

*BEACON PLANNING BOARD*  
*One Municipal Plaza - Courtroom*  
*BEACON, NEW YORK 12508*  
*Phone (845) 838-5002 Fax (845) 838-5026*

The Planning Board will meet on **Tuesday, December 11, 2018** in the Municipal Center Courtroom. A work session will take place at 7:00 PM for a training workshop, discussion of agenda items and/or topics of interest to the Planning Board. The regular meeting will begin immediately thereafter, but not later than 7:30 p.m.

- **Regular Meeting**

1. Ferry Landing @ Beacon - Beekman Street  
Continue public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, 6 Unit Residential "Ferry Landing at Beacon", Beekman Street, submitted by Ferry Landing at Beacon, Ltd. (*adjourned until January 8, 2019*)
2. 554 Main Street  
Continue public hearing on application to amend an existing Site Plan Approval, Residential/Professional Office/Restaurant with outdoor seating and entertainment area, 554 Main Street, submitted by Dana Collins
3. 8 East Main Street - The Roundhouse  
Public hearing on application for Site Plan Approval in conjunction with an amended Special Use Permit Approval, replace proposed spa with 10 additional hotel rooms in the Mill Building (total 51 rooms) and replace Private Dining Room in Roundhouse Building with Hotel Administration Office, 8 East Main Street, submitted by 10 Boulevard, LLC
4. 39 Front Street - Beacon Lofts  
Public hearing on application for Site Plan Approval in conjunction with an amended Special Use Permit Approval, Artist Live Work/Self Storage, 39 Front Street, submitted by Beacon Lofts & Storage
5. 234 Main Street  
Public hearing on application for Site Plan Approval, 2<sup>nd</sup> Floor Addition, Retail/Office Use, 234 Main Street, submitted by 234 Main Street, LLC
6. Dennings Avenue  
Continue review of application for Subdivision, 2-lot residential, submitted by Delaportas Enterprises I, Inc., Dennings Avenue
7. 21 South Avenue  
Continue review of application for Site Plan Approval related to Special Use Permit, three-unit residential, 21 South Avenue, submitted by Protestant Episcopal Diocese of New York
8. 511 Fishkill Avenue  
Review application to amend an existing Site Plan Approval, brewery and related uses, submitted by Jeff O'Neil, 511 Fishkill Avenue
9. 296 Main Street  
Review application for Site Plan Approval, convert existing retail and garage to restaurant, submitted by River Valley Restaurant Group, 296 Main Street

- **Miscellaneous Business**

1. Zoning Board of Appeals  
Zoning Board of Appeals – December Agenda
2. Review Local Law - Signs  
City Council request to review proposed Local Law to delete Chapter 183 "Signs" and Amend Chapter 223 Sections 15 & 63 of City Code
3. Review Local Law - Amusement Centers  
City Council request to review proposed Local Law to repeal Chapter 183, Article III, Section 24.8 of the City Code concerning amusement centers

- **Architectural Review**

**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**Ferry Landing @ Beacon - Beekman Street**

**Subject:**

Continue public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, 6 Unit Residential "Ferry Landing at Beacon", Beekman Street, submitted by Ferry Landing at Beacon, Ltd. *(adjourned until January 8, 2019)*

**Background:**

**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**554 Main Street**

**Subject:**

Continue public hearing on application to amend an existing Site Plan Approval, Residential/Professional Office/Restaurant with outdoor seating and entertainment area, 554 Main Street, submitted by Dana Collins

**Background:**

**ATTACHMENTS:**

Description	Type
554 Main Street Cover Letter	Cover Memo/Letter
554 Main Street Use Summary	Backup Material



November 26, 2018  
City of Beacon Planning Board  
1 Municipal Plaza  
Beacon, New York 12508

Re Site Plan for 554 Main Street  
Change of use  
Tax Map # 6054-30-142808

Dear Chairman and Members of the Board:

On behalf of the Dana Collins and Melzingah Tap House we respectfully submit a Change of "Use Summary for Melzingah Tap House" which details extending the sites current restaurant use outside to the Pavilion and Patio area while being located in the CMS Central Main Street District and in the Historic and Landmark Overlay Zone and Parking Overlay Zone.

At this time we are actively seeking a Professional Sound Consultant to review the site plan along with our proposed outdoor use to seek advice in conforming to the Performance Standards as outlined in the City Code. This report and its findings will be provided to the board for review once they have been prepared. At this time we have enclosed an updated report on the proposed "site uses" and how they are permitted by the code along with the current proposed provisions to mitigate there effect on neighboring parcels. It is hoped that this document shall serve to clarify what the actual uses will be onsite and the fact they are uses permitted" as a right" in the CMS zoning district.

If you have any questions or comments please feel free to give me a call at my office at (845) 546-3310; otherwise we look forward to discussing this matter at the next planning board meeting.

Truly Yours,

Stephen Burns, P.E.  
Professional Engineer  
Burns Engineering Services, P.C.

[Sburns@BurnsEngineeringServices.com](mailto:Sburns@BurnsEngineeringServices.com)  
(845) 546-3310  
58 Teller Ave.  
Beacon, NY 12508



November 26, 2018  
City of Beacon Planning Board  
1 Municipal Plaza  
Beacon, New York 12508

Re Site Plan for 554 Main Street (CMS Zoning District)  
Change of Use Summary for Melzingah Tap House  
Tax Map # 6054-30-142808

The Melzingah Tap House respectfully submitted an amended application for Site Plan Approval to extend the sites current restaurant use outside to the Pavilion and Patio area that currently exist at 554 Main Street in the City of Beacon. Situated on the northwest corner of Verplank Avenue and Main Street this lot has frontage along two Streets. The site is located in the CMS Central Main Street District and in the Historic and Landmark Overlay Zone and Parking Overlay Zone. The Site contains a mixed use with the Ground Floor of the Building being commercial uses fronting Main Street and the upper levels being apartments.

Apartments are located on the upper two levels of the structure and account for 5200 square feet of building area. The (6) units are not proposed to be changed. This use is allowed by §223-41.18A.(1).” ***Apartments provided that for parcels fronting on Main Street or East Main Street they shall only be located on upper stories or at least 50 feet behind the facade in the rear portion of a ground floor.***”

Of the 3,530 square feet located on the ground floor of the building approximately 500 square feet is an individual commercial unit rented as a Bank Office. This use is allowed by §223-41.18A.(4) ***“Offices of any kind, including professional, medical, business, and banks or other financial institutions.”*** The remaining 3030 Square Feet is leased to the “Melzingah Tap House “, which is a restaurant that currently operates within the space. The restaurant use is allowed by §223-41.18A.(7) ***“Restaurant, coffee house, brew pub, and other establishments that serve food with or without alcoholic beverages, and are not a bar.”*** The Tap House wishes to expand its use outside to legally use the existing 1,175 square foot patio and 1,200 square foot pavilion as outdoor seating for the restaurant and also include live acoustic music under the pavilion for the patrons dining outside.

The ±60 Seat Indoor Restaurant operates from 11 AM to 1 AM Daily throughout the year and proposes to use the outdoor seating areas during the warmer months (May- November) during the year. The restaurant menu incorporates “Smoked Barbeque” items, which require the use of a BBQ Smoker to

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Beacon, NY 12508

produce. Due to the nature of BBQ Smoker and the smells they produce the applicants would limit the use of the “Smoker” to typically one day during the regular work week (M-F) and between the hours of 9 AM-6 PM, so the majority of the neighbors will be at school or work. It is typical to use the smoke on Wednesdays but this can vary due to weather or other unforeseen delays. It is also desired to use the smoker for “Special Events” on weekends, as required. This use will be limited to one weekend day per 30 calendar days in the warmer months.

The Pavilion will be used as outdoor seating area for the restaurant and will host live music. The area is lighted by party lights draped over the ceiling rafters in the Pavilion and on Shepard’s hooks along the outer retaining wall around the outdoor seating. Outdoor live music shall cease at 10PM. This area will be screened to the residential neighbors as required, but should be visible to the abutting streets to show the attractive use to both vehicular and pedestrian traffic. The use of the outdoor areas is weather dependent and also seasonal (May- November).

Parking has been provided for all uses as required in the CMS zoning district.

The use of 554 Main Street in the City of Beacon is governed by §223-41 Article IVD Central Main Street (CMS) District of the City code. The mixed use and each individual use of it (Office, Restaurant and residential apartments) contribute to preserve the traditional character of Main Street, while also increasing the vitality, attractiveness, and marketability of Main Street and further promoting the goals outlined in Beacons Comprehensive Plan.

**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**8 East Main Street - The Roundhouse**

**Subject:**

Public hearing on application for Site Plan Approval in conjunction with an amended Special Use Permit Approval, replace proposed spa with 10 additional hotel rooms in the Mill Building (total 51 rooms) and replace Private Dining Room in Roundhouse Building with Hotel Administration Office, 8 East Main Street, submitted by 10 Boulevard, LLC

**Background:**

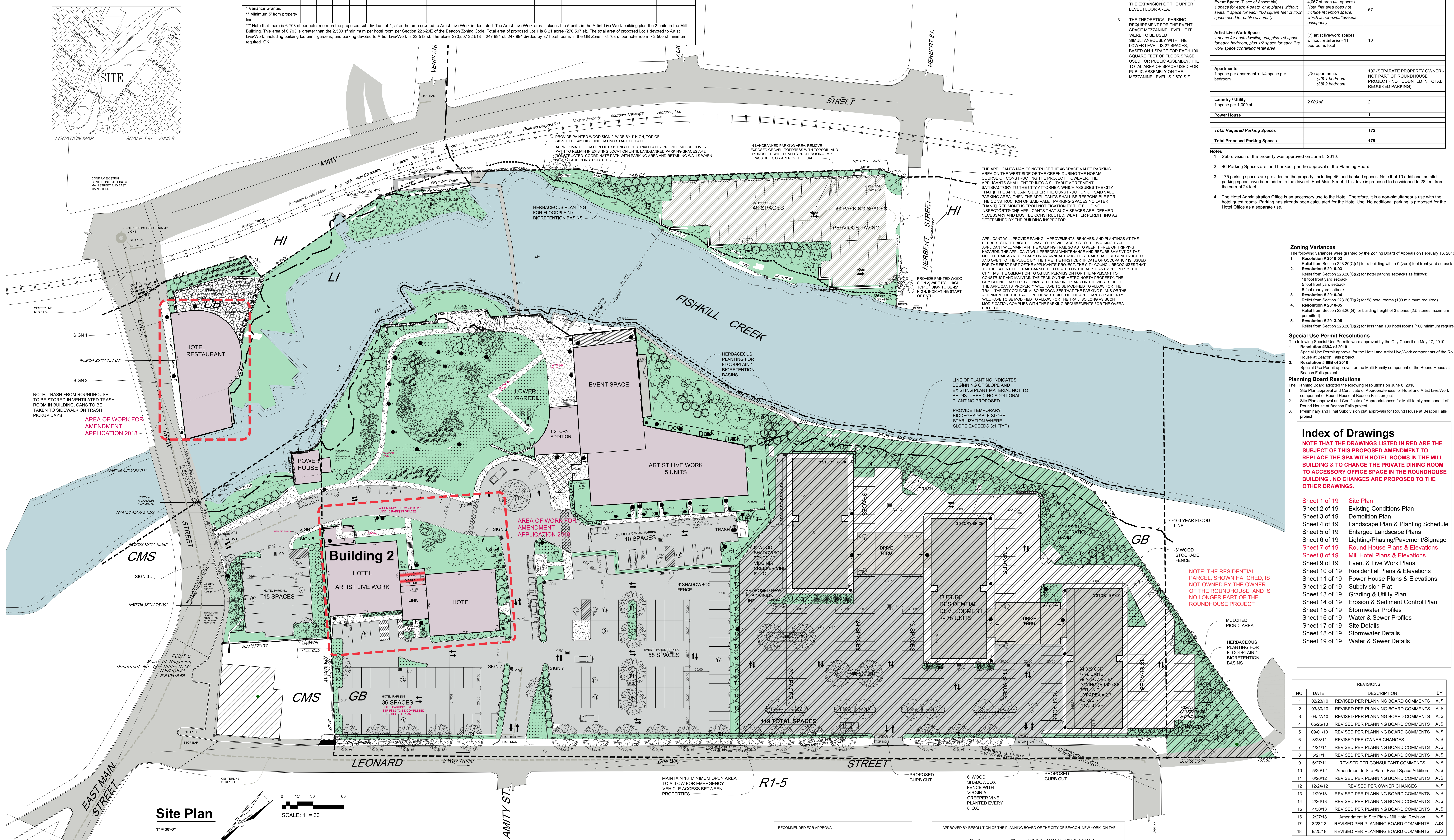
**ATTACHMENTS:**

Description	Type
Roundhouse Sheet 1 Site Plan	Plans

- SIGHT DISTANCE NOTES:**
- PER CITY GUIDELINES, THE REQUIRED SIGHT DISTANCES SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 200 FEET TO THE LEFT AND 300 FEET TO THE RIGHT.
  - THE SHORTEST LINE OF SIGHT TO THE LEFT FOR ALL PROPOSED ENTRANCES OCCURS AT THE NORTHEAST CORNER OF THE FUTURE RESIDENTIAL PARCEL (113' FT). HOWEVER, THIS DISTANCE IS MEASURED TO THE INTERSECTION OF GROVE STREET AND LEONARD STREET WHERE VEHICLES ARE TRAVELING MUCH LESS THAN THE POSTED SPEED LIMIT. THE TWO ENTRANCES FOR THE FUTURE RESIDENTIAL PARCEL DO NOT REQUIRE SIGHT DISTANCE TO THE RIGHT BECAUSE LEONARD STREET IS A ONE WAY STREET TO THE NORTH OF THE INTERSECTION AT AMITY STREET.
  - THE PROPOSED ENTRANCE FOR THE COMMERCIAL PARCEL OFF LEONARD STREET HAS ADEQUATE SIGHT DISTANCE IN BOTH DIRECTIONS.
  - THE PROPOSED ENTRANCE FOR THE COMMERCIAL PARCEL OFF EAST MAIN STREET MEASURES 309 FEET TO THE RIGHT; HOWEVER, THIS DISTANCE IS MEASURED TO THE INTERSECTION OF MAIN STREET AND EAST MAIN STREET.

Zoning District	Required Setbacks		Proposed Setbacks		Maximum Building Coverage	Proposed Building Coverage	Allowable Building Height	Proposed Building Height	Zoning District Area	Allowable FAR	Allowable Floor Area	Proposed Floor Area	Allowable Density	Proposed Density
	Front	Side	Front	Rear										
CB Round House Hotel & Restaurant	200'	50'	50'	0'	31.2%	105.7	35'	Existing	10,874	2	21,748	16,254		
GB									270,507	2	541,014	133,385		6,703 per room for hotel use in the GB zone. *** See note below for density on proposed Lot 1
Mill Hotel Building	200'	50'	50'	275'	100'	98'	35'	Existing			29,945		2,500 of per room for hotel use minimum	
Event Space / Live Work	0'	20'	25'	0'	20'	231'	35'	Existing			20,601			
LB (Parking)							35'	0'				0		
HI (Parking)							35'	0'				0		

\*\*\* Variance Granted  
 \*\* Minimum 5' from property line  
 \*\*\* Note that there is 6,703 sf per hotel room on the proposed sub-divided Lot 1, after the area devoted to Artist Live Work is deducted. The Artist Live Work area includes the 5 units in the Artist Live Work building plus the 2 units in the Mill Building. This area of 6,703 is greater than the 2,500 of minimum per hotel room per Section 22.2-206 of the Beacon Zoning Code. Total area of proposed Lot 1 is 6.21 acres (270,507 sq. ft.). The total area of proposed Lot 1 devoted to Artist Live Work, including building footprint, gardens, and parking devoted to Artist Live Work is 22,513 sf. Therefore, 270,507-22,513 = 247,994 sf. 247,994 divided by 37 hotel rooms in the GB Zone = 6,703 sf per hotel room > 2,500 of minimum required. OK



**Zoning Summary**

Zoning District: CB, LB, GB, HI, RD-5  
 Tax Map No.: 6054-30-195787 & 6054-30-171812  
 Lot Area: 8.943 acres total of combined lots  
 Building Footprint: 51,318 square feet total existing and proposed buildings (222 sf added for Lobby)  
 Historical Overlay District: Yes  
 Parking Overlay District: Yes - for the portion in the LB District  
 Existing Use: Industrial  
 Proposed Use: Hotel, Restaurant, Artist Live Work, Events, Residential, Power House

**FLOOR AREA NOTES:**

- THE GROSS FLOOR AREA OF THE EVENT SPACE ADDITION IS 1,560 GSF

**PARKING NOTES:**

- PARKING FOR THE EVENT SPACE BUILDING IS CALCULATED USING THE LOWER LEVEL SEATING CAPACITY BASED ON OCCUPANCY
- THE UPPER AND LOWER LEVELS OF THE EVENT SPACE BUILDING ARE NOT USED SIMULTANEOUSLY AND THEREFORE THE UPPER LEVEL IS NOT USED IN THE PARKING CALCULATION AND THERE IS NO CHANGE TO THE OCCUPANCY LOAD OF THE BUILDING AS A RESULT OF THE EXPANSION OF THE UPPER LEVEL FLOOR AREA.
- THE THEORETICAL PARKING REQUIREMENT FOR THE EVENT SPACE MEZZANINE LEVEL, IF IT WERE TO BE USED SIMULTANEOUSLY WITH THE LOWER LEVEL, IS 27 SPACES, BASED ON 1 SPACE FOR EACH 100 SQUARE FEET OF FLOOR SPACE USED FOR PUBLIC ASSEMBLY. THE TOTAL AREA OF SPACE USED FOR PUBLIC ASSEMBLY ON THE MEZZANINE LEVEL IS 2,670 S.F.

**Parking & Loading**

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
Hotel 1 space for each hotel room, plus 1 space for each employee, plus 1 space for each 50 square feet of floor area of restaurants, bars, and other public rooms, other than lobbies, devoted to patron use	51 Rooms (14 in Roundhouse & 37 in Mill) + 8 employees	59
Restaurant in Hotel 1 space for every 50 square feet of floor area for patron use	2,182 sf	44
Hotel Administration Office Non-simultaneous accessory to hotel use	226 seats (57 spaces) 4,067 sf area (41 spaces) Note that area does not include reception space, which is non-simultaneous occupancy	0 (See Note 4)
Event Space (Place of Assembly) 1 space for each 4 seats, or in places without seats, 1 space for each 100 square feet of floor space used for public assembly	107 (SEPARATE PROPERTY OWNER - NOT PART OF ROUNDHOUSE PROJECT - NOT COUNTED IN TOTAL REQUIRED PARKING)	107
Artist Live Work Space 1 space for each dwelling unit, plus 1/4 space for each bedroom, plus 1/2 space for each live work space containing retail area	7 (artist livework spaces without retail area - 11 bedrooms total)	10
Apartments 1 space per apartment + 1/4 space per bedroom	(78) apartments (40) 1 bedroom (38) 2 bedroom	107
Laundry / Utility 1 space per 1,000 sf	2,000 sf	2
Power House		1
<b>Total Required Parking Spaces</b>		<b>173</b>
<b>Total Proposed Parking Spaces</b>		<b>175</b>

**Notes:**

- Sub-division of the property was approved on June 8, 2010.
- 46 Parking Spaces are land banked, per the approval of the Planning Board
- 175 parking spaces are provided on the property, including 46 land banked spaces. Note that 10 additional parallel parking spaces have been provided to the drive off East Main Street. This drive is proposed to be widened to 28 feet from the current 24 feet.
- The Hotel Administration Office is an accessory use to the Hotel. Therefore, it is a non-simultaneous use with the hotel guest rooms. Parking has already been calculated for the Hotel Use. No additional parking is proposed for the Hotel Office as a separate use.

- Zoning Variances**
- Resolution # 2010-02  
Relief from Section 223.20(X)(1) for a building with a 0 (zero) foot front yard setback
  - Resolution # 2010-03  
Relief from Section 223.20(X)(2) for hotel parking setbacks as follows:  
15 foot front yard setback  
5 foot front yard setback  
5 foot rear yard setback
  - Resolution # 2010-04  
Relief from Section 223.20(X)(2) for 58 hotel rooms (100 minimum required)
  - Resolution # 2010-05  
Relief from Section 223.20(G) for building height of 3 stories (2.5 stories maximum permitted)
  - Resolution # 2013-05  
Relief from Section 223.20(X)(2) for less than 100 hotel rooms (100 minimum required)

- Special Use Permit Resolutions**
- The following Special Use Permits were approved by the City Council on May 17, 2010:
- Resolution #26 of 2010  
Special Use Permit approval for the Hotel and Artist Live/Work components of the Round House at Beacon Falls project.
  - Resolution # 698 of 2010  
Special Use Permit approval for the Multi-Family component of the Round House at Beacon Falls project.

- Planning Board Resolutions**
- The Planning Board adopted the following resolutions on June 8, 2010:
- Site Plan approval and Certificate of Appropriateness for the Hotel and Artist Live/Work component of Round House at Beacon Falls project.
  - Site Plan approval and Certificate of Appropriateness for Multi-family component of Round House at Beacon Falls project.
  - Preliminary and Final Subdivision plat approvals for Round House at Beacon Falls project

**Index of Drawings**

NOTE THAT THE DRAWINGS LISTED IN RED ARE THE SUBJECT OF THIS PROPOSED AMENDMENT TO REPLACE THE SPA WITH HOTEL ROOMS IN THE MILL BUILDING & TO CHANGE THE PRIVATE DINING ROOM TO ACCESSORY OFFICE SPACE IN THE ROUNDHOUSE BUILDING. NO CHANGES ARE PROPOSED TO THE OTHER DRAWINGS.

- Sheet 1 of 19 Site Plan
- Sheet 2 of 19 Existing Conditions Plan
- Sheet 3 of 19 Demolition Plan
- Sheet 4 of 19 Landscape Plan & Planting Schedule
- Sheet 5 of 19 Enlarged Landscape Plans
- Sheet 6 of 19 Lighting/Phasing/Pavement/Signage
- Sheet 7 of 19 Round House Plans & Elevations
- Sheet 8 of 19 Mill Hotel Plans & Elevations
- Sheet 9 of 19 Event & Live Work Plans
- Sheet 10 of 19 Residential Plans & Elevations
- Sheet 11 of 19 Power House Plans & Elevations
- Sheet 12 of 19 Subdivision Plat
- Sheet 13 of 19 Grading & Utility Plan
- Sheet 14 of 19 Erosion & Sediment Control Plan
- Sheet 15 of 19 Stormwater Profiles
- Sheet 16 of 19 Water & Sewer Profiles
- Sheet 17 of 19 Site Details
- Sheet 18 of 19 Stormwater Details
- Sheet 19 of 19 Water & Sewer Details

**REVISIONS:**

NO.	DATE	DESCRIPTION	BY
1	02/23/10	REVISED PER PLANNING BOARD COMMENTS	AJS
2	03/30/10	REVISED PER PLANNING BOARD COMMENTS	AJS
3	04/27/10	REVISED PER PLANNING BOARD COMMENTS	AJS
4	05/25/10	REVISED PER PLANNING BOARD COMMENTS	AJS
5	08/01/10	REVISED PER PLANNING BOARD COMMENTS	AJS
6	3/28/11	REVISED PER OWNER CHANGES	AJS
7	4/21/11	REVISED PER PLANNING BOARD COMMENTS	AJS
8	5/21/11	REVISED PER PLANNING BOARD COMMENTS	AJS
9	6/27/11	REVISED PER CONSULTANT COMMENTS	AJS
10	5/29/12	Amendment to Site Plan - Event Space Addition	AJS
11	6/26/12	REVISED PER PLANNING BOARD COMMENTS	AJS
12	12/24/12	REVISED PER OWNER CHANGES	AJS
13	1/29/13	REVISED PER PLANNING BOARD COMMENTS	AJS
14	2/26/13	REVISED PER PLANNING BOARD COMMENTS	AJS
15	4/30/13	REVISED PER PLANNING BOARD COMMENTS	AJS
16	2/27/18	Amendment to Site Plan - Mill Hotel Revision	AJS
17	8/28/18	REVISED PER PLANNING BOARD COMMENTS	AJS
18	9/25/18	REVISED PER PLANNING BOARD COMMENTS	AJS

RECOMMENDED FOR APPROVAL:

MAYOR OF THE CITY OF BEACON DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERRATA, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**39 Front Street - Beacon Lofts**

**Subject:**

Public hearing on application for Site Plan Approval in conjunction with an amended Special Use Permit Approval, Artist Live Work/Self Storage, 39 Front Street, submitted by Beacon Lofts & Storage

**Background:**

**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**234 Main Street**

**Subject:**

Public hearing on application for Site Plan Approval, 2<sup>nd</sup> Floor Addition, Retail/Office Use, 234 Main Street, submitted by 234 Main Street, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
234 Main Street Cover and Response Letter	Cover Memo/Letter
234 Main Street Project Narrative	Backup Material
234 Main Street DC Planning Referral Response	Backup Material
234 Main Street Inflow & Infiltration	Backup Material
234 Main Street Sheet 1 Site Plan	Plans
234 Main Street Sheet 2 Existing Conditions	Plans
234 Main Street Sheet 3 Floor Plans	Plans

**ARYEH SIEGEL**  
ARCHITECT

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John Gunn - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 234 Main Street**  
*Site Plan Application – Responses to Comments*

November 27, 2018

Dear Chairman Gunn and Members of the Planning Board,

Below please find our responses to the comments included in John Clarke Planning and Design's Memorandum, dated November 9, 2018; and Lanc & Tully's letter dated November 6, 2018 .

**John Clarke Planning and Design Comment Responses:**

1. The Site Plan now shows nearby adjacent buildings.
2. The Bulk Table has been corrected to show the maximum front setback as 10 feet. The reference to 150 foot depth has been removed.
3. The minimum landscaped area is represented in the Bulk Table. The existing grassed area in the rear portion of the alley satisfies the landscape requirement. The chain link fencing will be removed. The existing tree in the rear alley area appears to be on the property line.
4. The rear deck will be expanded to comply with the 25 foot rear setback requirement.
5. The parking analysis has been revised to reflect current CMS standards. The Building Inspector has confirmed the 1964 parking exemption applies to this project.
6. The front plane of the new façade will not project further, at any point, than the current face of building. The Board determined that the application does not need to be referred to the Architectural Review Subcommittee.

# ARYEH SIEGEL

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7. Since the 2<sup>nd</sup> floor office use is less than 2,500 sf, the space is not required to have an ADA accessible route to the 2<sup>nd</sup> floor. The side roof deck will be accessed for maintenance only, and the windows around the office area will be high, to protect privacy for the adjacent building. The Building Inspector reviewed the fire escape egress concept for the neighbor on the 2<sup>nd</sup> floor of the adjacent building, and he concluded that the proposed egress is safer than the current condition because it will lead to a fire escape route that leads safely to grade.

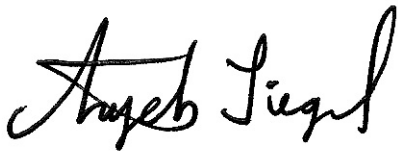
## **Lanc & Tully Comment Responses:**

### **Site Plan**

1. Hudson Land Design will prepare an I & I report, and a remediation plan in case any illegal connections between the storm water and sewer are found.
2. A project narrative is included with this submission.
3. The Building Inspector reviewed the fire escape egress concept for the neighbor on the 2<sup>nd</sup> floor of the adjacent building, and he concluded that the proposed egress is safer than the current condition because it will lead to a fire escape route that leads safely to grade.

Thank you. Please let me know if you have any questions.

Sincerely,



Aryeh Siegel  
*Aryeh Siegel, Architect*

## **Project Narrative**

**234 Main Street**

November 27, 2018

### **Summary**

234 Main Street is an existing one-story building. It is currently vacant, and formerly housed a pharmacy. The existing 1<sup>st</sup> floor will remain as a retail use. A second floor will be added above the existing 1<sup>st</sup> floor.

### **Proposed Use**

The 1<sup>st</sup> floor will remain retail. The new 2<sup>nd</sup> floor will be a 2,495 square foot office use for the building owner. Access to the 2<sup>nd</sup> floor will be through a new stair from Main Street. ADA access is not required because the area of the 2<sup>nd</sup> floor is less than 2,500 square feet.

### **Neighboring Building**

The existing 3 story adjacent building has windows on the 2<sup>nd</sup> floor. The project includes a courtyard around these windows which will be used to maintain light and air, as well as a new emergency escape route connected to the existing fire escape system. The 2<sup>nd</sup> floor addition will be designed to maximize privacy for the existing apartment with lot line windows.

### **Plumbing**

The 1<sup>st</sup> floor will retain its existing plumbing. There are two toilets, and a utility sink to remain. The new 2<sup>nd</sup> floor will have two new toilets with one fixture and one lavatory in each. The accessible toilet has a shower. There will be a sink in the kitchenette. Waste water will be connected to the existing plumbing, which is tied into the City sewer system. No expansion of the water supply is required. Water for the 2<sup>nd</sup> floor will be tied to the existing supply line, with a valve to separate the 1<sup>st</sup> and 2<sup>nd</sup> floor piping. The existing retail use, and the proposed office use on the 2<sup>nd</sup> floor do not require sprinklers, so no additional water lines are required for sprinkler use.

### **Storm Water**

Hudson Land Design will prepare an I & I report and specify new storm water connections for the new roof configuration after the addition of the 2<sup>nd</sup> floor.

# ARYEH SIEGEL

ARCHITECT

## Water & Waste Water

The existing building formerly contained a pharmacy on the bottom floor. The gross floor area is 3,245 sqft on the 1<sup>st</sup> floor, and 2,500 on the 2<sup>nd</sup> floor. The proposed use will consist of retail on the bottom floor, and office space on the proposed second floor. It is anticipated that there will be eleven (11) employees within the office space. For the purpose of proposed water and wastewater generation rates, fifteen (15) employees will be used for potential future expansion. The NYS Design Standards for Intermediate Sized Wastewater Treatment Systems (2014) handbook is used for calculating existing and proposed hydraulic loading rates. The following tables show a comparison of existing water and wastewater generation rates compared to proposed rates:

Existing water and wastewater quantities for the project are based on the following:

Flow Component	# of Units	Flow Rate per Unit - gallons per day (gpd)	Total Component Flow (gpd)
Pharmacy	3,245 sqft	0.1	325

**Total Flow with 20% reduction for Water Saving Fixtures: 260 gpd**

2018 water and wastewater quantities for the project are based on the following:

Flow Component	# of Units	Flow Rate per Unit - gallons per day (gpd)	Total Component Flow (gpd)
Retail	2,500	0.1	250
Office Space	15	15	225

Total Flow: 475 gpd

**Total Flow with 20% Reduction for Water Saving Fixtures: 380 gpd**



Aryeh Siegel  
*Aryeh Siegel, Architect*

REC'D 2018 NOV 15 AM 11:47 DCP

<b>Dutchess County Department of Planning and Development</b>	To _____	Date _____	# pgs _____
	Dept _____	From _____	
	Fax # _____	Phone # _____	

## 239 Planning/Zoning Referral - Exemption Communities

Municipality: City of Beacon

Referring Agency:  Planning Board     Zoning Board of Appeals     Municipal Board

Tax Parcel Number(s): 30-5954-27-869916-00

Project Name: 234 Main Street - Building Expansion

Applicant: 234 Main, LLC

Address of Property: 234 Main Street

Please fill in this section

<p style="text-align: center;"><b>Parcel(s) within 500 feet of:</b></p> <p><input type="checkbox"/> State Road _____</p> <p><input type="checkbox"/> County Road _____</p> <p><input type="checkbox"/> State Property (w/public building or recreation area)</p> <p><input checked="" type="checkbox"/> County Property (w/public building or recreation area)</p> <p><input type="checkbox"/> Municipal Boundary</p> <p><input type="checkbox"/> Farm operation in an Agricultural District</p>	<p style="text-align: center;"><b>Actions Requiring 239 Review</b></p> <p><input type="checkbox"/> Comprehensive/Master Plans</p> <p><input type="checkbox"/> Zoning Amendments (standards, uses, definitions, district regulations, etc.)</p> <p><input type="checkbox"/> Rezoning involving all map changes</p> <p><input type="checkbox"/> Other Local Laws associated with zoning (wetlands, historic preservation, affordable housing, architectural review, etc.)</p> <p><input checked="" type="checkbox"/> Site Plans (all)</p> <p><input type="checkbox"/> Special Permits for all non-residential uses</p> <p><input type="checkbox"/> Use Variances for all non-residential uses</p> <p><input type="checkbox"/> Area Variances for all non-residential uses</p>	<p style="text-align: center;"><b>Exempt Actions:<sup>+</sup></b> <b>239 Review is NOT Required</b></p> <ul style="list-style-type: none"> <li>• Administrative Amendments (fees, procedures, penalties, etc.)</li> <li>• Special Permits for residential uses (accessory apts, home occupations, etc.)</li> <li>• Use Variances for residential uses</li> <li>• Area Variances for residential uses</li> <li>• Renewals/Extension of Site Plans or Special Permits that have no changes from previous approvals</li> <li>• Subdivisions / Lot Line Adjustments</li> <li>• Interpretations</li> </ul> <p><input type="checkbox"/> Exempt Action submitted for informal review</p>
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Date Response Requested (if less than 30 days): November 14, 2018

If subject of a previous referral, please note County referral number(s): 2213-017

*\* These actions are only exempt in municipalities that signed an Intermunicipal agreement with Dutchess County to that effect.*

FOR COUNTY OFFICE USE ONLY

<b>Response from Dutchess County Department of Planning and Development</b>		
<p><b>No Comments:</b></p> <p><input checked="" type="checkbox"/> Matter of Local Concern</p> <p><input type="checkbox"/> No Jurisdiction</p> <p><input type="checkbox"/> No Authority</p> <p><input type="checkbox"/> Project Withdrawn</p> <p><input type="checkbox"/> Exempt from 239 Review</p>	<p><b>Comments Attached:</b></p> <p><input type="checkbox"/> Local Concern with Comments</p> <p><input type="checkbox"/> Conditional</p> <p><input type="checkbox"/> Denial</p> <p><input type="checkbox"/> Incomplete — <i>municipality must resubmit to County</i></p> <p><input type="checkbox"/> Incomplete with Comments — <i>municipality must resubmit to County</i></p> <p><input type="checkbox"/> Informal Comments Only (Action Exempt from 239 Review)</p>	
Date Submitted: <u>11/21/18</u>	Notes:	<input type="checkbox"/> Major Project
Date Received: <u>11/15/18</u>		
Date Requested: <u>11/14/18</u>		Referral #: <u>2218-357</u>
Date Required: <u>11/30/18</u>	<input type="checkbox"/> Also mailed hard copy	Reviewer: <u>Jennifer T. [Signature]</u>
Date Response Faxed: <u>11/14/18</u>		



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
13 Chambers Street, Newburgh, NY 12550  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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November 27, 2018

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 234 Main Street  
Site Plan and I&I Study  
Beacon, NY

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has been retained to perform an Inflow and Infiltration (I&I) study at the above reference project in response to Lanc & Tully's November 6, 2018 comment letter, and previous comment letters with regard to water & wastewater generation rates.

The existing building formerly contained a pharmacy on the bottom floor. The gross floor area is 3,245 sqft. The proposed use will consist of retail on the bottom floor, and office space on the proposed second floor. It is anticipated that there will be eleven (11) employees within the office space. For the purpose of proposed water and wastewater generation rates, fifteen (15) employees will be used for potential future expansion. The NYS Design Standards for Intermediate Sized Wastewater Treatment Systems (2014) handbook is used for calculating existing and proposed hydraulic loading rates. The following tables show a comparison of existing water and wastewater generation rates compared to proposed rates:

Existing water and wastewater quantities for the project are based on the following:

Flow Component	# of Units	Flow Rate per Unit - gallons per day (gpd)	Total Component Flow (gpd)
Pharmacy	3,245 sqft	0.1	324.5

**Total Flow with 20% reduction for Water Saving Fixtures:**

**259.6 gpd**



2018 water and wastewater quantities for the project are based on the following:

Flow Component	# of Units	Flow Rate per Unit - gallons per day (gpd)	Total Component Flow (gpd)
Retail	3,245	0.1	324.5
Office Space	15	15	225

Total Flow: 549.5 gpd

**Total Flow with 20% Reduction for Water Saving Fixtures: 439.6 gpd**

Based upon the water and wastewater generation rate calculations, the proposed use will result in a 109.9 gpd increase of water usage and wastewater generation.

A preliminary I&I study has been conducted on the exterior of the building. No roof leaders were visible on the exterior of the building during the investigation. There are also no drainage structures within the vicinity of the building along Main Street, or within the parking lot to the east of the building. Therefore, it is assumed that the roof leaders are internal. We have not been able to access the interior of the building but expect to be able to access the building in the next day or so. This office will follow up with a full I&I report after the interior inspection is completed.

We look forward to further discussing the project with you at your next available planning board meeting. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Michael A. Bodendorf, P.E.  
Principal

cc: Aryeh Siegel, AIA  
Daniel G. Koehler, P.E. (HLD File)

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**Bulk Zoning Regulations Table**

Zoning District	Required Setbacks			Proposed Setbacks			Lot Depth Required	Lot Depth Existing	Lot Width Required	Lot Width Existing	Minimum Building Frontage	Proposed Building Frontage	Allowable Building Height	Proposed Building Height	Minimum Landscape Area	Proposed Landscape Area	Lot Area
	Front	Side	Rear	Front	Side	Rear											
CMS (Central Main Street District)	0' min. 10' max.	0'	25'	4.2'-1'	0'	0.8' at 1st floor 25' at 2nd floor	75'	148'	N/A	27'	80%	80% <sup>1</sup>	38'	24'	10%	16%	3,940 SF

Notes:  
1. Existing Condition



**Location Map**  
Not to Scale



HUBBARDTON FORGE "HOOD" OUTDOOR DARK SKY COMPLIANT WALL SCONCE #306563. 15" HIGH X 6 1/2" WIDE. BURNISHED STEEL FINISH. 60 W INCANDESCENT LAMP

**L1: Wall Mounted**

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

**Zoning Summary**

Zoning District:	CMS (Central Main Street District)
Tax Map No.:	5954-27-869916
Lot Area:	0.09 Acres (3,940 SF)
Building Footprint:	3,745 Square Feet
Historical Overlay District:	No
Parking Overlay District:	Yes
Existing Use:	Retail
Proposed Use:	Retail / Office Space

**Parking & Loading**

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
<b>Mercantile (Retail)</b>				
1964 - 1 space per 200 SF of gross floor area excluding basement and utility areas	3,745 SF	19 spaces		
Present - 3 spaces per 1,000 SF of gross floor area			3,745 sf	4 spaces
<b>Office / Professional Use</b>				
Present - 2 spaces per 1,000 sf of floor area			2,500 SF	5 spaces
<b>Total Required Parking Spaces</b>		<b>19 spaces</b>		<b>9 spaces</b>
<b>Total Proposed Parking Spaces</b>				<b>0 spaces (Note 1)</b>

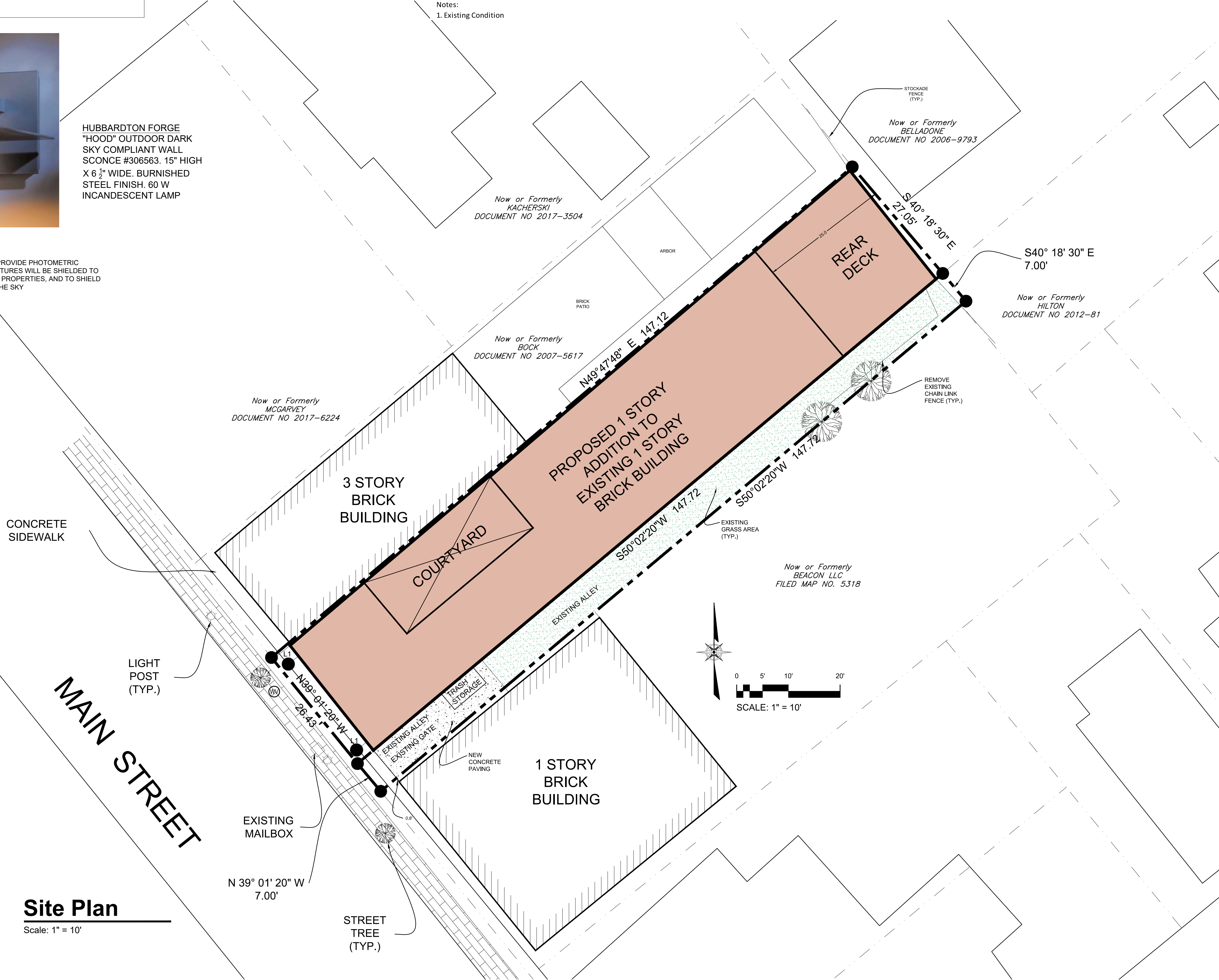
**Notes:**

- Parking is not required per Beacon Zoning Code Section 223-26 (B.2). The building was in existence on April 20, 1964. The existing use in 1964 was retail at the 1st floor per the 1964 Beacon Directory. The new use is less than 25% greater intensity than the use existing in 1964. 19 parking spaces would have been required in 1964 for the uses in existence at that time. 9 parking spaces are required for the current proposed uses.
- There is no space on the property to provide parking.
- Required landscaping of a minimum of 10% of the lot area is satisfied by the existing grass alley, which is 16% of the lot area. The Planning Board can waive the landscaping requirement for lots smaller than 5,000 sf. The subject property is 3,940 sf.
- There are public parking lots within 800' of the property.
  - Adjacent to 208 Main Street
  - Dutchess County Motor Vehicles
- Retail Hours of operation: 7am – 11pm, Monday through Sunday, inclusive
- Retail tenants will apply separately for permits for their own signage
- The Applicant hereby grants the City of Beacon Building Inspector access to the building and site to verify where roof leaders, and sump pumps, if any, drain to.

**Index of Drawings**

Sheet 1 of 3 Site Plan  
Sheet 2 of 3 Existing Conditions Survey  
Sheet 3 of 3 Floor Plans & Elevations

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	11/27/18	REVISED PER PLANNING BOARD COMMENTS	AJS



**Site Plan**

Scale: 1" = 10'

LEGEND	
---	PROPERTY LINE
SS	SANITARY SEWER LINE
ST	STORM SEWER LINE
---	FENCE
---	OVERHEAD WIRES
⊕	HYDRANT
⊕	GAS VALVE
⊕	WATER VALVE
⊕	ELECTRIC BOX
⊕	UNKNOWN MANHOLE
⊕	TELEPHONE MANHOLE
⊕	SANITARY SEWER MANHOLE
⊕	DRAINAGE MANHOLE
⊕	DROP INLET
⊕	LIGHT POLE
⊕	UTILITY POLE
⊕	MAIL BOX
---	GUY WIRE
---	SIGN
●	BOLLARD
○	IRON ROD FOUND
□	MONUMENT FOUND

- NOTES:
1. BEING THE SAME PARCEL AS DESCRIBED IN THE LIBER 1357 OF DEEDS, AT PAGE 365 AND SUBJECT TO RESTRICTIONS AND CONDITIONS THEREIN.
  2. TOGETHER WITH ANY RIGHT, TITLE OR INTEREST IN AND TO THE CENTER OF THE PUBLIC ROADS SHOWN HEREON.
  3. BEING LOT NO. \_\_\_ AS SHOWN ON FILED MAP NO. \_\_\_\_\_
  4. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
  5. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
  6. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSONS FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
  7. THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
  8. SUBSURFACE STRUCTURES AND UTILITIES WHICH WERE NOT VISIBLE AT THE TIME OF THE SURVEY HAVE NOT BEEN SHOWN.
  9. ©ALL RIGHTS RESERVED. COPYING OR REPRODUCTION OF THIS PLAN OR ANY PORTION THEREOF PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE DESIGN ENGINEER / SURVEYOR.

**FILED MAP REFERENCE**  
Map entitled "The Lands of 234 Main, LLC" prepared by Robert V. Oswald and filed in the Dutchess County Clerks office on (Date) as Map No. (2018.030)

**DATE OF SURVEY**  
Field Completion: March 29, 2018  
Robert V. Oswald Land Surveying  
175 Walsh Road  
Lagrangeville, New York 12540

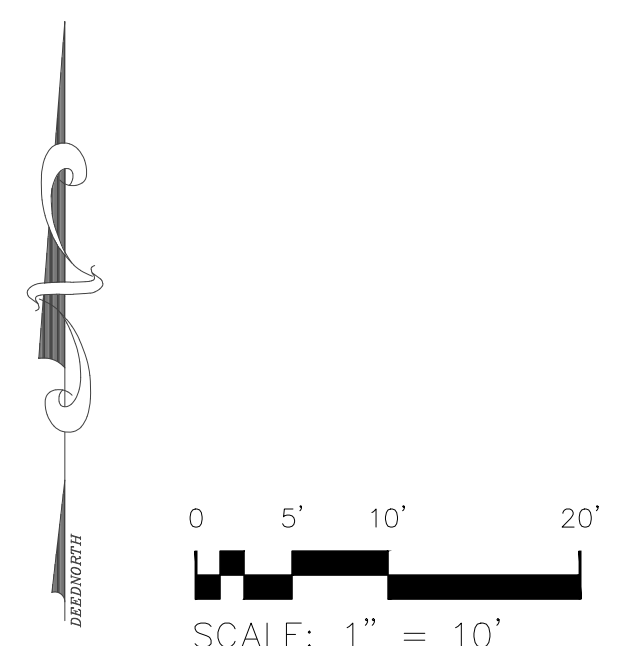
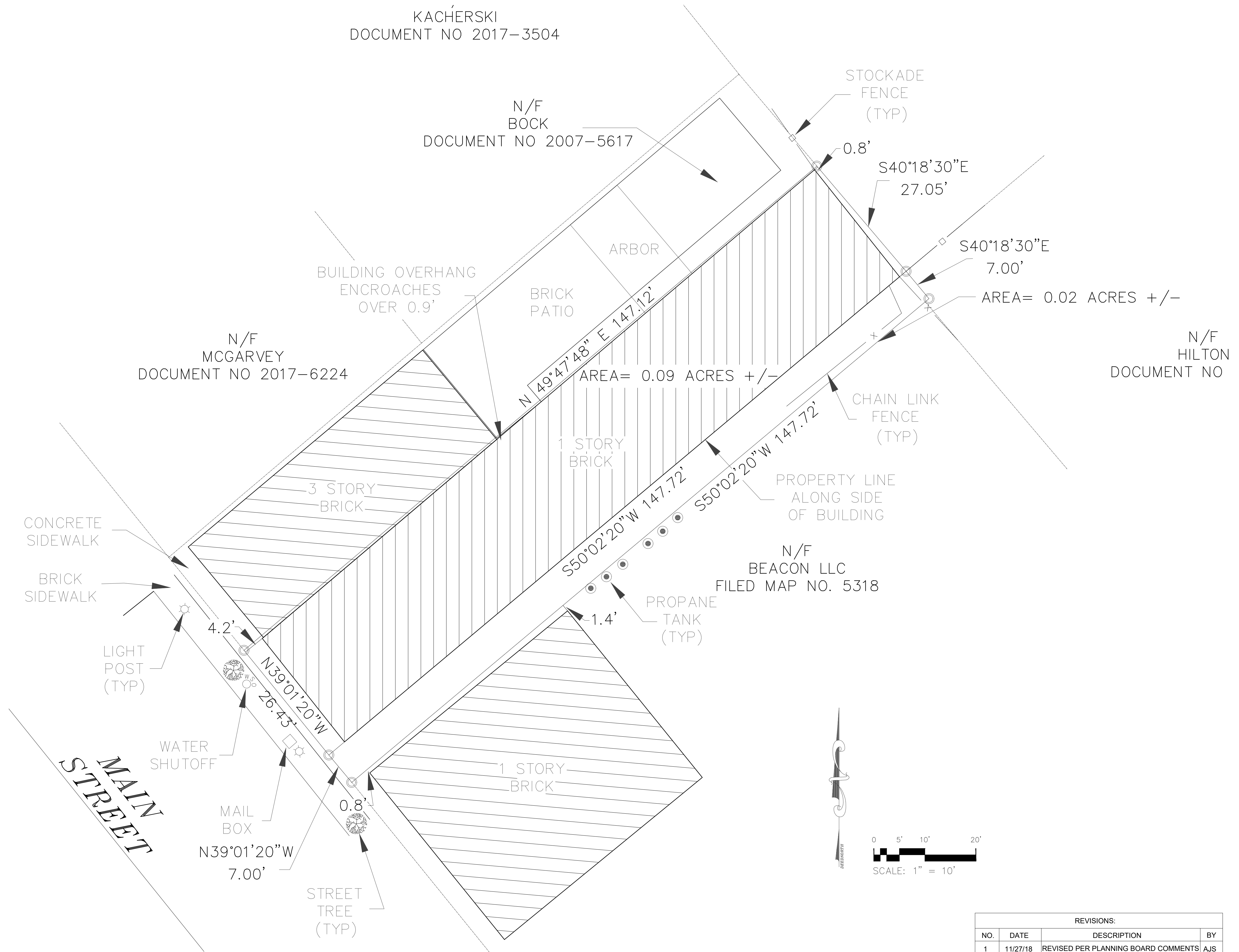
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	11/27/18	REVISED PER PLANNING BOARD COMMENTS	AJS

# Site Plan Application

## Sheet 2 of 3 - Existing Conditions Survey

Owner:  
**234 Main, LLC**  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Surveyor:  
**Robert V. Oswald Land Surveying**  
175 Walsh Road  
Lagrangeville, New York 12540

**234 Main Street**  
Beacon, New York  
Scale: 1" = 10'  
October 30, 2018

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_, CHAIRMAN

\_\_\_\_\_, SECRETARY  
 IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

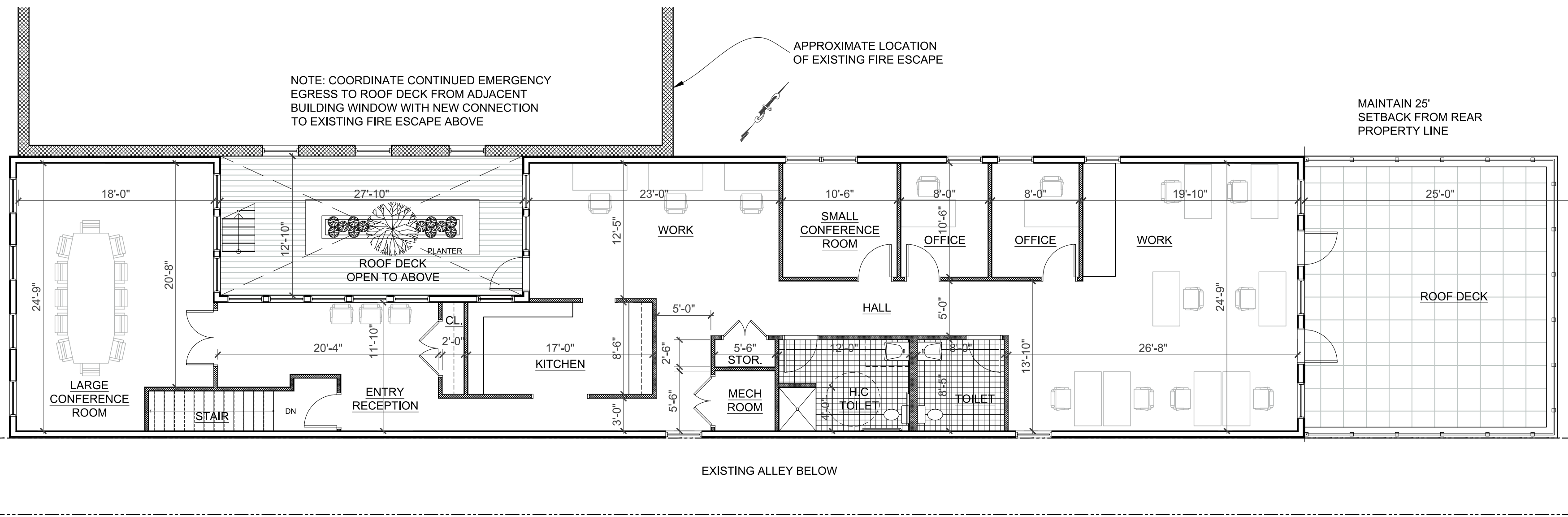


Existing Photos



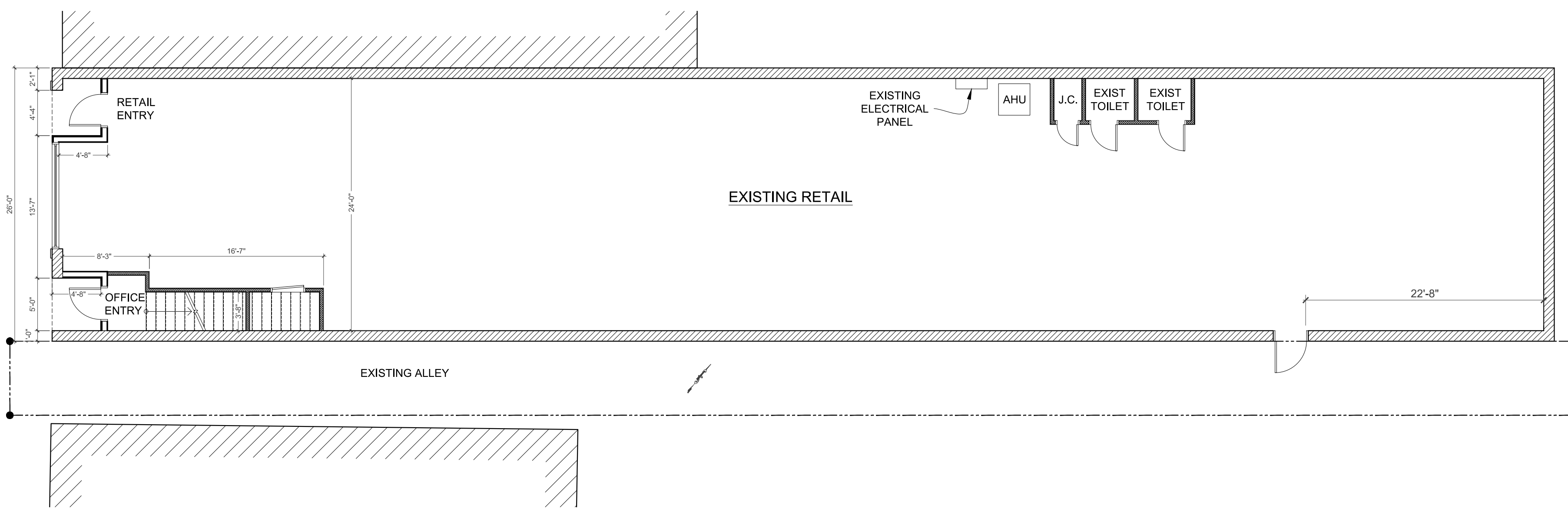
Elevation: Main Street

Scale: 1/4" = 1'-0"



2nd Floor Plan

Scale: 1/8" = 1'-0"



1st Floor Plan

Scale: 1/8" = 1'-0"



View



View

Site Plan Application  
 Sheet 3 of 3 - Floor Plans & Elevations

234 Main Street

Beacon, New York  
 Scale: As Noted  
 October 30, 2018

**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**Dennings Avenue**

**Subject:**

Continue review of application for Subdivision, 2-lot residential, submitted by Delaportas Enterprises I, Inc., Dennings Avenue

**Background:**

**ATTACHMENTS:**

Description	Type
Dennings Avenue Cover Response Letter	Cover Memo/Letter
Dennings Avenue DOH Approval Letter 11-17-18	Cover Memo/Letter
Dennings Avenue Drainage Letter Report 11-19-18	Cover Memo/Letter
Dennings Avenue Road Maintenance Agreement	Agreement
Dennings Avenue Subdivision	Plans
Previous Meeting Minutes	Backup Material

# ARDEN CONSULTING ENGINEERS, PLLC

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November 19, 2018

City of Beacon Planning Board  
Attn: John Gunn, Chairman  
1 Municipal Plaza  
Beacon, NY 12508

**Re: Proposed 2-lot Residential Subdivision**  
**SBL: 5954-50-687603**  
**Dellaportas Enterprises I**  
**Dennings Avenue**  
**City of Beacon, NY**

**Response to Comments**

Dear Mr. Gunn:

We have obtained Dutchess County Health Department waivers for water and sewer separation distances associated with the referenced project. We are now seeking to continue the two-lot subdivision process with the City of Beacon Planning Board.

Below you will find responses to the comments from Lanc & Tully's 1/7/16 letter as well as the Frederick P. Clark letter dated 1/8/16.

**Responses to Lanc & Tully Comment Letter dated January 7, 2016**

1. The water that is running through the existing swale is collected in a 24" HDPE and routed to the existing stormwater piping on Dennings Avenue. It should be noted that this water appears to have always flowed in this direction and entered the stormwater piping on Dennings. The source of the water appears to be a combination of site runoff, neighboring roof and footing drains as well as seasonal groundwater. This water has been effectively collected in the aforementioned 24" HDPE pipe for several years now and routed to the storm water piping on Dennings Avenue. The water has not impacted the existing residence on the site to date, and it does not appear that the proposed residence located to the southeast of the swale will have an impact. Regardless, it is proposed to construct a 10" diameter HDPE french drain to intercept any groundwater in the are behind the proposed dwelling on lot 2 and route it to the 24" HDPE inlet pipe located behind the dwelling on lot 1.
2. A drainage study has been prepared and attached under cover of this letter. It is my understanding that the Contractor did not size the 24" HDPE pipe that was installed. The drainage study used a 25-year storm event which is typical for sizing drainage conveyance structures similar to this. The results of the HydroCAD model indicate the existing 24" HDPE pipe has adequate capacity to convey this flow to the 18" HDPE pipe. The 18" HDPE pipe appears to also be adequately sized for a 25-year storm event.

3. The locations of roof and footing drains have been shown on the revised plans. All of the roof and footing drains that were located have been plugged or re-routed and no longer drain onto the subject parcel.
4. The existing utilities along with material and size that service the existing dwelling on lot 1 have been shown.
5. An excavator exposed the area in question regarding the 24" HDPE pipe and the project surveyor mapped the location now shown on the plans.
6. The invert of the 24" drainage pipe at the rear of the parcel is now shown on the plans.
7. All utilities within Dennings Avenue have been shown on the plan with their respective pipe size and material.
8. The Grading & Utility plan has been increased to a scale of 1"=20'.
9. All existing and proposed utilities have been shown within the 25' wide strip along with the proposed easement. The project was reviewed by the Dutchess County Health Department (DCHD) and waivers were granted for the water and sewer separation distances currently shown. A copy of the DOH letter is attached.
10. The grading behind the proposed residence on lot 2 has been revised to provide a useable rear yard while also directing stormwater runoff away from the residence. Note 21 has been added to sheet one stating a geotechnical engineer shall design the retaining wall prior to issuance of a building permit.
11. The grading has been revised to account for all consecutive contours.
12. The project was reviewed by the Dutchess County Health Department and waivers were granted for the water and sewer separation distances currently shown.
13. The plan has been revised to depict a common driveway with a minimum width of 16'. A minimum width of 12' has been shown for lot 2 where the driveway branches off.
14. Existing and proposed easements have been shown on the subdivision plat on sheet 1. A copy of the operation and maintenance agreement for the common driveway is also included in this submission for review.
15. The proposed subdivision line now runs along the centerline of the common driveway to the point where each driveway branches off.
16. The location of the "parking area" for lot 2 is intended to be a driveway turnaround for the proposed garage. The parking area is greater than 5 feet from the side lot line.
17. The LSE has been provided and approved by the DCHD.

18. The comment is duly noted. We will address the maintenance agreement concern once feedback is obtained from the Planning Board.
19. An inlet protection detail has been placed on sheet 3 for catch basin protection during construction. A hay bale silt barrier detail has been added to the plan on sheet 3 for protection of the 24" HDPE pipe inlet.
20. The project was reviewed by the Dutchess County Health Department and waivers were granted for the water and sewer separation distances currently shown with associated construction details.
21. The comment is duly noted. We will address any fence concerns once feedback is obtained from the Planning Board.

**Responses to Frederick P. Clark Comment Letter dated January 8, 2016**

1. Comment duly noted.
2. We have attempted to show all existing features on the site. The vegetation on the site has been largely removed.
3. Setbacks are now labeled on the plat.
4. Sight distance lines are now shown on the plat.
5. An easement is now provided for the proposed common driveway, and an easement maintenance agreement is also provided for review and approval. An equal amount of road frontage is now provided for each lot.

Please place us on the next available Planning Board agenda to discuss this matter further.

Do not hesitate to contact us if there are any questions or concerns.

Sincerely,

Arden Consulting Engineers, PLLC



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Michael A. Morgante, P.E.

C:\JOBS\14-006 Dellaportas\PB Response Letter 3-23-18.doc





**COUNTY OF DUTCHESS**  
DEPARTMENT OF BEHAVIORAL AND COMMUNITY HEALTH  
DIVISION OF ENVIRONMENTAL HEALTH SERVICES

March 13, 2018

Michael A. Morgante, P.E.  
Arden Consulting Engineers, PLLC  
P.O. Box 340  
Monroe, NY 10950

Re: Dellaportas 2 Lot Subdivision  
Tax Id No.: 30-5954-50-687603  
City of Beacon

Dear Mr. Morgante:

On February 20, 2018, this Department received the plans and/or reports you re-submitted for approval of the above referenced project. I have reviewed the submission and offer the following comments:

- The application, plans and report are ready for approval by this Department. Following City/Town approval, please submit a mylar and a bond plan set for final sign off.
- Note: If the City/Town approval process requires any changes, include a signed and sealed letter documenting all changes.

Should you have any questions regarding the above, please feel free to contact me at 486-3404.

Very truly yours,

Ronald D. Miller, P.E.  
Senior Public Health Engineer  
Environmental Health Services

cc: File 47339

# ARDEN CONSULTING ENGINEERS, PLLC

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November 19, 2018

Mr. Jay Sheers  
Planning Board Chairman  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

**Re: Dellaportas Enterprises I Subdivision  
Dennings Avenue - City of Beacon  
Tax Map No. 5954-50-687603**

## *Drainage Study*

Dear Mr. Sheers:

Arden Consulting Engineers, PLLC is submitting this Drainage Study letter report regarding the referenced project in response to comment #2 & #3 in the review letter prepared by Lanc & Tully, P.C. dated 1/7/16.

The purpose of the study is to quantify the runoff within the watershed and whether the catch basins and piping that have been previously installed have adequate capacity to convey this runoff. The following paragraphs provide a summary of the drainage study while the hydrologic model attached to this letter provides supporting calculations.

### **Watershed Boundary**

The watershed boundary was determined using Dutchess County GIS information as shown in the attached Drainage Subcatchment map. South Avenue to the east, changes in topography to the north and south and the entrance to the subject parcel form the 2.7 acre watershed boundary. The existing catch basins create three different sub catchments as shown in the attached Drainage Analysis Map. Separate Time of Concentrations (Tc) were calculated for each watershed in order to develop a hydrologic model.

### **HydroCad Model**

A HydroCad model of the watershed was created to quantify the runoff and determine flow through the piping and catch basins using the SCS TR-20 method. The site is characterized by a westerly sloping topography that ranges from elevation 100.0 at the rear of the property to elevation 50.0 by Dennings Avenue.

A majority of the soils within the watershed consist of the Dutchess-Cardigan (DwB) complex, which are classified as hydrologic group C soil. A small portion of the soils on the far eastern portion of the site consist of Hudson and Vergennes soils (HvD) which are classified as hydrologic group B soil.

Northeast Regional Climate Center data for a Type III, 25-year storm event with a runoff depth of 5-inches was utilized in the analysis. It is typical to use a 25-year storm to

P.O. Box 340 ♦ Monroe, N.Y. ♦ 10949  
Tel: 845-782-8114 ♦ [www.ardenconsulting.net](http://www.ardenconsulting.net)

determine the stormwater runoff for this type of drainage system constructed on a residential parcel with a watershed of this size.

During a previous site visit on April 2, 2014 by Mr. John Russo, P.E., it was noted that the eastern portion of the site was wet and water was observed percolating out of the ground. To recreate the various site conditions in the HydroCad model, the Antecedent Moisture Content (AMC) was set to 2 for normal conditions, 3 for very wet site conditions, and 4 for saturated or frozen conditions. Table 1 Below summarizes the runoff for the various AMC conditions.

**Table 1**  
**AMC Runoff Conditions for a Type III, 25 Year Storm**

Antecedent Moisture Content	Runoff (cfs)
2	6.34
3	8.94
4	10.04

The results of the HydroCad model show that the existing drainage system is adequate to convey the runoff from a Type III, 25-year storm event under the various AMC conditions.

Please do not hesitate to contact us if you have any questions or concerns.

Sincerely,

Arden Consulting Engineers, PLLC



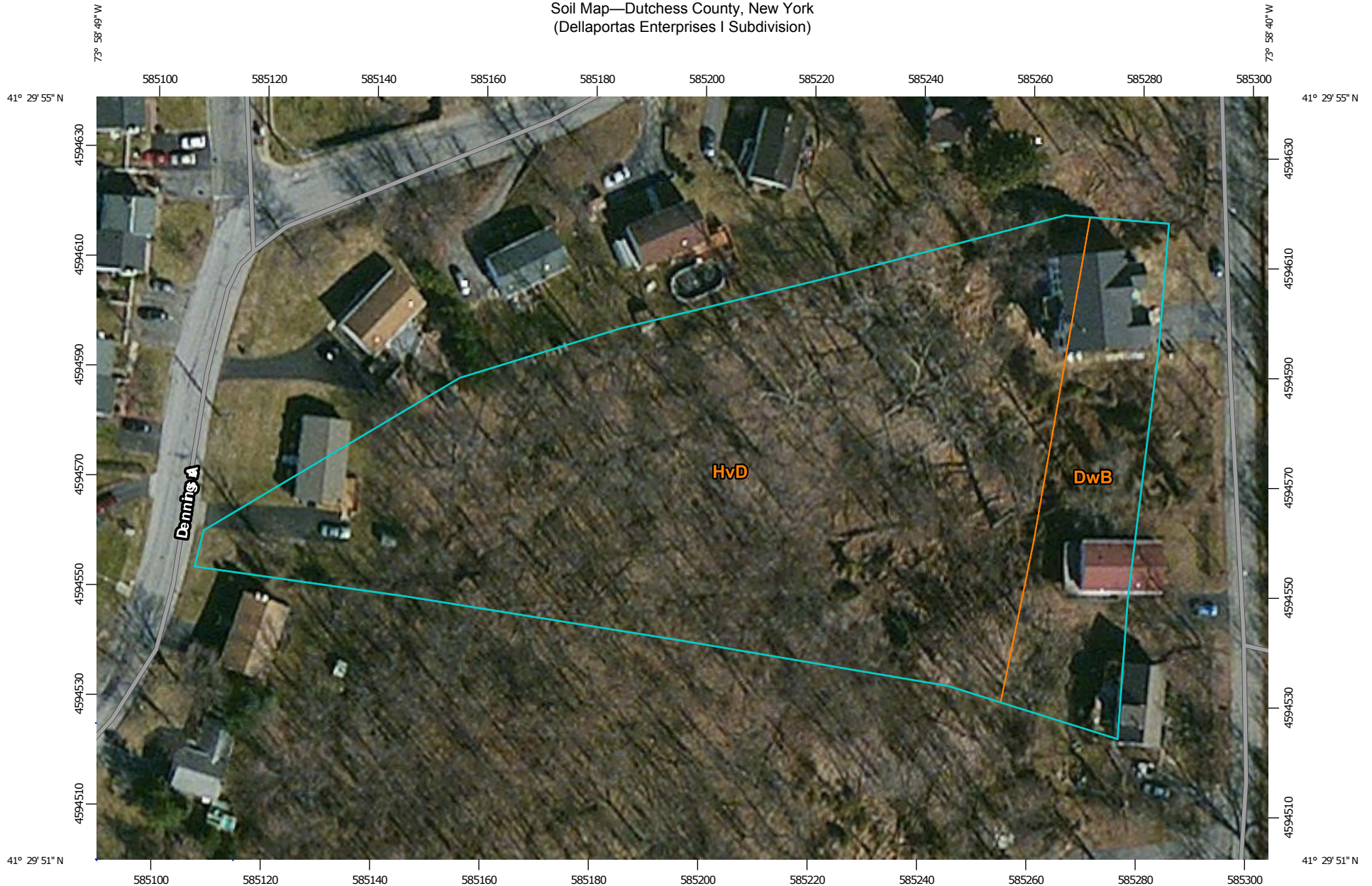
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Michael A. Morgante, P.E.

C:\JOBS\14-006 Dellaportas\Drainage\Drainage Letter Report 1-14-16.doc

Cc: John Russo, P.E.  
Tim Dexter, Building Inspector

Soil Map—Dutchess County, New York  
(Dellaportas Enterprises I Subdivision)

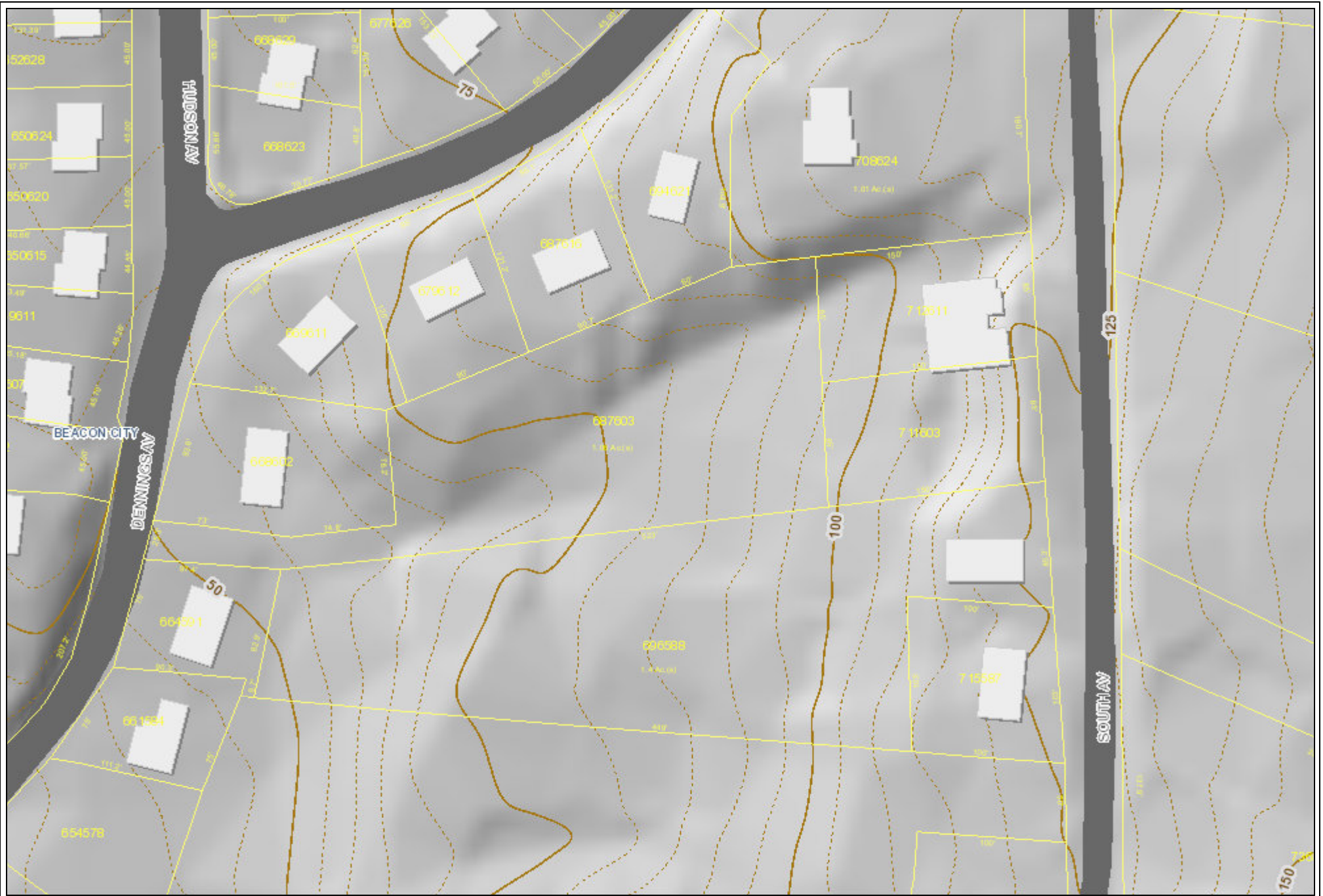


Map Scale: 1:979 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84





Dutchess County  
New York

# Drainage Subcatchment

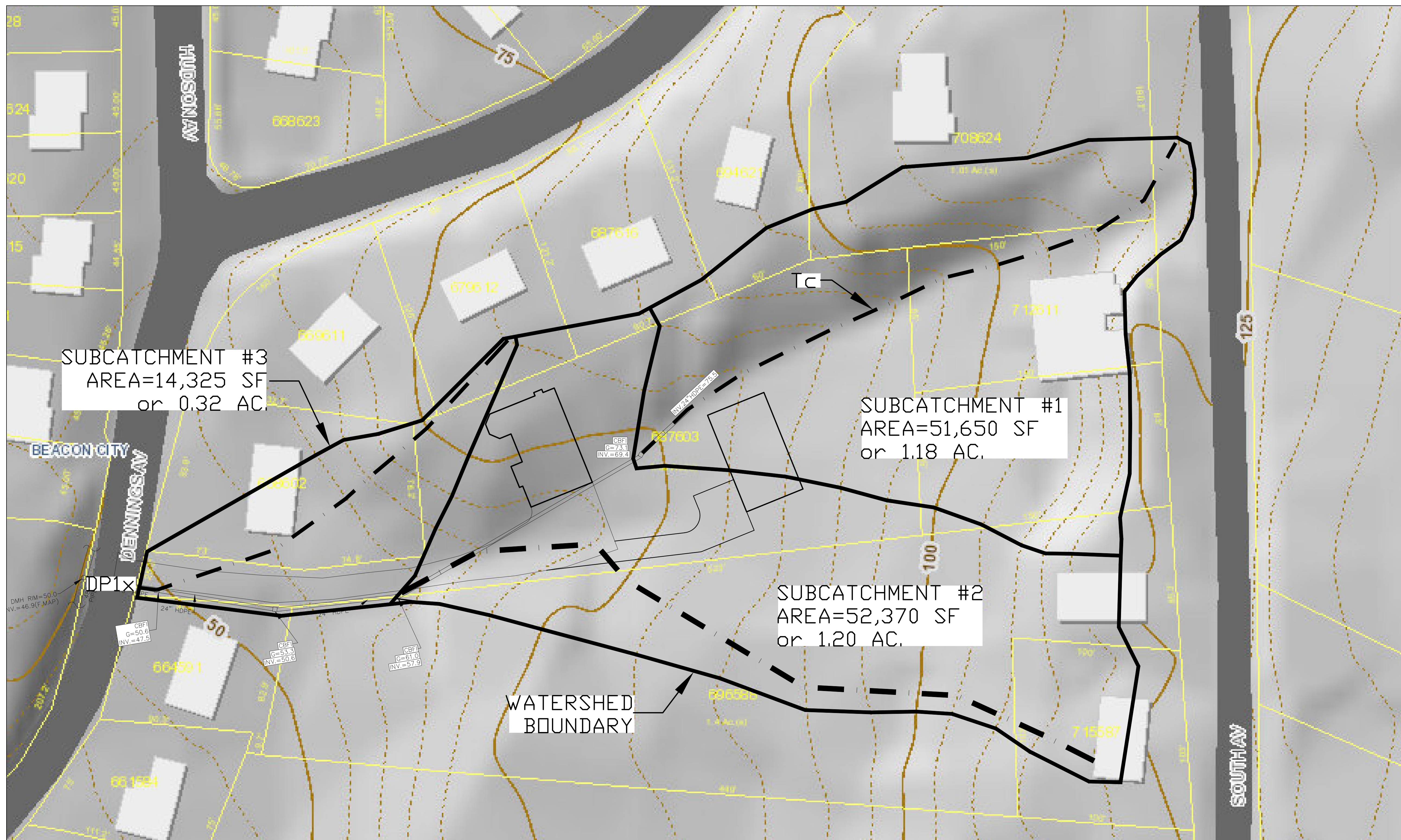
## Dellaportas Enterprises I Subdivision

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Parcel Access  
Internet

1/13/2016



SUBCATCHMENT #3  
 AREA=14,325 SF  
 or 0.32 AC

SUBCATCHMENT #1  
 AREA=51,650 SF  
 or 1.18 AC

SUBCATCHMENT #2  
 AREA=52,370 SF  
 or 1.20 AC

WATERSHED  
 BOUNDARY

**DRAINAGE ANALYSIS**  
 SCALE: 1"=30'



Dig Safely. New York  
**Call 811**  
 before you dig

REVISION	BY	DATE	DESCRIPTION

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

**ARDEN CONSULTING ENGINEERS, PLLC**  
 P.O. BOX 340 MONROE, N.Y.  
 TEL: (845) 782-8114 FAX: (845) 238-3527  
 WWW.ARDENCONSULTING.NET

2-LOT SUBDIVISION FOR  
**DELLAPORTAS ENTERPRISES I**  
 CITY OF BEACON  
 COUNTY OF DUTCHESS, NEW YORK

**DRAINAGE ANALYSIS MAP**

JOB#: 14-006  
 SCALE: AS NOTED  
 DATE: 1-14-16  
 DRAWN: MM  
 CHECKED: MM  
 SHEET NO. 1 of 1


MICHAEL A. MORGANTE, P.E.  
 LIC. NO. 78577

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

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## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Dutchess County, New York  
Survey Area Data: Version 12, Sep 23, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

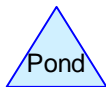
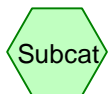
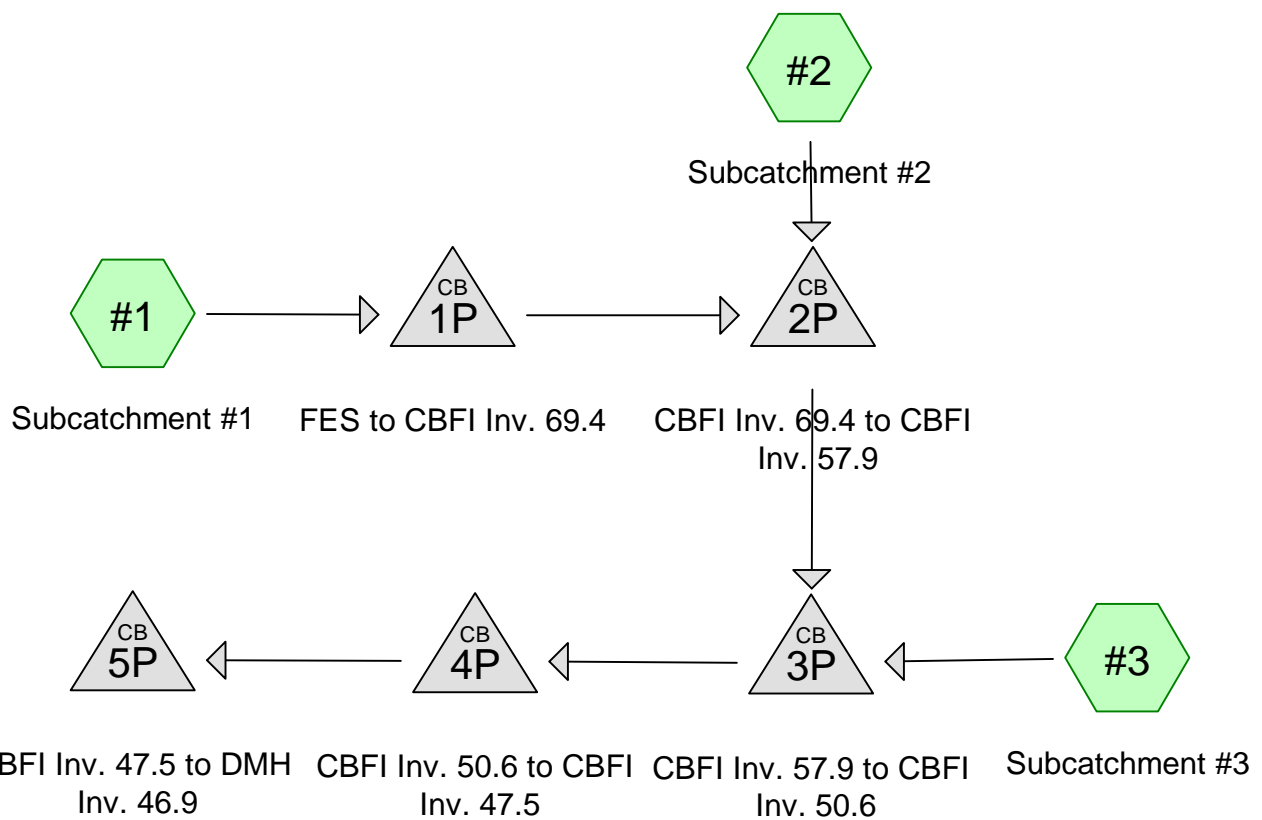
Date(s) aerial images were photographed: Mar 26, 2011—Apr 16, 2012

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Dutchess County, New York (NY027)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
DwB	Dutchess-Cardigan complex, undulating, rocky	0.4	16.8%
HvD	Hudson and Vergennes soils, hilly	2.0	83.2%
<b>Totals for Area of Interest</b>		<b>2.4</b>	<b>100.0%</b>





**Routing Diagram for Dennings Drainage 1-13-16**  
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## Dennings Drainage 1-13-16

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### Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
1.922	74	>75% Grass cover, Good, HSG C (#1, #2, #3)
0.319	98	Paved parking, HSG C (#1, #2, #3)
<b>2.241</b>	<b>77</b>	<b>TOTAL AREA</b>

# Dennings Drainage 1-13-16

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## Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
2.241	HSG C	#1, #2, #3
0.000	HSG D	
0.000	Other	
<b>2.241</b>		<b>TOTAL AREA</b>

# Dennings Drainage 1-13-16

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Page 4

## Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	1.922	0.000	0.000	1.922	>75% Grass cover, Good	#1, #2, #3
0.000	0.000	0.319	0.000	0.000	0.319	Paved parking	#1, #2, #3
<b>0.000</b>	<b>0.000</b>	<b>2.241</b>	<b>0.000</b>	<b>0.000</b>	<b>2.241</b>	<b>TOTAL AREA</b>	

# Dennings Drainage 1-13-16

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## Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Diam/Width (inches)	Height (inches)	Inside-Fill (inches)
1	#1	0.00	0.00	30.0	0.2000	0.013	24.0	0.0	0.0
2	1P	75.50	69.40	30.0	0.2033	0.013	24.0	0.0	0.0
3	2P	69.40	57.90	160.0	0.0719	0.013	24.0	0.0	0.0
4	3P	57.90	50.60	70.0	0.1043	0.013	24.0	0.0	0.0
5	4P	50.60	47.50	67.0	0.0463	0.013	24.0	0.0	0.0
6	5P	47.50	46.90	41.0	0.0146	0.013	18.0	0.0	0.0

**Dennings Drainage 1-13-16**

Type III 24-hr 25 Year Rainfall=5.00", AMC=4

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Time span=1.00-24.00 hrs, dt=0.01 hrs, 2301 points  
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment #1: Subcatchment #1** Runoff Area=51,401 sf 8.95% Impervious Runoff Depth>4.76"  
Flow Length=370' Tc=6.6 min AMC Adjusted CN=98 Runoff=5.66 cfs 0.468 af

**Subcatchment #2: Subcatchment #2** Runoff Area=32,272 sf 21.38% Impervious Runoff Depth>4.76"  
Flow Length=440' Tc=9.7 min AMC Adjusted CN=98 Runoff=3.21 cfs 0.294 af

**Subcatchment #3: Subcatchment #3** Runoff Area=13,939 sf 17.22% Impervious Runoff Depth>4.76"  
Flow Length=260' Tc=9.7 min AMC Adjusted CN=98 Runoff=1.39 cfs 0.127 af

**Pond 1P: FES to CBFI Inv. 69.4** Peak Elev=76.53' Inflow=5.66 cfs 0.468 af  
24.0" Round Culvert n=0.013 L=30.0' S=0.2033 '/ Outflow=5.66 cfs 0.468 af

**Pond 2P: CBFI Inv. 69.4 to CBFI Inv. 57.9** Peak Elev=70.73' Inflow=8.70 cfs 0.762 af  
24.0" Round Culvert n=0.013 L=160.0' S=0.0719 '/ Outflow=8.70 cfs 0.762 af

**Pond 3P: CBFI Inv. 57.9 to CBFI Inv. 50.6** Peak Elev=59.35' Inflow=10.04 cfs 0.888 af  
24.0" Round Culvert n=0.013 L=70.0' S=0.1043 '/ Outflow=10.04 cfs 0.888 af

**Pond 4P: CBFI Inv. 50.6 to CBFI Inv. 47.5** Peak Elev=52.05' Inflow=10.04 cfs 0.888 af  
24.0" Round Culvert n=0.013 L=67.0' S=0.0463 '/ Outflow=10.04 cfs 0.888 af

**Pond 5P: CBFI Inv. 47.5 to DMH Inv. 46.9** Peak Elev=49.64' Inflow=10.04 cfs 0.888 af  
18.0" Round Culvert n=0.013 L=41.0' S=0.0146 '/ Outflow=10.04 cfs 0.888 af

**Total Runoff Area = 2.241 ac Runoff Volume = 0.888 af Average Runoff Depth = 4.76"**  
**85.76% Pervious = 1.922 ac 14.24% Impervious = 0.319 ac**

**Dennings Drainage 1-13-16**

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Type III 24-hr 25 Year Rainfall=5.00", AMC=4

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**Summary for Subcatchment #1: Subcatchment #1**

Runoff = 5.66 cfs @ 12.09 hrs, Volume= 0.468 af, Depth> 4.76"

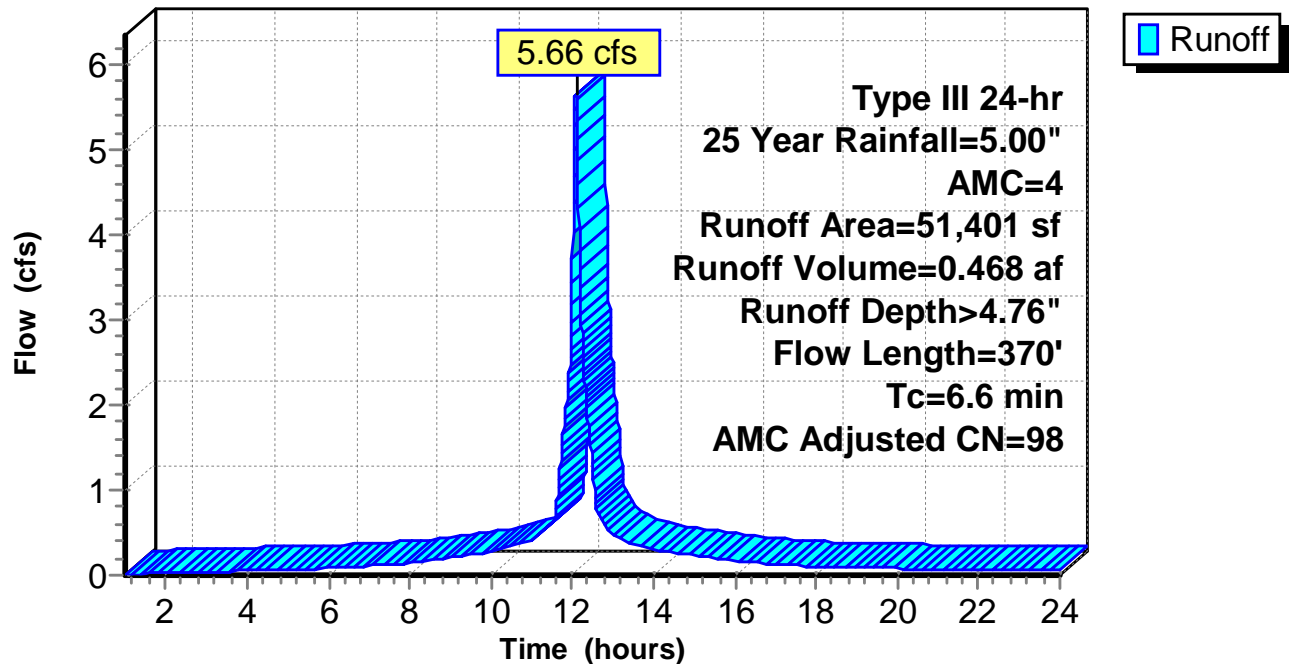
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-24.00 hrs, dt= 0.01 hrs  
 Type III 24-hr 25 Year Rainfall=5.00", AMC=4

Area (sf)	CN	Adj	Description
46,801	74		>75% Grass cover, Good, HSG C
4,600	98		Paved parking, HSG C
51,401	76	98	Weighted Average, AMC Adjusted
46,801			91.05% Pervious Area
4,600			8.95% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.7	50	0.0670	0.22		<b>Sheet Flow, Sheet Flow</b> Grass: Short n= 0.150 P2= 2.75"
2.9	290	0.0550	1.64		<b>Shallow Concentrated Flow, Shallow Flow from Edge of South Ave. t</b> Short Grass Pasture Kv= 7.0 fps
0.0	30	0.2000	32.20	101.17	<b>Pipe Channel, PIPE FLOW TO CBF1 INV. 75.5</b> 24.0" Round Area= 3.1 sf Perim= 6.3' r= 0.50' n= 0.013
6.6	370	Total			

**Subcatchment #1: Subcatchment #1**

**Hydrograph**



**Summary for Subcatchment #2: Subcatchment #2**

Runoff = 3.21 cfs @ 12.13 hrs, Volume= 0.294 af, Depth> 4.76"

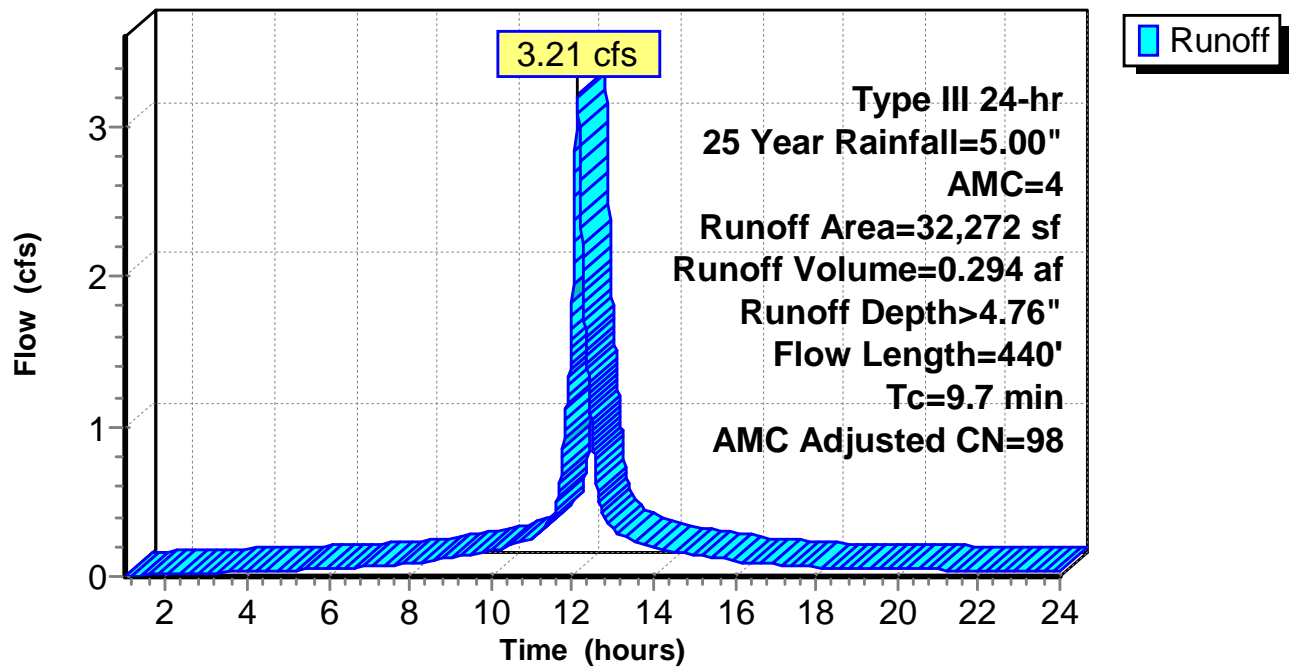
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-24.00 hrs, dt= 0.01 hrs  
 Type III 24-hr 25 Year Rainfall=5.00", AMC=4

Area (sf)	CN	Adj	Description
25,372	74		>75% Grass cover, Good, HSG C
6,900	98		Paved parking, HSG C
32,272	79	98	Weighted Average, AMC Adjusted
25,372			78.62% Pervious Area
6,900			21.38% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.1	100	0.0800	0.27		<b>Sheet Flow, SHEET FLOW</b> Grass: Short n= 0.150 P2= 2.75"
3.6	340	0.0500	1.57		<b>Shallow Concentrated Flow, SHALLOW FLOW TO CBF1 INV. 57.9</b> Short Grass Pasture Kv= 7.0 fps
9.7	440	Total			

**Subcatchment #2: Subcatchment #2**

**Hydrograph**





**Dennings Drainage 1-13-16**

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Type III 24-hr 25 Year Rainfall=5.00", AMC=4

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**Summary for Subcatchment #3: Subcatchment #3**

Runoff = 1.39 cfs @ 12.13 hrs, Volume= 0.127 af, Depth> 4.76"

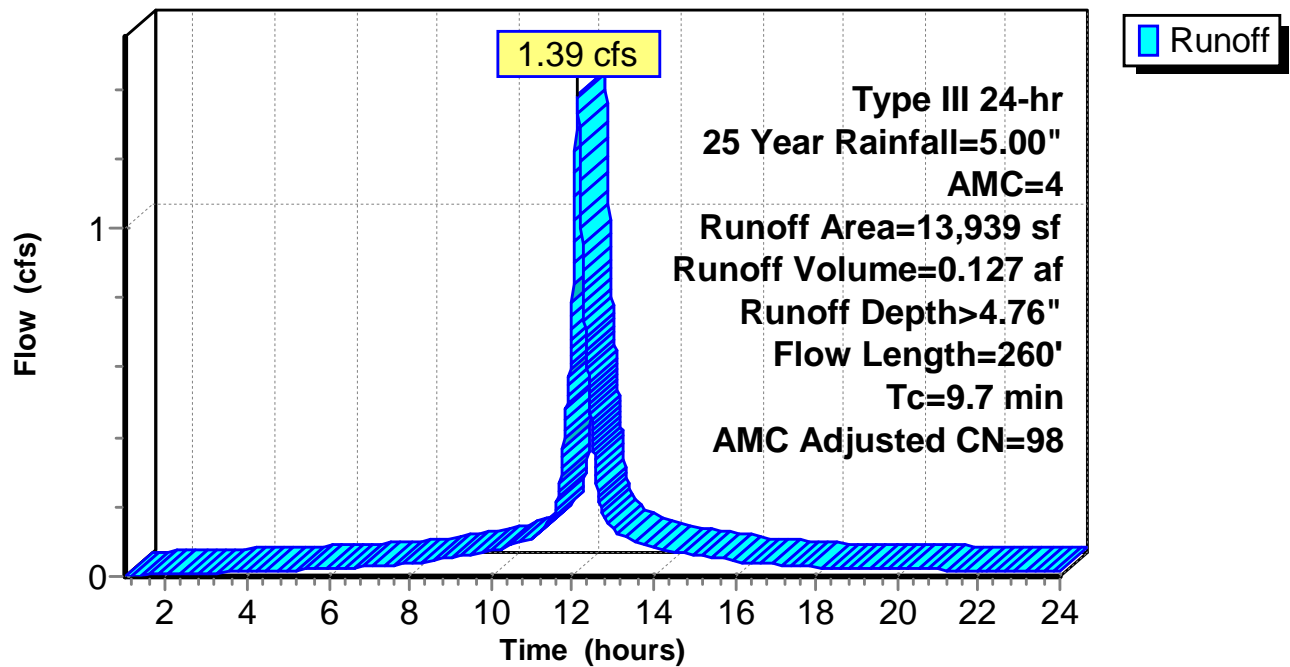
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-24.00 hrs, dt= 0.01 hrs  
 Type III 24-hr 25 Year Rainfall=5.00", AMC=4

Area (sf)	CN	Adj	Description
11,539	74		>75% Grass cover, Good, HSG C
2,400	98		Paved parking, HSG C
13,939	78	98	Weighted Average, AMC Adjusted
11,539			82.78% Pervious Area
2,400			17.22% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.0	100	0.0400	0.21		<b>Sheet Flow, SHEET FLOW</b>
					Grass: Short n= 0.150 P2= 2.75"
1.7	160	0.0500	1.57		<b>Shallow Concentrated Flow, SHALLOW FLOW TO CBF1 INV. 47.5 (DP</b>
					Short Grass Pasture Kv= 7.0 fps
9.7	260	Total			

**Subcatchment #3: Subcatchment #3**

**Hydrograph**



**Summary for Pond 1P: FES to CBF Inv. 69.4**

Inflow Area = 1.180 ac, 8.95% Impervious, Inflow Depth > 4.76" for 25 Year event  
 Inflow = 5.66 cfs @ 12.09 hrs, Volume= 0.468 af  
 Outflow = 5.66 cfs @ 12.09 hrs, Volume= 0.468 af, Atten= 0%, Lag= 0.0 min  
 Primary = 5.66 cfs @ 12.09 hrs, Volume= 0.468 af

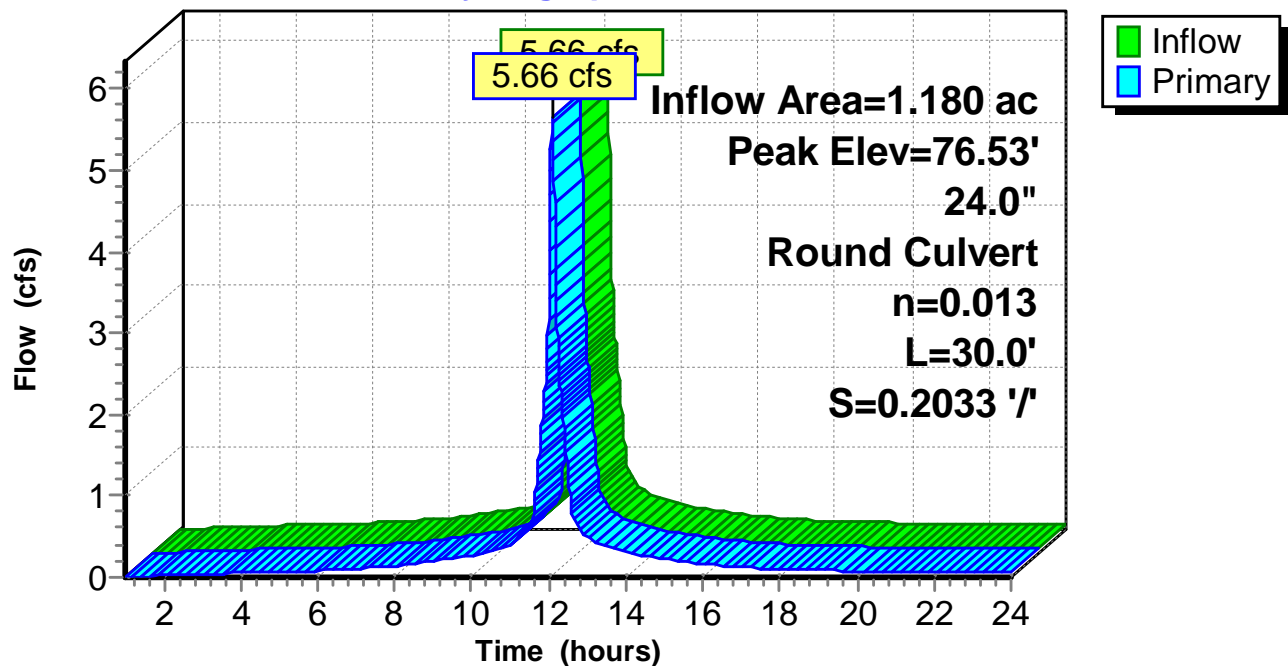
Routing by Dyn-Stor-Ind method, Time Span= 1.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 76.53' @ 12.09 hrs  
 Flood Elev= 77.50'

Device #1	Routing Primary	Invert 75.50'	Outlet Devices
			<b>24.0" Round Culvert</b> L= 30.0' CPP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 75.50' / 69.40' S= 0.2033 '/ Cc= 0.900 n= 0.013, Flow Area= 3.14 sf

**Primary OutFlow** Max=5.65 cfs @ 12.09 hrs HW=76.53' TW=70.72' (Dynamic Tailwater)  
 ↑ **1=Culvert** (Inlet Controls 5.65 cfs @ 3.46 fps)

**Pond 1P: FES to CBF Inv. 69.4**

**Hydrograph**



**Summary for Pond 2P: CBF1 Inv. 69.4 to CBF1 Inv. 57.9**

Inflow Area = 1.921 ac, 13.74% Impervious, Inflow Depth > 4.76" for 25 Year event  
 Inflow = 8.70 cfs @ 12.10 hrs, Volume= 0.762 af  
 Outflow = 8.70 cfs @ 12.10 hrs, Volume= 0.762 af, Atten= 0%, Lag= 0.0 min  
 Primary = 8.70 cfs @ 12.10 hrs, Volume= 0.762 af

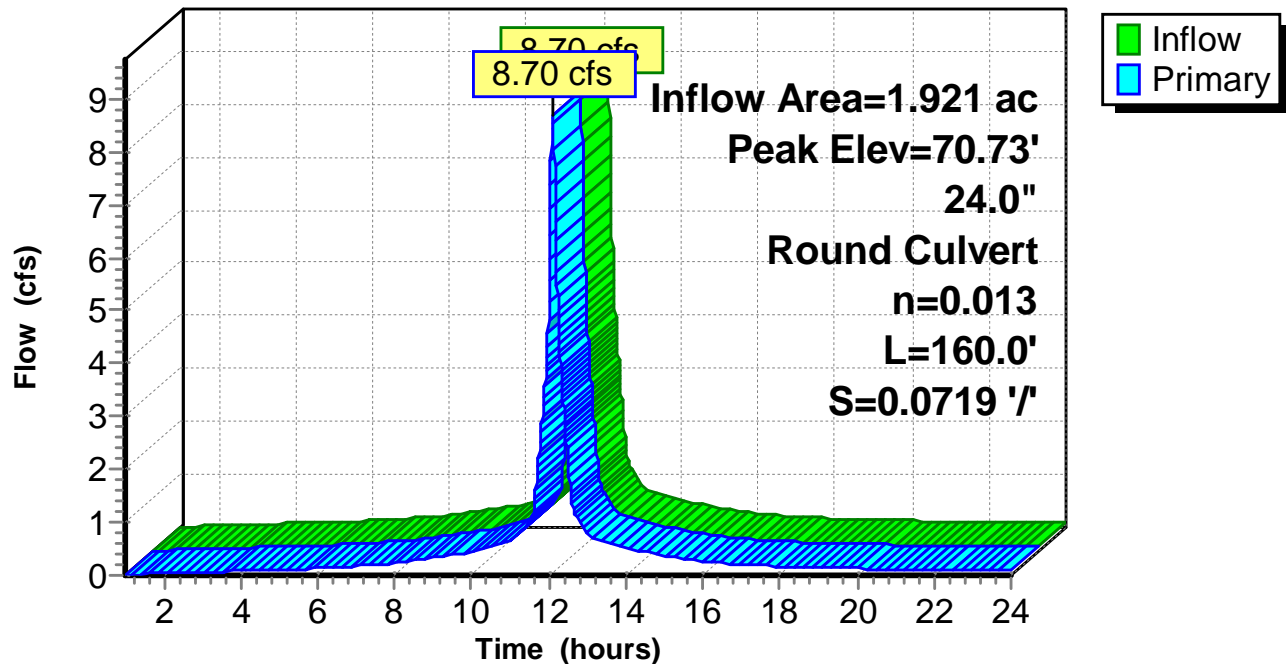
Routing by Dyn-Stor-Ind method, Time Span= 1.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 70.73' @ 12.10 hrs  
 Flood Elev= 73.10'

Device #1	Routing	Invert	Outlet Devices
	Primary	69.40'	<b>24.0" Round Culvert</b> L= 160.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 69.40' / 57.90' S= 0.0719 '/' Cc= 0.900 n= 0.013, Flow Area= 3.14 sf

**Primary OutFlow** Max=8.69 cfs @ 12.10 hrs HW=70.73' TW=59.35' (Dynamic Tailwater)  
 ↑1=Culvert (Inlet Controls 8.69 cfs @ 3.92 fps)

**Pond 2P: CBF1 Inv. 69.4 to CBF1 Inv. 57.9**

**Hydrograph**



**Summary for Pond 3P: CBF1 Inv. 57.9 to CBF1 Inv. 50.6**

Inflow Area = 2.241 ac, 14.24% Impervious, Inflow Depth > 4.76" for 25 Year event  
 Inflow = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af  
 Outflow = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af, Atten= 0%, Lag= 0.0 min  
 Primary = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af

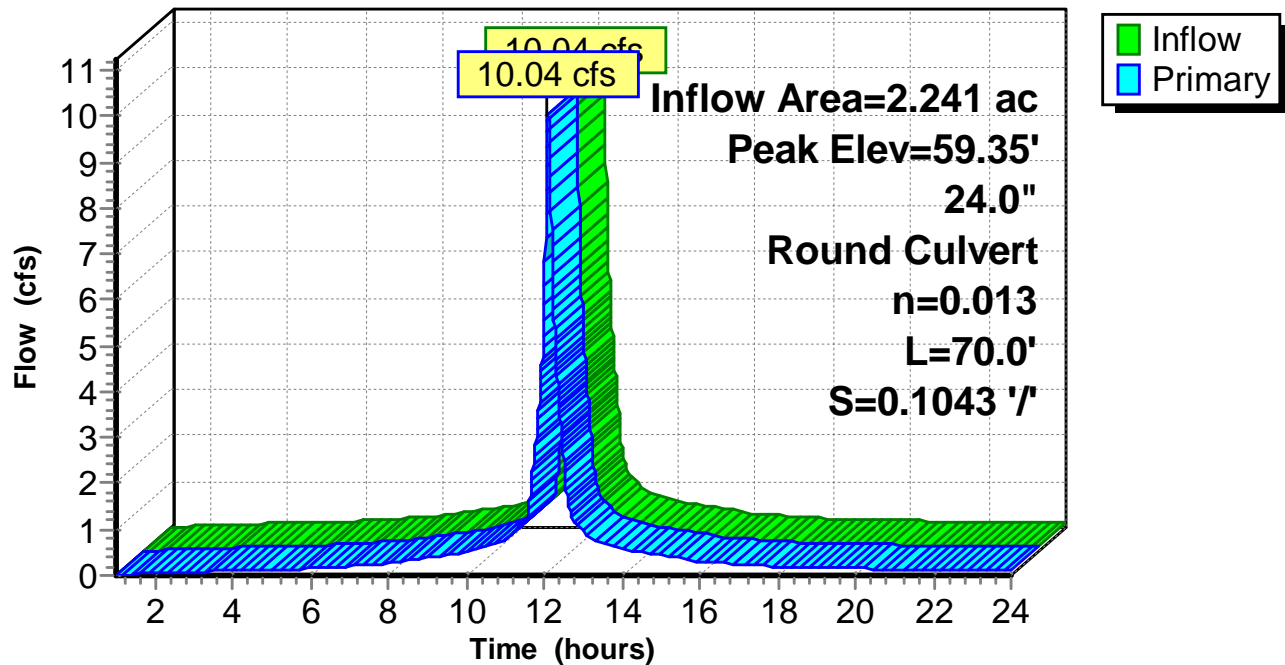
Routing by Dyn-Stor-Ind method, Time Span= 1.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 59.35' @ 12.11 hrs  
 Flood Elev= 61.00'

Device #1	Routing Primary	Invert 57.90'	Outlet Devices
			<b>24.0" Round Culvert</b> L= 70.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 57.90' / 50.60' S= 0.1043 '/' Cc= 0.900 n= 0.013, Flow Area= 3.14 sf

**Primary OutFlow** Max=10.03 cfs @ 12.11 hrs HW=59.35' TW=52.05' (Dynamic Tailwater)  
 ↑ **1=Culvert** (Inlet Controls 10.03 cfs @ 4.10 fps)

**Pond 3P: CBF1 Inv. 57.9 to CBF1 Inv. 50.6**

**Hydrograph**



**Summary for Pond 4P: CBF I Inv. 50.6 to CBF I Inv. 47.5**

Inflow Area = 2.241 ac, 14.24% Impervious, Inflow Depth > 4.76" for 25 Year event  
 Inflow = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af  
 Outflow = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af, Atten= 0%, Lag= 0.0 min  
 Primary = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af

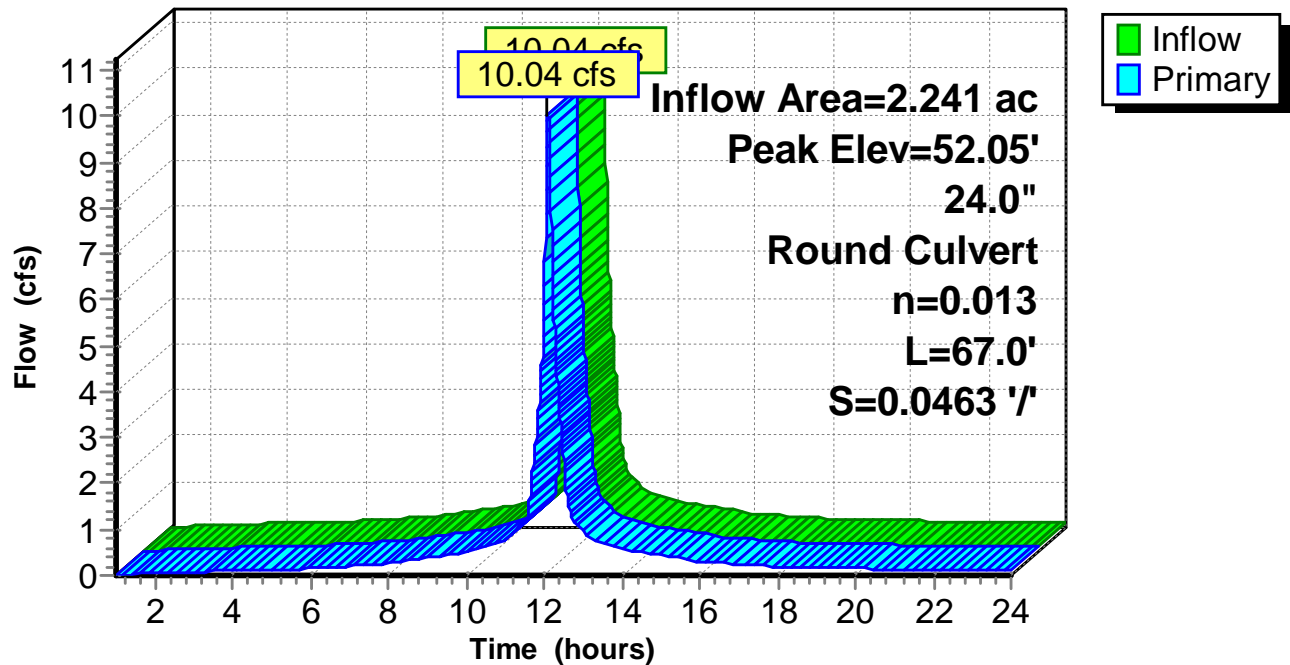
Routing by Dyn-Stor-Ind method, Time Span= 1.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 52.05' @ 12.11 hrs  
 Flood Elev= 53.30'

Device #1	Routing	Invert	Outlet Devices
	Primary	50.60'	<b>24.0" Round Culvert</b> L= 67.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 50.60' / 47.50' S= 0.0463 '/' Cc= 0.900 n= 0.013, Flow Area= 3.14 sf

**Primary OutFlow** Max=10.03 cfs @ 12.11 hrs HW=52.05' TW=49.64' (Dynamic Tailwater)  
 ↑ **1=Culvert** (Inlet Controls 10.03 cfs @ 4.10 fps)

**Pond 4P: CBF I Inv. 50.6 to CBF I Inv. 47.5**

**Hydrograph**



**Summary for Pond 5P: CBF I Inv. 47.5 to DMH Inv. 46.9**

Inflow Area = 2.241 ac, 14.24% Impervious, Inflow Depth > 4.76" for 25 Year event  
 Inflow = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af  
 Outflow = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af, Atten= 0%, Lag= 0.0 min  
 Primary = 10.04 cfs @ 12.11 hrs, Volume= 0.888 af

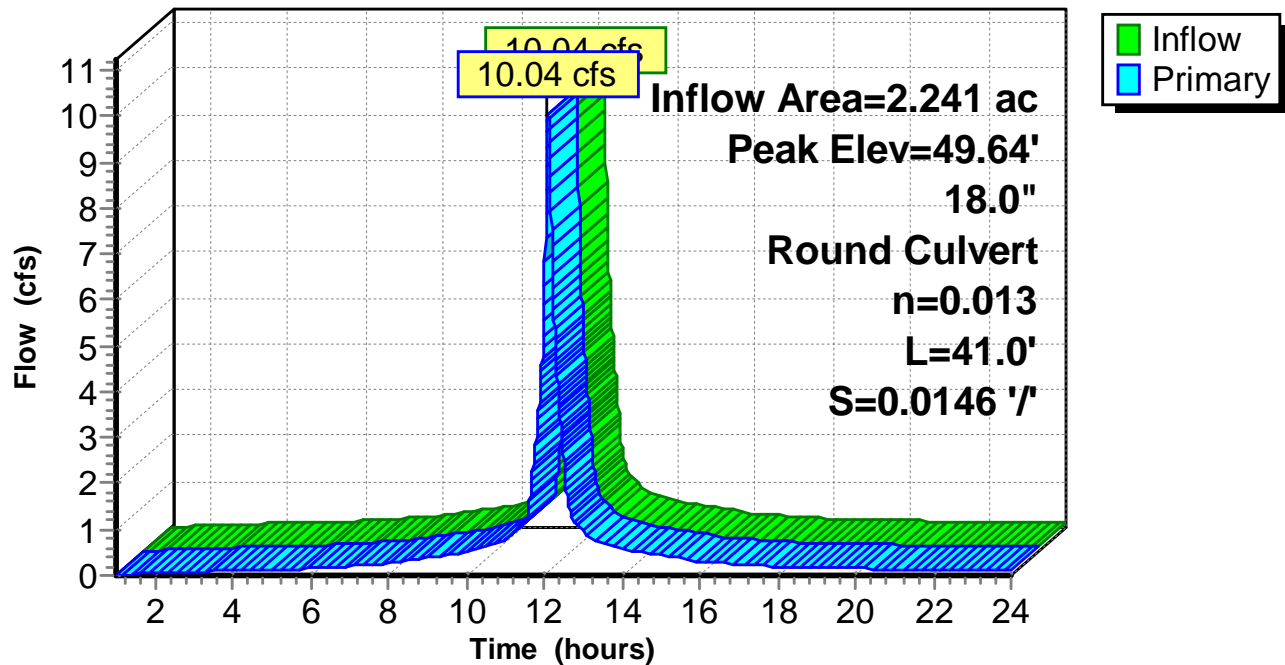
Routing by Dyn-Stor-Ind method, Time Span= 1.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 49.64' @ 12.11 hrs  
 Flood Elev= 50.60'

Device #	Routing	Invert	Outlet Devices
#1	Primary	47.50'	<b>18.0" Round Culvert</b> L= 41.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 47.50' / 46.90' S= 0.0146 '/' Cc= 0.900 n= 0.013, Flow Area= 1.77 sf

**Primary OutFlow** Max=10.03 cfs @ 12.11 hrs HW=49.64' (Free Discharge)  
 ↑ **1=Culvert** (Inlet Controls 10.03 cfs @ 5.67 fps)

**Pond 5P: CBF I Inv. 47.5 to DMH Inv. 46.9**

**Hydrograph**



## ROAD MAINTENANCE AGREEMENT

1. The undersigned parties, being all of those who own property affected by the road described below, agree to the following:

(a) The expenses of maintenance, repair, and or restoration of the road covered by this Agreement shall be apportioned equally.

(b) The road shall be maintained in good passable condition under all traffic and weather conditions.

(c) That this Agreement shall run with the land and shall be appurtenance thereto and is not a personal right afforded each party, and shall bind all heirs, distributees and assigns.

(d) This Agreement is made by and between all parties who own property affected by the road.

(e) All parcels of property shall have the use of this road for all water, sewer, gas, electric, drainage and any and all other utilities for both the installation and maintenance of the same.

(f) From time to time, but not less than once per year, all parties who own property affected by the road described below shall gather to determine what, if any, maintenance repair and or restoration of the road is needed. Additionally, from time to time, but not less than once per year, owners shall balance what is owed and due each property owner.

2. The road covered by this Agreement is described as, DENNINGS AVENUE SUBDIVISION, BEACON, NEW YORK 12508, it is further described in "Schedule A" as "Proposed Access & Utility Easement In Favor Of Lot 1 & 2"

\_\_\_\_\_  
Daniel Ingham

\_\_\_\_\_  
Angela Dellaportas Ingham

STATE OF NEW YORK            )  
  ) ss:  
COUNTY OF DUTCHESS        )

On the \_\_\_\_ day of \_\_\_\_\_, 2018, before me, the undersigned, a Notary Public in and for said State, personally appeared \_\_\_\_\_, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and he/she/they acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

\_\_\_\_\_  
Notary Public

STATE OF NEW YORK            )  
  ) ss:  
COUNTY OF DUTCHESS        )

On the \_\_\_\_ day of \_\_\_\_\_, 2018, before me, the undersigned, a Notary Public in and for said State, personally appeared \_\_\_\_\_, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and he/she/they acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

\_\_\_\_\_  
Notary Public



**SCHEDULE "A"**  
**PROPOSED ACCESS & UTILITY EASEMENT**  
**IN FAVOR OF LOT 1 & 2**

All that certain plot, piece or parcel of land lying in the City of Beacon, County of Dutchess, State of New York; bounded and described as follows:

BEGINNING at a concrete monument found at the intersection of the easterly bounds of Dennings Avenue and the northerly bounds of lands of Milligan (Tax lot 5954-50-664591); thence,

South 72 degrees 38 minutes 13 seconds East 72.00 feet along the northerly bounds of Milligan (5954-50-664591) to an iron rod found 2.50 feet west of corner; thence,

South 87 degrees 00 minutes 00 seconds East 245.03 feet along the northerly bounds of DeCampo (Tax lot 5954-50-696588) to a point; thence,

Through Proposed Lots 1 and 2 the following three (3) courses:

North 12 degrees 11 minutes 36 seconds West 35.63 feet; thence,

South 86 degrees 17 minutes 25 seconds West 80.36 feet; thence,

North 87 degrees 00 minutes 00 seconds West 77.88 feet; thence,

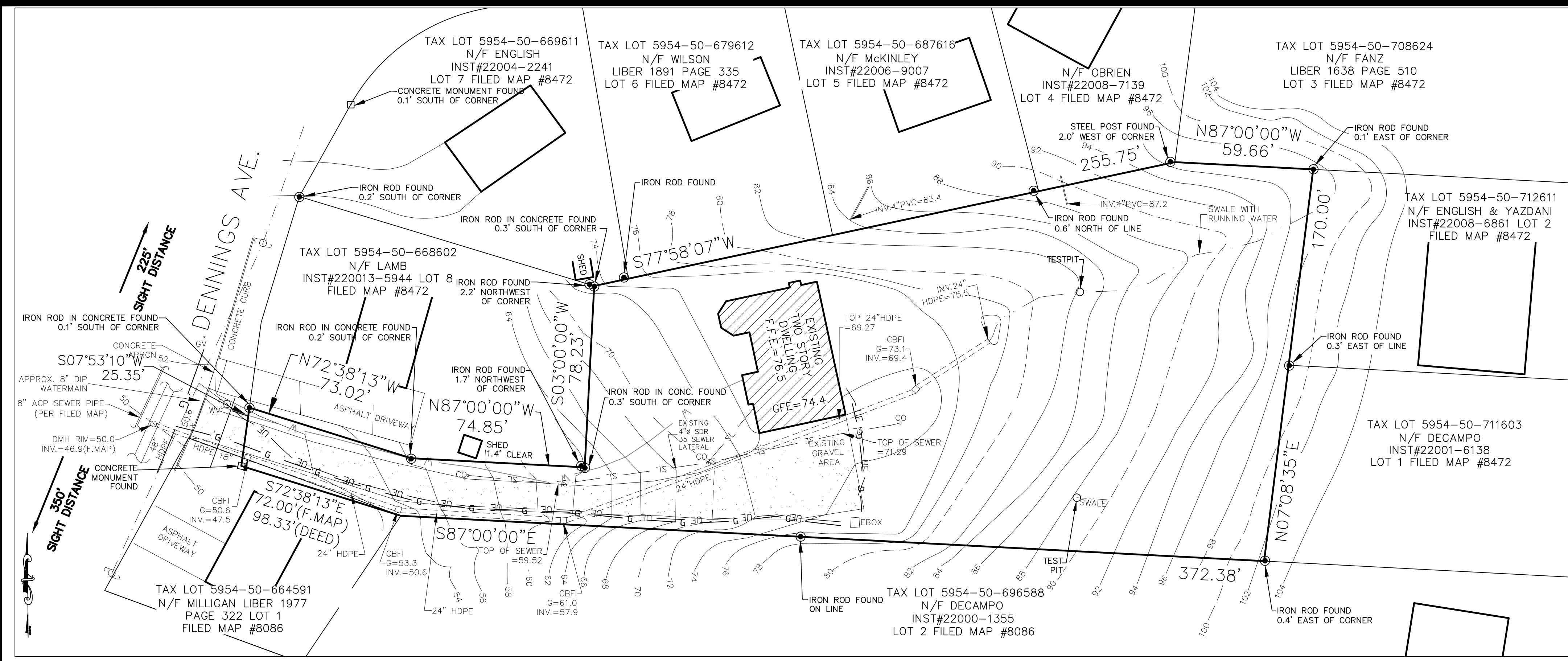
Along the southerly bounds of lands of Lamb (Tax lot 5954-50-668602) the following two (2) courses:

North 87 degrees 00 minutes 00 seconds West 74.85 feet to an iron rod in concrete found 0.2 feet south of the corner; thence,

North 72 degrees 38 minutes 13 seconds West 73.02 feet to an iron rod in concrete found 0.1 feet south of the corner; thence.

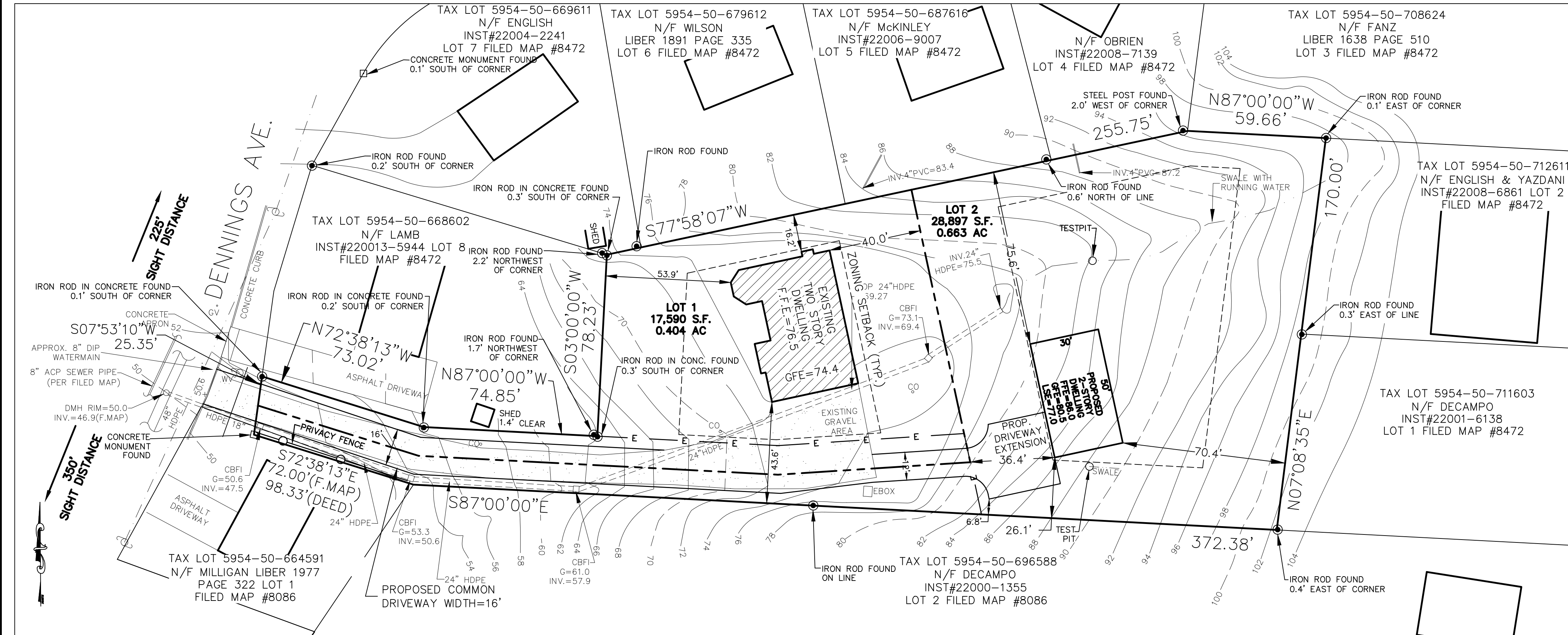
South 07 degrees 53 minutes 10 seconds West 25.35 feet along the easterly bounds of Dennings Avenue to the point or place of BEGINNING.

Containing 8,201 square feet or 0.19 acres of land, more or less.



**EXISTING CONDITIONS**

SCALE: 1"=30'



**SUBDIVISION PLAT**

SCALE: 1"=30'

**ABBREVIATIONS**  
 CBF1 CATCH BASIN FIELD INLET  
 BFE BASEMENT FLOOR ELEVATION  
 CB CATCH BASIN  
 EX EXISTING  
 FFE FINISHED FLOOR ELEVATION  
 GFE GARAGE FLOOR ELEVATION  
 FT FEET  
 INV INVERT ELEVATION  
 LF LINEAR FEET  
 LSE LOWEST SEWERABLE ELEVATION  
 MAX MAXIMUM  
 MH MANHOLE  
 MIN MINIMUM OR MINUTE  
 N/F NOW OR FORMERLY  
 NTS NOT TO SCALE  
 PROP PROPOSED  
 REF REFERENCE  
 REV REVISION  
 SF SQUARE FOOT  
 SQ SQUARE  
 STD STANDARD  
 TYP TYPICAL

**LEGEND**  
 --- SL --- EXISTING UTILITY POLE  
 --- SL --- EXISTING OVERHEAD WIRES  
 --- SL --- EXISTING 4" SDR35 SEWER LATERAL  
 --- W --- EXISTING WATER SERVICE LINES  
 --- UE --- EXISTING UNDERGROUND ELECTRIC  
 --- G --- EXISTING GAS SERVICE LINE  
 --- 70 --- EXISTING MAJOR CONTOUR  
 --- 72 --- EXISTING MINOR CONTOUR  
 --- --- EXISTING HOPE PIPE  
 --- --- EXISTING HOPE CONTOUR  
 --- --- EXISTING PROPERTY LINE  
 --- --- PROPOSED PROPERTY LINE  
 --- --- PROPOSED EASEMENT LINE  
 --- --- EXISTING ADJACENT DWELLING

**SURVEYOR'S CERTIFICATION**  
 I HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL FIELD SURVEY COMPLETED IN FEBRUARY 2014.  
 TOPOGRAPHICAL SURVEY AS PER APPROXIMATED USGS DATUM.  
 DARREN J. STRIDIRON, P.L.S.  
 NYS LICENSE NO. 050487

**CITY OF BEACON PLANNING BOARD**  
 APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.  
 SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN  
 \_\_\_\_\_ SECRETARY  
 IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**OWNER CONSENT**  
 THE UNERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS STATED HEREON.  
 APPROVED FOR FILING:  
 A. DELLAPORTAS DATE \_\_\_\_\_

**GENERAL NOTES:**

1. SITE TO BE SERVED BY CITY OF BEACON PUBLIC SEWER & WATER.
2. LIMITS OF DISTURBANCE = 0.71 ACRES.
3. CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION 2 FULL WORKING DAYS BEFORE YOU DIG. TELEPHONE NUMBER: 1-800-955-7962.
4. UNDERGROUND IMPROVEMENTS, STRUCTURES, UTILITIES OR ENCROACHMENTS, AND ANY EASEMENTS RELATED THERETO, ARE NOT SHOWN HEREON UNLESS OTHERWISE NOTED. ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS AND IS NOT CERTIFIED TO ACCURACY OR COMPLETENESS.
5. FOR INCOMING ELECTRIC SERVICE COORDINATE ALL REQUIREMENTS WITH LOCAL UTILITY CO. IF REQUIRED, ELECTRIC SERVICE FOR RESIDENTIAL HOMES SHALL BE UNDERGROUND (IF AVAILABLE) OR CONNECTED TO THE NEAREST OVERHEAD CONNECTION POINT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS, QUANTITIES, AND LOCATIONS OF UNDERGROUND UTILITIES AND LIMITS OF WORK. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK WITHIN THE CITY RIGHT OF WAY. ALL DIMENSIONS, LOCATIONS, GRADES, ETC OF PROPOSED WORK ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT LOCATIONS OF ALL UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
7. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR SETUP AND COSTS OF ALL TEMPORARY UTILITY SERVICES (INCLUDING TEMPORARY POWER).
8. RETAINING WALLS THAT EXCEED A HEIGHT OF 4- FEET SHALL BE DESIGNED AND SEALED BY A LICENSED ENGINEER IN THE STATE OF NEW YORK.
9. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS AND SHALL IMMEDIATELY REPORT ANY AND ALL DISCREPANCIES TO ENGINEER.
10. THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
11. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
12. ROOF LEADERS FOR THE PROPOSED HOME SHALL BE DIRECTED TOWARDS PROPOSED DRAINAGE SWALES AND DRAINAGE STRUCTURES.
13. THE ORIGINAL PARCEL WAS ESTABLISHED AS LOT #9 OF FILED MAP #8472.
14. AS PER NOTE #2 OF FILED MAP #8472, ANY LOT WITHIN THE ORIGINAL SUBDIVISION HAS THE RIGHT TO DISCHARGE SURFACE WATER ACROSS ANOTHER LOT IN THIS SUBDIVISION TO THE STORM WATER SYSTEM.
15. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
16. DENNING AVENUE AND DRIVEWAY FOR THE WATER SERVICE AND SEWAGE LATERAL CONNECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BEACON REQUIREMENTS.
17. AN OPERATION AND MAINTENANCE AGREEMENT WILL BE REQUIRED FOR THE SHARED DRIVEWAY.
18. EXISTING UTILITY LOCATIONS WERE FIELD SURVEYED AND MAPPED BY HERITAGE LAND SURVEYING ON 10/20/2016.
19. PRIOR TO CONSTRUCTION, THE PROPERTY LINES SHALL BE STAKED OUT BY A NYS LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
20. SERVICE LINES MUST BE CONTINUOUS FROM THE HOUSE TO THE PUBLIC UTILITY.
21. ANY PROPOSED RETAINING WALLS SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER PRIOR TO A BUILDING PERMIT BEING ISSUED.

**ADJOINING PROPERTY OWNERS**

- INFORMATION TAKEN FROM DUTCHESS COUNTY PARCEL ACCESS
- |  |   |
|--|---|
| 1) BARBARA LAMB<br>48 DENNING AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050668602     | 7) RONALD ENGLISH<br>129 SOUTH AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050712611       |
| 2) HERBERT G. ENGLISH<br>129 SOUTH AVE<br>BEACON, NY 12508<br>FORTRANPT:13020000954005069611 | 8) DAVID DE CAMPO<br>129 SOUTH AVE<br>BEACON, NY 12508<br>FORTRANPT:13020000954005069611        |
| 3) WENDY A. WILSON<br>36 DENNING AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050679612  | 9) DAVID DE CAMPO<br>129 SOUTH AVE<br>BEACON, NY 12508<br>FORTRANPT:13020000954005069611        |
| 4) DONNA MCKINLEY<br>30 DENNING AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050679612   | 10) MURRAY J. MILLIGAN<br>58 DENNING AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050664591 |
| 5) KAREN M. OBRIEN<br>24 DENNING AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050694421  | 11) JOHN H. WILKINS<br>43 DENNING AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050694922    |
| 6) DIETER E. FANZ<br>123 SOUTH AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050708624    | 12) GINA M. LAYNE<br>43 DENNING AVE<br>BEACON, NY 12508<br>FORTRANPT:130200009540050679612      |

**OWNER/APPLICANT:**

1. RECORD OWNER & APPLICANT:  
 DELLAPORTAS ENTERPRISES I  
 AETHENIAN LANE  
 HOPEWELL JUNCTION, NY 12533

**REFERENCES:**

1. CITY OF BEACON TAX MAP SBL 5954-50-687603.
2. SURVEY REFERENCES:  
 - INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM A SURVEY ENTITLED "EXISTING FOUNDATION LOCATION PREPARED FOR 52 DENNING AVENUE." LAST REVISED NOVEMBER 12, 2015 PREPARED BY HERITAGE LAND SURVEYING, P.C. - P.O. BOX 579 PLATEKILL, NY 12568.
3. PARCEL ADDRESS: 52 DENNING AVE, BEACON, NY 12508
4. TOTAL PARENT PARCEL AREA: 1.07 ACRES
5. POTABLE WATER SUPPLY: CITY OF BEACON WATER
6. SEWAGE DISPOSAL: CITY OF BEACON SEWER

**SURVEY REFERENCES:**

1. CITY OF BEACON TAX MAP SECTION 5954.
2. DEEDS FILED IN THE DUTCHESS COUNTY CLERK'S OFFICE AS:  
 LIBER 1638 PAGE 510  
 INST#22013-5944  
 INST#22004-2241  
 LIBER 1891 PAGE 335  
 INST#22006-9007  
 INST#22008-7139  
 LIBER 1638 PAGE 510  
 INST#22008-6861  
 INST#22001-6138  
 INST#22000-1355  
 LIBER 1977 PAGE 322
3. MAPS FILED IN THE DUTCHESS COUNTY CLERK'S OFFICE AS:  
 FILED MAP #8472  
 FILED MAP #8086

**TABLE OF ZONING REQUIREMENTS:**

ZONE:	ZONING PARAMETERS									
	MINIMUM AREA (SQ. FT.)	LOT AREA PER UNIT (SQ. FT.)	MINIMUM LOT WIDTH (FT.)	MINIMUM LOT DEPTH (FT.)	MINIMUM FRONT YARD (FT.)	MINIMUM SIDE YARD EA. (FT.)	MINIMUM SIDE YARD BOTH (FT.)	MINIMUM REAR YARD (FT.)	BUILDING COVERAGE	DWELLING UNITS PER LOT
R1-10	10,000	10,000	85	100	35	15	40	35	25% MAX.	MAX 1
REQUIRED	10,000	10,000	85	100	35	15	40	35	25% MAX.	MAX 1
PROVIDED LOT 1	17,590 ±	17,590 ±	127.5' ±	147.1' ±	53.9 ±	16.2' ±	47.5' ±	40.0' ±	11.8%	1
PROVIDED LOT 2	28,897 ±	28,897 ±	157.3' ±	153.9' ±	36.4' ±	26.1' ±	101.7' ±	70.4' ±	7.6%	1

REVISION	BY	DATE	DESCRIPTION
5	MM	1/28/18	REVISIONS PER 1/22/18 DOH LETTER
4	MM	12/30/17	REVISIONS PER 4/17/17 DOH LETTER
3	MM	2/13/17	REVISIONS PER 2/7/17 DOH LETTER
2	MM	10/25/16	REVISIONS PER FPC 1/8/16 LETTER & 1/7/16 L&T LETTER
1	MM	1/14/16	REVISIONS PER FPC 1/8/16 LETTER & 1/7/16 L&T LETTER

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

**ARDEN CONSULTING ENGINEERS, PLLC**  
 P.O. BOX 340 MONROE, N.Y.  
 TEL: (845) 782-8114 FAX: (845) 238-3527  
 WWW.ARDENCONSULTING.NET

2-LOT SUBDIVISION FOR  
**DELLAPORTAS ENTERPRISES I**  
 CITY OF BEACON  
 COUNTY OF DUTCHESS, NEW YORK

2-LOT SUBDIVISION

JOB#: 14-006  
 SCALE: AS NOTED  
 DATE: 11-30-15  
 DRAWN: MM  
 CHECKED: MM  
 SHEET NO. 1 of 3

MICHAEL A. MORGANTE, P.E.  
 LIC. NO. 78577

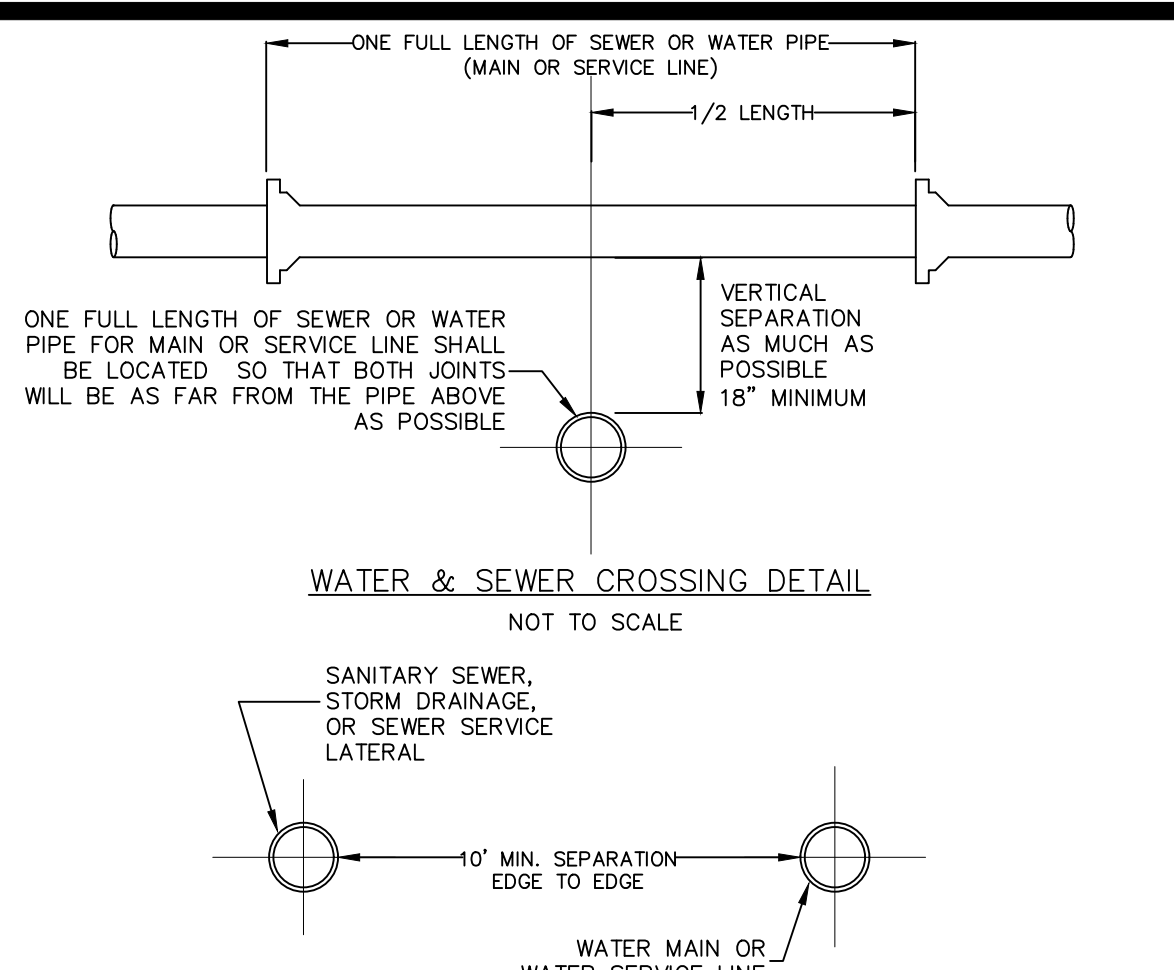
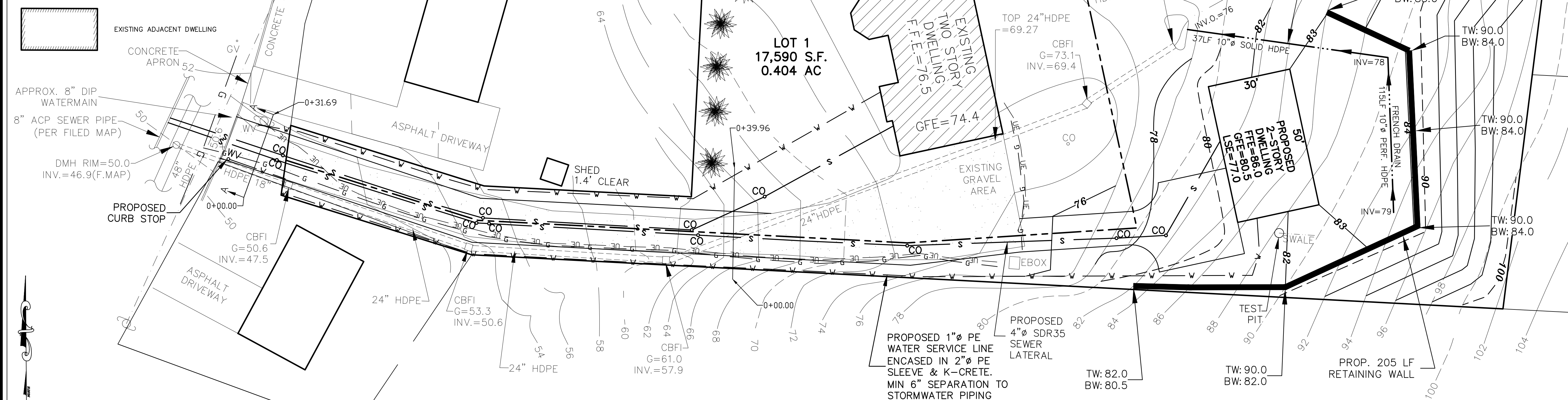
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 before you dig

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**LEGEND**

	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	EXISTING 4" SDR35 SEWER LATERAL
	EXISTING 3/4" WATER SERVICE LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING GAS SERVICE LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING HDPE PIPE
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED 1" PE WATER SERVICE LINE
	PROPOSED 4" SDR35 SEWER DISPOSAL LATERAL
	PROPOSED ZONING SETBACK
	PROPOSED DRIVEWAY
	PROPOSED SEWER LATERAL CLEANOUT



**WATER & SEWER HORIZONTAL SEPARATION**  
NOT TO SCALE

**SEWER & WATER SEPARATION NOTES**

1. WHEN IT IS IMPOSSIBLE TO MAINTAIN PROPER HORIZONTAL OR VERTICAL SEPARATION AS SHOWN, THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER MAIN, AND SHALL BE PRESSURE TESTED TO ASSURE WATERTIGHTNESS PRIOR TO BACKFILLING.

2. A FULL LENGTH OF BOTH PIPES CROSSING MUST BE CENTERED AT THE CROSSING.
3. BEDDING MATERIAL SHALL BE INCREASED TO 12" BELOW THE LENGTH OF WATER MAIN PIPE FOR 10' ON EITHER SIDE OF THE CROSSING.
4. TWO LAYERS OF CAUTION TRACER TAPE SHALL BE PLACED 18" MINIMUM ABOVE STORM SEWER MAINS.

**NOTES**

1. SEPARATION DISTANCE BETWEEN WATER MAINS AND STORM/SEWER MAINS SHALL BE 10' HORIZONTAL AND 18" AT CROSSINGS. THESE SEPARATION DISTANCES MUST BE MAINTAINED UNLESS SPECIFICALLY SHOWN AND INDICATED OTHERWISE ON THE PLANS. THE PREFERRED CROSSING OPTION IS FOR THE WATER MAIN TO BE CONSTRUCTED ABOVE STORM/SEWER MAINS.
2. SEWER MAIN INCLUDES SEWER LATERALS AND STORM DRAIN.
3. WATER MAIN INCLUDES WATER SERVICE LATERALS.
4. DEFLECT WATER MAIN IN AN ARC BENEATH THE SEWER/STORM LINE. DO NOT USE FITTINGS TO DEFLECT THE WATER MAIN.

**WATER OVER SEWER SEPARATION NOTES**

1. FULL LENGTH OF BOTH PIPES CROSSING MUST BE CENTERED AT THE CROSSING SO THAT PIPE JOINTS WILL BE AS FAR FROM EACH OTHER AS POSSIBLE (10' MIN.).
2. CONTRACTOR SHALL PROVIDE STRUCTURAL SUPPORT FOR EXISTING WATER MAIN OVER THE ENTIRE TRENCH WIDTH TO PREVENT DAMAGE TO THE WATER MAIN.
3. WATER TIGHT JOINTS WHERE WATERLINES ARE CROSSED ABOVE OR BELOW.

**PRESSURE TESTING OF SANITARY SEWER & STORM SEWERS**

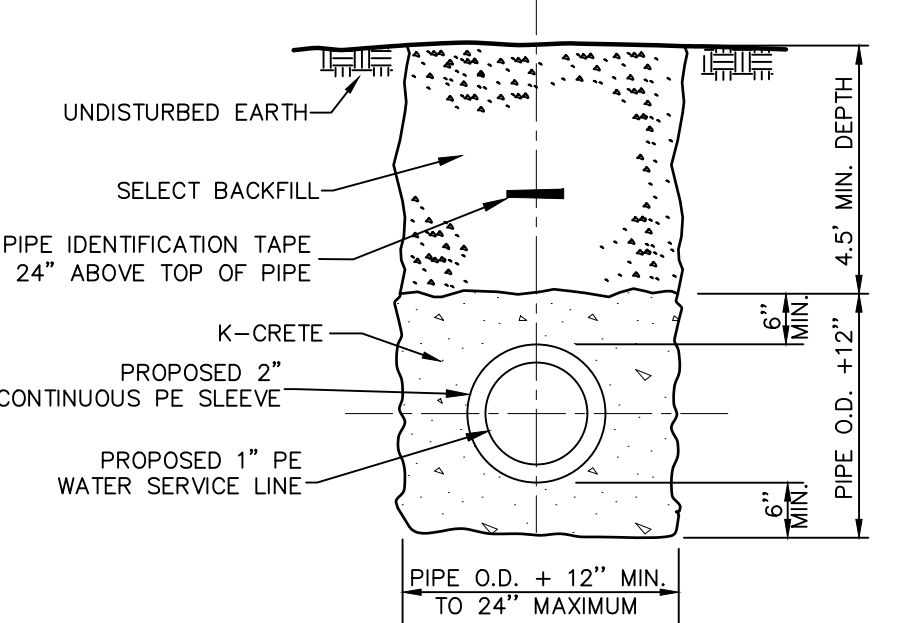
LOW PRESSURE AIR TESTING SHALL BE EMPLOYED PRIOR TO ISSUANCE OF AUTHORIZATION TO OPERATE. LOW PRESSURE AIR TESTS SHALL CONFORM TO ASTM SPECIFICATION C 828. ALL SECTIONS TO BE TESTED SHALL BE CLEANED AND FLUSHED, AND SHALL HAVE BEEN BACKFILLED, PRIOR TO TESTING. AIR SHALL BE ADDED UNTIL THE INTERNAL PRESSURE OF THE TEST SECTION IS RAISED TO APPROXIMATELY 4.0 PSIG. THE AIR PRESSURE TEST SHALL BE BASED ON THE TIME, MEASURED IN SECONDS, FOR THE AIR PRESSURE TO DROP FROM 3.5 PSIG TO 2.5 PSIG.

ACCEPTANCE IS BASED ON LIMITS TABULATED IN THE "SPECIFICATION TIME REQUIRED FOR A 1.0 PSIG PRESSURE DROP" IN THE UNI-BELL PVC PIPE ASSOCIATION "RECOMMENDED PRACTICE FOR LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE".

BEFORE PRESSURE IS APPLIED TO THE LINE ALL CONNECTIONS SHALL BE FIRMLY PLUGGED. BEFORE THE TEST PERIOD STARTS, THE AIR SHALL BE GIVEN SUFFICIENT TIME TO COOL TO AMBIENT TEMPERATURE IN THE TEST SECTION.

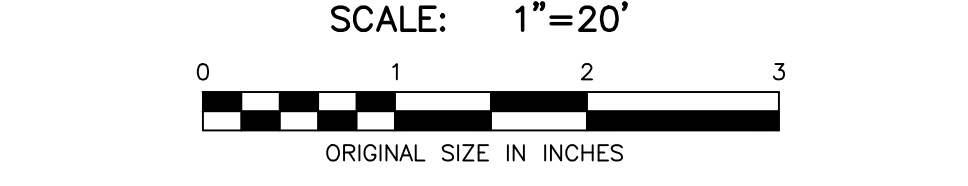
IF THE TEST SECTION IS BELOW GROUNDWATER, THE TEST PRESSURE SHALL BE INCREASED BY AN AMOUNT SUFFICIENT TO COMPENSATE FOR GROUNDWATER HYDROSTATIC PRESSURE. HOWEVER, THE TEST PRESSURE SHALL NOT EXCEED TO PSI, OR A LOWER PRESSURE AS REQUIRED BY THE SUPERINTENDENT.

THE PRESSURE TEST GAUGE SHALL HAVE BEEN RECENTLY CALIBRATED, AND A COPY OF THE CALIBRATION RESULTS SHALL BE MADE AVAILABLE TO THE SUPERINTENDENT PRIOR TO TESTING.



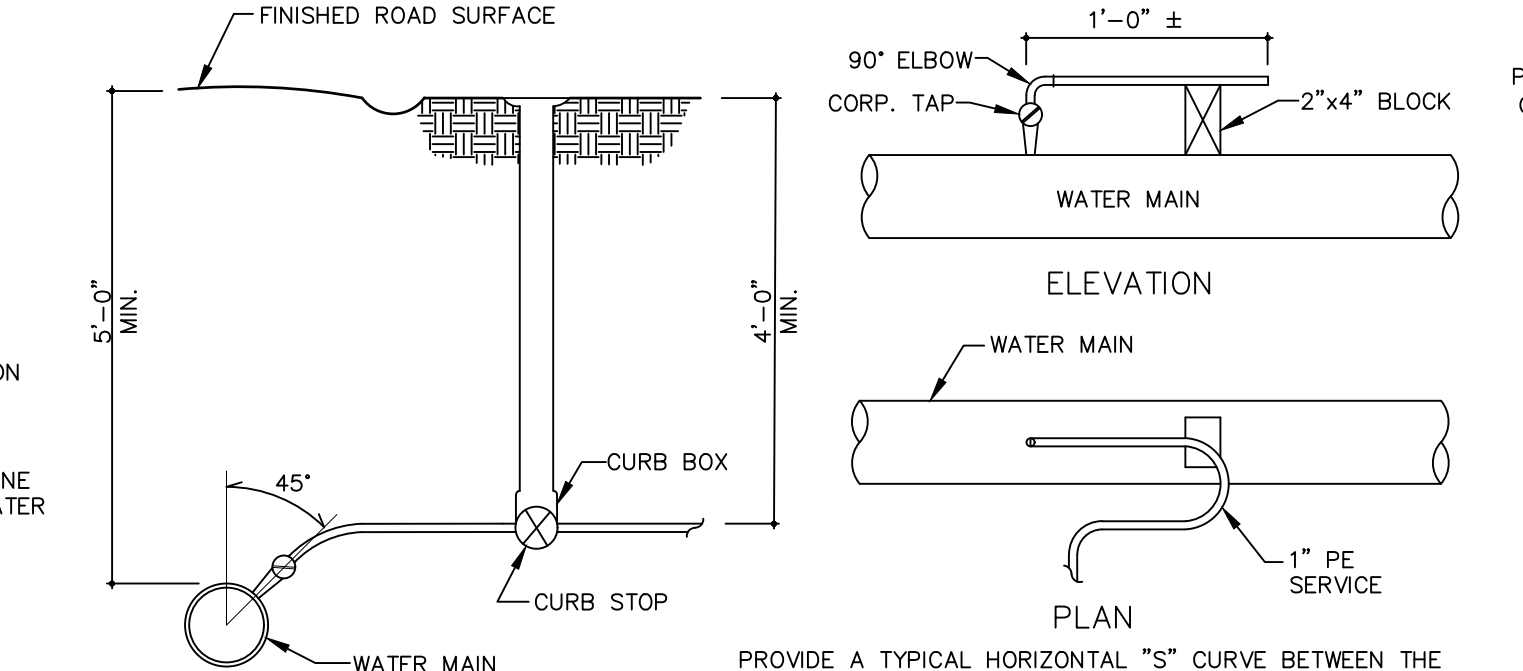
**WATER SERVICE LINE CONCRETE ENCASMENT DETAIL FOR PROPOSED LOT 2**  
NOT TO SCALE

**GRADING & UTILITY PLAN**

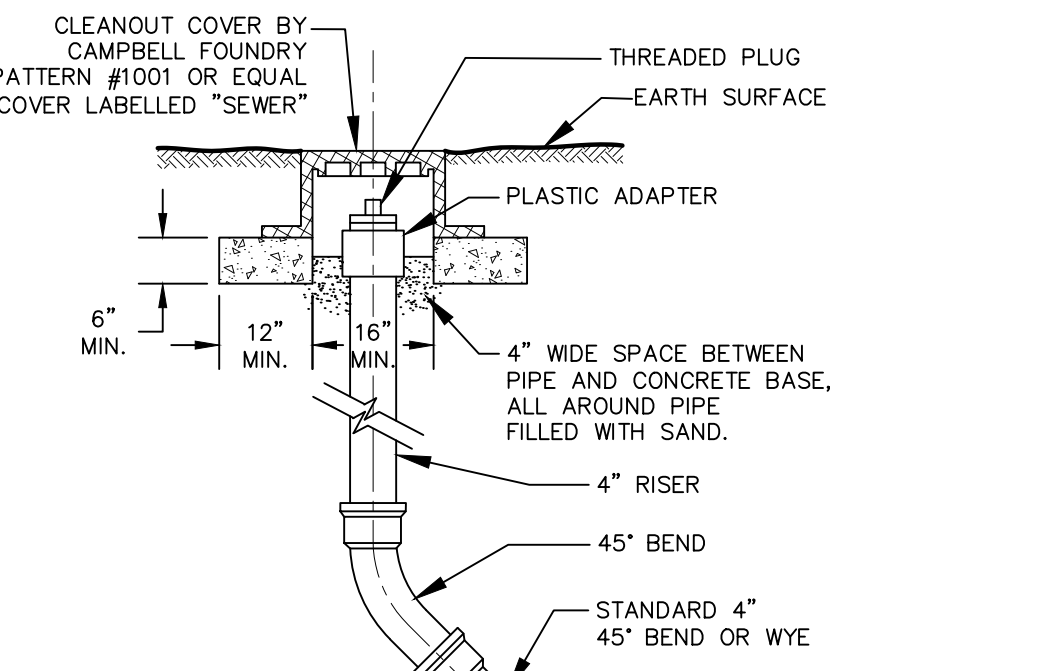


**DC EHSD WAIVER NOTE:**  
THE WAIVER FROM THE DC EHSD IS REQUIRED SINCE THE "FLAG POLE" PORTION OF THE PROPOSED SUBDIVISION IS TOO NARROW & HAS MULTIPLE UTILITIES WITHIN IT. THE WAIVER FOR THE EXISTING WATER & SEWER SEPARATION ON PROPOSED LOT 2 IS APPROXIMATELY 0.5' WHERE THE WATER SERVICE LINE & STORMWATER PIPING ARE THE CLOSEST AND 3' WHERE THE WATER SERVICE LINE AND PROPOSED SEWER DISPOSAL LATERAL ARE CLOSEST. THE PROPOSED WATER SERVICE LINE FOR PROPOSED LOT 2 SHALL BE SLEEVED IN A 2" PE PIPE & ENCASED IN K-CRETE FOR ITS ENTIRE LENGTH.

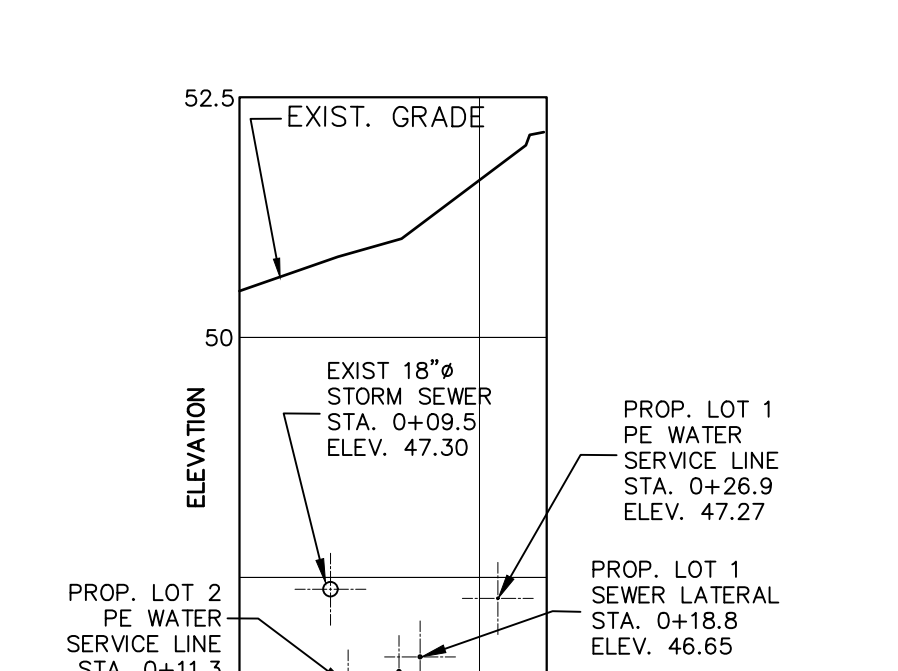
**SURVEY NOTE:**  
PRIOR TO CONSTRUCTION, THE PROPERTY LINES SHALL BE STAKED OUT BY A NEW YORK STATE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.



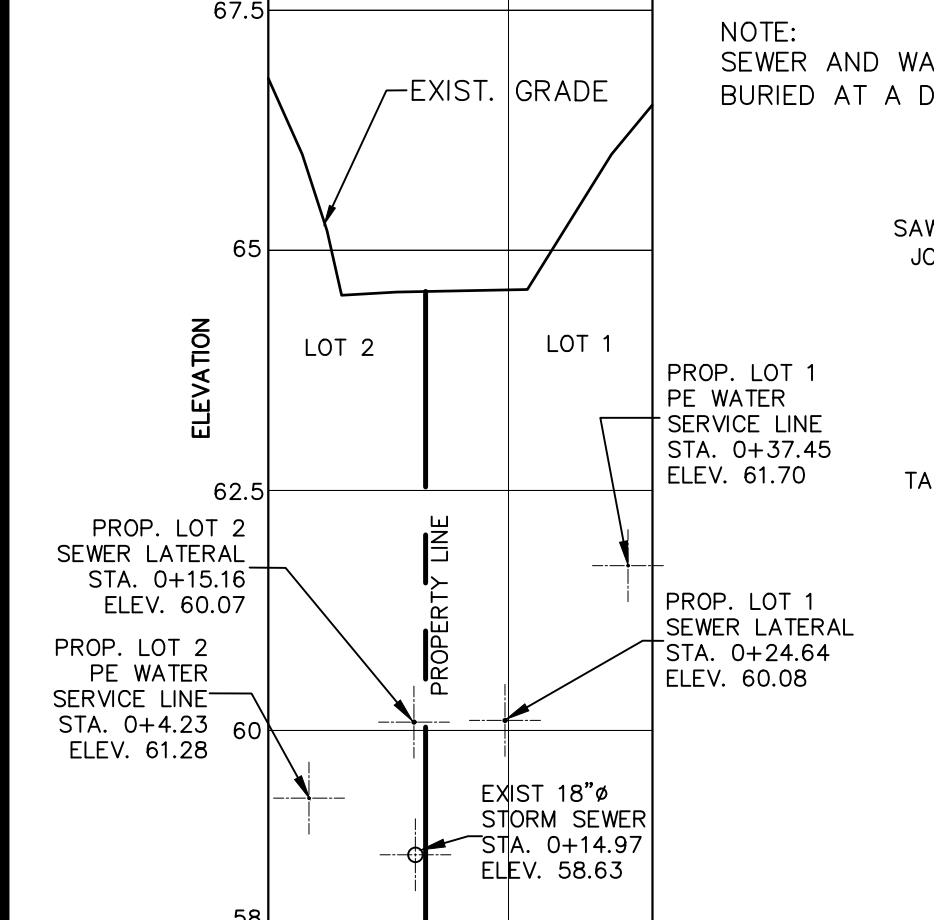
**TYPICAL WATER SERVICE DETAIL**  
NOT TO SCALE



**CLEANOUT DETAIL**  
NOT TO SCALE



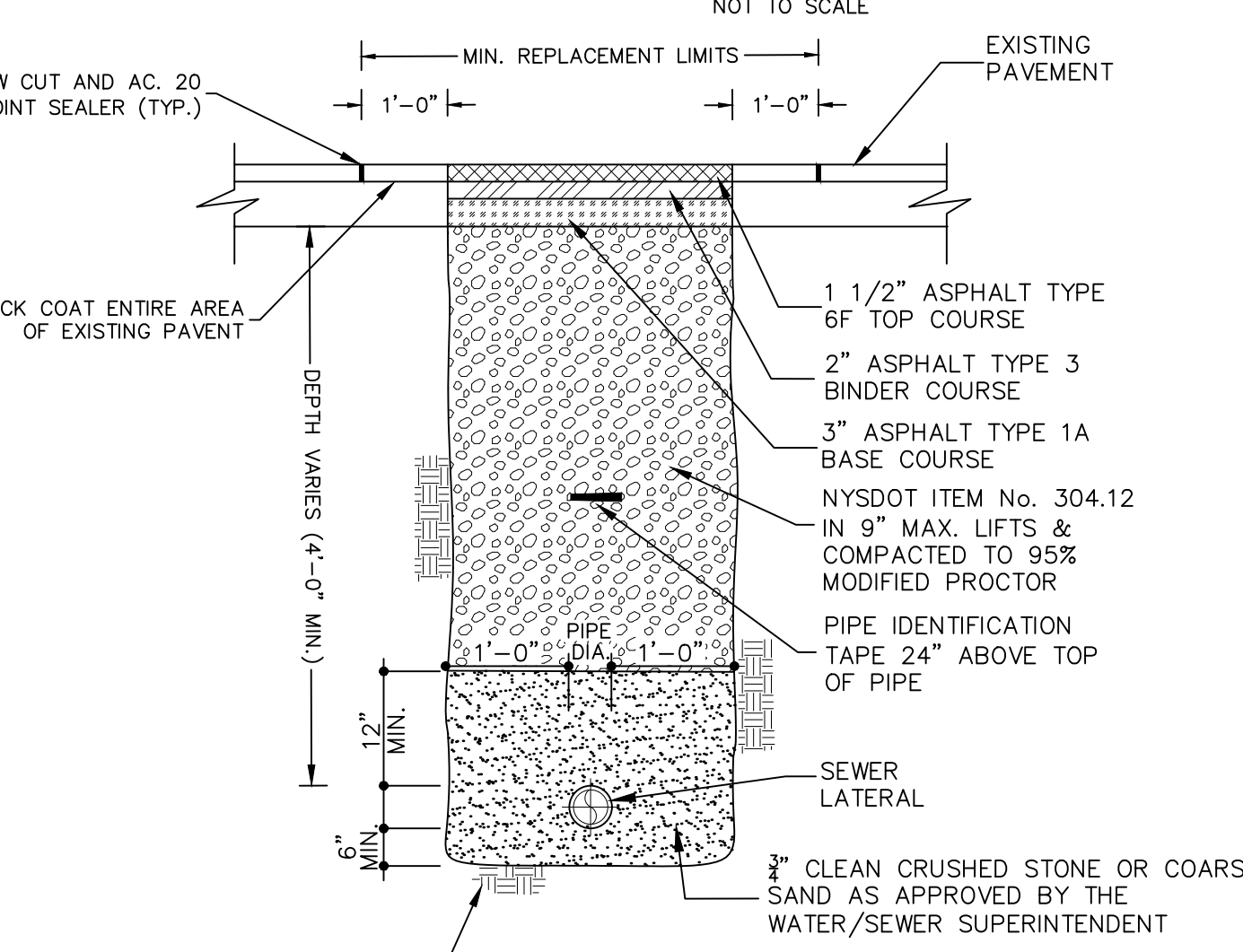
**UTILITY CROSS SECTION A-A**  
VERT. SCALE: 1"=20'  
HORZ. SCALE: 1"=20'



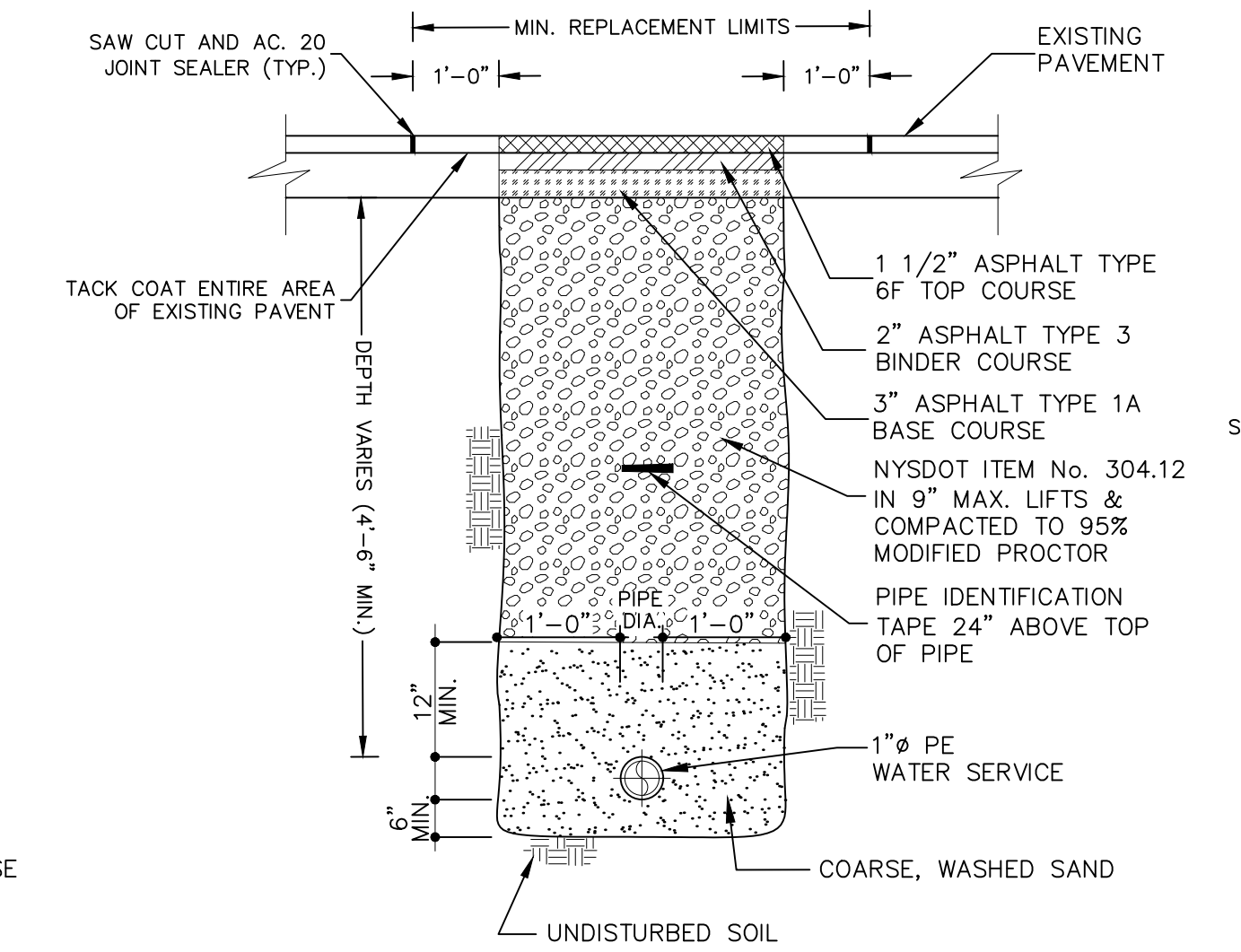
**UTILITY CROSS SECTION B-B**  
VERT. SCALE: 1"=20'  
HORZ. SCALE: 1"=20'

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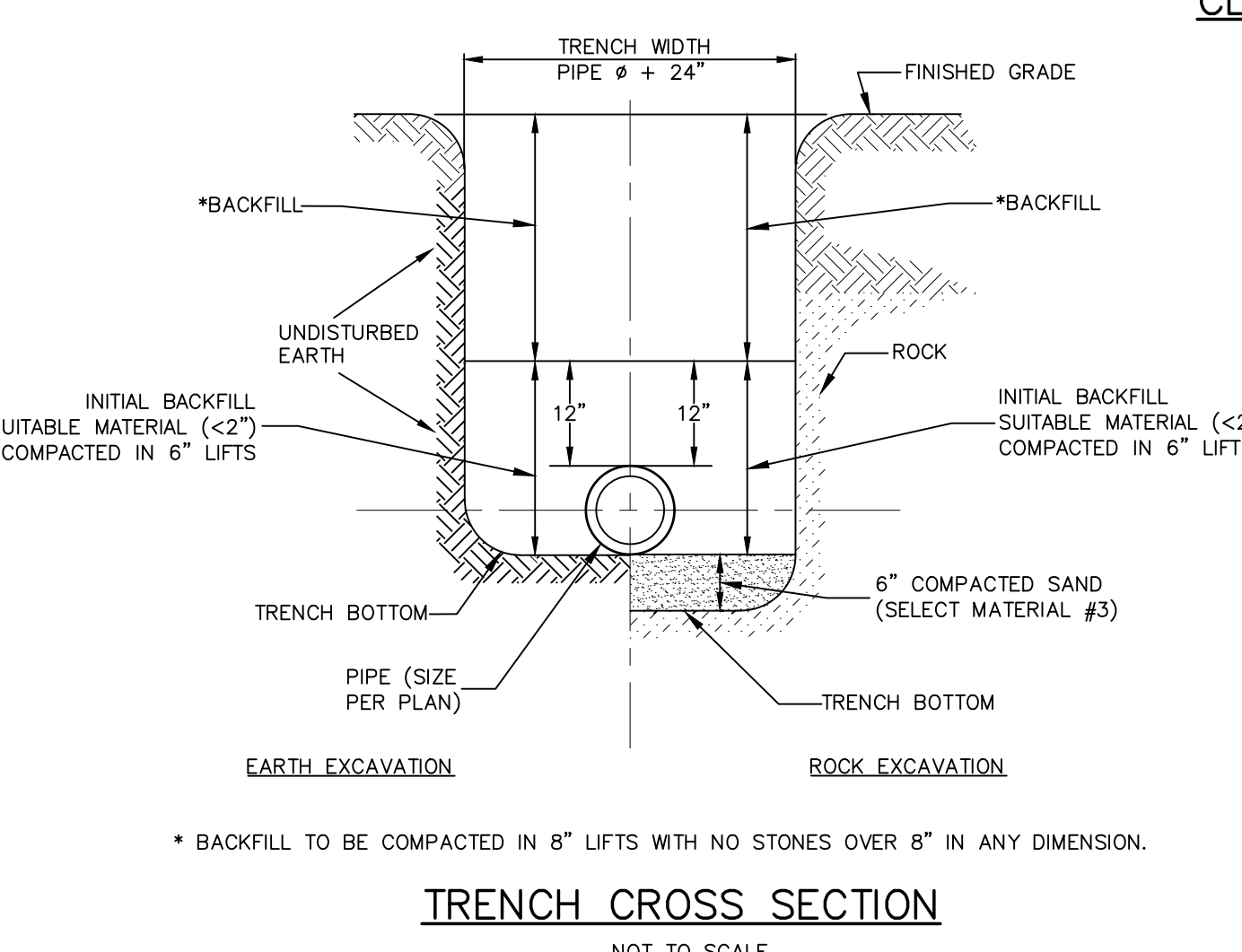
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**TYPICAL SEWER LATERAL INSTALLATION/RESTORATION DETAIL**  
NOT TO SCALE



**TYPICAL WATER SERVICE INSTALLATION/RESTORATION DETAIL**  
NOT TO SCALE



**TRENCH CROSS SECTION**  
NOT TO SCALE

- NOTES:**
1. TRENCHES IN PAVED AREAS SHALL UTILIZE THE PAVEMENT REPLACEMENT DETAIL FOUND ON THIS SHEET.
  2. FULL DEPTH ROB GRAVEL OR ITEM 4 COMPACTED TO 95% MODIFIED PROCTOR UNDER PAVED AREAS.

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before you dig

REVISION	BY	DATE	DESCRIPTION
5	MM	1/28/18	REVISIONS PER 1/22/18 DOH LETTER
4	MM	12/30/17	REVISIONS PER 4/17/17 DOH LETTER
3	MM	2/13/17	REVISIONS PER 2/7/17 DOH LETTER
2	MM	10/25/16	UTILITY LOCATIONS MAPPED
1	MM	1/14/16	REVISIONS PER FPC 1/8/16 LETTER & 1/7/16 L&T LETTER

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

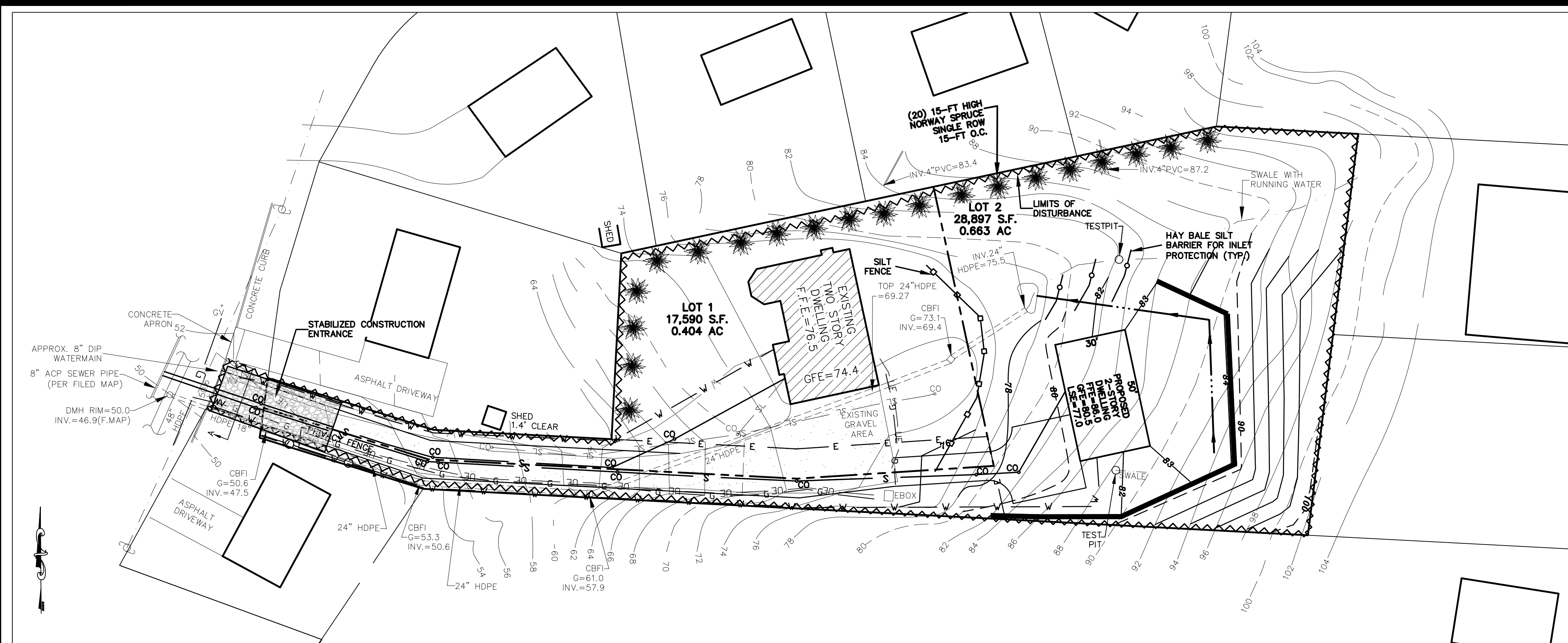
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2-LOT SUBDIVISION FOR  
**DELLAPORTAS ENTERPRISES I**  
CITY OF BEACON  
COUNTY OF DUTCHESS, NEW YORK

**GRADING & UTILITY PLAN**

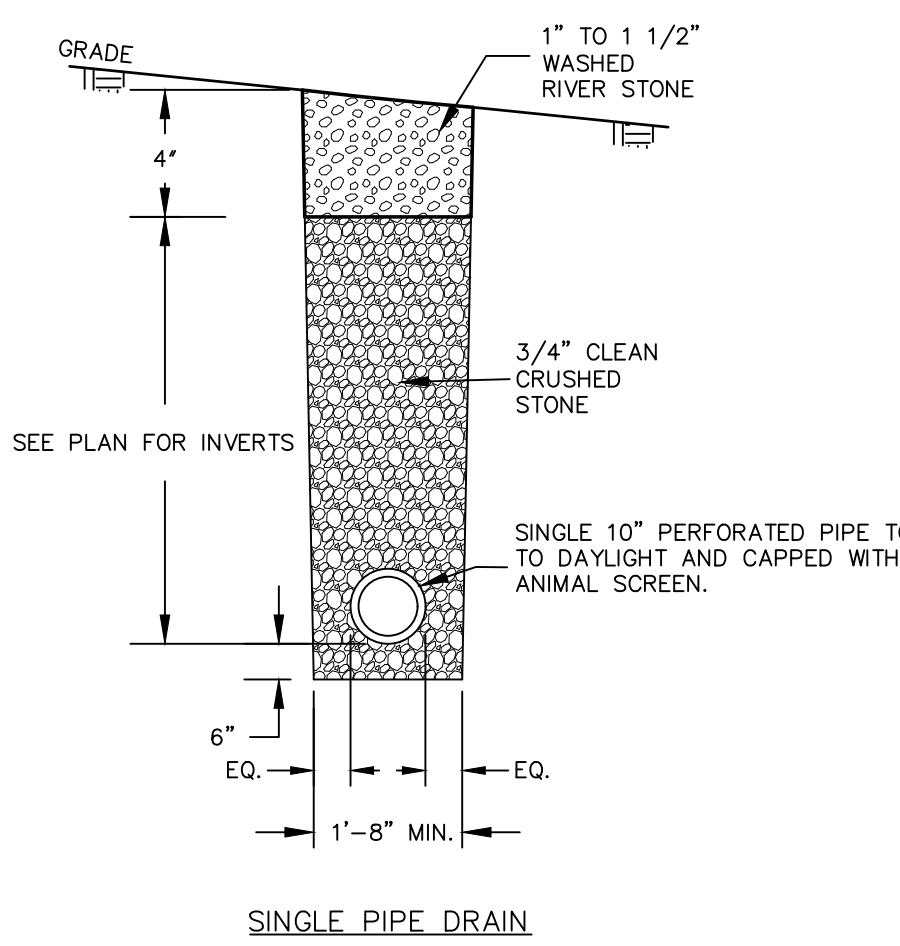
JOB#: 14-006  
SCALE: AS NOTED  
DATE: 11-30-15  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 2 of 3

MICHAEL A. MORGANTE, P.E.  
LIC. NO. 78577



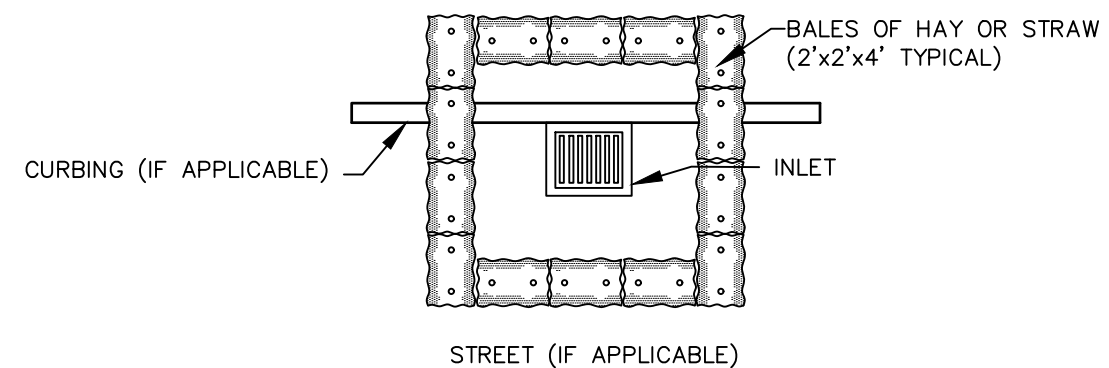
**EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=30'

LIMITS OF DISTURBANCE = 38,000 SF or 0.87 AC.  
NOTE: INCLUDES APPROXIMATE SOIL DISTURBANCE LIMITS FROM PREVIOUSLY CONSTRUCTED DWELLING.



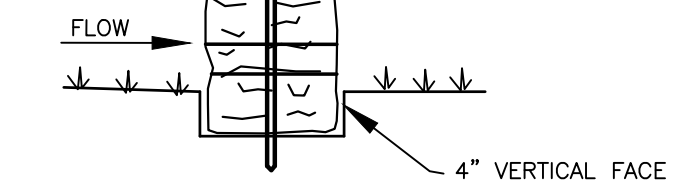
**FRENCH DRAIN DETAIL**  
NOT TO SCALE

- NOTES:  
1. INSTALL CLEANOUT AT HIGHEST INVERT ELEVATION  
2. WRAP ENTIRE TRENCH IN FILTER FABRIC WHERE PERFORATED PIPE IS CALLED FOR.  
3. GRAVEL COVER OVER PIPE SHALL BE ONLY 8" IN TRENCHES WHERE SOLID PIPE IS SPECIFIED, COMMON BACKFILL SHALL EXTEND FROM GRAVEL COVER TO 4" TOPSOIL IN TRENCHES WHERE SOLID PIPE IS SPECIFIED.

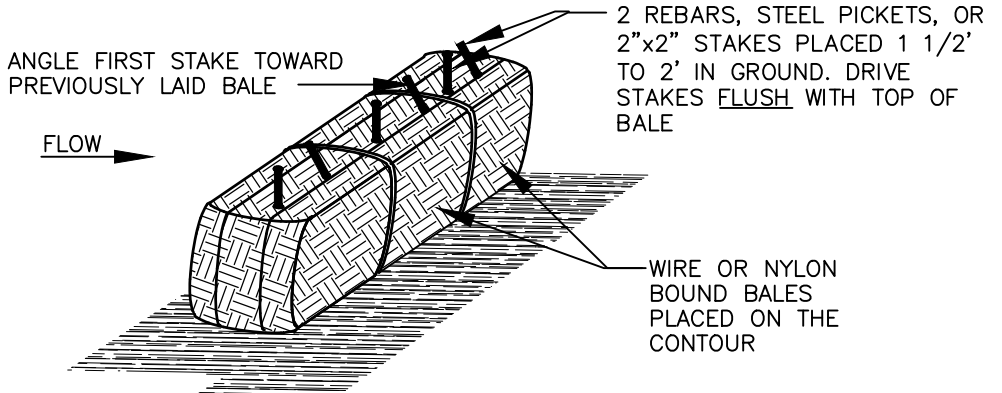


**INLET PROTECTION DETAIL**  
NOT TO SCALE

NOTE: INSPECTION OF BALES SHALL BE FREQUENT AND REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY AS NECESSARY.



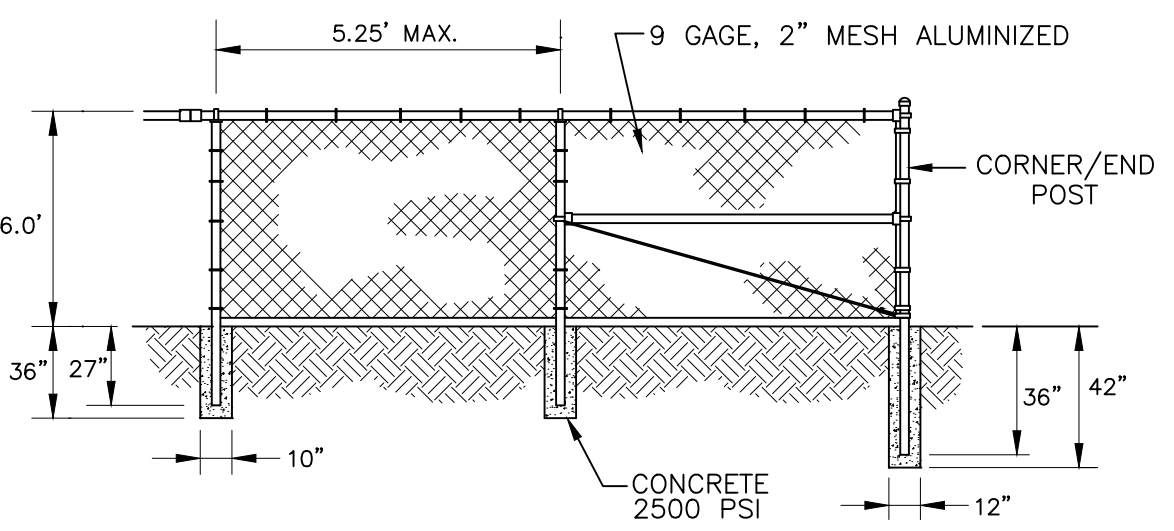
**BEDDING DETAIL**  
NOT TO SCALE  
DRAINAGE AREA NO MORE THAN 1/4 ACRE PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%



**ANCHORING DETAIL**  
NOT TO SCALE

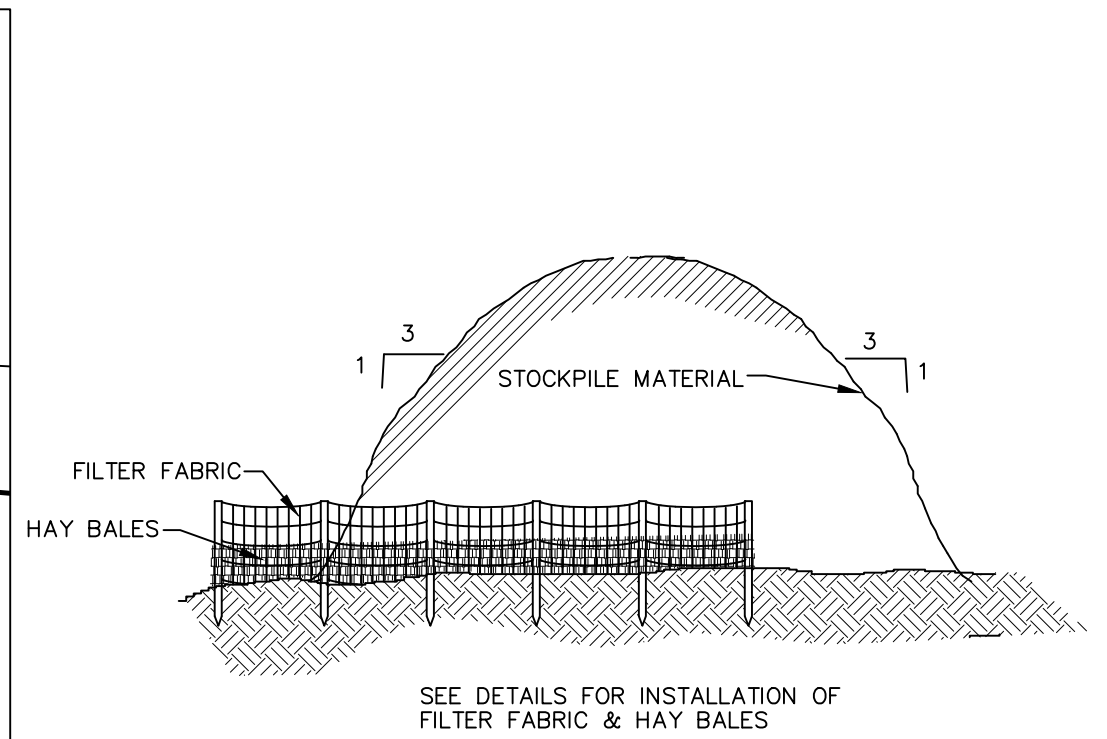
- CONSTRUCTION SPECIFICATIONS**
- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4", AND PLACED SO THE BINDINGS ARE HORIZONTAL.
  - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH BALE.
  - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**STRAW BALE DIKE**  
NOT TO SCALE



**CHAIN LINK PRIVACY FENCE DETAIL**  
NOT TO SCALE

NOTE: 1. PRIVACY SLATS SHALL BE INSTALLED FOR SCREENING.



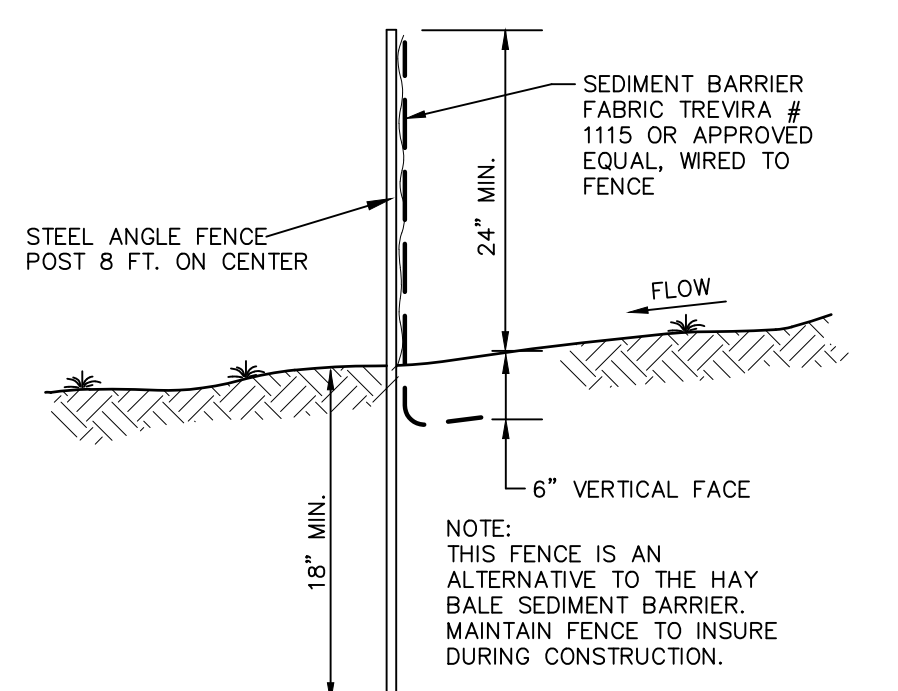
**TYPICAL STOCKPILE DETAIL**  
NOT TO SCALE

**CONSTRUCTION SEQUENCE**

- CLEAR ALL AREAS OF THE SITE THAT WILL BE AFFECTED BY THE PROPOSED DRIVEWAY AND BUILDING CONSTRUCTION. [3 DAYS]
- INSTALL SEDIMENT BARRIERS AS SHOWN ON THESE PLANS AND DETAIL SHEETS. [1 DAY]
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AS SHOWN. [1 DAY]
- STRIP AND GRADE DRIVEWAY TO SUBGRADE AND STOCKPILE TOPSOIL IN APPROVED LOCATIONS. STABILIZE STOCKPILE WITH TEMPORARY SEEDING AND CONSTRUCTION SEDIMENT BARRIER AROUND STOCKPILE. TOPSOIL STOCKPILES SHOWN ARE LOCATED 10-FEET FROM THE DWELLING TO PERMIT CONSTRUCTION ACTIVITIES AND ARE OF ADEQUATE SIZE TO ACCOMMODATE ALL REQUIRED TOPSOIL THAT IS STRIPPED. [3 DAYS]
- STABILIZE ALL DISTURBED AREAS NOT AFFECTED BY BUILDING CONSTRUCTION WITH TEMPORARY SEEDING AND MULCHING MIXTURE. INSTALL EROSION CONTROL MATTING ON SEED STEEP SLOPES. [2 DAYS]
- CONSTRUCT ALL UNDERGROUND UTILITIES AND DRAINAGE FACILITIES WITHIN THE PROPOSED ROADWAYS, REPLACING CONSTRUCTION PAD ENTRANCE AS REQUIRED. INSTALL SILTATION BARRIERS AROUND ANY INLETS. [3 DAYS]
- BEGIN CONSTRUCTION OF INDIVIDUAL DWELLING. [120 DAYS]
- AFTER COMPLETION OF INDIVIDUAL LOT IMPROVEMENTS, REPLACE TOPSOIL STOCKPILES, INSTALL DRIVEWAY BASE AND SURFACE COURSE. [7 DAYS]
- PERFORM FINE GRADING, CONSTRUCT RAIN GARDEN AND INSTALL TREES. [5 DAYS]
- AFTER PERMANENT PLANTING & SEED HAVE BECOME ESTABLISHED, REMOVE SEDIMENT BARRIERS AND PERMANENTLY SEED ANY REMAINING DISTURBED AREAS. [2 DAYS]

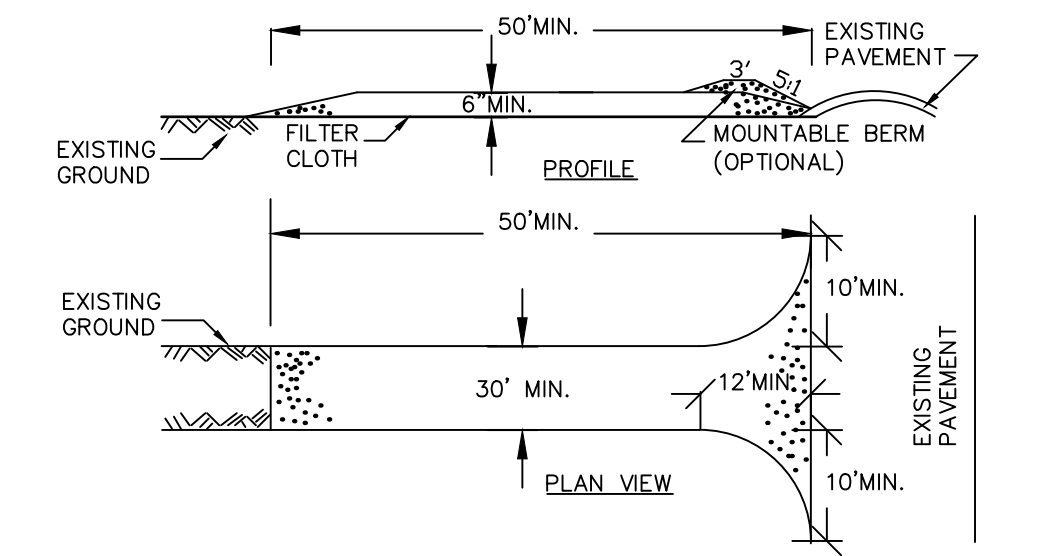
**LEGEND**

- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRES
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING HDPE PIPE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED 3/4" WATER SERVICE LINE
- PROPOSED 4" SDR 35 SEWAGE DISPOSAL LATERAL
- PROPOSED ZONING SETBACK
- PROPOSED DRIVEWAY
- EXISTING ADJACENT DWELLING



**SILT FENCE**  
NOT TO SCALE

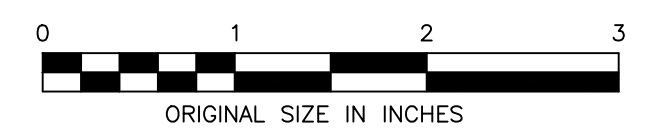
- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN PAVING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**Dig Safely. New York**  
**Call 811**  
before you dig

REVISION	BY	DATE	DESCRIPTION
2	MM	10/25/16	REVISIONS PER FPC 1/8/16 LETTER & 1/7/16 L&T LETTER
1	MM	1/14/16	REVISIONS PER FPC 1/8/16 LETTER & 1/7/16 L&T LETTER

**ARDEN CONSULTING ENGINEERS, PLLC**  
P.O. BOX 340 MONROE, N.Y.  
TEL: (845) 782-8114 FAX: (845) 238-3527  
WWW.ARDENCONSULTING.NET

2-LOT SUBDIVISION FOR  
**DELLAPORTAS ENTERPRISES I**  
CITY OF BEACON  
COUNTY OF DUTCHESS, NEW YORK

**EROSION & SEDIMENT CONTROL PLAN**  
& LANDSCAPING DETAILS

JOB#: 14-008  
SCALE: AS NOTED  
DATE: 11-30-15  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 3 of 3

MICHAEL A. MORGANTE, P.E.  
LIC. NO. 78577

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

NOTE: 1. OPPOSITE HALF OF DECIDUOUS AND EVERGREEN TREE IS SIMILAR.

Matt Sorrell, 32 North Street, was originally against the subdivision but preferred two lots rather than three. He remain opposed to the construction of a house on the newly created lot.

There were no further public comments and Mr. Muscat made a motion to close the SEQRA public hearing, seconded by Mr. Barrack. All voted in favor. Mr. Williams made a motion to grant a Negative Declaration for SEQRA environmental review, seconded by Mr. Muscat. All voted in favor. Motion carried.

Ms. Reynolds made a motion to open the public hearings on the applications for Site Plan Approval and Subdivision Approval, seconded by Mr. Muscat. All voted in favor. Motion carried. There were no comments from the public and the hearings were closed on a motion made by Mr. Barrack, seconded by Mr. Muscat. All voted in favor. Motion carried.

Mr. Barrack made a motion to grant Site Plan Approval subject to any outstanding conditions, and authorize the City Attorney to draft a resolution of approval, seconded by Mr. Muscat. All voted in favor. Motion carried.

**ITEM NO. 6 CONTINUE REVIEW OF APPLICATION TO AMEND AN EXISTING SPECIAL USE PERMIT, ARTIST LIVE WORK/SELF STORAGE, 39 FRONT STREET, SUBMITTED BY BEACON LOFTS & STORAGE**

Mr. Sheers reported the traffic study needs more work and the archeological study was just submitted, therefore recommended review continue at the next meeting. Aryeh Siegel reported they responded to comments about the parking lot and will return next month for further review.

**ITEM NO. 7 CONTINUE REVIEW OF APPLICATION FOR SITE PLAN APPROVAL, 6 UNIT RESIDENTIAL “FERRY LANDING AT BEACON”, BEEKMAN STREET, SUBMITTED BY FERRY LANDING AT BEACON, LTD.**

Tom Elias reported they just received comments from the board consultants and will address confusion that exists with the survey. Mr. Tully explained the topographic survey presented with the plan is not consistent with the filed subdivision plat. In addition, easements and offers of dedication shown on the filed subdivision plat are not shown on the current plan. Mr. Elias was advised to meet with the consultants and return for further review next month.

**ITEM NO. 8 CONTINUE REVIEW OF APPLICATION FOR SUBDIVISION APPROVAL, 13-LOT RESIDENTIAL, SUBMITTED BY AK PROPERTY HOLDING, LLC, 25 TOWNSEND STREET**

This item was adjourned to the December 12, 2017 meeting.

**Miscellaneous Business**

Zoning Board of Appeals – November Agenda

Members reviewed the ZBA’s November agenda and had no comments.

Dellaportas Subdivision (Dennings Avenue) update for DC DOH

Attorney Jordan Haug explained his client is furthering work on their subdivision application that was before the board last year. The Dutchess County Department of Health is

requesting a referral letter from the Planning Board for a separation distance waiver between water and sewer service lines. After considering the request, Mr. Williams made a motion to authorize the referral letter as requested, seconded by Mr. Muscat. All voted in favor. Motion carried.

Request for additional 90-day extension of Subdivision Approval; 135-137 Spring Valley Street

Engineer Mike Bodendorf requested one additional 90-day extension in order to finish an easement agreement for an existing City sewer line that runs through the site. After some consideration, Mr. Williams made a motion to grant a 90-day extension as requested, seconded by Ms. Reynolds. All voted in favor. Motion carried.

**Architectural Review**

Certificate of Appropriateness – 176 Main Street; sign “Infinite Global”

No one was present for this item; it will be added to the December meeting agenda.

Certificate of Appropriateness – One East Main Street sign; “Trax Coffee Roaster”

No one was present for this item; it will be added to the December meeting agenda.

Certificate of Appropriateness – One East Main Street sign; “Sallyeander”

Sallye Ander presented her proposal for a building sign to advertise “SallyeAnder” storefront at One East Main Street. The sign will consist of Cedar wood lettering on a black background. After careful consideration, Mr. Muscat made a motion to approve the proposal as presented, seconded by Ms. Reynolds. All voted in favor. Motion carried.

Single Family House – 65 Dennings Avenue; amend rear elevation only

Engineer Steve Burns and owner Tim Owen presented the proposal to amend an approved new single family house at 65 Dennings Avenue (Lot #3) with the addition of a rear dormer. The color scheme approved at the April 11, 2017 meeting will not be changed. After careful consideration, Mr. Williams made a motion to approve the proposal as presented, seconded by Mr. Muscat. All voted in favor. Motion carried.

Single Family House – North Elm Street (Lot #2 of Church Street Subdivision)

Gianni DiLello described his proposal to construct a new single family house on Lot #2 of the recent subdivision at 16 Church Street. Members reviewed elevation drawings, proposed color schemes and compared it to neighboring housing stock. After careful consideration, Mr. Williams made a motion, seconded by Mr. Muscat, to approve the plan as presented with the following color scheme: Siding – Mastic Harbor Grey; Roof – GAF Charcoal; Windows – White; Trim – White; Garage Door – White; Brick around front door. All voted in favor. Motion carried.

**Miscellaneous Business**

Due to the absence of two members and length of the meeting, discussion of zoning amendments will continue at the December meeting.

There was no further business to discuss and the meeting was adjourned on a motion made by Ms. Reynolds, seconded by Mr. Williams. All voted in favor. Motion carried. The meeting adjourned at 11:08 p.m.

A lengthy discussion took place regarding a blasting plan and the applicant was asked to provide a detailed narrative; it was noted that information will need to be included in SEQR documentation. The traffic study must also include information on truck traffic during construction. Review took place on details of construction, number of workers, parking, and protection to adjacent properties, specifically the church and cemetery. Proposed roof gardens, stormwater retention, plantings, and the walkway were discussed. The applicant will return next month for further review.

**ITEM NO. 6 CONTINUE REVIEW OF APPLICATION FOR SUBDIVISION, 2-LOT RESIDENTIAL, SUBMITTED BY DELAPORTAS ENTERPRISES I, INC., DENNINGS AVENUE**

Mike Morgante, of Arden Consulting Engineers, described his client's proposal for a two-lot subdivision of a parcel of land located at the corner of Dennings Avenue and Hudson Avenue in the R1-10 zoning district. The existing dwelling will be separated and a new lot created for a new single family house. During recent construction of that new house, several improvements were made to the property which included a series of catch basins, piping, and connections to municipal water and sewer utilities. Mr. Morgante reported the stormwater improvements have performed well and no overflow from site has occurred.

Mr. Stolman reported the original application was made prior to construction of the new house therefore the environmental assessment form must be updated to show all existing conditions. An easement and appropriate documentation must be provided for the proposed common driveway.

Mr. Russo reported a property visit in 2014 showed significant water on site. The size of stormwater piping and locations were reviewed. He asked that footing drains be shown on the plan, and a larger scale of the utility plan including measurements between utilities be provided. Mr. Russo advised the common driveway must be 16 ft. wide to the point of separation and parking in the front yard is not permitted. He suggested extending the installation of trees along the easterly boundary to provide additional screening between neighbors, and that a maintenance agreement for the proposed trees be required to replace any trees that may die. The applicant will return next month with revised plans.

Considering this is an unlisted action under SEQR, Mr. Lambert made a motion to circulate a document indicating the Planning Board's intent to act as Lead Agent in the environmental review process subject to submission of a revised EAF, seconded by Mr. Barrack. All voted in favor. Motion carried.

**ITEM NO. 7 REVIEW APPLICATION FOR SUBDIVISION APPROVAL, 15-LOT RESIDENTIAL, SUBMITTED BY AK PROPERTY HOLDING, LLC, 25 TOWNSEND STREET**

Jon Bodendorf of Hudson Land Design, presented his client's proposal for a 15-lot residential subdivision of a five acre parcel, formerly owned by the Knights of Columbus, located at the end of Townsend Street in the R1-7.5 zoning district. The existing building will be





**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**21 South Avenue**

**Subject:**

Continue review of application for Site Plan Approval related to Special Use Permit, three-unit residential, 21 South Avenue, submitted by Protestant Episcopal Diocese of New York

**Background:**

**ATTACHMENTS:**

Description	Type
21 South Avenue Special Use Permit	Resolution
21 South Avenue Site Plan-compressed	Plans



**CITY OF BEACON  
CITY COUNCIL**

Resolution No. 155 of 2018

**RESOLUTION  
GRANTING A SPECIAL USE PERMIT FOR  
21 SOUTH AVENUE**

**WHEREAS**, Reverend John Williams, on behalf of the property owner, **Protestant Episcopal Diocese of New York** (the "Applicant"), submitted an application for a Special Use Permit to renovate an existing building to create three apartments on property located at 21 South Avenue and designated on the Tax Map of the City of Beacon as Parcel ID 5954-26-724907 (the "Property") in the R1-7.5 Zoning District, the Historic District and Landmark Overlay District and the Coastal Management Zone in the City of Beacon, Dutchess County, New York (the "Project" or "Proposed Action"); and

**WHEREAS**, the Special Use Permit Application was submitted by the Applicant in conjunction with its application for Site Plan approval; and

**WHEREAS**, the Proposed Action includes a request for an Local Waterfront Revitalization Project (LWRP) Consistency Determination and a Certificate of Appropriateness from the Planning Board pursuant to the criteria set forth in § 134-7 of the City of Beacon Code; and

**WHEREAS**, the City Council is the approval authority for the Special Use Permit pursuant to City of Beacon Zoning Code §§ 223-18 and 223-24.7; and

**WHEREAS**, the Planning Board considered the Proposed Action at its June 12, 2018 and July 10, 2018 meetings and issued a report to the City Council dated July 11, 2018 recommending approval of the Special Use Permit; and

**WHEREAS**, the Site Plan is shown on the drawing, entitled "Renovation of 21 South Avenue," last revised July 20, 2018, as prepared by Barry Donaldson Architects; and

**WHEREAS**, the Proposed Action is a Type II action pursuant to the New York State Environmental Quality Review Act, and accordingly, no further environmental review is required; and

**WHEREAS**, the Planning Board determined that the Proposed Project is entirely consistent with the LWRP policies which apply to the project; and

**WHEREAS**, on September 17, 2018, the City Council opened a public hearing on the Special Permit application at which time all interested persons were given the opportunity to be heard and the public hearing was closed on September 17, 2018; and

**WHEREAS**, the City Council has reviewed the application for a Special Use Permit against the standards for a Special Use Permit set forth in the City of Beacon Zoning Code §§ 223-18 and 223-24.7, and finds the proposal complies with this section of the Zoning Law, as set forth below.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council hereby finds pursuant to §§ 223-18 and 223-24.7 of the City Zoning Code:

1. The location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located.
2. The existing singly family home will be converted into a three unit apartment, but the existing building footprint will remain unchanged.
3. The location, nature and height of buildings, walls and fences and the nature and extent of the landscaping on the site are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings.
4. Operations in connection with the proposed multifamily special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristic than would be the operations of any permitted use, not requiring a special permit.
5. Parking areas will be of adequate size for the particular use and properly located and suitably screened from the adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety. There is an existing asphalt lot on the site to the rear of the building. The Applicant will expand the existing driveway to the lot and will add five lined parking spaces.
6. The multifamily residential use will not exceed four units.
7. Any exterior restoration shall maintain the architectural and historic integrity of the structure. Any new construction shall be compatible with neighboring structures. The renovation of the existing building has been designed with consideration to the historic nature of the subject building and other buildings in the neighborhood, including colors, architectural features and site improvements. Such renovations will enhance and restore the historic nature of the existing structure.

8. The proposed use is compatible with the neighborhood, and activities permitted within the structure can be adequately buffered from any surrounding residential homes.
9. The resulting traffic generation will not overburden existing roads, and adequate parking can be provided without unduly destroying the landscape or the setting of the structure.
10. The proposed use is appropriate to the structure, will aid in the preservation of the structure and will not result in undue alterations or enlargement of the structure.

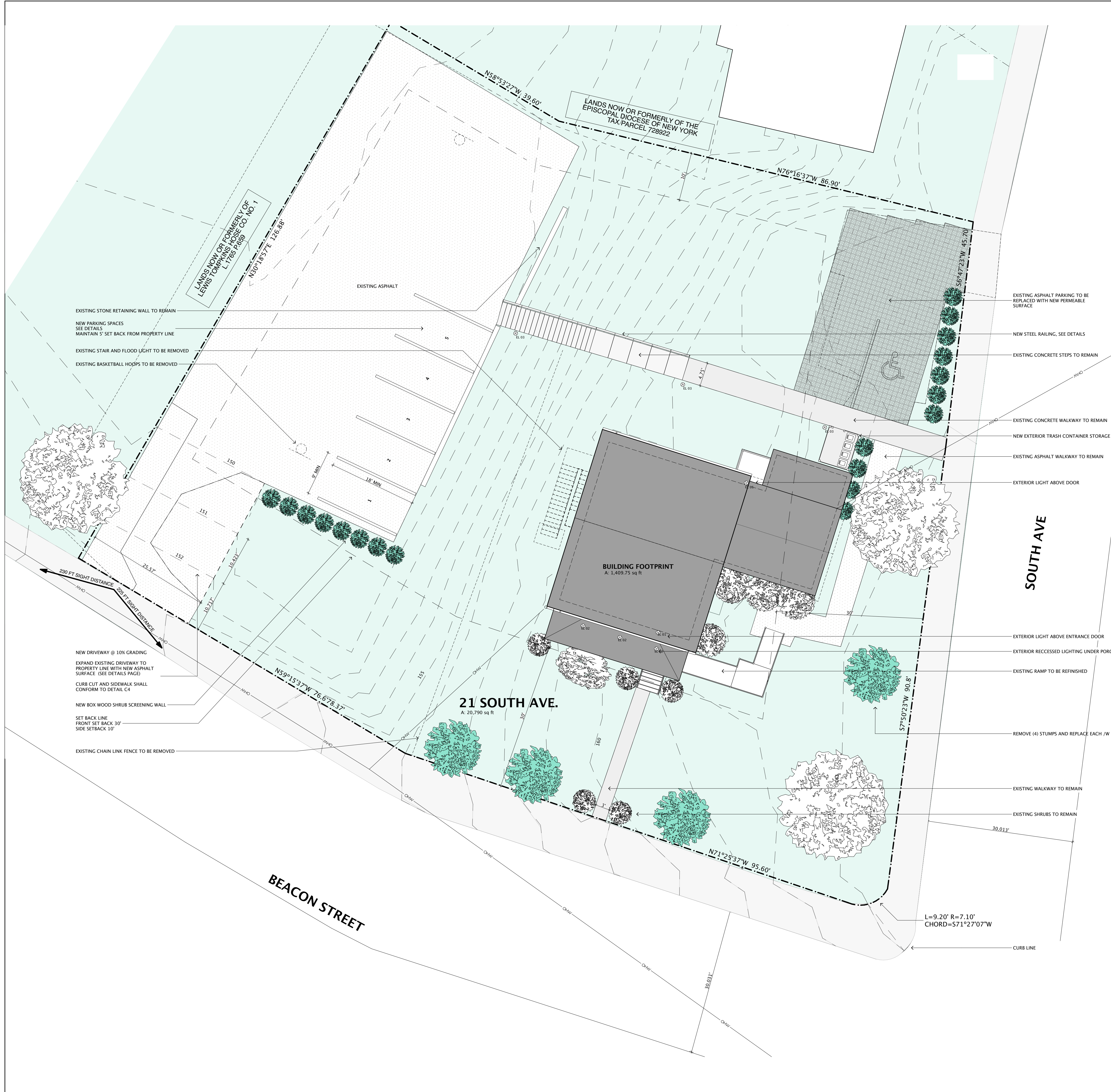
**BE IT FURTHER RESOLVED**, that the City Council grants a Special Use Permit to the Protestant Episcopal Diocese of New York to renovate an existing building to create three apartments on property located at 21 South Avenue as set forth and detailed on the plans prepared by Barry Donaldson Architects, dated July 20, 2018 upon the following conditions:

1. Prior to the issuance of a Building Permit, the Applicant shall obtain Site Plan and Certificate of Appropriateness Approval from the City of Beacon Planning Board.
2. The Applicant shall reconfigure its off-street parking lot to comply with § 223-26C(1) of the City Zoning Code, which provides that no off-street parking facility shall be developed in any side or rear yard within five feet of the lot line.
3. All off-street parking areas shall be landscaped with appropriate trees, shrubs and other plant materials and ground cover as required under § 223-26C(3) of the City Zoning Code.
4. No permits shall be issued until the Applicant has paid to the City all applicable fees and professional review fees incurred in connection with review of this Application.
5. A copy of this Resolution shall be attached to the Certificate of Occupancy.
6. As used herein, the term "Applicant" shall include its heirs, successors and assigns.
7. In accordance with Section 223-18.F(1) of the Zoning Law, this Special Permit Approval authorizes only the particular use specified in the permit and shall expire if:
  - a. A bona fide application for a Building Permit is not filed within one (1) year of the issuances of this Special Permit Approval; or
  - b. If all required improvements are not made within one (1) years from the date of issuance of the Building Permit; or

- c. If said use ceases for more than six (6) months for any reason.
8. In accordance with Section 223-18.1(2) of the Zoning Law, the City Council may grant one (1) or more extensions of up to six (6) months each, to (a) complete the conditions of approval for the special permit use, upon a finding that the applicant is working toward completion of such conditions with due diligence and has offered a reasonable explanation of its inability to complete such improvements and file a bona fide application for a building permit, and (b) to complete construction of the improvements, upon a finding that the Applicant is prosecuting construction with due diligence and has offered a reasonable explanation of its inability to complete the Project. The City Council may impose such conditions as it deems appropriate upon the grant of any extension. The granting of an extension of time shall not require a public hearing.
  9. The Building Inspector may revoke this Special Permit Approval where it is found that the use of the premises does not conform with the limitations and conditions contained in the Special Permit Approval.
  10. If any of the conditions enumerated in this resolution upon which this approval is granted are found to be invalid or unenforceable, then the integrity of this resolution and the remaining conditions shall remain valid and intact.
  11. The approvals granted by this resolution do not supersede the authority of any other entity.

Dated: September 17, 2018

<b>Resolution No. <u>155</u> of 2018</b>		<b>Date: <u>September 17, 2018</u></b>					
<input type="checkbox"/> Amendments		<input type="checkbox"/> On roll call				<input type="checkbox"/> 2/3 Required.	
<input type="checkbox"/> Not on roll call.						<input type="checkbox"/> 3/4 Required	
Motion	Second	Council Member	Yes	No	Abstain	Reason	Absent
<b>x</b>		<b>Terry Nelson</b>	<b>x</b>				
		<b>Jodi McCredo</b>	<b>x</b>				
		<b>George Mansfield</b>					<b>x</b>
		<b>Lee Kyriacou</b>	<b>x</b>				
	<b>x</b>	<b>John Rembert</b>	<b>x</b>				
		<b>Amber Grant</b>	<b>x</b>				
		<b>Mayor Randy J. Casale</b>	<b>x</b>				
		<b>Motion Carried</b>	<b>x</b>				



- 1. Property Profile**
- 1.1. Block No 26
  - 1.2. Lot No 724907
  - 1.3. Zoning District R1-7.5
  - 1.4. Overlay Historic District and Landmark
  - 1.5. Lot Area 20,790 SQ FT
  - 1.6. Building Footprint 1,409 SQ FT
  - 1.7. No. Of Floors 2.5
  - 1.8. Owner of Record
- EPISCOPAL DIOCESE OF NEW YORK  
1047 AMSTERDAM AVE.  
NY, NY 10025
- 1.9. Applicant  
REV JOHN WILLIAMS  
15 SOUTH AVE.  
BEACON, NY 10025
- 1.10. Prepared By  
BARRY DONALDSON ARCHITECTS  
14 KING ST.  
CROTON ON HUDSON, NY 10520

- 2. GENERAL NOTES**
- 2.1. Conversion of existing single family home into 3 unit apartment.
  - 2.2. Existing contours to remain unchanged.
  - 2.3. Existing building footprint to remain unchanged.
  - 2.4. Property is not in a flood zone.
  - 2.5. No new signage.
  - 2.6. No new fences or retaining walls.
- 3. LANDSCAPING NOTES**
- 3.1. No trees to be removed.

**WATERFRONT REVITALIZATION PROGRAM NOTE**  
WE CERTIFY THAT THIS PROJECT CONFORMS TO THE STANDARDS AND SPIRIT OF BEACON'S WATERFRONT REVITALIZATION PROGRAM. THE PROJECT WILL IMPROVE THE SCENIC AND HISTORIC QUALITY OF THE SITE, AS WELL AS IMPROVE DRAINAGE, AND LANDSCAPING.

**INFLOW AND INFILTRATION NOTE**  
WE CERTIFY THAT THE SITE HAS NO ILLEGAL CROSS CONNECTION BETWEEN SEWER AND DRAINAGE. ROOF LEADERS DRAIN TO SURFACE. NO SLUMP PUMP OR SITE DRAINS. MAIN HOUSE DRAIN IS TIED DIRECTLY INTO CITY OF BEACON SEWER SYSTEM.

GRASS

NEW TREE OR SHRUB

ASPHALT

CONCRETE

REMOVALS

OHW OVERHEAD POWER LINES

**PARKING REQUIREMENTS SCHEDULE**

	CODE MIN.	CALCULATED AMOUNT	ACTUAL PROVIDED
SPACES PER UNIT	1	3	
ADDITIONAL SPACES PER BEDROOM	0.25	1.25	
		4.25	6

**ZONING REGULATION SCHEDULE**

R1-7.5	MINIMUM	ACTUAL	NOTE
MINIMUM LOT SIZE	7,500 SQ FT	20,790 SQ	PASS
LOT AREA PER DWELLING UNIT	7,500 SQ FT	6,930 SQ FT	PASS
MINIMUM FRONT YARD	30 FT	20 FT	PRE-EXISTING
MINIMUM SIDE YARD	10 FT		PASS
MINIMUM REAR YARD	30 FT	N/A	
MAXIMUM HEIGHT	2.5 AND 35	32 FT	PASS
MAXIMUM BUILDING COVERAGE	30%	7%	PASS
MULTIPLE FAMILY	N/A		BY SPECIAL PERMIT



**AREA MAP**  
NOT TO SCALE

03		
02	7/10/18	PLANNING DEPT. SUBMITTAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE

ISSUE RECORD

SEAL & SIGNATURE

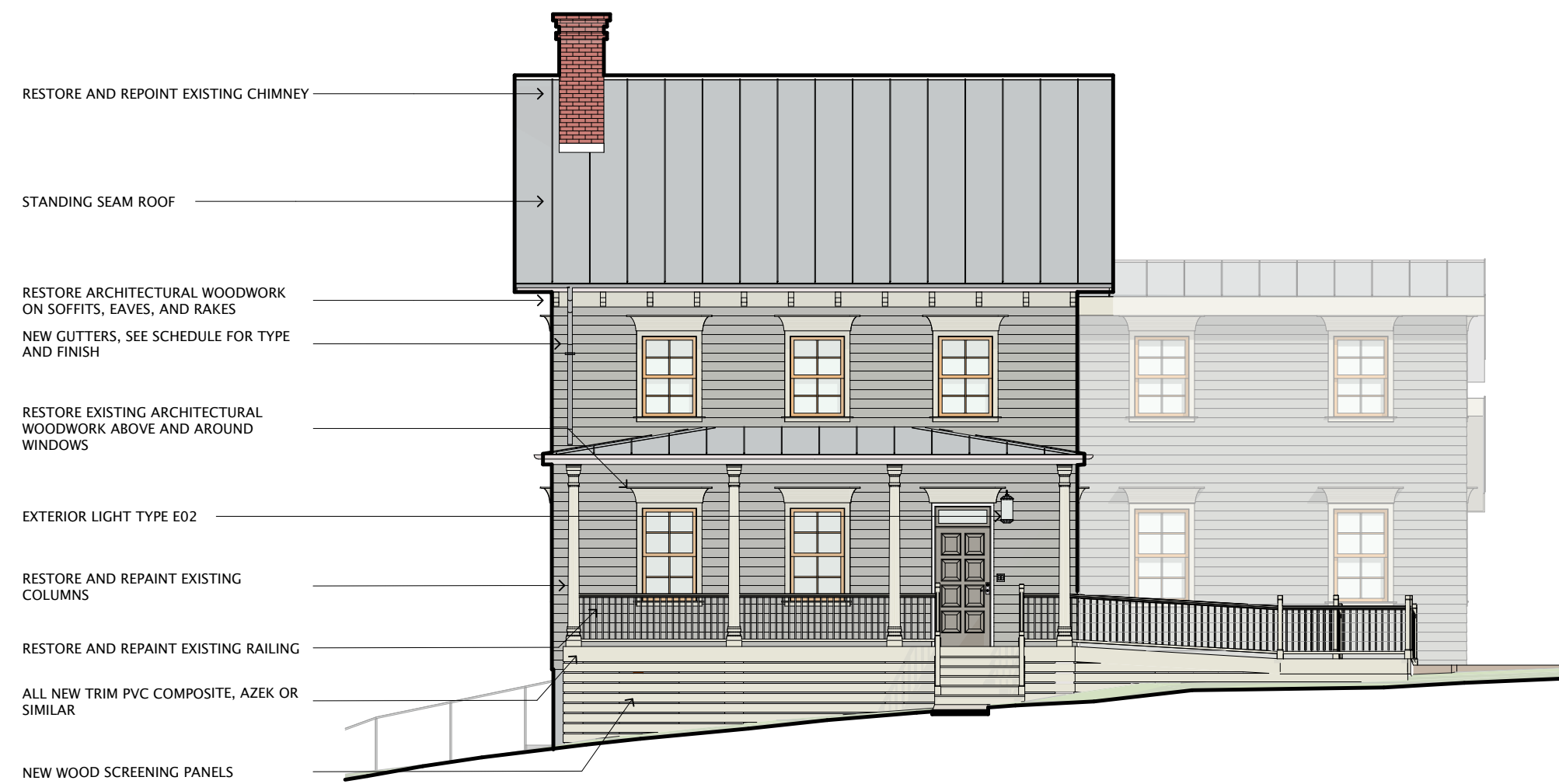
**BARRY DONALDSON ARCHITECTS**  
14 KING STREET  
CROTON ON HUDSON, NY 10520  
TEL 914-877-8849  
EMAIL BDA@BARRYDONALDSONARCHITECTS.COM

PROJECT  
**Renovation of 21 South Ave.**  
21 South Ave.  
Beacon, NY  
12508

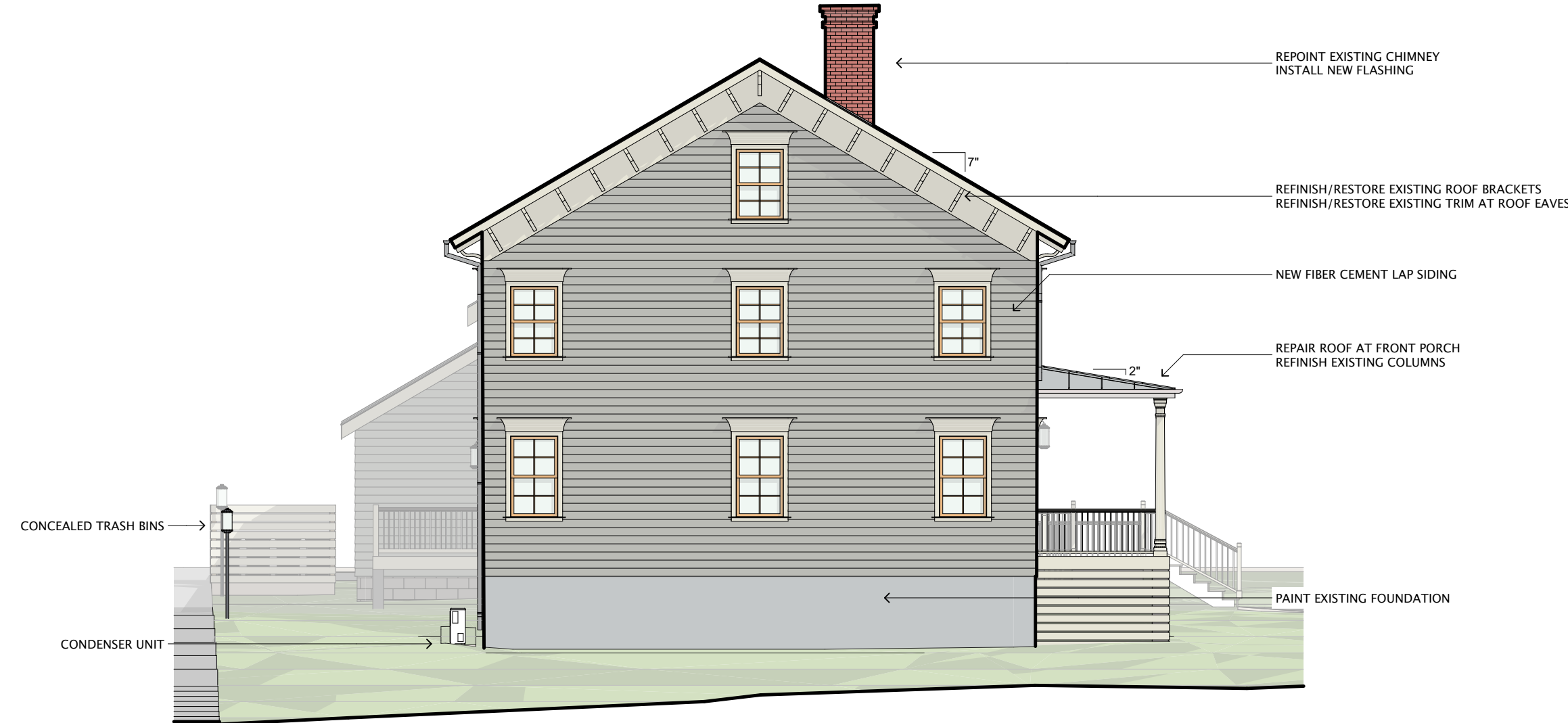
DRAWING TITLE  
**SITE PLAN**

JOB NO.	DATE	SCALE
8032-01-01	7/10/18	1" = 10'

DRAWING NO.  
**01**



- RESTORE AND REPOINT EXISTING CHIMNEY
- STANDING SEAM ROOF
- RESTORE ARCHITECTURAL WOODWORK ON SOFFITS, GAVES, AND BARKS
- NEW GUTTERS, SEE SCHEDULE FOR TYPE AND FINISH
- RESTORE EXISTING ARCHITECTURAL WOODWORK ABOVE AND AROUND WINDOWS
- EXTERIOR LIGHT TYPE E02
- RESTORE AND REPAINT EXISTING COLUMNS
- RESTORE AND REPAINT EXISTING RAILING
- ALL NEW TRIM PVC COMPOSITE, AZEK OR SIMILAR
- NEW WOOD SCREENING PANELS



- REPOINT EXISTING CHIMNEY  
INSTALL NEW FLASHING
- REFINISH/RESTORE EXISTING ROOF BRACKETS  
REFINISH/RESTORE EXISTING TRIM AT ROOF EAVES
- NEW FIBER CEMENT LAP SIDING
- REPAIR ROOF AT FRONT PORCH  
REFINISH EXISTING COLUMNS
- CONCEALED TRASH BINS
- CONDENSER UNIT
- PAINT EXISTING FOUNDATION

**C1** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

**C2** WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**A2** EAST ELEVATION  
SCALE: 1/8" = 1'-0"

**EXTERIOR LIGHTING SCHEDULE**

ID		MANUFACTURER	MODEL	LUMENS	LIGHT COLOR	NOTES
EL-01		BAZZ	LED 410	800	3000 K	4.5" DIMMABLE
EL-02		PROGRESS LIGHTING	P560082-031 HOLLINGSWORTH 5TH WALL LANTERN		3000 K	
EL-03		PROGRESS LIGHTING	P540029-031 Hollingsworth Post Lantern		3000 K	

**WINDOW SCHEDULE**

TYPE	DESCRIPTION	MANUFACTURER	MOEDEL	WIDTH	HEIGHT	EXTERIOR FINISH	EXTERIOR FINISH SWATCH	INTERIOR FINISH	DIVIDERS	AMOUNT	NOTES
1	DOWNSTAIRS DOUBLE HUNG	MARVIN	ULTIMATE DOUBLE HUNG NEXT GENERATION	3'	5'-0"	STONE WHITE		WHITE OAK	SIMULATED DIVIDED LITE WITH SPACE BAR 2X2	13	
2	UPSTAIRS DOUBLE HUNG	MARVIN	ULTIMATE DOUBLE HUNG NEXT GENERATION	3'	4'-5"	STONE WHITE		WHITE OAK	SIMULATED DIVIDED LITE WITH SPACE BAR 2X2	13	

**FINISH SCHEDULE**

ID	DESCRIPTION	MANUFACTURER	MATERIAL	FINISH	COLOR	SWATCH	PANTONE EQUIVALENT
FN 01	CLABBARD SIDING		CEDAR	PAINTED	HARBOR GRAY BENJAMIN MOORE NUMBER: AC-25		427 C
FN 02	STANDING SEAM ROOF	MCELROY	STEEL		SLATE GRAY		424 C
FN 03	DECKING	TREX	FIBER CEMENT	TEXTURED	WOODLAND BROWN		4975 C
FN 04	TRIM AT WINDOWS	LOCAL SOURCE	PAINTED FIR	PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 05	PROFILED TRIM AT TOP OF WINDOWS	LOCAL SOURCE	PAINTED FIR	PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 06	REFINISHED AND PAINTED EXPOSED FOUNDATION FIELD STONE FOUNDATION	EXISTING REFINISHED		PAINTED	GRAYTINT BENJAMIN MOORE NUMBER: 1611		COOL GRAY 1 C
FN 07	EXISTING DECK RAILING - TOP RAIL	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 08	DECK RAILING - POSTS/BALUSTERS/BOTTOM RAIL	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 09	REFINISHED TRIM	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 10	NEW DECK RAILING	SITE BUILT	DOUGLIOUS FIR	STAINED	DARK WALNUT BENJAMIN MOORE NUMBER: 1358		438 C
FN 11	RAILING AT CONCRETE WALKWAY	SITE BUILT	GALVANIZED STEEL	MATT PAINT	STORM SKY BENJAMIN MOORE NUMBER: 1616		COOL GRAY 10 C
FN 12	GUTTERS/DOWNSPOUTS		ALUMINUM		MANUFACTURER'S GREY CLOSEST TO NOTED PANTONE NUMBER		COOL GRAY 1 C

03		
02	7/10/18	PLANNING DEPT. SUBMITTAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE

ISSUE RECORD  
SEAL & SIGNATURE

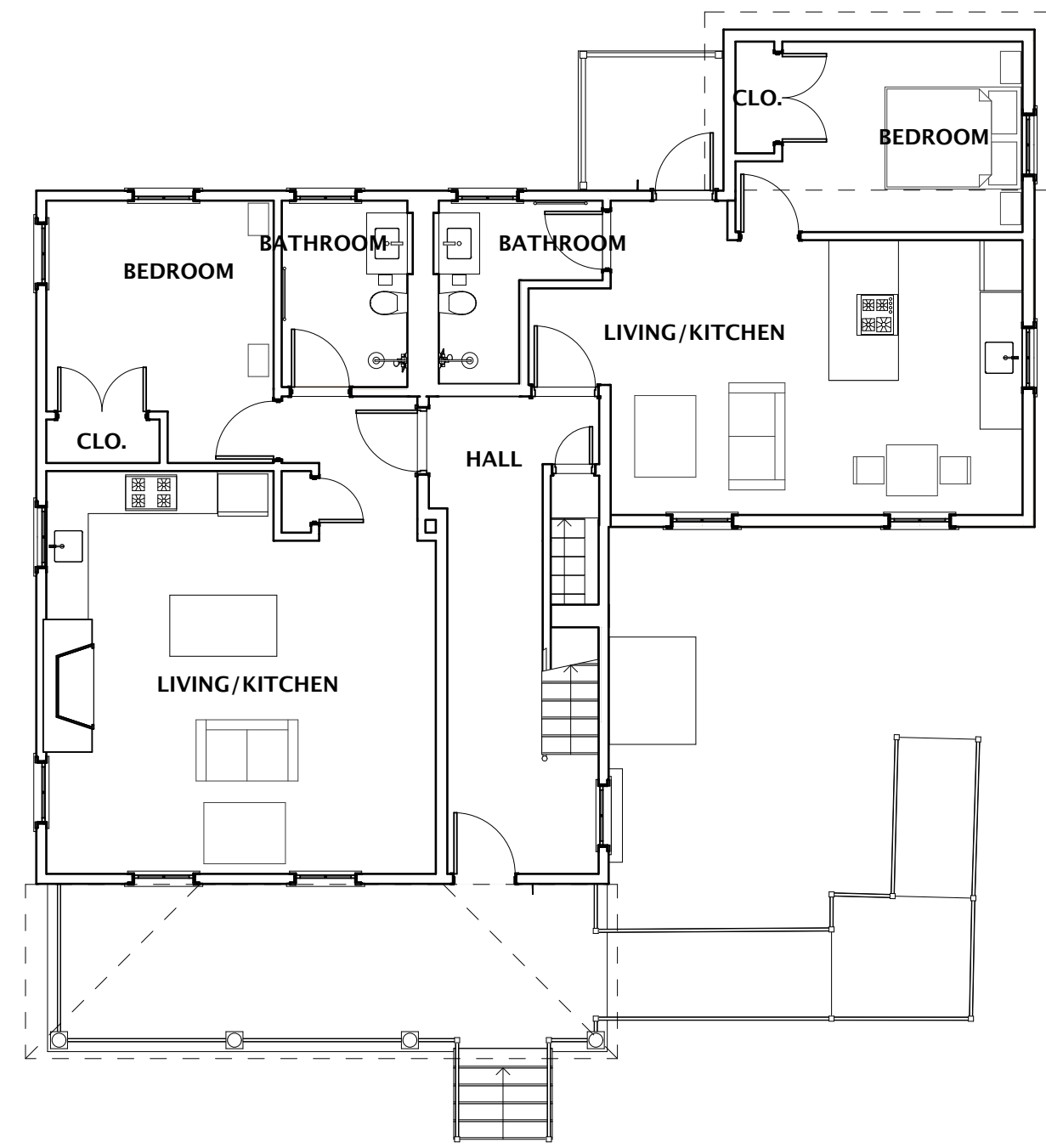
**BARRY DONALDSON ARCHITECTS**  
14 KING STREET  
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TEL: 914-877-8840  
EMAIL: BDB@BARRYDONALDSONARCHITECTS.COM

PROJECT  
**Renovation of 21 South Ave.**  
21 South Ave.  
Beacon, NY  
12508

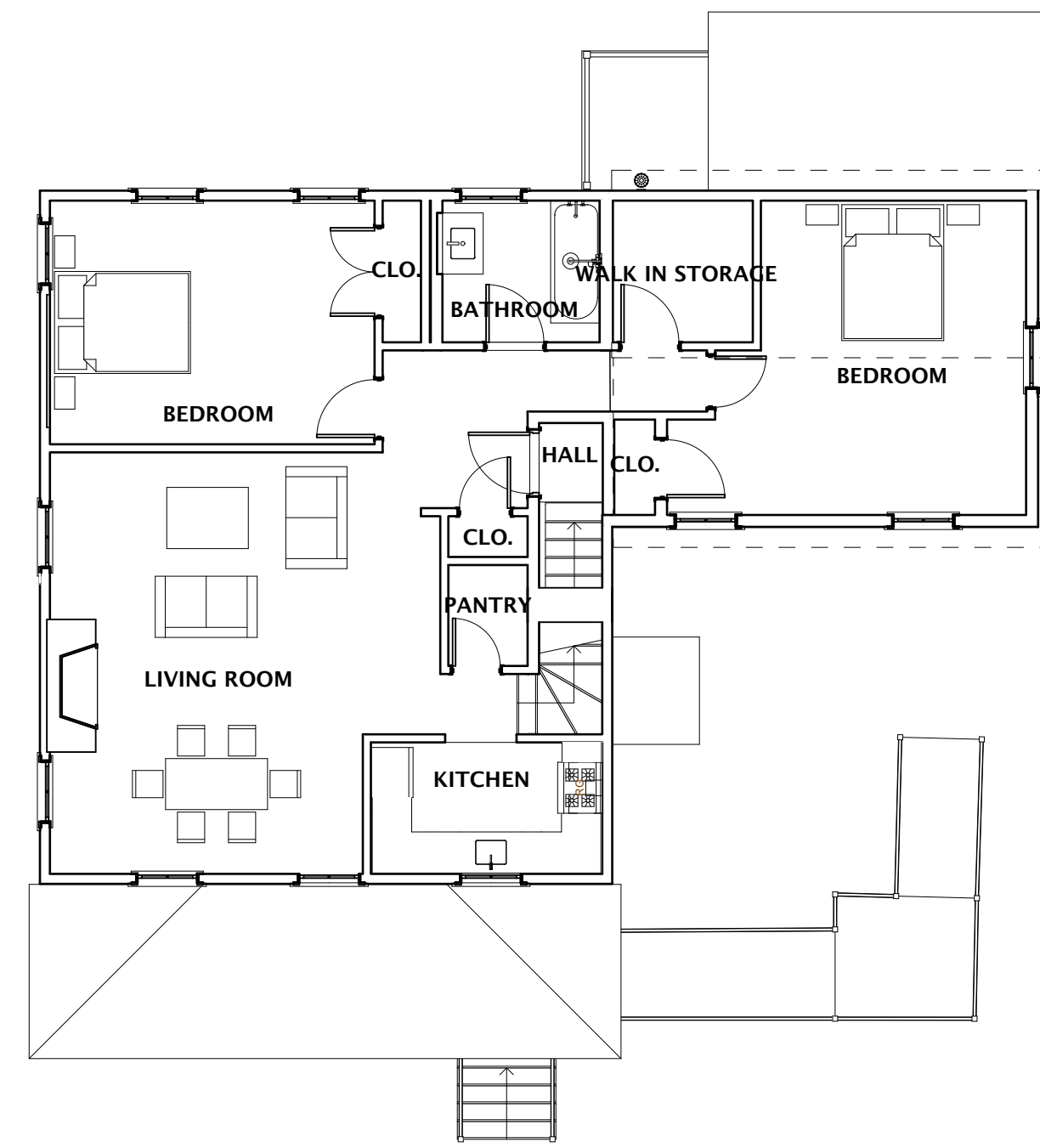
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**ELEVATIONS**

JOB NO. 8032-01-01  
DATE 7/10/18  
SCALE 1/8" = 1'-0"

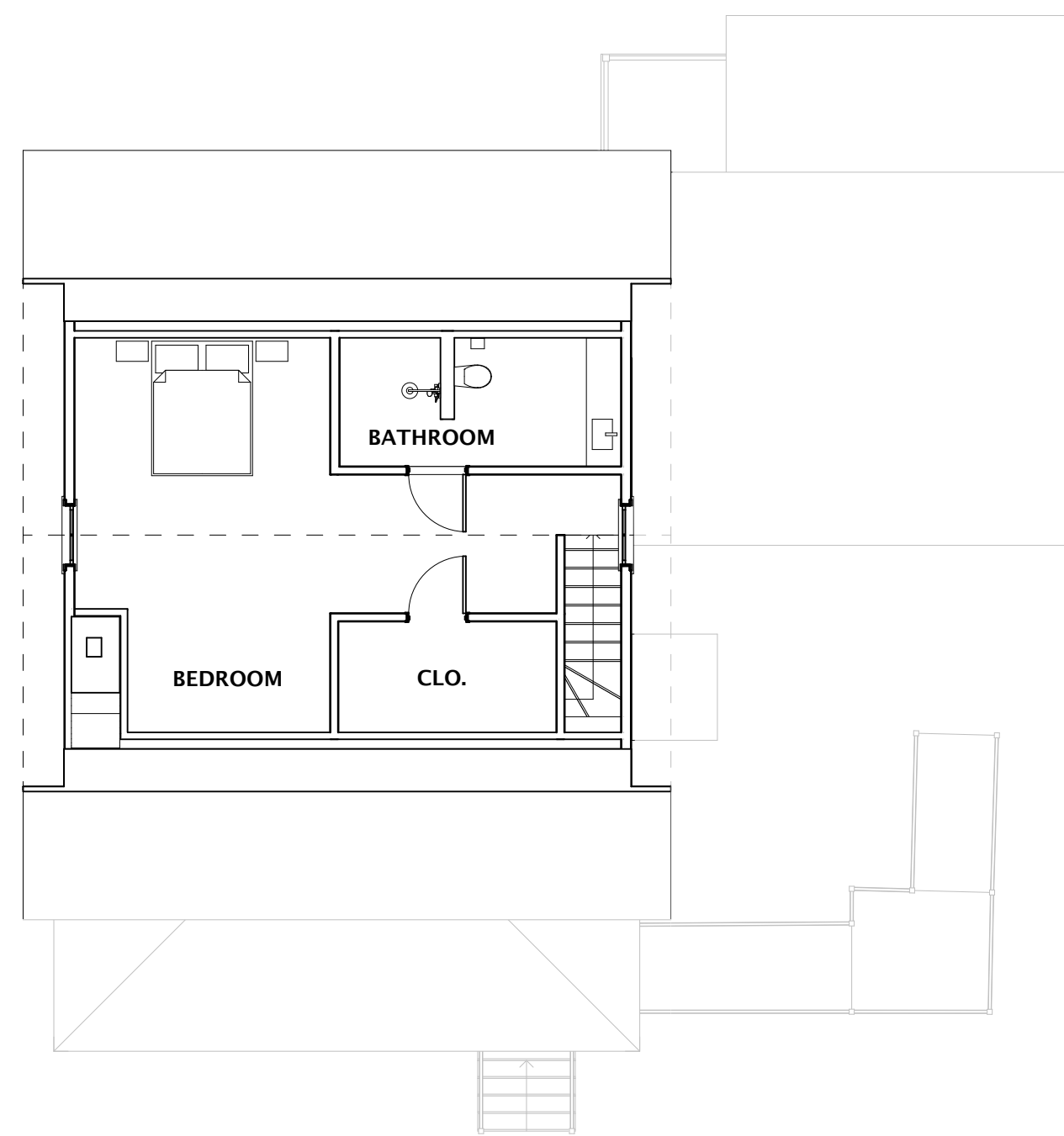
DRAWING NO.  
**02**



**C1** 1ST FLOOR APARTMENT 1 AND 2  
SCALE: 1/8" = 1'-0"



**C3** 2ND FLOOR APARTMENT 03  
SCALE: 1/8" = 1'-0"



**A1** 3RD FLOOR APARTMENT 03 MASTER BEDROOM  
SCALE: 1/8" = 1'-0"

03		
02	7/10/18	PLANNING DEPT. SUBMITTAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE

ISSUE RECORD

SEAL & SIGNATURE

**BARRY DONALDSON ARCHITECTS**  
14 KING STREET  
CROTON ON HUDSON, NY 10520  
TEL: 914-877-8849  
EMAIL: BARRY@BARRYDONALDSONARCHITECTS.COM

PROJECT  
**Renovation of 21 South Ave.**  
21 South Ave.  
Beacon, NY  
12508

DRAWING TITLE  
**SCHEMATIC PLANS**

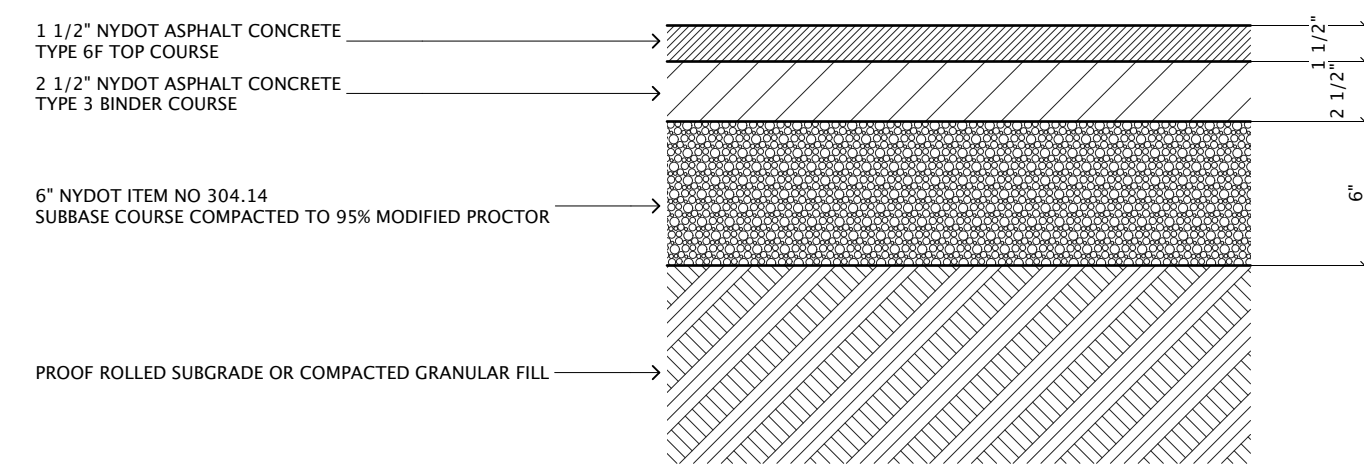
JOB NO. 8032-01-01	DATE 7/10/18	SCALE 1/8" = 1'-0"
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DRAWING NO. <b>03</b>
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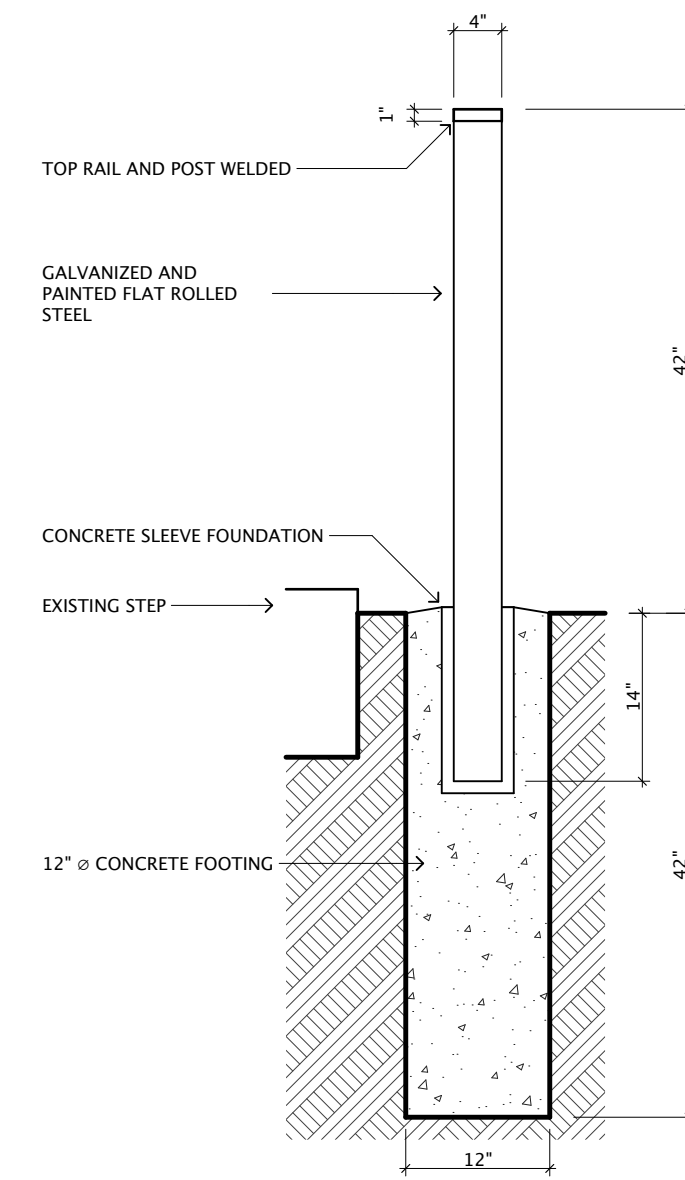


**D1 SITE RAILING ELEVATION**  
SCALE: 3/4" = 1'-0"

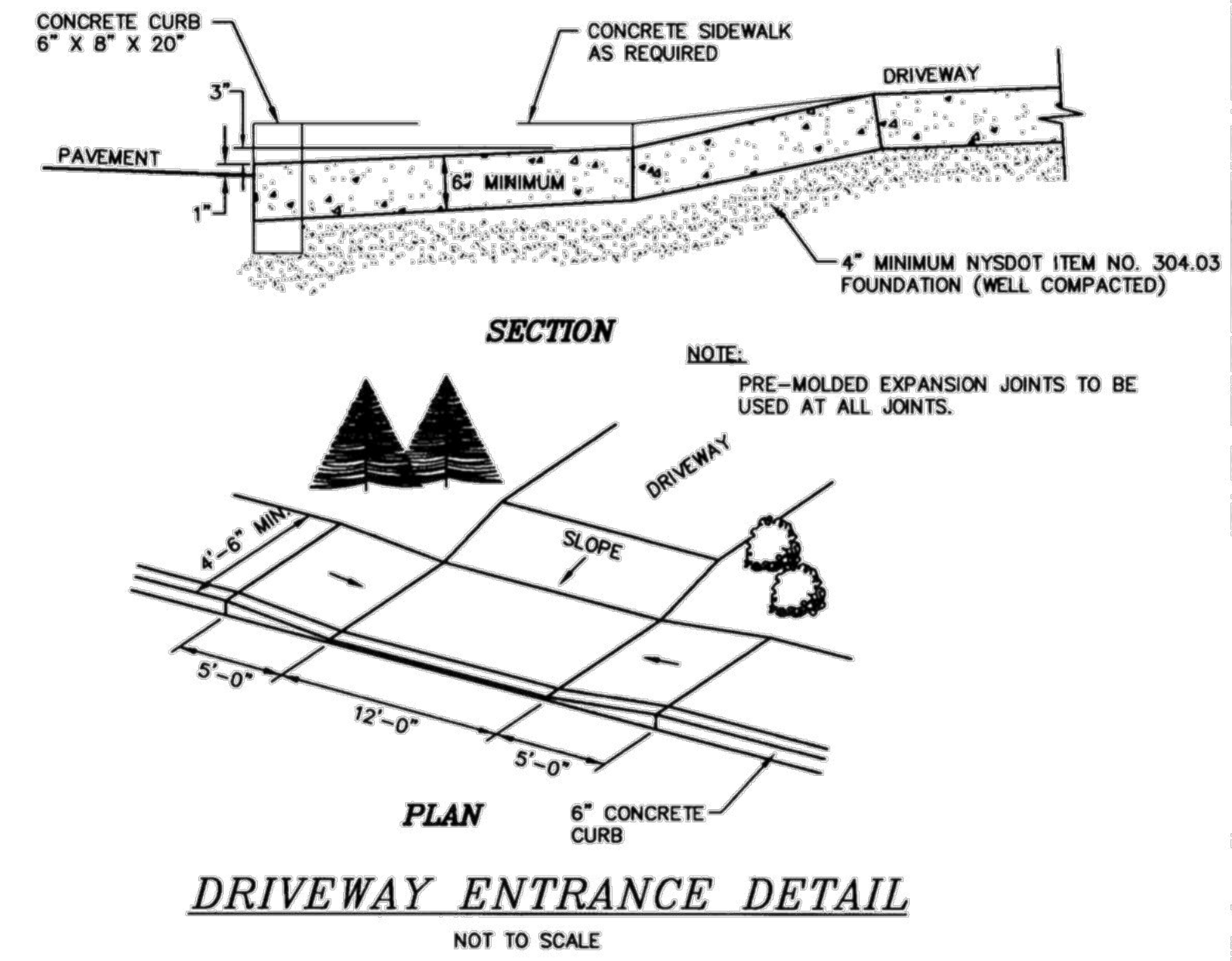


- NOTES:
1. MATERIALS AND METHODS SHALL CONFORM TO NYS DOT STANDARDS.
  2. SUBGRADE SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.
  3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407 - TACK COAT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.
  4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203 EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.

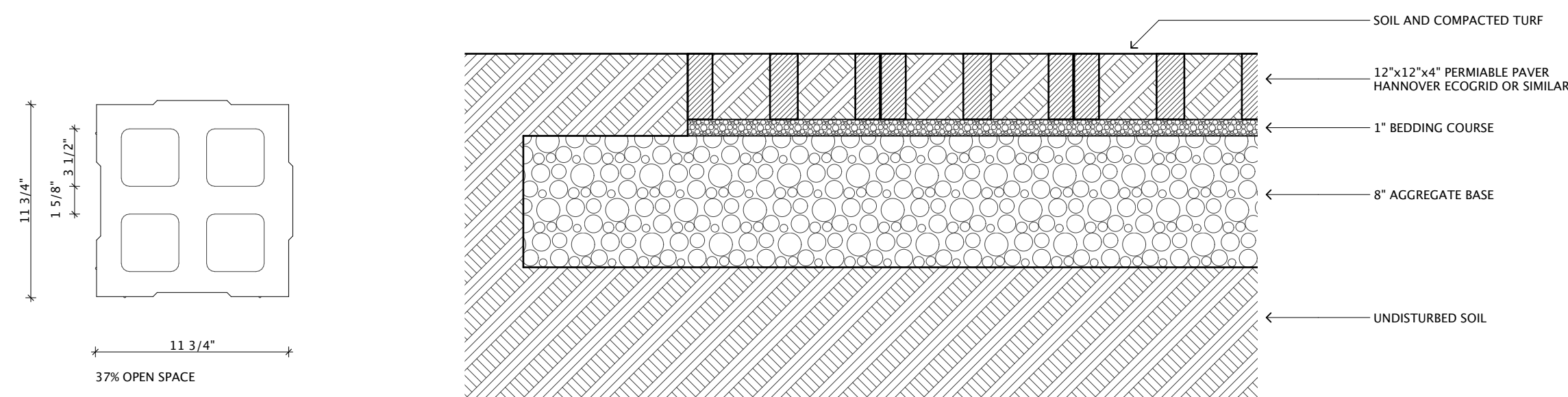
**C1 NEW PAVING DETAIL**  
SCALE: 1 1/2" = 1'-0"



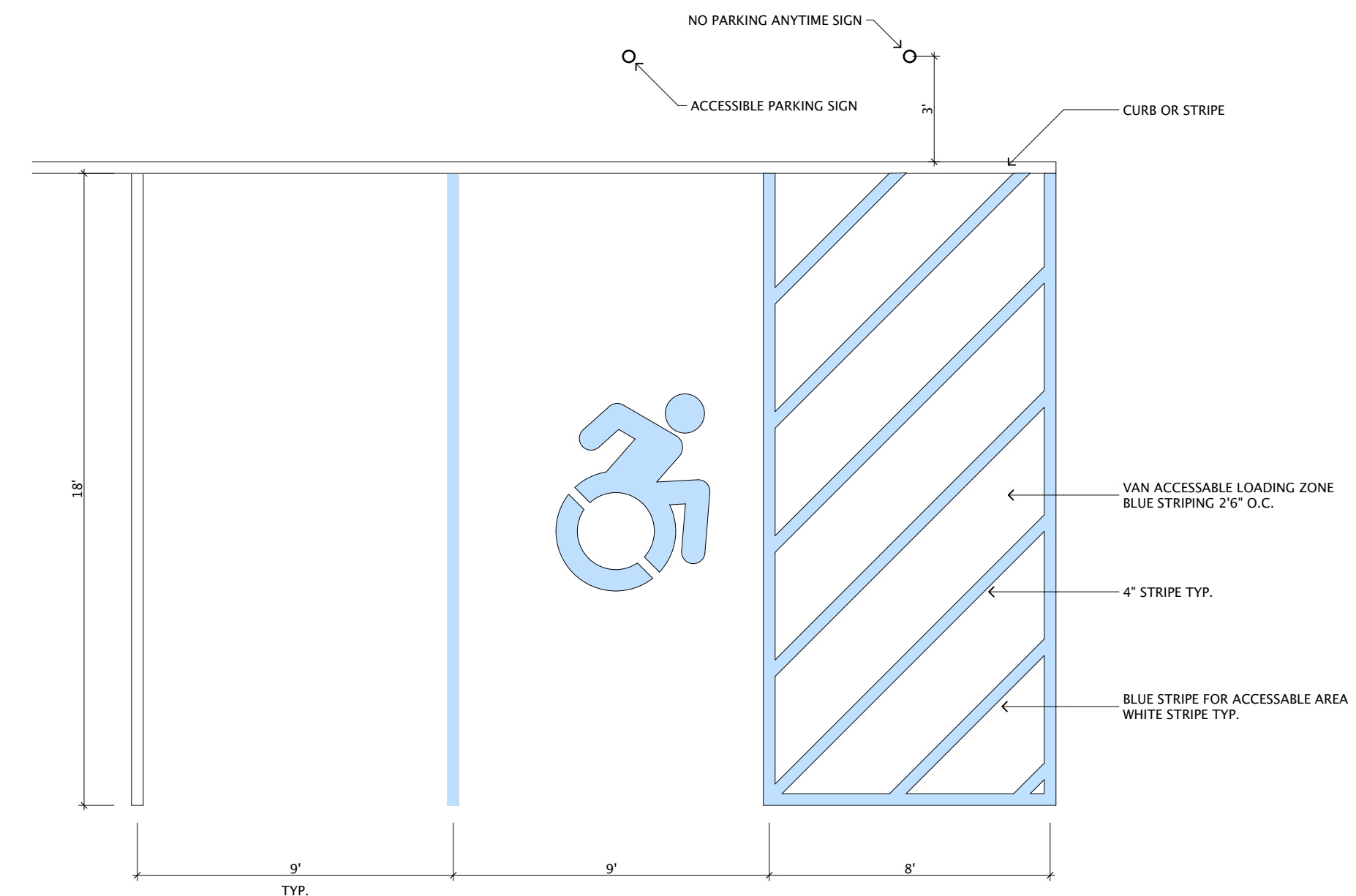
**C3 SITE RAILING DETAIL**  
SCALE: 3/4" = 1'-0"



**C4 DRIVEWAY ENTRANCE DETAIL**  
SCALE: 1" = 10'



**B1 PERMIABLE PAVER DETAIL**  
SCALE: 1 1/2" = 1'-0"



**A4 PARKING DETAIL**  
SCALE: 1/4" = 1'-0"

03		
02	7/10/18	PLANNING DEPT. SUBMITTAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE

ISSUE RECORD  
SEAL & SIGNATURE

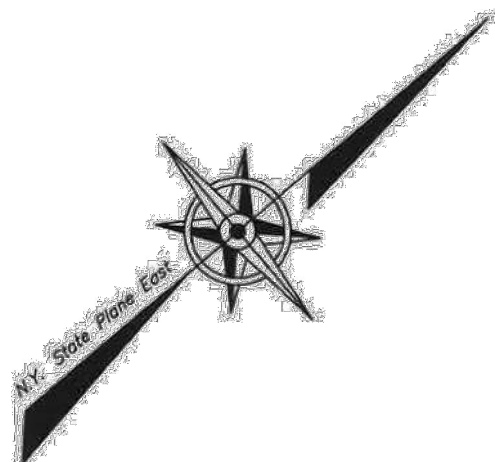
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PROJECT  
**Renovation of 21 South Ave.**  
21 South Ave.  
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12508

DRAWING TITLE  
**DETAILS**

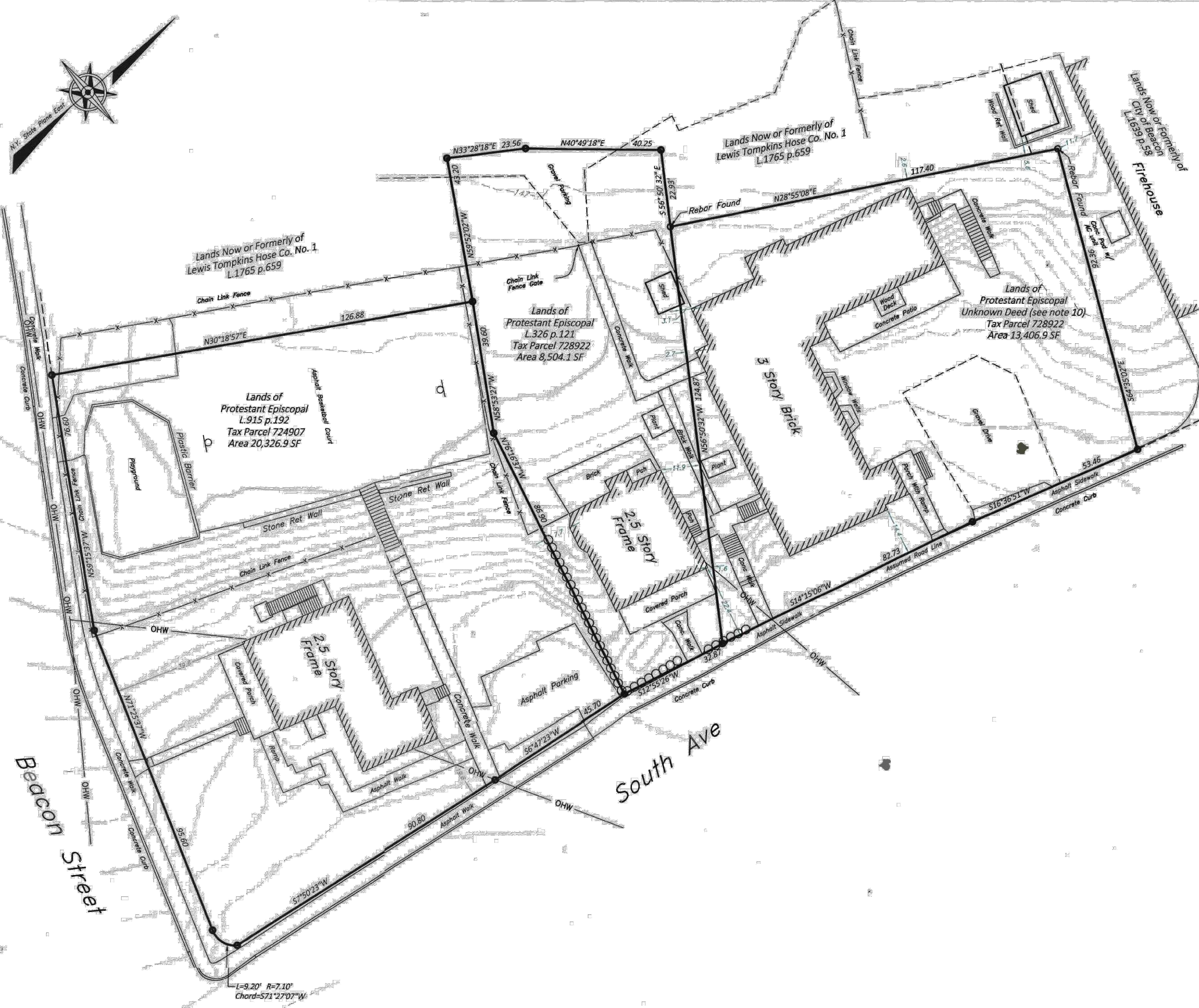
JOB NO.	DATE	SCALE
8032-01-01	7/10/18	

DRAWING NO.  
**04**



VICINITY MAP

NOT TO SCALE



**SURVEY NOTES**

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Liber 326 page 121 only covers a portion of parcel 728922 as shown on the tax maps. No other deed has been found to cover this parcel. The parcel was constructed using adjoining deeds and an assumed road line.
11. Reference is made to a proposed subdivision map prepared by Dennis Walden LS which was never filed with the County Clerk or signed by the Planning Board Chairman. Said map is on file at the City of Beacon Building Department and represents the adjoining parcels as currently described.
12. Vertical Datum is NAVD88 Geoid12a as determined using RTN GPS.

rev.	date	description

**TEC LAND SURVEYING**  
 156 TIORONDA AVE. BEACON, NY 12508  
 PH: 845.445.6590 FX: 845.445.6591

THOMAS E. CERCHIARA, P.L.S.  
P.L.S. No. 50732

19 SOUTH AVE - BEACON  
**TOPOGRAPHIC SURVEY  
 PREPARED FOR  
 ST. ANDREWS CHURCH**  
 CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id	
address	19 South Ave
date	9/16/2015
drawn	RA
scale	1" = 20'
checked	TC
project no.	15-052
project name	19 South Ave - Beacon
sheet	1 OF 1

**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**511 Fishkill Avenue**

**Subject:**

Review application to amend an existing Site Plan Approval, brewery and related uses, submitted by Jeff O'Neil, 511 Fishkill Avenue

**Background:**

**ATTACHMENTS:**

Description	Type
511 Fishkill Avenue Cover Letter	Cover Memo/Letter
511 Fishkill Avenue Application	Application
511 Fishkill Avenue EAF	EAF
511 Fishkill Avenue I & I Report	Backup Material
511 Fishkill Avenue Project Narrative	Backup Material
511 Fishkill Avenue Sheet 1 Site Plan	Plans
511 Fishkill Avenue Sheet 2 Existing Conditions Plan	Plans
511 Fishkill Avenue Sheet 3 Previously Approved Site Plan-compressed	Plans
511 Fishkill Avenue Sheet 4 Previously Approved Landscape Plan-compressed	Plans
511 Fishkill Avenue Sheet 5 Elevations	Plans
511 Fishkill Avenue Sheet 6 Plans	Plans
511 Fishkill Avenue Sheet 7 Large 1st Floor Plan	Plans
511 Fishkill Avenue Sheet 8 Large 2nd Floor Plan	Plans
511 Fishkill Avenue Sheet 9 Grading Plan	Plans
511 Fishkill Avenue Sheet 9 Grading Plan	Plans
511 Fishkill Avenue Sheet 10 ESC Plan	Plans
511 Fishkill Avenue Sheet 11 Utility Plan	Plans
511 Fishkill Avenue Sheet 12 Construction Details	Plans
511 Fishkill Avenue Sheet 13 Construction Details	Plans

**ARYEH SIEGEL**  
ARCHITECT

---

**Etha Grogan**  
Planning Board Secretary  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 511 Fishkill Avenue**  
*Site Plan Application*

November 27, 2018

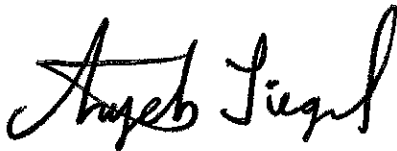
Dear Etha,

Please find enclosed:

- (5) sets of drawings, dated November 27, 2018
- Site Plan Application
- Long Form EAF
- Project Narrative
- Check for fees and escrow
- I & I Application
- Disclosure Form
- Electronic Files on CDROM

Thank you. Please let me know if you have any questions.

Sincerely,



Aryeh Siegel  
Aryeh Siegel, Architect

**APPLICATION FOR SITE PLAN APPROVAL**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

Name: DP 108, LLC  
Address: c/o Diamond Properties, 333 N Bedford Road, Suite 145  
Mount Kisco, NY 10549  
Signature: \_\_\_\_\_  
Date: November 27, 2018  
Phone: (914) 773-6248

*(For Official Use Only)*

Application & Fee Rec'd  
Initial Review  
Public Hearing  
Conditional Approval  
Final Approval

Date Initials

11-27-18  
12-11-18  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: Aryeh Siegel Architect  
Address: 84 Mason Circle  
Beacon NY 12508

Phone: 845-838-2490  
Fax: 845-838-2657  
Email address: ajs@ajsarch.com

**IDENTIFICATION OF SUBJECT PROPERTY:**

Property Address: 511 Fishkill Avenue  
Tax Map Designation: Section 6055 Block 04 Lot(s) 580285  
Land Area: 9.787 Zoning District(s) HI (Heavy Industry)

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Proposed Use: Warehouse, Brewery, Accessory Office, Arcade, Event Space  
Gross Non-Residential Floor Space: Existing 144,002 sf Proposed 0  
TOTAL: 144,002 sf  
Dwelling Units (by type): Existing 0 Proposed 0  
TOTAL: 0

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. One electronic and five (5) **folded** paper copies of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. One electronic and five (5) **folded** paper copies of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. One electronic and five (5) **folded** paper copies of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

**INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH**

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

**INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN**

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board  
on the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_  
subject to all conditions as stated therein**

\_\_\_\_\_  
**Chairman, City Planning Board**

\_\_\_\_\_  
**Date**

**APPLICATION PROCESSING RESTRICTION LAW**  
**Affidavit of Property Owner**

Property Owner: DP 108, LLC

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: c/o Diamond Properties, 333 N Bedford Road, Suite 145 Mount Kisco, NY 10549

Project Address: 511 Fishkill Avenue


Project Tax Grid # 6055-04-580285

Type of Application Site Plan

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, James Diamond, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

- |   |                                     |
|---|-------------------------------------|
| 1. No violations are pending for ANY parcel owned by me situated within the City of Beacon      | <input checked="" type="checkbox"/> |
| 2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon | <input type="checkbox"/>            |
| 3. ALL tax payments due to the City of Beacon are current                                       | <input checked="" type="checkbox"/> |
| 4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon         | <input type="checkbox"/>            |
| 5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon | <input type="checkbox"/>            |
| 6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current      | <input checked="" type="checkbox"/> |

  
 \_\_\_\_\_  
 Signature of Owner  
Co-Manager, DP 108, LLC  
 \_\_\_\_\_

Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>JD</i>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>JD</i>
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>JD</i>

**FOR OFFICE USE ONLY**

Application #

**CITY OF BEACON**  
1 Municipal Plaza, Beacon, NY  
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

**ENTITY DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

**SECTION A.**

**IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:**

Name of Entity DP 108, LLC	Address of Entity 333 North Bedford Rd, Mount Kisco New York, 10549
Place where such business entity was created New York State	Official Registrar's or Clerk's office where the documents and papers creating entity were filed New York Secretary of State.
Date such business entity or partnership was created 4/30/2018	Telephone Contact Information 914-773-6253

**IF AFFIANT IS A CORPORATION:**

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and date of incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed



**SECTION B.** List all persons, officers, limited or general partners, directors, members, shareholders, managers, and any others with any interest in or with the above referenced Entity. List all persons to whom corporate stock has been pledged, mortgaged or encumbered and with whom any agreement has been made to pledge, mortgage or encumber said stock. Use a supplemental sheet to list additional persons.

Name	Resident Address	Resident Telephone Number	Nature and Extent of Interest
See Attached Schedule B			

**Section B**

<b>Investor Entity</b>	<b>Investor</b>	<b>Resident Address</b>	<b>Resident Phone Number</b>	<b>Nature and Extent of Interest</b>
Diamond Properties, LLC	James Diamond	401 Pea Pond Rd, Katonah, NY 10506	914-773-6220	Managing Manager
Diamond Properties, LLC	William Diamond	63 High Ridge Ave, Ridgefield, CT 06877	914-773-6219	Managing Manager

**SECTION C.** List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
DP 108, LLC	333 North Bedford Rd, Mount Kisco, NY 10549	914-773-6249	11/15/18 via Fee Simple interest	11/26/2018 City of Beacon

**SECTION D.** Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

YES       NO

Name	Employer	Position
James Diamond	Diamond Properties	Manager
William Diamond	Diamond Properties	Manager

**SECTION E.** Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

YES       NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

**SECTION F.** Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

YES       NO

Current Name	Other Names

**SECTION G.** List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address
Richard J. Fellingner Realty Holding Company, LLC	328 North Broadway, 2nd Floor Upper Nyack, NY 10960

**SECTION H.** If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

**SECTION I.** Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

YES

NO

I, JAMES DIAMOND being first duly sworn, according to law, deposes and says that I am (Title) MANAGER, an active and qualified member of the DP108, LLC, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print)

JAMES DIAMOND

(Signature)



**CITY OF BEACON  
SITE PLAN SPECIFICATION FORM**

Name of Application: 511 Fishkill Avenue

<b>PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.</b>	<b>YES</b>	<b>NO</b>
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>LEGAL DATA</b>		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.	<input type="checkbox"/>	<input type="checkbox"/>
<b>NATURAL FEATURES</b>		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>EXISTING STRUCTURES, UTILITIES, ETC.</b>		
Outlines of all structures and the location of all uses not requiring structures. Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<b>PROPOSED DEVELOPMENT</b>	<b>YES</b>	<b>NO</b>
The location, use and design of proposed buildings or structural improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed division of buildings into units of separate occupancy.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, direction, power, and time of use for any proposed outdoor lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and plans for any outdoor signs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any contemplated public improvements on or adjoining the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Elevations of all proposed principal or accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed fences or retaining walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>MISCELLANEOUS</b>		
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erosion and sedimentation control measures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An indication of proposed hours of operation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	<input type="checkbox"/>	<input checked="" type="checkbox"/>





**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: 511 Fishkill Avenue		
Project Location (describe, and attach a general location map): 511 Fishkill Avenue		
Brief Description of Proposed Action (include purpose or need): Amend previously approved Site Plan Application per new tenant uses: 37,247 s.f. brewery 72,428 s.f. warehouse 11,381 s.f. arcade (commercial recreation) 2,296 s.f. office (accessory to brewery use) 4,965 s.f. event space / lounge (accessory to brewery)		
Name of Applicant/Sponsor: DP108, LLC	Telephone: (914) 773-6248	E-Mail: ron.roth@dpmgt.com
Address: 333 N Bedford Road, Suite 145		
City/PO: Mount Kisco	State: NY	Zip Code: 10549
Project Contact (if not same as sponsor; give name and title/role): Same As Sponsor	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Same As Sponsor	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board: Site Plan Approval	November 27, 2018
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC - SPDES Stormwater Coverage	~ April 2019
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li>i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes<input checked="" type="checkbox"/> No</li> <li>ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input checked="" type="checkbox"/> Yes<input type="checkbox"/> No</li> <li>iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes<input checked="" type="checkbox"/> No</li> </ul>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes No

If Yes, identify the plan(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes No

If Yes, identify the plan(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
HI - Heavy Industrial

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site?

**C.4. Existing community services.**

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?  
City of Beacon

c. Which fire protection and emergency medical services serve the project site?  
City of Beacon

d. What parks serve the project site?  
Memorial Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Industrial, commercial, recreational

b. a. Total acreage of the site of the proposed action? 9.787 acres  
b. Total acreage to be physically disturbed? 1.159 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 9.787 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % Units:

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed?  
iv. Minimum and maximum proposed lot sizes? Minimum Maximum

e. Will proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 18 months  
ii. If Yes:  
• Total number of phases anticipated  
• Anticipated commencement date of phase 1 (including demolition) month year  
• Anticipated completion date of final phase month year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 10,061 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: City of Beacon Water
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_  
not applicable

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes? (Waste < water due to product (beer) and byproducts that do not reach the sanitary sewer)  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 6,494 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary sewage

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: City of Beacon
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

---

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 not applicable \_\_\_\_\_

---

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 none \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 0.66 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 9.787 acres (parcel size)
- ii. Describe types of new point sources. Surface stormwater runoff
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
Stormwater runoff from the new parking area will be directed to stormwater collection system that will treat quality and quantity per NYSDEC standards prior to discharging to the same pre-development location
  - If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
Fishkill Creek
  - Will stormwater runoff flow to adjacent properties?  Yes  No

---

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- ii. In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing 116 Proposed 205 Net increase/decrease +79

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
300,000 kWh

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Central Hudson - gas and electric

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7am - 5pm</li> <li>• Saturday: _____ 7am - 5pm</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7am - 11pm</li> <li>• Saturday: _____ 7am - 11pm</li> <li>• Sunday: _____ 7am - 11pm</li> <li>• Holidays: _____ 7am - 11pm</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n.. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Parking lot lighting - 16' high, shielded to prevent light spill onto neighboring properties  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: general recycling  
 \_\_\_\_\_  
 • Operation: general recycling  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: on-site roll-off container  
 \_\_\_\_\_  
 • Operation: dumpster  
 \_\_\_\_\_  
 \_\_\_\_\_



s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe:

Industrial, prison, residential

---

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	4.80	5.47	+0.67
• Forested	0.38	0.38	---
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	4.24	3.64	-0.60
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	---
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	---
• Wetlands (freshwater or tidal)	0	0	---
• Non-vegetated (bare rock, earth or fill)	0	0	---
• Other Describe: Gravel Drive	0.37	0.30	-0.07

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 314004  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
Tuck Industries - Classification: completed

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >6 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Ur	_____	50 %
BeB	_____	36.5 %
Ud	_____	13.5 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 70 % of site  
 10-15%: \_\_\_\_\_ 10 % of site  
 15% or greater: \_\_\_\_\_ 20 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ squirrels _____ deer _____ small birds _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>  Indiana Bat	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

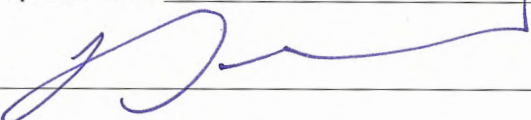
Attach any additional information which may be needed to clarify your project.

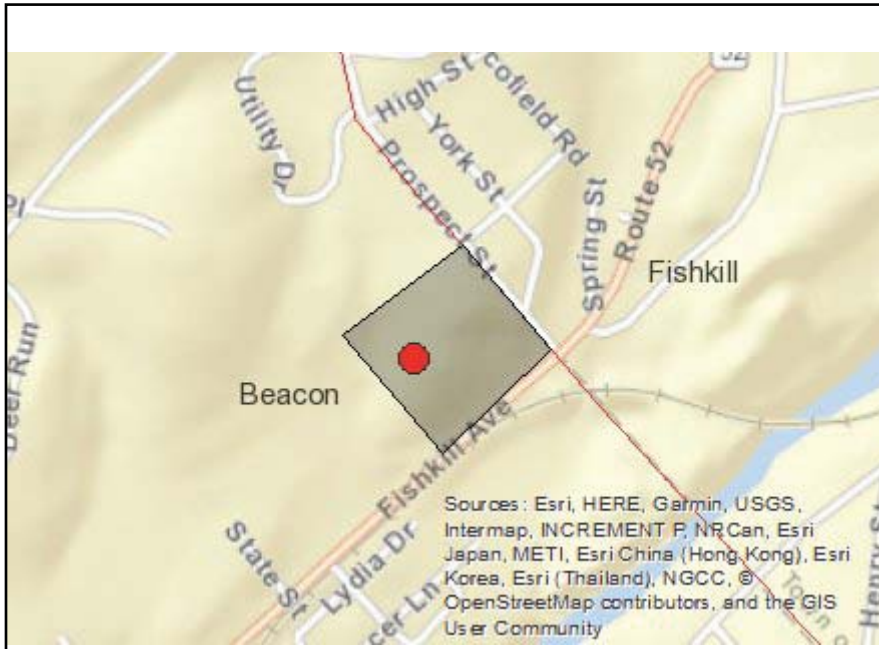
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name James Diamond Date November 27, 2018

Signature  Title Co-Manager



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	314004
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
13 Chambers Street, Newburgh, New York 12550  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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November 26, 2018

Lt. Timothy Dexter  
City of Beacon Building Inspector  
1 Municipal Center  
Beacon, NY 12508

Re: Infiltration and Inflow Investigation  
Industrial Arts Brewery  
511 Fishkill Avenue – NYS Route 52  
City of Beacon, New York  
Tax ID: 6055-04-580285 ( $\pm$  10.33 acres)

Dear Mr. Dexter,

Hudson Land Design (HLD) has completed an infiltration and inflow investigation at the above referenced parcel as required by the City of Beacon. The investigation was conducted on November 26, 2018 at the existing building located at 511 Fishkill Avenue, which consists of a steel warehouse and office building complex which is currently vacant.

The first phase of the study consisted of an exterior inspection of the building to determine the location of roof leader discharge points. The existing steel building has a gabled roof pitched slightly to the front (towards Fishkill Avenue) and rear (away from Fishkill Avenue) with a roof leaders in the front and rear of the building.

Rainwater flowing off the rear half of the building is collected by a gutter system with downspouts. The downspouts then reputedly enter a stormwater pipe that flows to the west towards a stormwater manhole on the northwestern side of the site along the property line. The onsite stormwater conveyance system from the stormwater manhole then flows southerly towards Fishkill Avenue and reputedly enters the City of Beacon's Municipal Separate Stormwater System.

The runoff collected from the front half of the building enters a gutter system with downspouts. The directionality of flow after entering the downspouts could not be determined by field inspection, but it is our opinion that the two roof leaders on the



southwestern side of the building enters a stormwater manhole in a grassed area just south of the southwestern corner of the building. The manhole then reputedly connects to the conveyance system along the western property line. The roof leaders and downspouts located in the asphalt portion the site (in front of the loading docks) and near the front entrance, reputedly enter a yard drain near the front entrance and discharge to the east into the conveyance system in the eastern parking areas. It is noted that many of the roof leader downspout connections with underground piping are in poor condition and should be replaced to prevent water from entering the building.

The second phase of the study consisted of interior inspection of the building to determine if there are any illicit connections to the building sewer line from sump pumps, floor drains and the like. No sump pumps or floor drains were observed throughout the entire office or warehouse portion of the building.

HLD personnel could not locate the last section of the interior sanitary sewer plumbing. The sanitary sewer line flows southernly towards Fishkill Avenue's sanitary sewer collection system from the southern building foundation. At this time, no dye tests were conducted to verify flow direction.

Based on our observations, HLD believes that there are not illicit stormwater connections from the building located at 511 Fishkill Avenue to the City of Beacon's sanitary sewer collection system.

Should you have any questions, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink that reads "Adam Gasparre". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Adam Gasparre

cc: Ronald Roth, Diamond Properties (via email)  
Daniel G. Koehler, P.E. (HLD file)

# ARYEH SIEGEL

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## ARCHITECT

### **Project Narrative**

**511 Fishkill Avenue**

November 27, 2018

511 Fishkill Avenue is a one-story metal framed building in the HI (Heavy Industrial) Zoning District. It is currently vacant, but was last used as manufacturing and warehouse space for Mechtronics Corporation. Mechtronics added a large addition to the building in 2009. The addition had additional warehouse/manufacturing space on the 1<sup>st</sup> floor, as well as office space on the 2<sup>nd</sup> floor.

The new owner plans to accommodate a number of new uses. They will continue to lease warehouse space to as yet unknown businesses. They will also lease a large portion of the building to Industrial Arts Brewery, who will have both brewing operations, and an event space / tasting room. Industrial Arts will have accessory office space on the 1<sup>st</sup> floor of the building. The Owner also has plans to lease space to an arcade game operation.

The new Site Plan application shows the previously approved landbanked parking being constructed, as well as 15 additional parking spaces being striped in the existing paved parking lot adjacent to the loading dock area. The new paved parking area was shown on the previous Mechtronics site plan as landbanked parking. A stormwater pollution prevention plan (SWPPP) for the entire site was prepared by Kaeyer Garment & Davidson Architects and Engineers, P.C. The SWPPP addressed redevelopment of the site in accordance with State standards. The landbanked parking area (which is now proposed to become the additional parking area to serve the site) was modelled as grassed areas that discharged to a stormwater conveyance system that flows around the building and back to NYS Route 52 drainage system (and not to the previously proposed and currently constructed stormwater management practices). Therefore, stormwater runoff from the new parking area will be treated in accordance with current standards in terms of quality and quantity treatment by installation of new stormwater management practices.

Landscaping and site lighting was installed per the previous 2009 approval. So no significant site work is being proposed apart from the new parking.

The proposed uses will continue to utilize existing potable water and sanitary sewer service connections. No new service connections are anticipated, subject to verification of existing service sizes.

ARYEH SIEGEL

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ARCHITECT

A handwritten signature in black ink, reading "Aryeh Siegel". The script is fluid and cursive, with the first name "Aryeh" and last name "Siegel" clearly legible.

Aryeh Siegel  
*Aryeh Siegel, Architect*

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

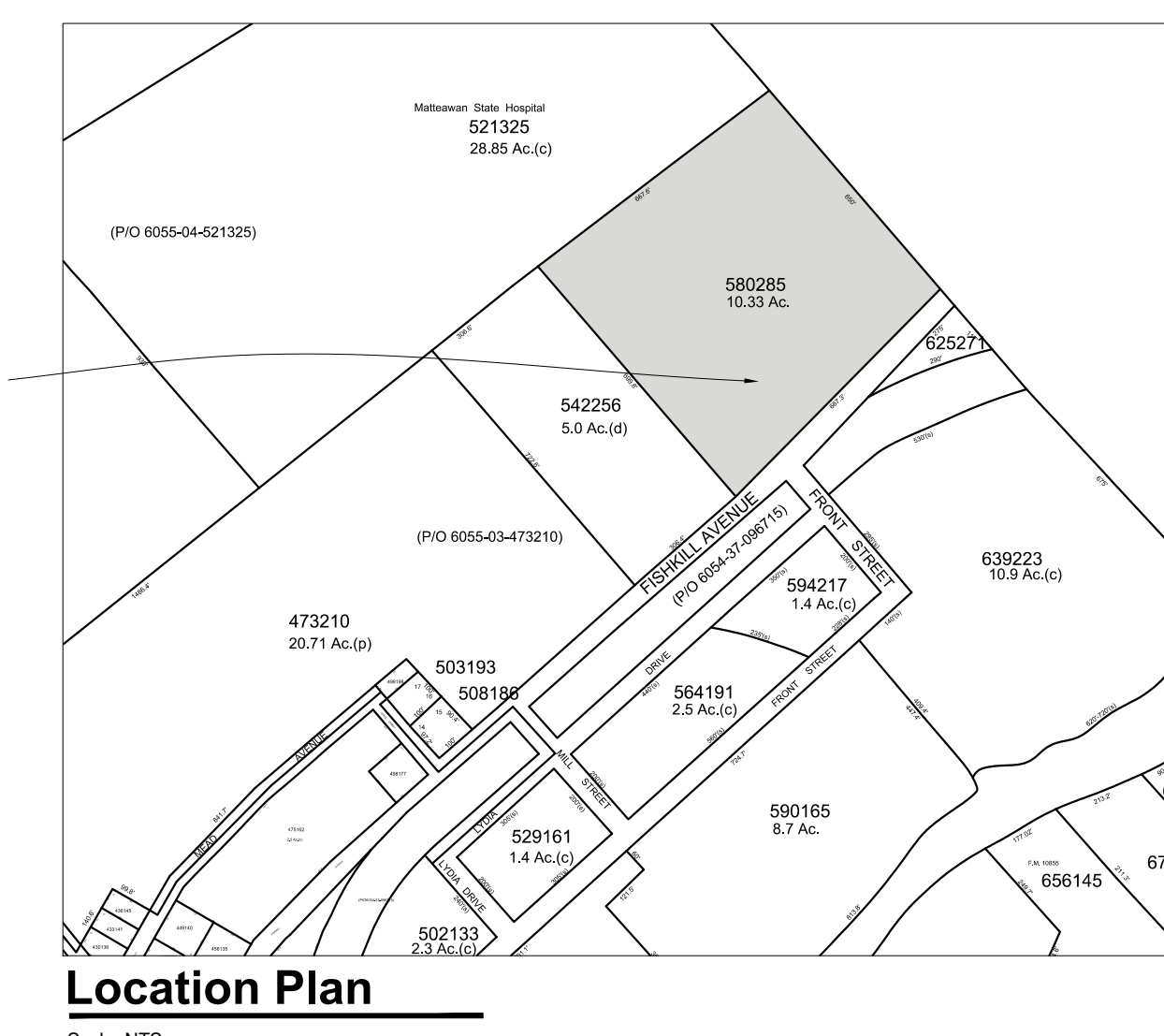
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Zoning District	Minimum Lot Width	Minimum Lot Depth	Required Minimum Setbacks			Existing Setbacks			Maximum Building Height	Existing Building Height
			Front	Side <sup>b</sup>	Rear <sup>b</sup>	Front	Side <sup>b</sup>	Rear <sup>b</sup>		
HI	N/A	100'	0	20'	25'	229'	51'	43'	35'	34'



**Zoning Summary**

Zoning District: HI (Heavy Industry)  
 Tax Map No.: 6055-04-580285  
 Lot Area: 9.79 acres (426,327.9 sf)  
 Building Footprint: 128,317 square feet (existing)  
 Total Lot Coverage: 18% Building Coverage (30% Total Impervious Coverage)  
 Historical Overlay District: No  
 Parking Overlay District: No  
 Existing Use: Industrial & Office (Vacant)  
 Proposed Use: Industrial, Warehouse, Brewery, Office, Retail, Commercial Recreation (Arcade)

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
<b>Future Brewery</b> 1 space per 2 employees but not less than 1 space per 400 square feet of gross floor space  1 space per employee but not less than 1 space per 1,000 square feet of gross floor space	37,247 sf total area  (14,000 sf brewery requires 35 spaces; 23,247 sf warehouse requires 24 spaces)  10 employees estimated	59 spaces
<b>Warehouse</b> 1 space per employee but not less than 1 space per 1,000 square feet of gross floor space	72,428 sf  20 employees estimated	73 spaces
<b>Arcade (commercial recreation)</b> 1 space for each 4 persons of maximum occupancy or 1 space for each 200 square feet of gross floor area, whichever is greater	11,381 sf	57 spaces
<b>Office</b> 1 space for each 200 square feet of gross floor area, excluding utility areas	2,296 sf	0 spaces <sup>Note 1</sup>
<b>Brewery Event Space / Lounge</b> 1 space for each 3 patron seats or 1 space for each 150 square feet of gross floor area, excluding kitchen and storage areas, whichever is greater	4,965 sf 331 occupants @ 15 sf per occupant	111 spaces
<b>Total Required Parking Spaces</b>		<b>300</b>
<b>Total Proposed Parking Spaces</b>		<b>205</b> <sup>Note 2</sup>
<b>Total Required Loading Spaces</b>		<b>1</b>
<b>Total Proposed Loading Spaces</b>		<b>5</b>

- Notes:**
- The Office use is accessory to the Brewery and requires no additional parking spaces.
  - Per Beacon Zoning Code 223-26 C(6): Two or more uses on same lot. Where two or more different uses occur on a single lot, the total amount of parking facilities to be provided shall be the sum of the requirements of each individual use on the lot, except that the Planning Board may approve the joint use of parking space by two or more establishments on the same lot or on contiguous lots, the total capacity of which is less than the sum of the spaces required for each, provided that said Board finds that the capacity to be provided will substantially meet the intent of this article by reason of variation in the probable time of maximum use by patrons or employees at such establishments and provided that such approval of such joint use shall be automatically terminated upon a change of use at any such establishment.
    - Note that the brewery and warehouse (132 parking spaces) will normally be in use between the hours of 7am and 4pm weekdays, and the Event Space and Arcade (168 parking spaces) will normally be in use between the hours of 5pm and 11pm on weekdays and weekends.
    - Therefore, the variation in the probable time of maximum use for each described group of uses allows for the total combined parking requirement for each group of uses to be satisfied with the proposed number of parking spaces on site. There is a significant number of additional spaces for potential overlap of use times.
    - The Applicant requests that the Planning Board allow the proposed number of parking spaces to satisfy the requirements of Beacon Zoning Code 223-26 C (6).



**Site Plan**  
Scale: 1" = 30'

**Index of Drawings**

Sheet 1 of 13	Site Plan
Sheet 2 of 13	Survey/Existing Conditions Plan
Sheet 3 of 13	Previous Site Plan For Reference
Sheet 4 of 13	Previous Landscape Plan For Reference
Sheet 5 of 13	Elevations
Sheet 6 of 13	Floor Plans
Sheet 7 of 13	Enlarged 1st Floor Plan
Sheet 8 of 13	Enlarged 2nd Floor Plan
Sheet 9 of 13	Grading Plan
Sheet 10 of 13	Erosion & Sediment Control Plan
Sheet 11 of 13	Utility Plan
Sheet 12 of 13	Construction Details
Sheet 13 of 13	Construction Details

REVISIONS:			
NO.	DATE	DESCRIPTION	BY

**Amendment to Site Plan Application**  
**Site Plan - Sheet 1 of 13**  
**511 Fishkill Avenue**  
 Beacon, New York  
 Scale: As Noted  
 November 27, 2018

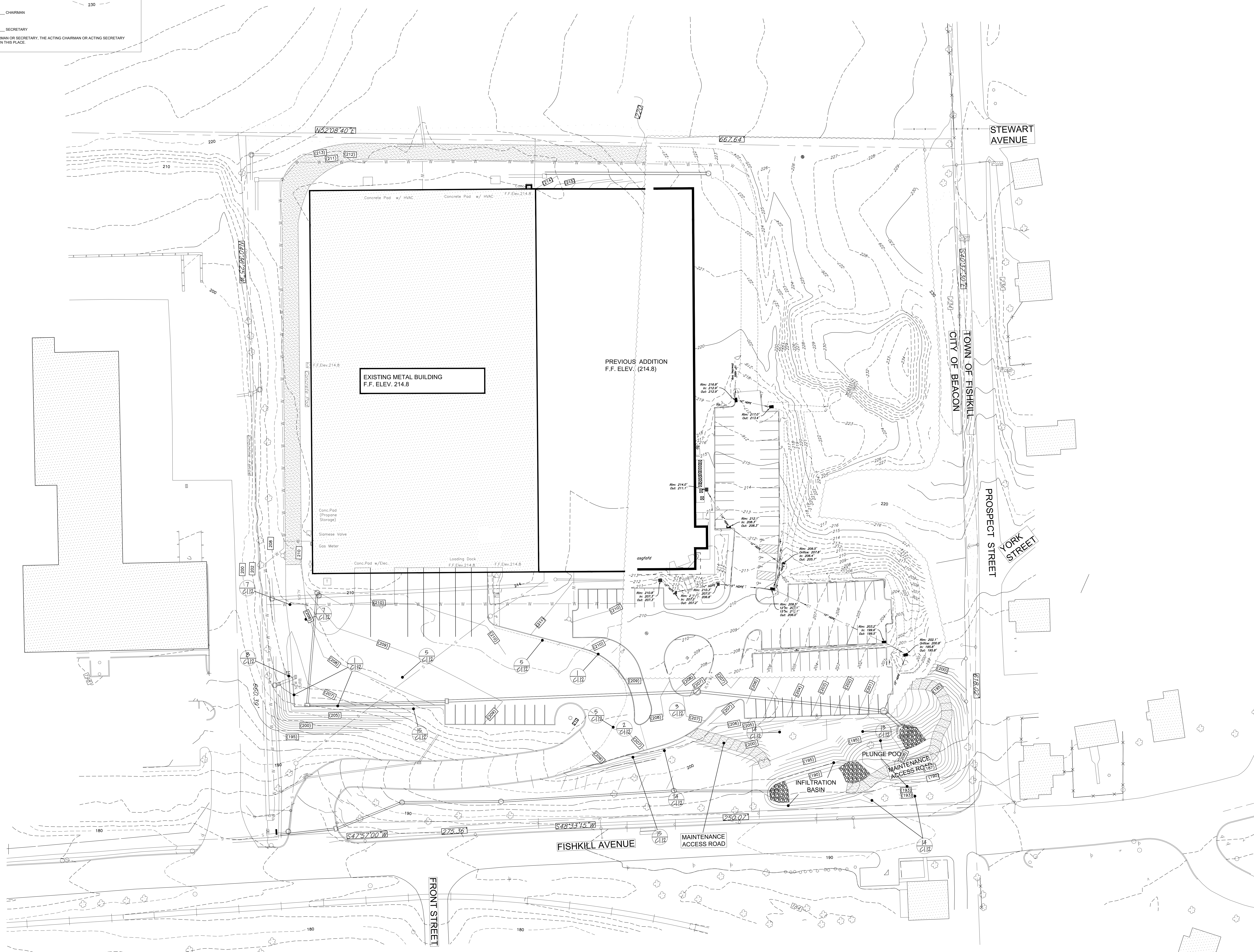
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



LEGEND (Dwg. No. C1.3)

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE		N/A
BUILDING		
DISTURBANCE LIMIT LINE	N/A	
WELL		
MONITORING WELL		N/A
TRANSFORMER		N/A
TREE		REFER TO DWG. NO. C1.13
TREE WALL/WELL	N/A	
TREE LINE		
CONCRETE CURB		
DROP CURB	N/A	
CONCRETE WALK	N/A	
HANDICAPPED RAMP	N/A	
PARKING STALL	N/A	
HC PARKING SYMBOL	N/A	HC
RIP-RAP SWALE	N/A	
NEW PAVEMENT	N/A	
PAVEMENT OVERLAY	N/A	
PAVEMENT RAISE	N/A	
LIGHT POLE		REFER TO DWG. C1.14
PAVEMENT NOTCHING INTO EXISTING PAVEMENT	N/A	
GUIDE RAIL	N/A	
PAVEMENT EDGE		
SIGN		N/A
FENCE		
BUILDING ENTRANCE		
MAINTENANCE ACCESS ROAD	N/A	

REVISIONS:

NO.	DATE	DESCRIPTION	BY

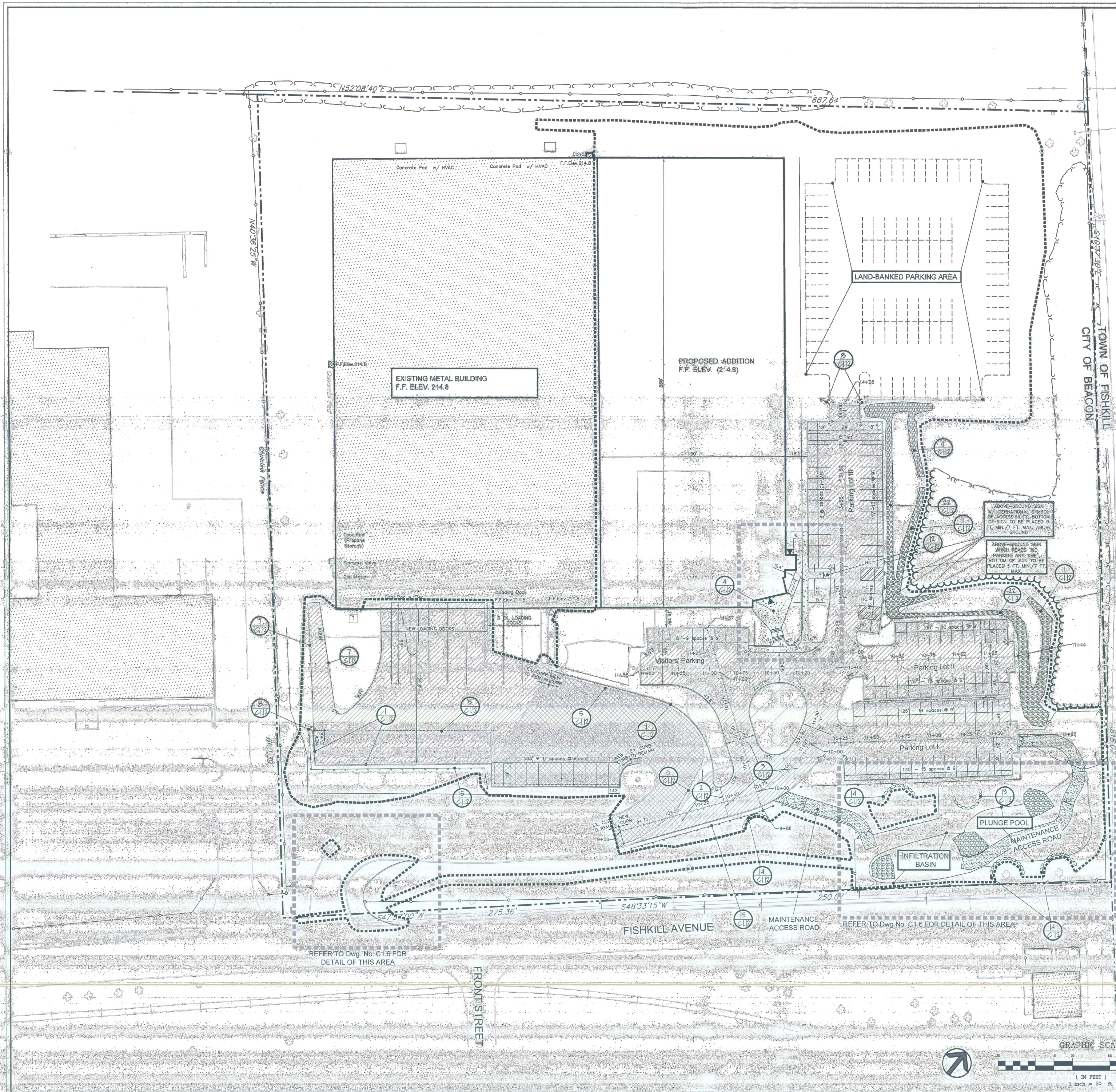
Site Plan  
Scale: 1"=30'

**Amendment to Site Plan Application**  
**Existing Conditions Survey - Sheet 2 of 13**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**LEGEND (Dwg. No. C1.3)**

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	N/A
BUILDING	[Symbol]	[Symbol]
DISTURBANCE LIMIT LINE	N/A	[Symbol]
WELL	[Symbol]	N/A
MONITORING WELL	[Symbol]	N/A
TRANSFORMER	[Symbol]	N/A
TREE	[Symbol]	REFER TO DWG. NO. C1.13
TREE WALL/WELL	N/A	[Symbol]
TREE LINE	[Symbol]	[Symbol]
CONCRETE CURB	[Symbol]	[Symbol]
DROP CURB	N/A	[Symbol]
CONCRETE WALK	N/A	[Symbol]
HANDICAPPED RAMP	N/A	[Symbol]
PARKING STALL	N/A	[Symbol]
HC PARKING SYMBOL	N/A	HC
SEP-RAP SWALE	N/A	[Symbol]
NEW PAVEMENT	N/A	[Symbol]
PAVEMENT OVERLAY	N/A	[Symbol]
PAVEMENT RAISE	N/A	[Symbol]
LIGHT POLE	[Symbol]	REFER TO DWG. C1.14
PAVEMENT NOTCHING INTO EXISTING PAVEMENT	N/A	[Symbol]
GUIDE RAIL	N/A	[Symbol]
PAVEMENT EDGE	[Symbol]	[Symbol]
SIGN	[Symbol]	N/A
FENCE	[Symbol]	[Symbol]
BUILDING ENTRANCE	[Symbol]	[Symbol]
MAINTENANCE ACCESS ROAD	N/A	[Symbol]

**MECHTRONICS CORPORATION**  
 511 Fishkill Avenue  
 City of Beacon  
 New York, 12508

**KG&D architects**  
 Keyser, Garment & Davidson architects, pc  
 285 main street mount kisco, new york 10549  
 p:914.666.9900 f:914.666.0053 kgedarchitects.com

**SITE DEVELOPMENT PLAN APPLICATION**

Owner:  
 RICHARD J. FELLINGER  
 1 NEW KING STREET  
 WHITE PLAINS, NY 10604

Applicant:  
 RICHARD J. FELLINGER  
 1 NEW KING STREET  
 WHITE PLAINS, NY 10604

Tax ID:  
 Section 6055  
 BLOCK 4  
 LOT 580 285

APPROVED FOR CONSTRUCTION  
 DEC. 16, 2010  
*David Buckley*  
 BUILDING PROFESSIONAL

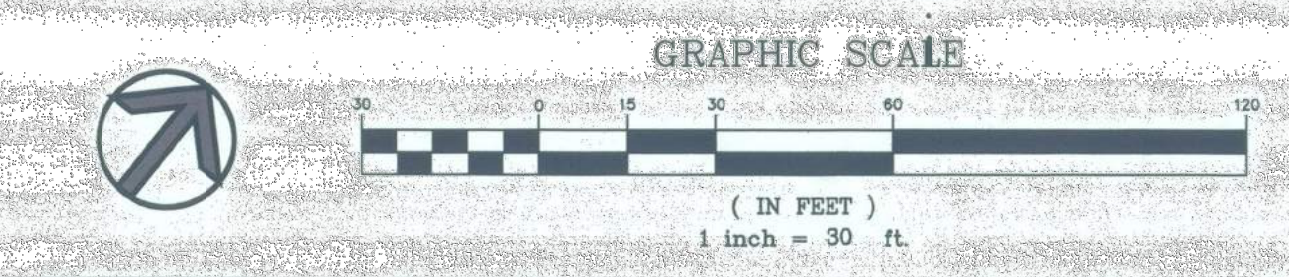
REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	07-30-10	PERMIT AND CONSTRUCTION	
2	01-25-10	REVISED PER CITY ENGINEER COMMENT LETTER 01/14/10 AND VISIT 01/25/10	
3	12-15-09	REVISED PER CITY ENGINEER COMMENT LETTER 12/02/09	
4	11-17-09	REVISED PER CITY ENGINEER 10/9/09 AND 11/6/09 VISIT COMMENTS	
5	09-30-09	ISSUED FOR SITE PLAN APPROVAL	
6	06-26-09	SITE PLAN APPLICATION	
7	06-05-09	SITE PLAN APPLICATION	
8	03-31-09	CONCEPTUAL SITE PLAN APP.	

**LAYOUT and PAVEMENT PLAN**

**C1.2**

Job No.: 2009-1013  
 Date: 10/06/09  
 Scale: AS NOTED  
 Drawn/Checked: SL/SL



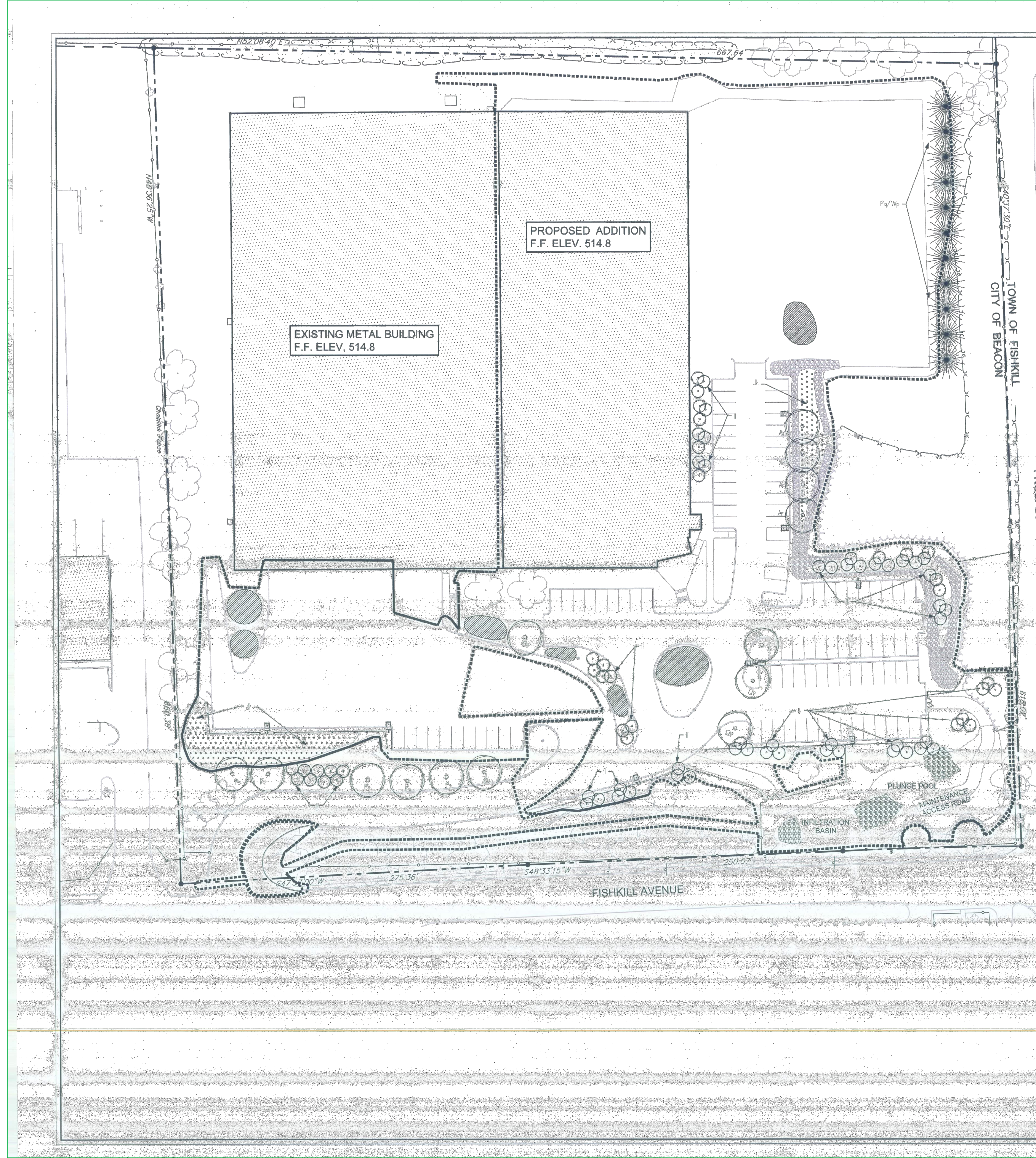
**Site Plan**  
 Scale: 1" = 30'

**Amendment to Site Plan Application**  
 Previously Approved Site Plan For Reference Only - Sheet 3 of 13

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

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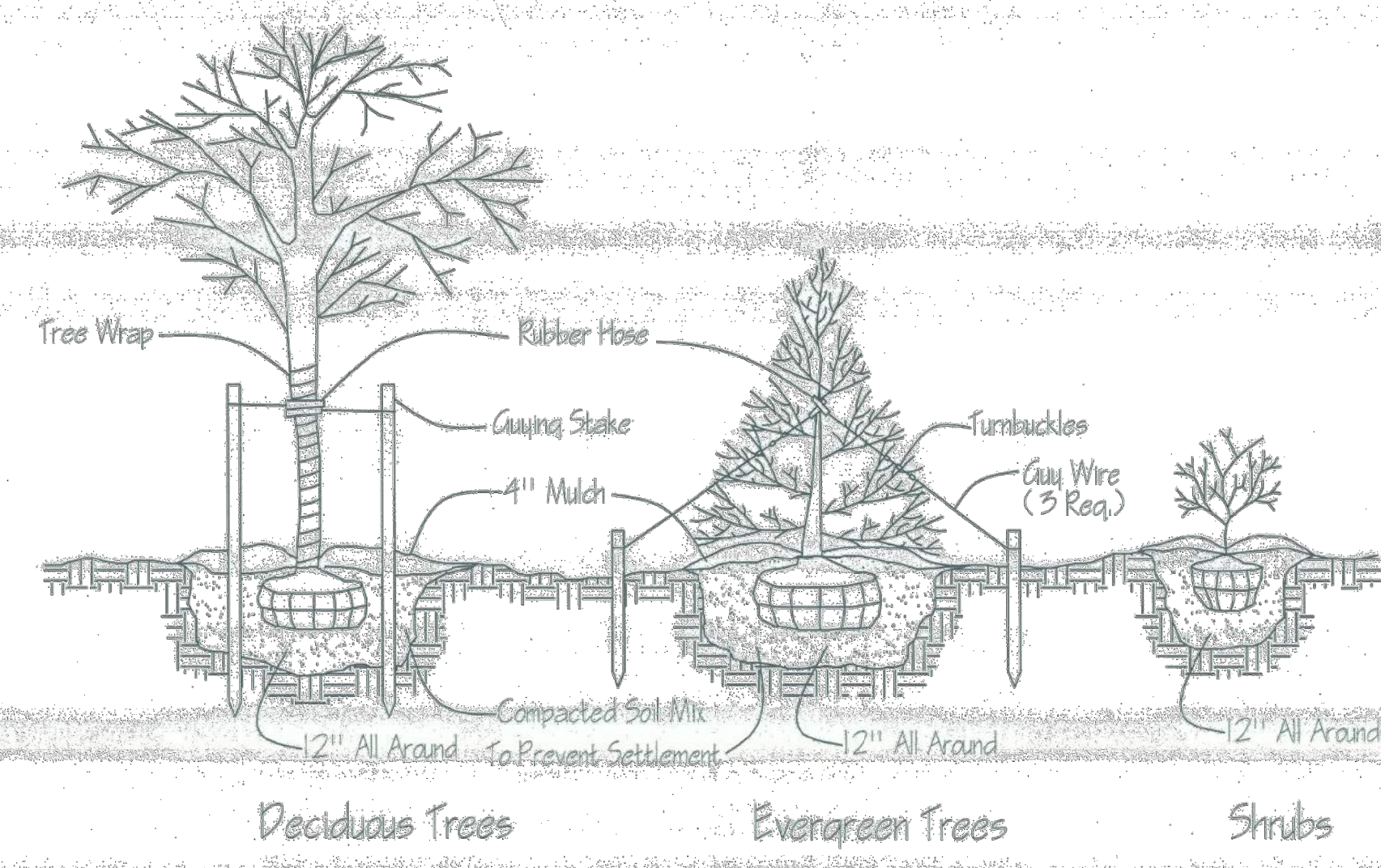
TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
EVERGREEN TREES	Pa	Picea Glauca	White Spruce	7'-8' hgt	B&B
	Wp	Pinus Strobus	White Pine	7'-8' hgt	B&B
DECIDUOUS TREES	Ar	Acer Rubrum "Red Sunset"	Red Sunset Maple	5'-5-1/2" c	B&B
	Ps	Prunus Serotina "Kwanzan"	Kwanzan Cherry	2'-2-1/2" c	B&B
TREES	Qp	Quercus palustris "Sovereign"	Sovereign Pin Oak	3'-5-1/2" c	B&B
	Il	Ilex Mexicana "Blue Girl"	Blue Girl Holly	24"-30"	Container
EVERGREEN SHRUBS	Jh	Juniperus Horizontalis "Bar Harbor"	Bar Harbor Juniper	2 gal.	Container

**PERMANENT SEEDING SCHEDULE**

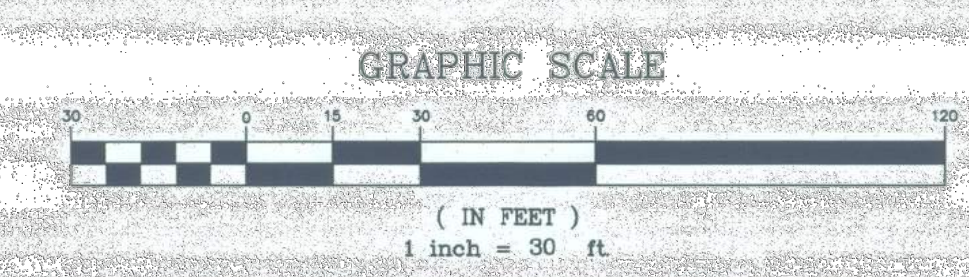
- Topsoil shall be spread to a compacted uniform thickness of 4".
- Topsoil surface shall be finely graded and loosened by mechanical rakes to ensure seed acceptance and seed to soil contact.
- Fertilizer shall be applied at 6 lbs. of 5-10-10 commercial fertilizer/1000 sq. ft.
- Seeding shall be installed at 5 lbs./1000 sq. ft. of:  
80% Kentucky Blue Grass  
20% Chewings Fescue  
20% Perennial Rye

**PLANTING SCHEDULE**

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
Evergreen	April 1 - June 30	Sept. 1 - Oct. 15
Deciduous	March 1 - June 30	Oct. 1 - Dec. 1



LEGEND (Dwg. No. C1.13)		LEGEND (Dwg. No. C1.13)	
DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
PROPERTY LINE	[Symbol]	TREE WALL	[Symbol]
BUILDING	[Symbol]	HEDGE	[Symbol]
DISTURBANCE LIMIT LINE	[Symbol]	CURB	[Symbol]
NEW EVERGREEN TREE	[Symbol]	WOODED AREA	[Symbol]
NEW DECIDUOUS TREE	[Symbol]	EXISTING TREE	[Symbol]
		AREAS OF SNOW STORAGE	[Symbol]



**MECHTRONICS CORPORATION**  
511 Fishkill Avenue  
City of Beacon  
New York, 12508

**KG&D architects**  
kaeyer, garment & davisson architects, pc  
285 main street mount kisco, new york 10849  
p:914.866.5900 f:914.866.0951 k&darchitects.com

**SITE DEVELOPMENT PLAN APPLICATION**

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1 NEW KING STREET  
WHITE PLAINS, NY 10604

Applicant:  
RICHARD J. FELLINGER  
1 NEW KING STREET  
WHITE PLAINS, NY 10604

Tax ID:  
Section 6055  
BLOCK 4  
LOT 580 285

DAVID RULLY  
BUILDING DEPARTMENT  
DEC 16 2010



**LANDSCAPE PLAN and DETAILS**

NO.	DATE	ISSUE
1	05/31/09	CONCEPTUAL SITE PLAN APP.
2	06/05/09	SITE PLAN APPLICATION
3	06/26/09	SITE PLAN APPLICATION
4	09/30/09	ISSUED FOR SITE PLAN APPROVAL
5	11-17-09	REVISED PER CITY ENGINEER 10/8/09 and 11/6/09
6	12-16-09	REVISED PER CITY ENGINEER Comment Letter 12/02/09
7	01-25-10	REVISED PER CITY ENGINEER Comment Letter 01/14/10 and Verbal 01/25/10

Scale: 1" = 30'

**C1.13**

REVISIONS:		
NO.	DATE	DESCRIPTION

Site Plan  
Scale: 1" = 30'

**Amendment to Site Plan Application**  
Previously Approved Site Plan For Reference Only - Sheet 4 of 13

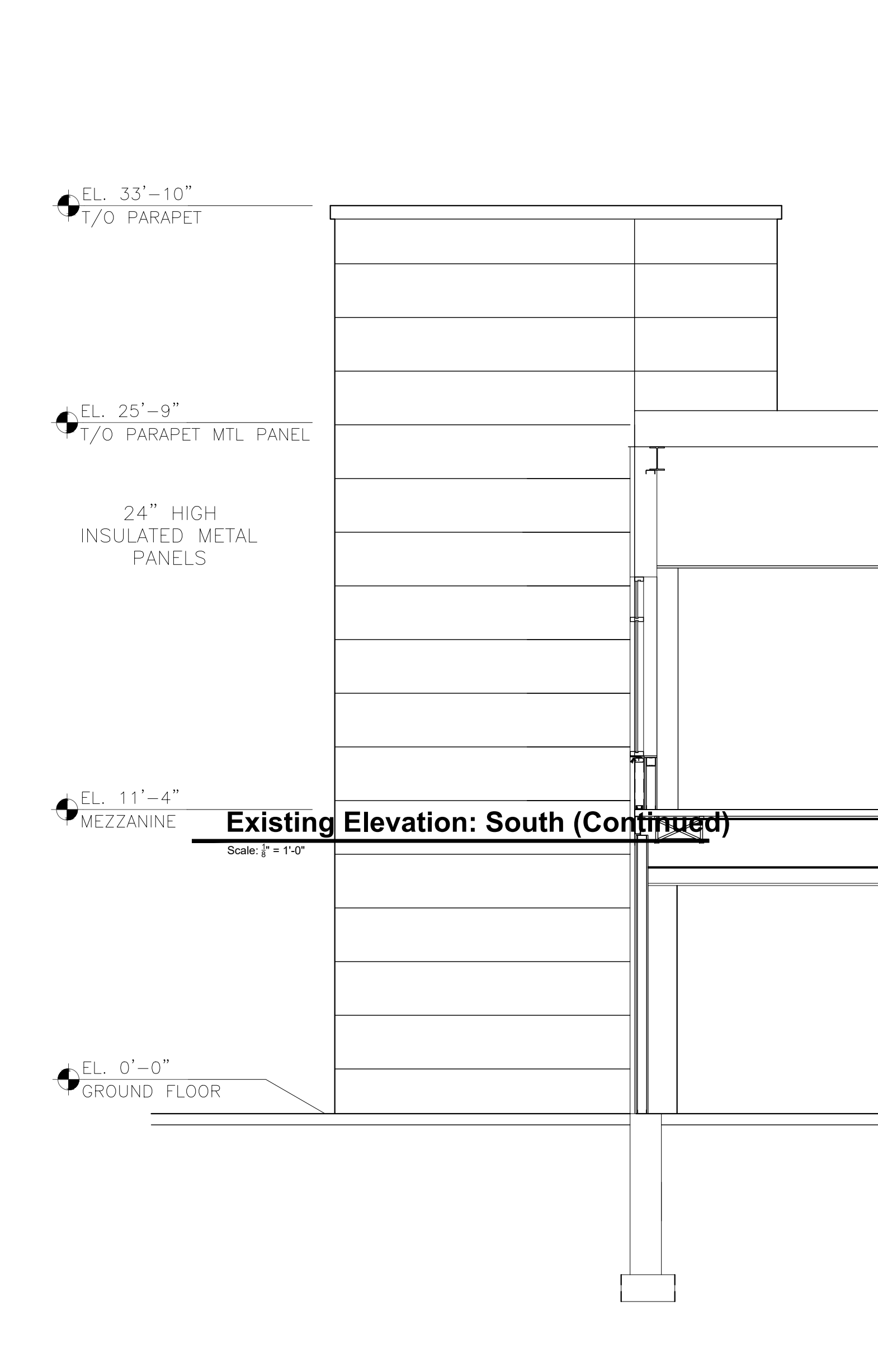
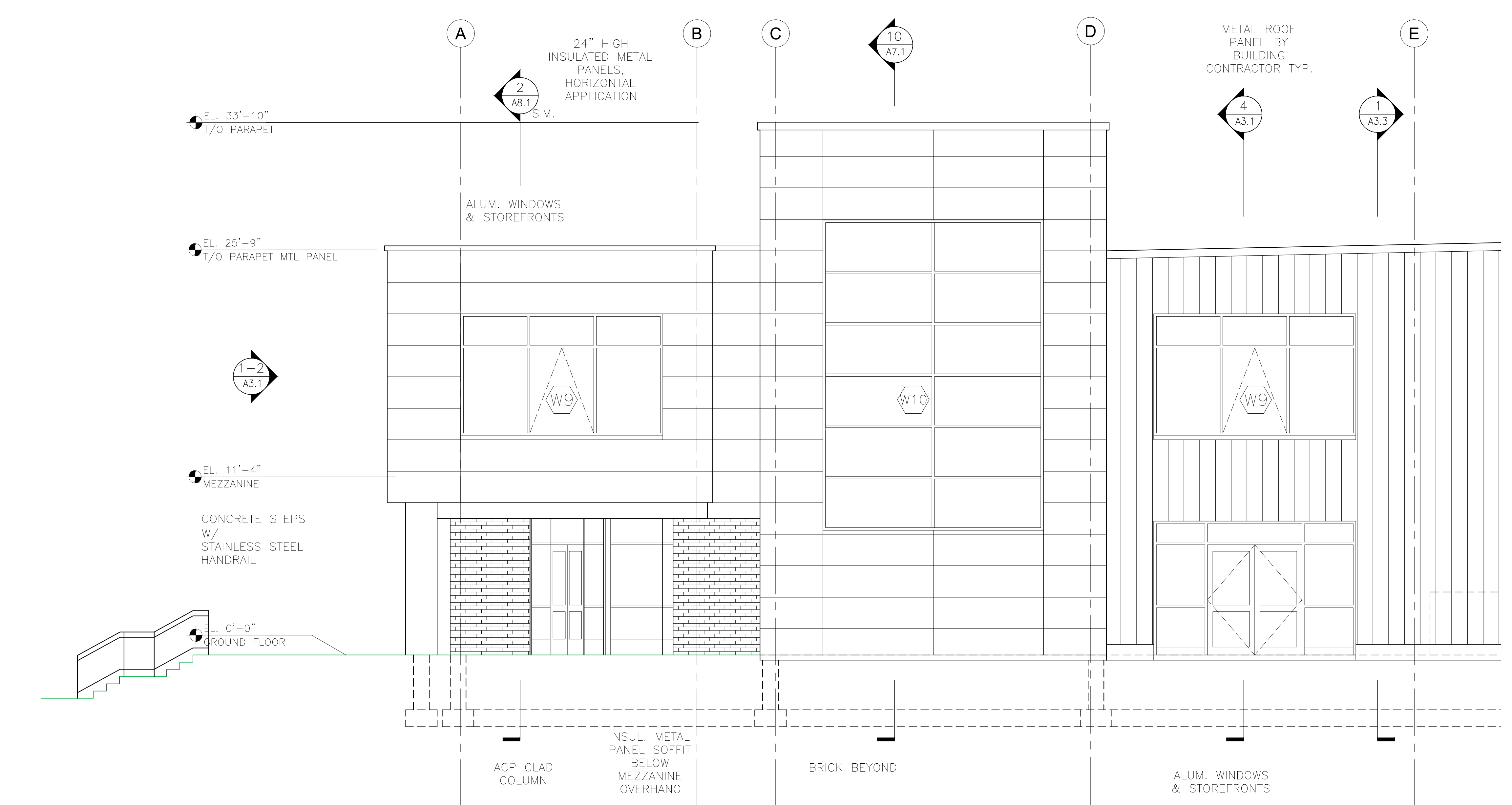
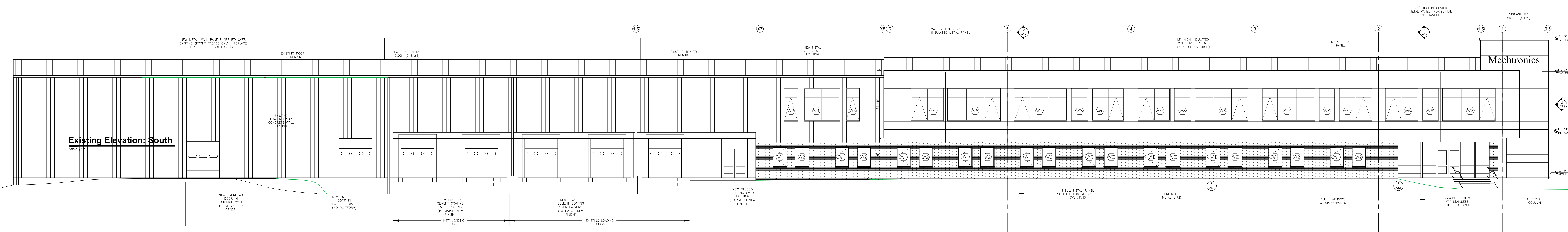
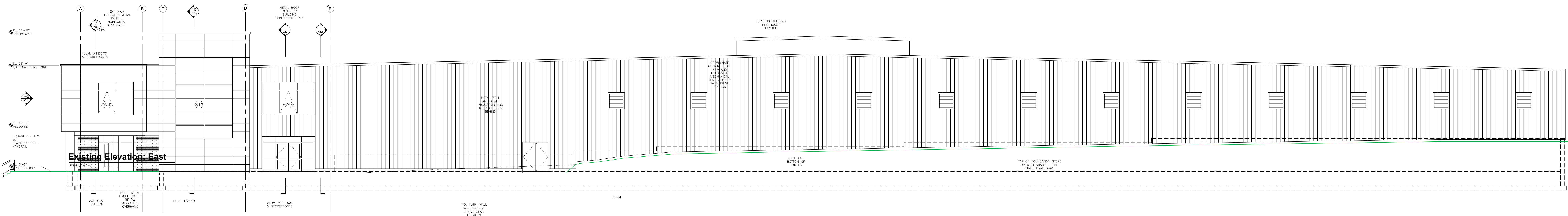
Owner:  
**DP108, LLC**  
333 North Bedford Road  
Mt. Kisco, NY 10549

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Site/Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

Surveyor:  
**TEC Land Surveying**  
Beacon, New York 12508

**511 Fishkill Avenue**  
Beacon, New York  
Scale: As Noted  
November 27, 2018



APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERRASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN

SECRETARY

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REVISIONS:			
NO.	DATE	DESCRIPTION	BY

## Amendment to Site Plan Application Elevations (No Work) For Reference Only - Sheet 5 of 13











**GENERAL CONSTRUCTION SCHEDULE:**

- THE FOLLOWING SCHEDULE IS SUBJECT TO CHANGE BASED ON ENCOUNTERED FIELD CONDITIONS AND/OR THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION.
1. PREPARE THE SITE FOR CONSTRUCTION BY INSTALLING THE PRELIMINARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
  2. CLEAR AND GRUB THE PREVIOUS AREAS WITHIN THE LIMITS OF CONSTRUCTION.
  3. MASS EARTHWORK AND DRAINAGE INSTALLATION ON THE SITE GENERALLY WITHIN THE AREA FROM THE RETAINING WALL TO ITS EAST WITHIN THE LIMITS OF DISTURBANCE (INCLUDING THE ACCESS ROAD, PARKING AREAS, FOUNDATION AREAS FOR UNITS 8-18). UTILITIES TO INCLUDE METER PIT, THE WATER MAIN, INDIVIDUAL WATER SERVICES UNITS 8-18, SANITARY SEWER TO THE CONNECTION POINT ON THE SOUTH SIDE OF THE SITE, SANITARY SEWER MAIN AND MANHOLES, SANITARY SEWER SERVICE CONNECTIONS UNITS 8-18, STORMWATER CATCH BASINS AND PIPING ON NORTHERN PORTION OF SITE AND STORM MANHOLES 1 & 2 TO THE EXISTING CATCH BASIN ON THE SOUTH SIDE OF THE SITE (STORM SYSTEM ON NORTH TO DISCHARGE TO TEMPORARY SEDIMENT TRAPS ON THE SOUTH PORTION OF THE SITE, WITH TEMPORARY OVERFLOW TO THE STORM MANHOLE 2).
  4. INSTALL CURBING AND BRING PARKING/ROADWAY TO BINDER COURSE.
  5. FINALIZE SITE LANDSCAPING AND INSTALL TOP ASPHALT COURSE.

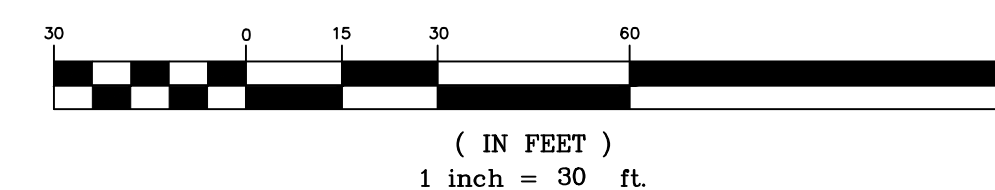
**GENERAL CONSTRUCTION NOTES:**

1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
2. LIMITS OF UPDATED TOPOGRAPHICAL SURVEY AS PROVIDED BY TEC LAND SURVEYING BY FIELD SURVEY COMPLETED IN OCTOBER 2018. ALL AREAS SHOWN OUTSIDE OF THE LIMITS OF DISTURBANCE ARE SHOWN PER PREVIOUS DESIGN PLANS FOR THE MECHTRONICS SITE.
3. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962.
4. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
5. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATERTIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

**POST CONSTRUCTION NOTES:**

1. RECORD DRAWINGS OF THE PROJECT INCLUDING ALL UTILITIES WILL BE PROVIDED TO THE BUILDING INSPECTOR AFTER CONSTRUCTION IS COMPLETE.
2. AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON BUILDING INSPECTOR FOLLOWING COMPLETION OF THE STORMWATER FACILITIES.

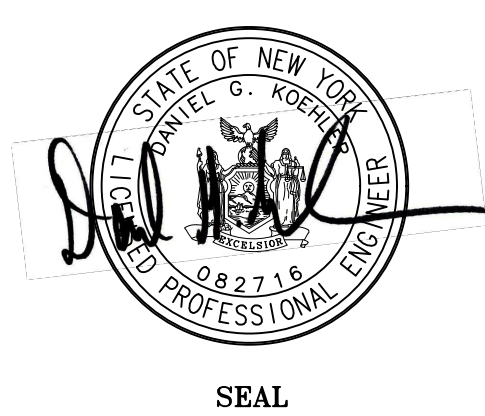
GRADING PLAN  
SCALE: 1" = 30'  
GRAPHIC SCALE



**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN ST., BEACON, NEW YORK 12508  
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
PH: 845-440-6926  
F: 845-440-6637

GRADING PLAN  
**INDUSTRIAL ARTS BREWERY**  
511 FISHKILL AVENUE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-04-580285

JOB #: 2018:041  
DATE: 11/27/18  
SCALE: 1" = 30'  
TITLE: GD-1  
SHEET: 9 OF 13



**GENERAL CONSTRUCTION SCHEDULE:**

- THE FOLLOWING SCHEDULE IS SUBJECT TO CHANGE BASED ON ENCOUNTERED FIELD CONDITIONS AND/OR THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION.
1. PREPARE THE SITE FOR CONSTRUCTION BY INSTALLING THE PRELIMINARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
  2. CLEAR AND GRUB THE PREVIOUS AREAS WITHIN THE LIMITS OF CONSTRUCTION.
  3. MASS EARTHWORK AND DRAINAGE INSTALLATION ON THE SITE GENERALLY WITHIN THE AREA FROM THE RETAINING WALL TO ITS EAST WITHIN THE LIMITS OF DISTURBANCE (INCLUDING THE ACCESS ROAD, PARKING AREAS, FOUNDATION AREAS FOR UNITS 8-18). UTILITIES TO INCLUDE METER PIT, THE WATER MAIN, INDIVIDUAL WATER SERVICES UNITS 8-18, SANITARY SEWER TO THE CONNECTION POINT ON THE SOUTH SIDE OF THE SITE, SANITARY SEWER MAIN AND MANHOLES, SANITARY SEWER SERVICE CONNECTIONS UNITS 8-18, STORMWATER CATCH BASINS AND PIPING ON NORTHERN PORTION OF SITE AND STORM MANHOLES 1 & 2 TO THE EXISTING CATCH BASIN ON THE SOUTH SIDE OF THE SITE (STORM SYSTEM ON NORTH TO DISCHARGE TO TEMPORARY SEDIMENT TRAPS ON THE SOUTH PORTION OF THE SITE, WITH TEMPORARY OVERFLOW TO THE STORM MANHOLE 2).
  4. INSTALL CURBING AND BRING PARKING/ROADWAY TO BINDER COURSE.
  5. FINALIZE SITE LANDSCAPING AND INSTALL TOP ASPHALT COURSE.

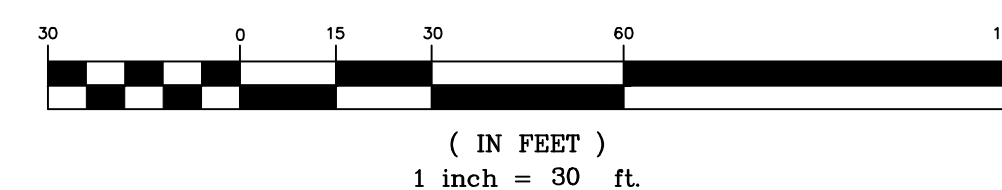
**GENERAL CONSTRUCTION NOTES:**

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2. LIMITS OF UPDATED TOPOGRAPHICAL SURVEY AS PROVIDED BY TEC LAND SURVEYING BY FIELD SURVEY COMPLETED IN OCTOBER 2018. ALL AREAS SHOWN OUTSIDE OF THE LIMITS OF DISTURBANCE ARE SHOWN PER PREVIOUS DESIGN PLANS FOR THE MECHTRONICS SITE.
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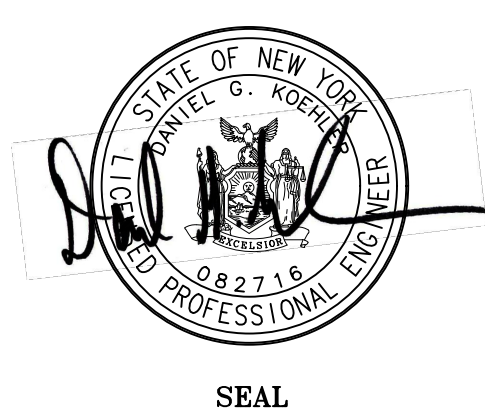
GRADING PLAN  
SCALE: 1" = 30'  
GRAPHIC SCALE



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DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



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JOB #: 2018:041  
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SCALE: 1" = 30'  
TITLE: GD-1  
SHEET: 9 OF 13



- ### EROSION AND SEDIMENT CONTROL NOTES
- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
  - ALL STORMWATER MANAGEMENT STRUCTURES (E.G., SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS.
  - ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
  - PERMANENT SEEDING AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
  - AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
  - ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
  - THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
  - THE CITY MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS. THE NOTICE OF INTENT (NOI) MAY NEED TO BE UPDATED AS A RESULT OF THE CHANGES.
  - THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
  - THE OWNER SHALL FILE A NOI WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AND A NOTICE OF TERMINATION (NOT) WITH THE NYSDEC FOLLOWING CONSTRUCTION ACTIVITIES.
  - IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
  - WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE CITY AND QUALIFIED PROFESSIONAL.
  - UPON COMPLETION OF CONSTRUCTION, THE PARCEL OWNER(S) AND SUBSEQUENTLY THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED QUARTERLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE OWNER(S) SHALL MAINTAIN A RECORD OF INSPECTION AND MAINTENANCE REPORTS AT THE SITE. REFER TO THE SWPPP FOR INSPECTION REQUIREMENTS AND FUTURE MAINTENANCE.

- ### SOIL RESTORATION NOTES:
- THE CONTRACTOR SHALL EMPLOY SOIL RESTORATION TO ALL DISTURBED AREAS THAT WILL REMAIN LANDSCAPED.
  - FOR HEAVY TRAFFIC AREAS, FULL SOIL REASTORATION WILL BE REQUIRED. FULL SOIL RESTORATION CONSISTS OF USE OF A BULLDOZER WITH A DEEP RIPPER ATTACHED TO IT. THE RIPPER SHALL BE DONE TO A DEPTH OF 12"-24". COMPOST IS PLACED OVER THE RIPPED SOIL, THEN WORKED INTO THE SOIL WITH A DEEP SUB-SOILER.
  - FOR LIGHT TRAFFIC AREAS, SOIL RESTORATION MAY BE ACCOMPLISHED BY MEANS OF TILLING THE SOIL WITH A DISK TYPE TILLER PULLED BY A TRACTOR OR PLACEMENT OF TOPSOIL OVER THE EXISTING SOIL A.O.B.E..

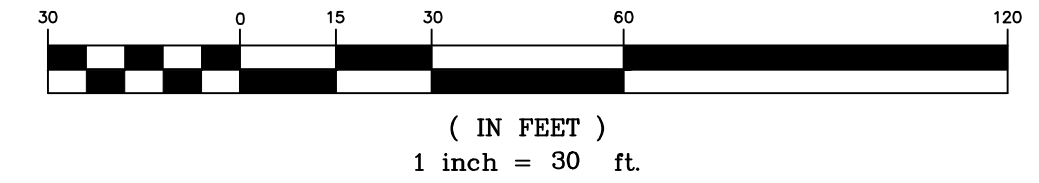
- ### PHASING:
- DISTURBED AREA = 1.16 AC.**
- SCHEDULE A PRE-CONSTRUCTION MEETING WHICH SHALL INCLUDE THE CITY ENGINEER, OWNER OR OWNER'S REPRESENTATIVE, PROJECT ENGINEER, CONTRACTOR AND SUBCONTRACTORS (IF NECESSARY) WHO ARE TO PERFORM THE CONSTRUCTION.
  - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED PARKING AREAS AND STORMWATER MANAGEMENT AREA.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
  - CLEAR LOCATIONS FOR INSTALLATION OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
  - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES.
  - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
  - COMMENCE MASS GRADING ACTIVITIES ON PROJECT AREA.
  - INSTALL UNDERGROUND DETENTION SYSTEM. INSTALL SILT FENCE SURROUNDING UNDERGROUND DETENTION FOOTPRINT. USE ORANGE CONSTRUCTION FENCE IN ADDITION TO THE SILT FENCE IF NECESSARY.
  - CONSTRUCT STORM SEWER SYSTEM.
  - CONSTRUCT CURBING AND PARKING AREAS TO BINDER COURSE.
  - TILL SOIL IN ALL LANDSCAPED AREAS THAT HAVE PREVIOUSLY BEEN DISTURBED.
  - INSTALL ALL PROPOSED LANDSCAPING.
  - PAVE TOP COURSE ON PARKING AREAS.
  - REMOVE EROSION AND SEDIMENT CONTROLS WHEN CONTRIBUTING DRAINAGE AREAS HAVE BECOME STABILIZED.

GENERAL NOTE: EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES AND BASED ON THE MAINTENANCE SCHEDULE. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED AS NECESSARY IN ORDER TO PROTECT ADJACENT PARCELS AND WATERS.

### INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

- PERMANENT AND TEMPORARY VEGETATION:**  
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE:**  
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.
- SILT FENCE:**  
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
- SOIL STOCKPILE:**  
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.
- DUST CONTROL:**  
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.
- DEWATERING PITS:**  
(IF REQUIRED) - INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DISMANTLED AND NEW PITS SHALL BE CONSTRUCTED AS NEEDED.
- CATCH BASINS:**  
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. THE INLET PROTECTION SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED.

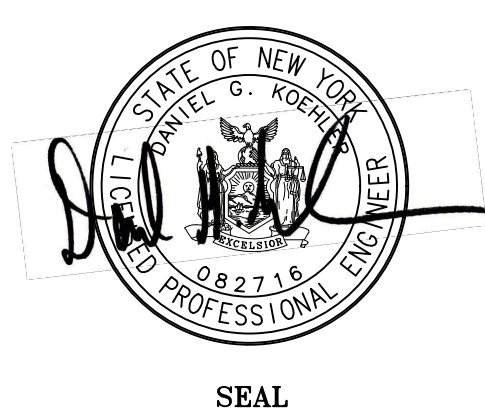
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**EROSION AND SEDIMENT CONTROL PLAN**  
**INDUSTRIAL ARTS BREWERY**  
511 FISHKILL AVENUE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-04-580285

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### INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES

**CATCH BASINS AND PIPING:**  
 ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

**HYDRODYNAMIC DEVICE:**  
 THE CDS STORMWATER TREATMENT SYSTEM IS A HIGH-PERFORMANCE HYDRODYNAMIC SEPARATOR AND REQUIRES REGULAR INSPECTION AND MAINTENANCE TO ENSURE OPTIMAL PERFORMANCE. MAINTENANCE FREQUENCY WILL BE DRIVEN BY SITE CONDITIONS. THE MANUFACTURER SUGGESTS QUARTERLY VISUAL INSPECTIONS TO DETERMINE THE ACCUMULATION OF POLLUTANTS, AND SUGGESTS ANNUAL REMOVAL OF ACCUMULATED POLLUTANTS. VORTEX UNITS SHALL BE INSPECTED QUARTERLY, GENERALLY AROUND THE CHANGE OF EACH SEASON. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK. ADDITIONAL CLEANINGS SHOULD BE ANTICIPATED DURING THE FIRST YEAR OF OPERATION. THE RECOMMENDED CLEANOUT OF SOLIDS WITHIN THE CDS UNIT'S SUMP SHOULD OCCUR AT 75% OF THE SUMP CAPACITY.

**UNDERGROUND DETENTION/INFILTRATION:**  
 BEST MANAGEMENT PRACTICE FOR MAINTAINING OPTIMUM PERFORMANCE OF THE UNDERGROUND INFILTRATION SYSTEM IS A COMBINATION OF THE FOLLOWING:  
 1. PROPER MAINTENANCE OF THE PRETREATMENT HYDRODYNAMIC DEVICE.  
 2. REMOVAL OF ACCUMULATED SEDIMENT FROM THE UPSTREAM CATCH BASIN AND STORMWATER COLLECTION SYSTEM, AND  
 3. MAINTAINING THE SITE IMPERVIOUS AND LAWN AREAS IN A STABLE CONDITION. ANY FUTURE LAND DISTURBANCE ASSOCIATED WITH MAINTENANCE OF THE BUILDINGS AND GROUNDS SHALL CAREFULLY PREPARE AN EROSION AND SEDIMENT CONTROL PLAN TO LIMIT TRANSPORT OF SEDIMENT LADEN RUNOFF TO THE COLLECTION SYSTEM.

THE CULTEC SYSTEM SHALL BE EQUIPPED WITH AN INSPECTION PORT LOCATED ON THE INLET ROW. THE INSPECTION PORT IS A CIRCULAR CAST BOX PLACED IN A RECTANGULAR CONCRETE COLLAR. WHEN THE LID IS REMOVED, A 6-INCH PIPE WITH A SCREW-IN PLUG WILL BE EXPOSED. REMOVE THE PLUG. THIS WILL PROVIDE ACCESS TO THE CULTEC CHAMBER ROW BELOW. FROM THE SURFACE, THROUGH THIS ACCESS, THE SEDIMENT MAY BE MEASURED AT THIS LOCATION. A STADIA ROD MAY BE USED TO MEASURE THE DEPTH OF SEDIMENT IF ANY IN THIS ROW. ADDITIONALLY, CCTV INSPECTION OF THIS ROW CAN BE DEPLOYED THROUGH THIS ACCESS PORT TO DETERMINE IF ANY SEDIMENT HAS ACCUMULATED. IF THE DEPTH OF SEDIMENT IS IN EXCESS OF 3 INCHES, THEN THIS ROW SHOULD BE CLEANED WITH HIGH PRESSURE WATER THROUGH A CULVERT CLEANING NOZZLE. THIS WOULD BE CARRIED OUT THROUGH THE UPSTREAM PRETREATMENT DEVICE. THE ACCESS POINT THROUGH THE HYDRODYNAMIC DEVICE REQUIRES A TECHNICIAN TRAINED IN CONFINED SPACE ENTRY WITH PROPER GAS DETECTION EQUIPMENT. THIS INDIVIDUAL MUST BE EQUIPPED WITH THE PROPER SAFETY EQUIPMENT FOR ENTRY INTO THE HYDRODYNAMIC DEVICE. THE INLET ROW IS PLACED ON A POLYETHYLENE LINER TO PREVENT SCOURING OF THE WASHED STONE BENEATH THIS ROW. THIS FACILITATES THE FLUSHING OF THIS ROW WITH HIGH PRESSURE WATER THROUGH A CULVERT CLEANING NOZZLE. THE NOZZLE IS DEPLOYED THROUGH THE HYDRODYNAMIC DEVICE AND EXTENDED TO THE END OF THE ROW. THE WATER IS TURNED ON AND THE INLET ROW IS BACK-FLUSHED INTO THE HYDRODYNAMIC DEVICE WHERE IT IS REMOVED BY USING A VACUUM TRUCK.

**MAINTENANCE GUIDELINES:**  
 1. THE OWNER SHALL KEEP A MAINTENANCE LOG WHICH SHALL INCLUDE DETAILS OF ANY EVENTS WHICH WOULD HAVE AN EFFECT ON THE SYSTEM'S OPERATIONAL CAPACITY.  
 2. THE OPERATION AND MAINTENANCE PROCEDURE SHALL BE REVIEWED PERIODICALLY AND CHANGED TO MEET SITE CONDITIONS.  
 3. MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE PERFORMED BY QUALIFIED WORKERS AND SHALL FOLLOW APPLICABLE OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS.  
 4. DEBRIS REMOVED FROM THE STORMWATER MANAGEMENT SYSTEM SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.

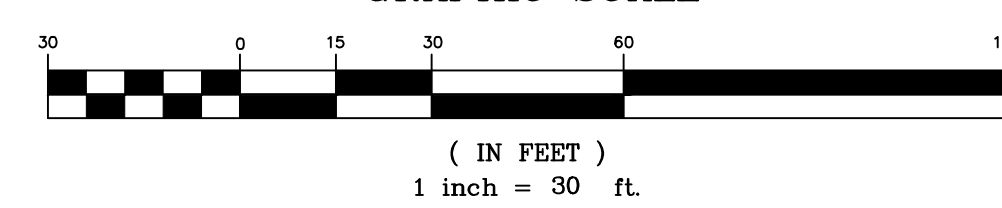
**SUGGESTED MAINTENANCE SCHEDULE (TO BE RE-ASSESSED BY THE OPERATOR PERIODICALLY BASED ON SITE CONDITIONS AND EVALUATION OF SYSTEM FUNCTIONALITY):**  
 1. YEAR 1: INSPECT INLETS AND OUTLETS MONTHLY FOR ANY CLOGGING, AND REMOVE DEBRIS AS MAY BE NECESSARY. INSPECT THE SURFACE AROUND THE CHAMBERS FOR ANY DEPRESSIONS.  
 2. YEAR 2 AND AFTER: INSPECT INLETS AND OUTLETS EVERY SPRING AND FALL FOR ANY CLOGGING, AND REMOVE DEBRIS AS MAY BE NECESSARY. INSPECT THE SURFACE AROUND THE CHAMBERS FOR ANY DEPRESSIONS.  
 3. 2 YEARS AFTER COMMISSIONING: INSPECT THE INTERIOR OF THE STORMWATER MANAGEMENT CHAMBERS THROUGH INSPECTION PORT FOR DEFICIENCIES USING CCTV OR COMPARABLE TECHNIQUE.  
 4. 9 YEARS AFTER COMMISSIONING, AND EVERY 9 YEARS THEREAFTER (OR AS MAY BE NEEDED): CLEAN STORMWATER MANAGEMENT CHAMBERS AND FEED CONNECTORS OF ANY DEBRIS. INSPECT THE INTERIOR OF THE STORMWATER MANAGEMENT CHAMBERS THROUGH INSPECTION PORT FOR DEFICIENCIES USING CCTV OR COMPARABLE TECHNIQUE.  
 5. 45 YEARS AFTER COMMISSIONING: A PROFESSIONAL ENGINEER SHALL ASSESS THE REMAINING LIFE EXPECTANCY OF THE STORMWATER MANAGEMENT CHAMBERS AND RECOMMEND ACTIONS TO REHABILITATE, RESTORE OR REPLACE THE STORMWATER MANAGEMENT CHAMBERS AS MAY BE REQUIRED.  
 6. ANNUALLY: CONFIRM THAT NO UNAUTHORIZED MODIFICATIONS HAVE BEEN PERFORMED TO THE SITE THAT MAY IMPACT THE ADEQUATE FUNCTIONING OF THE SYSTEM.  
 7. PERIODICALLY: MONITOR WATER LEVELS IN THE CHAMBER SYSTEM FOLLOWING SIGNIFICANT STORM EVENTS. DEWATERING OF THE SYSTEM SHOULD TAKE NO LONGER THAN 24 HOURS.

THE FACILITY OWNER SHALL PROVIDE FOR THE PERIODIC INSPECTION OF THE STORMWATER FACILITIES IN ACCORDANCE WITH THE SWPPP, AND SHALL HAVE THE FACILITIES INSPECTED ON A YEARLY BASIS BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK, TO DETERMINE THE CONDITION AND INTEGRITY OF THE STORMWATER CONTROL MEASURES. THE INSPECTING PROFESSIONAL SHALL PREPARE AND SUBMIT TO THE CITY OF BEACON WITHIN 30 DAYS OF THE INSPECTION BUT NOT LATER THAN JUNE 1 OF EACH YEAR, A WRITTEN REPORT OF THE FINDINGS INCLUDING RECOMMENDATIONS FOR THOSE ACTIONS NECESSARY FOR THE CONTINUATION OF THE STORMWATER CONTROL MEASURES. SEE "APPENDIX O" OF THE STORMWATER POLLUTION PREVENTION PLAN FOR DETAILED OPERATIONS AND MAINTENANCE PROCEDURES.

### EXISTING UNDERGROUND UTILITY NOTES:

1. CONTRACTOR SHALL DIG TEST PITS TO VERIFY LOCATION, SIZE AND PIPE MATERIAL OF EXISTING UNDERGROUND UTILITIES. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

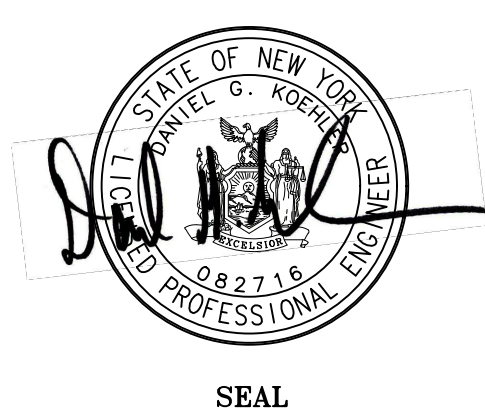
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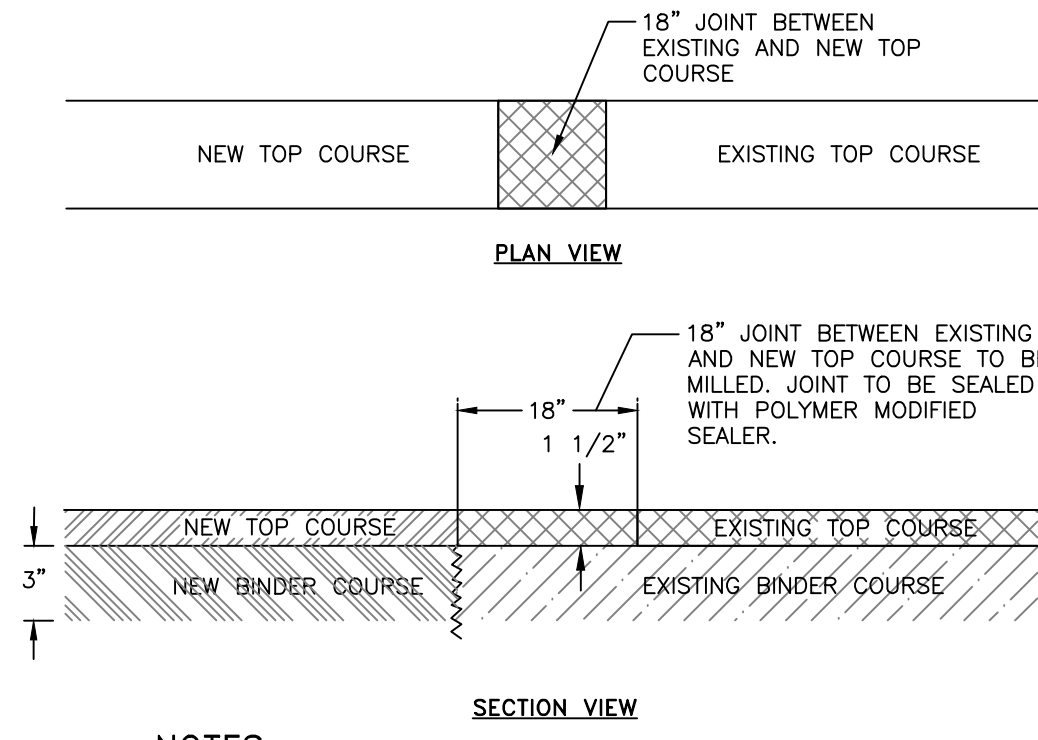
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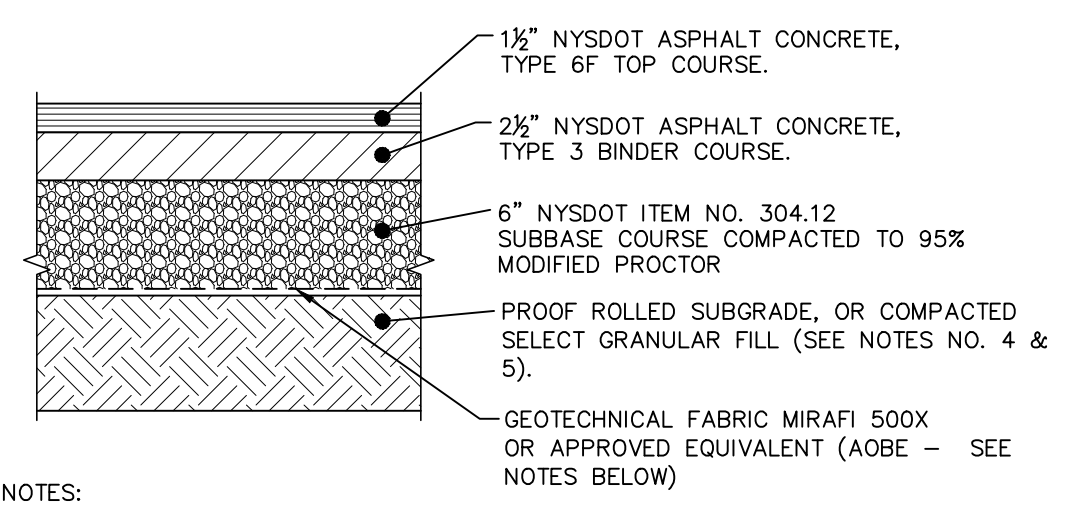
**UTILITY PLAN**  
**INDUSTRIAL ARTS BREWERY**  
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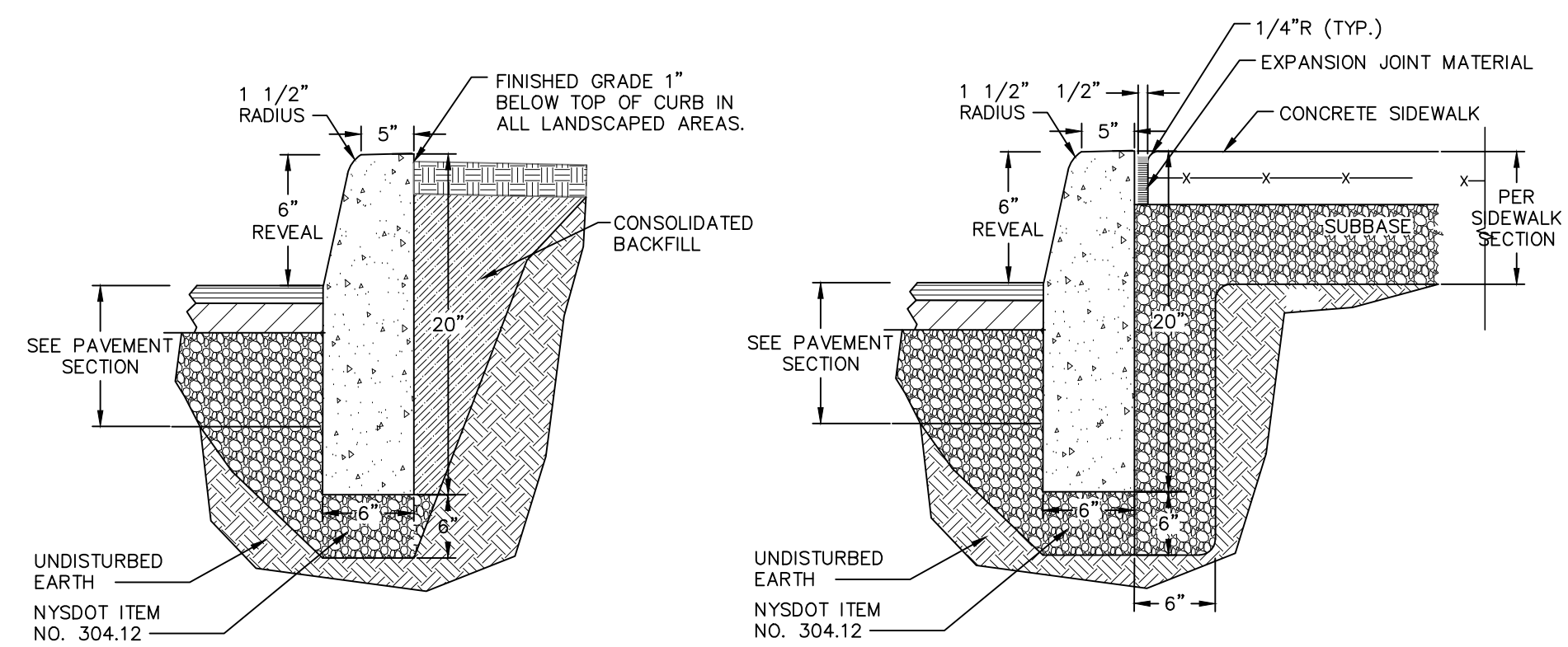
**NOTES:**  
 1. 3" BINDER COURSE AND 1 1/2" TOP COURSE TO BE USED FOR RESTORATION OF PAVEMENT WITHIN CITY ROADS.  
 2. EXCAVATIONS ARE TO BE SAW CUT SMOOTH. ALL EDGES TACK COATED, AND ALL SEAMS SEALED WITH A HOT POLYMER MODIFIED CRACK SEALANT.  
 3. IF EXISTING ASPHALT PAVEMENT DEPTH IS GREATER THAN THE PROPOSED ASPHALT PAVEMENT SECTION, INCREASE PROPOSED ASPHALT BINDER THICKNESS TO MATCH EXISTING.

**MILLED KEYWAY DETAIL**  
NOT TO SCALE



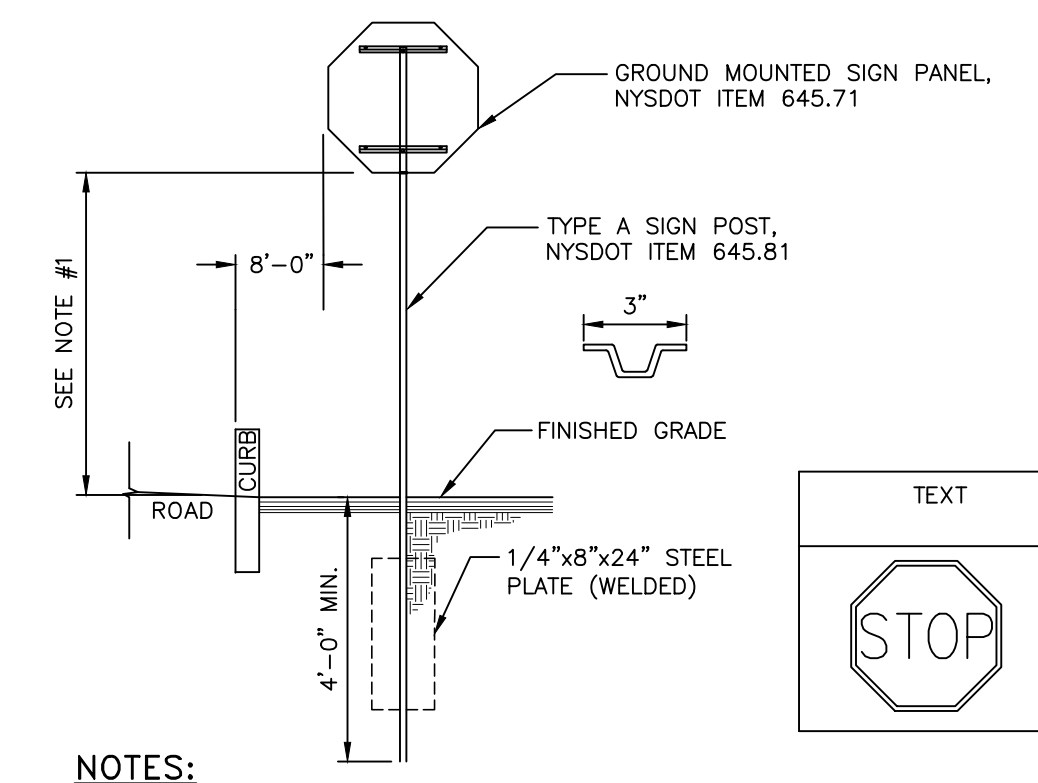
**NOTES:**  
 1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, LATEST REVISION.  
 2. SUBGRADE SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.  
 3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.  
 4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.  
 5. IT IS EXPECTED THAT THE EXISTING SITE SUB-SOILS ARE SUITABLE. IF UNSUITABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR POSSIBLE MODIFICATIONS TO THE PAVEMENT DETAIL.

**PAVEMENT SECTION DETAIL**  
NOT TO SCALE



**ABUTTING GRASS OR LANDSCAPE**  
**NOTES:**  
 1. CONCRETE CURB SHALL BE 4,000 PSI CAST-IN-PLACE, AND IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.  
 2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS.  
 3. FOR MOUNTABLE CURBS ABUTTING SIDEWALK OR OTHER HARDSCAPE, REFER TO "ABUTTING SIDEWALK" DETAIL.

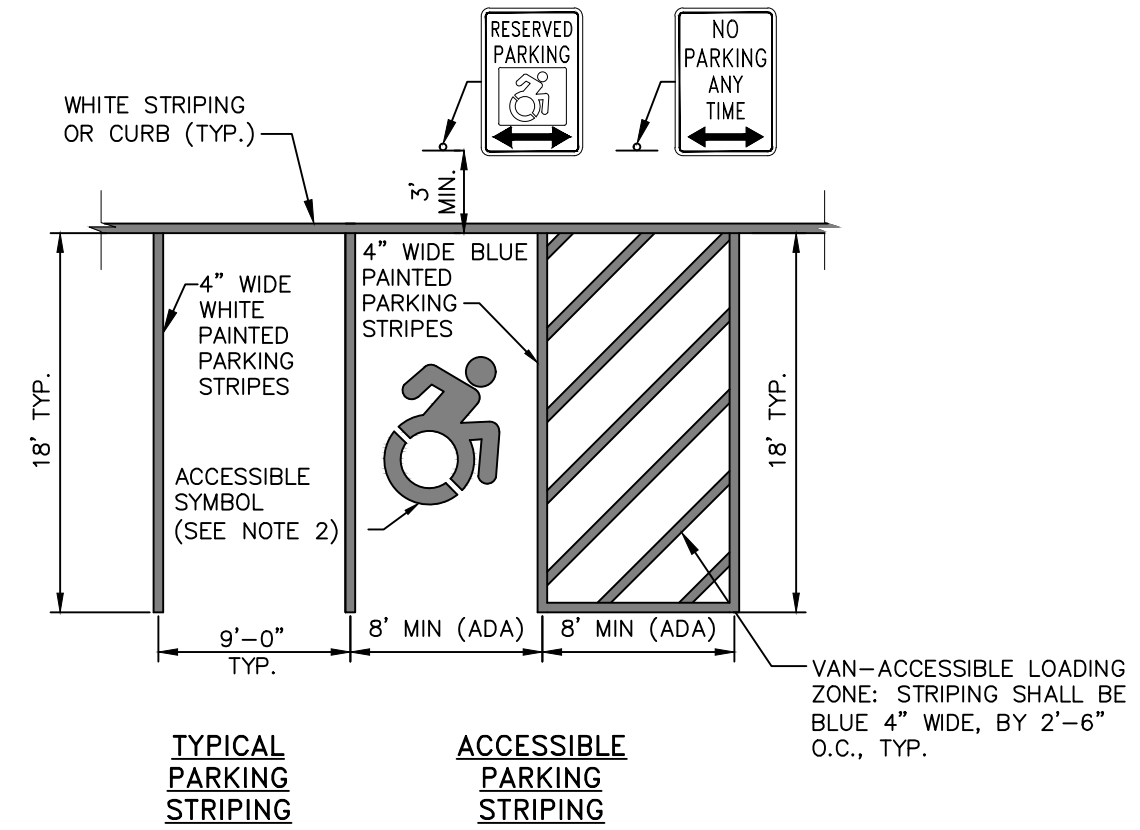
**CAST-IN-PLACE CONCRETE CURB DETAIL**  
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**NOTES:**  
 1. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN "NYCRR, CHAPTER V-UNIFORM TRAFFIC CONTROL DEVICES."  
 2. SIGN POST SHALL BE IN ACCORDANCE W/ NYSDOT STANDARD SPECS SECTION 730.  
 3. SIGN BRACING PER NYSDOT STANDARD SHEETS.  
 4. SIGN POSTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE BREAKAWAY TYPE MEETING THE REQUIREMENTS OF THE NYSDOT.

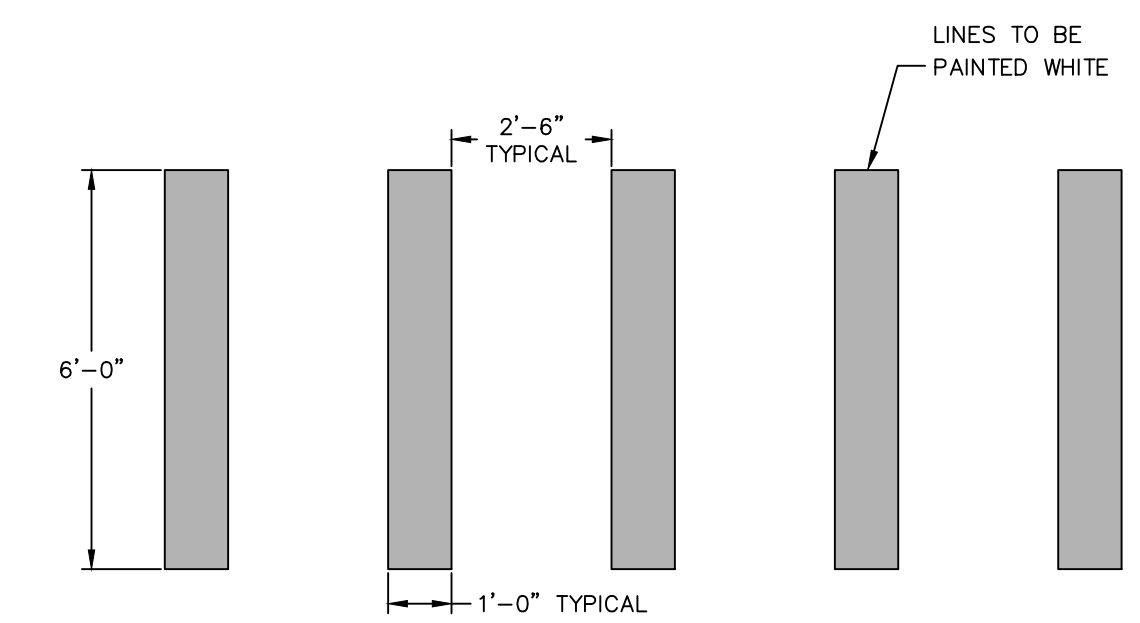
TEXT	APPROXIMATE SIZE OF SIGN	MUTCD NO.	COLOR BACKGROUND	COLOR LEGEND	TYPE OF MOUNTING
STOP	30"x30"	R1-1	RED	WHITE	POST MOUNT

**SINGLE POST SIGN DETAIL**  
NOT TO SCALE



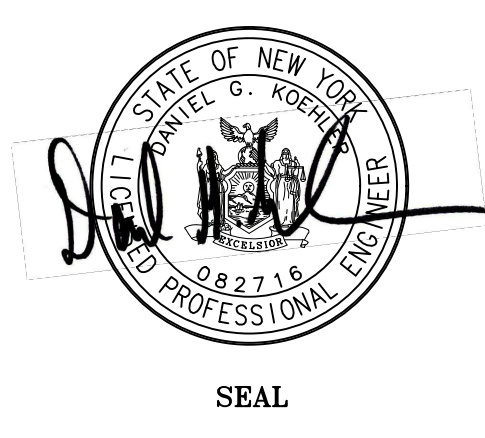
**NOTES:**  
 1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.  
 2. PAINTED ACCESSIBLE SYMBOL TO BE IN ACCORDANCE WITH NYSDOT AND ADA STANDARDS.  
 3. IF PARKING ABUTS A SIDEWALK, THEN THE REGULATORY SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.

**PARKING AND STRIPING DETAIL**  
NOT TO SCALE



**PAINTED CROSSWALK DETAIL**  
NOT TO SCALE

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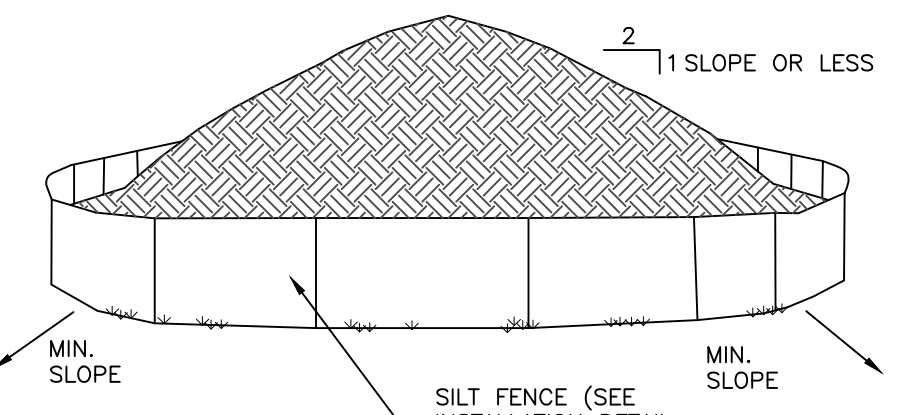


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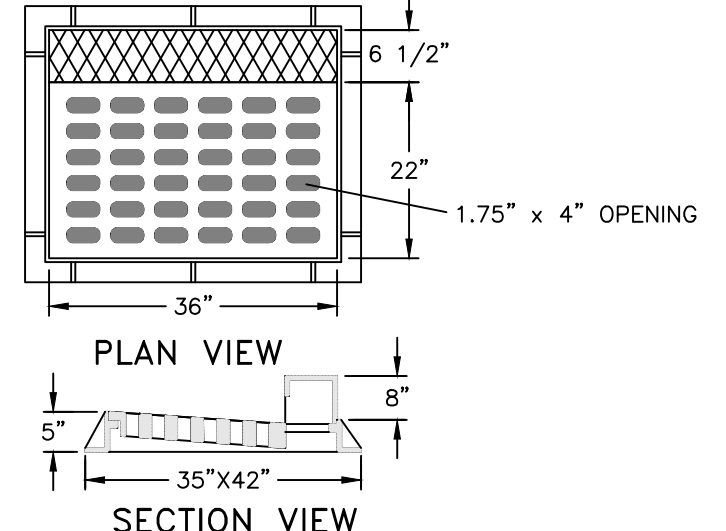
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**TITLE:** CD-1  
**SHEET:** 12 OF 13





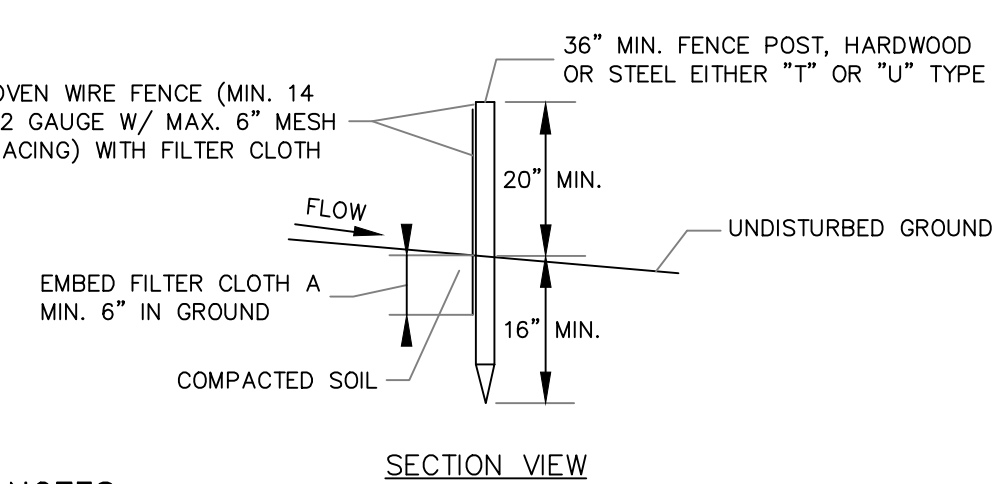
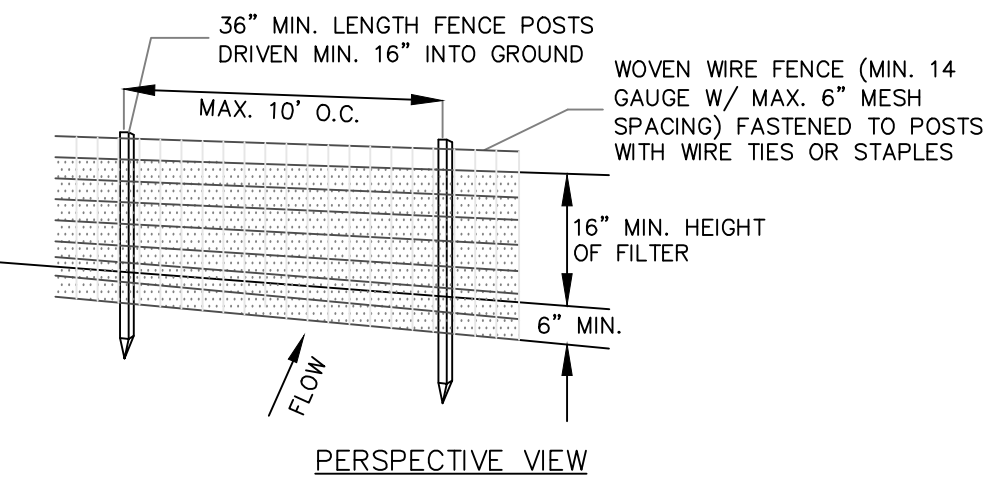
**NOTES:**  
 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
 2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

**TEMPORARY SOIL STOCKPILE DETAIL**  
 NOT TO SCALE



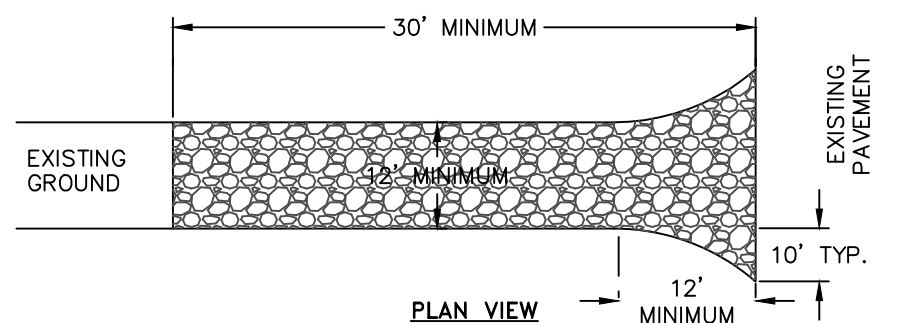
**NOTES:**  
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

**STORMWATER PIPE IN TRENCH DETAIL**  
 NOT TO SCALE



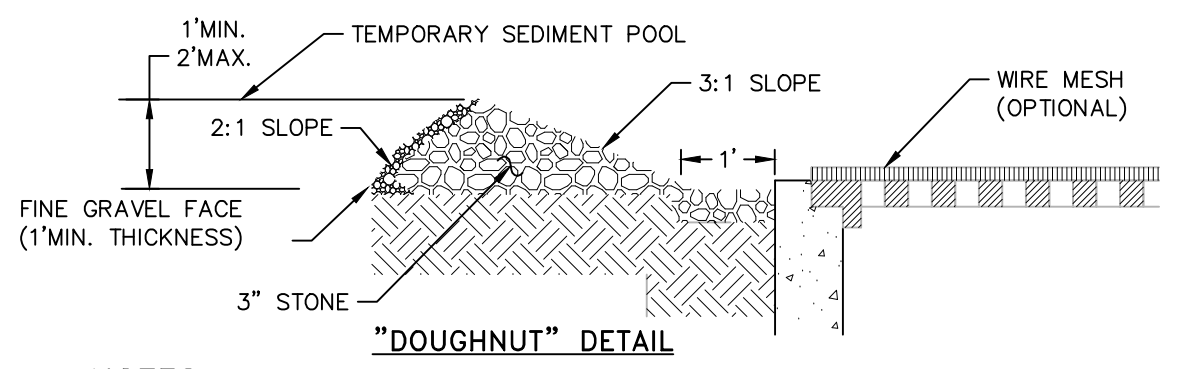
**NOTES:**  
 1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.  
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.  
 3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.  
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**  
 NOT TO SCALE



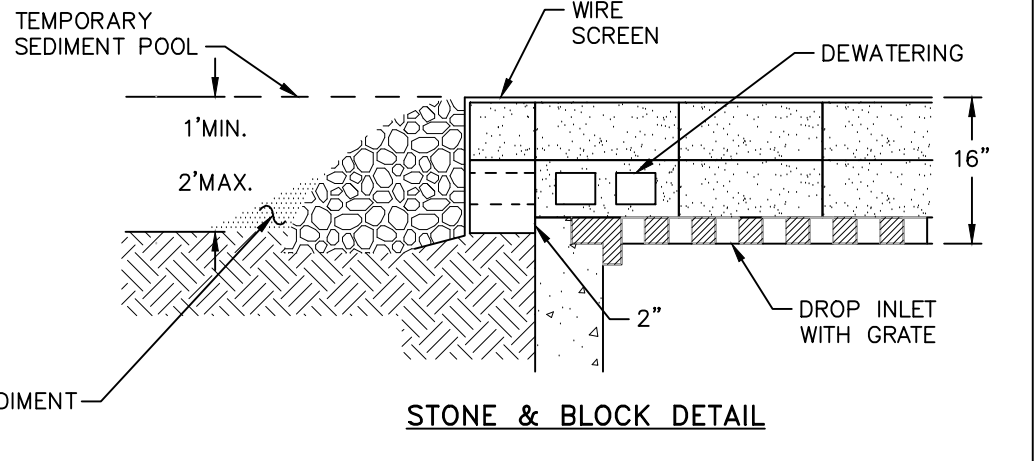
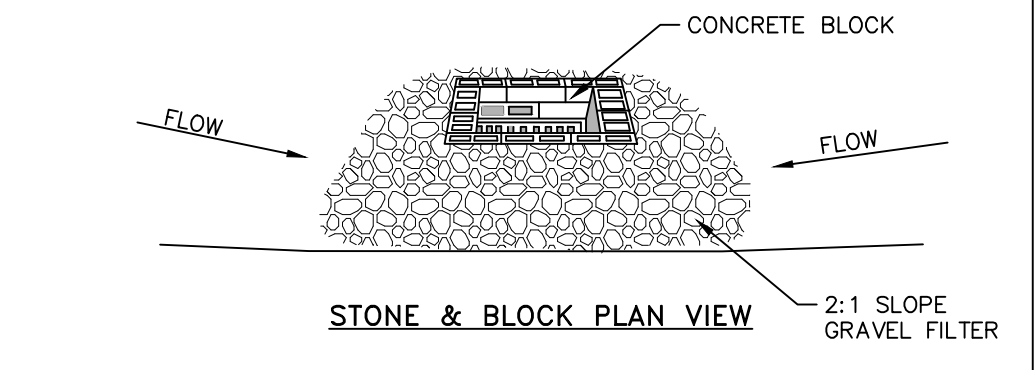
**NOTES:**  
 1) STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.  
 2) LENGTH - NOT LESS THAN 30 FEET FOR A SINGLE RESIDENCE LOT.  
 3) THICKNESS - NOT LESS THAN SIX (6) INCHES.  
 4) WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.  
 5) GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.  
 6) SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.  
 7) MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.  
 8) WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
 9) PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
 NOT TO SCALE



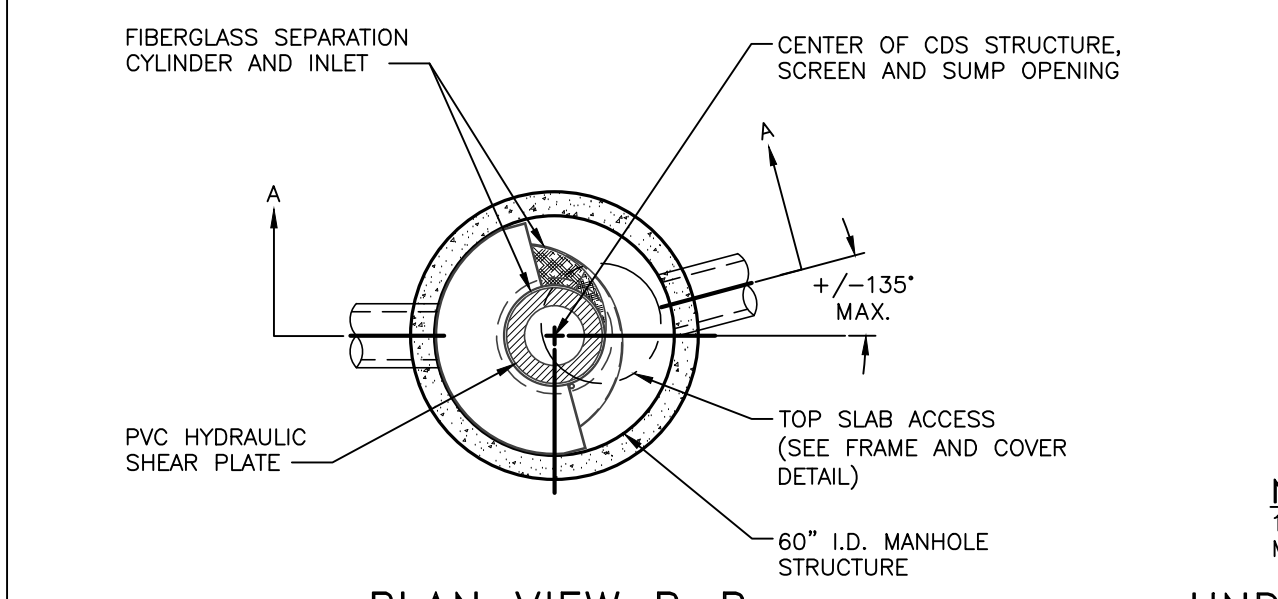
**NOTES:**  
 1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.  
 2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.  
 3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.  
 4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.  
 MAXIMUM DRAINAGE AREA 1 ACRE

**CATCH BASIN INLET PROTECTION DETAIL**  
 NOT TO SCALE

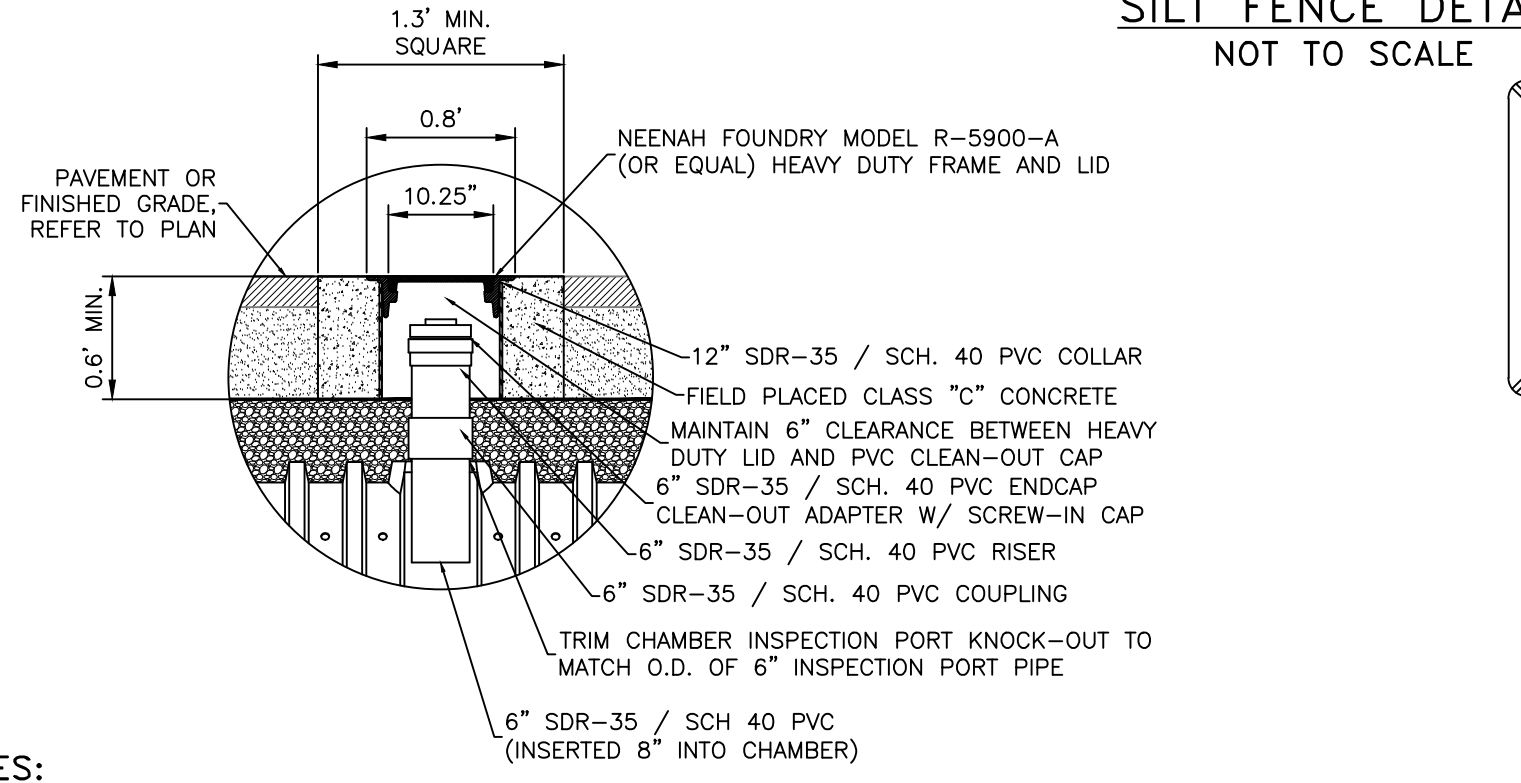


**STONE & BLOCK DETAIL**  
 NOT TO SCALE

**CAST IRON STORMWATER CURB INLET GRATE DETAIL**  
 NOT TO SCALE

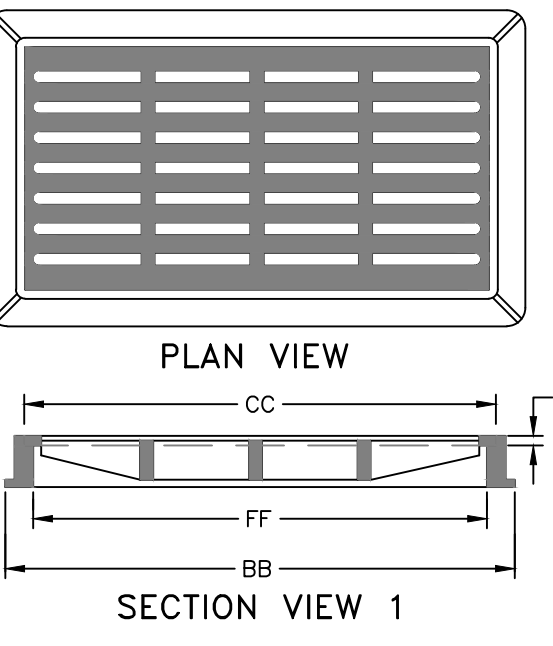


**PLAN VIEW B-B**  
 NOT TO SCALE



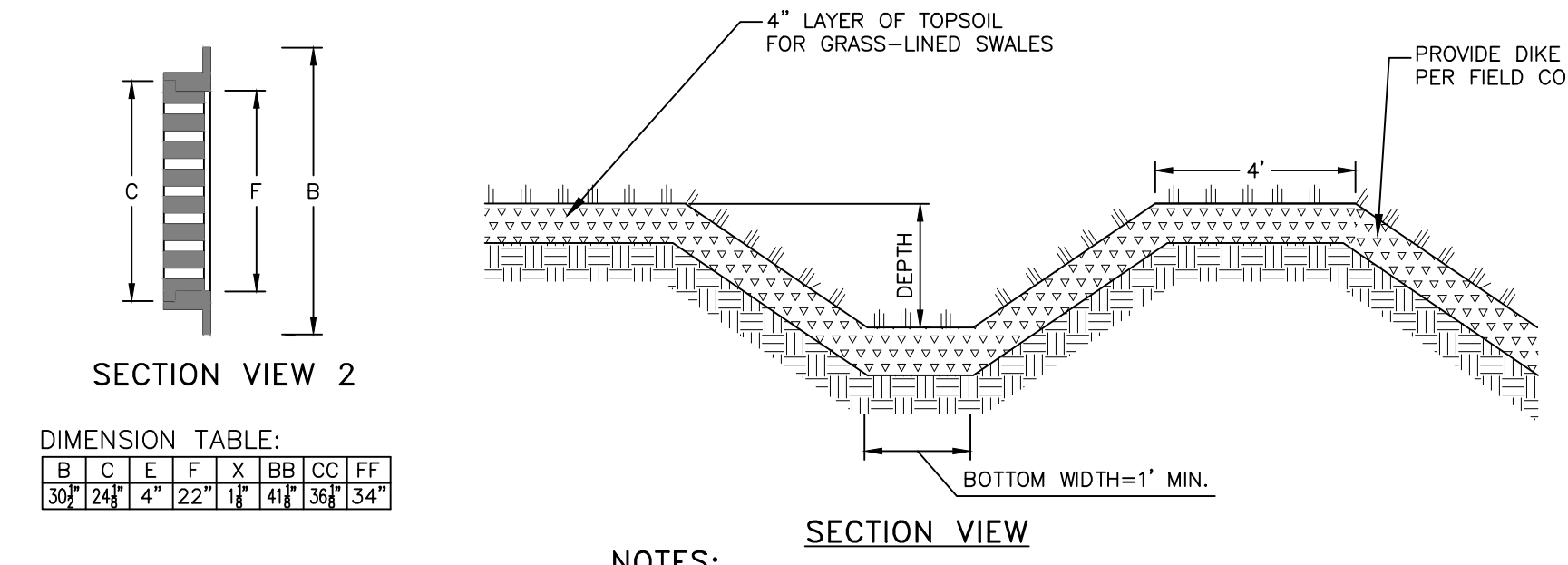
**NOTES:**  
 1. PROVIDE AN INSPECTION PORT FOR THE INITIAL AND FINAL CHAMBER OF EACH ROW, AND FOR ROWS WITH MORE THAN 10 CHAMBERS, ONE IN AN INTERMEDIATE CHAMBER.

**UNDERGROUND DETENTION SYSTEM INSPECTION PORT DETAIL**  
 NOT TO SCALE



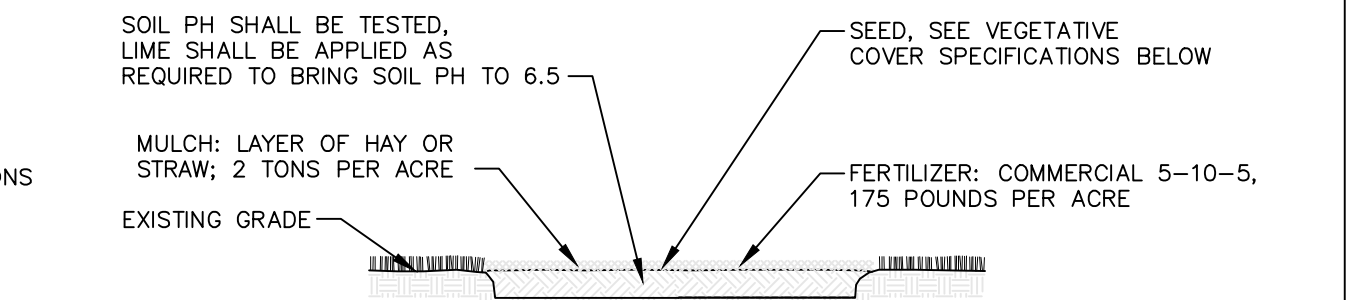
**NOTES:**  
 1. HEAVY DUTY RECTANGULAR STORMWATER INLET GRATE TO BE CAMPBELL FOUNDRY MODEL 3433, OR APPROVED EQUAL.  
 2. STMH1 AND STMH2 RECEIVE SOLID CAST IRON COVERS.

**CAST IRON STORMWATER FLAT INLET GRATE DETAIL**  
 NOT TO SCALE



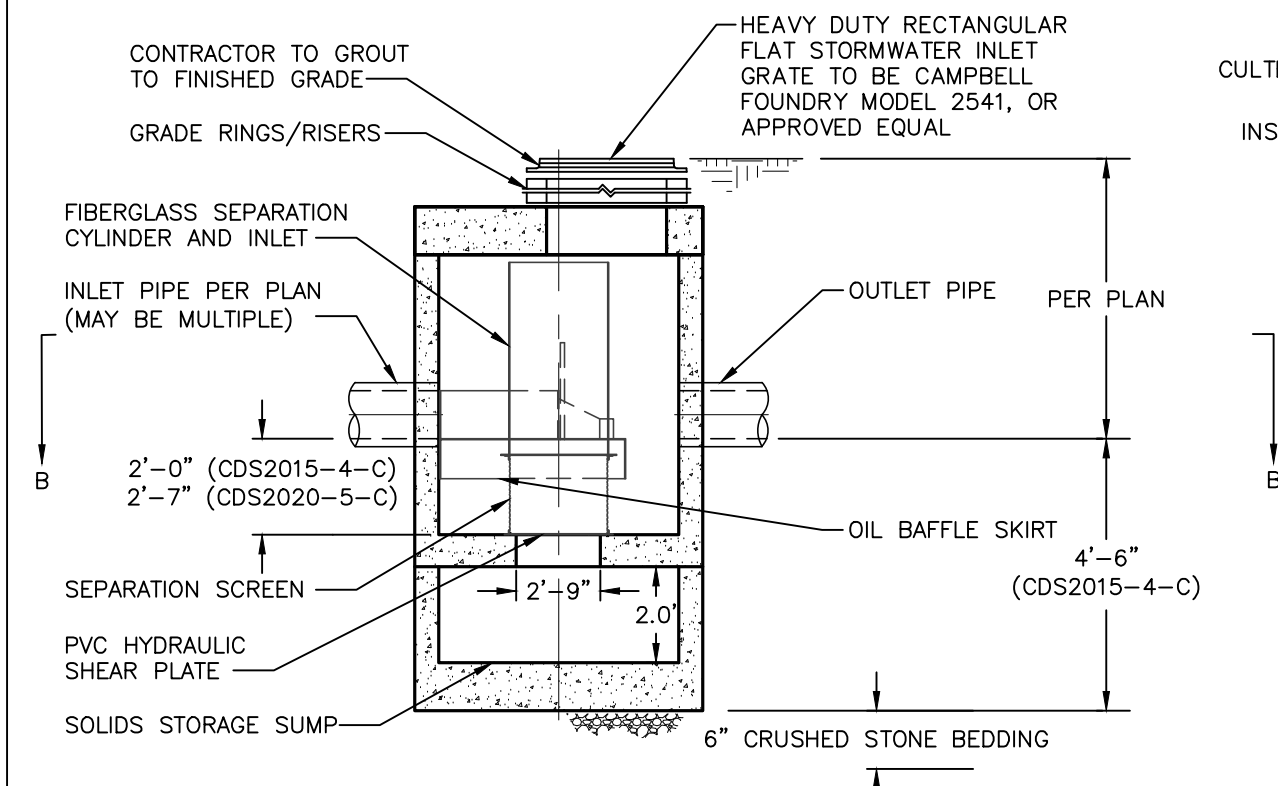
**NOTES:**  
 1. MINIMUM 1" DEPTH AND 1" WIDTH FOR ALL SWALES.  
 2. SWALE SHALL BE SEEDING WITH FAST GERMINATING RYE 15 TO 25 POUNDS PER 1,000 SQUARE FEET AND MULCHED.

**GRASS LINED SWALE/DIKE DETAIL**  
 NOT TO SCALE



**NOTES:**  
 1. TOPSOIL, SEED, MULCH, AND FERTILIZE DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.  
 2. SEED MIXTURE FOR USE ON LAWNS IN SUNNY AREAS:  
 65% KENTUCKY BLUE GRASS BLEND 114 POUNDS PER ACRE  
 20% PERENNIAL RYEGRASS 26 POUNDS PER ACRE  
 15% FINE FESCUE 175 POUNDS PER ACRE  
 3. SEED MIXTURE FOR USE IN SHADY AREAS:  
 80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS 138 POUNDS PER ACRE  
 20% FINE FESCUE 37 POUNDS PER ACRE  
 4. SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.  
 5. TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20% TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

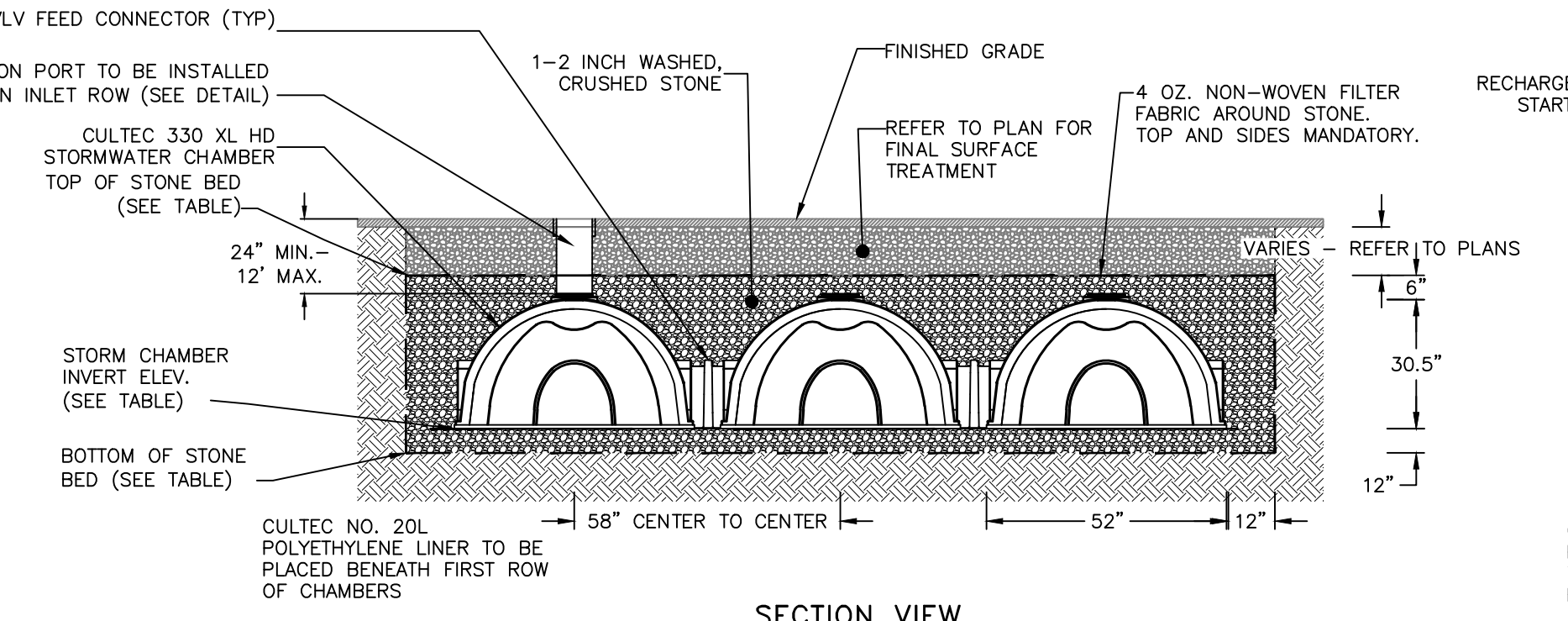
**TOPSOIL, SEED AND MULCH DETAIL**  
 NOT TO SCALE



**SECTION VIEW A-A**  
 NOT TO SCALE

**NOTES:**  
 1. STORMWATER TREATMENT SYSTEM (SWTS) SHALL BE DESIGNED TO MEET PERFORMANCE GOALS BASED ON FULL SCALE LABORATORY PERFORMANCE DATA.  
 2. SWTS SHALL BE DESIGNED TO RETAIN FLOATABLES AND TRAPPED SEDIMENT AT FLOW RATES UP TO AND INCLUDING PEAK TREATMENT CAPACITY.  
 3. SWTS INVERTS IN AND OUT SHALL BE AT THE SAME ELEVATION.  
 4. SWTS SHALL NOT BE COMPROMISED BY EFFECTS OF DOWNSTREAM TAILWATER.  
 5. SWTS SHALL HAVE NO INTERNAL COMPONENTS THAT OBSTRUCT MAINTENANCE ACCESS.  
 6. PIPE ORIENTATION MAY VARY; SEE SITE PLAN FOR SIZE AND LOCATION.  
 7. PURCHASER SHALL NOT BE RESPONSIBLE FOR ASSEMBLY OF INTERNAL COMPONENTS.  
 8. ONE MANHOLE FRAME AND COVER SUPPLIED WITH SYSTEM, NOT INSTALLED.  
 9. PURCHASER TO PREPARE EXCAVATION AND PROVIDE LIFTING EQUIPMENT.  
 10. STRUCTURE SHALL MEET AASHTO H520 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER AT, OR BELOW THE OUTLET PIPE INVERT ELEVATION.  
 11. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.  
 12. SEE UTILITY PLAN FOR PIPE ORIENTATION, INVERTS AND SIZES.

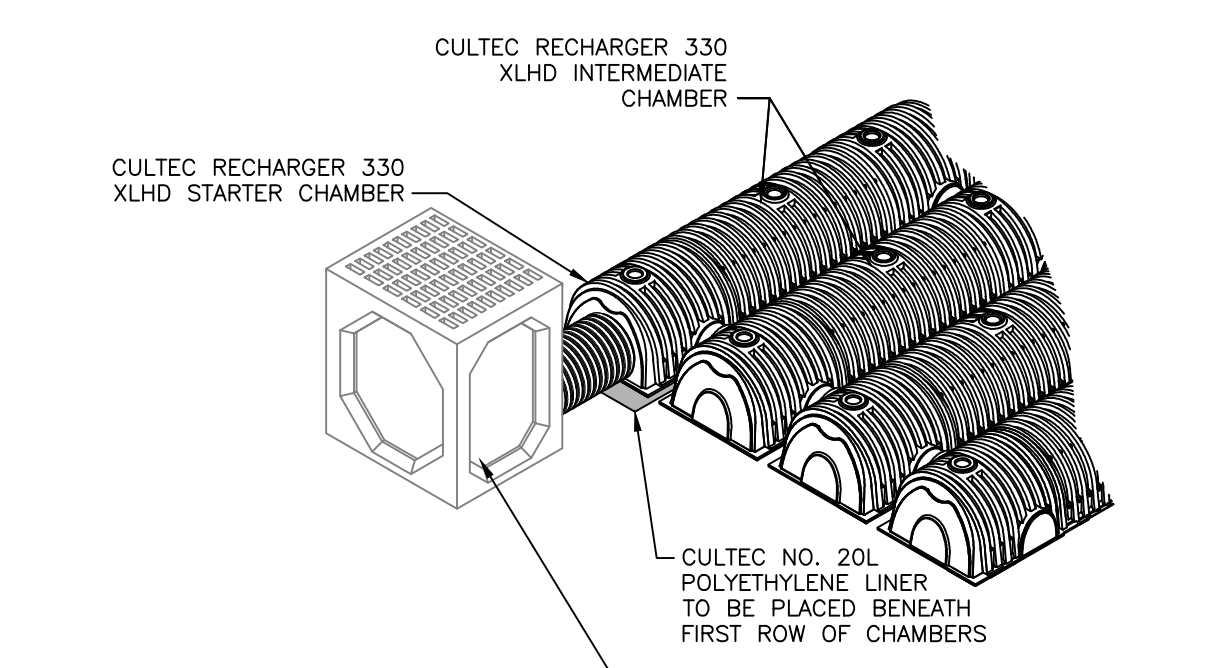
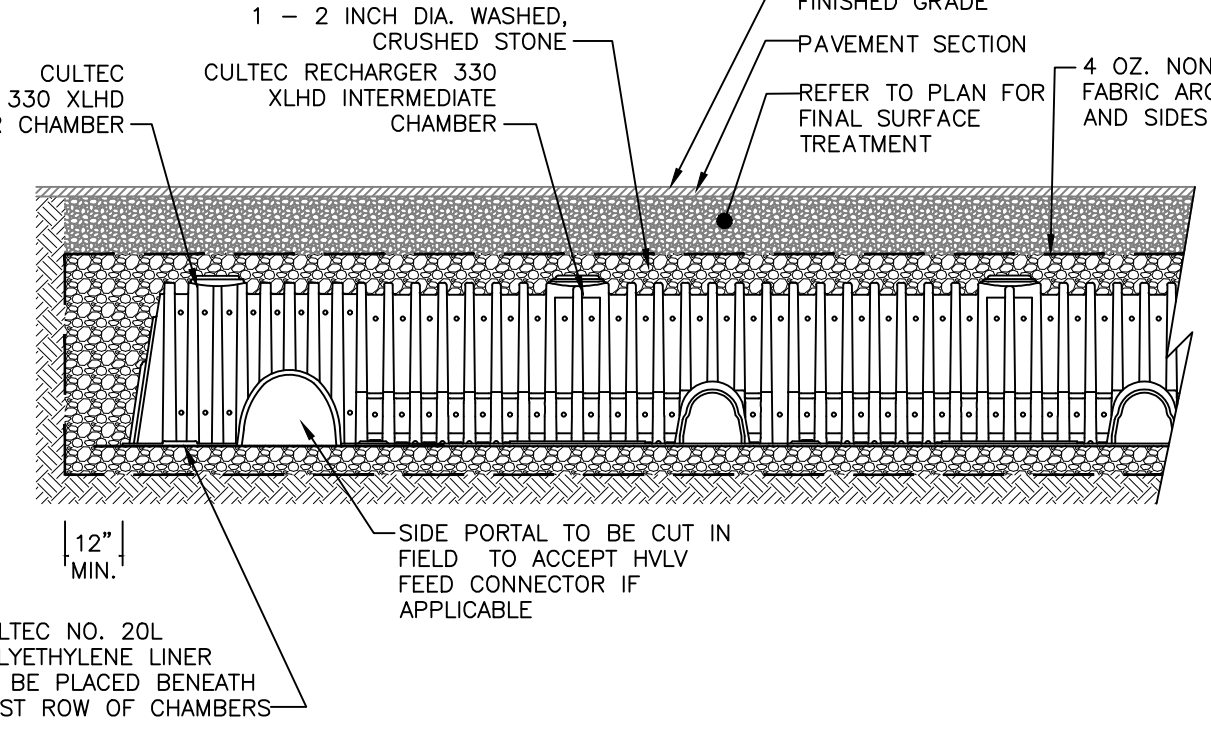
**CDS@ PRE-TREATMENT UNIT DETAIL**  
 NOT TO SCALE



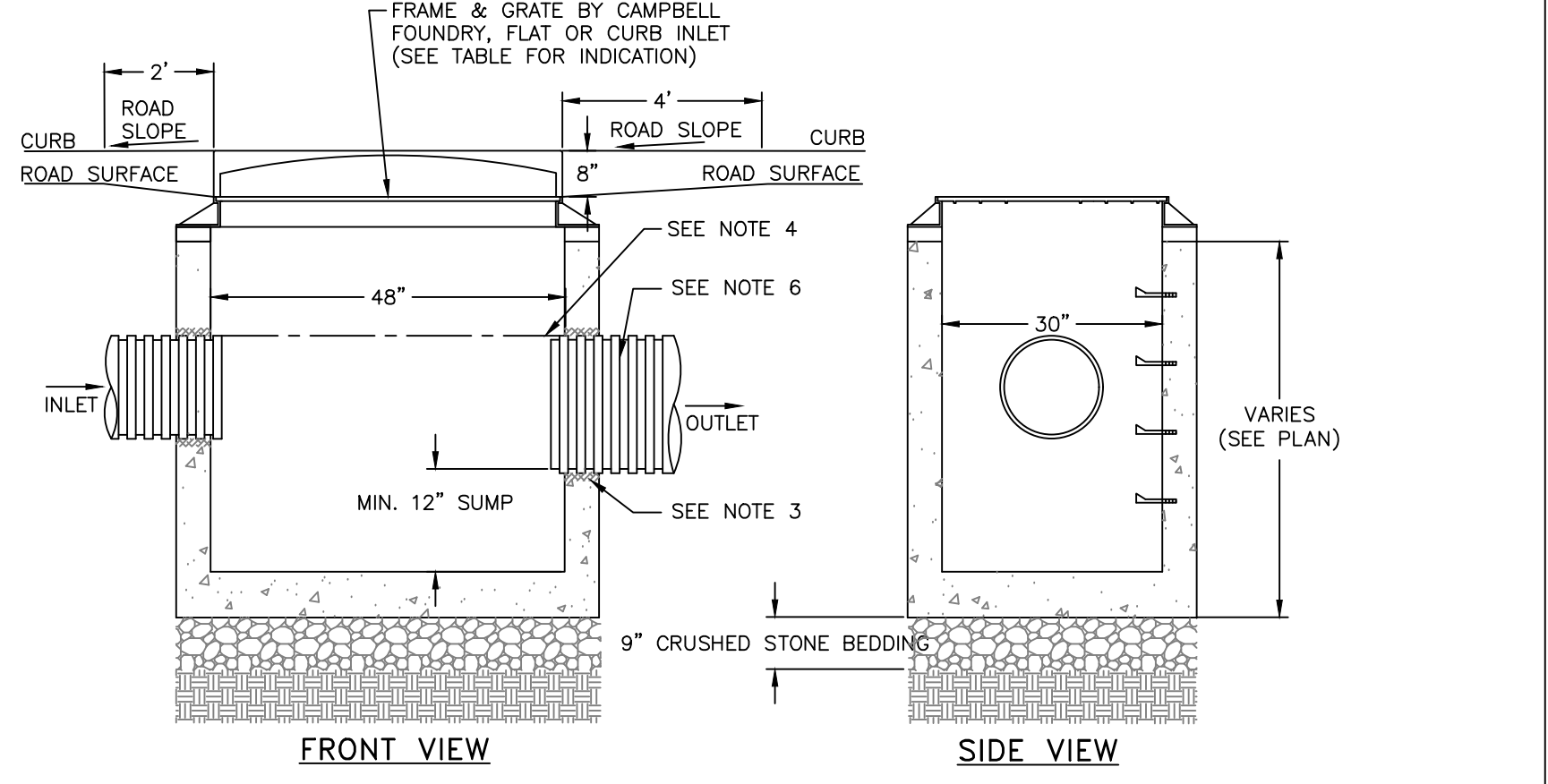
**NOTES:**  
 1. CULTEC RECHARGER 330XLHD CHAMBERS BY CULTEC, INC. OF BROOKFIELD, CT. ALL CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH CULTEC INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.  
 2. THE BED OF THE SYSTEM FOOTPRINT SHALL BE LAID NEARLY LEVEL.  
 3. EACH ROW OF CHAMBERS SHALL BE FED VIA A 12" MANIFOLD WITH TEE CONNECTIONS BY CULTEC OR EQUAL.  
 4. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IF SUBSURFACE CONDITIONS IN THE AREAS OF THE INFILTRATOR TRENCHES IS NOT CONSISTENT WITH THE TEST PIT OR PERCOLATION DATA (E.G. GROUNDWATER OR BEDROCK ENCOUNTERED, SOIL PROPERTIES ARE NOT CONSISTENT, ETC.).  
 5. REFER TO THE INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES NOTES ON THE GRADING SHEET.  
 6. SEE ALSO CLAY KEY DETAIL THIS SHEET.

SYSTEM ID	BOTTOM OF STONE BED ELEVATION	CHAMBER INVERT	TOP OF STONE BED ELEVATION	STONE BED FOOTPRINT
A	212.4	213.4	216.4	1,093 S.F.

**UNDERGROUND DETENTION SYSTEM DETAIL**  
 NOT TO SCALE



**UNDERGROUND DETENTION SYSTEM DETAIL**  
 NOT TO SCALE

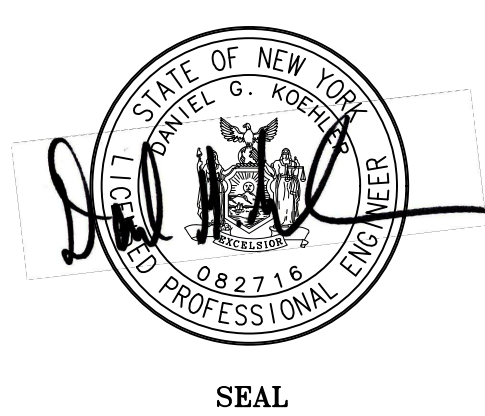


**NOTES:**  
 1. PRECAST CONCRETE CATCH BASIN WITH CONCRETE STRENGTH OF 4,000 PSI @ 28 DAYS.  
 2. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN AND PARGED AROUND.  
 3. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE. CONNECTIONS MADE WITHIN 10 FEET OF A WATER MAIN (OR SERVICE LINE) OR A SEWER MAIN (OR SERVICE LATERAL) SHALL BE MADE WATERTIGHT.  
 4. PROVIDE A MINIMUM 0.1" DROP BETWEEN INLET AND OUTLET INVERTS (MATCH CROWNS FOR PIPES WITH DIFFERENT SIZES) UNLESS OTHERWISE NOTED ON THE PLAN.  
 5. CATCH BASINS WITH AN INTERIOR DEPTH OF 4' AND GREATER SHALL BE FURNISHED WITH STEEL REINFORCED POLYPROPYLENE PLASTIC STEPS AT 12" INTERVALS.  
 6. HOPE PIPE SHALL BE PROVIDED WITH WATERTIGHT CONNECTIONS. ADS MODEL N12 WT IB OR APPROVED EQUAL.

**CATCH BASIN DETAIL**  
 NOT TO SCALE

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:							
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY

DRAWN BY: CMB				CHECKED BY: DGK			
REVISIONS:							
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



**HUDSON LAND DESIGN**  
 HUDSON LAND DESIGN  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN ST., BEACON, NEW YORK 12508  
 13 CHAMBERS ST., NEWBURGH, NEW YORK 12550  
 PH: 845-440-6926  
 F: 845-440-6637

**CONSTRUCTION DETAILS**  
**INDUSTRIAL ARTS BREWERY**  
 511 FISHKILL AVENUE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6055-04-580285

JOB #:	2018:041
DATE:	11/27/18
SCALE:	AS SHOWN
TITLE:	CD-2
SHEET:	13 OF 13

**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**296 Main Street**

**Subject:**

Review application for Site Plan Approval, convert existing retail and garage to restaurant, submitted by River Valley Restaurant Group, 296 Main Street

**Background:**

**ATTACHMENTS:**

Description	Type
296 Main Street Application	Application
296 Main Street EAF	EAF
296 Main Street I & I Report	Backup Material
296 Main Street Sheet 1 Site Plan	Plans
296 Main Street Sheet 2 Existing Survey Demolition Plan	Plans
296 Main Street Sheet 3 Plans	Plans

**APPLICATION FOR SITE PLAN APPROVAL**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

Name: River Valley Restaurant Group

Address: 142 Main St Beacon, New York 12508

Signature: 

Date: November 27, 2018

Phone: (845) 765-2350

*(For Official Use Only)*

Application & Fee Rec'd

Initial Review

Public Hearing

Conditional Approval

Final Approval

Date Initials

11-27-18 EB

12-11-18

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: Aryeh Siegel Architect

Address: 84 Mason Circle

Beacon NY 12508

Phone: 845-838-2490

Fax: 845-838-2657

Email address: ajs@ajsarch.com

**IDENTIFICATION OF SUBJECT PROPERTY:**

Property Address: 296 Main Street

Tax Map Designation: Section 5954 Block 36 Lot(s) 933866

Land Area: 0.124 Acres Zoning District(s) CMS

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Proposed Use: Restaurant / Office

Gross Non-Residential Floor Space: Existing 4,403 sf Proposed 0

TOTAL: 4,403 sf

Dwelling Units (by type): Existing 0 Proposed 0

TOTAL: 0

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. One electronic and five (5) **folded** paper copies of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. One electronic and five (5) **folded** paper copies of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. One electronic and five (5) **folded** paper copies of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

# APPLICATION PROCESSING RESTRICTION LAW

## Affidavit of Property Owner

Property Owner: Field Properties, LLC

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

Jeffrey Werner - sole member

List all properties in the City of Beacon that you hold a 5% interest in:

296 Main Street

Applicant Address: 36 Winston Lane Garrison, NY 10524

Project Address: 296 Main Street ✓

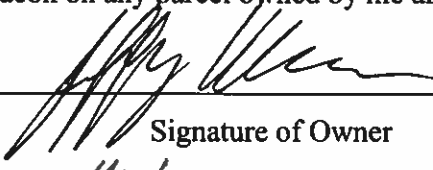
Project Tax Grid # 5954-36-933866 ✓

Type of Application Site Plan

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Jeffrey Werner, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current

  
\_\_\_\_\_  
Signature of Owner  
Member

Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	✓	—	<u>JW</u>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	—	✓	<u>JW</u>
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	—	✓	<u>JW</u>

**INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH**

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

**INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN**

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board  
on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_  
subject to all conditions as stated therein**

\_\_\_\_\_  
**Chairman, City Planning Board**

\_\_\_\_\_  
**Date**

**CITY OF BEACON  
SITE PLAN SPECIFICATION FORM**

Name of Application: 296 Main Street - Ziatun Restaurant

<b>PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.</b>		
	<b>YES</b>	<b>NO</b>
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>LEGAL DATA</b>		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.		
<b>NATURAL FEATURES</b>		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>EXISTING STRUCTURES, UTILITIES, ETC.</b>		
Outlines of all structures and the location of all uses not requiring structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<b>PROPOSED DEVELOPMENT</b>	<b>YES</b>	<b>NO</b>
The location, use and design of proposed buildings or structural improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed division of buildings into units of separate occupancy.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, direction, power, and time of use for any proposed outdoor lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and plans for any outdoor signs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any contemplated public improvements on or adjoining the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevations of all proposed principal or accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed fences or retaining walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>MISCELLANEOUS</b>		
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erosion and sedimentation control measures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An indication of proposed hours of operation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	<input type="checkbox"/>	<input checked="" type="checkbox"/>





**FOR OFFICE USE ONLY**

Application #

**CITY OF BEACON**  
**1 Municipal Plaza, Beacon, NY**  
**Telephone (845) 838-5000 · <http://cityofbeacon.org/>**

**ENTITY DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

**SECTION A.**

**IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:**

Name of Entity <i>Field Properties, LLC</i>	Address of Entity <i>36 Winston Lane, Garrison, NY 10524</i>
Place where such business entity was created <i>New York</i>	Official Registrar's or Clerk's office where the documents and papers creating entity were filed <i>NYS Department of State</i>
Date such business entity or partnership was created <i>11/10/2017</i>	Telephone Contact Information <i>914-490-1432</i>

**IF AFFIANT IS A CORPORATION:**

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and date of incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed



**SECTION C.** List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Jeffrey Werner	36 Winston Lane Garrison, NY 10524	914-490-1432	12/11/17	

**SECTION D.** Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

YES

NO

Name	Employer	Position

**SECTION E.** Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

YES       NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

**SECTION F.** Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

YES       NO

Current Name	Other Names

**SECTION G.** List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address
<del>36</del> Field Properties, LLC	36 Winston Lane, Garrison, NY 10524

**SECTION H.** If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

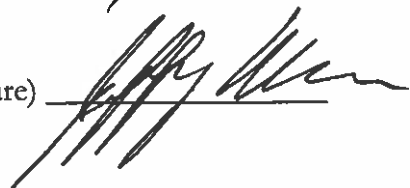
**SECTION I.** Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

YES

NO

I, Jeffrey Warner being first duly sworn, according to law, deposes and says that I am (Title) Member, an active and qualified member of the Field Properties, LLC business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) Jeffrey Warner

(Signature) 

**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**

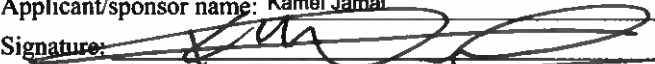
**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: 296 Main Street			
Project Location (describe, and attach a location map): 296 Main Street			
Brief Description of Proposed Action: Convert existing retail and garage to restaurant use. Existing office use on 2nd floor to remain.			
Name of Applicant or Sponsor: River Valley Restaurant Group		Telephone: (914) 804-2323 E-Mail: rivervalleyrestaurants@gmail.com	
Address: 1 East Main Street, Unit 405			
City/PO: Beacon		State: NY	Zip Code: 12508
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City of Beacon Planning Board: Site Plan Approval City of Beacon Building Department: Building Permit			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.124 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.124 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? <b>Indiana Bat</b>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Kamel Jamal</u>	Date: <u>November 27, 2018</u>	
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

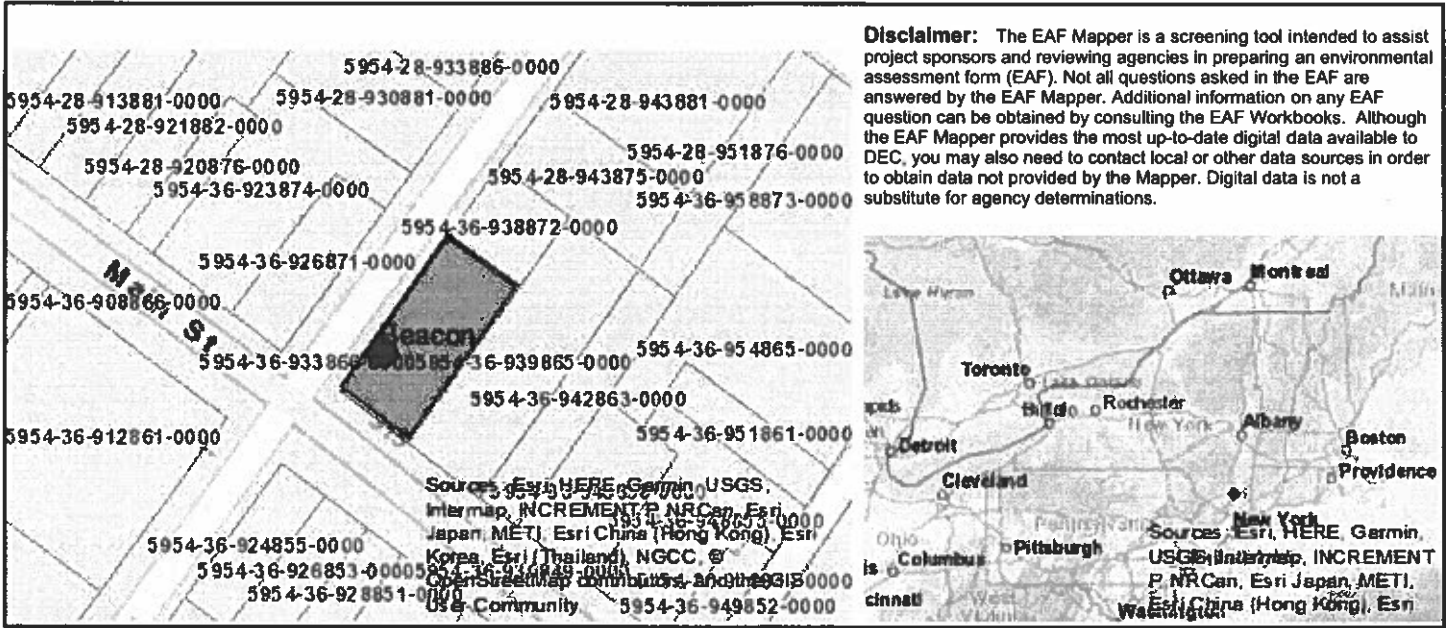


	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



City of Beacon  
One Municipal Plaza - Suite 1  
Beacon, New York 12508

# \* Certificate of Inspection \*

---

**Date Issued:** 11/27/2018

**This certificate is issued to:** Field Properties LLC

**For Property located at** 296 Main St

**Tax Map #:** 5954-36-933866

**The referenced property has been inspected in accordance with Chapter 179 Sewers of the City of Beacon Code.**

***No Illegal connects to the sanitary system exist.***

**Approved by:**

David Buckley  
DAVID BUCKLEY - DEPUTY BUILDING INSP

**Expiration Date:** 11/27/2018

**FEE:** \$50.00

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**HATCHING LEGEND**

	CONCRETE SIDEWALK
	PAVERS
	GRASS

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	QTY.	SIZE	ROOT	SPACING	COMMENTS
<b>TREES</b>						
AR	ACER RUBRUM (RED MAPLE)	1	3"-3.5"	B&B	SEE DRAWING	
<b>SHRUBS</b>						
AV	THUJA OCCIDENTALIS (ARBOR VITAE)	18	7 GAL.	CONT	6' O.C. - STAGGERED	
<b>LAWN</b>						
SEEDED WITH 5311 CONSERVATION MIX (OR APPROVED EQUAL), APPLIED AT 3-5LBS PER 1000SF 30% CREEPING RED FESCUE, 30% ANNUAL RYEGRASS, 25% KENTUCKY BLUEGRASS 'CORSAIR', 25% KENTUCKY BLUEGRASS 'SHAMROCK', 10% ANNUAL RYEGRASS, 10% PERENNIAL RYEGRASS. SOURCE: ERNST CONSERVATION SEEDS						

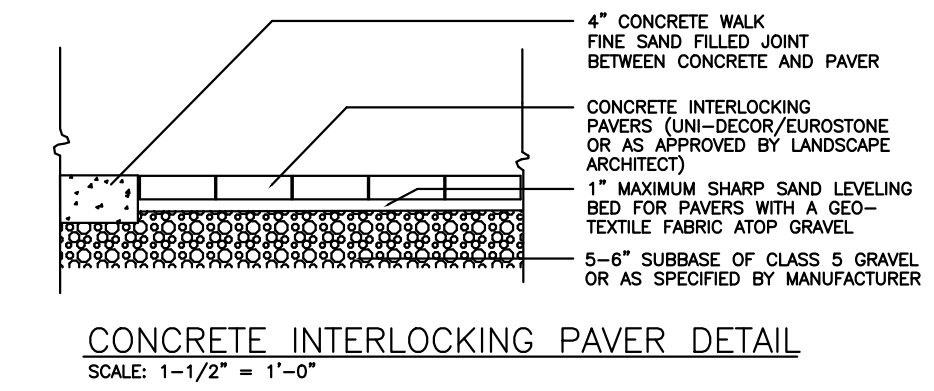
**Bulk Zoning Regulations Table**

	Required Setbacks			Proposed Setbacks			Lot Depth Required	Lot Depth Existing	Lot Width Required	Lot Width Existing	Minimum Building Frontage	Proposed Building Frontage	Allowable Building Height	Proposed Building Height	Allowable Building Depth	Proposed Building Depth	Lot Area
	Front	Side	Rear	Front	Side	Rear											
Zoning District																	
CMS (Central Main Street District)	0' min. 0' max.	0'	25'	7.7'-1'	.75' 1.5'	2.1'-1'	75'	108'	N/A	50'	80%	100%	38'	24'	150'	98'-1'	5,401 sf

Notes:  
1. Existing Condition



**Location Map**  
Not to Scale



**Zoning Summary**

Zoning District: CMS (Central Main Street District)  
 Tax Map No.: 5459-36-933866  
 Lot Area: 0.124 acre (5,401 sf)  
 Building Footprint: 3,294 square feet  
 Historical Overlay District: No  
 Parking Overlay District: Yes  
 Existing Use: Retail / Office Space  
 Proposed Use: Restaurant / Office Space

**Parking & Loading**

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
<b>Retail Service (1964 Use)</b> Automobile Service Garage 1 space per 200 gsf	1,858 gsf	10 spaces		
<b>Apartment</b> 1 1/2 space per Apartment	1 Apartment	2 spaces		
<b>Retail</b> 1 space per 200 gsf	998 sf	5 spaces		
<b>Restaurant</b> 2 spaces per 1,000 square feet			3,294 sf	8 spaces
<b>Office</b> 2 spaces per 1,000 square feet			1,109 sf	3 spaces
<b>Total Required Parking Spaces</b>		<b>17 spaces</b>		<b>11 spaces</b>
<b>Total Proposed Parking Spaces</b>				<b>0 spaces (Note 1)</b>

**Notes:**

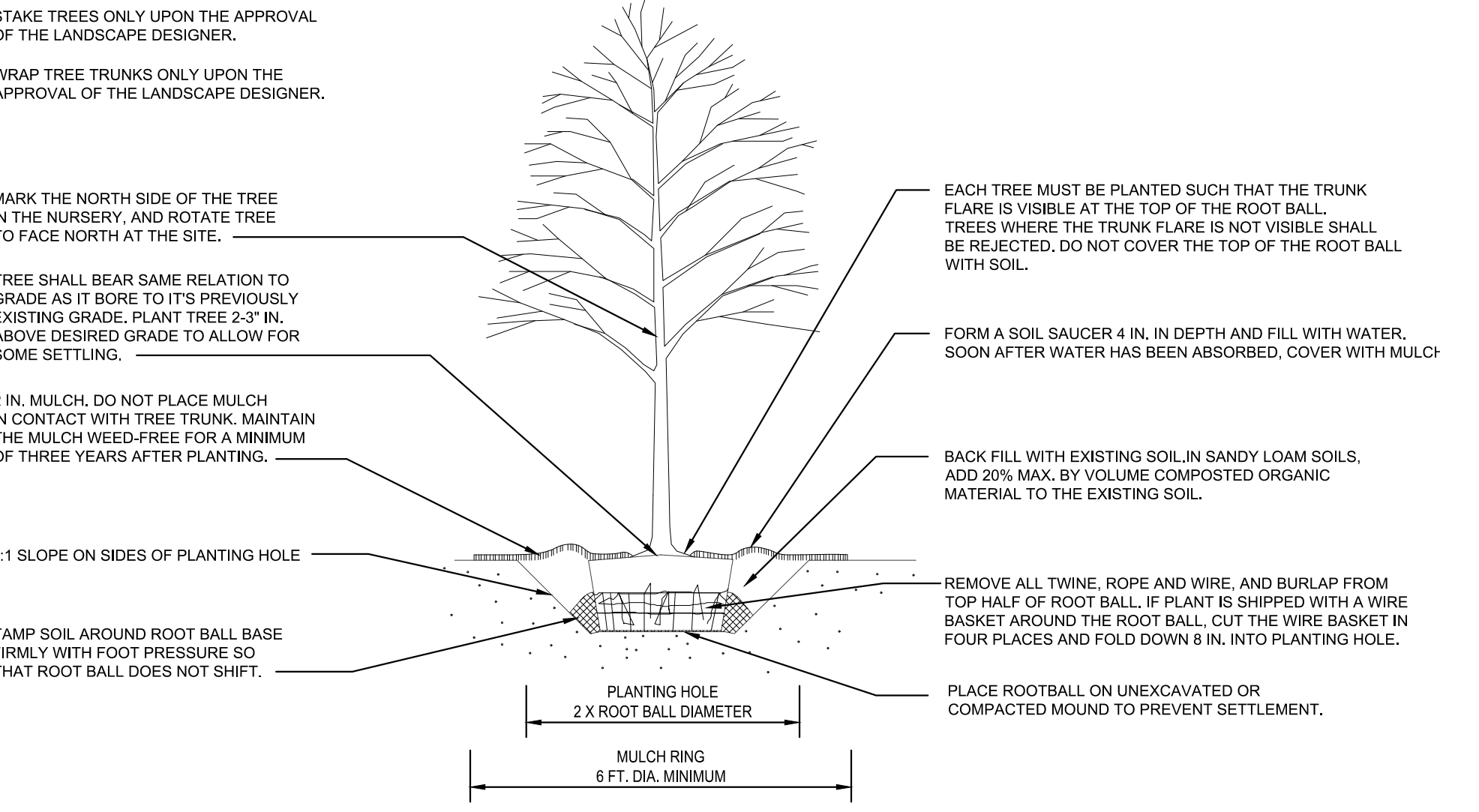
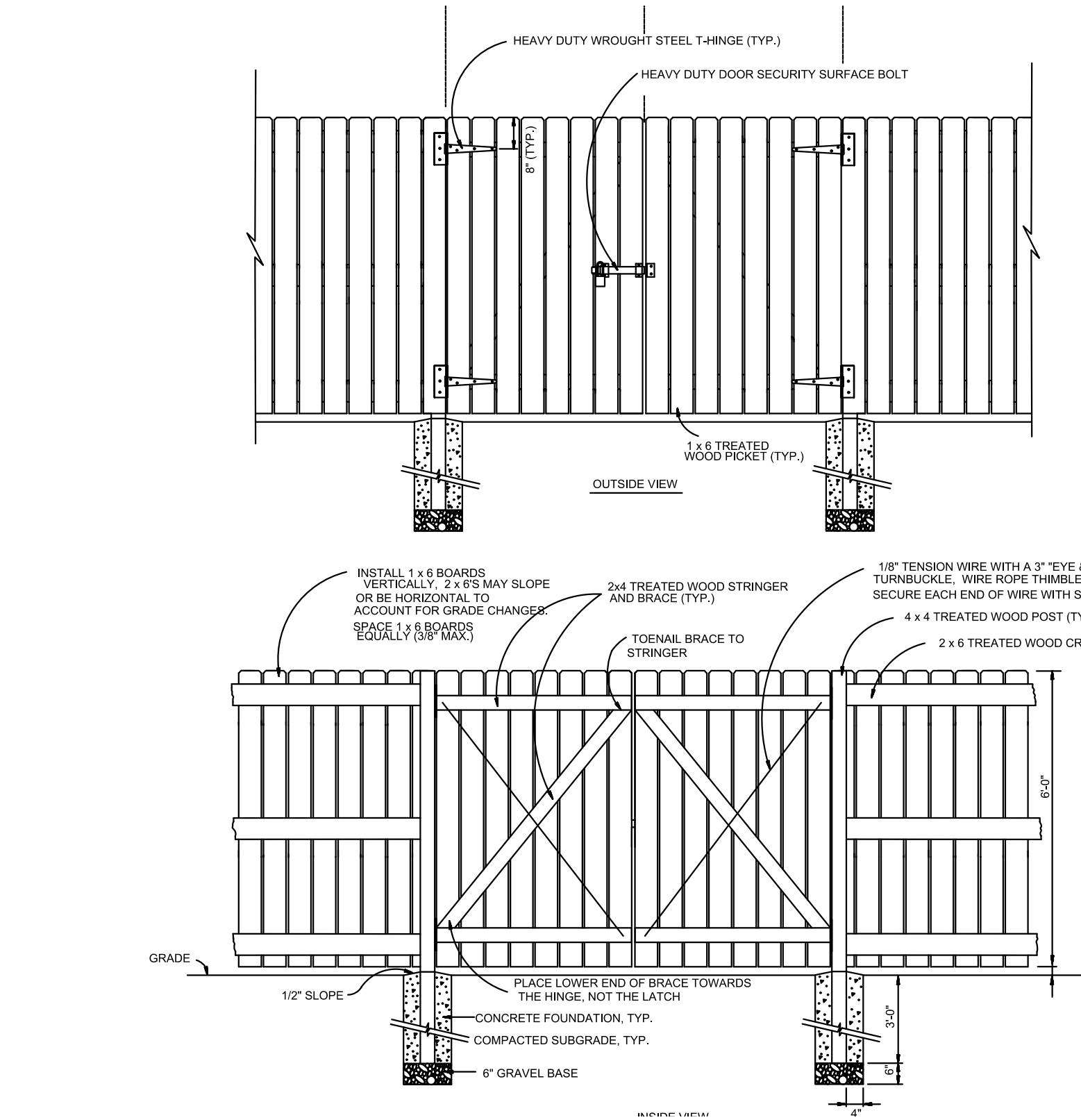
- Parking is not required per Beacon Zoning Code Section 223-26 (B.2): The building was in existence on April 20, 1964. The existing use in 1964 was retail at the 1st floor per the 1964 Beacon Directory. The new use is less than 25% greater intensity than the use existing in 1964. 17 parking spaces would have been required in 1964 for the uses in existence at that time. 11 parking spaces are required for the current proposed uses.
- There is no space on the property to provide parking.
- For lots of 8,000 square feet or less, where the provision of on-site parking is infeasible, the Planning Board may waive all parking requirements, provided that the total floor area of the building is no greater than 5,000 square feet.
- Restaurant Hours of operation: 7am - 11pm, Monday through Sunday, inclusive

**Index of Drawings**

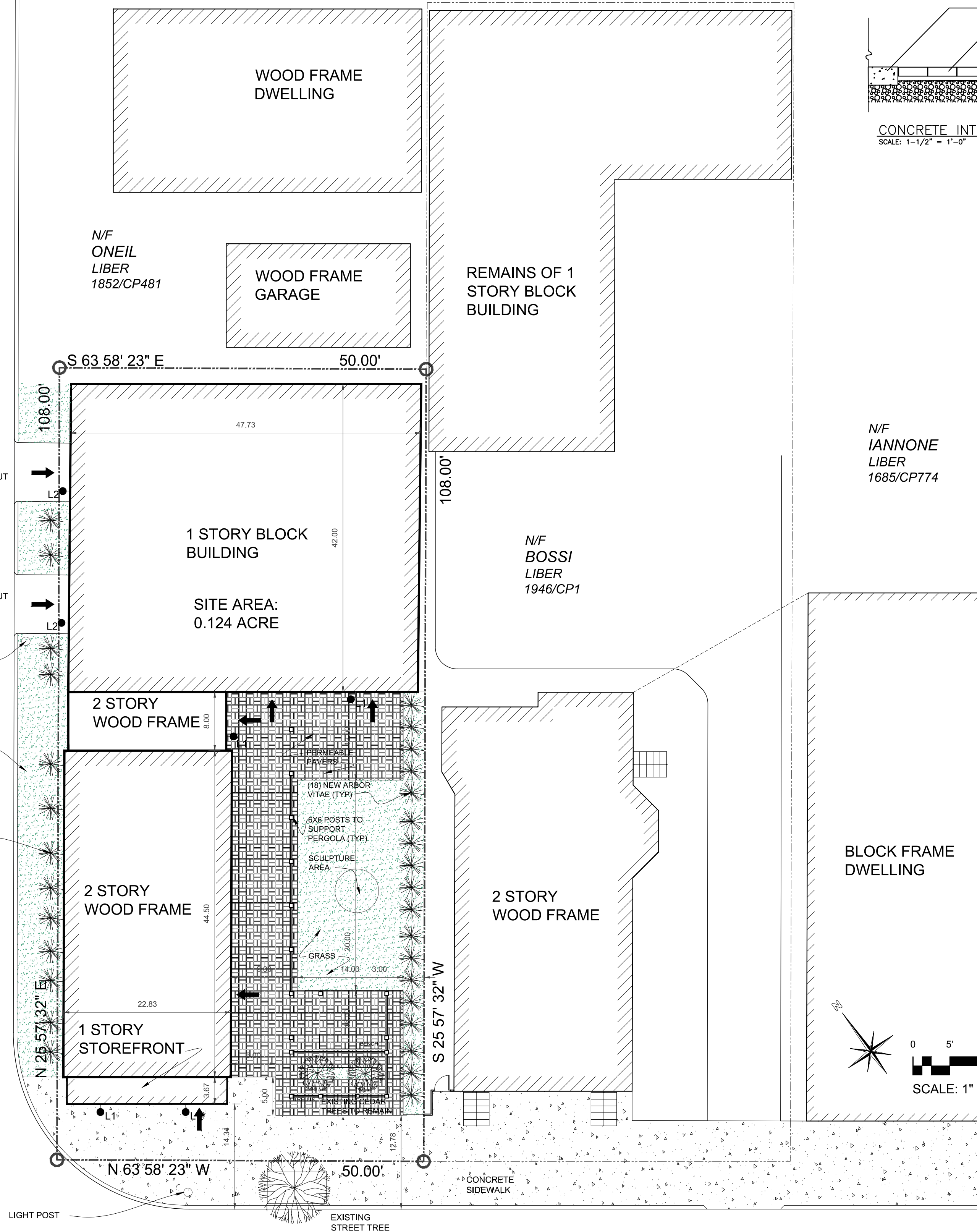
Sheet 1 of 3	Site Plan
Sheet 2 of 3	Existing Conditions & Demolition Plan
Sheet 3 of 3	Plans & Elevations

REVISIONS:

NO.	DATE	DESCRIPTION	BY



**NORTH CEDAR STREET**



**MAIN STREET**

**Site Plan**

Scale: 1" = 10'

**Owner:**  
Field Properties, LLC  
36 Winston Lane  
Garrison, New York 10524

**Applicant:**  
River Valley Restaurant Group  
Beacon, New York 12508

**Architect:**  
Aryeh Siegel, Architect  
84 Mason Circle  
Beacon, New York 12508

**296 Main Street - Ziatun Restaurant**  
Beacon, New York  
Scale: 1" = 20'  
November 27, 2018

**Site Plan Application**  
Sheet 1 of 3 - Site Plan

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



MODERN FORMS "SUSPENSE"  
 OUTDOOR DARK SKY COMPLIANT  
 WALL SCONCE #306563. SIZE:  
 SMALL. BRUSHED ALUMINUM  
 FINISH. 11 WATT (590 LUMENS)  
 120 VOLT INTEGRATED LED. CRI:  
 90 COLOR TEMP: 3000K

**L1: Wall Mounted**

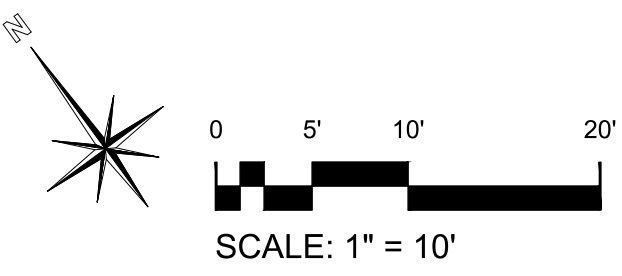
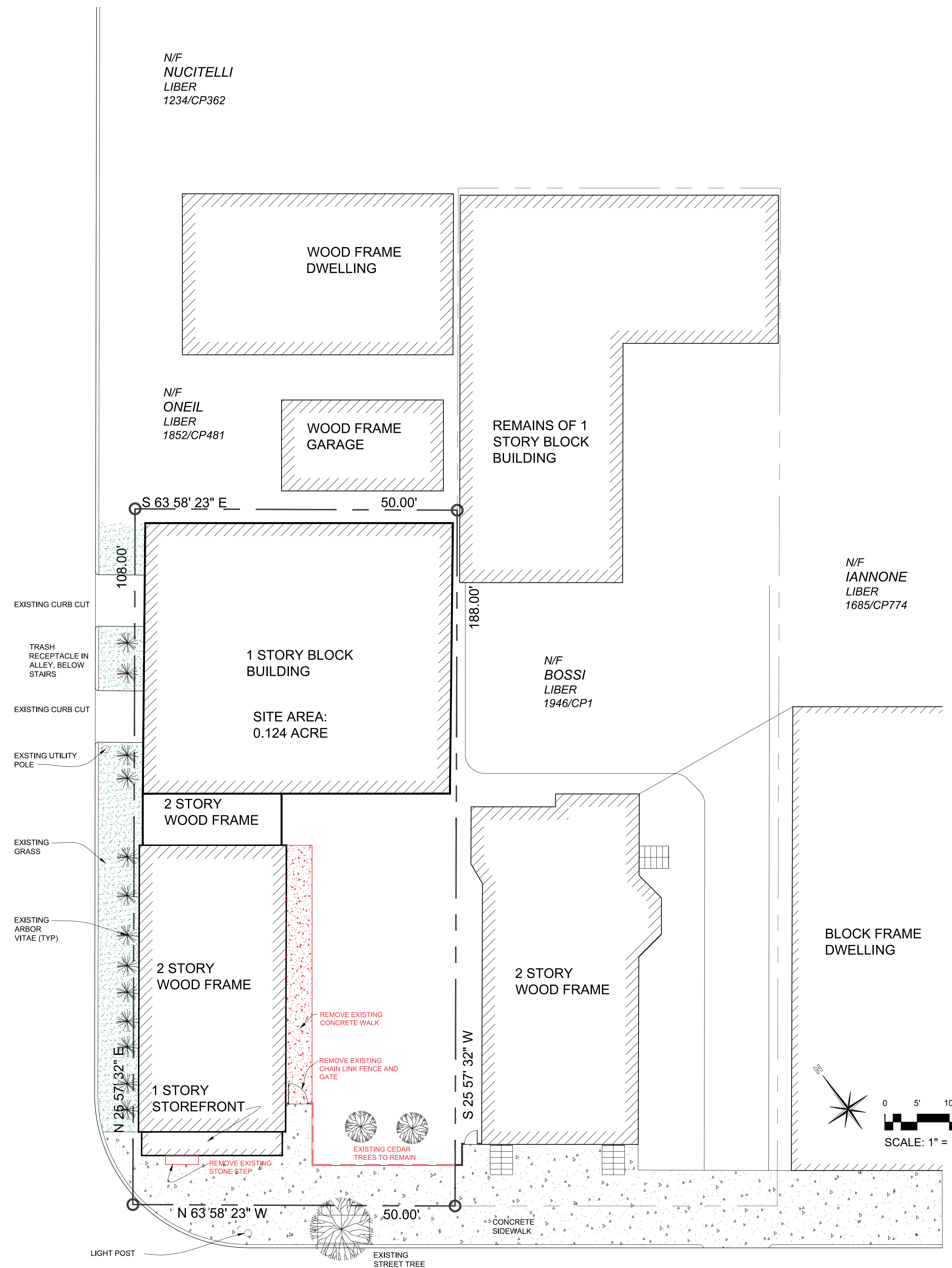
NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY



**L2: Wall Mounted**

HAMPTON BAY  
 "1-LIGHT ZINC OUTDOOR WALL  
 LANTERN" MODEL # HSP1691A  
 60 W INCANDESCENT LAMP OR  
 LED EQUIVALENT - MAX COLOR  
 TEMPERATURE SHALL BE 3000K

NORTH CEDAR STREET



REVISIONS:			
NO.	DATE	DESCRIPTION	BY

**Existing Conditions & Demolition Plan**  
 Scale: 1" = 10'

**Site Plan Application**  
 Sheet 2 of 3 - Existing Conditions / Demolition Plan

Owner:  
**Field Properties, LLC**  
 36 Winston Lane  
 Garrison, New York 10524

Applicant:  
**River Valley Restaurant Group**  
 Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
 84 Mason Circle  
 Beacon, New York 12508

**296 Main Street - Ziatun Restaurant**  
 Beacon, New York  
 Scale: 1" = 20'  
 November 27, 2018

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

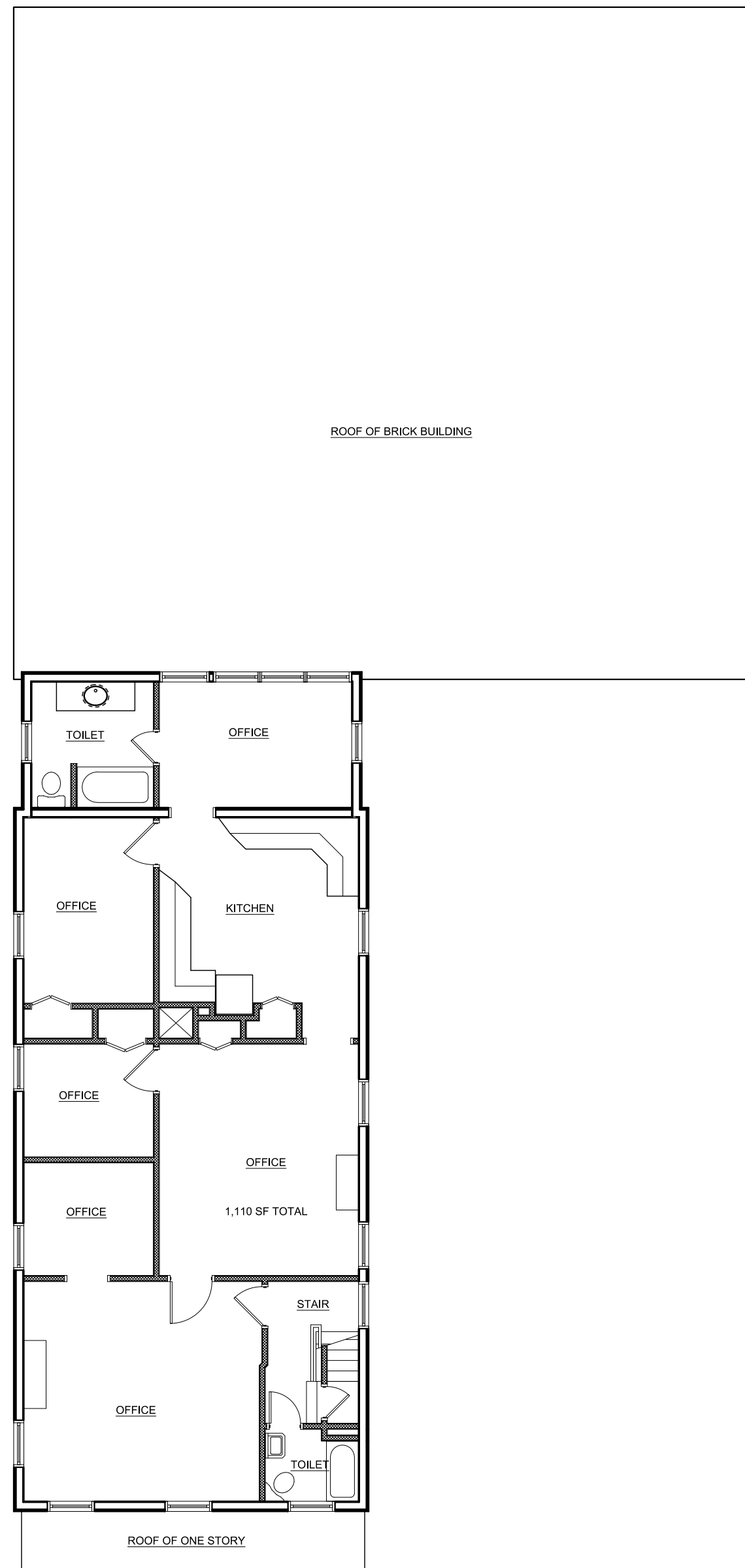
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

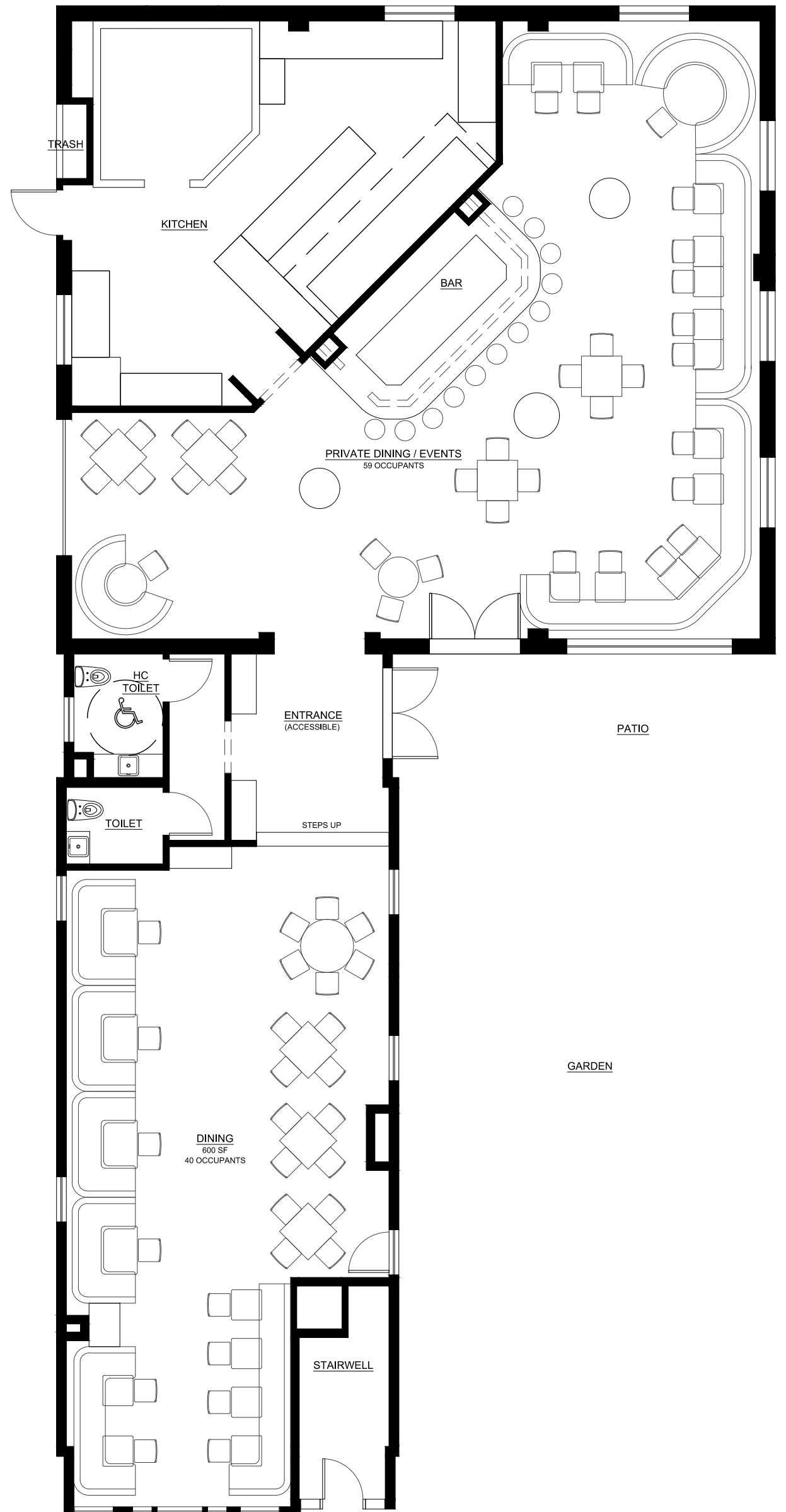
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY



**2nd Floor Plan**

Scale: 1/8" = 1'-0"



**1st Floor Plan**

Scale: 1/8" = 1'-0"



**View 1**



**View 2**

# Site Plan Application

Sheet 3 of 3 - Plans & Elevations

**Owner:**  
**Field Properties, LLC**  
 36 Winston Lane  
 Garrison, New York 10524

**Applicant:**  
**River Valley Restaurant Group**  
 Beacon, New York 12508

**Architect:**  
**Aryeh Siegel, Architect**  
 84 Mason Circle  
 Beacon, New York 12508

**296 Main Street - Ziatun Restaurant**  
 Beacon, New York  
 Scale: 1" = 20'  
 November 27, 2018

**City of Beacon Planning Board  
12/11/2018**

**Title:**

**Zoning Board of Appeals**

**Subject:**

Zoning Board of Appeals – December Agenda

**Background:**

**ATTACHMENTS:**

Description

December ZBA Agenda

Type

Backup Material

***CITY OF BEACON***  
***ONE MUNICIPAL PLAZA - SUITE 1***  
***BEACON, NEW YORK 12508***  
*Phone (845) 838-5002 Fax (845) 838-5026*

The Zoning Board of Appeals will meet on **Tuesday, December 18, 2018** in the Municipal Center courtroom, located at One Municipal Plaza, Beacon, New York. A training work session will take place at 7:00 PM and the regular meeting will begin immediately thereafter, but not later than 7:30 PM.

1. Continue public hearing on application submitted by PIE Developers, 53 Eliza Street, Tax Grid No. 30-6054-29-031870-00, R1-5 Zoning District, seeking relief from Section 223-17(C) for a Use Variance (and possible Area Variance) to allow a 9-unit multi-family development



**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**Review Local Law - Signs**

**Subject:**

City Council request to review proposed Local Law to delete Chapter 183 "Signs" and Amend Chapter 223 Sections 15 & 63 of City Code

**Background:**

**ATTACHMENTS:**

Description	Type
November Draft-Beacon_Signs_Local_Law	Local Law
DCPB_response_signs LL	Cover Memo/Letter

DRAFT LOCAL LAW NO. \_\_\_\_ OF 2018

CITY COUNCIL  
CITY OF BEACON

PROPOSED LOCAL LAW TO  
DELETE CHAPTER 183 AND AMEND  
CHAPTER 223 SECTIONS 15 AND 63 OF THE  
CODE OF THE CITY OF BEACON

A LOCAL LAW to deleted Chapter 183 entitled “Signs” and to amend Chapter 223 Sections 15 and 63 of Code of the City of Beacon, concerning sign regulations in the City of Beacon.

BE IT ENACTED by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 183 of the Code of the City of Beacon entitled “Signs” is hereby deleted in its entirety.

**Section 2.** Chapter 223, Section 63 of the Code of the City of Beacon entitled “Definitions” is hereby amended to add the following definitions:

**SIGN**

Any material, structure or device, or part thereof, composed of lettered or pictorial matter which is located out of doors, or on the exterior of any building, including window signs located within 18 inches of the window surface and intended to be viewed from the exterior of the building, displaying an advertisement, announcement notice or name, and includes sign frames, billboards, signboards, painted wall signs, hanging signs, illuminated signs, fluttering devices or projecting signs, and shall include any declaration, demonstration, display, illustration or insignia used to advertise or promote the interests of any person or business or cause when the same is placed in view of the general public. A sign for the purposes of this section does not include works of art, including murals or other works of art, approved by the Planning Board.

~~Any structure or part thereof, or any device attached thereto or painted thereon, or any material or thing, illuminated or otherwise, which displays or includes any numeral, letter, work, model, banner, emblem, light, device, trademark or other representation used as an announcement, designation, direction, display or advertisement of any person, firm, group, organization, commodity, service, profession or enterprise when placed in such~~

~~manner that it provides visual communication to the general public out of doors, but not including the following:~~

- ~~A. Signs maintained or required to be maintained by law or governmental order.~~
- ~~B. The flag or insignia of any government or governmental agency.~~
- ~~C. The flag of any civic, political, charitable, religious, fraternal or similar organization, which is hung on a flagpole or mast.~~
- ~~D. Religious or other seasonal holiday decorations which do not contain commercial lettering, wording, designs, symbols or other devices.~~

## **SIGN AREA**

Where a sign consists of a single board or face with information on one or both sides, the area which results by including the outside dimensions of such sign, not including the vertical, horizontal or diagonal supports which may affix the sign to the ground or to a structure or building unless such supports are evidently designed to be part of the sign as defined herein. Where a sign consists of several individual faces, the area shall be the total of the area of all such faces which can be observed from any one point. Where the sign consists of individual letters or symbols attached to or painted on any building, window, or part thereof, the area shall be considered to be that of the smallest basic geometric shape (rectangle, triangle or circle) which encompasses all of the letters, symbols and/or any background of a different color than the color of the building.

## **SIGN, AWNING**

Any visual message incorporated in an awning attached to a building. This sign type does not include canopies over gas pumps.

## **SIGN, BANNER**

Any sign constructed of fabric or other flexible material. Flags are not considered banner signs.

## **SIGN, BILLBOARD**

Any sign, other than an exempt sign, which advertises or otherwise directs attention to a business, commodity, service, industry or other activity which is not, or is only incidentally, sold, offered or conducted at the real property at which such sign is located.

## **SIGN, FREESTANDING**

Any sign independent of any building but permanently affixed, by any other means, to the ground.

## **SIGN, LAWN**

Temporary freestanding signs placed or inserted on the ground.

**SIGN, PROJECTING**

Any sign which is attached perpendicular to a building or other structure and extends 12 inches beyond the line of the building or structure or beyond the surface of that portion of the building or structure to which it is attached.

**SIGN, ROOF**

A sign erected on a roof or extending in height above the cornice or projecting eave of the roofline of the building on which the sign is erected.

**SIGN, SANDWICH BOARD**

A two-sided hinged sign, portable in nature and capable of standing without support or attachment. The area of a sandwich board sign shall be the total area of one face of the sandwich board sign.

**SIGN, TEMPORARY**

A banner, poster or advertising display constructed of paper, cloth, canvas, plastic sheet, cardboard, wallboard, plywood or other like materials and that appears to be intended or is determined by the Building Inspector, or his or her designee, to be displayed for a limited period of time of no more than 30 days in a 60 day period.

**SIGN, WALL**

Any painted sign or poster or any surface or place that may be affixed to the front, side or rear walls of any building.

**SIGN, WINDOW**

A type of sign applied onto or attached to the inside or outside of a window or a transparent door or within 18 inches of the window or transparent door surface.

**Section 3.** Chapter 223, Section 15 of the Code of the City of Beacon entitled “Signs” is hereby amended as follows:

§ 223-15 Signs.

A. Purpose. The purpose of this section is to promote and protect the public health, safety and welfare by regulating signs of all types within the City of Beacon. This section is intended to protect property values, create a more attractive economic and business climate, ensure pedestrian and vehicular safety, enhance and protect the physical appearance of the community and preserve the scenic and natural beauty of the City.

B. Objectives. These regulations also serve to achieve the following objectives:

- (1) Ensure right to free speech as protected under the Constitution;
- (2) Protect property values, create a more attractive economic and business climate, and protect the physical appearance of the community;
- (3) Provide structures and uses with effective means of identification while

reducing visual clutter through the prevention of excessive and confusing sign displays;

- (4) Reduce traffic conflicts or hazards by minimizing visual distractions or obstacles in or visible from the public rights-of-way;
- (5) Minimize the adverse effect of signs on nearby public and private property;
- (6) Avoid personal injury and property damage from unsafe or confusing signs; and
- (7) Establish a clear and impartial process for those seeking to install signs.

C. Conformity required. No sign or billboard shall be erected, constructed, displayed, maintained, moved, reconstructed, extended, enlarged or altered, except in conformity with and expressly authorized by the provisions of this chapter.

D. Permit required.

- (1) Unless specifically exempted from obtaining a permit under the provisions of this section, no person shall erect, construct, replace, relocate or structurally alter any sign within the City without first obtaining a sign permit from the Building Inspector and paying the required fee to the City Clerk. The repainting, repairing, changing of parts or sign facing, and maintenance of signs shall not require the issuance of a sign permit provided such maintenance, change or alteration does not in any way alter the size, illumination or location of the sign on the property.
- (2) Submission of a permit application shall be on a form issued by the Building Department and the application fee shall be set forth in the City of Beacon Fee Schedule. The application shall include plans and/or specification of the sign, including the dimensions, materials and details of construction of the proposed sign.
- (3) If a sign is not erected within six months following the issuance of a sign permit for said sign, the sign permit will automatically become void.

~~A. Relationship to a permitted use. All signs must pertain to a use conducted on the same property on which they are located.~~

~~B. Signs in residence districts. In residence districts, the following signs are hereby authorized:~~

- ~~(1) One identification sign stating the name and address of the resident or property or the number of the lot, not exceeding one square foot in area.~~
- ~~(2) One identification sign announcing any profession or occupation permitted as an accessory use on the lot, not exceeding one square foot of area.~~

- ~~(3) For other permitted uses, one sign at each street frontage where the use has an access drive, provided that the total area of such sign does not exceed 50 square feet.~~
- ~~(4) Temporary signs in accordance with Subsection F below.~~
- ~~(5)(1) Interior signs displayed through windows shall not require a permit under this section, and said signs shall not count toward maximum number of signs affixed to a building per establishment. However, interior window signs affixed to or placed so as to be visible through a window shall be limited to the windows of the structure within which the permitted use is situated, facing the principal street giving access to such structure. The total amount of signage shall not exceed 30% of the total glass area. All signs shall be maintained in a legible, neat and orderly fashion.~~

E. Prohibited Signs.

- ~~(1) Signs that contain words or pictures of an obscene or pornographic nature.~~
- ~~(2) Signs that emit audible sounds, odor or visible matter.~~
- ~~(3) Signs placed on a curb, sidewalk, hydrant, utility pole, trees or other objects located on or over any public street, public property or within any public right-of-way, unless otherwise permitted. The City reserves the right to remove any sign placed on public property without notice.~~
- ~~(4) Portable signs, including signs that are mounted on wheels or mounted on any structure on wheels, but not including permitted sandwich board signs.~~
- ~~(5) Signs with mirrors or any other reflective material.~~
- ~~(6) Roof signs.~~
- ~~(7) Billboards.~~
- ~~(8) Signs that are mechanically, digitally or electronically animated.~~
- ~~(9) Inflated signs, wind-animated banners, tethered balloons, and projected images.~~

F. Signs exempt from permit requirements. The following signs are exempt from the permit requirements of this section. Unless otherwise limited below, such exempt sign shall not exceed four feet in height and shall not exceed six square feet in sign area per sign. Each exempt sign must comply with all other provisions of this section.

- ~~(1) Any official sign, public notice, or warning sign prescribed by federal, state or local law, including but not limited to signs erected and maintained pursuant to and in discharge of any government functions. The sign must comply with the~~

- size restrictions set forth herein, unless otherwise prescribed by federal, state or local law.
- (2) Identification signs stating the name and address of the resident or property or the number of the lot, not exceeding two square feet in area.
  - (3) One nonilluminated secondary window signs communicating accessory information such as hours of operation, "in" or "out" signs, and totaling no more than one square foot in size.
  - (4) Temporary nonilluminated window signs in non-residential uses. The total amount of signage shall not exceed 20% of the total window surface area. Temporary window signs shall include signs that identify special events and sales.
  - (5) Nonilluminated signs used for the purpose of selling, renting or leasing land or buildings, and displayed only on the premises for sale or lease. No such signs shall exceed four feet in height or six square feet in area, shall be limited to one per premises, and shall be removed immediately upon sale, rental or lease of the premises. The top of the sign shall be no more than six feet off the ground. The sign shall be placed at least five feet from all property lines and shall not be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.
  - (6) One nonilluminated construction sign not exceeding six square feet in area identifying the parties involved in the design, financing and/or provision of labor and materials associated with the labor on the premises where the sign is located, but not including the advertisement of any product. Such sign shall be removed prior to the issuance of a certificate of occupancy authorizing the initiation of intended use of the premises. The sign shall be placed at least five feet from all property lines and shall not be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.
  - (7) Flags of any nation or state, and seasonal flags shall not require a sign permit. Flags shall not exceed 20 square feet.
  - (8) Historical markers, monuments or signs as approved by local, state or federal authorities.
  - (9) One nameplate or sign not exceeding two square feet for home occupation and home professional offices uses.
  - (10) Lawn signs on any lot without a permit provided that the sign does not exceed three feet in height and three square feet in area. The aggregate area of all lawn signs on any lot shall not exceed 16 square feet. The top of the lawn sign shall be no more than 5 feet off the ground. The lawn sign shall be placed at least five feet from all property lines and shall not be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic

flow. Such signs are to be nonilluminated and shall be displayed for a limited period of time of no more than six months in a twelve month period. Law signs must be removed within seven calendar days after the event for which they are displayed.

- (11) Signs within a building not legible from the public right-of-way or adjacent lots, or any sign within an enclosed outdoor space, such as an athletic field, where such sign is not legible beyond the property lines.

C.G. Sign regulations in ~~residence~~ all districts.

- (1) ~~Animation. No sign shall be mechanically animated, such as moving, rotating or revolving.~~
- (2) Setback. All signs shall be located within the setback lines of the lot or on the building, unless otherwise permitted.
- (3) Repair. All signs and components thereof shall be kept in good repair and in safe, neat, clean and attractive condition.-
- (4) Illumination. Permitted signs may be internally or externally illuminated, unless otherwise prohibited, except by means of a neon-type electric material, provided that such illumination shall not be twinkling, flashing, intermittent, or of changing degrees of intensity or projected outward from the property onto adjacent properties or public rights-of-way ~~and provided that the source of such illumination shall not be visible beyond the boundaries of the lot on which it is located.~~ Notwithstanding the above, neon, ~~LCD-fluorescent~~ and LED signs shall not be permitted for any residential use, but may be permitted in nonresidential districts, unless otherwise prohibited. All illumination shall be focused downward from above, shall create no direct glare and shall light only the sign area.
- (5) Placement. No sign shall be located so as to obscure any signs displayed by a public authority, nor shall any sign be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.
- (6) No sign shall be placed in a location that would cause a violation of the provisions of the Americans with Disabilities Act.

H. Signs for residential uses.

- (1) No sign for a residential use, including exempt signs under § 223-15G, shall be placed above the first floor.
- (2) The aggregate sign area of all signs with permits on any lot shall not exceed 16 square feet.
- (3) A subdivision, apartment or multi-family housing development consisting of



more than 15 dwelling units may display freestanding identification sign at each street entrance to the development, designating only the name of the development, the address and name of the owner and the names of any buildings located therein, provided that the maximum sign area of said sign shall not exceed 24 square feet and shall not be more than six feet in height. The top of the sign shall be no more than eight feet off the ground. Such sign shall maintain at least a five foot setback from all property lines.

D.I. Signs in for nonresidence districts nonresidential uses. In nonresidence districts,  
~~†~~The following signs are hereby permitted for nonresidential uses; authorized:

- (1) Not more than one sign affixed to the outer wall of the structure within which the permitted use is situated, which outer wall faces the principal street giving access to such structure, provided that:
  - ~~(a)~~ (a) The aggregate area of each ~~such~~ sign shall not exceed one square foot for each linear foot of building facing the street.
  - ~~(a)(b)~~ (a)(b) The aggregate area of all signs with permits on any lot shall not exceed two square feet for each linear foot of a building facing the street.
  - ~~(b)(c)~~ (b)(c) No such sign shall exceed two feet in height, except that a  $\Delta$  vertical-projecting wall sign shall not exceed eight feet in height or ten square feet. A vertical projecting wall sign is defined as any sign which is attached to the building wall or structure which is perpendicular to the face of such wall or structure.
  - ~~(c)(d)~~ (c)(d) No sign shall project above the eaves of the building on which it is affixed or, if no eaves exist thereon, the roof, nor shall any wall sign extend more than six inches from the building into any required yard.
  - ~~(d)~~ (d) No sign shall face an abutting residential zoning district if located within 50 feet of such district.
  - ~~(e)~~ (e) Vertical pProjecting wall signs shall not have more than two faces.
  - ~~(f)~~ (f) The exterior edge of a ~~vertical~~ projecting wall sign shall not extend more than ~~five-six~~ feet from the outer wall of the structure ~~or 1/3 the width of the sidewalk, whichever is less.~~
  - ~~(g)~~ (g) No part of a ~~vertical~~ projecting wall sign shall extend into vehicular traffic areas, and any part over pedestrian areas shall have a minimum clearance of seven feet, six inches.
- (2) Not more than one freestanding sign facing each street on which the lot abuts, provided that:

- (a) The building is set back ~~not less than~~ at least 50 feet from the street line, in which case the sign shall not exceed 20 square feet in area.
  - (b) The building is set back ~~not less than~~ at least 100 feet from the street line, in which case the sign shall not exceed 35 square feet in area.
  - (c) ~~No dimension shall exceed 12 feet. The top of the sign shall be no higher than 16 feet off the ground.~~
- ~~(3) Permanent window signs. The total amount of signage shall not exceed 20% of the total window surface area and shall not exceed four feet in height and 16 square feet in area.~~
- ~~(4) Awning signs. One sign for each premise shall be allowed. The area of such sign shall not exceed 20% of the area of the awning.~~
- ~~(5) Sandwich board signs. A single sandwich board sign shall be permitted on any lot provided that such sign does not exceed three feet in height and six feet in area. All sandwich board signs shall be brought in each day at the close of business. Signs shall not be placed in such a way as to obstruct property sight distance or otherwise interfere with pedestrian or traffic flow. A pedestrian clearway of at least six feet shall be maintained in a pedestrian walkway, a pedestrian clearway of at least eight feet shall be maintained whenever possible.~~
- ~~(3)(6) One identification sign, not exceeding 10 square feet in area, to the outer wall of the structure facing upon a street or parking lot not faced by a sign as permitted in Subsection E(1) above.~~
- ~~(4)(7) In addition to other permitted signs, necessary small directional signs are permitted on access roads and parking areas, provided that the area of each sign shall not exceed two square feet.~~
- ~~(5)(8) Interior signs displayed through windows shall not require a permit under this section, and said signs shall not count toward maximum number of signs affixed to a building per establishment. However, interior window signs affixed to or placed so as to be visible through a window shall be limited to the windows of the structure within which the permitted use is situated, facing the principal street giving access to such structure. The total amount of signage shall not exceed 30% of the total glass area. All signs shall be maintained in a legible, neat and orderly fashion.~~
- ~~(6) Temporary signs in accordance with Subsection F below.~~

~~E.J. Signs in the Historic District and Landmark Overlay Zone. All signs in the Historic District and Landmark Overlay Zone shall be approved by the Planning Board pursuant to § 134-6.~~

~~F-K.~~ Temporary signs.

- ~~(1) All signs of a temporary nature must receive permits before being displayed, except those specified in 123-15G. No more than one temporary sign may be permitted per lot or used at any given time.~~
- ~~(2) Requirements. Any proposed temporary sign shall conform to the following:~~
  - ~~(a) Such sign shall not exceed four feet in height and 32 square feet in area for any non-residential use. The top of the lawn sign shall be no more than 16 feet off the ground.~~
  - ~~(b) Such sign shall not exceed four feet in height and 32 square feet in area for any residential use. The top of the lawn sign shall be no more than six feet off the ground.~~
  - ~~(c) Such sign shall not be displayed for more than six months in a twelve month period.~~
  - ~~(d) Such sign shall not be illuminated.~~
  - ~~(e) Such sign shall maintain at least a five foot setback from all property lines.~~
  - ~~(f) Such sign shall be placed in such a way as to not obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.~~
- ~~(3) Banners shall be permitted as temporary signs and shall be subject to the provisions set forth above.~~
- ~~(i.) A temporary sign is a nonilluminated sign that is used in connection with a circumstance, situation or event that is designed, intended or expected to take place or to be completed within a reasonably short or definite period after the erection of such sign, such as signs displayed during campaigns, drives or events of civic, political, philanthropic, educational or religious institutions. If such sign display area is permanent but the message displayed is subject to periodic changes, that sign shall not be regarded as "temporary." Unless otherwise provided in this section, signs shall not be considered temporary if they are effectively displayed on an ongoing basis, interrupted by short intervals when they are not displayed. Temporary signs shall not require a permit under this section, unless located in the public right-of-way or on public property.~~
- ~~(2) Temporary signs must be removed by the individual or organization which posted, or caused to be posted, such temporary signs within seven calendar days after the event for which they are displayed, unless otherwise provided in~~

~~this section.~~

- ~~(3) No temporary sign shall be located so as to obscure any signs displayed by a public authority, nor shall any sign be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.~~
- ~~(4) The following temporary signs shall be permitted in all districts, unless otherwise provided in this section:~~
  - ~~(a) Not more than one temporary sign for each street frontage of the lot, identifying the architect, engineer and/or contractor, and not exceeding 40 square feet in area in nonresidence districts and six square feet in residence districts, shall be permitted during the course of construction only.~~
  - ~~(b) One "for sale" or one "to let" sign not exceeding six square feet in area for a single lot, or 50 square feet in area for a real estate subdivision, and set back at least 15 feet along the frontage of the street upon which the property is located. A "sold" sign shall not be displayed for more than 30 calendar days.~~
  - ~~(c) Signs indicating that a special event such as a grand opening, fair, carnival, circus, festival or similar event is taking place on the lot where the sign is located, not exceeding 40 square feet in area in nonresidence districts and six square feet in residence districts, and limited to one sign for each street frontage of the lot. The sign shall not be posted sooner than two weeks prior to the special event and shall be removed by the individual or organization which posted, or caused to be posted, such sign within three calendar days following the special event.~~
  - ~~(d) Sidewalk signs with no more than two faces, including but not limited to sandwich boards, in nonresidence districts, or in any other district provided the sign is located on Route 52 (Fishkill Avenue and Teller Avenue) or Route 9D (North Avenue and Wolcott Avenue), not exceeding one sign per business and not exceeding two feet in width and three feet in height. Sidewalk signs may be displayed on an ongoing basis, but shall not be displayed between the hours of 11:00 p.m. and 6:00 a.m., shall not include banners, and shall not be tethered. Sidewalk signs shall be located in the front of the business for which the sign is displayed, unless the business is located on a corner lot in which case the sign may be located to the side of the business, or unless the business maintains a rear entrance in which case the sign may be located to the rear of the business.~~
  - ~~(e) Signs for tag, garage or yard sales, not exceeding six square feet.~~
  - ~~(f) Signs conveying a nonpolitical, noncommercial message, not~~

~~exceeding 40 square feet in area in nonresidence districts and six square feet in residence districts and limited to one sign for each street frontage of the lot.~~

~~(g)(a) Political posters, banners, promotional devices and similar political signs.~~

#### ~~G. Sign regulations in nonresidence districts.~~

- ~~(1) Illumination. Permitted signs may be internally or externally illuminated, provided that such illumination shall not be twinkling, flashing, intermittent, of changing degrees of intensity or projected outward from the property onto adjacent properties or public rights-of-way and provided that the source of such illumination shall not be visible beyond the boundaries of the lot on which it is located. Notwithstanding the above, neon, LCD and LED signs may be permitted.~~
- ~~(2) Placement. No sign shall be located so as to obscure any signs displayed by public authority, nor shall any sign be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.~~
- ~~(3) Setback. Unless otherwise specified, all signs shall be located within the setback lines of the lot or on the building.~~
- ~~(4) Repair. All signs and components thereof shall be kept in good repair and in safe, neat, clean and attractive condition.~~
- ~~(5)(1) Animation. No sign shall be mechanically animated, such as moving, rotating or revolving.~~

#### ~~H. Temporary signs in the public right-of-way and on public property.~~

- ~~(1) Permit required. In all districts, no temporary signs shall be erected in the public right-of-way or on public property without a permit, unless specifically exempted below.~~
- ~~(2) Exceptions. The following signs shall not be subject to the issuance of a permit:
  - ~~(a) Public signs erected by or on behalf of a governmental body to post legal notices, identify public property, convey public information, and direct or regulate pedestrian or vehicular traffic.~~
  - ~~(b) Temporary emergency warning signs erected by a governmental body, public utility company or contractor doing authorized or permitted work within the public right-of-way, provided that such signs shall be located outside of the public vehicular and pedestrian travel ways and shall be placed so as not to create any nuisance or threat to public~~~~

~~safety.~~

~~(c) — Bus stops erected by a public transit company.~~

~~(d) — Informational signs of a public utility regarding its poles, lines, pipes or facilities.~~

~~(3) — Permit standards. The Building Inspector or his duly authorized designee shall issue a permit within a reasonable period of time following receipt of a complete permit application for the placement of a temporary sign in the right-of-way or on public property, provided the following conditions are satisfied:~~

~~(a) — Submission of a permit application on a form issued by the Building Department and payment of the application fee as set forth in the City of Beacon Fee Schedule.~~

~~(b) — No sign shall be placed in a location that would cause a violation of the provisions of the Americans with Disabilities Act, as may be amended from time to time.~~

~~(c) — All signs must comply with the provisions of Subsection F, above.~~

~~(d) — No sign shall be located so as to obscure any signs displayed by a public authority, nor shall any sign be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow or means of egress.~~

~~(e) — The necessity of surety bonds and/or insurance shall be determined by the Building Inspector or his duly authorized designee. If it is determined that such surety bond and/or insurance is necessary, the amount of such surety bond and/or insurance shall be determined by the Building Inspector or his duly authorized designee, in his/her sole discretion, as may be necessary to defray any expense of liability from the City. Surety bonds and/or insurance policies shall be approved as to form by the City Attorney.~~

~~(f) — Permits for sidewalk signs shall be valid for one year from the date of issuance and shall not be transferrable.~~

L. Nonconforming signs.

(1) All nonconforming signs for residential uses shall be removed or brought into compliance within three years of the adoption date of this section.

(2) All nonconforming temporary signs shall be removed or brought into compliance within 90 days of the adoption date of this section.

- (3) Any nonconforming sign for a residential use that is removed from its position or siting and not replaced in-kind within 30 days shall be presumed to be abandoned and discontinued and may not be restored or re-erected except in compliance with this section.
- (4) No nonconforming sign may be altered in any way that would increase its nonconformity with the regulations of this section, including but not limited to area, height, setback and illumination.
- (1)(5) Nothing herein shall be deemed to prevent maintaining a nonconforming sign in good repair and safe condition.

F.M. Violations.

- (1) Noncompliance with any of the foregoing provisions shall constitute an offense, punishable as provided for in § 1-3, General penalty. When a person has received written notice from the Building Inspector or has been served with a summons and complaint in an action to enjoin continuance of any violation, each day in excess of 10 days thereafter that he shall continue to be guilty of such violation shall constitute an additional, separate and distinct offense.
- (2) Any temporary sign installed or placed, except in conformance with the requirements of this section, shall be subject to removal. In addition to other remedies hereunder, the City shall have the right to recover from the owner or person placing such sign the full costs of removal and disposal of such signs in accordance with the administrative fee set forth in the City of Beacon Schedule of Fees. The fee shall be paid by the individual or entity retrieving the signs from the City. The City shall dispose of the sign(s) after five calendar days from the removal of the sign(s) by the City.
- (3) The display of any sign at a location containing the name or address of a person or entity and a commercial message relating to such person or address shall be presumptive evidence that such person installed, created, erected and maintained the sign at the location where it was displayed. This presumption shall be subject to rebuttal by competent evidence.

Section 4. Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon Code is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

Section 5. Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or

inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt therefrom.

Section 6. Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

DRAFT



<b>Dutchess County Department of Planning and Development</b>	To	Date <u>11/28</u> #pgs <u>2</u>
	Co./Dept.	From
	Fax #	Phone #
<b>239 Planning/Zoning Referral - Exemption Communities</b>		
Municipality: <b>City of Beacon</b>		
Referring Agency: <b>Municipal Board</b>		
Tax Parcel Numbers(s): <b>5745830000</b>		
Project Name: <b>LL Amend Chapter 223- Signs, Delete Chapter 183</b>		
Applicant: <b>City Council</b>		
Address of Property: <b>Conrall Tracks &amp; River, Beacon, NY 125080000</b>		
<p><b>Actions Requiring 239 Review</b></p> <p><input type="checkbox"/> Comprehensive/Master Plans</p> <p><input checked="" type="checkbox"/> Zoning Amendments (standards, uses, definitions, district regulations, etc.)</p> <p><input type="checkbox"/> Rezoning Involving all map changes</p> <p><input type="checkbox"/> Site Plans (all)</p> <p><input type="checkbox"/> Special Permits for all non-residential uses</p> <p><input type="checkbox"/> Use Variances for all non-residential uses</p> <p><input type="checkbox"/> Area Variances for all non-residential uses</p> <p><input type="checkbox"/> Other Local Laws associated with zoning (wetlands, historic preservation, affordable housing, architectural review, etc.)</p>	<p><b>Exempt Actions:*</b>  <b>239 Review is NOT Required</b></p> <ul style="list-style-type: none"> <li>● Administrative Amendments (fees, procedures, penalties, etc.)</li> <li>● Special Permits for residential uses (accessory apts, home occupations, etc.)</li> <li>● Use Variances for residential uses</li> <li>● Area Variances for residential uses</li> <li>● Renewals/Extension of Site Plans or Special Permits that have no changes from previous approvals</li> <li>● Subdivisions / Lot Line Adjustments</li> <li>● Interpretations</li> </ul> <p><input type="checkbox"/> Exempt Action submitted for Informal review</p>	<p><b>Parcels within 500 feet of:</b></p> <p><input type="checkbox"/> State Road:</p> <p><input type="checkbox"/> County Road:</p> <p><input checked="" type="checkbox"/> State Property (with recreation area or public building)</p> <p><input type="checkbox"/> County Property (with recreation area or public building)</p> <p><input checked="" type="checkbox"/> Municipal Boundary</p> <p><input type="checkbox"/> Farm operation in an Agricultural District</p>
Date Response Requested:		

\*These actions are only exempt in municipalities that signed an Intermunicipal agreement with Dutchess County to that effect.\*

For County Office Use Only

<b>Response From Dutchess County Department of Planning and Development</b>		
<p><b>No Comments:</b></p> <p><input type="checkbox"/> Matter of Local Concern</p> <p><input type="checkbox"/> No Jurisdiction</p> <p><input type="checkbox"/> No Authority</p> <p><input type="checkbox"/> Withdrawn</p> <p><input type="checkbox"/> Incomplete - municipality must resubmit to County</p> <p><input type="checkbox"/> Exempt from 239 Review</p>	<p><b>Comments Attached:</b></p> <p><input checked="" type="checkbox"/> Local Concern with Comments</p> <p><input type="checkbox"/> Conditional</p> <p><input type="checkbox"/> Denial</p> <p><input type="checkbox"/> Incomplete with Comments- municipality must resubmit to County</p> <p><input type="checkbox"/> Informal Comments Only (Action Exempt from 239 Review)</p>	
Date Submitted: <u>11/9/18</u>	Notes:	<input type="checkbox"/> Major Project
Date Received: <u>11/9/18</u>		Referral #: <b>ZR18-366</b>
Date Requested: _____		
Date Required: <u>12/7/18</u>	<input type="checkbox"/> Also mailed hard copy	Reviewer: <u><i>J. [Signature]</i></u>
Date Response Faxed: <u>11/28/18</u>		

MARCUS J. MOLINARO  
COUNTY EXECUTIVE



EOIN WRAFTER, AICP  
COMMISSIONER

**COUNTY OF DUTCHESS**  
DEPARTMENT OF PLANNING AND DEVELOPMENT

November 28, 2018

To: City Council, City of Beacon  
Re: Referral #ZR18-366, LL Amending Chapter 223, Signs and to Delete Chapter 183

The Dutchess County Department of Planning and Development has reviewed the subject referral within the framework of General Municipal Law (Article 12B, §239-l/m).

**ACTION** - The City Council proposes a Local Law to amend Chapter 223 of the City Code to add regulations regarding signs, and to delete current chapter 183 regarding signs.

**COMMENTS –**

Definitions:

1. Should the definition of SIGN, LAWN be amended to say, "Inserted INTO the ground?"
2. Regarding SIGN, TEMPORARY, the Council is proposing that materials such as cardboard, wallboard, and plywood may be used. Without proper protection, these materials can quickly degrade. We encourage the City to ensure that these signs remain in good repair, since temporary signs are proposed to be permitted for up to a 6 month period.

Section E. Prohibited Signs (8) prohibits signs "that are mechanically, digitally or electronically animated." The Council may want to consider amending the definition to include the word "televisions." Under this same section, it is unclear whether digital signs are prohibited, or just animation of digital signs is prohibited.

Regarding freestanding signs, Section I(2)(a) and I(2)(b) establishes maximum size of a freestanding sign based on a building's setback. It is unclear what the rationale is behind the two different size allowances, as presumably, the freestanding sign would sit in approximately the same location, regardless of building location. Permitting larger freestanding signs for buildings setback into the site may encourage more suburban development patterns with front yard parking.

**RECOMMENDATION** - The Department recommends that the Board rely upon its own study of the facts in the case with due consideration of the above comments.

Eoin Wrafter, AICP, Commissioner

By

Jennifer F. Cocozza,  
Deputy Commissioner

**City of Beacon Planning Board**  
**12/11/2018**

**Title:**

**Review Local Law - Amusement Centers**

**Subject:**

City Council request to review proposed Local Law to repeal Chapter 183, Article III, Section 24.8 of the City Code concerning amusement centers

**Background:**

**ATTACHMENTS:**

Description	Type
Ch_223-24.8_Amusement_centers__vintage_amusement	Local Law
DC Planning response_Amusement Centers	Backup Material

**§ 223-24.8. Amusement centers containing only vintage amusement devices. [Added 8-30-2010 by L.L. No. 12-2010]**

A. Standards.

- (1) Such amusement center shall contain only vintage amusement devices that were built prior to the year 1980 or noncomputerized devices with the exception of first generation computerized games such as those manufactured prior to 1990.
- (2) Such amusement center shall only operate between 9:00 a.m. and midnight.
- (3) Such amusement center shall be located in a fully enclosed building with the windows always closed and the door(s) open only during ingress and egress.
- (4) Such amusement center shall be so located and/or so insulated such that, except when the doors are open during ingress and egress, the sound of the amusement devices off the premises of the amusement center:
  - (a) Is not audible to the human ear; or
  - (b) Cannot be measured above the ambient noise level with a sound level meter; or
  - (c) Shall not exceed a reading of 40 A-weighted decibels (dBA) on a sound level meter.
- (5) Such amusement center shall not cause vibration which is discernible off the premises of the amusement center.
- (6) The amusement center building's electrical system shall be such that it can accommodate the electrical load of the amusement devices in accordance with the New York State Building Code.
- (7) Such amusement center shall have an adult supervisor of at least 21 years of age on the premises at all times in which said center is open to the public.
- (8) No person under 18 years of age shall be allowed to operate any amusement device before 3:00 p.m. on any day in which school is in regular session. For the purpose of this section, the term "school" is defined as any public or private institution providing learning facilities for Grades K through

12. Further, no person under 18 years of age shall be allowed to operate any amusement device after 10:00 p.m.

(9) In reviewing and approving each application, the City Council must be able to find, and the Special Permit Resolution shall require:

(a) That the establishment, maintenance or operation of such amusement center will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

(b) That such amusement center will not be injurious to the use and enjoyment of other properties in the vicinity of said center, nor diminish and impair property values within the neighborhood.

(c) That the establishment of such amusement center will not impede the normal orderly development and improvement of the surrounding properties.

(d) That adequate measures will be taken by the operator of such amusement center to maintain the absence of loitering and good order surrounding the location of such amusement center.

(10) The standards above shall be liberally construed and enforced in order to protect the public health, safety, morals, comfort and general welfare.

#### B. Procedures.

(1) Renewal of special permit. The special permit for such amusement center shall be subject to renewal every year by the City Council. Such renewal shall be based upon a written statement from the Building Inspector that said amusement center is in conformity with the terms of its special permit and with the terms of this chapter pertaining to said use, as well as upon any record of complaints from neighbors.

(2) Procedures for the renewal of special permit.

(a) A special permit issued in accordance with the terms of this chapter shall automatically renew each year, subject to:

[1] An inspection and report by the Building Department and report indicating that the amusement center is in conformity with the terms of the special permit and

site plan. Said report shall also include information regarding any record of complaints from neighbors; and

[2] Payment of the appropriate inspection fee as set by the City Council.

- (b) If the Building Inspector issues a report indicating compliance with the terms of this section, the special permit and the site plan, the special permit shall be renewed for a one-year period.
- (c) If the Building Inspector issues a report indicating noncompliance with the terms of this section, the special permit or the site plan, the building owner or manager shall have 60 days to rectify all noncomplying elements and shall reapply for an appointment for inspection with the Building Department subject to an additional inspection fee. If such application for an appointment for an inspection is not received within the specified time, the special permit shall expire and the amusement center shall be terminated. If the Building Department issues a report indicating compliance, the special permit shall be renewed for a one-year period. If upon reinspection the Building Inspector issues a report indicating noncompliance, the amusement center shall be terminated.

**Dutchess County Department of Planning and Development**

FAX INFO ONLY

To: Lisa Edulson  
 To: Jennifer Cocozza  
 Co./Dept.: \_\_\_\_\_  
 From: Lisa Edulson  
 Phone #: 845-898-3010  
 Fax #: 838-5012  
 Date: 11/20/18  
 # pgs: 1  
Jen Cocozza  
466-3600

**239 Planning/Zoning Referral - Standard Form**

Please fill in this section

Municipality: The City of Beacon

Referring Agency:  Planning Board  Zoning Board of Appeals  Municipal Board

Tax Parcel Number(s): \_\_\_\_\_

Project Name: LL concerning amusement centers with only vintage amusement devices

Applicant: City of Beacon

Address of Property: 1 Municipal Plaza Beacon, NY 12508

**Type of Action:**

- Local Law / Text Amendment
- Rezoning
- Site Plan
- Special Permit
- Use Variance
- Area Variance
- Other: \_\_\_\_\_

**Parcels within 500 feet of:**

- State Road \_\_\_\_\_
- County Road \_\_\_\_\_
- State Property (with recreation area or public building)
- County Property (with recreation area or public building)
- Municipal Boundary
- Farm operation in an Agricultural District

REC'D 2018 NOV 20 AM 10:54 DCP

Date Response Requested (if less than 30 days): Public Hearing set for 12/17/18

If subject of a previous referral, please note County referral number(s): \_\_\_\_\_

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**Response from Dutchess County Department of Planning and Development**

**No Comments:**

- Matter of Local Concern
- No Jurisdiction
- No Authority
- Withdrawn

**Comments Attached:**

- Local Concern with Comments
- Conditional
- Denial
- Incomplete — municipality must resubmit to County
- Incomplete with Comments — municipality must resubmit to County

Date Submitted: <u>11/20/18</u>	Notes:	<input type="checkbox"/> Major Project
Date Received: <u>11/20/18</u>		
Date Requested: <u>12/17/18</u>		Referral #: <u>2R18-373</u>
Date Required: <u>12/19/18</u>	<input type="checkbox"/> Also mailed hard copy	Reviewer: <u>Jennifer Cocozza</u>
Date Response Faxed: <u>11/20/18</u>		