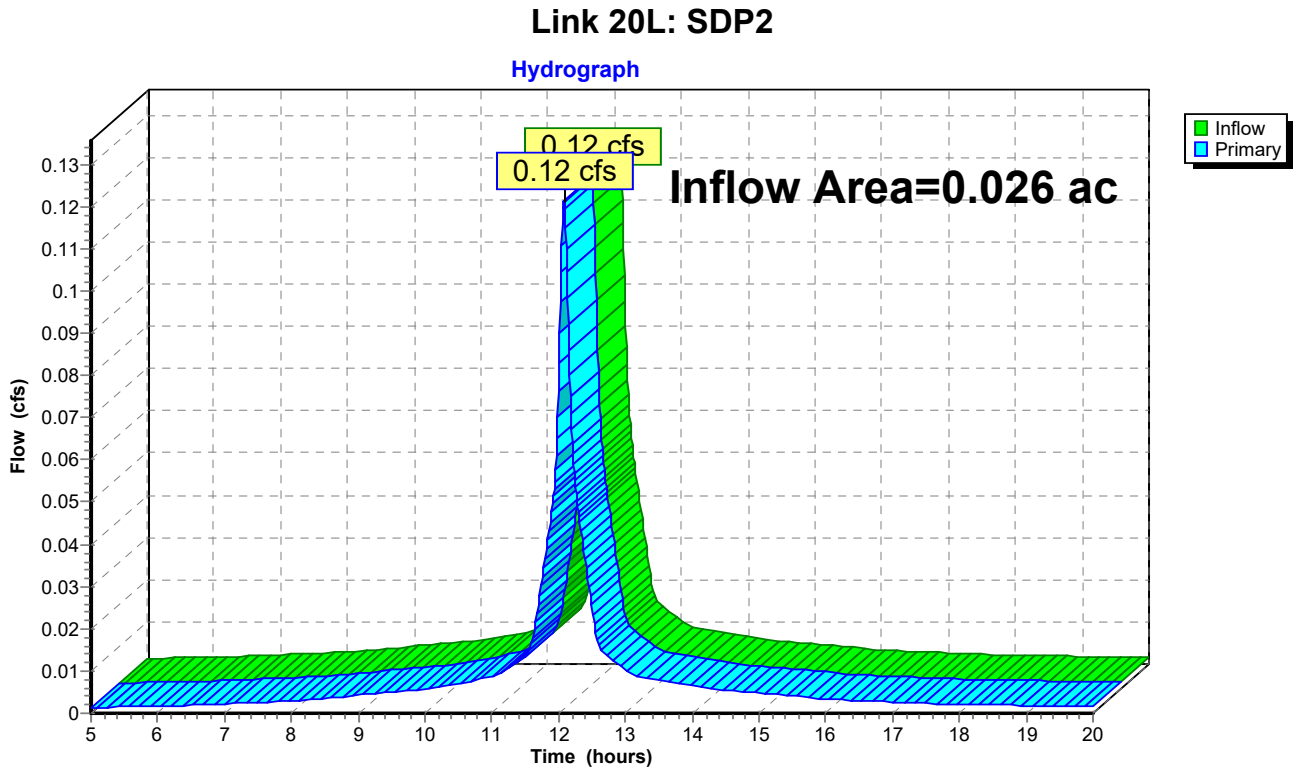
Post-Development  
Type III 24-hr 10-Year Rainfall=4.70"

Printed 3/31/2020

**Summary for Link 20L: SDP2**

Inflow Area = 0.026 ac, 100.00% Impervious, Inflow Depth > 4.14" for 10-Year event  
Inflow = 0.12 cfs @ 12.08 hrs, Volume= 0.009 af  
Primary = 0.12 cfs @ 12.08 hrs, Volume= 0.009 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs



# Galezo Model 2020-0331

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Post-Development  
Type III 24-hr 25-Year Rainfall=5.90"  
Printed 3/31/2020

## Summary for Subcatchment 10: DA 10

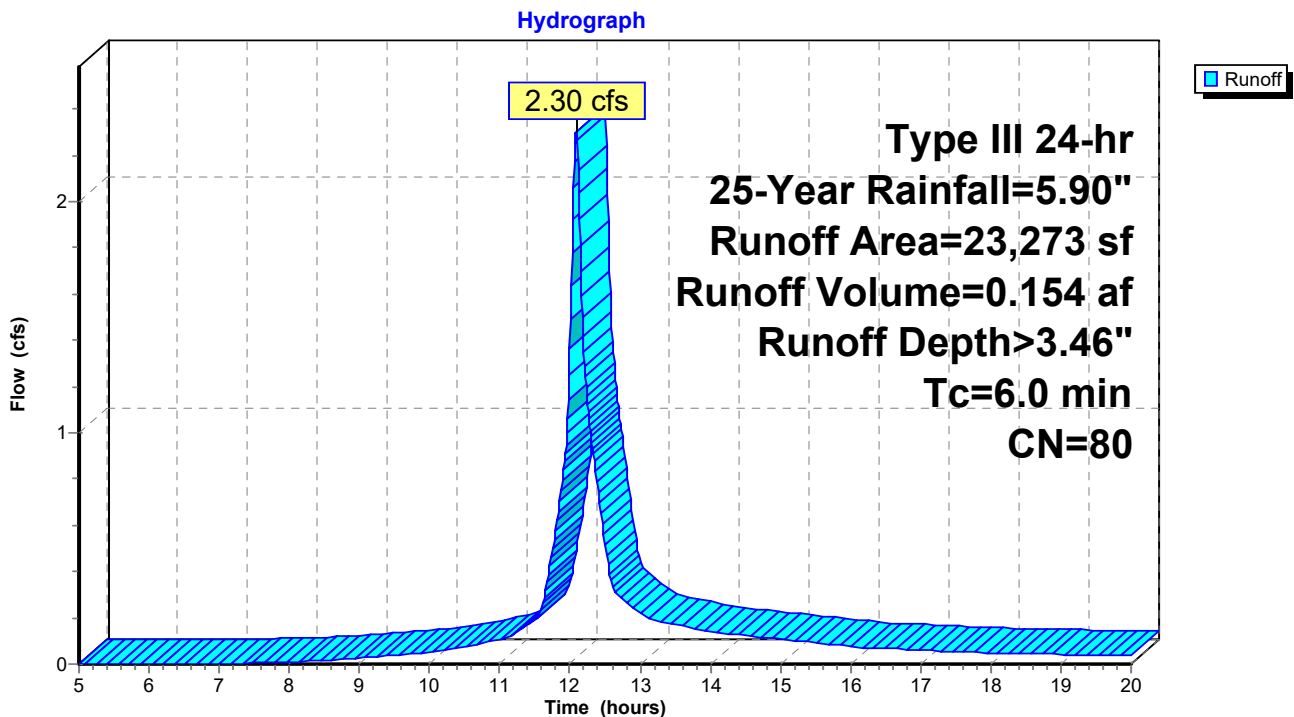
Runoff = 2.30 cfs @ 12.09 hrs, Volume= 0.154 af, Depth> 3.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 25-Year Rainfall=5.90"

Area (sf)	CN	Description
6,124	98	Paved parking, HSG C
17,149	74	>75% Grass cover, Good, HSG C
23,273	80	Weighted Average
17,149		73.69% Pervious Area
6,124		26.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

## Subcatchment 10: DA 10





**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Post-Development  
Type III 24-hr 25-Year Rainfall=5.90"  
Printed 3/31/2020

**Summary for Pond 10P: Infiltration Basin**

Inflow Area = 0.534 ac, 26.31% Impervious, Inflow Depth > 3.46" for 25-Year event  
Inflow = 2.30 cfs @ 12.09 hrs, Volume= 0.154 af  
Outflow = 1.15 cfs @ 12.24 hrs, Volume= 0.154 af, Atten= 50%, Lag= 9.3 min  
Discarded = 1.15 cfs @ 12.24 hrs, Volume= 0.154 af  
Primary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Peak Elev= 92.59' @ 12.24 hrs Surf.Area= 1,651 sf Storage= 1,331 cf

Plug-Flow detention time= 11.9 min calculated for 0.154 af (100% of inflow)  
Center-of-Mass det. time= 11.8 min ( 792.9 - 781.1 )

Volume	Invert	Avail.Storage	Storage Description
#1	90.60'	1,525 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
90.60	264	0	0
91.00	400	133	133
91.50	584	246	379
92.00	794	345	723
92.40	971	353	1,076
92.70	2,019	448	1,525

Device	Routing	Invert	Outlet Devices
#1	Primary	92.60'	<b>40.0' long Sharp-Crested Rectangular Weir</b> 2 End Contraction(s)
#2	Discarded	90.60'	<b>30.000 in/hr Exfiltration over Surface area</b>

**Discarded OutFlow** Max=1.15 cfs @ 12.24 hrs HW=92.59' (Free Discharge)  
↑**2=Exfiltration** (Exfiltration Controls 1.15 cfs)

**Primary OutFlow** Max=0.00 cfs @ 5.00 hrs HW=90.60' (Free Discharge)  
↑**1=Sharp-Crested Rectangular Weir** ( Controls 0.00 cfs)

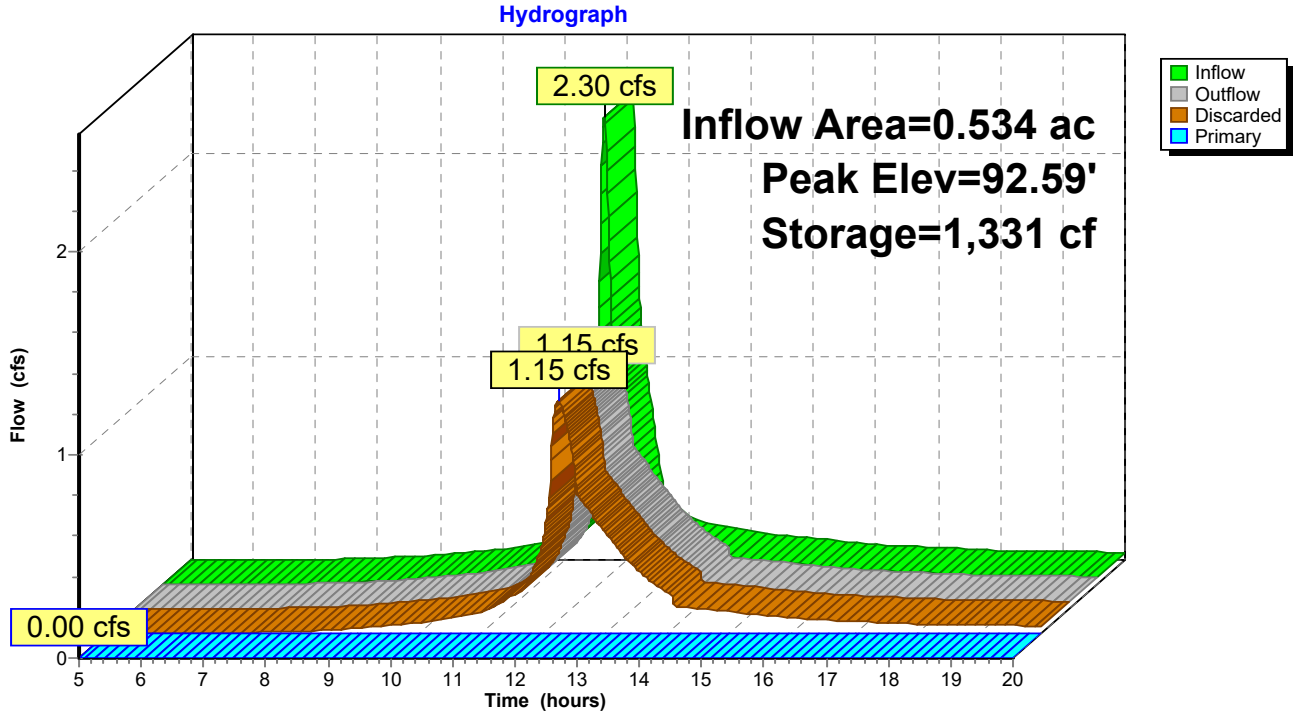
**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
HydroCAD® 10.00-20 s/n 04797 © 2017 HydroCAD Software Solutions LLC

Post-Development  
Type III 24-hr 25-Year Rainfall=5.90"

Printed 3/31/2020

**Pond 10P: Infiltration Basin**



# Galezo Model 2020-0331

Prepared by Hudson Land Design Professional Engineering, P.C.  
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Post-Development  
Type III 24-hr 25-Year Rainfall=5.90"  
Printed 3/31/2020

## Summary for Subcatchment 20: DA 20

Runoff = 0.15 cfs @ 12.08 hrs, Volume= 0.011 af, Depth> 5.24"

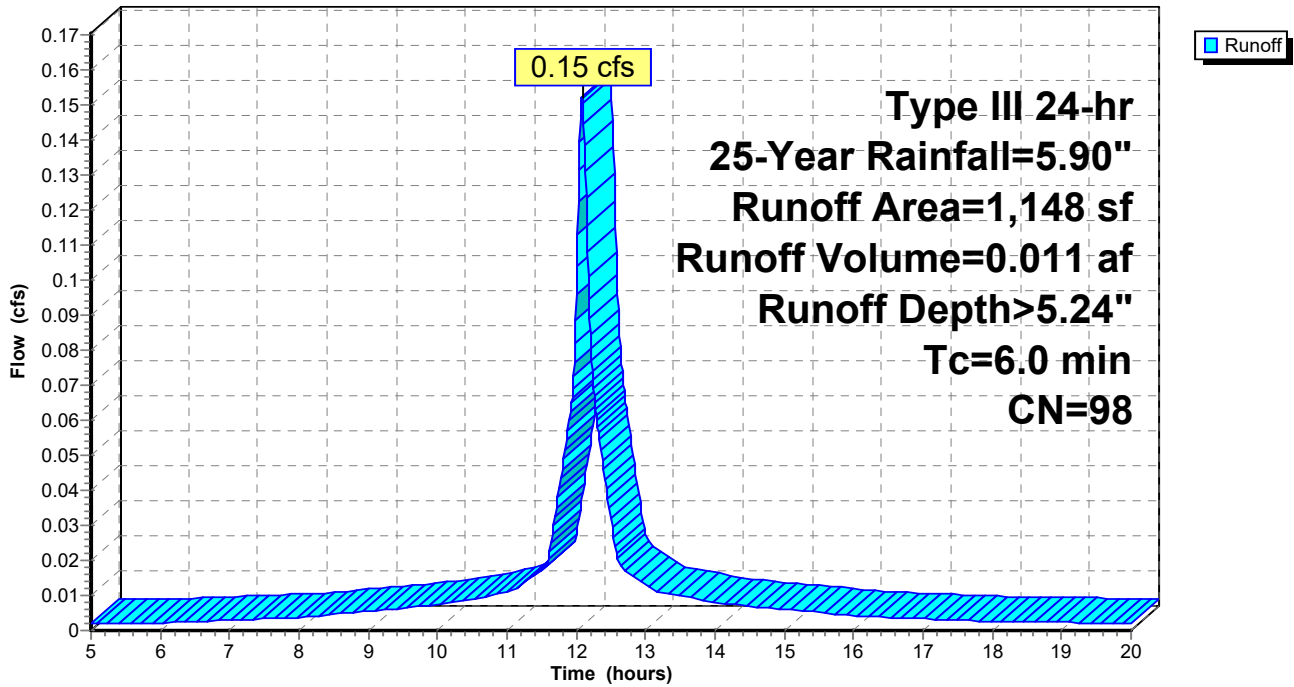
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 25-Year Rainfall=5.90"

Area (sf)	CN	Description
1,148	98	Paved parking, HSG C
1,148		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

## Subcatchment 20: DA 20

Hydrograph





**Galezo Model 2020-0331**

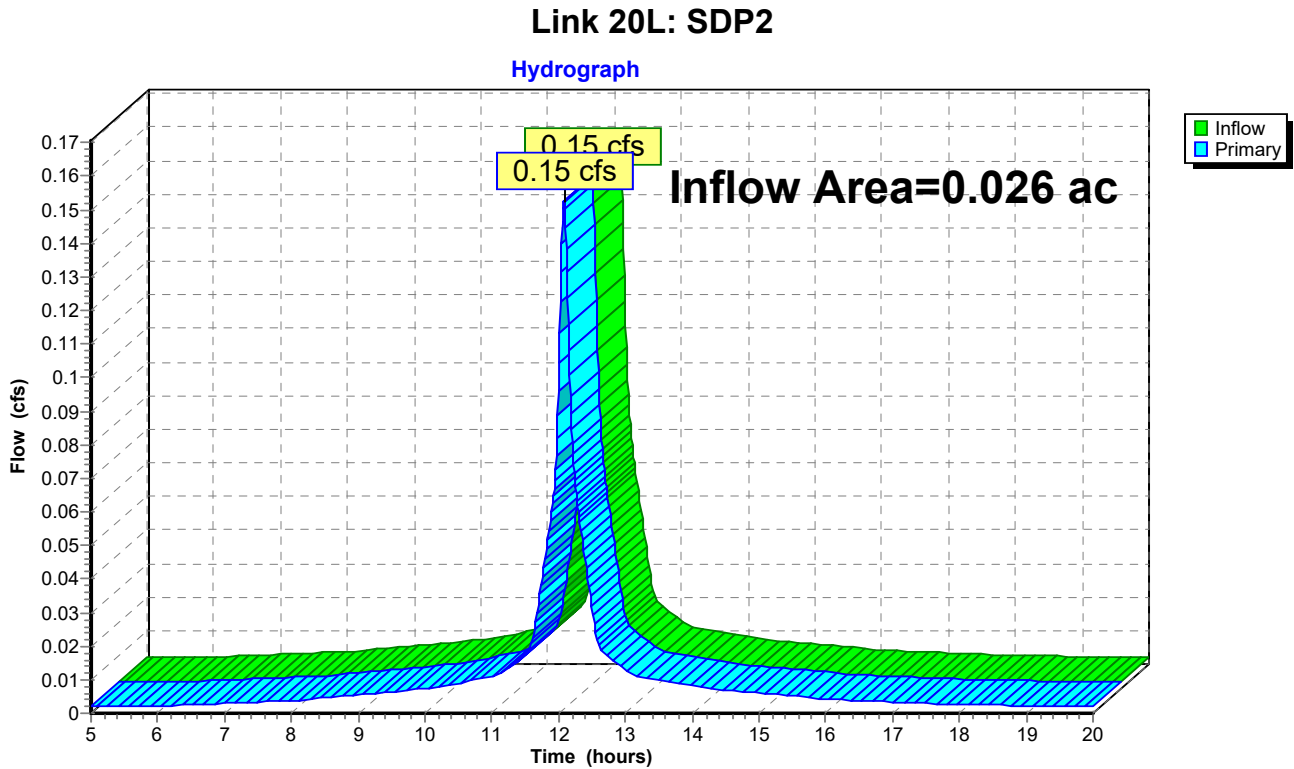
Prepared by Hudson Land Design Professional Engineering, P.C.  
HydroCAD® 10.00-20 s/n 04797 © 2017 HydroCAD Software Solutions LLC

Post-Development  
Type III 24-hr 25-Year Rainfall=5.90"  
Printed 3/31/2020

**Summary for Link 20L: SDP2**

Inflow Area = 0.026 ac, 100.00% Impervious, Inflow Depth > 5.24" for 25-Year event  
Inflow = 0.15 cfs @ 12.08 hrs, Volume= 0.011 af  
Primary = 0.15 cfs @ 12.08 hrs, Volume= 0.011 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs



**Galezo Model 2020-0331**

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Post-Development  
Type III 24-hr 100-Year Rainfall=8.34"  
Printed 3/31/2020

**Summary for Subcatchment 10: DA 10**

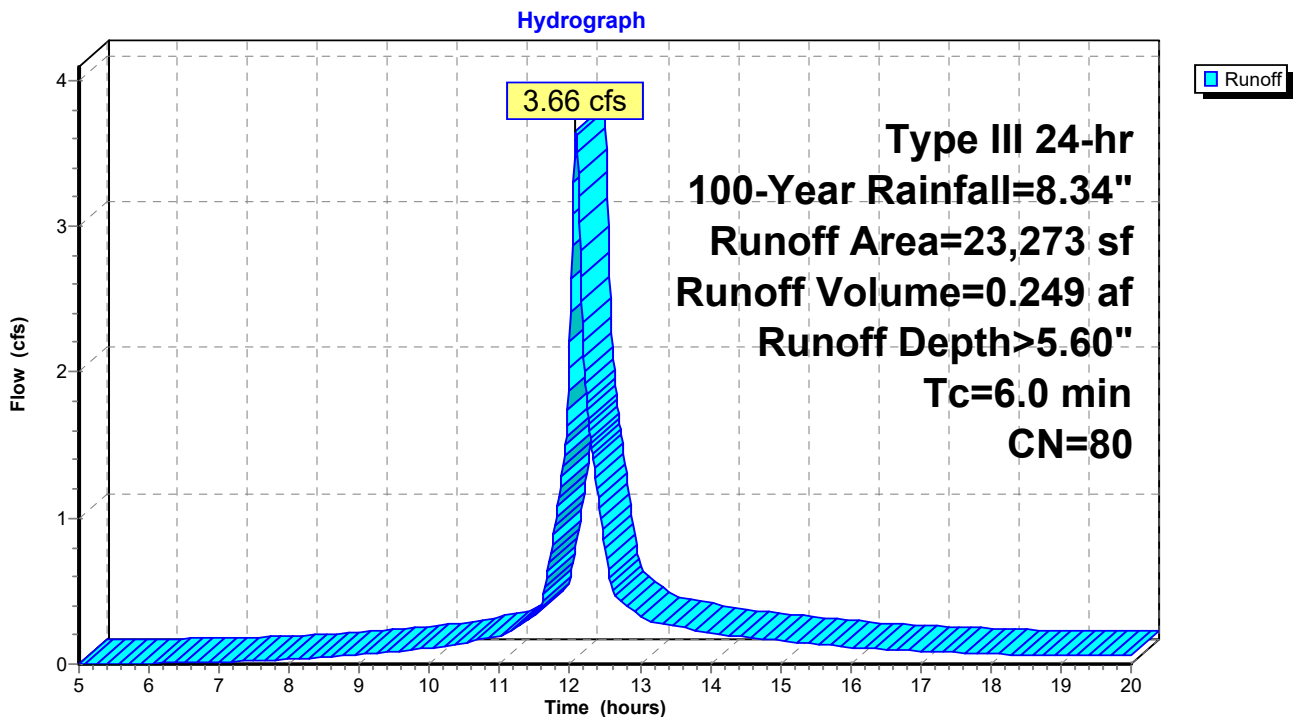
Runoff = 3.66 cfs @ 12.09 hrs, Volume= 0.249 af, Depth> 5.60"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 100-Year Rainfall=8.34"

Area (sf)	CN	Description
6,124	98	Paved parking, HSG C
17,149	74	>75% Grass cover, Good, HSG C
23,273	80	Weighted Average
17,149		73.69% Pervious Area
6,124		26.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 10: DA 10**



**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
HydroCAD® 10.00-20 s/n 04797 © 2017 HydroCAD Software Solutions LLC

Post-Development  
Type III 24-hr 100-Year Rainfall=8.34"  
Printed 3/31/2020

**Summary for Pond 10P: Infiltration Basin**

Inflow Area = 0.534 ac, 26.31% Impervious, Inflow Depth > 5.60" for 100-Year event  
Inflow = 3.66 cfs @ 12.09 hrs, Volume= 0.249 af  
Outflow = 3.61 cfs @ 12.10 hrs, Volume= 0.249 af, Atten= 1%, Lag= 0.8 min  
Discarded = 1.32 cfs @ 12.10 hrs, Volume= 0.221 af  
Primary = 2.29 cfs @ 12.10 hrs, Volume= 0.028 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Peak Elev= 92.67' @ 12.10 hrs Surf.Area= 1,904 sf Storage= 1,460 cf

Plug-Flow detention time= 10.7 min calculated for 0.249 af (100% of inflow)  
Center-of-Mass det. time= 10.7 min ( 780.3 - 769.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	90.60'	1,525 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
90.60	264	0	0
91.00	400	133	133
91.50	584	246	379
92.00	794	345	723
92.40	971	353	1,076
92.70	2,019	448	1,525

Device	Routing	Invert	Outlet Devices
#1	Primary	92.60'	<b>40.0' long Sharp-Crested Rectangular Weir</b> 2 End Contraction(s)
#2	Discarded	90.60'	<b>30.000 in/hr Exfiltration over Surface area</b>

**Discarded OutFlow** Max=1.32 cfs @ 12.10 hrs HW=92.67' (Free Discharge)  
↳ **2=Exfiltration** (Exfiltration Controls 1.32 cfs)

**Primary OutFlow** Max=2.27 cfs @ 12.10 hrs HW=92.67' (Free Discharge)  
↳ **1=Sharp-Crested Rectangular Weir** (Weir Controls 2.27 cfs @ 0.85 fps)



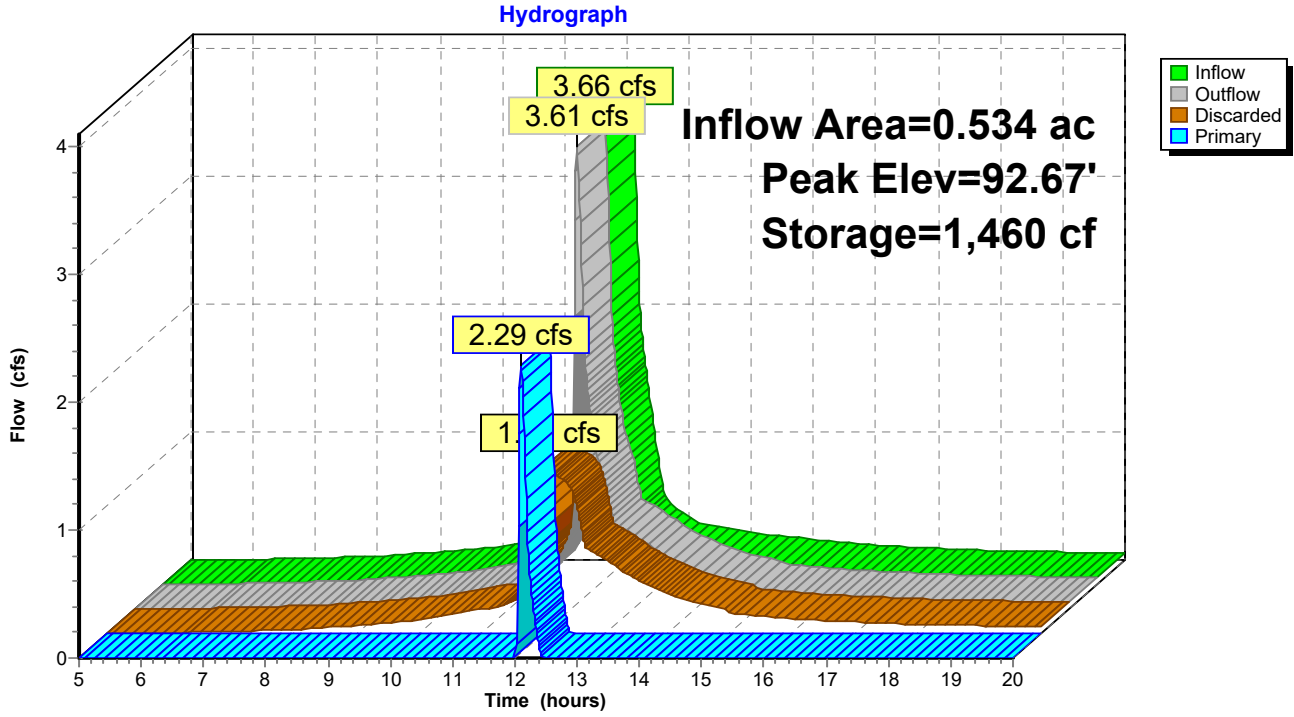
**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
HydroCAD® 10.00-20 s/n 04797 © 2017 HydroCAD Software Solutions LLC

Post-Development  
Type III 24-hr 100-Year Rainfall=8.34"

Printed 3/31/2020

**Pond 10P: Infiltration Basin**



**Galezo Model 2020-0331**

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Post-Development  
Type III 24-hr 100-Year Rainfall=8.34"  
Printed 3/31/2020

**Summary for Subcatchment 20: DA 20**

Runoff = 0.22 cfs @ 12.08 hrs, Volume= 0.016 af, Depth> 7.45"

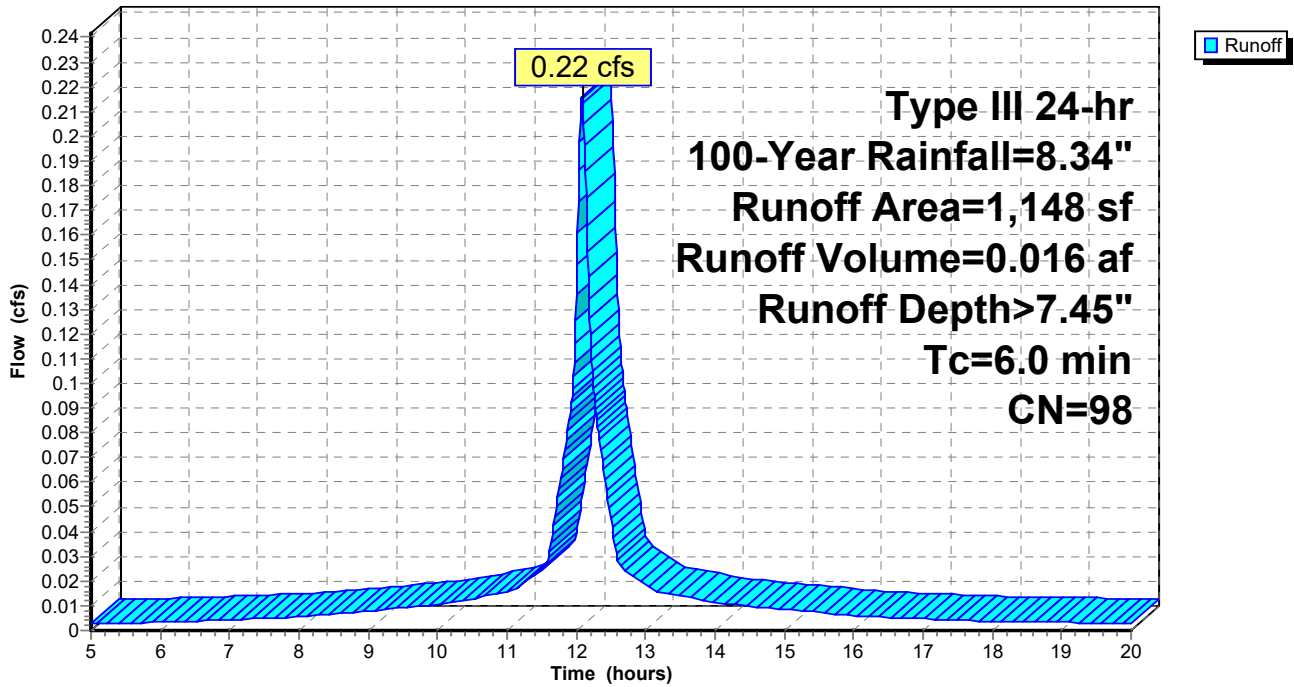
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs  
Type III 24-hr 100-Year Rainfall=8.34"

Area (sf)	CN	Description
1,148	98	Paved parking, HSG C
1,148		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Minimum

**Subcatchment 20: DA 20**

Hydrograph



**Galezo Model 2020-0331**

Prepared by Hudson Land Design Professional Engineering, P.C.  
HydroCAD® 10.00-20 s/n 04797 © 2017 HydroCAD Software Solutions LLC

Post-Development  
Type III 24-hr 100-Year Rainfall=8.34"  
Printed 3/31/2020

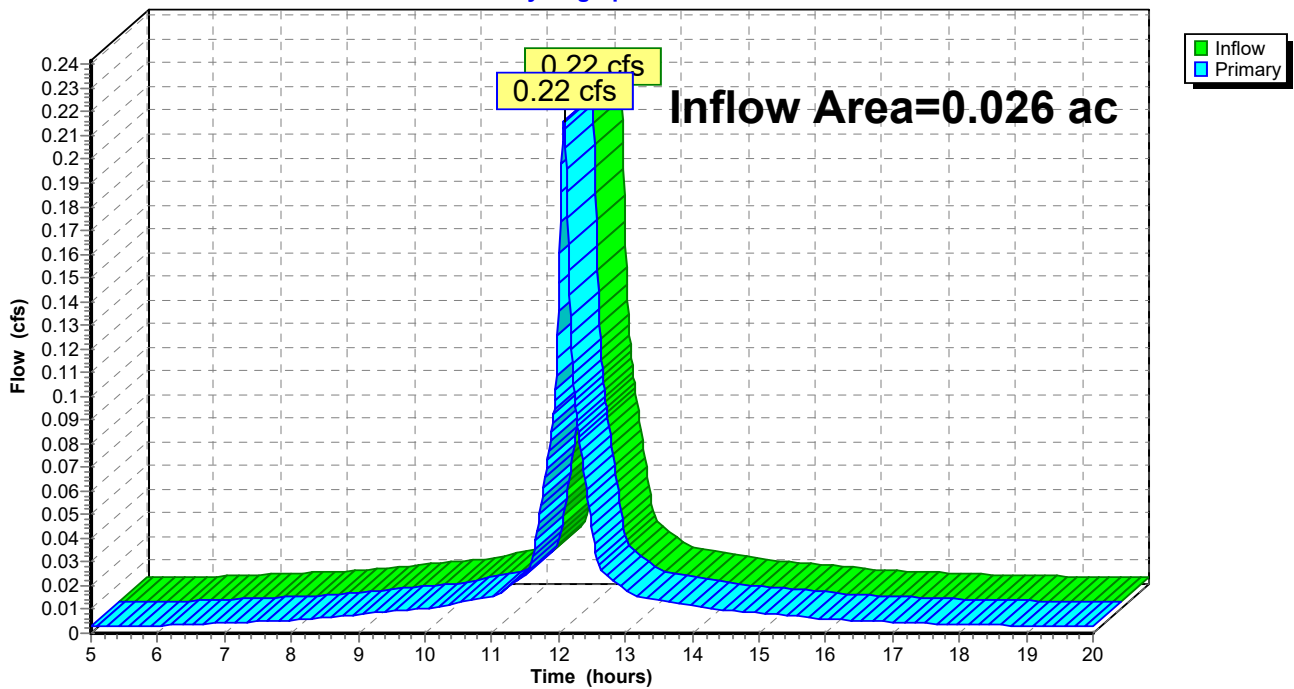
**Summary for Link 20L: SDP2**

Inflow Area = 0.026 ac, 100.00% Impervious, Inflow Depth > 7.45" for 100-Year event  
Inflow = 0.22 cfs @ 12.08 hrs, Volume= 0.016 af  
Primary = 0.22 cfs @ 12.08 hrs, Volume= 0.016 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 5.00-20.00 hrs, dt= 0.01 hrs

**Link 20L: SDP2**

Hydrograph





To: John Gunn, Chair, and the City of Beacon Planning Board

Date: April 9, 2020

Re: **160 Rombout Avenue Subdivision**

I have reviewed the March 31, 2020 response letter from Hudson Land Design and a 4-sheet Preliminary Subdivision Plan with the last revision date of March 31, 2020.

**Proposal**

The applicant is proposing to subdivide an 0.33-acre parcel with one existing house into two lots for the construction of an additional single-family house. The parcel is in the R1-5 zoning district.

**Comments and Recommendations**

All my previous comments have been addressed. I have no additional planning concerns.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

- c: Dave Buckley, Building Inspector
- Jennifer L. Gray, Esq., City Attorney
- Arthur R. Tully, P.E., City Engineer
- John Russo, P.E., City Engineer
- Daniel G. Koehler, P.E., Project Engineer

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal  
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal  
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal  
John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

April 10, 2020

Mr. John Gunn  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 160 Rombout Ave. Subdivision  
Tax No. 5954-35-853796  
City of Beacon

Dear Mr. Gunn:

My office has received the following regarding the above application:

- Response correspondence from Hudson Land Design dated March 31, 2020.
- Drainage Report titled "160 Rombout Avenue Subdivision" as prepared by Hudson Land Design, with the latest revision date of March 31, 2020.
- Set of plans entitled "160 Rombout Avenue Subdivision" as prepared by Hudson Land Design and consisting of the following sheets:
  - Sheet 1 of 4 titled "Preliminary Subdivision Plat", last revised March 31, 2020.
  - Sheet 2 of 4 titled "Preliminary Subdivision Plan" last revised March 31, 2020.
  - Sheet 3 of 4 titled "Construction Details" last revised March 31, 2020.
  - Sheet 4 of 4 titled "Construction Details & Notes" last revised March 31, 2020.

Based on our review of the above documents and plans, we offer the following comments:

General Comments:

1. We would recommend that a maintenance agreement be prepared for the rain garden/infiltration basin system proposed on Lot 2 and that the agreement be linked to the deed of this parcel to ensure the perpetual maintenance of the stormwater system in the future. *The applicant has noted that a maintenance agreement will be provided once the design concept is approved.*

Subdivision Plat:

1. The plat will need to be signed and sealed by the licensed land surveyor. *The applicant states that the final plans will be signed and stamped.*
2. The plan shows a wire fence to be running across a portion of the parcel in the easterly corner of proposed Lot 2. Who owns this fence line, as we need to ensure that this is not an encroachment? If this is the neighbors fence line, how will this encroachment be handled? *The applicant states that they are attempting to have conversations with the adjacent property owners to determine the disposition of the fences.*

Subdivision Plan:

1. The invert elevation of the sewer line entering the sanitary sewer manhole to the south-east of the project should be provided on the plan.

Construction Details:

1. A construction detail shall be added to the plan for the connection of the proposed sanitary sewer service to the existing sewer main in Rombout Avenue.

Drainage Report:

1. The title on the 2<sup>nd</sup> map of the drainage mapping should be revised to read "Post Development", as it currently states Pre-Development.
2. Based upon our review of the drainage report and plans, we find the proposed stormwater management for the site to be acceptable. As noted under the General Comments above, a maintenance agreement will be required for this stormwater management area.

This completes our review at this time. Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

cc: John Clarke, Planner  
Jennifer Gray, Esq.  
David Buckley, Building Inspector



Project:

Date:

***Short Environmental Assessment Form  
Part 2 - Impact Assessment***

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Project:

Date:

### ***Short Environmental Assessment Form Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)

**ATTACHMENT TO  
NEGATIVE DECLARATION  
REASONS SUPPORTING DETERMINATION**

**APPLICATION FOR 2-LOT RESIDENTIALSUBDIVISION APPROVAL  
FOR 160 ROMBOUT AVENUE**

**Parcel ID# No. 5954-35-853796**

**CONCLUSIONS**

This Part 3 analysis has been prepared to address all relevant areas of environmental concern as identified in the review by the Planning Board. This narrative will discuss and explain the analysis of the potential impacts, and why a particular element of the proposed action will not result in a significant adverse environmental impact. Such analysis is appropriately set forth in Part 3, even if the potential impact was identified as “none” or “small.” Based upon a review of Parts 1 and 2 of the Short Environmental Assessment Form (SEAF) and all other application materials that were submitted in support of the Proposed Action, along with reports from City staff and consultants, information from involved and interested agencies, and information from the public, the Planning Board, acting as Lead Agency, provides the following rationale for its SEQRA Determination.

**Project Description:**

The Proposed Action is the subdivision of an existing 0.33-acre parcel, where an existing single-family residence will remain on Lot 1 which will consist of 0.1657254 acres, and a single-family residence is proposed on Lot 2 which will consist of 0.1671488 acres. The property is located at 160 Rombout Avenue designated on the Tax Map of the City of Beacon as **Parcel ID# No. 5954-35-853796** in the R1-5 One-Family Residence (“R1-5”) Zoning District (the “Property” or “Site”).

The Proposed Action is an Unlisted Action.

**Summary of Rationale for Negative Declaration**

The Proposed Action will not result in any significant adverse impacts on the environment.

- **Impact on Land: The Proposed Action will not have a significant adverse environmental impact as a result of any physical change to the project site.**

The Property is located in the R1-5 Zoning District and is currently improved with an existing single-family residence. The Applicant seeks to subdivide the parcel into two lots, Lot 1 consisting of 0.1657254 acres where the existing single-family residence will remain, and Lot 2 consisting of 0.1671488 acres where the Applicant proposes the



construction of a new single-family residence. There are no wetlands on the property. There are no steep slopes or natural features that require significant grading or excavation. No significant adverse environmental impacts are expected as a result of any physical change to the project site.

- **Impact on Geological Features: The Proposed Action will not have a significant adverse environmental impact on any unique or unusual land forms on the site.**

There are no unique geological features on the Property.

- **Impacts on Surface Water and Groundwater: The Proposed Action will not have a significant adverse environmental impact on surface or groundwater quality or quantity.**

The Project does not include or require wastewater discharged to groundwater.

The Project includes the implementation of erosion and sediment controls, including stormwater management facilities. The Applicant has agreed the preparation of a Stormwater Maintenance Agreement which will describe the post-construction maintenance protocols for the stormwater management features on the Property which document will be recorded against the Property in the Dutchess County Clerk's Office.

The Project will be connected to the existing public water distribution and sanitary sewer systems. The total estimated increase in water and wastewater demand for the Site is 330 gallons per day (gpd).

As a result, the Project will not result in a significant adverse impact on surface or groundwater quality or quantity.

- **Impact on Flooding: The Proposed Action will not have a significant adverse environmental impact on or alter drainage flows or patterns, or surface water runoff.**

For the reasons set forth above, the Project will not have a significant adverse impact on or alter drainage flows or patterns, or on surface water runoff.

- **Impact on Air: The Proposed Action will not have a significant adverse environmental impact on air quality.**

Construction activities including paving, grading and excavation could result in temporary air quality impacts. However, air quality in the area is not expected to be significantly impacted by project construction because the construction activities will be temporary and confined to the Property. Construction will be limited to 8:00 am – 4:00 p.m. Monday through Friday and 9:00 a.m. – 4:00 p.m. on Saturdays. Construction vehicles will emit certain air pollutants through engine exhaust. There is also the potential for fugitive dust to

be created during the construction period from site preparation activities. Fugitive dust emissions will be mitigated by wetting and stabilizing soils to suppress dust generation. Other dust suppression methods include the spraying of soil stockpiles during dry periods and covering trucks carrying solid and other dry materials. These unavoidable short term impacts to air quality will cease upon project completion. Construction will be conducted in accordance with all applicable federal, state and local codes. It is anticipated that nearby properties may experience temporary fugitive dust and an elevation in vehicle emissions from construction vehicles throughout occasional periods during construction of the proposed project. This is a temporary, construction-related, unavoidable impact that is not significant.

- **Impact on Plants and Animals: The Proposed Action will not have a significant adverse environmental impact on flora or fauna.**

There are no species of animals, or associated habitats, listed by the State or Federal Government as threatened or endangered. Two trees are proposed to be removed: 8” Beech and a 10” Cedar. Two Red Maple trees are proposed to be planted on the Property as street trees. For these reasons, the Proposed Action will not have a significant adverse environmental impact on flora and fauna.

- **Impact on Agricultural Resources: The Proposed Action will not have a significant adverse environmental impact on agricultural resources.**

There are no agricultural resources in the vicinity of the Property.

- **Impact on Aesthetic Resources: The Proposed Action will not have a significant adverse environmental impact on aesthetic resources.**

There are no aesthetic resources in the vicinity of the Property.

- **Impact on Historic and Archeological Resources: The Proposed Action will not have a significant adverse environmental impact on historic or archeological resources.**

The Proposed Action is adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory. However, the proposed development on the Property is consistent with the existing neighborhood and will not affect archaeological resources. The Proposed Action will not have a significant adverse environmental impact on historic or archaeological resources.

- **Impact on Open Space and Recreation: The Proposed Action will not have a significant adverse environmental impact on open space and recreation.**

The area of the Proposed Action is not designated as open space by the City of Beacon. The Proposed Action will not result in the loss of a current or future recreational resource, eliminate significant open space, or result in loss of an area now used informally by the community as an open space resource.

- **Impact on Critical Environmental Areas: The Proposed Action will not have a significant adverse environmental impact on Critical Environmental Areas.**

The Proposed Action is not located in a Critical Environmental Area.

- **Impact on Transportation: The Proposed Action will not have a significant adverse environmental impact on transportation.**

Traffic. The additional traffic generated by the construction of a single-family residence near a major thoroughfare (Route 52) will be insignificant.

Parking. The proposed turnaround driveway has been modified to extend further and accommodate the 2 parking spaces as required by the City of Beacon Code. Demand is sufficiently met and there will be no impact on parking.

The Proposed Action will not have a significant adverse environmental impact on transportation.

- **Impact on Energy: The Proposed Action will not have a significant adverse environmental impact on energy.**

The existing energy infrastructure will adequately serve the additional demand. The Proposed Action does not require a new, or an upgrade to any existing substation.

- **Impact on Noise, Odor and Light: The Proposed Action will not have a significant adverse environmental impact as a result of objectionable odors, noise or light.**

The Proposed Action is not anticipated to generate any discernable odors at the property line. Noise impacts associated with the proposed Project will be limited to temporary impacts generated during construction. It is not anticipated that blasting will be necessary during the proposed construction. If blasting does become necessary, it will be performed in accordance with all applicable state and local requirements. In addition, there will be no significant noise impacts post-construction. Proposed lighting will be shielded to prevent light pollution onto neighboring properties.

- **Impact on Human Health: The Proposed Action will not have a significant adverse environmental impact on human health from exposure to new or existing sources of contaminants.**

The construction of a single-family residence and associated parking is generally not associated with significant adverse impacts on human health from exposure to new or existing sources of contaminants.

The SEAF Part 1, identifies a property that was subject to remediation for hazardous waste (CH-MGP - Beacon Street; Site Code: 314069, located on River Street). River Street is a significant distance from the Property and thus there is little or no risk that it contributed to any contamination in or around the Property.

The area is supplied by a public water supply.

Additionally, use as a single-family residence does not typically produce contaminants that will be released into the air exposing humans to adverse environmental impacts, the effects of air disturbance and noise are limited to the construction period which is temporary and confined to the Property. As such the Proposed Action will not have a significant adverse environmental impact on human health from exposure to new or existing sources of contaminants.

- **Consistency with Community Plans and Community Character: The Proposed Action is not inconsistent with adopted community plans and community character.**

The Proposed Action is generally consistent with the Comprehensive Plan and City Zoning Code.

Based upon this information and the information in the Short Environmental Assessment Form, the Planning Board finds that the Proposed Action will not have any significant adverse impacts upon the environment. This Negative Declaration indicates that no environmental impact statement need be prepared and that the SEQRA process is complete.

Resolution Adopted: April 14, 2020  
Beacon, New York

\_\_\_\_\_, 2020  
John Gunn, Chairman Dated  
City of Beacon Planning Board

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_:

Kevin Byrne	Voting _____	Leonard Warner	Voting _____
Rick Muscat	Voting _____	J. Randall Williams	Voting _____
Karen Quiana	Voting _____	John Gunn, Chairman	Voting _____
Jill Reynolds	Voting _____		



**RESOLUTION**

**PLANNING BOARD  
BEACON, NEW YORK**

**PRELIMINARY AND FINAL SUBDIVISION PLAT APPROVALS FOR  
160 ROMBOUT AVENUE**

**Parcel ID#5954-35-853796**

**WHEREAS**, the Beacon Planning Board received applications for Preliminary and Final Subdivision Plat Approvals from Hudson Land Design, on behalf of the applicant Karic Associates, LLC, (the “Applicant”) for a 2-lot residential subdivision (the “Project” or “Proposed Action”) on an 0.33-acre parcel located at 160 Rombout Avenue and designated on the Tax Map of the City of Beacon as **Parcel ID# 5954-35-853796** in the R1-5 One-Family Residence (“R1-5”) Zoning District (the “Property”); and

**WHEREAS**, the Applicant is proposing to subdivide an 0.33-acre parcel with one existing house into two lots for the construction of an additional single-family house; and

**WHEREAS**, Proposed Lot 1 would consist of approximately 7,219 square feet/0.1657254 acres and Proposed Lot 2 would consist of approximately 7,281 square feet/0.1671488 acres; and

**WHEREAS**, the Planning Board is the approval authority for the Subdivision pursuant to City of Beacon Code §195-2; and

**WHEREAS**, the application consists of application forms, correspondence, Short Environmental Assessment Form (“SEAF”) and professional studies and reports submitted to the Planning Board; and

**WHEREAS**, the subdivision is shown on the drawings, entitled “160 Rombout Avenue Subdivision,” Sheets 1-4, dated December 31, 2019, last revised February 25, 2020, as prepared by Hudson Land Design, as follows:

<u>Sheet</u>	<u>Title</u>
1 of 4	<i>Preliminary Subdivision Plan</i>
2 of 4	<i>Preliminary Subdivision Plan</i>
3 of 4	<i>Construction Details</i>
4 of 4	<i>Construction Details and Notes; and</i>

**WHEREAS**, the Proposed Action is an Unlisted Action pursuant to the New York State Environmental Quality Review Act (“SEQRA”); and

**WHEREAS**, the Planning Board reviewed the application at its meetings on January 14, 2020, March 10, 2020, and April 14, 2020; and

**WHEREAS**, on January 29, 2020 the Planning Board circulated its Notice of Intent to be Lead Agency pursuant to the State Environmental Quality Review Act (“SEQRA”) and no objections were received; and

**WHEREAS**, on April 14, 2020 the Planning Board, as Lead Agency, adopted a Negative Declaration pursuant to SEQRA after taking a “hard look” at each of the relevant areas of environmental concern through review of the EAF and all associated materials prepared in connection with the Proposed Action and finding that the Proposed Action will not result in any significant adverse environmental impacts; and

**WHEREAS**, on April 14, 2020, the Planning Board opened and closed the duly noticed public hearing on the application for Subdivision Approval, at which time all those interested were given an opportunity to be heard; and

**WHEREAS**, due to public health and safety concerns related to the current COVID-19 pandemic, the public hearing was duly noticed by publication, mailing and signage in accordance with notice requirements of the Zoning Code of the City of Beacon, and held by videoconference in accordance with the Governor’s Executive Orders which suspend the “in-person” requirements of the NYS Open Meetings Law and provide alternative means by which to conduct public meetings and hearings remotely; and

**WHEREAS**, the Planning Board is fully familiar with the Project and has reviewed the Project relative to all applicable provisions of the City Code.

**NOW THEREFORE BE IT RESOLVED**, that the Planning Board hereby grants Preliminary Subdivision Plat Approval for the Project, as shown on the application materials enumerated above.

**BE IT FURTHER RESOLVED**, that the Planning Board hereby finds that the Final Subdivision Plat will not be substantively changed from the Preliminary Subdivision Plat and hereby determines that a public hearing on the Final Plat is not required.

**BE IT FURTHER RESOLVED**, that the Planning Board hereby grants Final Subdivision Plat Approval to the Project, as shown on the application materials enumerated above, subject to the following conditions and modifications set forth below and any other requirements which must be met by law:

**A. The following conditions shall be fulfilled prior to the signing of the Final Subdivision Plat by the Chairman of the Planning Board:**

1. All application review fees shall be paid in full.

2. The Applicant shall seek and obtain all required permits and/or approvals from the appropriate agencies for the Project, including but not necessarily limited to approval from the Dutchess County Department of Health, and shall meet all conditions contained in such approvals, as required therein.
3. The comments contained in the City Engineer's letter to the Planning Board dated April 10, 2020, and all comments in any subsequent letter(s) issued, shall be fulfilled to the satisfaction of the City Engineer.
4. All easements shall be shown on the Final Subdivision Plat to the satisfaction of the City Engineer and City Attorney.
5. All existing and proposed easements, as applicable, shall be shown on the Final Subdivision Plat to the satisfaction of the City Engineer and City Attorney. Proposed easement agreements, declarations of restrictive covenants or other appropriate documents corresponding with the easements and notes shown on the Final Subdivision Plat shall be prepared, as applicable, and submitted to the City Attorney for review as to form and shall be recorded in the Dutchess County Clerk's Office simultaneously with the Subdivision Plat, with a copy of the recorded documents submitted to the City Clerk for filing. Such document(s) shall include a Stormwater Maintenance Agreement.

When the conditions above have been satisfied, six (6) sets of the above referenced plans revised as per the conditions above shall be submitted for endorsement by the Planning Board Chairman. One set of the endorsed plans will be returned to the Applicant, one set will be retained by the City Clerk, one set will be provided to the Planning Board, and one set each will be forwarded to the Building Inspector, City Engineer and City Planner.

**B. The following are general conditions which shall be fulfilled:**

1. Based on the current and anticipated future need for park and recreational opportunities in the City of Beacon, as set forth in the analysis provided by BFJ Planning, and the demands of the future population of the Project, the Planning Board hereby finds that additional recreation/parkland should be created as a condition of approval. However, the Planning Board hereby determines that recreation/parkland of adequate size and location cannot be provided on the Project Site. Therefore, that Applicant shall pay a Recreation Fee for the new lot as prescribed under Section 195-25.A(4) of the City Code. The Planning Board hereby requires that, prior to the issuance of the Certificate of Occupancy, the Applicant shall pay a Recreation Fee as per the City's Fee Schedule in effect at the time of payment.

2. All conditions, set forth in any previous Planning Board Resolution related to the Property, and not superseded herein, shall remain in full force and effect.
3. The Building Inspector and the City Engineer shall have the right to direct the Applicant to cause the placement, cleaning and/or repair of sedimentation and erosion control devices wherever and whenever deemed necessary during construction.
4. The Applicant shall be responsible for the payment of all application review costs incurred by the City in its review and approval of this project. Such fees shall be paid by the Applicants within thirty (30) days of each notification by the City that such fees are due. If such fees are not paid within the thirty (30) day period, and an extension therefor has not been granted by the City, this Resolution shall be rendered null and void.
5. As used herein, the term "Applicant" shall include Karic Associates, LLC, and its heirs, successors and assigns.
6. If any of the conditions enumerated in this Resolution upon which this approval is granted are found to be invalid or unenforceable, then the integrity of this Resolution and the remaining conditions shall remain valid and intact.
7. The approvals granted by this Resolution do not supersede the authority of any other entity.
8. This approval is conditioned upon compliance with all of the mitigation measures specified in the Applicant's Environmental Assessment Form. The Applicant shall be responsible for the funding and/or implementation of all such identified mitigation measures. Where the terms of this Resolution may be inconsistent with the EAF, the terms of this Resolution shall be controlling.
9. Conditional approval of the Final Subdivision Plat shall expire one hundred eighty (180) days from the date of the adoption of this Resolution unless all items in Condition A above have been certified as completed and the Final Plat has been submitted for endorsement by the Planning Board Chairman, or unless a written request for an extension of Final Subdivision Plat Approval is granted. The Planning Board may grant ninety (90) day extensions to said time period.
10. Once the Final Subdivision Plat has been endorsed by the Planning Board Chairman, said Plat must be filed in the Dutchess County Clerk's Office within sixty-two (62) days. After said filing, two (2) copies of the Final Plat certified by Dutchess County shall be submitted to the Planning Board Secretary. One (1) certified copy of the Final Plat shall be retained by the Planning Board and the other certified copy shall



be transmitted to the City Clerk along with a signed copy of this Resolution and proof of recording of the easement documents described above.

- 11. The Applicant must return for approval from the Planning Board if any changes to the endorsed plans and/or this Resolution of approval are subsequently desired other than changes determined to be field changes by the Building Inspector or City Engineer. The Planning Board, in its discretion, shall determine the appropriate procedures for consideration of the proposed revision, and whether such revision is material enough to require further environmental analysis and/or further project review, as the Board may deem appropriate.

Resolution Adopted: April 14, 2020  
Beacon, New York

\_\_\_\_\_, 2020  
John Gunn, Chairman Date  
City of Beacon Planning Board

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_

Kevin Byrne	Voting _____	Leonard Warner	Voting _____
Rick Muscat	Voting _____	J. Randall Williams	Voting _____
Karen Quiana	Voting _____	John Gunn, Chairman	Voting _____
Jill Reynolds	Voting _____		

Resolution: \_\_\_\_\_ - \_\_\_\_\_

**City of Beacon Planning Board**  
**4/14/2020**

**Title:**

**511 Fishkill Avenue**

**Subject:**

Public hearing on application to amend existing Site Plan Approval, add outdoor deck, 511 Fishkill Avenue, submitted by Diamond Properties, 511 Fishkill Avenue

**Background:**

**ATTACHMENTS:**

Description	Type
511 Fishkill Avenue Response Letter	Cover Memo/Letter
511 Fishkill Avenue Project Narrative	Backup Material
511 Fishkill Avenue Sheet 1 Site Plan	Plans
511 Fishkill Avenue Sheet 2 Existing Conditions	Plans
511 Fishkill Avenue Sheet 3 Floor Plans	Plans
511 Fishkill Avenue Sheet 4 Building Elevations	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment
Draft Resolution of Site Plan Approval	Resolution

**ARYEH SIEGEL**  
ARCHITECT

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John Gunn - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 511 Fishkill Avenue Site Plan Amendment, Beacon, New York**  
*Site Plan Application – Responses to Comments*

March 31, 2020

Dear Chairman Gunn and Members of the Planning Board,

Please note that the City Council approved the Special Use Permit for the Accessory Apartment at their March 16, 2020 public hearing.

Below please find our responses to the comments included in John Clarke Planning and Design's Memorandum, dated March 6, 2020, and Lanc & Tully's Memorandum dated March 5, 2020.

**John Clarke Planning and Design Comment Responses:**

1. A project narrative has been submitted with this response.
2. Comment acknowledged. Plans are acceptable apart from Item 1 above.

**Lanc & Tully Comment Responses:**

1. Since this is a Type 2 action, the EAF is not required, and is replaced by a Project Narrative submitted with this response to clarify the proposed work of this Amendment. The only item of work is the new area of deck along the front of the building, and the new doors between the Arcade and the deck.
2. No update to the parking and loading table is required because no change to occupancy is proposed.
3. The linework has been corrected at the parking stalls in the lot located to the east of the building towards the front of the site.

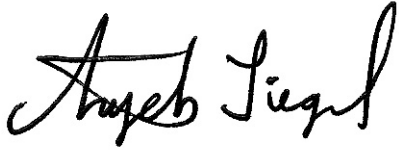
Thank you. Please let me know if you have any questions.

# ARYEH SIEGEL

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ARCHITECT

Sincerely,

A handwritten signature in black ink that reads "Aryeh Siegel". The signature is written in a cursive, flowing style with a large initial 'A'.

Aryeh Siegel  
*Aryeh Siegel, Architect*



# ARYEH SIEGEL

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## ARCHITECT

### **Project Narrative**

**511 Fishkill Avenue**

March 31, 2020

511 Fishkill Avenue is an existing building in the HI zoning district. The project received Site Plan approvals in 2019 for new uses including a brewery, event space, arcade, offices, and warehouse space. Additionally, new construction of previously approved land banked parking was engineered and approved. Construction of the new parking lot, and associated site work, is currently underway.

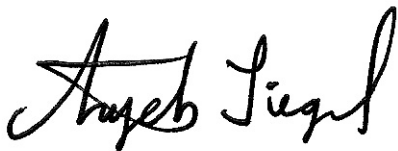
The Owner is proposing to add an exterior deck at the front of the building for the Arcade use. This will match the existing deck and railing constructed as approved previously for Industrial Arts Brewery.

The deck will serve as an outdoor extension of the lounge space inside, and will be connected by new doors. It also serves as a required fire exit for the Arcade space. There will be café tables brought out from inside in nice weather. The deck area is considered a non-simultaneous occupancy with the interior space seasonally when the weather allows.

The deck terminates at the existing concrete sidewalk to the south of the building, near the loading dock.

No other changes are proposed, apart from the addition of the deck and new doors from the Arcade to the deck.

This is a Type 2 action, and no EAF is submitted for this application.



Aryeh Siegel  
*Aryeh Siegel, Architect*



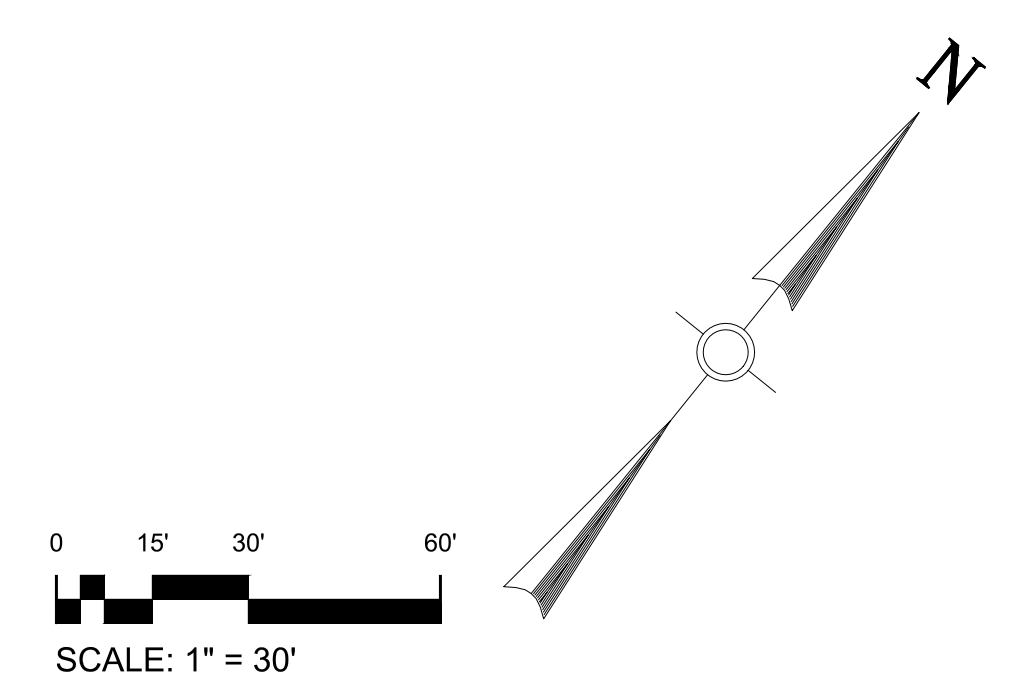
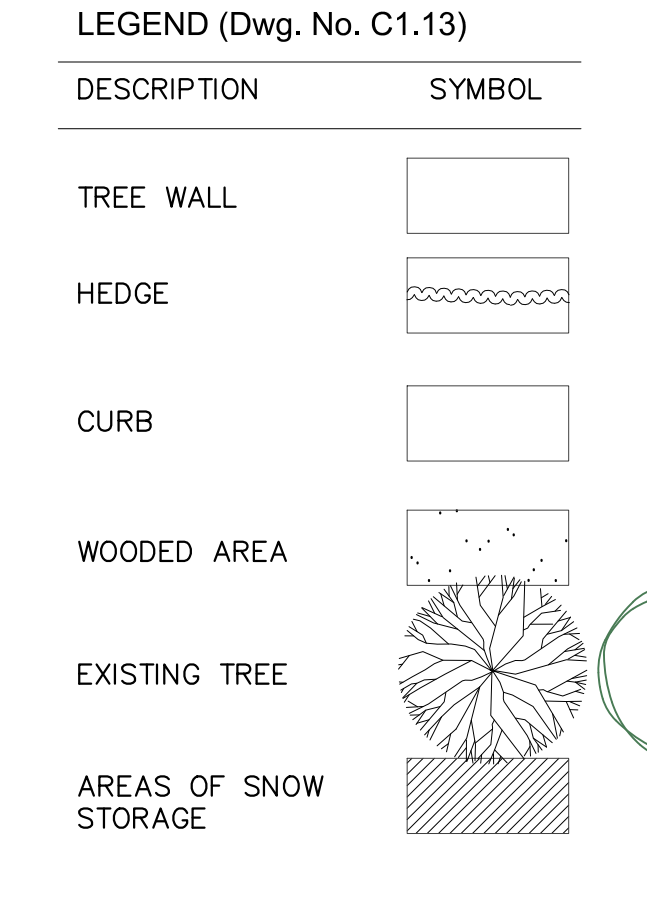
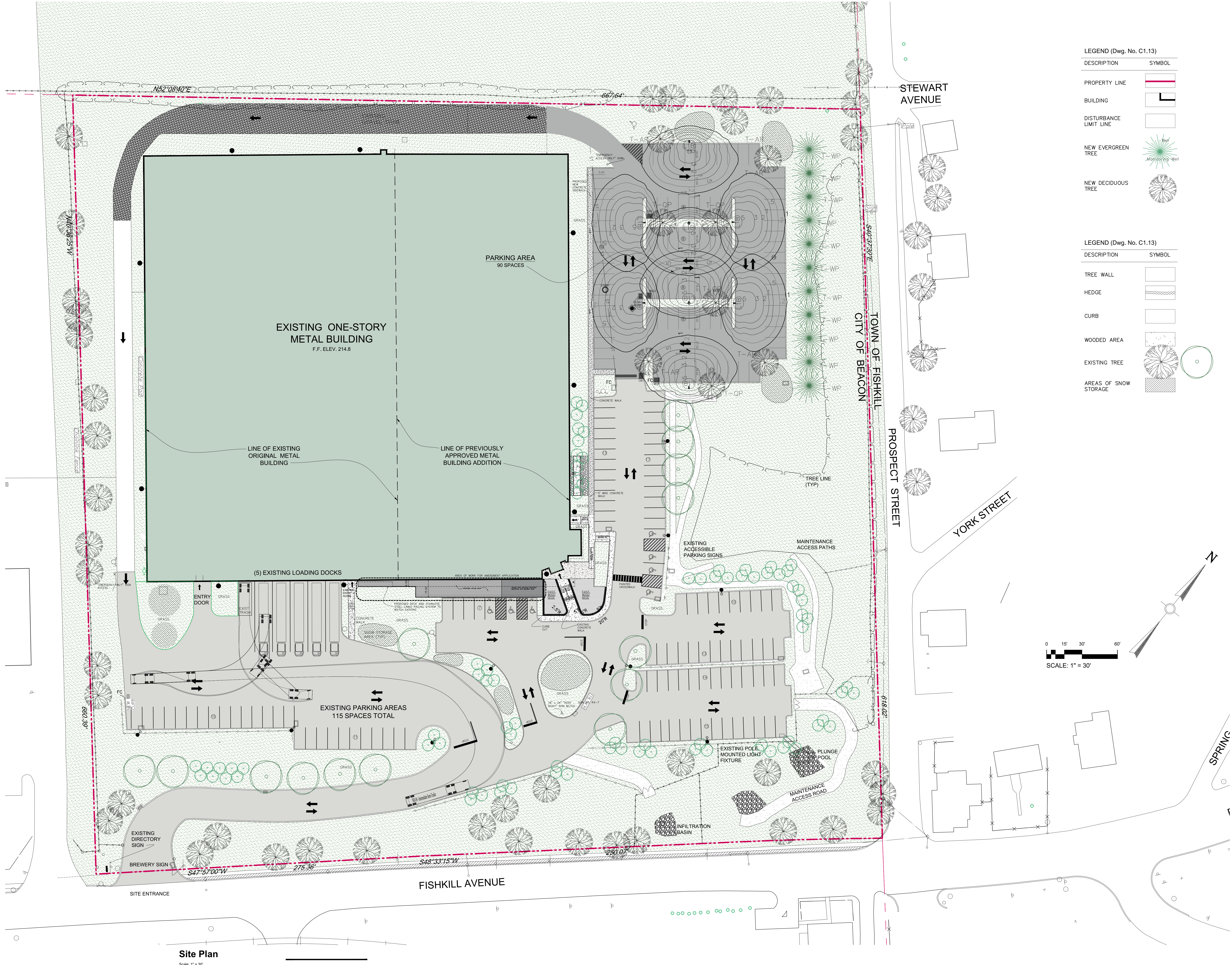
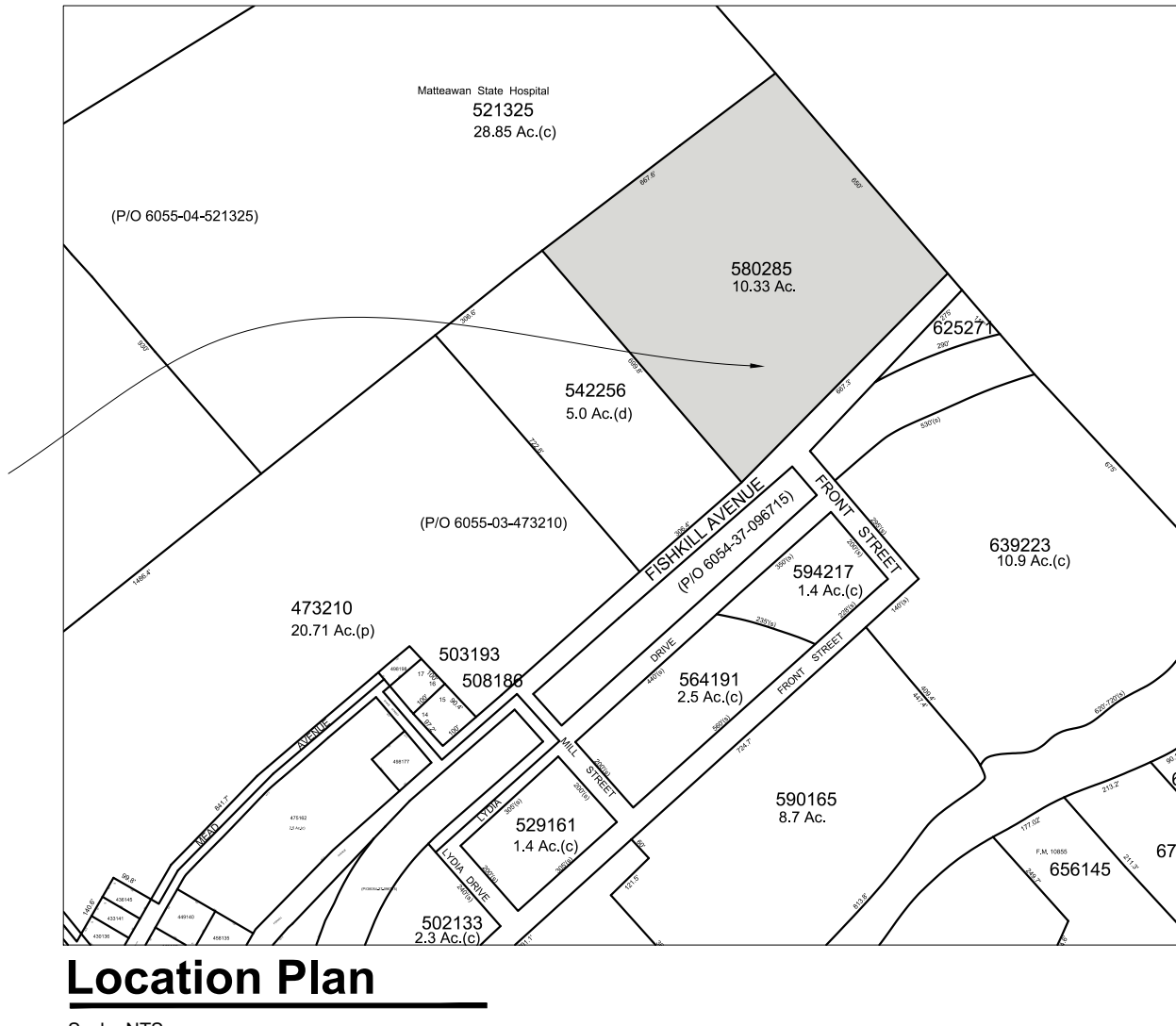
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Zoning District	Minimum Lot Width	Minimum Lot Depth	Required Minimum Setbacks			Existing Setbacks			Maximum Building Height	Existing Building Height
			Front	Side	Rear	Front	Side	Rear		
HI	N/A	100'	0'	20'	25'	22'	51'	43'	35'	34'



**Zoning Summary**

Zoning District: HI (Heavy Industry)  
 Tax Map No.: 6055-04-580285  
 Lot Area: 9.79 acres (426,327.9 sf)  
 Building Footprint: 76,773 square feet (existing)  
 Total Lot Coverage: 18%  
 Historical Overlay District: No  
 Parking Overlay District: No  
 Existing Use: Industrial & Office (Vacant)  
 Proposed Use: Industrial, Warehouse, Brewery, Office, Retail, Commercial Recreation (Arcade)

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
<b>Future Brewery</b> 1 space per 2 employees but not less than 1 space per 400 square feet of gross floor space 1 space per employee but not less than 1 space per 1,000 square feet of gross floor space	42,802 sf total area (14,000 sf brewery requires 35 spaces; 28,802 sf warehouse requires 29 spaces) 10 employees estimated	64 spaces
<b>Warehouse</b> 1 space per employee but not less than 1 space per 1,000 square feet of gross floor space	66,696 sf 20 employees estimated	67 spaces
<b>Arcade (commercial recreation)</b> 1 space for each 4 persons of maximum occupancy or 1 space for each 200 square feet of gross floor area, whichever is greater 5 spaces per bowling lane	11,381 sf minus 2700 sf for 5 bowling lanes = 8,681 sf 8,681 sf @ 50 sf/occupant = 174 arcade game occupants 5 bowling lanes @ 5 per lane = 25 bowling lane occupants	69 spaces (44 for game occupancy + 25 for bowling lane occupancy)
<b>Office (For Brewery)</b> 1 space for each 200 square feet of gross floor area, excluding utility areas Brewery Event Space / Lounge 1 space for each 3 patron seats or 1 space for each 150 square feet of gross floor area, excluding kitchen and storage areas, whichever is greater	2,296 sf 4,965 sf 331 occupants @ 15 sf per occupant	0 spaces - Non-simultaneous use 111 spaces
<b>Total Required Parking Spaces</b>		<b>311</b>
<b>Total Proposed Parking Spaces</b>		<b>205</b>
<b>Total Required Loading Spaces</b>		<b>1</b>
<b>Total Proposed Loading Spaces</b>		<b>5</b>

**Notes:**

- The Applicant agrees to monitor actual parking needs, along with the City, during the first few months of peak operations to make sure the parking supply is adequate.
- The Applicant will maintain the existing emergency access drive around the sides and rear of the building with the existing materials.

**NOTE: THERE ARE NO PROPOSED CHANGES TO THE PARKING REQUIREMENTS PREVIOUSLY APPROVED**

THE PLANNING BOARD PREVIOUSLY APPROVED THE SITE PLAN FOR THE PROPERTY IN 2019. THE ONLY PROPOSED CHANGE IS THE ADDITION OF EXTERIOR DECKING

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/31/20	REVISED PER PLANNING BOARD COMMENTS	AJS

**Index of Drawings**

- Sheet 1 of 4 Site Plan
- Sheet 2 of 4 Survey/Existing Conditions Plan
- Sheet 3 of 4 Floor Plans
- Sheet 4 of 4 Building Elevations

# Amendment To Site Plan Application

Site Plan - Sheet 1 of 4

**Owner:**  
Diamond Properties  
333 N. Bedford Road  
Mount Kisco, NY 10549

**Architect:**  
Aryeh Siegel, Architect  
64 Madison Circle  
Beacon, New York 12508

**Site/Civil Engineer:**  
Hudson Land Design  
174 Main Street  
Beacon, New York 12508

**Surveyor:**  
TEC Land Surveying  
Beacon, New York 12508

**Industrial Arts Brewing Company**  
511 Fishkill Avenue - Beacon, New York  
Scale: As Noted  
February 25, 2020



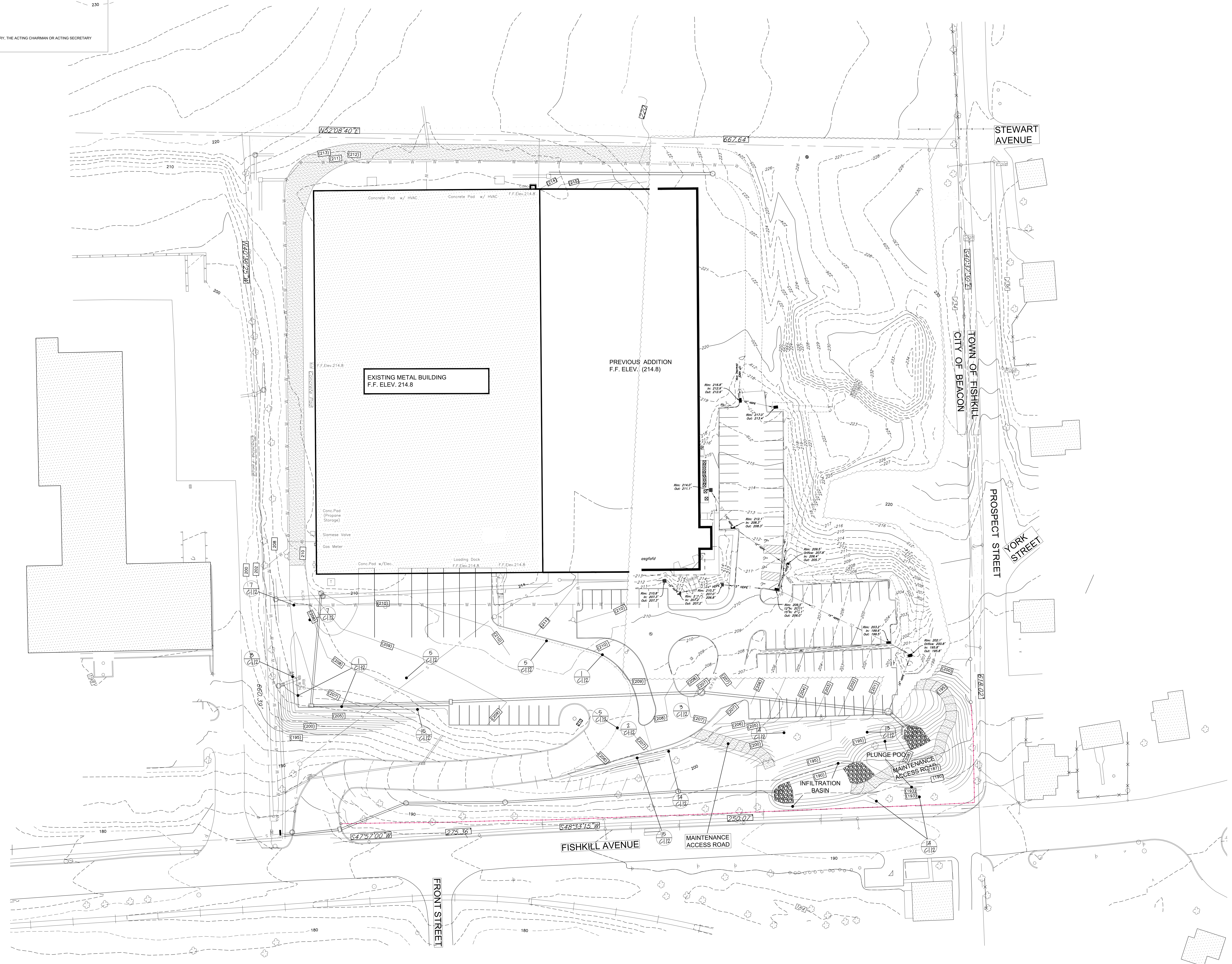
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**LEGEND (Dwg. No. C1.3)**

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE		N/A
BUILDING		
DISTURBANCE LIMIT LINE	N/A	
WELL		
MONITORING WELL	Monitoring Well	N/A
TRANSFORMER		N/A
TREE		REFER TO DWG. NO. C1.13
TREE WALL/WELL	N/A	
TREE LINE		
CONCRETE CURB		
DROP CURB	N/A	
CONCRETE WALK	N/A	
HANDICAPPED RAMP	N/A	
PARKING STALL	N/A	
HC PARKING SYMBOL	N/A	HC
RIP-RAP SWALE	N/A	
NEW PAVEMENT	N/A	
PAVEMENT OVERLAY	N/A	
PAVEMENT RAISE	N/A	
LIGHT POLE		REFER TO DWG. C1.14
PAVEMENT NOTCHING INTO EXISTING PAVEMENT	N/A	
GUIDE RAIL	N/A	
PAVEMENT EDGE		
SIGN		N/A
FENCE		
BUILDING ENTRANCE		
MAINTENANCE ACCESS ROAD	N/A	

**REVISIONS:**

NO.	DATE	DESCRIPTION	BY
1	03/31/20	NO CHANGE	AJS

**Site Plan**  
Scale: 1" = 30'

**Amendment To Site Plan Application**

Existing Conditions Survey - Sheet 2 of 4

Owner:  
**Diamond Properties**  
333 N. Bedford Road  
Mount Kisco, NY 10549

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Site/Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

Surveyor:  
**TEC Land Surveying**  
Beacon, New York 12508

**Industrial Arts Brewing Company**

511 Fishkill Avenue - Beacon, New York  
Scale: As Noted  
February 25, 2020



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/31/20	REVISED PER PLANNING BOARD COMMENTS	AJS

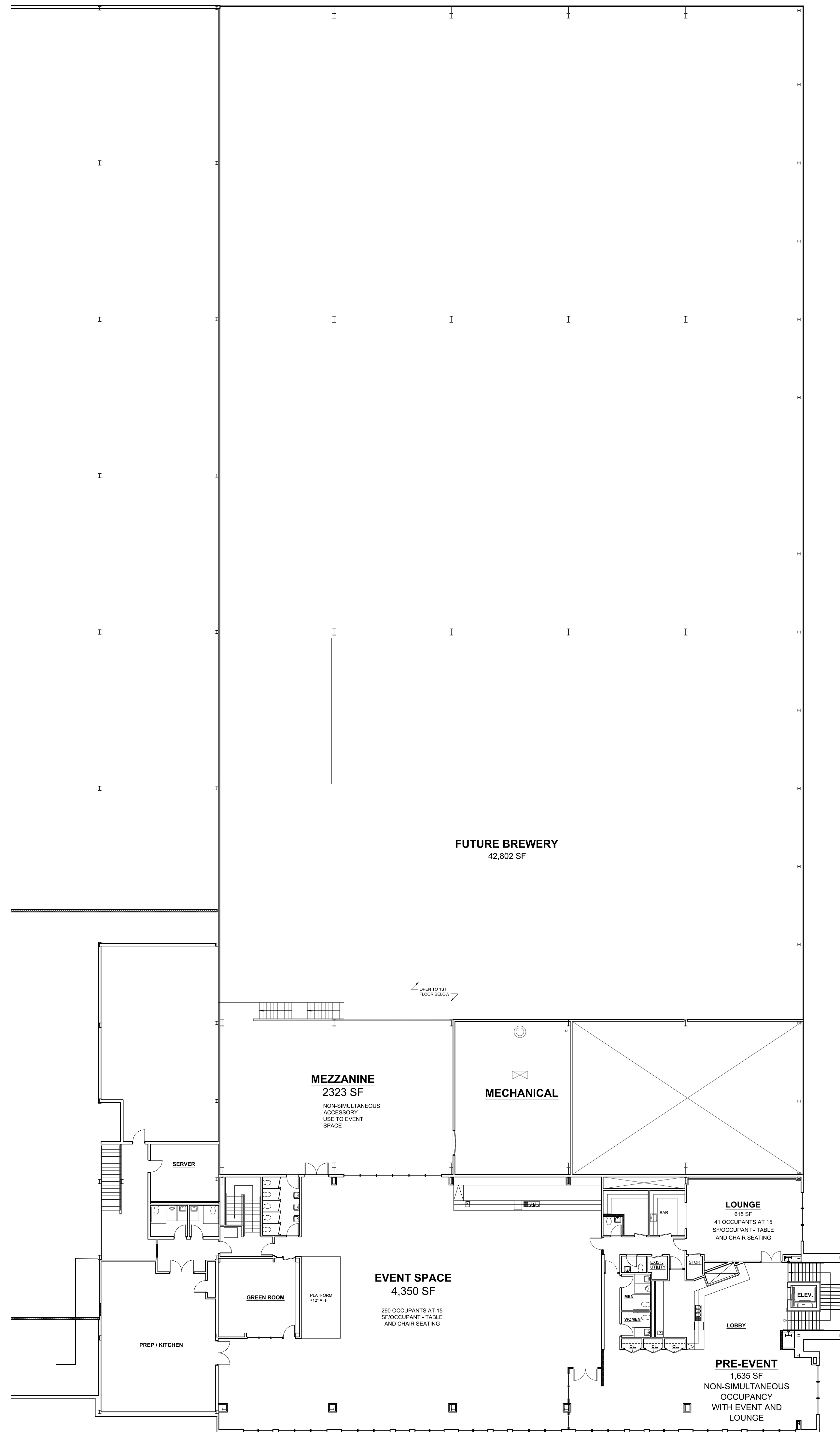
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

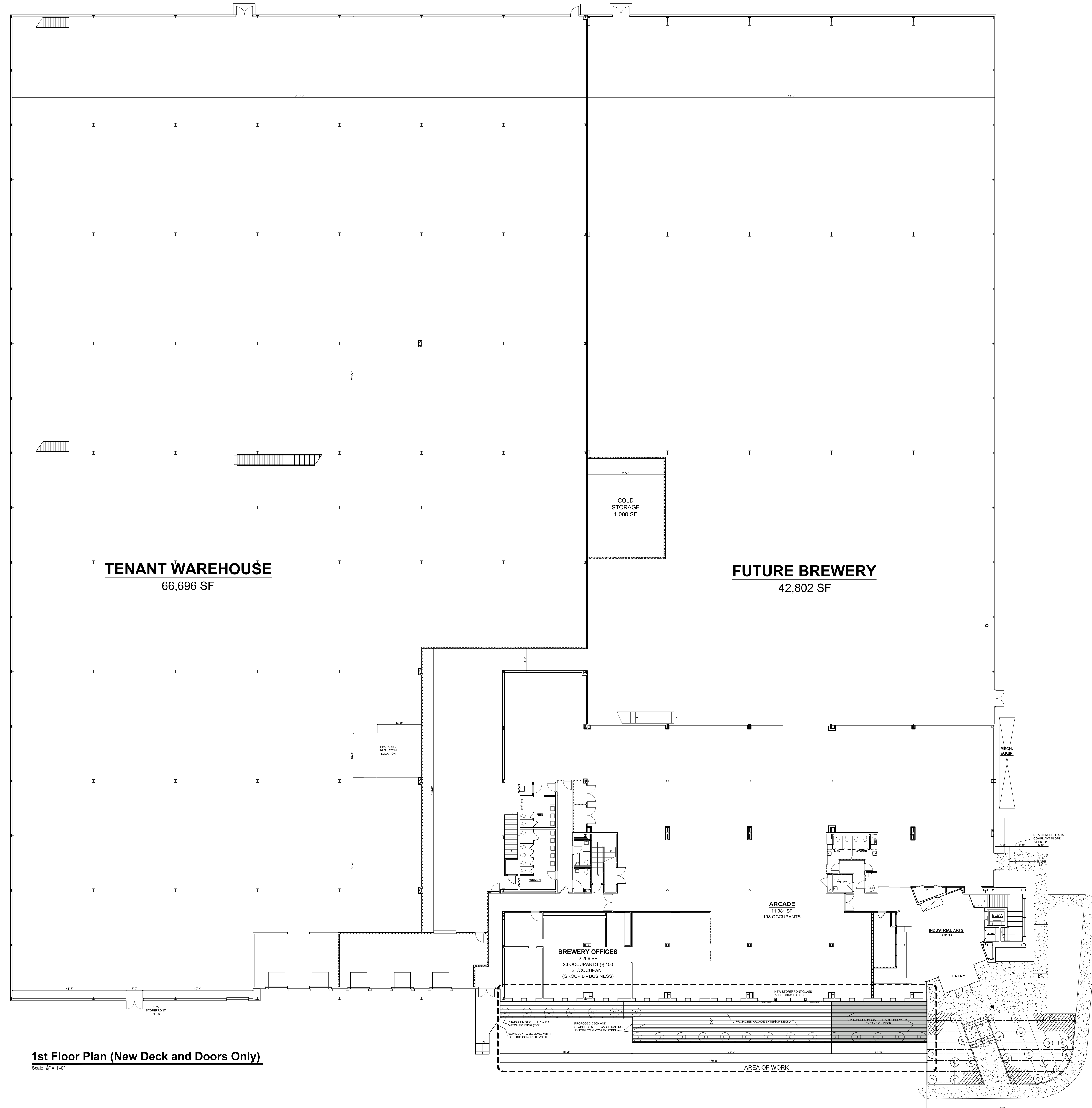
CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**2nd Floor Plan (No Work)**  
Scale: 1/4" = 1'-0"

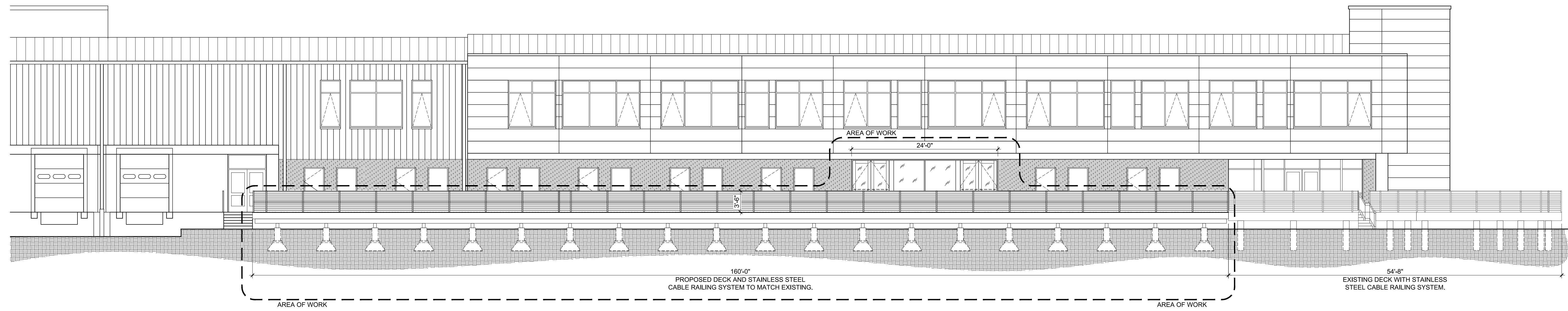


**1st Floor Plan (New Deck and Doors Only)**  
Scale: 1/4" = 1'-0"

## Amendment To Site Plan Application

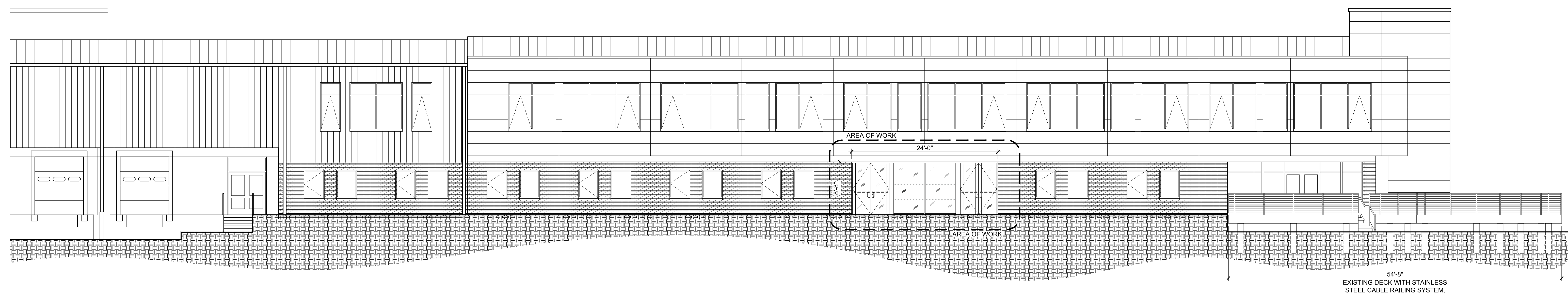
Floor Plans - Sheet 3 of 4





**Part Elevation at Proposed Deck**

Scale: 1/8" = 1'-0"



**Part Elevation at New Doors (Deck & Railing Omitted for Drawing Clarity)**

Scale: 1/8" = 1'-0"

REVISIONS:				
NO.	DATE	DESCRIPTION	BY	
1	03/31/20	REVISED PER PLANNING BOARD COMMENTS	AJS	

**Amendment To Site Plan Application**

Building Elevations - Sheet 4 of 4

**Industrial Arts Brewing Company**

511 Fishkill Avenue - Beacon, New York  
Scale: As Noted  
February 25, 2020

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: April 9, 2020

Re: **511 Fishkill Avenue, Amended Site Plan**

I have reviewed the March 31, 2020 response letter and Project Narrative from Aryeh Siegel and a 4-sheet Amendment to Site Plan Application set, all dated March 31, 2020.

### **Proposal**

The project would add a new outdoor deck on the southern side of an existing 128,317 square foot building. The 9.79-acre parcel is in the Heavy Industrial (HI) district.

### **Comments and Recommendations**

1. Will any additional lighting fixtures be necessary for the new deck?
2. Otherwise, the plans are acceptable from a planning perspective.

If you have any questions or need more information, please feel free to contact me.

John Clarke, Beacon City Planning Consultant

c: Dave Buckley, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegal, Project Architect

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal  
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal  
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal  
John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

April 9, 2020

Mr. John Gunn  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 511 Fishkill Avenue  
City of Beacon  
Tax Parcel 6055-04-580285

Dear Mr. Gunn:

My office has received the following in regard to the above application:

- Response correspondence dated March 31, 2020 from Aryeh Siegel, Architect.
- Project Narrative dated March 31, 2020, as prepared by Aryeh Siegel, Architect.
- Set of plans titled "Amendment to Site Plan Application – Industrial Arts Brewing Company", with the latest revision date of March 31, 2020 and consisting of Sheets 1 through 4 of 4, as prepared by Aryeh Siegel, Architect and Hudson Land Design.

Based on our review of the above documents and plans, we have no engineering comments at this time. Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.

  
John Russo, P.E.

cc: John Clarke, Planner  
Jennifer Gray, Esq.  
David Buckley, Building Inspector



**RESOLUTION**

**PLANNING BOARD  
BEACON, NEW YORK**

**GRANTING AMENDED SITE PLAN APPROVAL  
FOR 511 FISHKILL AVENUE**

**Parcel ID#6055-04-580285**

**WHEREAS**, the Beacon Planning Board received an application for Amended Site Plan Approval from Aryeh Siegel, Architect, on behalf of applicant, DP 108, LLC (the “Applicant”) to add a new outdoor deck on the southern side of an existing 128,317 square foot building. (“Proposed Action” or “Project”); and

**WHEREAS**, the subject property is located at 511 Fishkill Avenue in the Heavy Industrial (HI) Zoning District and is designated on the City tax maps as Parcel No. 6055-04-580285 (the “Site” or “Property”); and

**WHEREAS**, the Planning Board is the approval authority for the Amended Site Plan pursuant to City of Beacon Code § 223-25; and

**WHEREAS**, the Site Plan is shown on the drawings entitled, “Amendment to Site Plan Application – Industrial Arts Brewing Company”, Sheets 1-4, dated February 25, 2020, and last revised March 31, 2020, prepared by Aryeh Siegel, Architect and Hudson Land Design Professional Engineering, P.C. (“Site Plan Drawings”), as follows:

<u>Sheet</u>	<u>Title</u>
Sheet 1 of 4	<i>Site Plan</i>
Sheet 2 of 4	<i>Existing Conditions</i>
Sheet 3 of 4	<i>Floor Plans</i>
Sheet 4 of 4	<i>Building Elevations; and</i>

**WHEREAS**, the Proposed Action is a Type II action pursuant to the New York State Environmental Quality Review Act (“SEQRA”), and accordingly, no further environmental review is required; and

**WHEREAS**, the application also consists of application forms, correspondence, the Environmental Assessment Form (EAF) and professional studies and reports submitted to the Planning Board; and

**WHEREAS**, on July 14, 2009 the Planning Board granted Site Plan approval for a 54,000 square foot expansion of the existing building for a manufacturing/distribution facility (Mechtronics) which included the construction of 100 parking spaces plus 85 land-banked parking spaces for future use, if needed; and

**WHEREAS**, on May 14, 2019 the Planning Board granted Amended Site Plan approval for converting a vacant 128,317 square foot building into a 37,247 square foot brewery with an accessory 2,296 square foot office and an accessory 4,965 square foot event space/lounge; 72,428 square foot warehouse; 11,381 square foot arcade and associated site work including land-banked parking spaces; and

**WHEREAS**, the application was referred to the Dutchess County Department of Planning and Development and a response dated April 2, 2020 was received; and

**WHEREAS**, the Planning Board reviewed the application at its meetings on March 10, 2020 and April 14, 2020; and

**WHEREAS**, on April 14, 2020 the Planning Board opened and closed a duly noticed public hearing on the application for Amended Site Plan approval concerning the Proposed Action, at which time all those interested were given an opportunity to be heard; and

**WHEREAS**, due to public health and safety concerns related to the current COVID-19 pandemic, the public hearing was duly noticed by publication, mailing and signage in accordance with notice requirements of the Zoning Code of the City of Beacon, and held by videoconference in accordance with the Governor's Executive Orders which suspend the "in-person" requirements of the NYS Open Meetings Law and provide alternative means by which to conduct public meetings and hearings remotely; and

**WHEREAS**, the Planning Board is fully familiar with the Project and has reviewed the Project relative to all applicable provisions of the City Code.

**NOW THEREFORE BE IT RESOLVED**, that the Planning Board hereby grants Amended Site Plan Approval to the Project, as shown on the Site Plan Drawings and other application materials listed above, subject to the following conditions and modifications set forth below and any other requirements which must be met by law:

**A. The following conditions shall be fulfilled prior to the signing of the Site Plan by the Chairman of the Planning Board:**

1. All application review fees shall be paid in full.
2. The Applicant shall seek and obtain all required permits and/or approvals from the appropriate agencies for the Project, including but not necessarily limited to approval from the Dutchess County Department of Health, and shall meet all conditions contained in such approvals, as required therein.
3. The comments contained in the City Planner's letter to the Planning Board dated April 9, 2020, and all comments in any subsequent letter(s) issued, shall be fulfilled to the satisfaction of the City Planner.

When the conditions above have been satisfied, six (6) sets of the above referenced plans revised as per the conditions above shall be submitted for endorsement by the Planning Board Chairman. One set of the endorsed plans will be returned to the Applicant, one set will be retained by the City Clerk, one set will be provided to the Planning Board, and one set each will be forwarded to the Building Inspector, City Engineer and City Planner.

**B. The following are general conditions which shall be fulfilled:**

1. All conditions, set forth in the any previous Planning Board Resolution related to the Property, and not superseded herein, shall remain in full force and effect.
2. The Building Inspector and the City Engineer shall have the right to direct the Applicant to cause the placement, cleaning and/or repair of sedimentation and erosion control devices wherever and whenever deemed necessary during construction.
3. The Applicant shall be responsible for the payment of all application review costs incurred by the City in its review and approval of this project. Such fees shall be paid by the Applicants within thirty (30) days of each notification by the City that such fees are due. If such fees are not paid within the thirty (30) day period, and an extension therefor has not been granted by the City, this resolution shall be rendered null and void.
4. As used herein, the term “Applicant” shall include the Applicant and the Applicant’s heirs, successors and assigns, and where applicable its contractors and employees.
5. If any of the conditions enumerated in this resolution upon which this approval is granted are found to be invalid or unenforceable, then the integrity of this resolution and the remaining conditions shall remain valid and intact.
6. The approval granted by this resolution does not supersede the authority of any other entity.
7. The Applicant must return for approval from the Planning Board if any changes to the endorsed plans and/or this resolution of approval are subsequently desired other than changes determined to be field changes by the Building Inspector or City Engineer.



Resolution Adopted: April 14, 2020  
Beacon, New York

\_\_\_\_\_  
John Gunn, Chairman  
City of Beacon Planning Board

\_\_\_\_\_, 2020  
Dated

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_:

Kevin Byrne            Voting:  
Rick Muscat            Voting:  
Karen Quiana          Voting:  
Jill Reynolds           Voting:

Len Warner             Voting:  
Randall Williams       Voting:  
John Gunn, Chairman    Voting:

Resolution: Approved \_\_\_\_  
                  Denied    \_\_\_\_

**City of Beacon Planning Board**  
**4/14/2020**

**Title:**

**177 Main Street**

**Subject:**

Public hearing on application to amend existing Site Plan Approval, one-story sunroom addition, 177 Main Street, submitted by Frog Leap, Inc.

**Background:**

**ATTACHMENTS:**

Description	Type
177 Main Street Response Letter	Cover Memo/Letter
177 Main Street Project Narrative	Backup Material
177 Main Street Sheet 1 Site Plan	Plans
177 Main Street Sheet 2 Existing Conditions	Plans
177 Main Street Sheet 3 Floor Plans	Plans
177 Main Street Sheet 4 Section Elevation	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment
Draft Resolution of Site Plan Approval	Resolution

**ARYEH SIEGEL**  
ARCHITECT

---

John Gunn - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 177 Main Street Site Plan Amendment, Beacon, New York**  
*Site Plan Application – Responses to Comments*

March 31, 2020

Dear Chairman Gunn and Members of the Planning Board,

Please note that the City Council approved the Special Use Permit for the Accessory Apartment at their March 16, 2020 public hearing.

Below please find our responses to the comments included in John Clarke Planning and Design's Memorandum, dated March 6, 2020, and Lanc & Tully's Memorandum dated March 5, 2020.

**John Clarke Planning and Design Comment Responses:**

1. Comment acknowledged. A Special Use Permit is not required for this project because it is now in the CMS zoning district
2. The Bulk Regulations Table has been updated to reflect the CMS standards.
3. Existing exterior lighting will be replaced with new lighting that is shielded to prevent light spill onto adjacent property. The lighting will be Dark Sky compatible.
4. Comment acknowledged. The project requires a Certificate of Appropriateness.

**Lanc & Tully Comment Responses:**

1. Since this is a Type 2 action, the EAF is not required, and is replaced by a Project Narrative submitted with this response.

Thank you. Please let me know if you have any questions.


Sincerely,



# ARYEH SIEGEL

---

ARCHITECT

A handwritten signature in black ink, reading "Aryeh Siegel". The script is fluid and cursive, with the first name "Aryeh" written in a larger, more prominent hand than the last name "Siegel".

Aryeh Siegel  
*Aryeh Siegel, Architect*

**ARYEH SIEGEL**  
ARCHITECT

---

**Project Narrative**

**177 Main Street**

March 31, 2020

177 Main Street is an existing 3-story building that was previously located in the CB zoning district, and after a zoning change by the City Council, is now located in the CMS District. The project received Site Plan and Special Use Permit approvals in 2017 for additions at the rear of the building, and conversion from 3 residential units to 2 residential units, with the commercial space unaffected by the new work. The Site Plan and Certificate of Appropriateness was approved July 11, 2017.

Construction work on the approved addition was completed in 2018-2018.

The Owner, who occupies the duplex apartment on the first and second floors, is proposing to add a small sunroom structure to the rear of the 1<sup>st</sup> floor. The footprint is approximately 10' x 10', and the sunroom is one story high.

This is the subject of the current Site Plan application. The property's zoning has been changed from CB (Central Business) to CMS (Central Main Street) since the project was completed, and now requires only Site Plan approval without a requirement for a Special Use Permit. The proposed sunroom addition complies with the requirements of the CMS district.

This Amendment also requires a Certificate of Appropriateness. The addition is a simple framed sunroom. The framing is white to match the existing trim on the building. There is an existing wood stockade fence around the rear yard where the sunroom is proposed to be constructed. Therefore, it is not visible from Cliff Street for all intents and purposes.



Aryeh Siegel  
*Aryeh Siegel, Architect*

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**Zoning Regulations Table**

Zoning District	Required Setbacks			Proposed Setbacks			Lot Depth Required	Lot Depth Existing	Maximum Building Coverage	Proposed Building Coverage	Allowable Building Height	Proposed Building Height	Lot Area	Minimum Landscaped Area	Proposed Landscaped Area
	Front	Side	Rear	Front	Side	Rear									
CMS (Central Main Street)	0' Min 10' Max	0	25'	N/A	6.42' 9.00' at addition	58'-4" at addition	75'	185.98'	NA	NA	3 stories. With special permit, 4 stories with a 15' step back above 38'	Existing 3 story, 1 story proposed sunroom addition	4,679	10%	20% existing

\* Existing Condition

**Zoning Summary**

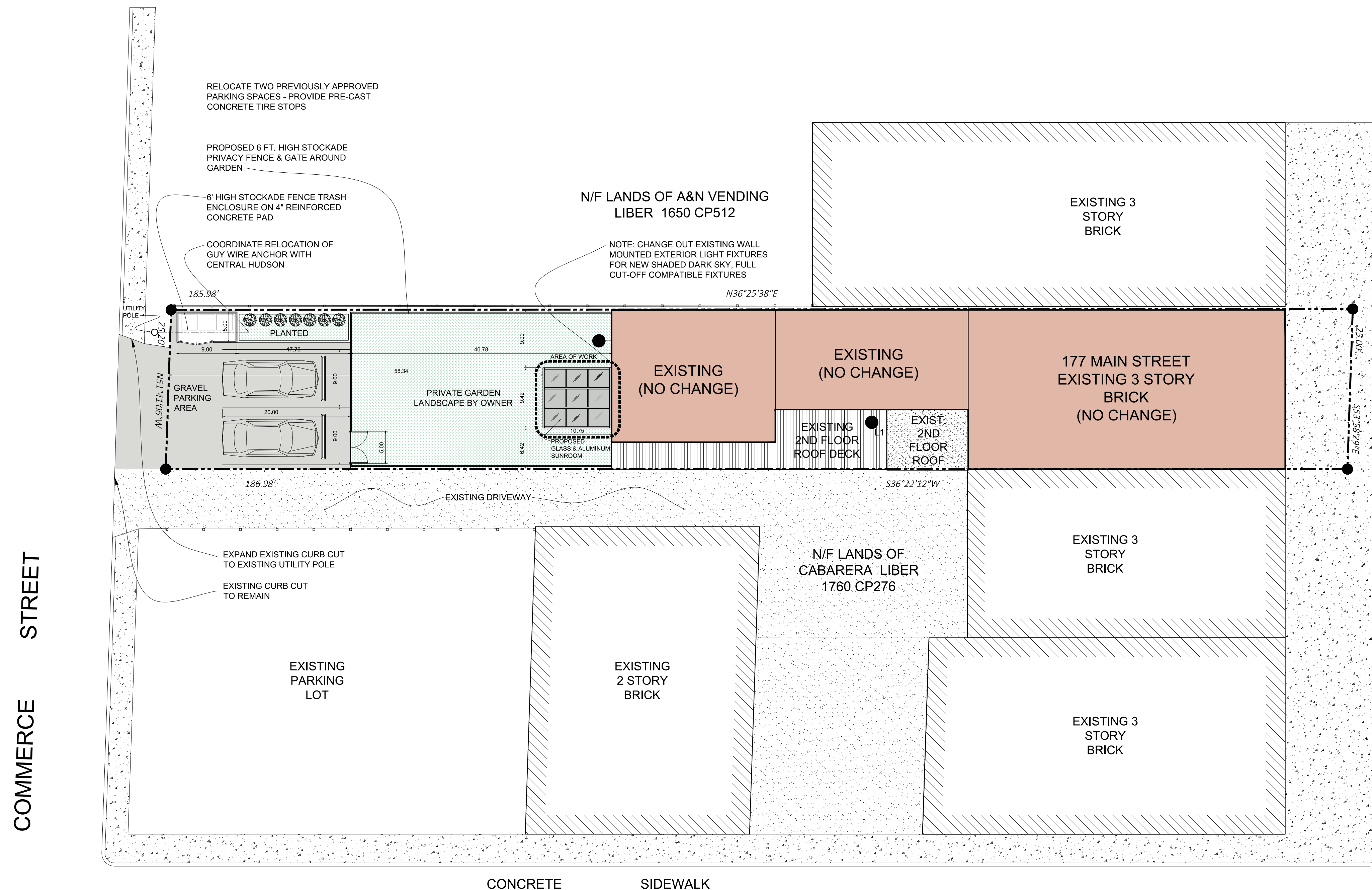
Zoning District: CMS (Central Main Street)  
 Tax Map No.: 5954-27-791947  
 Lot Area: 4,679 Square Feet  
 Building Footprint: 2,810 Square Feet  
 Historical Overlay District: Included  
 Parking Overlay District: Included  
 Existing Use: 1 Mercantile / 2 Residential  
 (1) One Bedroom  
 (1) Two Bedroom  
 Proposed: 1 story sunroom addition to residential unit

**Parking & Loading**

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
<b>Mercantile</b>				
2 space per 1,000 sf	1800 sf	9 Spaces	800 sf	2 Parking Spaces
<b>Residential</b>				
1 Space per Dwelling Unit	(3) One Bedroom	4 Spaces	(1) One Bedroom (1) Two Bedroom	2 Parking Spaces
<b>Total Required Parking Spaces</b>		<b>13 Spaces</b>		<b>4 Parking Spaces</b>
<b>Total Proposed Parking Spaces</b>				<b>2 Parking Spaces</b>

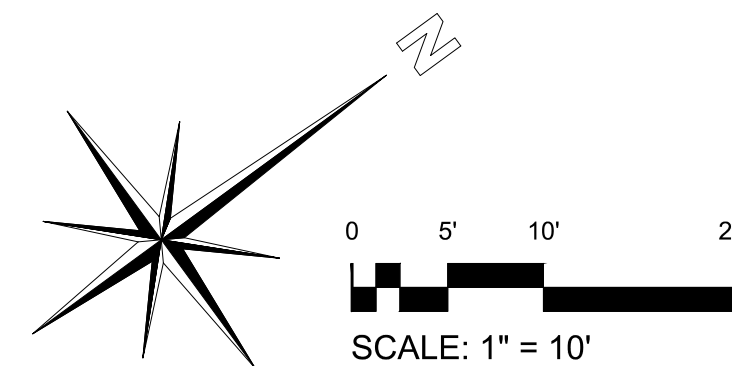
**Notes:**

- 4 Parking Spaces is less than 25% greater than 13 parking spaces. Therefore, no parking is required per Beacon Zoning Resolution Section 223-26B (1). Two parking spaces are provided per the previously approved Site Plan. The approved spaces rely on a shared driveway and curb cut that is partially located on the adjacent property. This condition remains, although the parking space layout has been reconfigured.
- Note that the parking was previously approved prior to the zoning change from CB to CMS. The proposed sunroom does not change the parking requirement in any way.
- The lot area is less than 8,000 sf. There are 2 parking spaces provided on site for the residential use.



**Site Plan**

Scale: 1" = 10'



**Location Map**

Not to Scale

**Index of Drawings**

Sheet 1 of 4	Site Plan
Sheet 2 of 4	Existing Conditions
Sheet 3 of 4	Floor Plans
Sheet 4 of 4	Building Section & Elevations

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/31/20	REVISED PER PLANNING BOARD COMMENTS	AJS

**Amendment To Site Plan Application**  
 Sheet 1 of 4 - Site Plan

**177 Main Street**

Beacon, New York  
 Scale: As Noted  
 February 21, 2020

Owner:  
**Frog Leap, Inc.**  
 177 Main Street  
 Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
 84 Mason Circle  
 Beacon, New York 12508

Surveyor:  
**David Scott Freeman**  
 176 Bell Hollow Road  
 Putnam Valley, New York 10579  
 Tel: (631) 926-4563



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SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE VALID TRUE COPY.

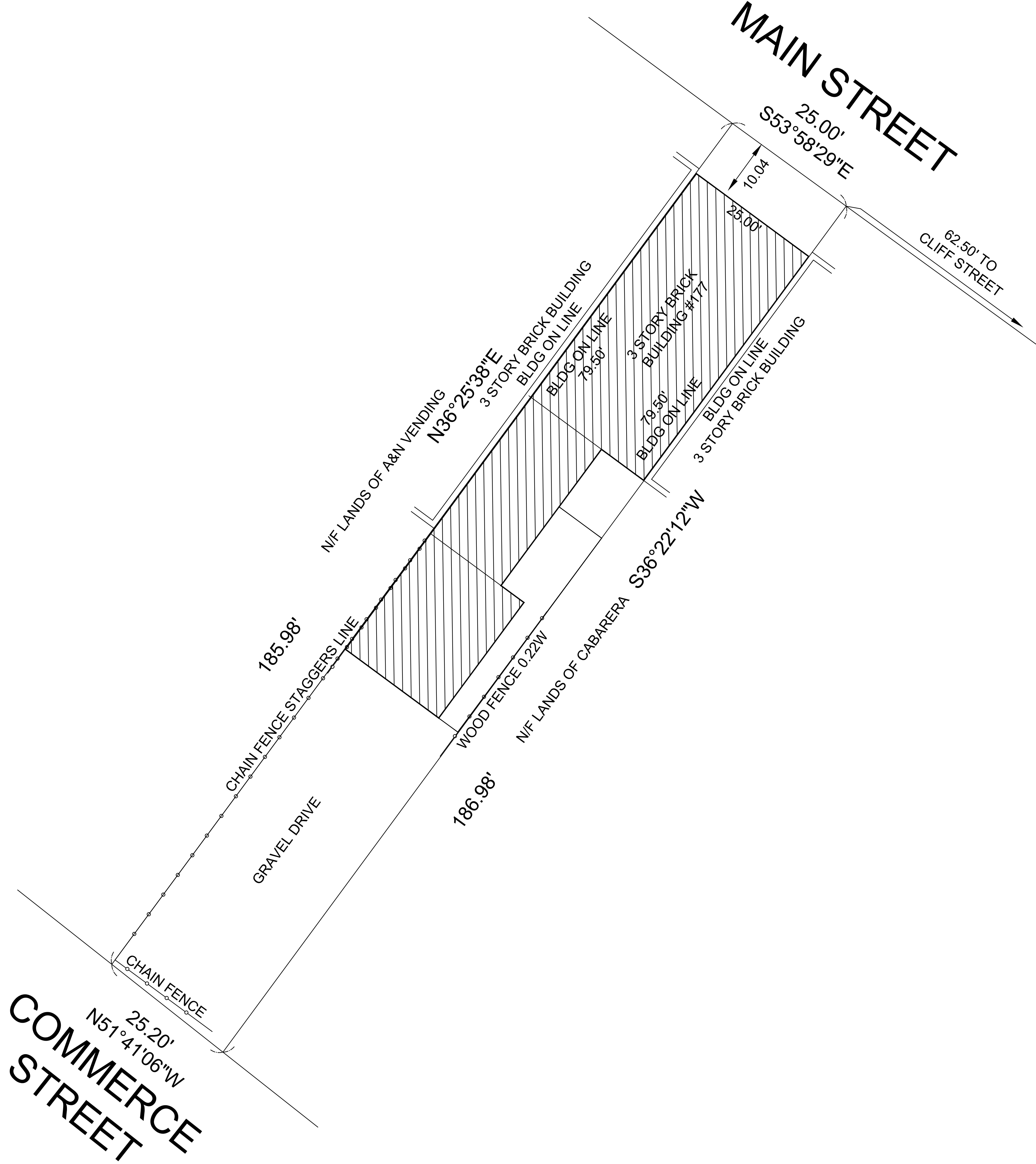
CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE

PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR TITLE SURVEYS AS ESTABLISHED BY THE L.I.A.L.S. AND APPROVED AND ADOPTED FOR SUCH USE BY THE NEW YORK STATE LAND TITLE ASSOCIATION.

THE OFFSET OR DIMENSIONS SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOL, PATIOS, PLANTING AREAS, ADDITIONS TO BUILDINGS AND ANY OTHER TYPE OF CONSTRUCTION.

SURVEY OF LOT 791947  
D.C.T.M. DUTCHESS-5954-27-791947  
SITUATED AT 177 MAIN STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK

THIS SURVEY IS CERTIFIED TO THE FOLLOWING PARTIES:  
THOROUGHbred TITLE SERVICES LLC (61456)  
ENTITLE INSURANCE COMPANY  
HUDSON VALLEY FEDERAL CREDIT UNION  
FROG LEAP INC  
FRANK E. DEESSO ESQ



**Existing Conditions Plan**

Scale: 1" = 10'

**Amendment To Site Plan Application**

Sheet 2 of 4 - Existing Conditions Plan

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/31/20	REVISED PER PLANNING BOARD COMMENTS	AJS

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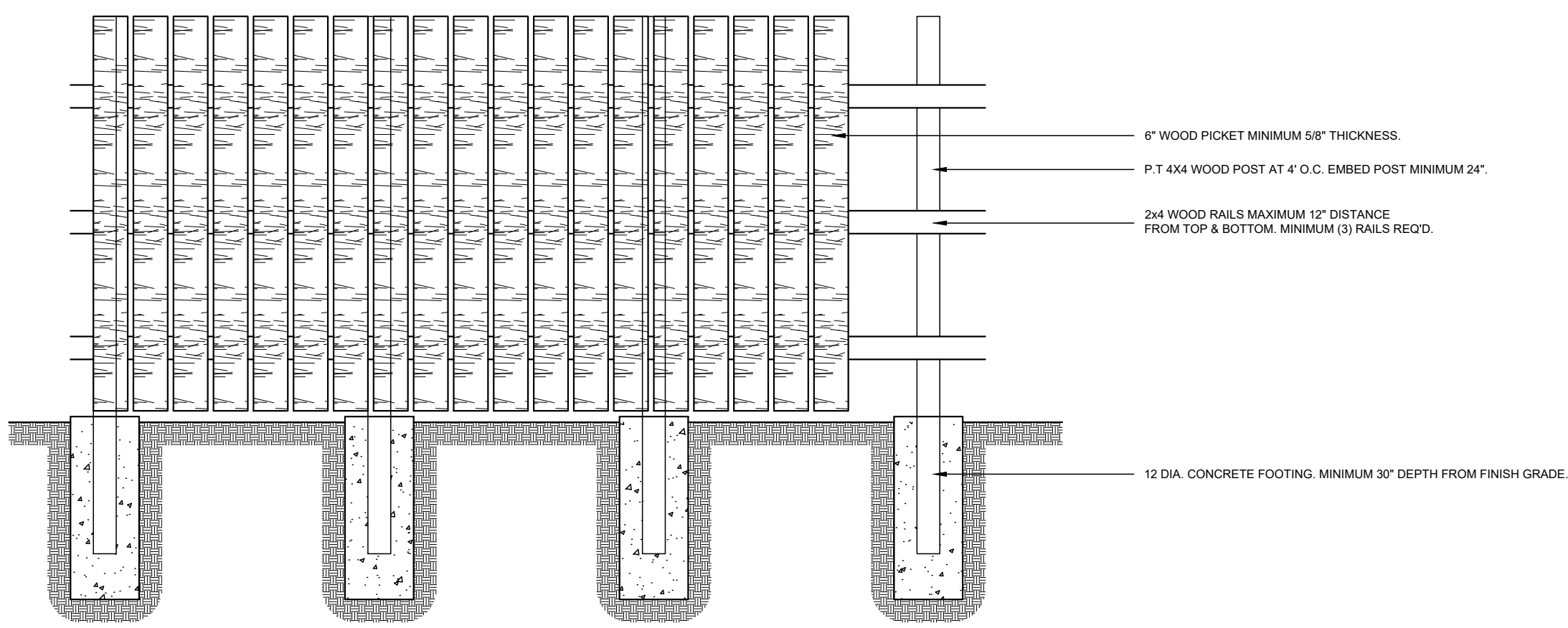


HUBBARDTON FORGE "HOOD" OUTDOOR DARK SKY COMPLIANT WALL SCONCE #306563. 15" HIGH X 6 1/2" WIDE. BURNISHED STEEL FINISH. 60 W INCANDESCENT LAMP EQUIVALENT LED FIXTURE. OR APPROVED EQUAL.

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY.

**L1: Wall Mounted Lighting Detail**

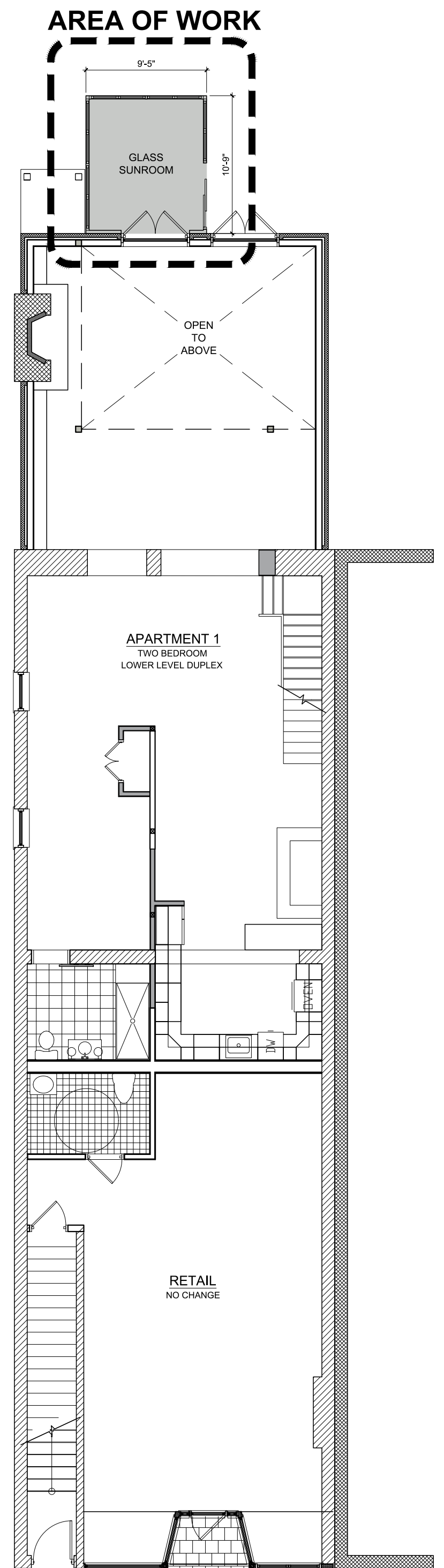
Not to Scale



**Existing Fence Elevation**

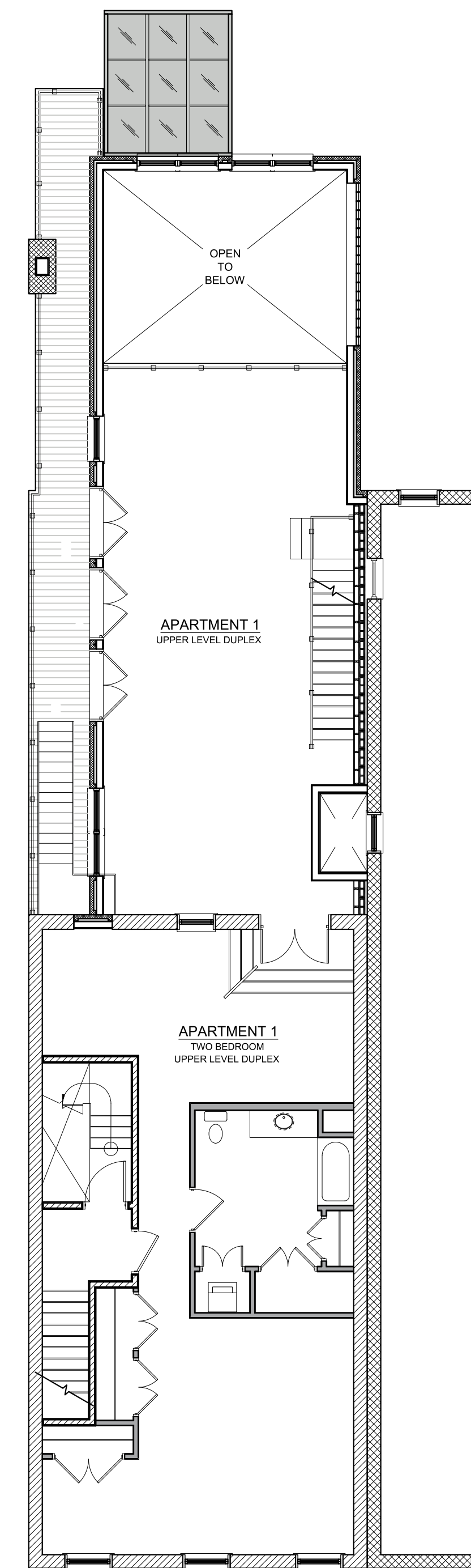
Scale: 1/2" = 1'-0"

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/31/20	REVISED PER PLANNING BOARD COMMENTS	AJS



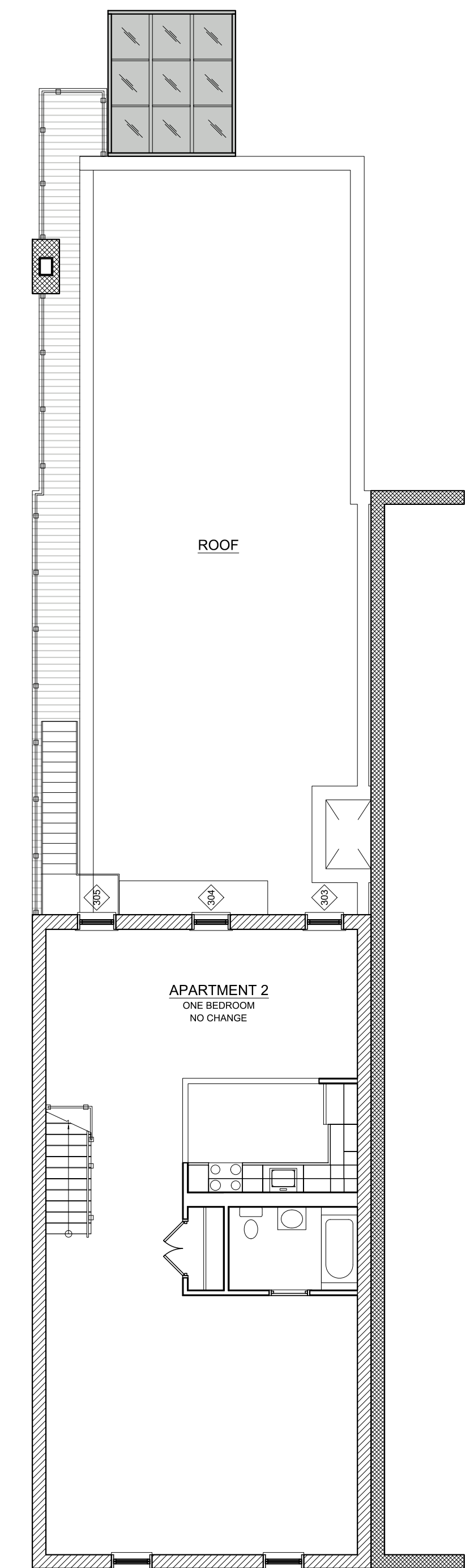
**1st Floor Plan - Sunroom Only**

Scale: 1/8" = 1'-0"



**2nd Floor Plan - No Change**

Scale: 1/8" = 1'-0"



**3rd Floor Plan - No Change**

Scale: 1/8" = 1'-0"

**Amendment To Site Plan Application**  
 Sheet 3 of 4 - Floor Plans

**177 Main Street - Renovation**

Beacon, New York  
 Scale: As Noted  
 February 21, 2020

Owner:  
**Frog Leap, Inc.**  
 177 Main Street  
 Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
 84 Mason Circle  
 Beacon, New York 12508

Surveyor:  
**David Scott Freeman**  
 176 Bell Hollow Road  
 Putnam Valley, New York 10579  
 Tel: (631) 926-4563



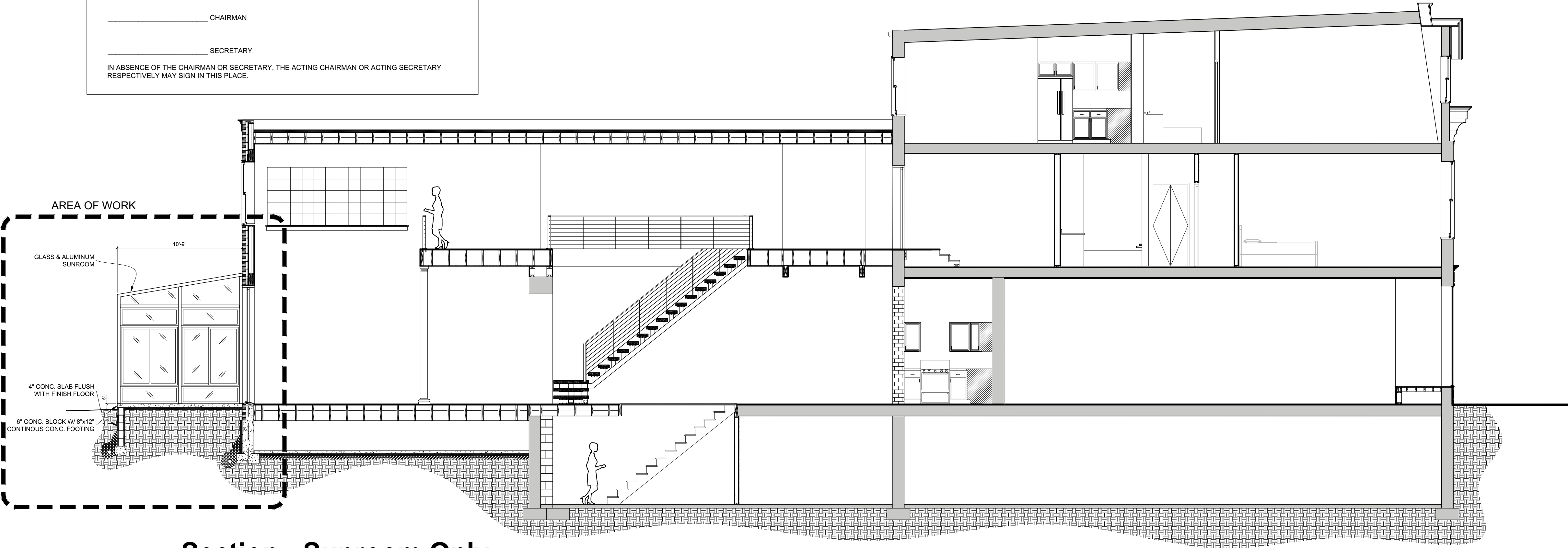
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

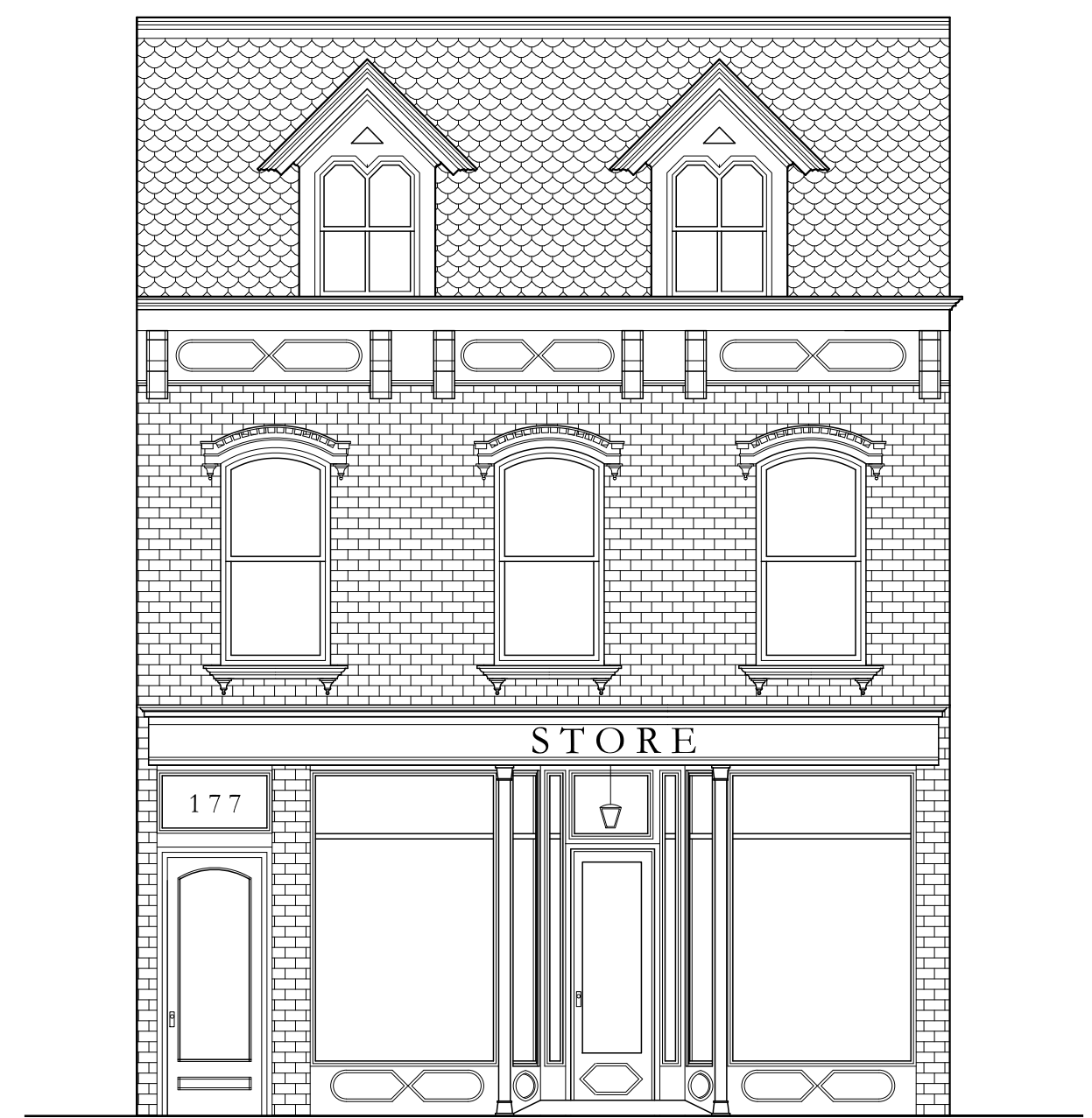
\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

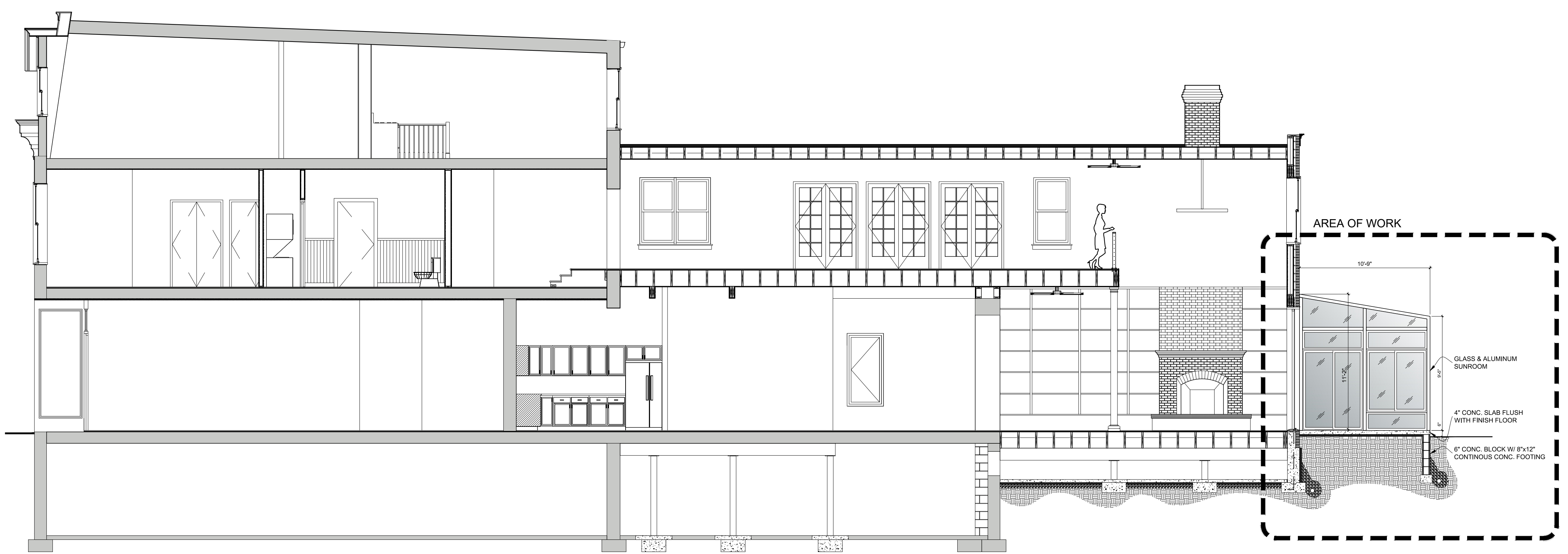
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**Section - Sunroom Only**  
Scale: 3/16" = 1'-0"



**Front Elevation (Existing No Change)**  
Scale: 3/16" = 1'-0"



**Section - Sunroom Only**  
Scale: 3/16" = 1'-0"



**Rear Elevation - Sunroom Only**  
Scale: 3/16" = 1'-0"

**Amendment To Site Plan Application**  
Sheet 4 of 4 - Sections & Elevations

**177 Main Street - Renovation**  
Beacon, New York  
Scale: As Noted  
February 21, 2020

Owner:  
**Frog Leap, Inc.**  
177 Main Street  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Surveyor:  
**David Scott Freeman**  
176 Bell Hollow Road  
Putnam Valley, New York 10579  
Tel: (631) 926-4563



To: John Gunn, Chair, and the City of Beacon Planning Board

Date: April 9, 2020

Re: **177 Main Street, Amended Site Plan**

I have reviewed a response letter and Project Narrative from Aryeh Siegel and a 4-sheet Amendment to Special Use Permit Application set, all dated March 31, 2020.

### **Proposal**

The applicant is proposing to add a one-story sunroom/mudroom to the rear of a three-story, mixed-use building. The parcel is in the Central Main Street (CMS) zoning district and Historic District and Landmark Overlay Zone (HDLO).

### **Comments and Recommendations**

1. The replacement exterior lighting features full cutoff fixtures. A note on the plan should confirm that the type, location, and shading will prevent the spillover of light onto any adjacent residential or multifamily property.
2. Since this application involves alterations to a property in the Historic Overlay Zone, the Board should approve a Certificate of Appropriateness under Chapter 134, Historic Preservation.
3. All my other previous comments have been addressed. I have no additional planning concerns.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Dave Buckley, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegel, Project Architect

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal  
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal  
Jerry A. Woods, L.S., Principal  
April 9, 2020

John D. Russo, P.E., Principal  
John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

Mr. John Gunn  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 177 Main Street  
Special Use Permit Amendment  
City of Beacon

Dear Mr. Gunn:

Our office is in receipt of the following documents and plans as related to the 177 Main Street project.

- Response correspondence dated March 31, 2020 from Aryeh Siegel, Architect.
- Project Narrative, dated March 31, 2020, as prepared by Aryeh Siegel, Architect.
- Plan set titled "177 Main Street – Amendment to Special Use Permit Application", consisting of 4 drawings in the set, with Sheets 1 through 3 of 4 having the latest revision date of March 31, 2020 and Sheet 4 of 4 having a date of February 21, 2020.

Based upon our review of the above documents and plans, we have no engineering comments at this time. Further comments may be forthcoming based upon future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

cc: John Clarke, Planner  
Jennifer Gray, Esq.  
David Buckley, Building Inspector

**RESOLUTION**

**PLANNING BOARD  
BEACON, NEW YORK**

**AMENDED SITE PLAN AND CERTIFICATE OF APPROPRIATENESS  
APPROVAL FOR 177 MAIN STREET**

**Parcel ID 5954-27-791947**

**WHEREAS**, Frog Leap, Inc., (the “Applicant”), submitted an application for Amended Site Plan approval to construct a one-story sunroom/mudroom to the rear of the existing three-story mixed-use building (the “Proposed Action”) on property located at 177 Main Street in the Central Main Street (CMS) Zoning District and the Historic District and Landmark Overlay District. Said premises being known and designated on the Tax Map of the City of Beacon as **Parcel ID #5954-27-791947** (the “Property”); and

**WHEREAS**, the Planning Board is the approval authority for the Site Plan pursuant to the City of Beacon Zoning Code § 223-25; and

**WHEREAS**, the Proposed Action includes a request for a Certificate of Appropriateness from the Planning Board pursuant to Chapter 134 of the City of Beacon; and

**WHEREAS**, the application consists of application forms, a Full Environmental Assessment Form (“EAF”), and all other submissions by the Applicant; and

**WHEREAS**, the Site Plan is shown on the following drawings, generally entitled, “177 Main Street- Amendment to Special Use Permit Application,” prepared by Aryeh Siegel, Architect, last revised February 21, 2020:

<u>Sheet</u>	<u>Title</u>
1 of 4	<i>Site Plan</i>
2 of 4	<i>Existing Conditions Plan</i>
3 of 4	<i>Floor Plans</i>
4 of 4	<i>Elevations; and</i>

**WHEREAS**, the proposed action is a Type II action pursuant to the New York State Environmental Quality Review Act (9 NYCRR 617.5(c)(9)) and accordingly, no further environmental review is required; and

**WHEREAS**, the Planning Board reviewed the application at its meetings on March 10, 2020 and April 14, 2020; and



**WHEREAS**, on April 14, 2020, the Planning Board opened a duly noticed public hearing on the application for Amended Site Plan and Certificate of Appropriateness approvals concerning the Proposed Action, at which time all those interested were given an opportunity to be heard and the public hearing was closed on August 14, 2020; and

**WHEREAS**, due to public health and safety concerns related to the current COVID-19 pandemic, the public hearing was duly noticed by publication, mailing and signage in accordance with notice requirements of the Zoning Code of the City of Beacon, and held by videoconference in accordance with the Governor's Executive Orders which suspend the "in-person" requirements of the NYS Open Meetings Law and provide alternative means by which to conduct public meetings and hearings remotely; and

**WHEREAS**, in reviewing the application the Planning Board has considered the criteria for approval of a Certificate of Appropriateness set forth in City Code § 134-7; and

**WHEREAS**, the Planning Board is fully familiar with the Proposed Action and has reviewed the Proposed Action relative to all applicable provisions of the City Code.

**NOW THEREFORE BE IT RESOLVED**, that the Planning Board hereby finds pursuant to City Code § 134-7 that the proposed renovations will be consistent with the historic character of the surrounding area.

**BE IT FURTHER RESOLVED**, that the Planning Board hereby grants Amended Site Plan and Certificate of Appropriateness Approval for the property located at 177 Main Street, as shown on the application materials enumerated above; subject to the following conditions and modifications set forth below and any other requirements which must be met by law:

**A. Prior to the signing of the Site Plan Drawings by the Planning Board Chairman, the following conditions shall be fulfilled:**

1. All application review fees shall be paid in full.
2. The Applicant shall seek and obtain all required permits and/or approvals from the appropriate agencies for the Project, including but not necessarily limited to approval from the Dutchess County Department of Health, and shall meet all conditions contained in such approvals, as required therein.
3. The comments contained in the City Planner's letter to the Planning Board dated April 9, 2020, and all comments in any subsequent letter(s) issued, shall be fulfilled to the satisfaction of the City Planner.

When the conditions above have been satisfied, six (6) sets of the above referenced plans revised as per the conditions above shall be submitted for endorsement by the Planning Board Chairman. One set of the endorsed plans will be returned to the Applicant, one set will be retained by the City Clerk, one set will be provided to the

Planning Board, and one set each will be forwarded to the Building Inspector, City Engineer and City Planner.

**B. The following are general conditions which shall be fulfilled:**

1. All conditions, set forth in any previous Planning Board Resolution related to the Property, and not superseded herein, shall remain in full force and effect.
2. The Building Inspector and the City Engineer shall have the right to direct the Applicant to cause the placement, cleaning and/or repair of sedimentation and erosion control devices wherever and whenever deemed necessary during construction.
3. The Applicant shall be responsible for the payment of all application review costs incurred by the City in its review and approval of this project. Such fees shall be paid by the Applicant within thirty (30) days of each notification by the City that such fees are due. If such fees are not paid within said thirty (30) day period, and an extension therefore has not been granted by the City, this resolution shall be rendered null and void.
4. As used herein, the term “Applicant” shall include its heirs, successors and assigns, and where applicable its contractors and employees.
5. If any of the conditions enumerated in this resolution upon which this approval is granted are found to be invalid or unenforceable, then the integrity of this resolution and the remaining conditions shall remain valid and intact.
6. The approvals granted by this resolution do not supersede the authority of any other entity.
7. Any proposed revision to the approved Site Plan Drawings, except revisions determined by the Building Inspector and City Engineer to be field changes, shall be submitted to the Planning Board. The Planning Board, in its discretion, shall determine the appropriate procedures for consideration of the proposed revision, and whether such revision is material enough to require further environmental analysis and/or further project review, as the Board may deem appropriate.

Resolution Adopted: April 14, 2020  
Beacon, New York

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John Gunn Chairman  
City of Beacon Planning Board

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Date

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_:

Kevin Byrne

Voting:

Leonard Warner

Voting:

Rick Muscat

Voting:

J. Randall Williams

Voting:

Karen Quiana

Voting:

John Gunn, Chairman

Voting:

Jill Reynolds

Voting:

Resolution: \_\_\_\_\_ - -



**City of Beacon Planning Board**  
**4/14/2020**

**Title:**

**3 Water Street**

**Subject:**

Continue review of application for Site Plan Approval (relative to a Special Use Permit) , Accessory Apartment, 3 Water Street, submitted by POK Beacon, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
3 Water Street Sheet Engineer Response Letter	Cover Memo/Letter
3 Water Street Sheet Architect Response Letter	Cover Memo/Letter
3 Water Street Sheet Application for Subdivision	Application
3 Water Street - Subdivision Plat	Plans
3 Water Street Sheet 1 Site Plan	Plans
3 Water Street Sheet 2 Existing Conditions	Plans
3 Water Street Sheet 3 Grading & Utility	Plans
3 Water Street Sheet 4 Erosion & Sediment Control	Plans
3 Water Street Sheet 5 Construction Details	Plans
3 Water Street Sheet 6 Construction Details	Plans
3 Water Street Special Use Permit	Resolution
Planner Review Letter	Consultant Comment



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508 (Main Office and Mailing Address)  
13 Chambers Street, Newburgh, NY 12550 (Satellite Office)  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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March 31, 2020

Hon. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Plaza  
Beacon, NY 12508

Re: 3 Water Street Subdivision and Site Plan  
3 Water Street  
Tax parcel: 6054-38-170722 ±0.54 acres  
City of Beacon, NY

Dear Chairman Gunn and Members of the Planning Board:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has been retained by the Applicant to prepare engineering plans and supporting materials in response to John Clark Planning and Design's comment memorandum dated January 10, 2020, and Lanc & Tully's comment letter dated January 3, 2020. Below is a point-by-point response to the comment letters received. Aryeh Siegel has responded to the Consultants' comments under a separate letter.

**John Clarke January 10, 2020 Comment Memorandum**

1. A Preliminary Subdivision Plat for Lot Consolidation and Dedication to the City has been prepared. The zoning boundary line will be revised if the City Council carries through with the zoning change. The bulk table in the Subdivision Plat does not include the proposed building addition and the accessory apartment. The bulk table for the building additions are covered in sheet 1 of the site plan set. This will allow for only the plat to be filed with the County.
2. Aryeh Siegel has responded to this comment.
3. Aryeh Siegel has responded to this comment.
4. The sidewalk along the frontage at the proposed driveway location is shown as being replaced on the plans. ADA ramps are proposed on both sides of the driveway. Construction details for a monolithic curb and sidewalk, and concrete driveway apron with ADA ramps are provided in the plans.

5. Aryeh Siegel has responded to this comment.
6. Comment noted.

### **Lanc & Tully January 3, 2020 Comment Letter**

#### General Comments

1. A Preliminary Subdivision Plat for Lot Consolidation and Dedication to the City has been prepared. An Offer of Dedication along with a description will be provided to the City Attorney for review. The bulk table in the Subdivision Plat does not include the proposed building addition and the accessory apartment. The bulk table for the building additions are covered in sheet 1 of the site plan set. This will allow for only the plat to be filed with the County.
2. The surveyed sewer information is shown on the grading and utility plan. The reputed location of the water main has been added as well. We will consult with the water department and the City engineer to verify the size and location of the main.
3. We are still investigating where the existing water and sewer services are located and will be shown on the plans. There are no new water, sewer, gas or electric service proposed for the proposed addition and accessory apartment. Connections will be made through the existing structure.
4. Site grading along with top and bottom of wall elevations are provided on the plan set.
5. Shrubs are proposed at the end of the parking stalls to prevent headlight exposure on the neighboring resident.
6. The gravel area at the end of the driveway has been extended to allow for proper vehicle maneuvering.
7. A walk has been provided to the accessory apartment.
8. Construction details are provided on the plan set.

Enclosed electronically for your continued review is the following:

- Cover letter from Aryeh Siegel (1 copy);
- Response to comments letter from Aryeh Siegel (1 copy);
- Preliminary Subdivision Plat Sheet 1 of 1 (1 copy);
- Site Plan set consisting of 6 sheets (1 copy), and
- CD containing all of the above.



Mr. John Gunn, Planning Board Chairman  
March 31, 2020  
Page 3 of 3

We look forward to discussing this project at your next available planning board agenda. Should you have any questions, please feel free to contact me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael A. Bodendorf". The signature is fluid and cursive, with the first name "Michael" and last name "Bodendorf" clearly distinguishable.

Michael A. Bodendorf, P.E.  
Principal

cc: POK Beacon, LLC  
Aryeh Siegel, AIA  
Daniel G. Koehler, P.E. (HLD file)

**ARYEH SIEGEL**  
ARCHITECT

---

John Gunn - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 3 Water Street Accessory Apartment, Beacon, New York**  
*Special Use Permit Application – Responses to Comments*

March 31, 2020

Dear Chairman Gunn and Members of the Planning Board,

Please note that the City Council approved the Special Use Permit for the Accessory Apartment at their March 16, 2020 public hearing.

Below please find our responses to the comments included in John Clarke Planning and Design's Memorandum, dated January 10, 2020, and Lanc & Tully's Memorandum dated January 3, 2020.

**John Clarke Planning and Design Comment Responses:**

1. The Applicant will submit a Sub-Division Application to consolidate the lots.
2. The Bulk Regulations Table has been updated to reflect the new building configuration with the accessory apartment addition set back 30 feet from the front property line.
3. The stockade fence location has been clarified, and a stockade fence detail has been added to the plan.
4. The front concrete sidewalk has been noted to be repaired across the proposed driveway area.
5. The hornbeam hedges have been moved back away from the sidewalk.

Note that several trees are being planted on the property, visible from the street. The hornbeams along the sidewalk are considered trees, and the Myrica Pensylvanica are tall shrubs that, mixed with the other plantings along the sidewalk in front of the privacy fence, will create a densely planted face to the property as viewed from the street. The Owner would like to omit additional street trees, as suggested, in order to maintain the proposed landscaping plan.

6. The City Council approved the Special Use Permit for the Accessory Apartment.

# ARYEH SIEGEL

ARCHITECT

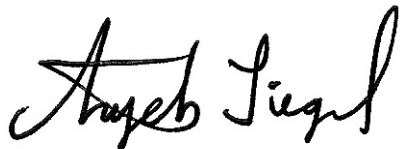
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## **Lanc & Tully Comment Responses:**

1. Please refer to Hudson Land Design's comment letter for responses to Lanc & Tully comments.
2. Note that landscaping was added at the end of the parking stalls to limit vehicle headlight exposure to the neighboring property.
3. The gravel area has been expanded to allow for vehicle maneuvering.
4. A concrete walk has been added between the sidewalk at Water Street to the accessory apartment.

Thank you. Please let me know if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Aryeh Siegel". The signature is written in a cursive, flowing style.

Aryeh Siegel  
*Aryeh Siegel, Architect*



**APPLICATION FOR SUBDIVISION APPROVAL**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

Name: POK Beacon LLC  
Address: 3 Water Street  
Beacon, NY 12508  
Signature: \_\_\_\_\_  
Date: March 31, 2020  
Phone: 845-464-4935

*(For Official Use Only)*

	Date	Initials
Preliminary Application Rec'd	_____	_____
Application Fee:	_____	_____
Public Hearing	_____	_____
Preliminary Plat Approved:	_____	_____
Final Plat Approved:	_____	_____
Recreation Fee:	_____	_____
Performance Bond:	_____	_____

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: Aryeh Siegel Architect  
Address: 84 Mason Circle  
Beacon, NY 12508

Phone: (845) 838-2490  
Fax: (845) 838-2657  
Email address: ajs@ajsarch.com

**IDENTIFICATION OF SUBJECT PROPERTY:**

Subdivision name or identifying title:  
3 Water Street

Street which property abuts: Water Street

Current Tax Map Designation: Section 6054 Block 38 Lot(s) 170722

Property (does) (does not) connect directly into a (State) (County) highway.

Land in subdivision (is) (is not) within 500 feet of a Municipal boundary.

Total area of property is 0.54 acres

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. Eight (8) **folded** copies of a subdivision plat showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- c. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.



**CITY OF BEACON  
PRELIMINARY SUBDIVISION PLAT  
AND CONSTRUCTION PLANS SPECIFICATION FORM**

**Name of Application:** 3 Water Street

<b>PRELIMINARY SUBDIVISION PLAT</b>	<b>YES</b>	<b>NO</b>
The preliminary plat shall be clearly marked "Preliminary Plat", shall be drawn to a convenient scale but not less than 1" = 100', and shall contain the following information:	X	
Proposed subdivision name or identifying title, name, and address of property owner and subdivider (if other than owner), name and address of the surveyor and/or engineer preparing the plan, scale, approximate true North point, and date.	X	
The approximate location and dimensions of all property lines, the total acreage of the proposed subdivision, the location of any zoning, special district or municipal boundary lines affecting the subdivision, and the names of owners of record of properties adjoining and directly across the street from proposed subdivision.	X	
The location of all existing structures and pertinent features, including railroads, water bodies, water courses, wetlands, rock outcroppings, wooded areas, major trees, and stone walls, that may influence the design of the subdivision, plus accurate topography at a vertical contour interval of not more than two (2) feet. The topographic data shall be determined by field survey unless the Planning Board specifically waives this requirement and/or permits the substitution of topographic information obtained from other sources determined satisfactory for the particular case.	X	
The location and status of existing streets or private roads, easements and rights-of-way (if any), proposals for the layout of new streets or private roads (including widths and approximate curve radii) and any proposed easements, rights-of-way and/or reservations.	X	
The names of existing streets or private roads and proposed names for new streets or private roads.	X	
The proposed arrangement of lots, including identifying numbers and approximate area and dimensions of each.	X	
Location, size and nature of any area proposed to be reserved for park purposes.	N/A	
A site location sketch, at a scale of one inch equals 400 feet, showing the general situation within 1,000 feet of the applicant's property with respect to surrounding properties, streets and private roads.	X	
Where the preliminary plat includes only a portion of an applicant's contiguous holding, the applicant shall also indicate, on a sketch at a scale of not less than one inch equals 200 feet, the probable future street or private road system, lot arrangement and location of park and other reservations for the remaining portion of the tract. Such sketch shall be for the purpose of guiding the Planning Board in reviewing the proposed preliminary plat and shall include topographic data with a vertical contour interval of not more than five feet plus any other information determined necessary by the Planning Board.	N/A	
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.	X	



<b>PRELIMINARY CONSTRUCTION PLANS</b>	<b>YES</b>	<b>NO</b>
The preliminary construction plans shall be drawn at the same scale as the preliminary plat and shall include the following information:	X	
Location and sizes of any existing water, sewer storm drainage and other utility lines and structures within and nearby the proposed subdivision.	X	
The proposed system for the provision of water supply and fire protection facilities, sewage disposal, stormwater drainage, and other utility services.	X	
Proposed street or private road profiles and cross-sections showing the approximate grade of proposed streets or private roads, the relationship of existing to proposed grades, and the proposed grades, and the proposed vertical curvature along the center line of all new streets or private roads.	N/A	
Location of all existing and proposed monuments and other subdivision improvements.	X	
Such additional information as may be required by this chapter, the Zoning chapter, or the Planning Board.	X	



**CITY OF BEACON  
FINAL SUBDIVISION PLAT  
AND CONSTRUCTION PLANS SPECIFICATION FORM**

**Name of Application:** 3 Water Street

<b>FINAL SUBDIVISION PLAT</b>	<b>YES</b>	<b>NO</b>
The final subdivision plat shall be drawn clearly and legibly on transparent tracing cloth with black waterproof ink, at a scale no smaller than one inch equals 100 feet but preferably at a scale of one inch equals 50 feet. The sheet size shall not exceed 36 inches by 48 inches. If the size of proposed subdivision required a drawing larger than this, two or more sheets may be submitted, with match lines clearly indicated, and an index map shall be prepared on the same size sheet.		
The final plat shall contain the following information:		
Proposed subdivision name or identifying title, name, and address of owner of record and of subdivider (if other than owner), certification and seal of the registered engineer or licensed land surveyor who prepared the plat, names of the owners of record of adjoining properties and of properties directly across the street or private road, graphic scale, approximate true North point, and date.		
The location and dimensions of all boundary lines of the proposed subdivision, and all existing and proposed streets, private roads, lot lines, easements and rights-of-way, with sufficient data to readily determine the location, bearing and length of all such lines and to reproduce such lines upon the ground.		
The names of all existing and proposed streets and private roads.		
The locations of all water bodies and watercourses.		
The location of all existing buildings, including identification of all buildings to be removed as a condition of plat approval.		
The total acreage included in the entire subdivision, and the identification number and acreage of all lots and land reservations within the proposed subdivision.		
Location of all existing and proposed monuments.		
A site location map, at a scale of one inch equals 400 feet, showing the location of the subject property with respect to neighboring properties, streets and private roads.		
Notations explaining any drainage, sight slope, street widening, park area or other reservations or easements, including any self-imposed restrictions or covenants.		
Endorsement of approval by the Dutchess County Health Department.		
Plan for the provisional delivery of mail, as approved by the local postmaster.		
Endorsement of the owner as follows:  <div style="text-align: center;"> <p>“Approved for filing: _____”</p> <p>Owner _____ Date _____</p> </div>		



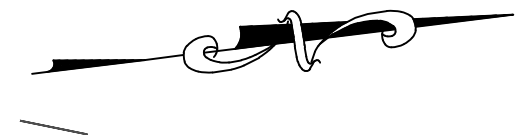
FINAL SUBDIVISION PLAT <i>(continued)</i>	YES	NO
<p>Form for endorsement by Planning Board Chairman as follows:</p> <p>“Approved by Resolution of the Planning Board of the City of Beacon, New York, on the _____ day of _____, 20_____, subject to All requirements and conditions of said Resolution. Any change, erasure, modification or revision of this plat, as approved, shall void this approval.</p> <p>Signed this _____ day of _____, 20_____, by _____, Chairman  _____ , Secretary</p> <p>In absence of the Chairman or Secretary, the Acting Chairman or Acting Secretary Respectively may sign in this place.</p>		
<p>Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.</p>		
<p>Stormwater pollution prevention plan. A stormwater pollution prevention plan consistent with the requirements of Chapter 190 and with the terms of preliminary plan approval shall be required for final subdivision plat approval. The SWPPP shall meet the performance and design criteria and standards in Chapter 190, Article II. The approved final subdivision plat shall be consistent with the provisions of Chapter 190.</p>		

FINAL CONSTRUCTION PLANS	YES	NO
<p>Final construction plans and profiles shall be prepared for all proposed streets, private roads and other required improvements. Plans shall be drawn at the same scale as the final plat and on the same size sheets, but not on the same sheets. The following information shall be shown:</p>		
<p>Plans and profiles showing the location and a typical cross-section of street and/or private road pavements including curbs and gutters, sidewalks, manholes and catch basins; the location of street or private road trees, lighting and signs; the location, size and invert elevations of existing and proposed sanitary sewers, stormwater drains and fire hydrants; the location and size of all water, gas or other underground utilities or structures; and the location and design of any other required improvements.</p>		
<p>Profiles showing existing and proposed elevations along the center line of all streets and private roads. Where a proposed street or private road intersects an existing street or private road, the elevation along the center line of the existing street or private road within 100 feet of intersection, shall be shown. All elevations must be referred to established U.S. Government of approved local benchmarks, where they exist within ½ mile of the boundary of the subdivision.</p>		
<p>The Planning Board may require, where steep slopes exist, cross-sections showing existing and proposed elevations of all new streets and private roads every 100 feet at five points on a line at right angles to the center line of the street or private road, said elevation points to be at the center line of the street or private road, each property line, and points 30 feet inside each property line.</p>		
<p>Location, size, elevation and other appropriate description of any existing facilities which will be connected to proposed facilities and utilities within the subdivision.</p>		

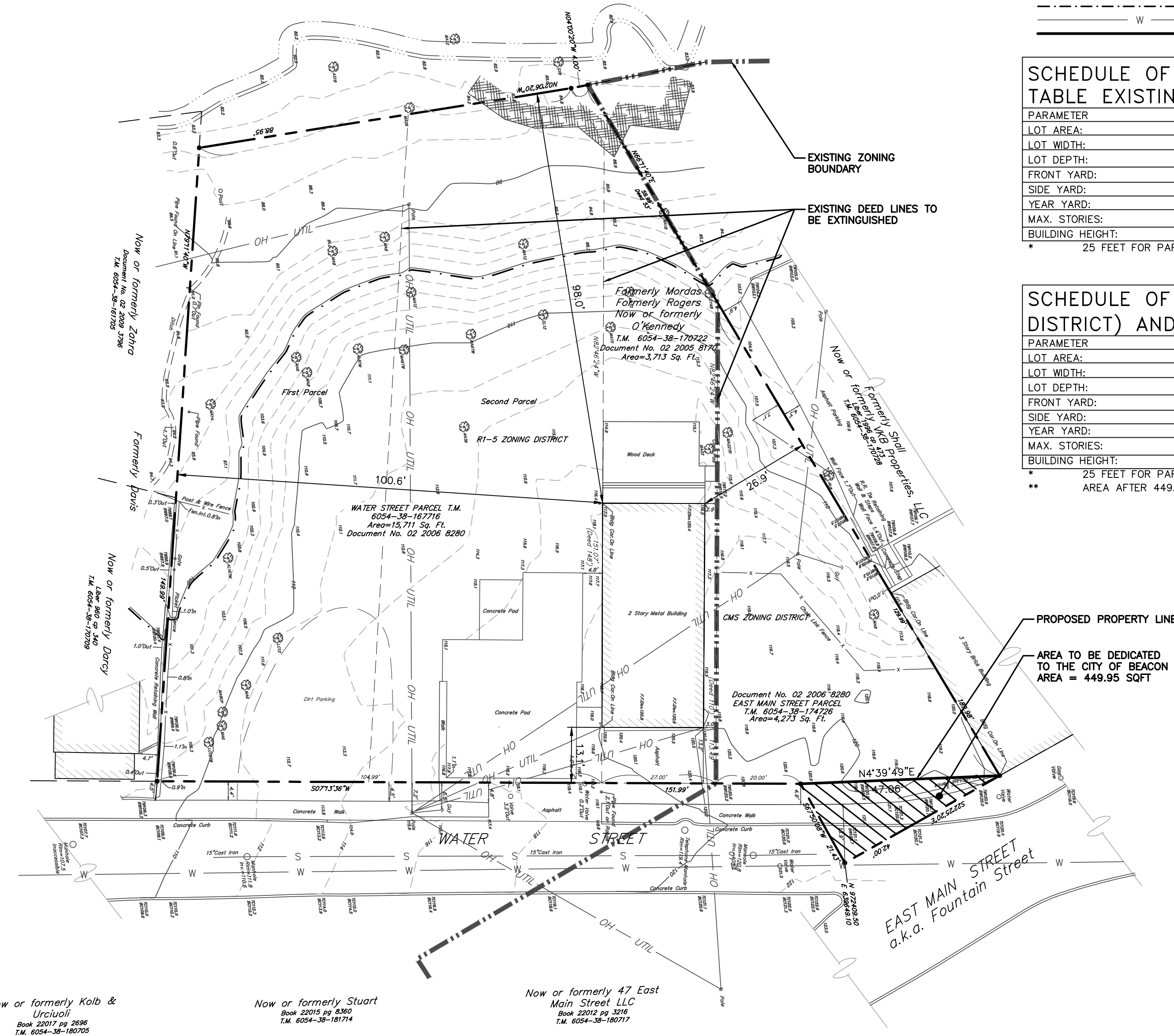








FISHKILL CREEK  
a.k.a. 'the mill pond'  
a.k.a. Matteawan Creek



**LEGEND:**

---	EXISTING PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING SEWER LINE
---	EXISTING OVERHEAD UTILITY LINE
---	EXISTING CHAIN LINK FENCE
○	EXISTING TREE
○	EXISTING UTILITY POLE
---	EXISTING ZONING BOUNDARY
---	EXISTING 100-YEAR FLOOD BOUNDARY
---	EXISTING WATER LINE
---	PROPOSED PROPERTY LINE

**PROJECT INFORMATION:**

APPLICANT:	POK BEACON, LLC, 3 WATER STREET BEACON, NY 12508
PROJECT SURVEYOR:	BADEY & WATSON SURVEYING AND ENGINEERING, P.C.
PARCEL LOCATION:	3 WATER STREET, BEACON, NY 12508
TAX PARCEL ID:	6054-38-170722
PARCEL AREA:	±0.53-ACRES
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

**SCHEDULE OF REGULATIONS (CMS & R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE EXISTING CONDITIONS:**

PARAMETER	REQUIREMENT R1-5	REQUIREMENT CMS	PARCEL 6054-38-167716	PARCEL 6058-38-170722	PARCEL 6058-38-174726
LOT AREA:	5,000 SQUARE FEET MIN	N/A	15,711 S.F.	3,713 S.F.	4,273 S.F.
LOT WIDTH:	50 FEET MINIMUM	N/A	±100 FEET	± 27 FEET	± 59 FEET
LOT DEPTH:	100 FEET MINIMUM	N/A	±158 FEET	± 133 FEET	± 73 FEET
FRONT YARD:	30 FEET	0 FEET; 10 FEET MAX	N/A	13.1 FEET	N/A
SIDE YARD:	10 FEET (20 TOTAL OF TWO)	0 FEET	N/A	0 FEET; 3 FEET	N/A
YEAR YARD:	30 FEET	25 FEET*	N/A	± 28 FEET	N/A
MAX. STORIES:	2 1/2 (1 STORY MIN.)	2 STORIES MIN.; 3 MAX.	N/A	2 STORIES	N/A
BUILDING HEIGHT:	35 FEET (12 FEET MIN.)	38 FEET	N/A	±24 FEET	N/A

\* 25 FEET FOR PARCELS 100 FEET DEEP OR MORE AND MINIMUM 10 FEET FOR PARCELS UNDER 100 FEET DEEP.

**SCHEDULE OF REGULATIONS (CMS & R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE PROPOSED CONDITIONS:**

PARAMETER	REQUIREMENT R1-5	REQUIREMENT CMS	PARCEL 6054-38-170722
LOT AREA:	5,000 SQUARE FEET MIN	N/A	23,247 S.F.**
LOT WIDTH:	50 FEET MINIMUM	N/A	±195 FEET
LOT DEPTH:	100 FEET MINIMUM	N/A	±160 FEET
FRONT YARD:	30 FEET	0 FEET; 10 FEET MAX	N/A
SIDE YARD:	10 FEET (20 TOTAL OF TWO)	0 FEET	26.9 FEET; 127.5 FEET (TOTAL OF TWO)
YEAR YARD:	30 FEET	25 FEET*	98.0 FEET
MAX. STORIES:	2 1/2 (1 STORY MIN.)	2 STORIES MIN.; 3 MAX.	2 STORIES
BUILDING HEIGHT:	35 FEET (12 FEET MIN.)	38 FEET	±24 FEET

\* 25 FEET FOR PARCELS 100 FEET DEEP OR MORE AND MINIMUM 10 FEET FOR PARCELS UNDER 100 FEET DEEP.  
\*\* AREA AFTER 449.95 S.F. CONVEYANCE TO THE CITY OF BEACON.

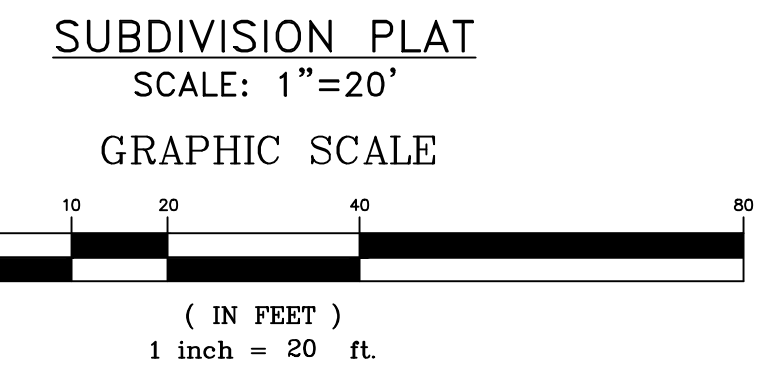


**SITE LOCATION MAP** SCALE: 1" = 200'

- SURVEY NOTES:**
- THE THREE PARCELS SHOWN ON THIS MAP HAVE BEEN CONSOLIDATED INTO ONE LOT WITH THE PARCEL NO. DESIGNATION 6058-38-17077, AND A TOTAL AREA OF ±0.54 AC, AND FILED WITH THE DUTCHESS COUNTY CLERK'S OFFICE. THE CONSOLIDATION SHOWN ON THESE PLANS ARE FOR THE PURPOSES OF THE CITY OF BEACON ONLY.
  - APPROXIMATELY 449 SQUARE FEET IS PROPOSED TO BE CONVEYED AND OFFERED FOR DEDICATION TO THE CITY OF BEACON.
  - THIS SURVEY IS OF PROPERTY DESCRIBED IN THE DUTCHESS COUNTY CLERK'S DOCUMENT NO'S 02 2005 8170 AND 02 2006 8280.
  - THE MERIDIAN, DISTANCES AND COORDINATE VALUES SHOWN HEREON REFER TO THE NEW YORK COORDINATE SYSTEM, EAST ZONE (NAD 83), EXPRESSED IN FEET. THE DISTANCES SHOWN ON THIS MAP ARE GRID DISTANCES. THEY HAVE BEEN SCALED BY A GRID FACTOR (SCALE FACTOR X SEA LEVEL FACTOR) OF 0.99991900. TO OBTAIN GROUND DISTANCES DIVIDE THE DISTANCES ON THIS MAP BY THE GRID FACTOR.
  - THE VERTICAL DATUM HEREON IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).

- MAP REFERENCE:**
- EXISTING FEATURES AS SHOWN ON THIS PLAN PROVIDED BY A SURVEY ENTITLED "SURVEY OR PROPERTY PREPARED FOR POK BEACON, LLC" COMPLETED ON JULY 14, 2011, BY BADEY & WATSON.
  - THE LOCATION OF THE WATER MAIN SHOWN IN WATER STREET HAS NOT BEEN SURVEYED AND THE LOCATION IS CONSIDERED REPUTED.

- FLOOD BOUNDARY:**
- A PORTION OF THE SUBJECT PARCEL IS LOCATED IN ZONE AE (AREAS DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOODPLAIN) PER PANEL 36027C0464E DATED MAY 2, 2012.



**DCDOH STANDARD NOTE:**

**FOR PERMISSION TO FILE**  
THIS PLAN DOES NOT CONSTITUTE A REALTY SUBDIVISION AS DEFINED BY ARTICLE XI, TITLE II, SECTION 1115 OF THE PUBLIC HEALTH LAW OF THE STATE OF NEW YORK, AND ARTICLE XI OF THE DUTCHESS COUNTY SANITARY CODE. PERMISSION IS HEREBY GRANTED FOR THE FILING OF THIS MAP WITH THE CLERK OF DUTCHESS COUNTY. APPROVAL FOR ARRANGEMENTS FOR WATER SUPPLY AND/OR SEWAGE DISPOSAL IS NEITHER SOUGHT NOR GRANTED.

AUTHORIZED REPRESENTATIVE OF THE COMMISSIONER OF HEALTH \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

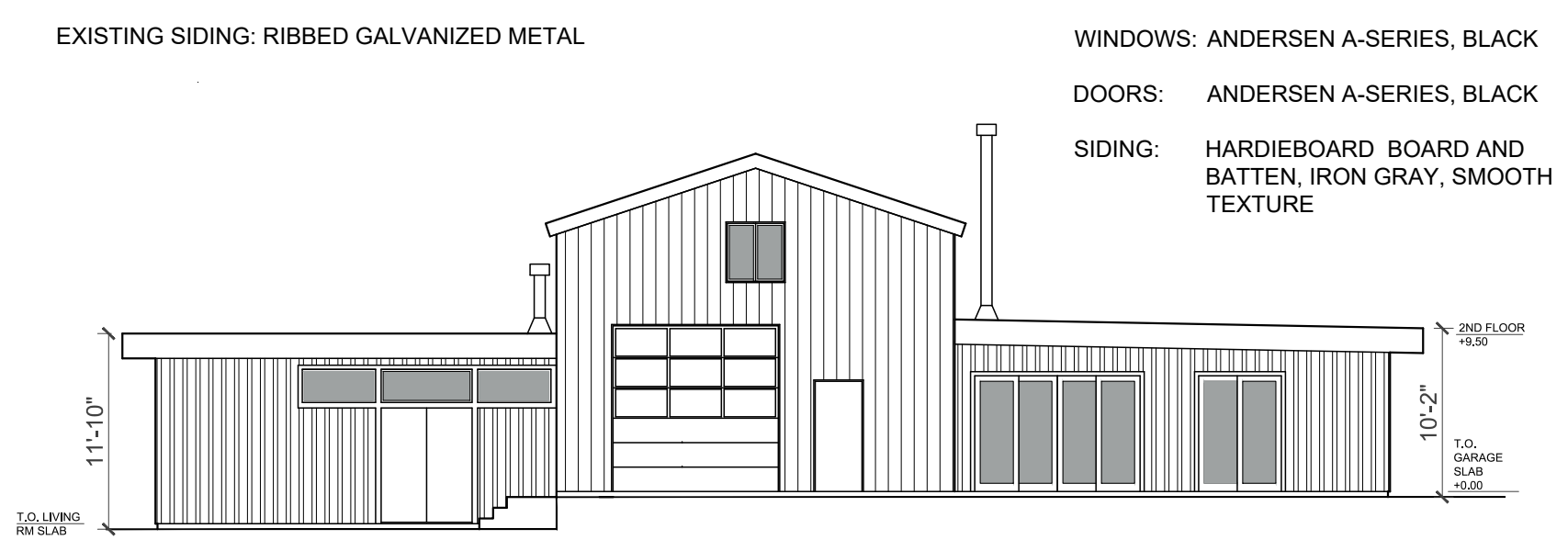
DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY

**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN ST., BEACON, NEW YORK 12508  
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
PH: 845-440-6926  
F: 845-440-6637

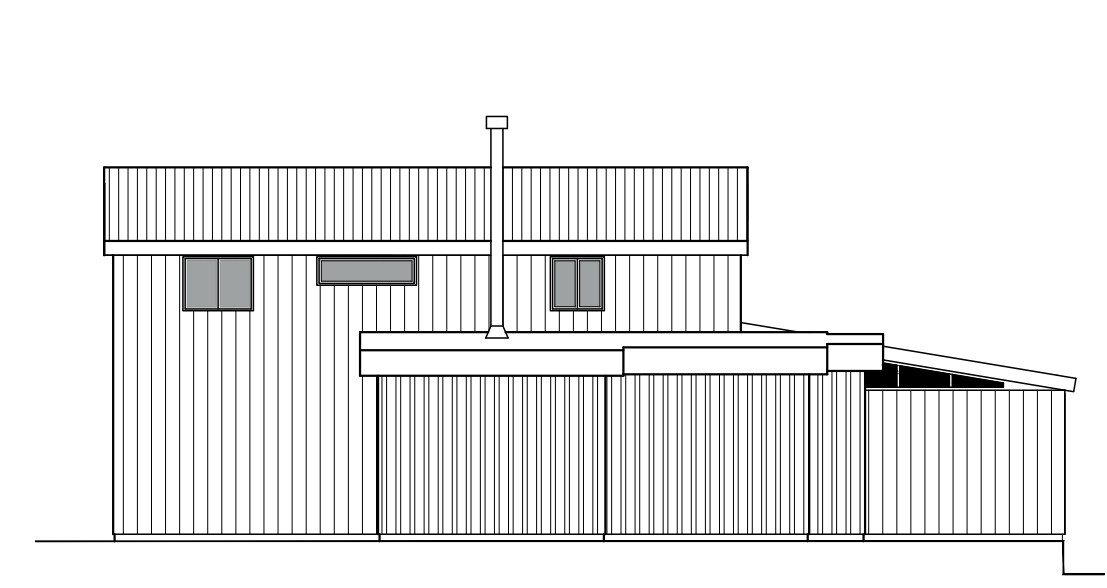
**PRELIMINARY SUBDIVISION PLAT**  
**3 WATER STREET**  
3 WATER STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-38-170722

**JOB #:** 2020:013  
**DATE:** 3/31/2020  
**SCALE:** 1" = 20'  
**TITLE:** SD-1  
**SHEET:** 1 OF 1

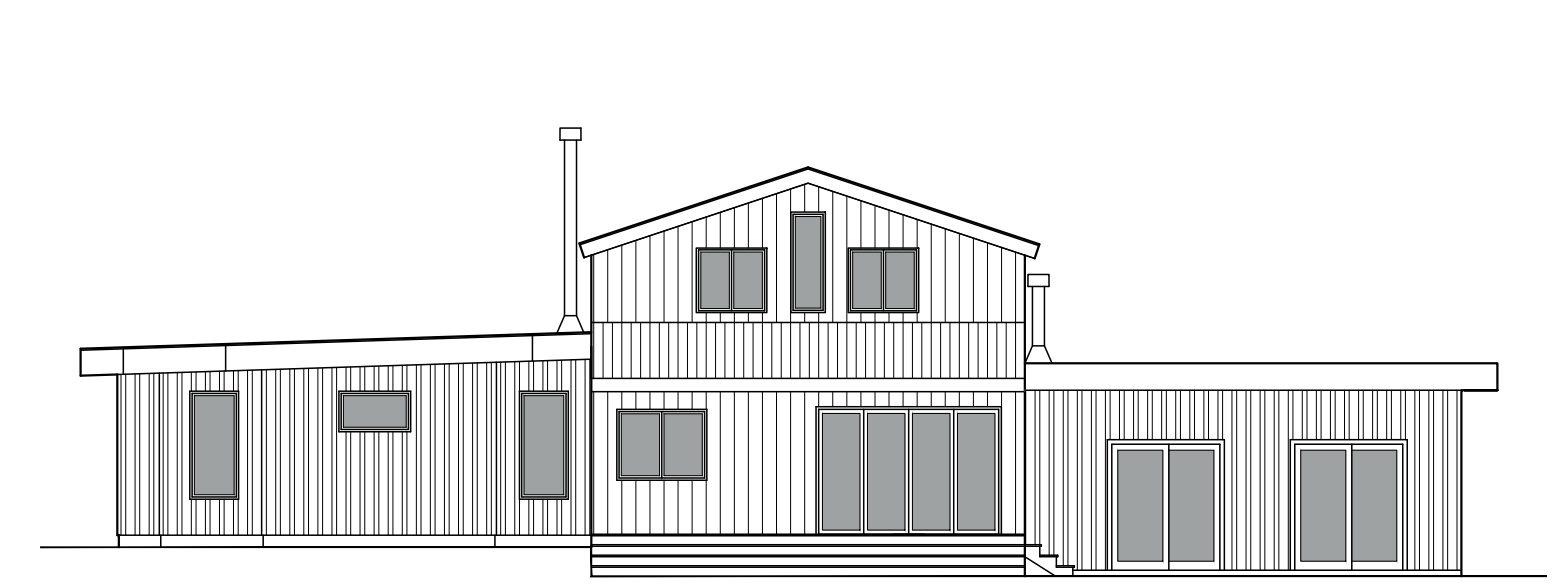




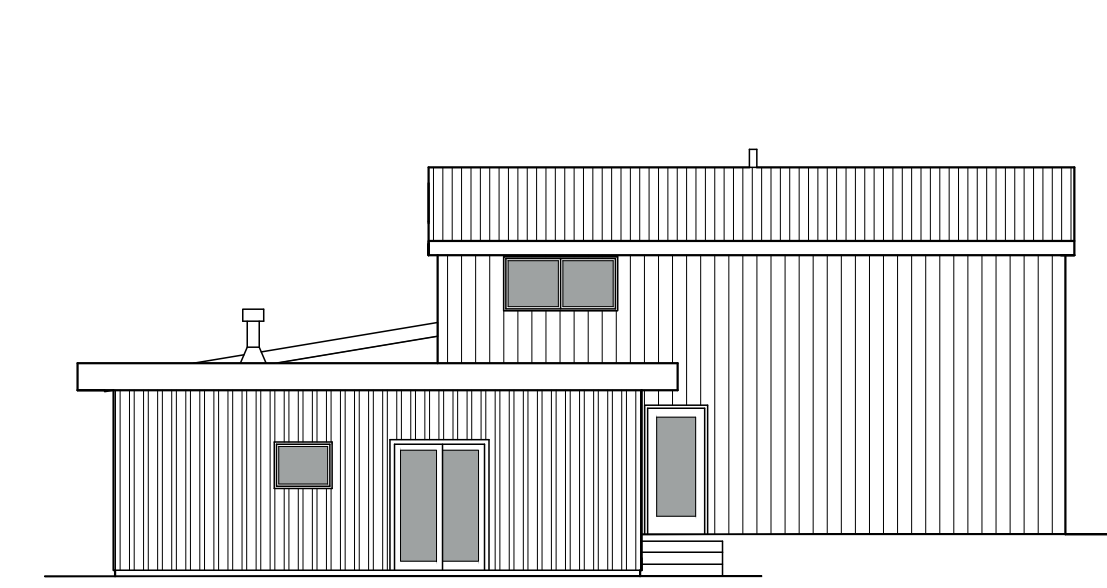
**Water Street (East) Elevation**  
Scale: 3/32" = 1'-0"



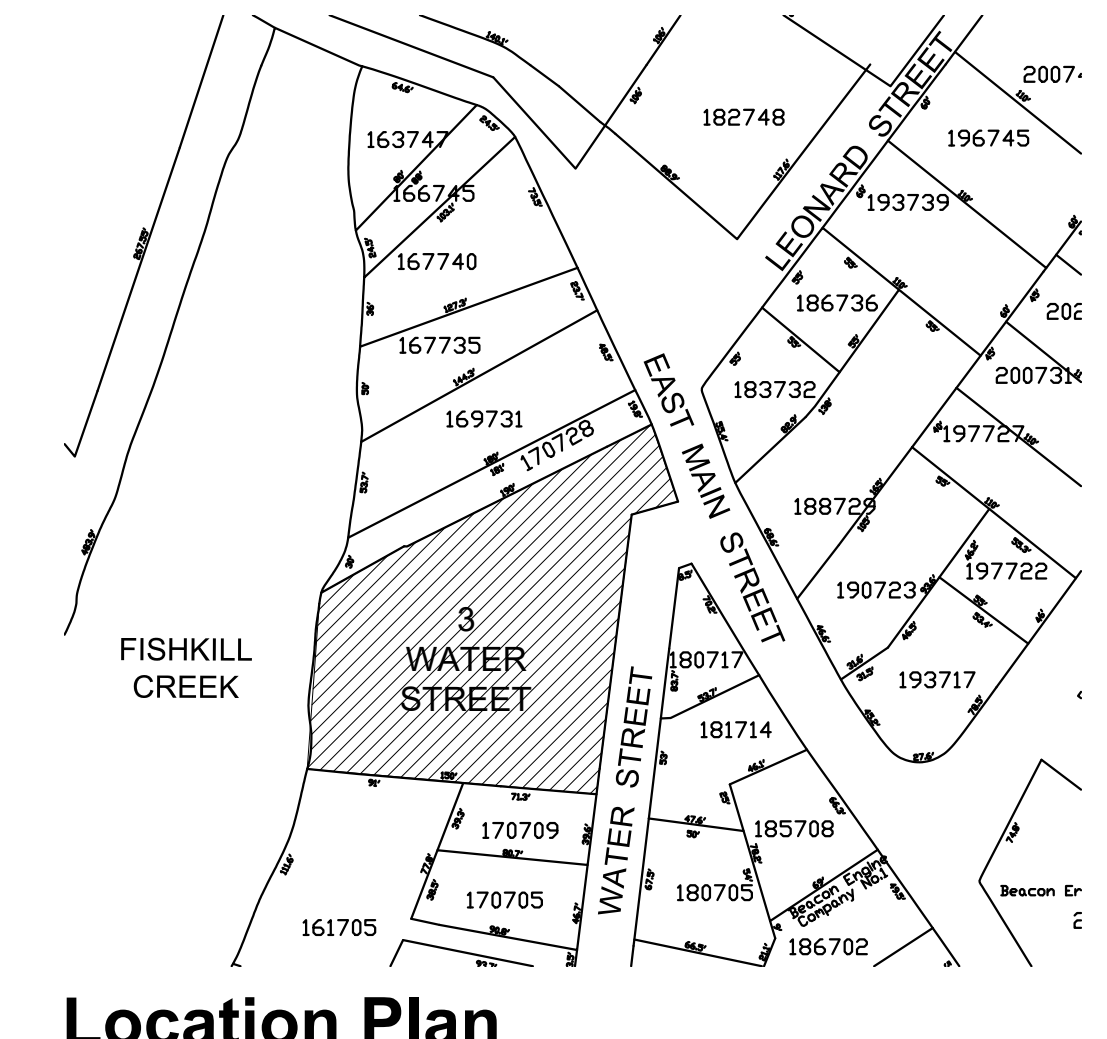
**North Elevation**  
Scale: 3/32" = 1'-0"



**West Elevation**  
Scale: 3/32" = 1'-0"



**South Elevation**  
Scale: 3/32" = 1'-0"



**Location Plan**  
Not to Scale



**L1: Wall Mounted**  
HAMPTON BAY  
"1-LIGHT ZINC OUTDOOR WALL LANTERN" MODEL  
# HSP1691A - 60 W INCANDESCENT LAMP OR LED  
EQUIVALENT - MAX COLOR TEMPERATURE SHALL  
BE 2700K. SHIELD LIGHTS TO PREVENT LIGHT  
SPILL ACROSS TO ADJACENT PROPERTIES OR  
ABOVE THE HORIZONTAL PLANE INTO THE SKY

**Bulk Regulations Table**

Zoning District	Required Setbacks			Proposed Setbacks			Lot Depth Required	Lot Depth Existing	Maximum Building Coverage	Proposed Building Coverage	Allowable Building Height	Proposed Building Height	Lot Area
	Front	Side	Rear	Front	Side	Rear							
R1-S ONE FAMILY RESIDENCE	30'	10'	30'	13.1' Existing non-conforming	76.38'	94.19'	100'	149.69'	NA	2,056 SF	2-1/2 Story	2 Story	19,423 SF
CMS - CENTRAL MAIN STREET	0 Minimum, 10' Maximum	0	25'	30.00' at addition	12.87'	NA	75'	130'	NA	573 SF	3 stories. With special permit, 4 stories with a 15' high back slope. 38'	2 story at existing, 1 story at addition	4,272 SF

**Zoning Summary**

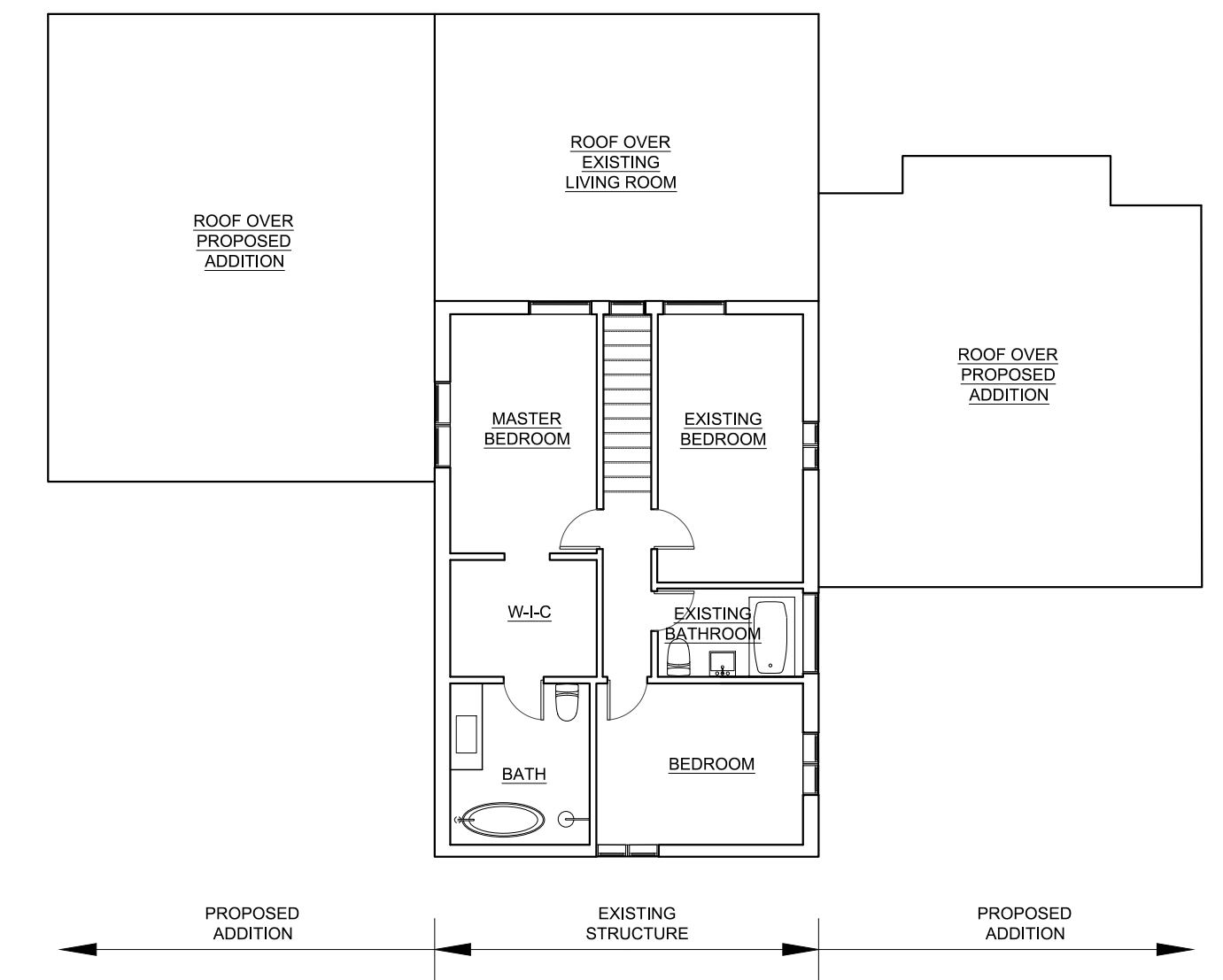
Zoning District:	R1-S & CMS
Tax Map No.:	6054-38-170722
Lot Area:	0.58 acre
Historical Overlay District:	No
Parking Overlay District:	No
Existing Use:	Single Family Residence
Proposed Use:	Owner-Occupied Single-Family Residence with Accessory Apartment

**Parking & Loading**

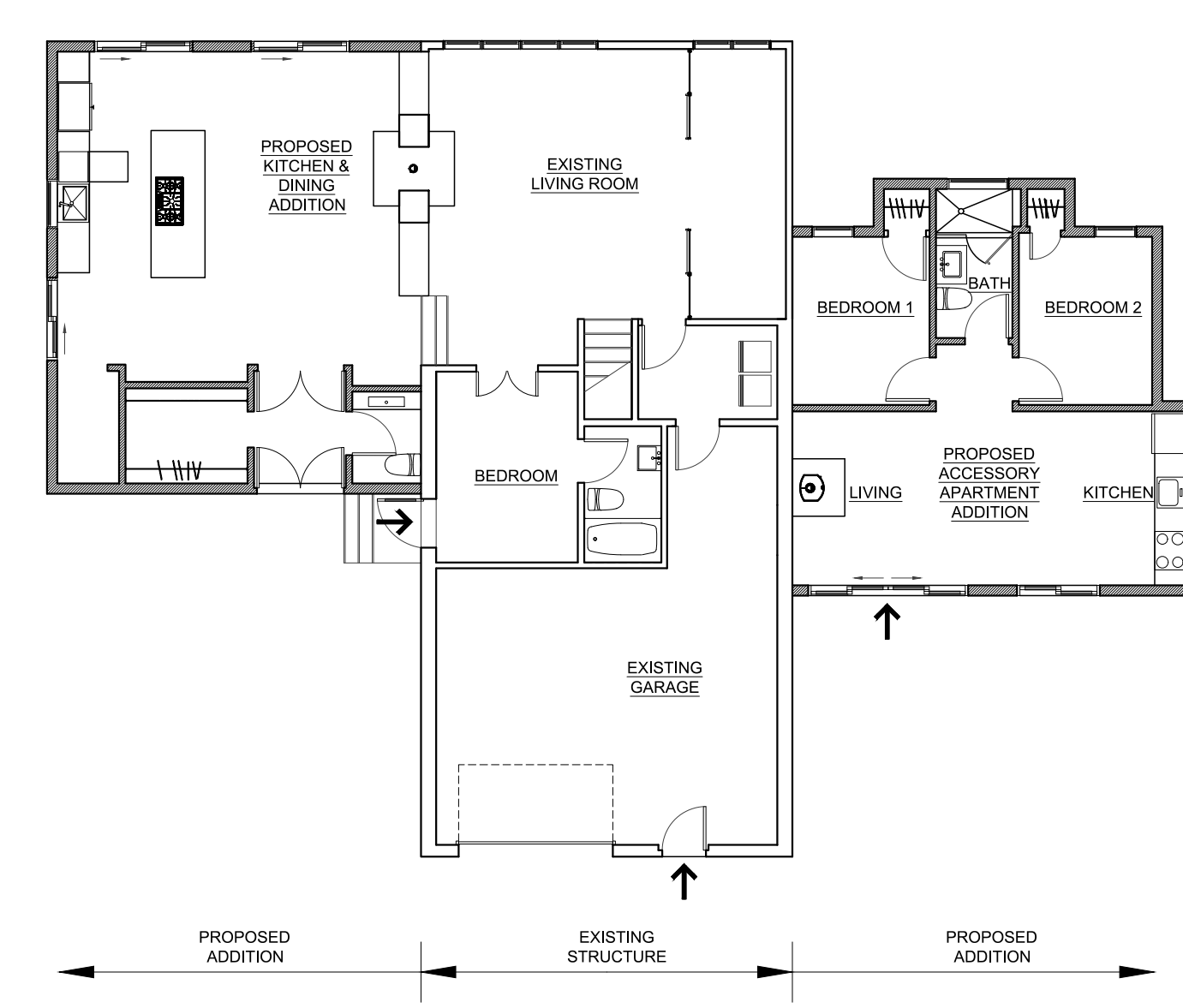
Use & Parking Requirements	Proposed Area	Current Parking Requirements
Residential		
2 spaces per dwelling unit	1 single family	2 parking spaces
	Accessory apartment	2 parking spaces
<b>Total Required Parking Spaces</b>		<b>4 Parking Spaces</b>
<b>Total Proposed Parking Spaces</b>		<b>4 Parking Spaces</b>

**Notes:**

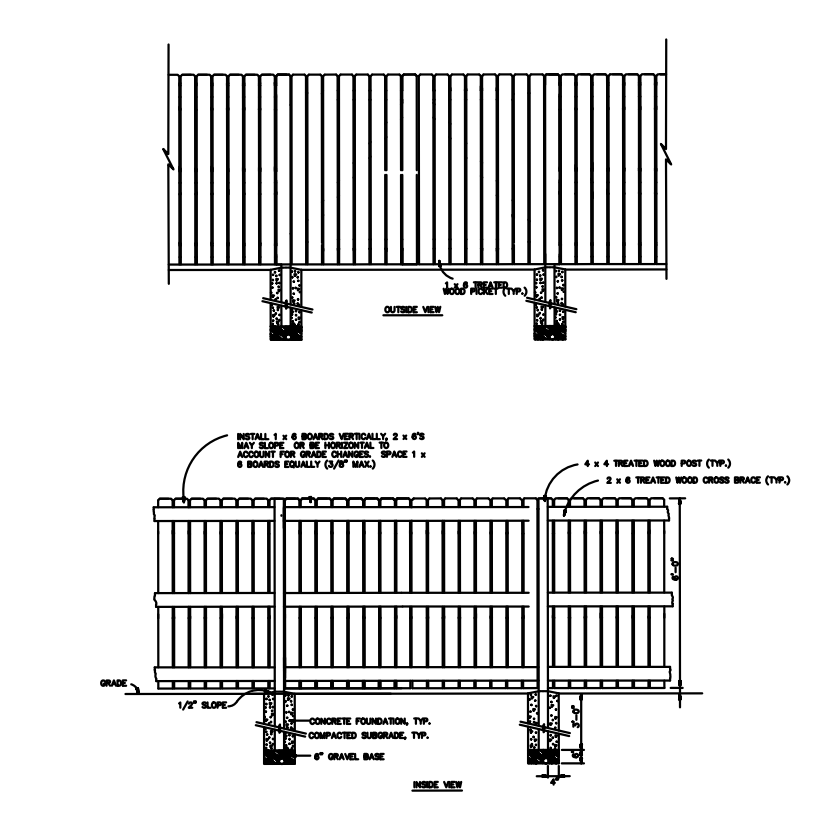
- The applicant merged the separate parcels to create one lot prior to the re-zoning of a portion of the lot to CMS.
- The Applicant will submit a Subdivision application to merge the lots according to the City's specifications.
- Per City of Beacon Zoning Section 223-24.1 Accessory Apartments:
  - The Accessory Apartment is connected to an owner-occupied single-family residence.
  - The area of the accessory apartment is 500 SF (Maximum 650 SF for attached accessory apartments).
  - The accessory apartment constitutes 21% of the total square footage (2,792 SF). The maximum area for an Accessory Apartment shall not exceed 30% of the floor area of the residence in which it is located.
  - The exterior appearance maintains that of a single-family residence.
  - The Accessory Apartment has 2 parking spaces assigned to it.
- Note that there is one existing garage parking space, and 3 proposed surface parking spaces.
- The City Council approved the Special Use Permit for the Accessory Apartment at their March 16, 2020 public hearing.



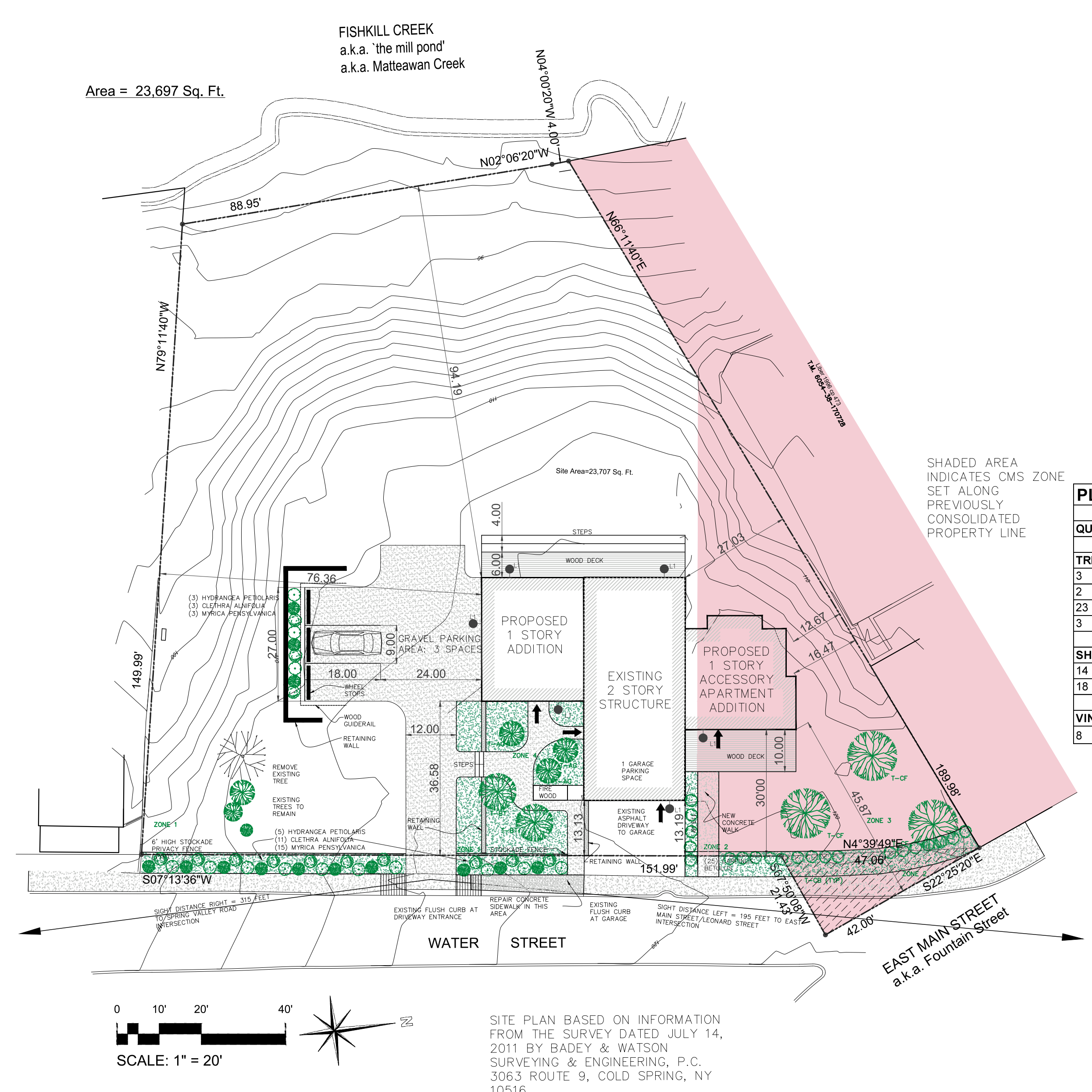
**2nd Floor Plan**  
Scale: 3/32" = 1'-0"



**1st Floor Plan**  
Scale: 3/32" = 1'-0"



**Stockade Fence**  
Scale: NOT TO SCALE



**Site Plan**  
Scale: 1" = 20'

**PLANT SCHEDULE | 3 WATER ST BEACON**

QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	PLANTING TIME	AREA
<b>TREES</b>					
3	T-AG Amelanchier x grandiflora 'Autumn Brilliance'	apple serviceberry	2' cal	Spring Fall	Zone 4
2	T-BT Betula nigra	river birch	10/12'	Spring Fall	zone 4
23	T-CB Cornus betulus	common hornbeam	10 gal	Spring Fall	Zone 2
3	T-CF Cornus florida	flowering dogwood	2' cal	Spring Fall	Zone 3
<b>SHRUBS</b>					
14	S-CA Clethra alnifolia	sweet pepperbush	7 gal	Spring Fall	Zone 1
18	S-MP Myrica pennsylvanica	bayberry	7 gal	Spring Fall	Zone 1
<b>VINES</b>					
8	V-HA Hydrangea anomala subsp. petiolaris	climbing hydrangea	5 gal	Spring Fall	Zone 1

**REVISIONS:**

NO.	DATE	DESCRIPTION	BY
1	12/31/19	REVISED PER PLANNING BOARD COMMENTS	AJS
2	03/31/20	REVISED PER PLANNING BOARD COMMENTS	AJS

**Index of Drawings**

Sheet 1 of 2	Site Plan, Floor Plans & Elevations
Sheet 2 of 2	Existing Conditions / Site Demolition Plan

**Special Use Permit Application**  
Sheet 1 of 2 - Site Plan

**3 Water Street Accessory Apartment**

Beacon, New York  
Scale: As Noted  
October 29, 2019

**Owner:**  
POK Beacon LLC  
3 Water Street  
Beacon, NY 12508

**Architect:**  
Aryeh Siegel Architect  
84 Mason Circle  
Beacon, New York 12508

**Site / Civil Engineer:**  
Hudson Land Design  
174 Main Street  
Beacon, New York 12508

**Recommended For Approval:**  
Chairman, City Planning Board Date \_\_\_\_\_  
Approved by Resolution of the City Council of Beacon  
on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ City Clerk



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	12-31-19	REVISED PER PLANNING BOARD COMMENTS	AJS



**Site Demolition Plan**  
Scale: 1" = 20'

**Special Use Permit Application**  
Sheet 2 of 2 - Existing Conditions / Site Demolition Plan

**3 Water Street Accessory Apartment**

Beacon, New York  
Scale: As Noted  
October 29, 2019

Owner:  
**POK Beacon LLC**  
3 Water Street  
Beacon, NY 12508

Architect:  
**Aryeh Siegel Architect**  
84 Mason Circle  
Beacon, New York 12508

Recommended For Approval:

Chairman, City Planning Board \_\_\_\_\_ Date \_\_\_\_\_

Approved by Resolution of the City Council of Beacon  
on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
City Clerk





FISHKILL CREEK  
a.k.a. 'the mill pond'  
a.k.a. Matteawan Creek

**LEGEND:**

---	EXISTING PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING SEWER LINE
OH UTIL	EXISTING OVERHEAD UTILITY LINE
---	EXISTING CHAIN LINK FENCE
⊙	EXISTING TREE
⊙	EXISTING UTILITY POLE
---	EXISTING ZONING BOUNDARY
---	EXISTING 100-YEAR FLOOD BOUNDARY
---	EXISTING WATER LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED ROOF LEADER LINE
---	PROPOSED FOOTING DRAIN LINE
---	PROPOSED SILT FENCE
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED EROSION CONTROL BLANKET
⊙	PROPOSED TREE

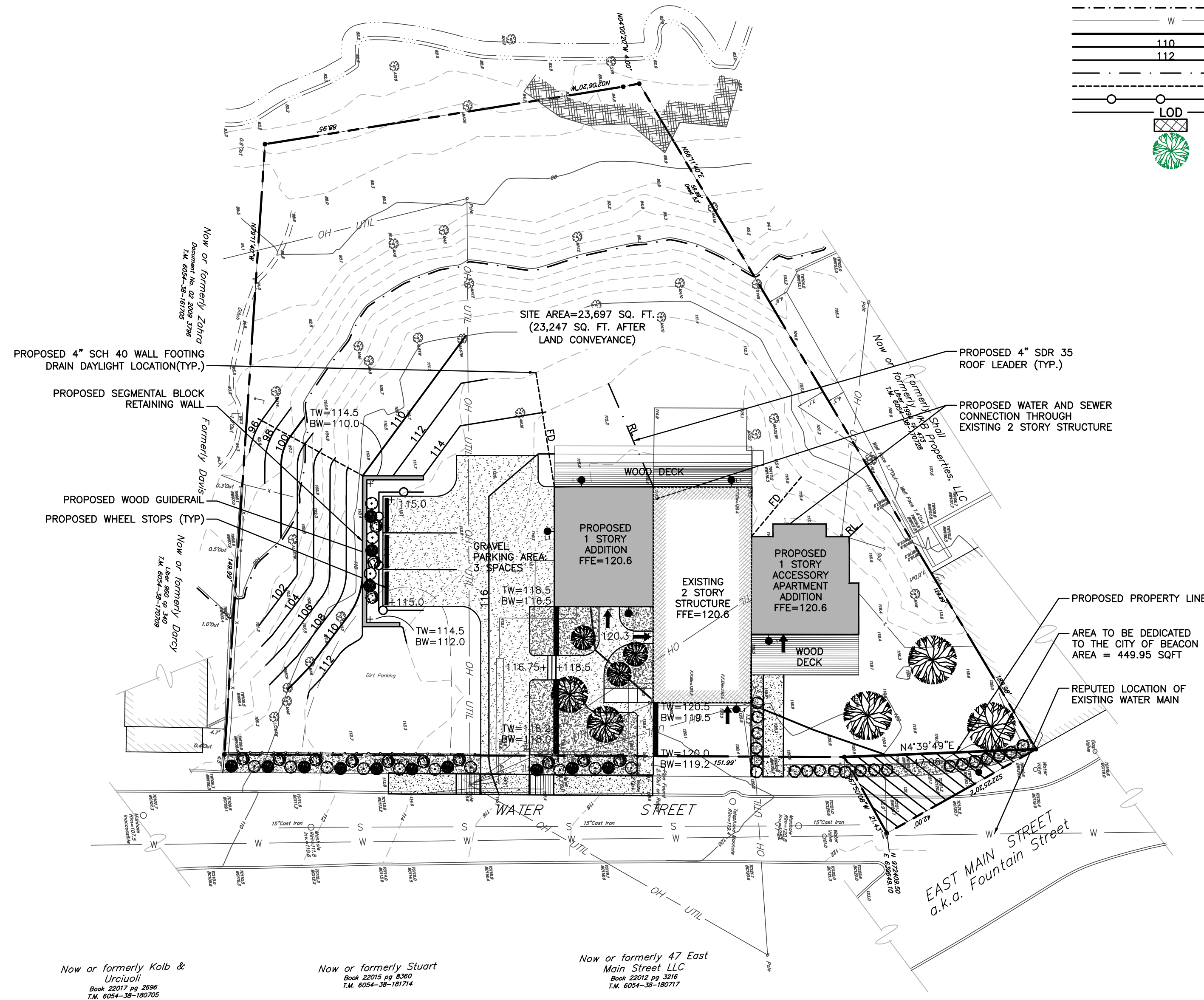
**PROJECT INFORMATION:**

APPLICANT:	POK BEACON, LLC, 3 WATER STREET BEACON, NY 12508
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PROJECT ARCHITECT:	ARYEH SIEGEL ARCHITECT, 84 MASON CIRCLE, BEACON NY 12508
PARCEL LOCATION:	3 WATER STREET, BEACON, NY 12508
TAX PARCEL ID:	6054-38-170722
PARCEL AREA:	±0.52-ACRES
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

- MAP REFERENCES:**
- EXISTING FEATURES AS SHOWN ON THIS PLAN PROVIDED BY A SURVEY ENTITLED "SURVEY OR PROPERTY PREPARED FOR POK BEACON, LLC" COMPLETED ON JULY 14, 2011, BY BADEY & WATSON.
  - THE LOCATION OF THE WATER MAIN SHOWN IN WATER STREET HAS NOT BEEN SURVEYED AND THE LOCATION IS CONSIDERED REPUTED.

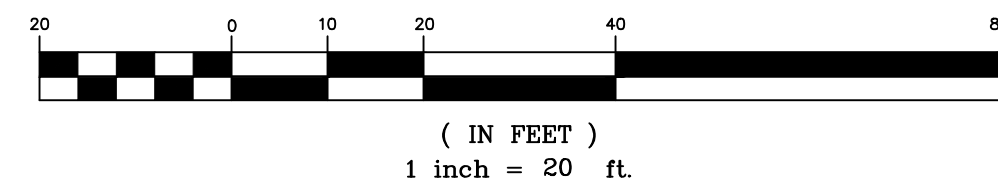
- SITE SPECIFIC NOTES:**
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPFO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
  - THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
  - THE EXISTING LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
  - THE WATER AND SEWER SERVICE LINES FOR THE BUILDING ADDITION AND ACCESSORY APARTMENT TO BE MADE VIA CONNECTION THROUGH THE EXISTING STRUCTURE. SEE ARCHITECTURAL DRAWINGS FOR LOCATION.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
  - ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
  - SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
  - THE CITY OF BEACON BUILDING DEPARTMENT SHALL BE PROVIDED ACCESS TO VERIFY THE LOCATION OF THE EXISTING ROOF LEADERS AND SUMP PUMPS AND THE AREA THEY DRAIN TO.

- INDIANA BAT PROTECTION NOTES:**
- TREE CLEARING SHALL BE RESTRICTED TO THE PERIOD BETWEEN OCTOBER 1 AND MARCH 31.
  - THE LIMITS OF DISTURBANCE SHALL BE DEMARCATED BY INSTALLING ORANGE CONSTRUCTION FENCE FOR THE GENERAL IMPROVEMENT AND INFRASTRUCTURE CONSTRUCTION ACTIVITIES AND FOR THE INDIVIDUAL LOT CONSTRUCTION. THESE LIMITS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - DUST CONTROL DURING CONSTRUCTION SHALL BE IMPLEMENTED. THIS INCLUDES USE OF CONSTRUCTION ENTRANCES, APPLYING LIGHT WATER, AND ESTABLISHING VEGETATION.
  - STREET LIGHTS ARE NOT PERMITTED. RESIDENTIAL LIGHTING SHALL BE DIRECTED DOWNWARD TO REDUCE IMPACTS TO BATS FORAGING FOR FOOD.



**GRADING AND UTILITY PLAN**  
SCALE: 1"=20'

**GRAPHIC SCALE**



APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_  
CHAIRMAN

SECRETARY  
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN ST., BEACON, NEW YORK 12508  
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
PH: 845-440-6926  
F: 845-440-6637

**GRADING AND UTILITY PLAN**  
**3 WATER STREET SITE PLAN**

3 WATER STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-38-170722

JOB #: 2020-013  
DATE: 3/31/2020  
SCALE: 1" = 20'  
TITLE: GD-1  
SHEET: 3 OF 6





FISHKILL CREEK  
a.k.a. 'the mill pond'  
a.k.a. Matteawan Creek

**LEGEND:**

---	EXISTING PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING SEWER LINE
OH UTIL	EXISTING OVERHEAD UTILITY LINE
---	EXISTING CHAIN LINK FENCE
○	EXISTING TREE
○	EXISTING UTILITY POLE
---	EXISTING ZONING BOUNDARY
---	EXISTING 100-YEAR FLOOD BOUNDARY
---	EXISTING WATER LINE
---	PROPOSED PROPERTY LINE
110	PROPOSED MAJOR CONTOUR
112	PROPOSED MINOR CONTOUR
---	PROPOSED ROOF LEADER LINE
---	PROPOSED FOOTING DRAIN LINE
---	PROPOSED SILT FENCE
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED EROSION CONTROL BLANKET
○	PROPOSED TREE

**INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES**

**PERMANENT AND TEMPORARY VEGETATION:**

INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

**SILT FENCE:**

INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

**SOIL STOCKPILE:**

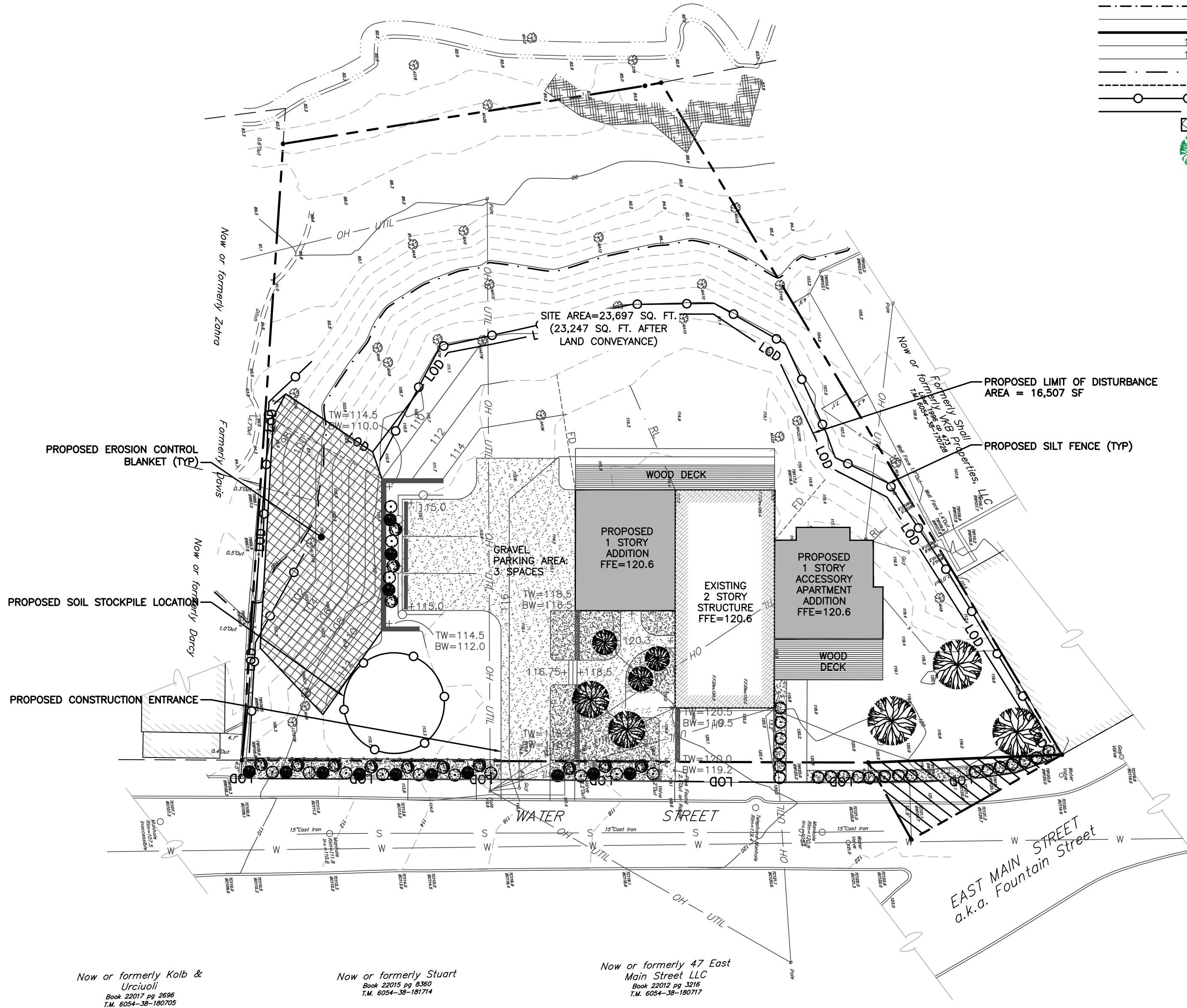
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

**DUST CONTROL:**

SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

**EROSION AND SEDIMENT CONTROL NOTES**

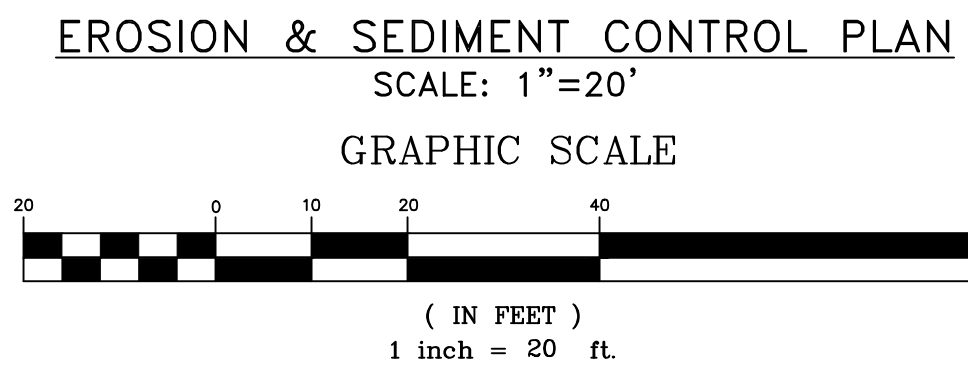
- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
  - ALL STORMWATER MANAGEMENT STRUCTURES (E.G., SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
  - ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
  - PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
  - AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
  - ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
  - THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
  - WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE ENGINEER SUPERVISING CONSTRUCTION.



Now or formerly Kolb & Urciuoli  
Book 22017 pg 2888  
T.M. 6054-38-18295

Now or formerly Stuart  
Book 22015 pg 6362  
T.M. 6054-38-18174

Now or formerly 47 East Main Street LLC  
Book 22012 pg 3218  
T.M. 6054-38-180717



APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



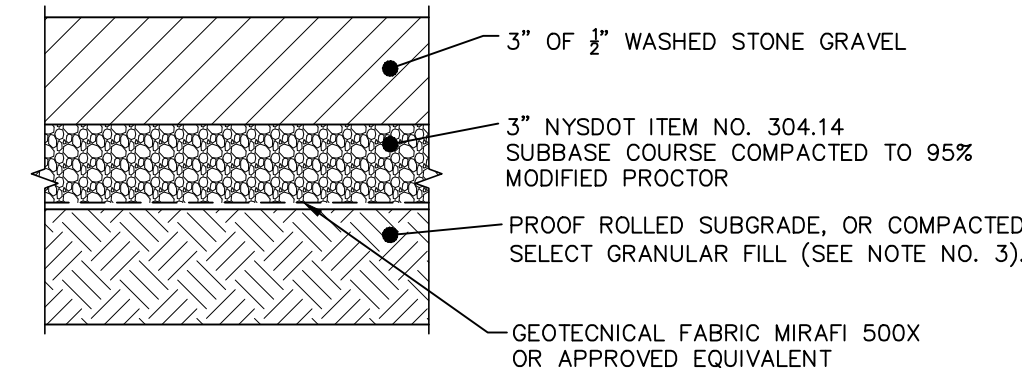
**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN ST., BEACON, NEW YORK 12508  
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
PH: 845-440-6926  
F: 845-440-6637

**EROSION & SEDIMENT CONTROL PLAN**  
**3 WATER STREET SITE PLAN**

3 WATER STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-38-170722

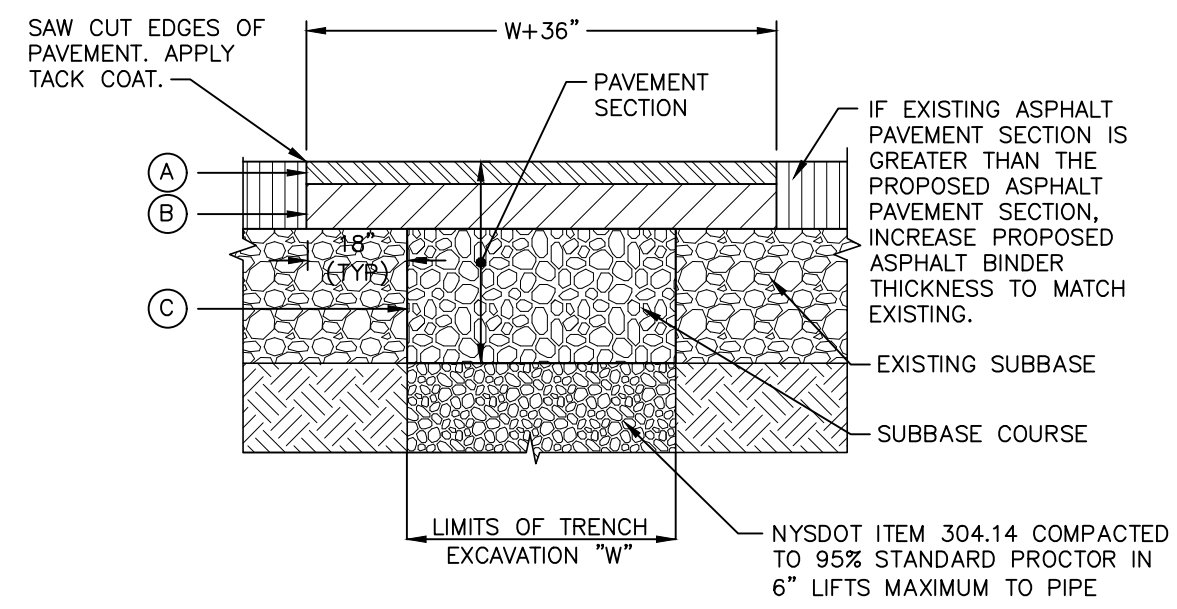
JOB #: 2020:013  
DATE: 3/31/2020  
SCALE: 1" = 20'  
TITLE: ESC-1  
SHEET: 4 OF 6





NOTES:  
 1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002.  
 2. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.

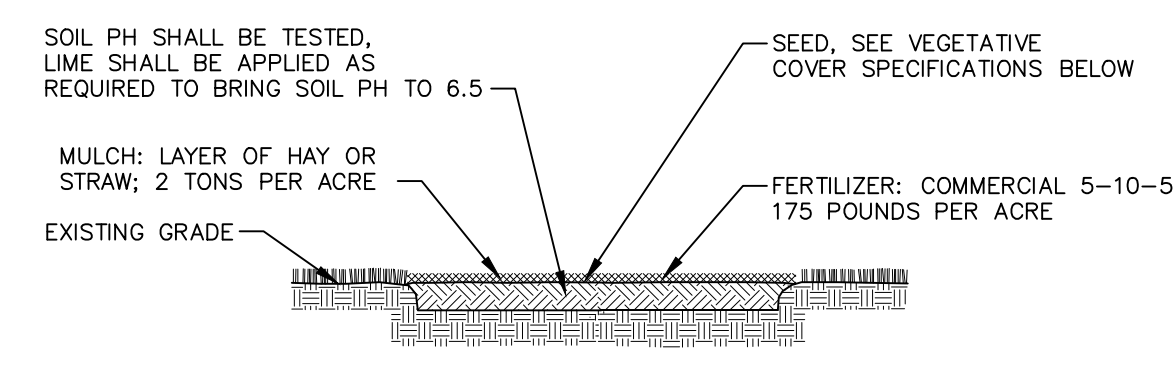
GRAVEL PARKING AREA SECTION DETAIL  
NOT TO SCALE



LEGEND  
 (A) 1-1/2" ASPHALT CONCRETE TOP COURSE- NYSDOT TYPE 6F  
 (B) 3" ASPHALT CONCRETE BINDER COURSE- NYSDOT TYPE 3  
 (C) 10" GRANULAR SUBBASE COURSE- NYSDOT ITEM 304.14

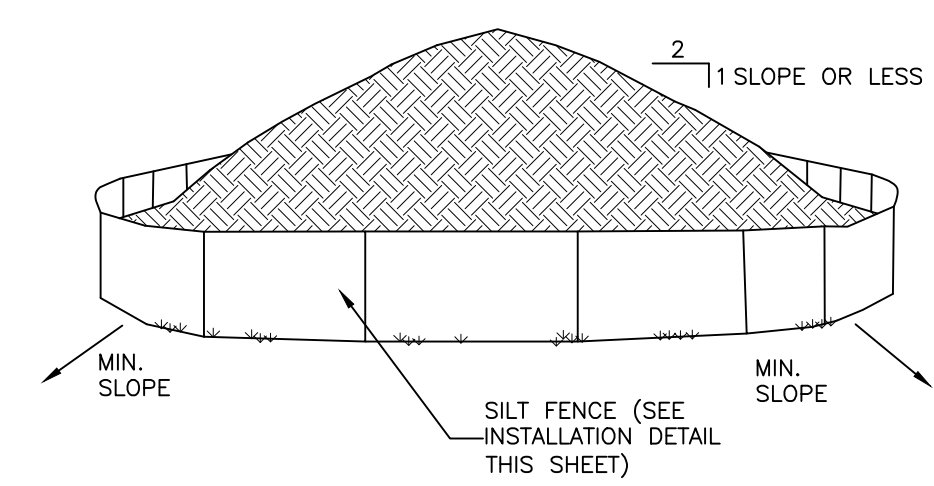
NOTES:  
 1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED. JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.  
 2. FURNISH, PLACE, AND COMPACT SUBBASE.  
 3. TACK COAT IN ACCORDANCE WITH NYSDOT STANDARD SPEC.  
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

STREET PAVEMENT RESTORATION DETAIL  
NOT TO SCALE



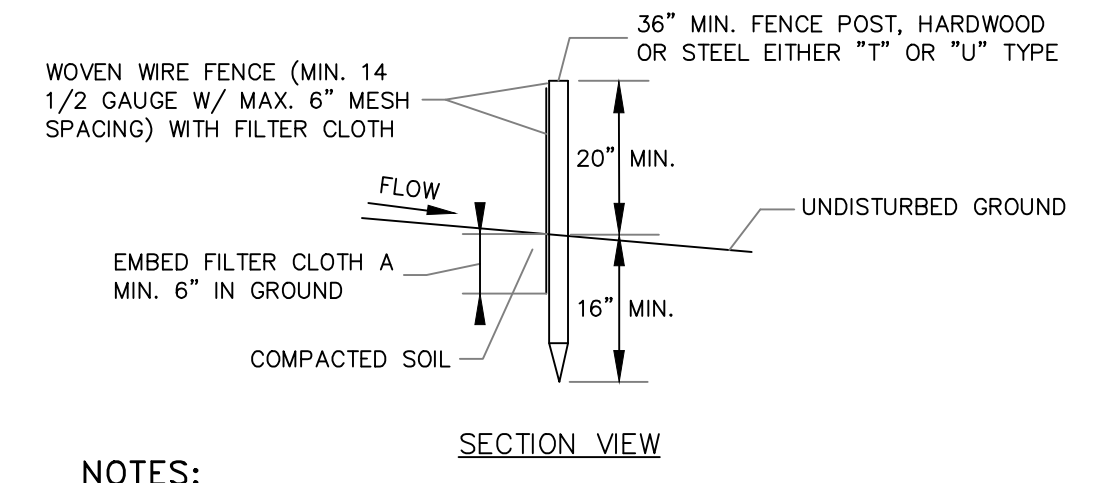
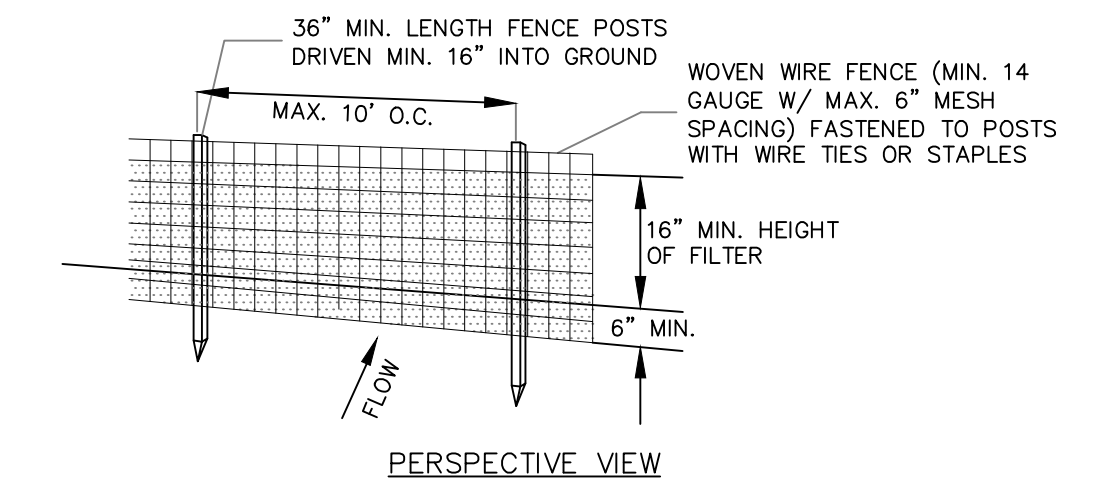
NOTES:  
 1. TOPSOIL, SEED, MULCH, AND FERTILIZE DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.  
 2. SEED MIXTURE FOR USE ON LAWNS IN SUNNY AREAS:  
 65% KENTUCKY BLUE GRASS BLEND 114 POUNDS PER ACRE  
 20% PERENNIAL RYEGRASS 35 POUNDS PER ACRE  
 15% FINE FESCUE 26 POUNDS PER ACRE  
 175 POUNDS PER ACRE  
 3. SEED MIXTURE FOR USE IN SHADY AREAS:  
 80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS 138 POUNDS PER ACRE  
 20% FINE FESCUE 37 POUNDS PER ACRE  
 175 POUNDS PER ACRE  
 4. SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.  
 5. TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20% TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

TOPSOIL, SEED AND MULCH DETAIL  
NOT TO SCALE



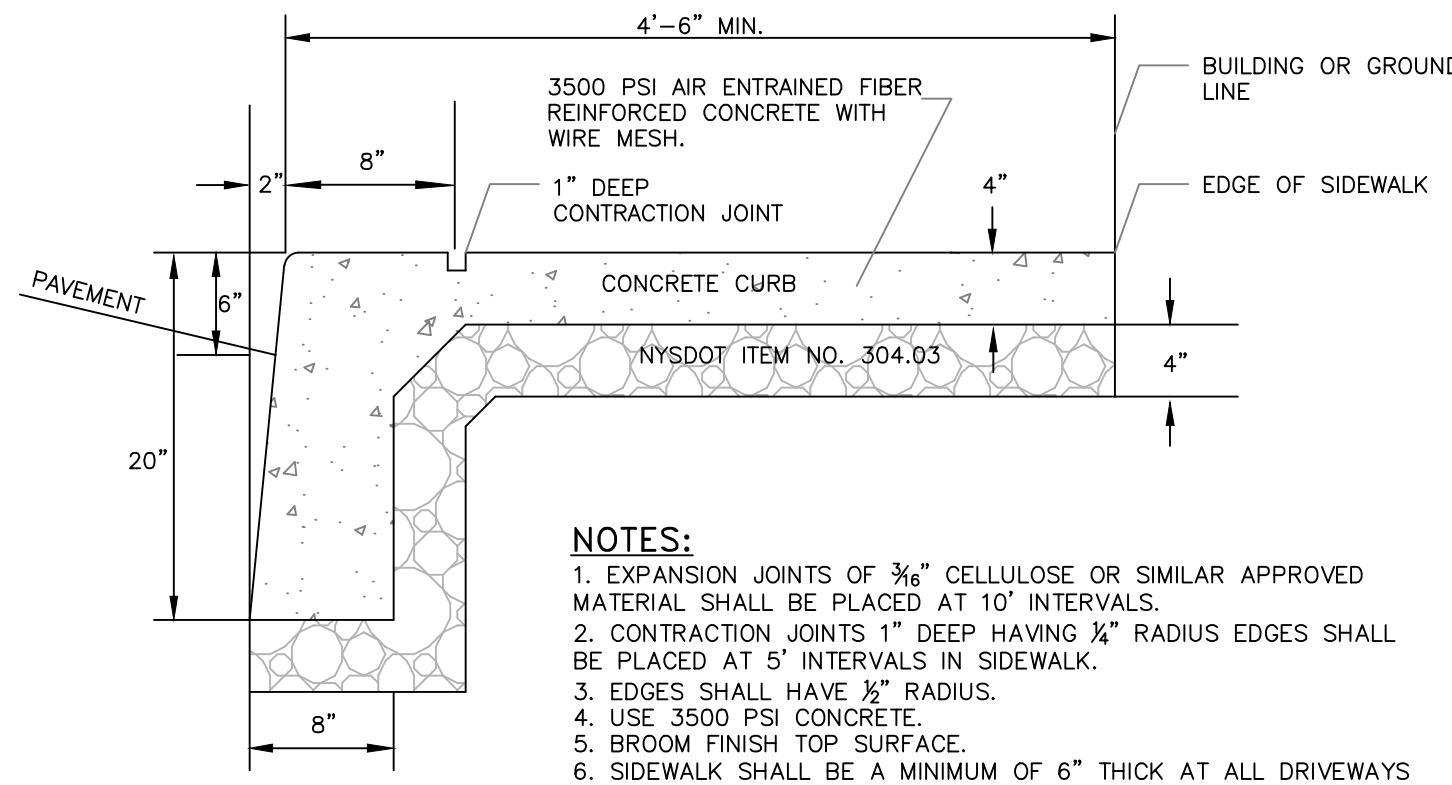
NOTES:  
 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
 2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY SOIL STOCKPILE DETAIL  
NOT TO SCALE



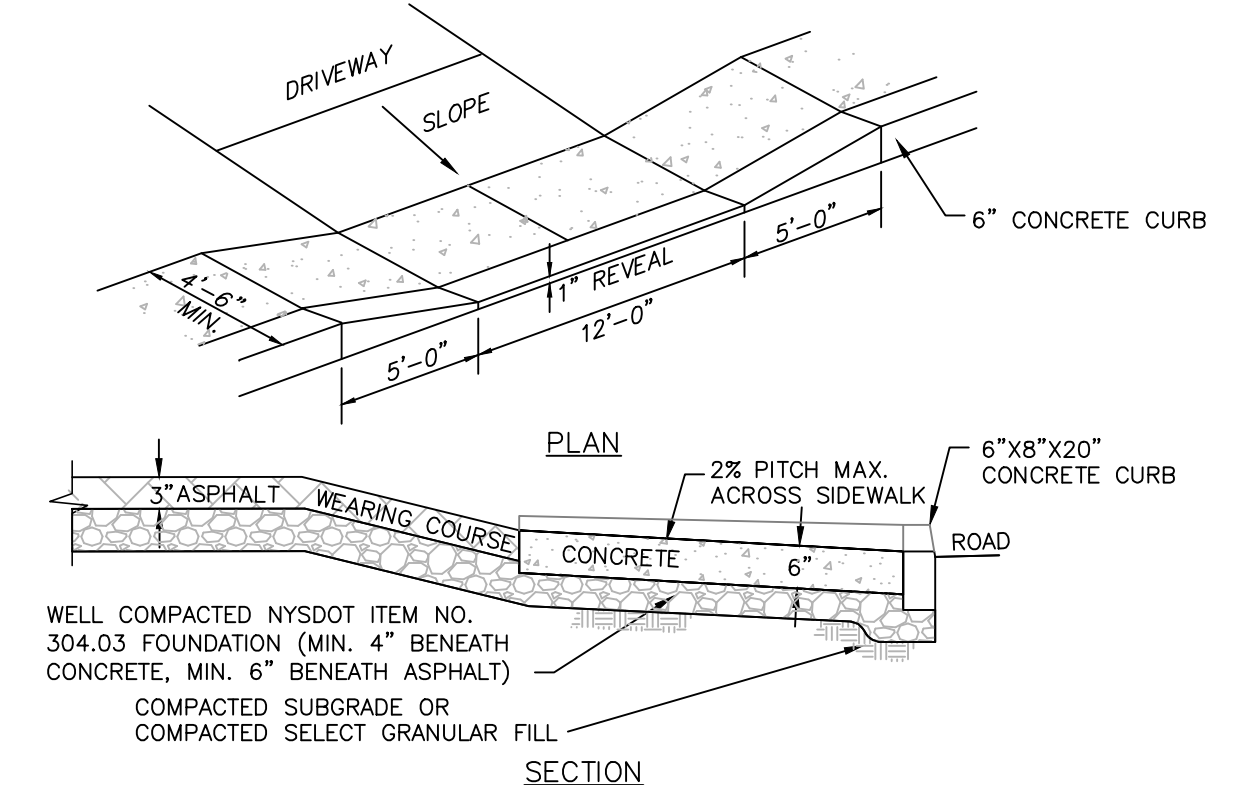
NOTES:  
 1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.  
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.  
 3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.  
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL  
NOT TO SCALE



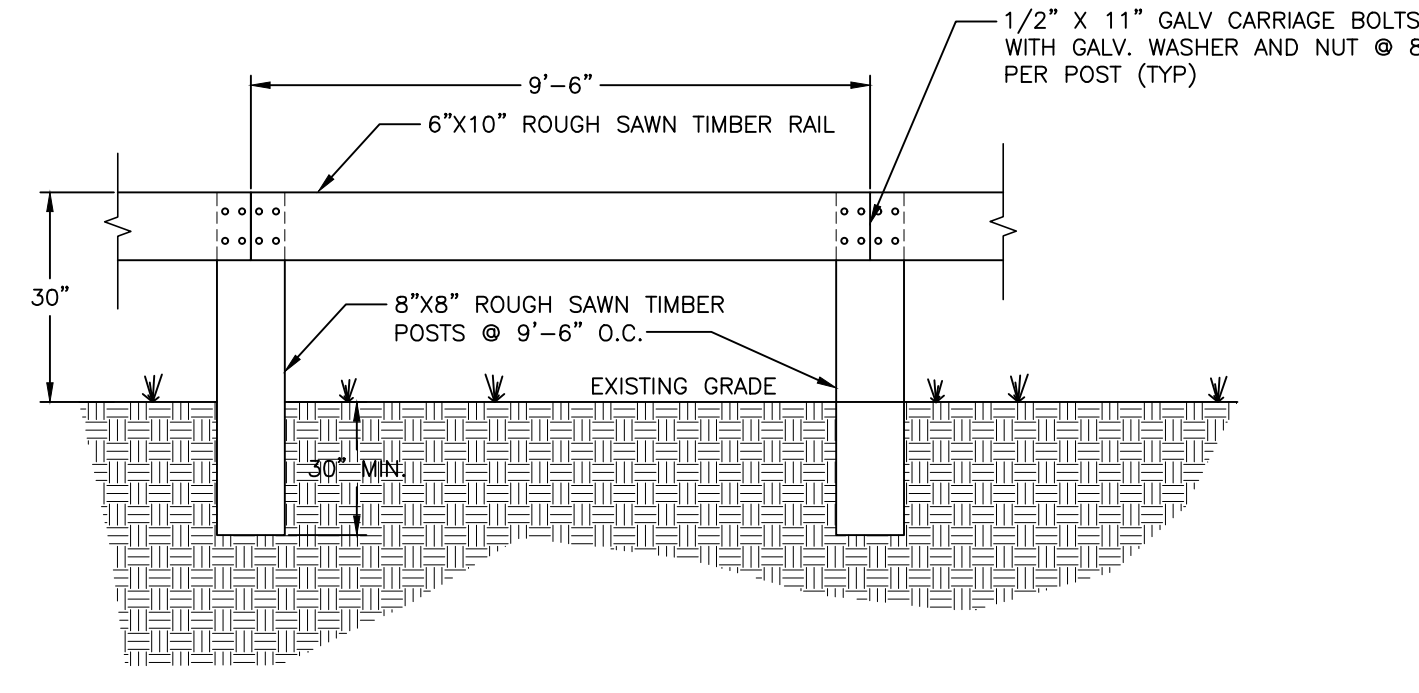
NOTES:  
 1. EXPANSION JOINTS OF 3/8" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.  
 2. CONTRACTION JOINTS 1" DEEP HAVING 3/4" RADIUS EDGES SHALL BE PLACED AT 5' INTERVALS IN SIDEWALK.  
 3. EDGES SHALL HAVE 1/2" RADIUS.  
 4. USE 3500 PSI CONCRETE.  
 5. BROOM FINISH TOP SURFACE.  
 6. SIDEWALK SHALL BE A MINIMUM OF 6" THICK AT ALL DRIVEWAYS AND HANDICAP RAMPS.  
 7. MAXIMUM SLOPE OF 1 ON 12 TO BE USED WHERE SIDEWALK TERMINATES AT HANDICAP RAMPS.

MONOLITHIC CURB AND SIDEWALK DETAIL  
NOT TO SCALE

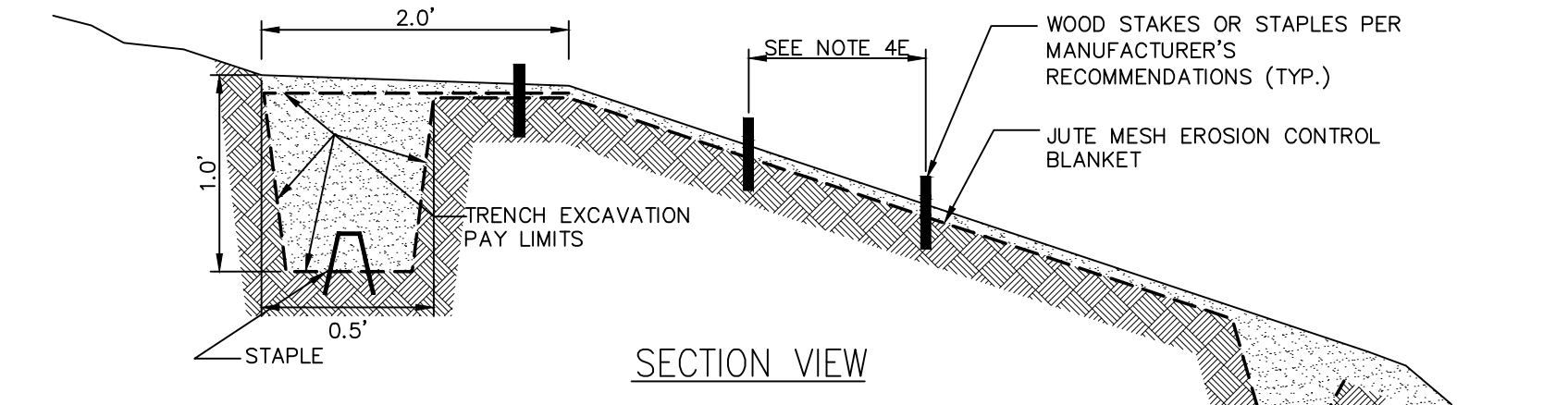


NOTE:  
 1. PRE-MOLDED EXPANSION JOINTS TO BE USED AT ALL JOINTS.  
 2. DRIVEWAY SHALL BE PAVED AFTER THE CONCRETE APRON TO THE RIGHT-OF-WAY LINE (MINIMUM).

DRIVEWAY ENTRANCE DETAIL  
NOT TO SCALE



TIMBER GUIDERAIL DETAIL  
NOT TO SCALE



NOTES:  
 1. THE SITE SHALL BE PREPARED PER THE MANUFACTURER'S RECOMMENDATIONS. THIS INCLUDES GRADING AND COMPACTING THE AREA OF INSTALLATION, REMOVING ALL ROCKS, VEGETATION, ETC.  
 2. LOOSEN THE TOP 2-3 INCHES MINIMUM OF SOIL.  
 3. MAT SHALL BE CONFIGURED SUCH THAT IT IS PERPENDICULAR TO THE FLOW OF THE STREAM. OVERLAP COURSES BY A MINIMUM OF 18" WITH THE UPSTREAM MAT ON TOP OF THE DOWNSTREAM MAT.  
 4. INSTALL THE MAT.  
 A: EXCAVATE A 12"x6" MINIMUM LONGITUDINAL ANCHOR TRENCH 2-3 FEET OVER CREST OF SLOPE.  
 B: INSTALL TOP END OF MAT INTO TRENCH AND SECURE TO BOTTOM USING MANUFACTURER'S SUGGESTED ANCHORING DEVICE AND DEPTH SPACED EVERY 12" MINIMUM. BACKFILL AND COMPACT SOIL INTO TRENCH.  
 C: UNROLL MAT DOWN SLOPE.  
 D: OVERLAPS SHALL BE 18" MINIMUM AND ANCHORED EVERY 18" MINIMUM ALONG THE OVERLAP. SECURE USING WOOD STAKES AS SPECIFIED ON THIS PLAN.  
 E: UNROLL MAT IN A MANNER TO MAINTAIN DIRECT CONTACT WITH SOIL. SECURE MAT TO GROUND SURFACE USING WOOD STAKE ANCHORING DEVICES. ANCHORS SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND LANDSCAPE DESIGNER.  
 F: EXCAVATE A 12"x6" KEY ANCHOR TRENCH AT 1.5 YR ELEVATION.  
 G: PLACE BOTTOM END OF MAT INTO KEY ANCHOR TRENCH AT 1.5 YR. ELEVATION AND SECURE TO BOTTOM OF TRENCH USING WOOD STAKE GROUND ANCHORING DEVICES SPACED EVERY 12" MINIMUM. BACKFILL AND COMPACT SOIL INTO TRENCH. ADDITIONAL ANCHORING IN AREAS WHERE STANDING AND/OR FLOWING WATER EXISTS THE TOE OF THE SLOPE MAY BE REQUIRED. CONTACT THE MANUFACTURER IN THESE CASES.  
 5. JUTE MESH SHALL BE OF A UNIFORM OPEN PLAIN WEAVE OF UNDYED AND UNBLEACHED SINGLE JUTE YARN. JUTE MESH SHALL BE WOVEN AS FOLLOWS:  
 APPROXIMATELY 78 WARP ENDS PER YARD WIDTH.  
 APPROXIMATELY 41 WEFT ENDS PER LINEAR YARD.  
 MASS OF JUTE MESH SHALL AVERAGE 1 POUND PER SQUARE YARD (PLUS OR MINUS 5%).

ROLLED EROSION CONTROL MAT DETAIL  
NOT TO SCALE

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REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



**HUDSON**  
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CONSTRUCTION DETAILS  
**3 WATER STREET SITE PLAN**  
 3 WATER STREET  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6054-38-170722

JOB #: 2020-013  
 DATE: 3/31/2020  
 SCALE: AS SHOWN  
 TITLE: CD-1  
 SHEET: 5 OF 6

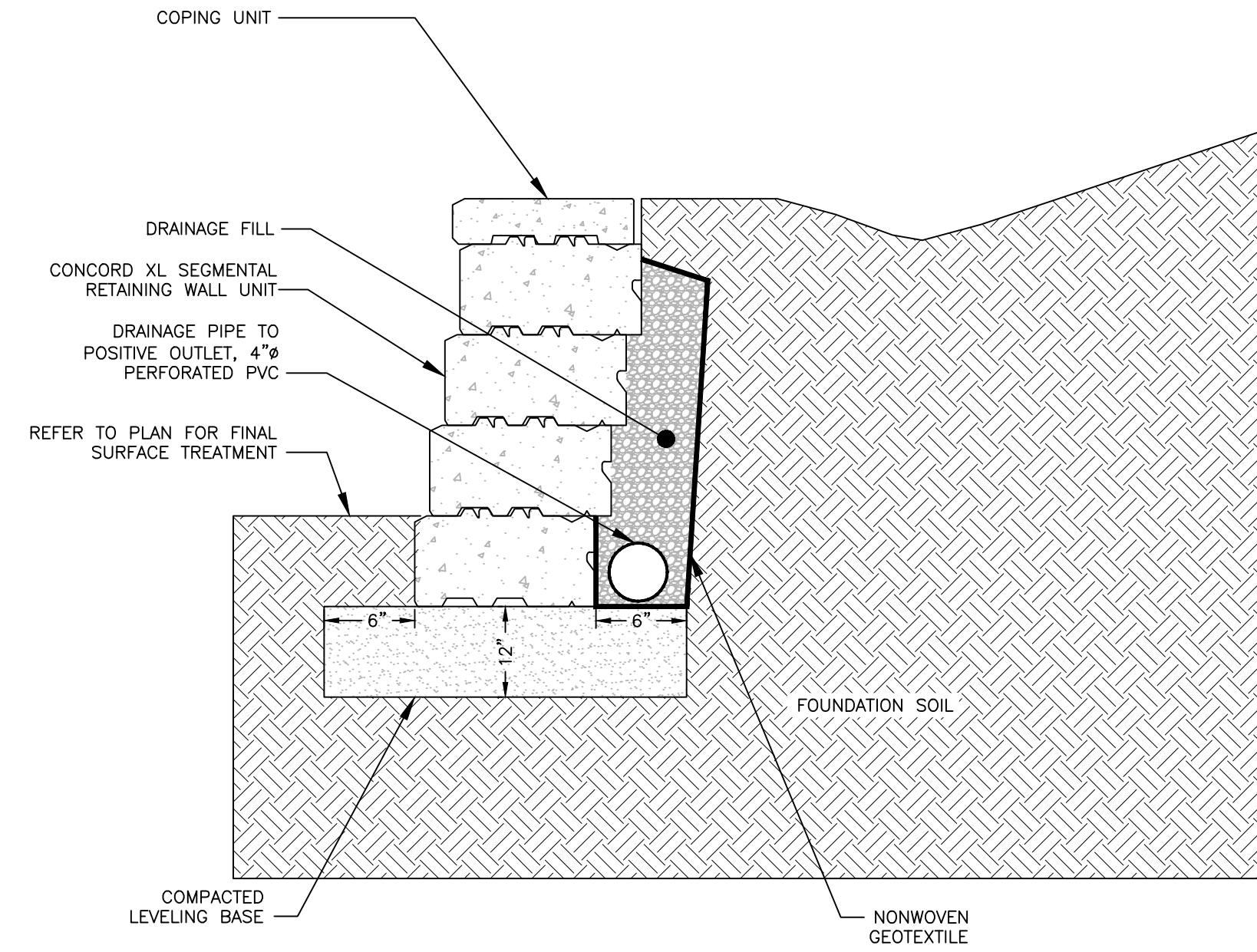


**GENERAL RETAINING WALL NOTES:**

- PROPOSED RETAINING WALL TO BE UNILOCK CONCORD WALL XL OR ESTATE WALL (SEE PLAN AND PROFILE SHEETS). ALL WALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY MATERIAL COLORS WITH THE OWNER.
- LEVELING BASE IS THE COMPACTED GRANULAR SOIL OR IF SPECIFIED IN THE CONSTRUCTION DOCUMENTS AN UNREINFORCED CONCRETE FOOTING, PLACED BENEATH THE FIRST COURSE OF SEGMENTAL RETAINING WALL UNITS.
  - THE LEVELING BASE MATERIAL SHALL BE NON-FROST SUSCEPTIBLE, WELL GRADED, COMPACTED ANGULAR GRAVEL-SAND MIXTURE (GW AS PER ASTM D2487).
- DRAINAGE FILL IS A FREE DRAINING AGGREGATE WITH HIGH PERMEABILITY PLACED DIRECTLY BEHIND THE MODULAR CONCRETE UNITS. THIS WALL INCLUDE A DRAINAGE PIPE AND MAY BE SEPARATED FROM OTHER FILL WITH A SUITABLE GEOTEXTILE FILTER.
  - THE DRAINAGE FILL SHALL BE A FREE DRAINING ANGULAR, GRAVEL MATERIAL OF UNIFORM PARTICLE SIZE SMALLER THAN 1 INCH AND GREATER THAN 1/4 INCH. THE DRAINAGE FILL SHALL BE SEPARATED FROM THE REINFORCED FILL OR RETAINED FILL BY A SPECIFIED GEOTEXTILE FILTER.
- DRAINAGE PIPE IS A PERFORATED PIPE USED TO CARRY WATER, COLLECTED FROM WITHIN THE SEGMENTAL RETAINING WALL, TO OUTLETS, TO PREVENT PORE WATER PRESSURES FROM BUILDING UP WITHIN THE SEGMENTAL RETAINING WALL AND SPECIFICALLY BEHIND THE SEGMENTAL RETAINING WALL UNITS.
  - THE DRAINAGE PIPE SHALL BE A PERFORATED CORRUGATED POLYETHYLENE OR PERFORATED PVC PIPE, WITH A MINIMUM DIAMETER OF 4 INCHES, PROTECTED BY A GEOTEXTILE FILTER TO PREVENT THE MIGRATION OF SOIL PARTICLES INTO THE DRAINAGE PIPE.
- GEOTEXTILE FILTER IS A PERMEABLE PLANAR POLYMER STRUCTURE THAT WILL ALLOW THE PASSAGE OF WATER FROM ONE SOIL MEDIUM TO ANOTHER WHILE PREVENTING THE MIGRATION OF FINE PARTICLES THAT MIGHT CLOG THE DOWNSTREAM FILL. SELECTION OF A GEOTEXTILE FILTER IS BASED ON THE CHARACTERISTICS OF THE DIFFERENT SOILS USED IN AND SURROUNDING THE SEGMENTAL RETAINING WALL.
  - THE GEOTEXTILE FILTER SHALL BE NEEDLE PUNCHED NONWOVEN (FOR DRAINAGE AND SEPARATION) BY ADS OR APPROVED EQUAL.
- DESIGN ASSUMPTIONS:
  - THE FOUNDATION SOILS WILL PRODUCE ACCEPTABLE TOTAL AND DIFFERENTIAL SETTLEMENT GIVEN THE APPLIED LOAD OF THE SEGMENTAL RETAINING WALL.
  - THE MAXIMUM GROUNDWATER ELEVATION IS AT LEAST 2/3 X H (HEIGHT) BELOW THE BASE OF THE SEGMENTAL RETAINING WALL.
  - THERE WILL BE NO HYDROSTATIC PRESSURE WITHIN OR BEHIND THE SEGMENTAL RETAINING WALL.
  - THE SURROUNDING STRUCTURES WILL NOT EXERT ANY ADDITIONAL LOADING ON THE SEGMENTAL RETAINING WALL.
  - THERE ARE NO STRUCTURES (UTILITIES SUCH AS GAS/WATER MAINS, STORM SEWERS, ELECTRICAL/COMMUNICATIONS CABLES, ETC) TO BE PLACED WITHIN OR BELOW THE REINFORCED FILL DURING OR AFTER CONSTRUCTION. (NOT APPLICABLE - NO REINFORCED FILL THIS PROJECT).
- IF UNEXPECTED SOURCES OF WATER ARE IDENTIFIED (E.G., A HIGHER WATER TABLE OR WEEPING SOIL LAYERS), ADDITIONAL DRAINAGE STRUCTURES MAY BE REQUIRED (E.G., BLANKET DRAINS OR CHIMNEY DRAINS). THE SPECIFIC DETAILS WILL NEED TO BE DETERMINED BY THE DESIGN ENGINEER. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IF UNEXPECTED SOURCES OF WATER ARE IDENTIFIED DURING INITIAL EXCAVATION.
- GENERAL INSTALLATION GUIDES ILLUSTRATING PROPER METHODS AND TECHNIQUES FOR GOOD CONSTRUCTION ARE AVAILABLE TO THE INSTALLER FROM RISI STONE SYSTEMS OR THE SEGMENTAL RETAINING WALL MANUFACTURER UPON REQUEST.
- CONSTRUCTION: SITE PREPARATION.
  - COMPLY WITH ALL CURRENT FEDERAL, STATE, AND LOCAL REGULATIONS FOR EXECUTION OF THE WORK, INCLUDING LOCAL BUILDING CODES AND EXCAVATION REGULATIONS. PROVIDE EXCAVATION SUPPORT AS REQUIRED TO MAINTAIN STABILITY OF THE AREA DURING EXCAVATION AND SEGMENTAL RETAINING WALL CONSTRUCTION AND TO PROTECT EXISTING STRUCTURES, UTILITIES, LANDSCAPE FEATURES, PROPERTY OR IMPROVEMENTS.
  - PRIOR TO GRADING OR EXCAVATION OF THE SITE, CONFIRM THE LOCATION OF THE SEGMENTAL RETAINING WALL AND ALL UNDERGROUND FEATURES, INCLUDING UTILITY LOCATIONS WITHIN THE AREA OF CONSTRUCTION. ENSURE SURROUNDING STRUCTURES ARE PROTECTED FROM EFFECTS OF SEGMENTAL RETAINING WALL EXCAVATION.
  - COORDINATE INSTALLATION OF UNDERGROUND UTILITIES WITH SEGMENTAL RETAINING WALL INSTALLATION.
  - CONTROL SURFACE WATER DRAINAGE AND PREVENT INUNDATION OF THE SEGMENTAL RETAINING WALL CONSTRUCTION AREA DURING THE CONSTRUCTION PROCESS.
  - THE FOUNDATION SOIL SHALL BE EXCAVATED OR FILLED AS REQUIRED TO THE GRADES AND DIMENSIONS SHOWN ON THE PLAN.
  - THE FOUNDATION SOIL SHALL BE PROOF ROLLED AND EXAMINED BY THE GENERAL REVIEW ENGINEER TO ENSURE THAT IT MEETS THE MINIMUM STRENGTH REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS. IF UNACCEPTABLE FOUNDATION SOIL IS ENCOUNTERED, THE GENERAL REVIEW ENGINEER SHOULD CONTACT THE DESIGN ENGINEER TO DISCUSS OPTIONS AND DETERMINE THE MOST APPROPRIATE COURSE OF ACTION.
  - IN CUT SITUATIONS, THE NATIVE SOIL SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN IN THE CONSTRUCTION DOCUMENTS AND REMOVED FROM THE SITE OR STOCKPILED FOR REUSE AS REINFORCED OR RETAINED FILL AS IDENTIFIED ON THE PLAN. CARE SHOULD BE TAKEN NOT TO CONTAMINATE OR OVERLY SATURATE THE STOCKPILED FILL MATERIAL.
- CONSTRUCTION: INSTALLING DRAINAGE SYSTEM.
  - THE APPROVED GEOTEXTILE FILTER SHALL BE SET AGAINST THE BACK OF THE FIRST SEGMENTAL RETAINING WALL UNIT, OVER THE PREPARED FOUNDATION SOIL EXTENDING TOWARDS THE BACK OF THE EXCAVATION, UP THE EXCAVATION FACE AND EVENTUALLY OVER THE TOP OF THE DRAINAGE FILL TO THE BACK OF THE SEGMENTAL RETAINING WALL UNITS NEAR THE TOP OF THE WALL OR AS SHOWN ON THE PLAN. GEOTEXTILE OVERLAPS SHALL BE A MINIMUM OF 1 FOOT AND SHALL BE SHINGLED DOWN THE FACE OF THE EXCAVATION IN ORDER TO PREVENT THE MIGRATION OF PARTICLES FROM ONE FILL TYPE TO ANOTHER.
  - THE DRAINAGE PIPE SHALL BE PLACED AS SHOWN ON THE PLAN, IN ACCORDANCE WITH THE OVERALL DRAINAGE PLAN FOR THE SITE. THE MAIN COLLECTION DRAIN PIPE SHALL BE A MINIMUM OF 4 INCHES IN DIAMETER. THE PIPE SHALL BE LAID TO ENSURE GRAVITY FLOW OF WATER FROM THE REINFORCED FILL. CONNECT DRAINAGE COLLECTION PIPE AT A STORM SEWER CATCH BASIN OR DAYLIGHT ALONG SLOPE AT AN ELEVATION LOWER THAN LOWEST POINT OF PIPE, EVERY 50 FEET MAXIMUM.
  - IF OTHER SOURCES OF WATER ARE DISCOVERED DURING EXCAVATION OR ANTICIPATED, REFER TO NOTE 8 ABOVE.
- CONSTRUCTION: INSTALLING SEGMENTAL RETAINING WALL UNITS.
  - THE BOTTOM ROW OF SEGMENTAL RETAINING WALL UNITS SHALL BE PLACED ON THE LEVELING BASE AS SHOWN IN THE CONSTRUCTION DOCUMENTS. THE UNITS SHALL BE PLACED IN THE MIDDLE OF THE LEVELING BASE. CARE SHALL BE TAKEN TO ENSURE THAT THE SEGMENTAL RETAINING WALL UNITS ARE ALIGNED PROPERLY, LEVELED FROM SIDE TO SIDE AND FRONT TO BACK AND ARE IN COMPLETE CONTACT WITH THE LEVELING BASE.
  - THE SEGMENTAL RETAINING WALL UNITS ABOVE THE BOTTOM COURSE SHALL BE PLACED TO INTERCONNECT THE SHEAR KEY AND THEN PUSHED FORWARD, CREATING THE SPECIFIED BATTER OF THE SEGMENTAL RETAINING WALL FACE.
  - THE SEGMENTAL RETAINING WALL UNITS SHALL BE SWEEP CLEAN BEFORE PLACING ADDITIONAL COURSES TO ENSURE THAT NO DIRT, CONCRETE OR OTHER FOREIGN MATERIALS BECOME LODGED BETWEEN SUCCESSIVE LIFTS OF THE SEGMENTAL RETAINING WALL UNITS.
  - SUCCESSIVE COURSES SHALL BE PLACED TO CREATE A RUNNING BOND PATTERN WITH THE EDGE OF ALL UNITS BEING APPROXIMATELY ALIGNED WITH THE MIDDLE OF THE UNIT IN THE COURSE BELOW IT. CUT SEGMENTAL RETAINING WALL UNITS MAY NEED TO BE PLACED TO ENSURE THE VERTICAL LINE BETWEEN ADJACENT SEGMENTAL RETAINING WALL UNITS REMAINS WITHIN THE MIDDLE THIRD OF THE SEGMENTAL RETAINING WALL UNIT BELOW.
  - WHERE APPLICABLE, A MAXIMUM OF 3 COURSES OF SEGMENTAL RETAINING WALL UNITS CAN BE PLACED ABOVE THE LEVEL OF THE REINFORCED FILL AT ANY TIME.
  - THE INSTALLER SHALL CHECK THE LEVEL OF SEGMENTAL RETAINING WALL UNITS WITH EACH LIFT TO ENSURE THAT NO GAPS ARE FORMED BETWEEN SUCCESSIVE LIFTS THAT MAY AFFECT THE PERFORMANCE OF THE SEGMENTAL RETAINING WALL.
  - CARE SHALL BE TAKEN TO ENSURE THAT THE SEGMENTAL RETAINING WALL UNITS AND GEOSYNTHETIC REINFORCEMENT, WHERE APPLICABLE, ARE NOT DAMAGED DURING HANDLING AND PLACEMENT.
  - NO HEAVY EQUIPMENT, FOR COMPACTION, FILL PLACEMENT OR OTHER, SHALL BE ALLOWED WITHIN 3 FEET OF THE BACK OF THE SEGMENTAL RETAINING WALL UNITS.
- CONSTRUCTION: DRAINAGE FILL.
  - THE DRAINAGE FILL WILL BE PLACED BEHIND THE SEGMENTAL RETAINING WALL UNITS WITH A MINIMUM WIDTH OF 1 FOOT AND SEPARATED FROM OTHER SOILS USING THE SPECIFIED GEOTEXTILE FILTER. DUE TO SITE CONSTRAINTS, THE DRAINAGE FILL MINIMUM WIDTH IS 6 INCHES FOR THIS PROJECT).
  - DRAINAGE FILL SHALL BE PLACED BEHIND THE SEGMENTAL RETAINING WALL FACING IN MAXIMUM LIFTS OF 6 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 95% STANDARD PROCTOR.
- CONSTRUCTION: SECURE COPING.
  - COPING UNITS SHALL BE SECURED TO THE TOP OF THE SEGMENTAL RETAINING WALL WITH TWO 3/8 INCH BEADS OF CONCRETE ADHESIVE POSITIONED 2 INCHES IN FRONT AND BEHIND THE TONGUE OF THE LAST COURSE OF SEGMENTAL RETAINING WALL UNITS.

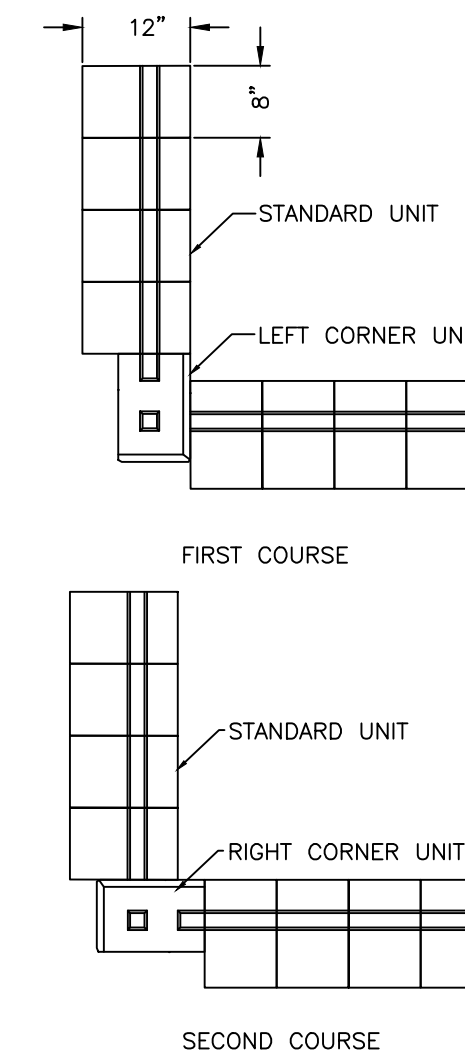
**PROJECT SPECIFIC RETAINING WALL NOTES:**

- THE CONTRACTOR SHALL BE COGNIZANT OF THE CLOSE PROXIMITY TO THE ADJACENT PROPERTY LINE, AND SHALL MAINTAIN LIMITS OF WORK WITHIN THE SUBJECT PROPERTY BOUNDS.
- IN ORDER TO MAKE THE TRANSITION FROM THE CONCORD XL UNITS TO THE STATE WALL UNITS, THE TONGUE ON THE CONCORD XL UNITS SHALL BE CHIPPED OFF. TWO 3/8 INCH BEADS OF CONCRETE ADHESIVE POSITIONED 2 INCHES IN FRONT AND BEHIND THE REMOVED TONGUE OF THE SEGMENTAL RETAINING WALL UNITS SHALL BE APPLIED.
- IN ADDITION TO THE COPING ADHESIVE INSTALLATION, ALL ESTATE WALL UNITS SHALL HAVE CONCRETE ADHESIVE APPLIED: TWO 3/8 INCH BEADS OF CONCRETE ADHESIVE POSITIONED 2 INCHES FROM THE FACE AND THE BACK OF EACH SEGMENTAL RETAINING WALL UNIT.
- DUE TO LIMITED AVAILABLE PROPERTY CONTROL, THE LEVELING BASE SHALL EXTEND 6 INCHES BEYOND THE BACK OF THE BASE CONCORD XL UNIT. THE CONTRACTOR SHALL PREPARE A NEAR VERTICAL EXCAVATION AT THE PROPERTY LINE IN ORDER TO CREATE THE REQUIRED SECTION.
- THE DRAINAGE PIPE SHALL TRANSITION TO 4" SCH40 SOLID PVC AT THE FITTING AT THE END OF THE ESTATE WALL.



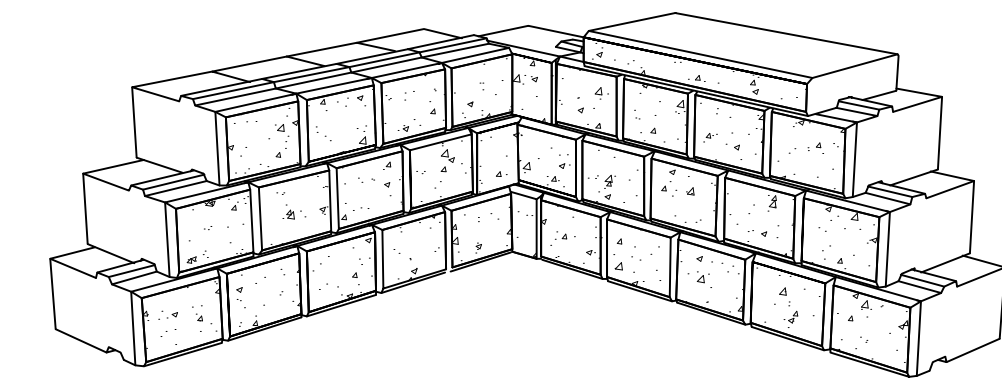
**NOTES:**  
1. REFER TO RETAINING WALL NOTES, THIS SHEET.

SEGMENTAL RETAINING WALL DETAIL - GRAVITY WALL SECTION  
NOT TO SCALE



**NOTES:**  
1. REFER TO RETAINING WALL NOTES, THIS SHEET.

SEGMENTAL RETAINING WALL DETAIL - 90° INSIDE CORNER  
NOT TO SCALE



DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



**HUDSON**  
LAND DESIGN  
HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN ST., BEACON, NEW YORK 12508  
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
PH: 845-440-6926  
F: 845-440-6637

CONSTRUCTION DETAILS  
**3 WATER STREET SITE PLAN**  
3 WATER STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-38-170722

JOB #: 2020:013  
DATE: 3/31/2020  
SCALE: AS SHOWN  
TITLE: CD-2  
SHEET: 6 OF 6

**CITY OF BEACON**

**CITY COUNCIL**

Resolution No. 57 of 2020

**RESOLUTION**

**GRANTING A SPECIAL USE PERMIT FOR  
3 WATER STREET**

**Parcel ID# 6054-38-170722**

**WHEREAS**, POK Beacon LLC (the “Applicant”), submitted an application for a Special Use Permit to construct a one-story 590 square foot accessory apartment and addition to an existing single-family house (the “Proposed Action”) on property located at 3 Water Street in the R1-5 and Central Main Street Zoning Districts. Said premises being known and designated on the tax map of the City of Beacon as **Parcel ID# 6054-38-170722** (the “Property”); and

**WHEREAS**, the Special Use Permit Application was submitted by the Applicant in conjunction with its application to the Planning Board for Site Plan approval and Subdivision Approval (to consolidate two parcels into one lot); and

**WHEREAS**, the City Council is the approval authority for the Special Use Permit pursuant to City of Beacon Zoning Code §§ 223-18.B and 223-24.1; and

**WHEREAS**, the Site Plan is shown on drawings, entitled “Special Use Permit Application” last revised December 31, 2019, as prepared by Aryeh Siegal Architect; and

**WHEREAS**, the Proposed Action is a Type II Action, pursuant to New York State Environmental Quality Review Act, and accordingly no further environmental review is required; and

**WHEREAS**, the Planning Board issued a report to the City Council dated January 22, 2020 recommending approval of the Special Use Permit; and

**WHEREAS**, on March 16, 2020, the City Council opened a public hearing on the Special Permit application at which time all interested persons were given the opportunity to be heard and the public hearing was closed on March 16, 2020; and

**WHEREAS**, the City Council has reviewed the application for a Special Use Permit against the standards for a Special Use Permit set forth in the City of Beacon Zoning Code §§ 223-18.B and 223-24.1, and finds that the proposal complies with these sections of the City of Beacon Zoning Code, as set forth below.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council hereby finds pursuant to §§ 223-18 and 223-24.1 of the City of Beacon Zoning Code:

1. The location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located.
2. The location, nature and height of the structure and the nature and extent of the landscaping on the site are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings. The proposed accessory apartment use is compatible with the surrounding residential and commercial uses in the neighborhood.
3. Operations in connection with the accessory apartment will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristic than would be the operations of any permitted use, not requiring a special permit.
4. Parking areas will be of adequate size for the particular use and properly located and suitably screened from the adjoining residential uses.
5. The accessory apartment is connected to an owner occupied single-family residence.
6. Peter O' Kennedy, the owner of POK Beacon LLC (the Applicant), occupies the single-family home located on the same lot upon which the accessory apartment will be located.
7. The minimum floor area for an accessory apartment shall be 400 square feet. The maximum floor area shall be 650 square feet, but in no case shall the floor area of the apartment exceed 30% of the total floor area of the dwelling building in which it is located. The area of the accessory apartment is 590 square feet, or approximately 21% of the total floor area of the dwelling building.
8. The entry to the accessory apartment and its design is such that the exterior appearance of the building remains that of a single-family residence.

**BE IT FURTHER RESOLVED**, that the City Council [grants] an application for Special Use Permit to POK Beacon LLC to construct a one-story 590 square foot accessory apartment and addition to an existing single-family house on property located at 3 Water Street in the R1-5 and Central Main Street Zoning Districts as set forth and detailed on the plans prepared by Aryeh Siegel Architect, last revised December 31, 2019 upon the following conditions:



1. Prior to the issuance of a Building Permit, the Applicant shall obtain Final Site Plan Approval and Subdivision approval from the City of Beacon Planning Board.
2. No permits shall be issued until the Applicant has paid to the City all applicable fees and professional review fees incurred in connection with review of this Application.
3. A copy of this Resolution shall be attached to the Certificate of Occupancy.
4. The accessory apartment shall be inspected by the Building Department every two years in order to determine whether the apartment remains in compliance with § 223-24.1 of the City of Beacon Zoning Code. Upon a satisfactory inspection report, the accessory apartment owner shall be reissued a certificate of occupancy. In the event that the inspection indicates that the apartment is no longer in compliance, the certificate of occupancy shall be revoked until the violations are cured.
5. As used herein, the term "Applicant" shall include its heirs, successors and assigns.
6. In accordance with Section 223-18.1(1) of the Zoning Law, this Special Permit Approval authorizes only the particular use specified in the permit and shall expire if:
  - a. A bona fide application for a Building Permit is not filed within one (1) year of the issuances of this Special Permit Approval; or
  - b. If all required improvements are not made within two (2) years from the date of issuance of the Building Permit; or
  - c. If said use ceases for more than six (6) months for any reason.
7. In accordance with Section 223-18.1(2) of the Zoning Law, the City Council may grant one (1) or more extensions of up to six (6) months each, to (a) complete the conditions of approval for the special permit use, upon a finding that the applicant is working toward completion of such conditions with due diligence and has offered a reasonable explanation of its inability to complete such improvements and file a bona fide application for a building permit, and (b) to complete construction of the improvements, upon a finding that the Applicant is prosecuting construction with due diligence and has offered a reasonable explanation of its inability to complete the Project. The City Council may impose such conditions as it deems appropriate upon the grant of any extension. The granting of an extension of time shall not require a public hearing.

8. Any proposed revision to this Amended Special Permit Approval shall be submitted to the City Council. The City Council, in its discretion, shall determine the appropriate procedures for consideration of the proposed revision, and whether such revision is material enough to require further environmental analysis, further project review and/or a public hearing, as it may deem appropriate.
9. The Building Inspector may revoke this Special Permit Approval where it is found that the use of the premises does not conform to the limitations and conditions contained in the Special Permit Approval.
10. The accessory apartment shall not be used for short term rentals and shall only be occupied by tenants for a long term lease of one year or more.
11. If any of the conditions enumerated in this resolution upon which this approval is granted are found to be invalid or unenforceable, then the integrity of this resolution and the remaining conditions shall remain valid and intact.
12. The approvals granted by this resolution do not supersede the authority of any other entity.

**BE IT FURTHER RESOLVED**, that on June 18, 2018, the City Council adopted a resolution which requires the City Council to consider at the time of approving a land use project whether it is appropriate to require a weatherproofed copy of the site plan and architectural renderings of the project to be posted on a sign to be maintained at the property from the time of commencement of construction until substantial completion of the structure; the Building Inspector advised since the Proposed Action involves construction of an accessory apartment addition to an existing single-family home, it would serve no real purpose to have a sign posted on the property, the City Council therefore finds that such a sign is not required for this land use approval.

Dated: March 16, 2020

Resolution No. 57 of 2020

Date: March 16, 2020

Amendments

2/3 Required

Not on roll call.

On roll call

3/4 Required

Motion	Second	Council Member	Yes	No	Abstain	Reason	Absent
x		Terry Nelson	x				
		Jodi McCredo	x				
	x	George Mansfield	x				
		Amber Grant	x				
		Air Rhodes	x				
		Dan Aymar-Blair	x				
		Mayor Lee Kyriacou	x				
		Motion Carried	x				





To: John Gunn, Chair, and the City of Beacon Planning Board

Date: April 9, 2020

Re: **3 Water Street, Site Plan, Subdivision, and Special Permit for Accessory Apartment**

I have reviewed March 31, 2020 response letters from Aryeh Siegel and Hudson Land Design, March 31, 2020 Subdivision Application, March 16, 2020 Special Permit Resolution from the City Council, March 31, 2020 Preliminary Subdivision Plat, and a 6-sheet Special Permit Application set from Aryeh Siegel dated March 31, 2020.

### **Proposal**

The applicant is proposing to construct a one-story accessory apartment addition on a 0.54-acre site in the R1-5 and CMS zoning districts. A subdivision is also needed to consolidate the site into one lot.

### **Comments and Recommendations**

1. The City Council approved a Special Permit for the accessory apartment on March 16, 2020. The Council is also considering a district boundary change to place the entire lot into the R1-5 district.
2. On the Subdivision Plat, the parcel number and lot area in Survey Notes 1 should match the numbers in the Project Information Table. For the Schedule of Regulations tables, the CMS required minimum lot depth is 75 feet.
3. For Sheet 1, the site area is shown twice on the plan with different numbers. The lot square footage should match the Subdivision Plat. Also, the titles should be updated to Sheet 1 of 6.
4. For Sheet 2, the existing chain link fences north of the house should be marked for removal.
5. The plans should clearly show the location of the new stockade privacy fence along the frontage. Front yard fences are typically limited to four feet high, but the Board has the discretion to approve the proposed six-foot fence where necessary for screening purposes (see §223-13 G(1)).
6. The Board should also consider requesting a couple of street trees along the frontage south of the existing structure.
7. There is an existing telephone pole in the center of the proposed sidewalk ramp south of the driveway. The sidewalk should be widened in this area to allow convenient ADA passage.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Dave Buckley, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegel, Project Architect  
Michael Bodendorf, P.E., Project Engineer

**City of Beacon Planning Board**  
**4/14/2020**

**Title:**

**Zoning Board of Appeals**

**Subject:**

Zoning Board of Appeals – no meeting in April

**Background:**



**City of Beacon Planning Board**  
**4/14/2020**

**Title:**

**Local Law Review**

**Subject:**

City Council request to review proposed Local Law regarding Noticing of Public Hearings

**Background:**

**ATTACHMENTS:**

Description	Type
Proposed Local Law - Notice of Public Hearings	Cover Memo/Letter

**DRAFT LOCAL LAW NO. \_\_\_\_ OF 2020**

**CITY COUNCIL  
CITY OF BEACON**

**PROPOSED LOCAL LAW TO AMEND  
CHAPTER 223, SECTION 61.3 OF THE CODE OF THE CITY OF  
BEACON**

A LOCAL LAW to amend Chapter 223, Section 61.3 of the Code of the City of Beacon concerning the requirements for public notices.

BE IT ENACTED by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 223, Section 61.3 of the Code of the City of Beacon entitled “Public notice signs” is hereby amended as follows:

**§ 223-61.3 Hearing notice requirements.**

Prior to any public hearing required for applications for approval of a site development plan, special permit, subdivision, or any public hearing before the Board of Appeals, the applicant shall comply with the following notice requirements at its sole cost and expense:

- A. The City shall submit a notice of public hearing to the official City newspaper and one additional local newspaper for publication at least five days before such hearing. The applicant shall reimburse the City for the cost of such publications.
- B. Notice of hearing shall be sent by the applicant, by certified mail (return receipts not required) to all property owners within a distance of 250 feet of any boundary of the subject property for all single-, two- and three-family properties and to all property owners within a distance of 500 feet of any boundary of the subject property for all multifamily, non-residentially zoned and nonresidential uses. Notice shall be provided to properties owners on both sides of the street on which the subject property fronts, to the adjoining property owner or owners to the rear of the property affected, and to all non-owner occupants of the property affected at least 10 days before the hearing. For purposes of notice, a property shall be deemed to have non-owner occupants when the

primary owner mailing address on file with the City of Beacon Tax Assessor is different than the property address. In such case, a notice shall be mailed to the property addressed to the occupant, and if a multifamily dwelling, then to all individual dwelling units on the property. Prior to the public hearing, the applicant shall submit to the secretary of the applicable board a signed affidavit of mailing setting forth details of the mailing, including date of mailing, names and addresses to whom the mailing was sent, and a copy of the notice of hearing, ~~and the certified mail receipts.~~

C. Public notice signs.

- (1) The applicant shall post one notification sign on the subject property, or in the case of a corner lot post a notification sign on all abutting streets, no later than 14 days prior to the initial public hearing and any continued public hearing thereafter. The applicant shall update said sign at least 14 days prior to every public hearing at which the applicant's matter will be heard. For matters before the City Council, the applicant shall post the required sign(s) no later than 10 days prior to the public hearing and shall update said sign at least 10 prior to every public hearing before the City Council in which the applicant's matter will be heard. The Building Inspector may require, in his or her discretion, the applicant to post an additional public notice sign, based on topography of the surrounding land, parcel size and shape, or any other factors the Building Inspector, in his or her discretion, feels may impact effective public notice.
- (2) Such sign shall be at least two feet by three feet in size, consist of sturdy and serviceable material containing a white background with black letters and be placed in a location visible from the most commonly traveled street or highway upon which the property fronts, or in the case of a corner lot on all streets, but in no case more than 20 feet back from the front lot line. Such sign shall read as follows, in legible lettering with the heading at least five inches in height and the content at least two inches in height:

PUBLIC NOTICE A PUBLIC HEARING FOR A [application type]  
APPLICATION WILL BE HELD BY THE CITY OF BEACON [City Council,  
Planning Board, or Zoning Board of Appeals] ON [insert date] AT [insert time] P.M.  
AT THE CITY OF BEACON CITY HALL, 1 MUNICIPAL PLAZA, BEACON,  
NY ADDITIONAL INFORMATION IS AVAILABLE AT THE BEACON  
BUILDING DEPARTMENT (845) 838-5020

- (3) In the event that the applicant shall appear before more than one board, the sign shall be appropriately revised to reflect the time and place of each board's meeting. At least two working days before the public hearing, the applicant shall also submit to the secretary of the applicable board a signed affidavit certifying to the fact and date of said posting.



- (4) The applicant shall, in good faith, maintain the public notice sign in good condition throughout the posting period.
- (5) The applicant shall remove the notification sign within five days of the adoption of any resolution concerning the application.

**Section 2. Ratification, Readoption and Confirmation**

Except as specifically modified by the amendments contained herein, Chapter 223 Section 61.3 of the City of Beacon are otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

**Section 3. Numbering for Codification**

It is the intention of the City of Beacon and it is hereby enacted that the provisions of this Local Law shall be included in the Code of the City of Beacon; that the sections and subsections of this Local Law may be re-numbered or re-lettered by the Codifier to accomplish such intention; that the Codifier shall make no substantive changes to this Local Law; that the word “Local Law” shall be changed to “Chapter,” “Section” or other appropriate word as required for codification; and that any such rearranging of the numbering and editing shall not affect the validity of this Local Law or the provisions of the Code affected thereby.

**Section 4. Severability**

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**Section 5. Effective Date**

This local law shall take effect immediately upon filing with the Office of the Secretary of State.