

*BEACON PLANNING BOARD*  
*One Municipal Plaza - Courtroom*  
*BEACON, NEW YORK 12508*  
*Phone (845) 838-5002 Fax (845) 838-5026*

The Planning Board will meet on **Tuesday, June 12, 2018** in the Municipal Center Courtroom. A work session will take place at 7:00 PM for a training workshop, discussion of agenda items and/or topics of interest to the Planning Board. The regular meeting will begin immediately thereafter, but not later than 7:30 p.m.

• **Regular Meeting**

1. 25 Townsend Avenue  
Continue public hearing on the application for Subdivision Approval, 13-lot residential, 25 Townsend Street, submitted by AK Property Holding, LLC
2. St. Luke's Church / Hudson Hills Academy  
Public hearing for SEQRA Environmental Review on applications for Subdivision Approval, Site Plan Approval, and Special Use Permit Approval, private school (Hudson Hills Academy), 850 Wolcott Avenue, submitted by St. Luke's Episcopal Church
3. Ferry Landing @ Beacon - Beekman Street  
Public hearing for SEQRA Environmental Review on application for Site Plan Approval, 6 Unit Residential "Ferry Landing at Beacon", Beekman Street, submitted by Ferry Landing at Beacon, Ltd.
4. 208 Main Street  
Public hearing for SEQRA Environmental Review on application for Site Plan Approval, Retail/Residential, 208 Main Street, submitted by 206-208 Main Street, LLC
5. 38 St. Luke's Place  
Public hearing for SEQRA Environmental Review on application for Subdivision Approval, three-lot residential, 38 St. Luke's Place, submitted by Beacon 226 Main Street, LLC
6. 31 Mountain Lane  
Public hearing for SEQRA Environmental Review on application for Subdivision Approval, two-lot residential, 31 Mountain Lane, submitted by Penelope Hedges (*no new plans submitted*)
7. Edgewater  
Continue review of application for Site Plan Approval, 7 residential buildings "Edgewater" submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place
8. 21 South Avenue  
Review application for Special Use Permit and Site Plan Approval, three-unit residential, 21 South Avenue, submitted by Protestant Episcopal Diocese of New York

• **Miscellaneous Business**

1. Zoning Board of Appeals  
Zoning Board of Appeals – June Agenda
2. West End Lofts  
Review of West End Lofts retaining wall
3. Review Proposed Amendment Lot Line Adjustments  
City Council Request to Review Proposed Amendment to Chapter 195 concerning Lot Line Adjustments
4. Review Proposed Local Law Small Cell Wireless Facilities  
City Council Request to Review Proposed Local Law to create Section 223-26.4 concerning Small Cell Wireless Facilities

• **Architectural Review**

1. 213 Main Street  
Certificate of Appropriateness – 213 Main Street



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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May 29, 2018

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 25 Townsend Street Subdivision  
Tax ID 6055-03-383149 (±5.0 acres)  
City of Beacon, New York

Dear Chairman Gunn and Members of the Planning Board:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has enclosed five (5) revised plan sets (8 sheets) and one (1) electronic version of the plans (along with this response letter) based on comments received from the Planning Board and its consultants. We offer the following responses to each comment from your consultants:

**Lanc & Tully letter dated April 5, 2018**

1. A final SWPPP will be included with the final submission.
2. The soil test results are now indicated on the plans and will be made part of the final SWPPP.
3. Comment noted – we are in the process of pursuing Health Department approval.
4. The client's attorney will work with the City's attorney regarding all required legal agreements related to the project.
5. All metes and bounds information will be provided on the final subdivision plat.
6. The client's attorney will work with the City's attorney regarding all required legal agreements related to the project.
7. The size of the existing watermain and the pipe material is indicated on the plans.
8. Handicap ramps are now indicated at the locations where the sidewalk is proposed to cross the road.
9. Instead of enlarging the right-of-way around the exterior of the cul-de-sac, the sidewalk was revised in this location so that it is wholly within the right-of-way. We believe this is sufficient since there will be an island and a 50' right-of-way access easement for snow removal.
10. Assuming the Board and all consultants are satisfied with this version of the lot layouts and house locations, the LSE for each home will be provided with the final submission.

11. We are assuming that a wet tap will be required for connection to the existing water main in Townsend, and we have noted on the plans that the connection is to be coordinated with the City Engineer and Water Department.
12. We do not anticipate that the existing hydrant will need to be disconnected as part of the project.
13. The alignment line is now shown on the utility plan.
14. Landscaping of the proposed island and along the road is now shown, along with quantities of the proposed species.
15. If the Board and consultants are satisfied with the revisions to the sidewalk shown around the cul-de-sac, we will provide two different details for both sidewalk cases.
16. The requested details have been added to the plans.
17. The temporary sediment basin has been shifted further to the south as requested.
18. A "Painted Crosswalk Detail" has been added to the plans.

**John Clarke Planning and Design Memo dated April 5, 2018**

1. Comment noted – see responses below:
  - All metes and bounds information will be provided on the final subdivision plat. All proposed setback dimensions are depicted for each lot.
  - A low maintenance landscaping plan is now specified for the central island.
  - Street lighting is now indicated on the plan.
2. All existing major trees to be removed are now indicated on Sheet 1.
3. All lot widths meet the minimum requirement of 75'.

We look forward to continue discussing the design details of the proposed subdivision. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Jon D. Bodendorf, P.E.  
Principal

cc: Alla Bares  
Taylor M. Palmer, Esq.  
Michael A. Bodendorf, P.E. (HLD File)

PROJECT INFORMATION:	
PARCEL OWNER:	AK PROPERTY HOLDING LLC, 730 COLUMBUS AVE - APT 3D NY, NY 10025
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	25 TOWNSEND STREET, BEACON NY
TAX PARCEL ID:	6055-03-383149
PARCEL AREA:	±5.0-ACRES
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

**MAP REFERENCES:**

- EXISTING FEATURES AS SHOWN ON THIS PLAN PER MAP ENTITLED "SURVEY OF PROPERTY PREPARED FOR ALLA BARES", DATED 7-7-15, AND PREPARED BY THOMAS E. CERCHIARA, L.S.
- OFF-SITE 5' CONTOURS AND ROAD EDGE DATA PER AVAILABLE GIS DATA.

**DEMOLITION NOTE:**

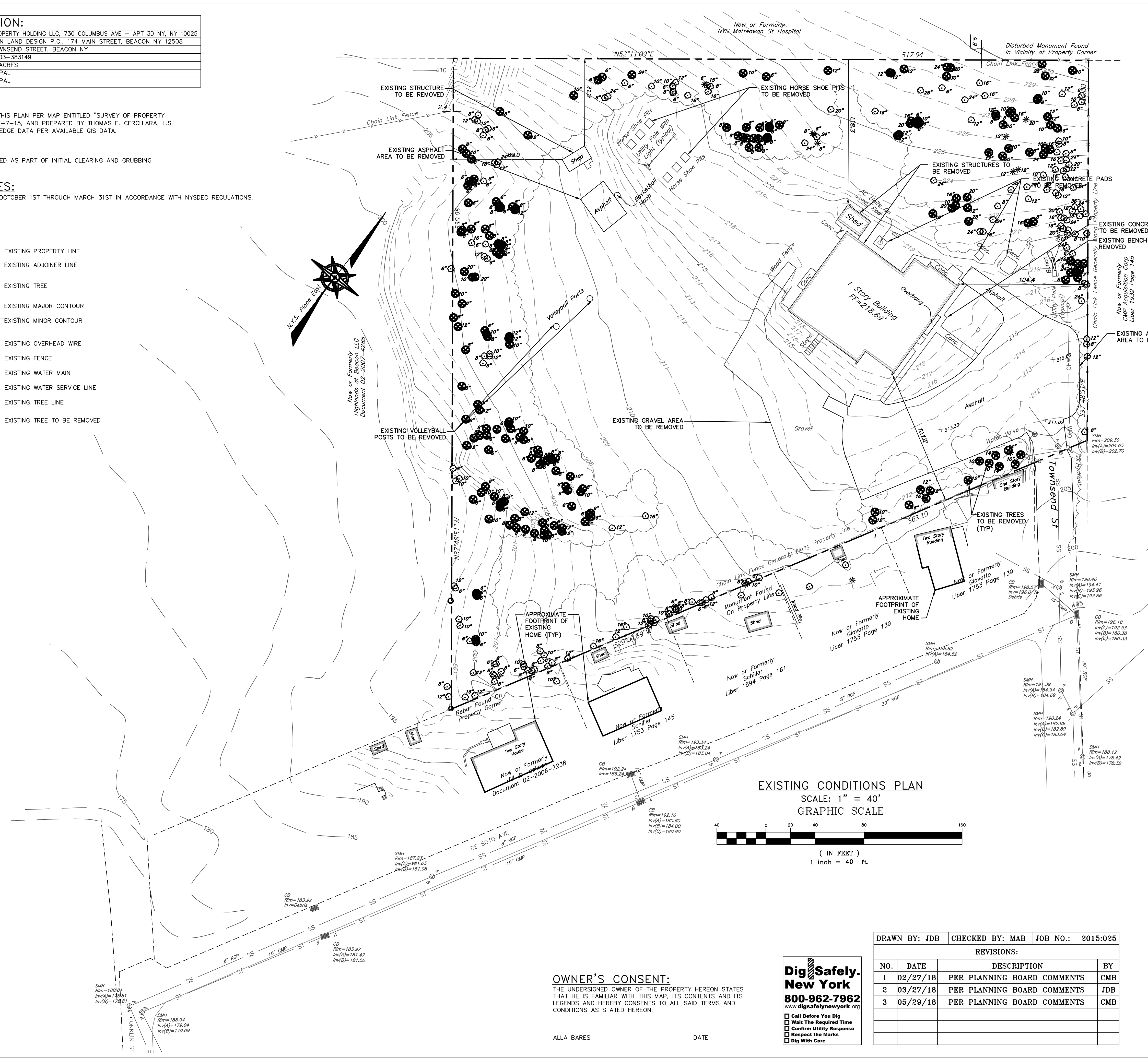
- EXISTING STRUCTURES TO BE REMOVED AS PART OF INITIAL CLEARING AND GRUBBING ACTIVITIES.

**SITE CLEARING NOTES:**

- SITE SHALL OCCUR BETWEEN OCTOBER 1ST THROUGH MARCH 31ST IN ACCORDANCE WITH NYSDEC REGULATIONS.

**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING ADJOINER LINE
- EXISTING TREE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING OVERHEAD WIRE
- EXISTING FENCE
- EXISTING WATER MAIN
- EXISTING WATER SERVICE LINE
- EXISTING TREE LINE
- EXISTING TREE TO BE REMOVED



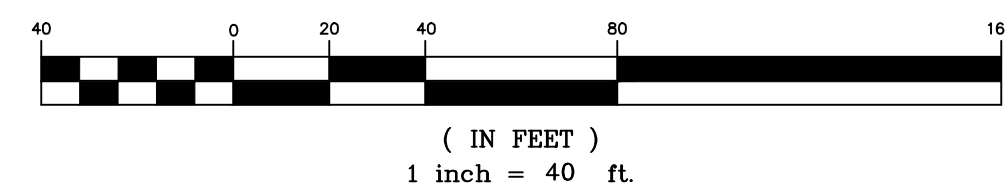
**SITE LOCATION MAP** SCALE: 1" = 400'

**ADJOINING OWNERS:**

PARCEL	OWNER & MAILING ADDRESS
1:	NYS MATTEAWAN HOSPITAL, 36 DEER RUN, BEACON NY 12508
2:	CMP ACQUISITION CORP, 483 FISHKILL AVE, BEACON NY 12508
3:	NUNZIO GIAVATTO, 19 TOWNSEND STREET, BEACON NY 12508
4:	NUNZIO GIAVATTO, 19 TOWNSEND STREET, BEACON NY 12508
5:	DONALD & GIOVANNA SCHILLER, 35 DESOTO AVENUE, BEACON NY 12508
6:	DONALD & GIOVANNA SCHILLER, 35 DESOTO AVENUE, BEACON NY 12508
7:	CHRISTOPHER HILL & CHRISTINE JACKSON, 23 DESOTO AVENUE, BEACON NY 12508
8:	HIGHLANDS AT BEACON LLC, 2847 CHURCH STREET, PINE PLAINS NY 12567

- REVISION NOTES:**
- THIS PLAN SET HAS BEEN SUBMITTED TO THE PLANNING BOARD ON NOVEMBER 19, 2015 AND HAS BEEN REVISED ON MAY 31, 2016; MARCH 28, 2017; APRIL 24, 2017; JULY 25, 2017; AUGUST 29, 2017; NOVEMBER 28, 2017; AND FEBRUARY 27, 2018. IT IS NOTED ON THE PLANS AS REVISION DATE 1.

**EXISTING CONDITIONS PLAN**  
SCALE: 1" = 40'  
GRAPHIC SCALE



**OWNER'S CONSENT:**  
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES \_\_\_\_\_ DATE \_\_\_\_\_

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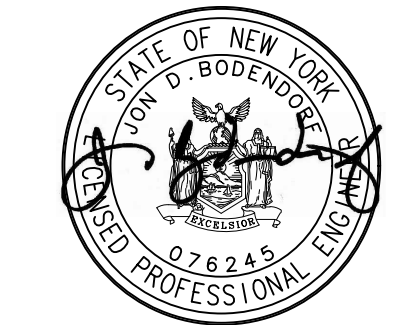
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- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

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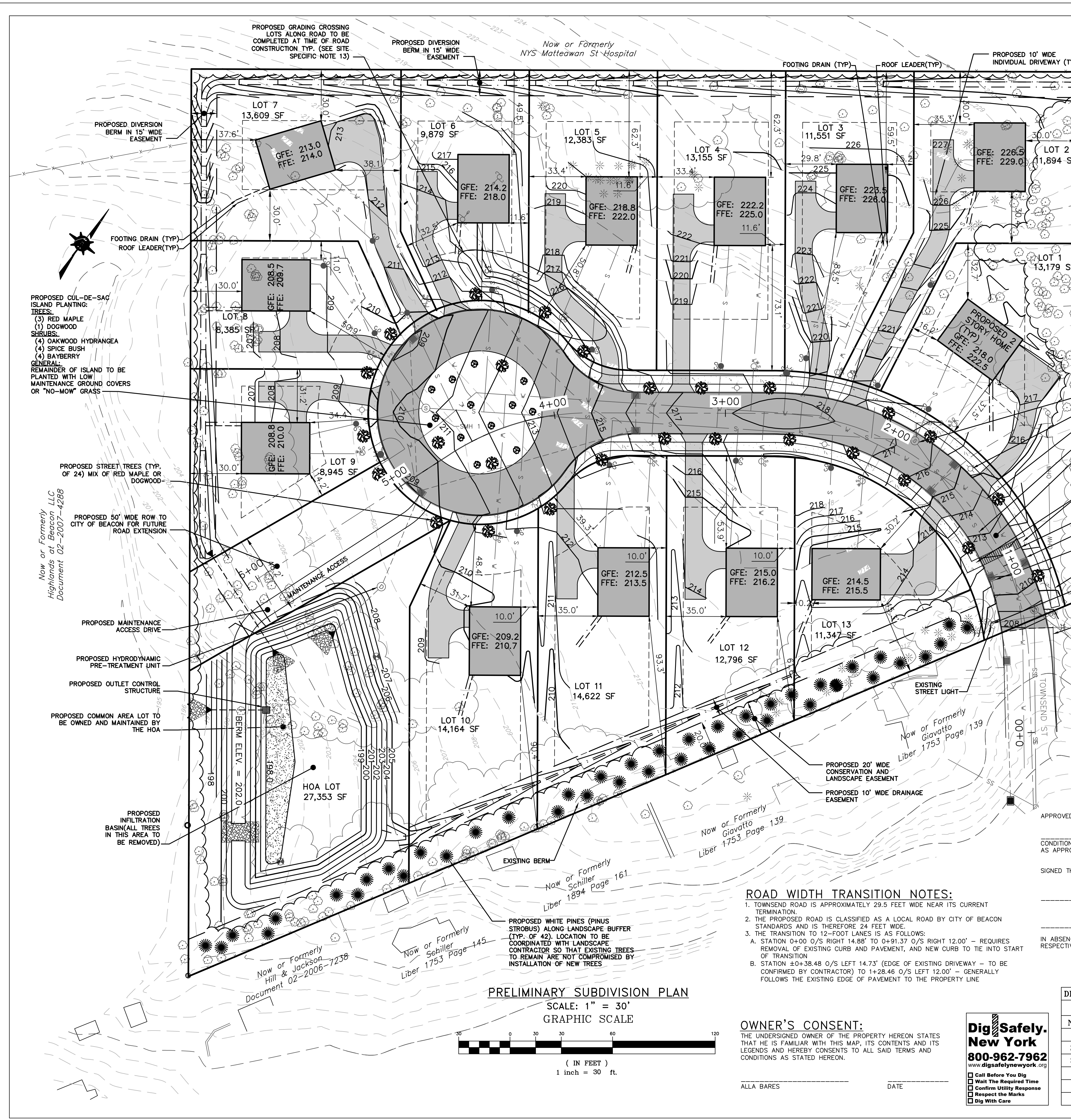
**EXISTING CONDITIONS AND DEMO PLAN**  
**25 TOWNSEND STREET**

25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-03-383149  
SCALE: 1" = 40'  
NOVEMBER 19, 2015

**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716



- SITE SPECIFIC NOTES:**
1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
  2. THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
  3. THE PROPOSED LOTS SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
  4. THE WATER SERVICE LINES AND METERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
  5. THE WATER SERVICE LINES SHALL BE 1" K-COPPER.
  6. THE SEWER SERVICE LINES SHALL BE 4" SDR 35 PVC PIPE WITH FITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/2" PER FOOT SHALL BE MAINTAINED).
  7. A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE EXTENSION OF THE PROPOSED WATER AND SEWER MAINS TO SERVICE THE NEW LOTS. STREET CLOSURE FOR WATER AND SEWER CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
  8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
  9. ROOF LEADER AND FOOTING DRAIN CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 0.5% MIN.
  10. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, IF NECESSARY, THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
  11. A HOMEOWNER'S ASSOCIATION (HOA) WILL BE FORMED AND WILL OWN AND MAINTAIN THE HOA LOT, INCLUDING THE STORMWATER MANAGEMENT FACILITY AND ALL PIPES, SWALES AND STRUCTURES THAT CONVEY STORMWATER THROUGH THE SITE.
  12. THE HOA WILL BE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF THE PLANTED ISLAND WITHIN THE CUL-DE-SAC.
  13. ALL LOT CROSS GRADING SHALL BE COMPLETED AT THE TIME OF ROAD CONSTRUCTION, AND PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

- GENERAL CONSTRUCTION NOTES:**
1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
  2. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962.
  3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
  4. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATERTIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

- POST CONSTRUCTION NOTES:**
1. UPON COMPLETION OF CONSTRUCTION OF THE STORMWATER FACILITIES, AS-BUILT DRAWINGS OF ALL STORMWATER PRACTICES AND AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON.

**SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6
LOT AREA:	7,500 SQUARE FEET MIN	13,179 SF	11,894 SF	11,551 SF	13,155 SF	12,383 SF	9,879 SF
LOT WIDTH:	75 FEET MINIMUM	103 FT	96 FT	75 FT	75 FT	75 FT	75 FT
LOT DEPTH:	100 FEET MINIMUM	131 FT	100 FT	179 FT	175 FT	170 FT	135 FT
YARD SETBACKS (RESIDENTIAL USE):							
FRONT YARD:	30 FEET MINIMUM	37 FT	30 FT	75 FT	73 FT	50 FT	34 FT
SIDE YARD:	*10 FEET MINIMUM	16 FT	30 FT	10 FT	12 FT	12 FT	12 FT
REAR YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	47 FT	65 FT	39 FT	45 FT	45 FT	45 FT
REAR YARD:	*30 FEET MINIMUM	32 FT	30 FT	62 FT	62 FT	62 FT	62 FT
BUILDING COVERAGE:	MAX 30%	9%	11%	10%	9%	9.6%	12%
DWELLING UNITS PER LOT:	MAX 1	1	1	1	1	1	1

PARAMETER	REQUIREMENT	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13
LOT AREA:	7,500 SQUARE FEET MIN	13,609 SF	8,385 SF	8,945 SF	14,164 SF	14,622 SF	12,796 SF	11,347 SF
LOT WIDTH:	75 FEET MINIMUM	104 FT	75 FT	83 FT	104 FT	75 FT	75 FT	100 FT
LOT DEPTH:	100 FEET MINIMUM	122 FT	123 FT	104 FT	195 FT	200 FT	170 FT	144 FT
YARD SETBACKS (RESIDENTIAL USE):								
FRONT YARD:	30 FEET MINIMUM	38 FT	50 FT	35 FT	46 FT	40 FT	54 FT	30 FT
SIDE YARD:	*10 FEET MINIMUM	30 FT	11 FT	10 FT	10 FT	10 FT	10 FT	10 FT
REAR YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	60 FT	45 FT	41 FT	45 FT	45 FT	45 FT	40 FT
REAR YARD:	*30 FEET MINIMUM	37 FT	30 FT	30 FT	93 FT	91 FT	61 FT	45 FT
BUILDING COVERAGE:	MAX 30%	8.8%	14%	13.4%	8.4%	8%	9%	10.5%
DWELLING UNITS PER LOT:	MAX 1	1	1	1	1	1	1	1

\* 5' MINIMUM FOR ACCESSORY BUILDINGS

**LEGEND**

--- 30 ---	EXISTING PROPERTY LINE	--- 30 ---	PROPOSED MAJOR CONTOUR
--- 28 ---	PROPOSED PROPERTY LINE	--- 28 ---	PROPOSED MINOR CONTOUR
---	EXISTING ADJOINER LINE	---	PROPOSED SEWER MAIN
○	EXISTING TREE	○	PROPOSED SILT FENCE
---	EXISTING MAJOR CONTOUR	---	EXISTING OVERHEAD WIRE
---	EXISTING MINOR CONTOUR	---	EXISTING FENCE
---	EXISTING WATER MAIN	---	EXISTING DRAINAGE LINE
WS	EXISTING WATER SERVICE LINE	⊙	PROPOSED HYDRANT
---	PROPOSED WATER MAIN	⊙	PROPOSED SEWER MANHOLE
---	PROPOSED WATER SHUT-OFF VALVE	⊙	PROPOSED CATCH BASIN
---	PROPOSED ROOF LEADER	⊙	PROPOSED STREET TREE
---	PROPOSED FOOTING DRAIN	⊙	PROPOSED EVERGREEN
---		⊙	PROPOSED STREET LIGHT

**ROAD WIDTH TRANSITION NOTES:**

1. TOWNSEND ROAD IS APPROXIMATELY 29.5 FEET WIDE NEAR ITS CURRENT TERMINATION.
2. THE PROPOSED ROAD IS CLASSIFIED AS A LOCAL ROAD BY CITY OF BEACON STANDARDS AND IS THEREFORE 24 FEET WIDE.
3. THE TRANSITION TO 12-FOOT LANES IS AS FOLLOWS:
  - A. STATION 0+00 O/S RIGHT 14.88' TO 0+91.37 O/S RIGHT 12.00' - REQUIRES REMOVAL OF EXISTING CURB AND PAVEMENT, AND NEW CURB TO TIE INTO START OF TRANSITION
  - B. STATION ±0+38.48 O/S LEFT 14.73' (EDGE OF EXISTING DRIVEWAY - TO BE CONFIRMED BY CONTRACTOR) TO ±0+28.46 O/S LEFT 12.00' - GENERALLY FOLLOWS THE EXISTING EDGE OF PAVEMENT TO THE PROPERTY LINE

**OWNER'S CONSENT:**  
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES \_\_\_\_\_ DATE \_\_\_\_\_

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**DRAWN BY: JDB CHECKED BY: MAB JOB NO.: 2015-025**

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB
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3	05/29/18	PER PLANNING BOARD COMMENTS	AG

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

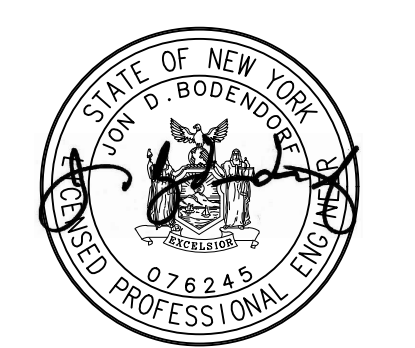
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**PRELIMINARY SUBDIVISION PLAN**  
**25 TOWNSEND STREET**

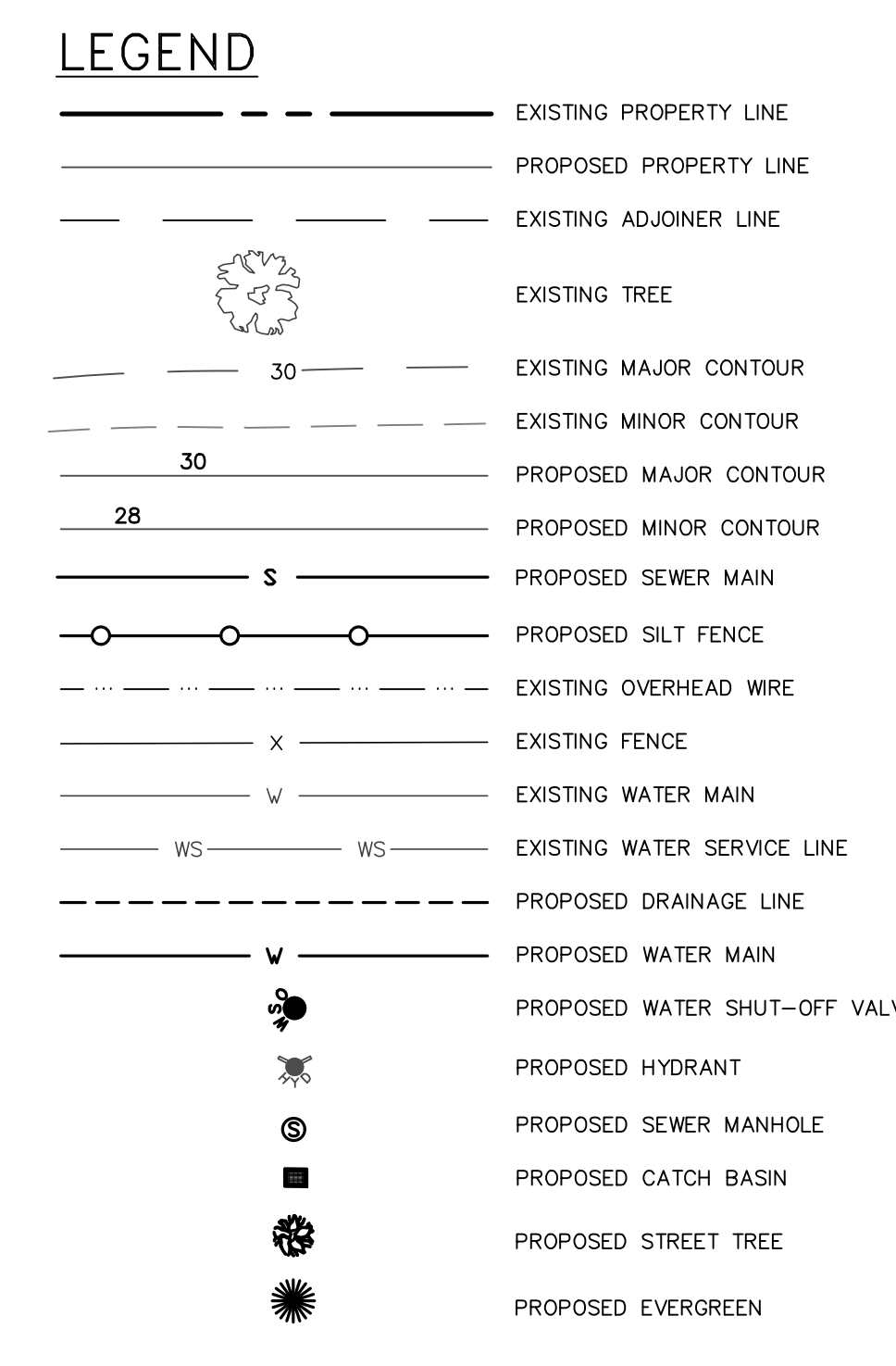
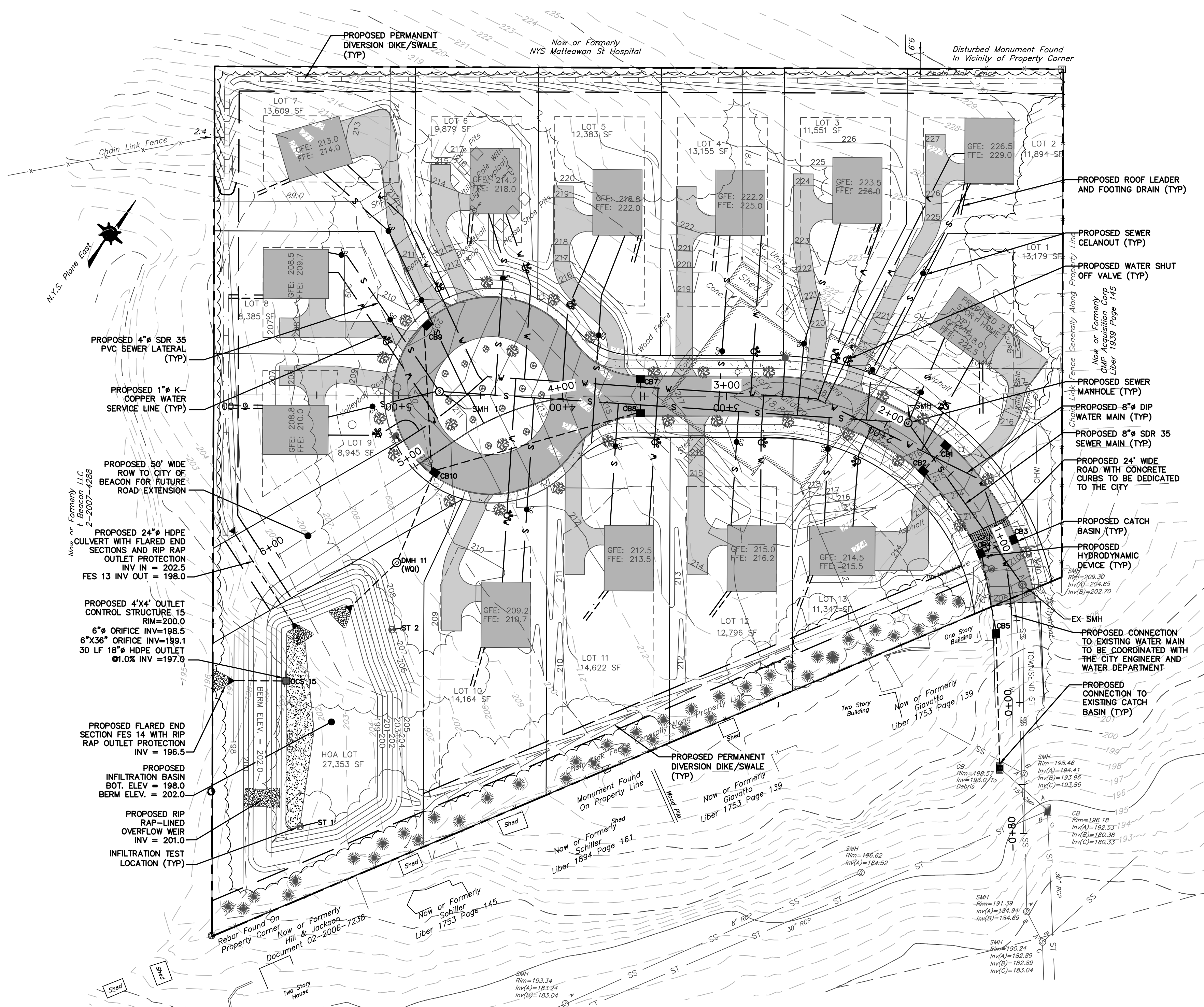
25 TOWNSEND STREET  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6055-03-383149  
 SCALE: 1" = 30'  
 DECEMBER 7, 2015



**HUDSON LAND DESIGN**  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN STREET  
 BEACON, NEW YORK 12508  
 PH: 845-440-6926 F: 845-440-6637



SEAL  
 JON D. BODENDORF, P.E.  
 NYS LICENSE NO. 076245  
 DANIEL G. KOHLER, P.E.  
 NYS LICENSE NO. 082716



**INFILTRATION TEST TABLE:**  
INFILTRATION TESTS RESULTS ESTABLISHED ON 8/26/2017

ST1: 84" DEEP: 4.0 INCHES/HOUR, 3.0 INCHES/HOUR, 1.5 INCHES/HOUR
ST2: 84" DEEP: 1.5 INCHES/HOUR, 1.0 INCHES/HOUR, 1.0 INCHES/HOUR

**DEEP TEST HOLE TABLE:**  
DEEP TEST HOLE RESULTS ESTABLISHED ON 8/26/17

TP1: 0"-8" TOPSOIL, 8"-75" GRAVELLY CLAY LOAM, 75"-96" HARDPAN; NO ROCK, NO GROUNDWATER, NO MOTTLING
TP2: 0"-8" TOPSOIL, 8"-85" GRAVELLY CLAY LOAM; 85"-96" HARDPAN NO ROCK, NO GROUNDWATER, NO MOTTLING

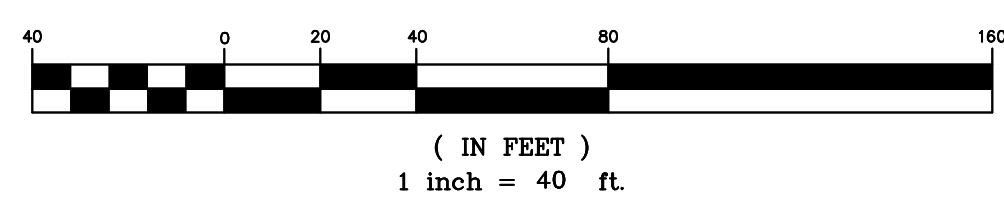
**INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES**

**CATCH BASINS AND PIPING:**  
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

**HYDRODYNAMIC DEVICES:**  
THE VORTEX UNITS SHALL BE INSPECTED QUARTERLY DURING THE FIRST YEAR OF OPERATION. THE MANUFACTURER RECOMMENDS THAT THE CDS UNITS BE INSPECTED BI-ANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL). THE STRUCTURE SHALL BE VISUALLY INSPECTED FOR BLOCKAGES OR OBSTRUCTIONS IN THE INLET OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO QUANTIFY ACCUMULATION OF HYDROCARBONS, SEDIMENT AND TRASH WITHIN THE SYSTEM. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK ONCE A YEAR (EXCEPT FOR THE FIRST YEAR WHERE MORE FREQUENT CLEANINGS MAY BE REQUIRED).

**INFILTRATION BASIN:**  
THE INFILTRATION BASIN SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED FOR SEDIMENT AND DEBRIS MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY. PLANTINGS SHALL BE INSPECTED MONTHLY FOR HEIGHT, FERTILIZER, QUANTITY AND UNAUTHORIZED INVASIVE OR INAPPROPRIATE SPECIES. AFTER STORM EVENTS, THE INFILTRATION BASIN DEWATERING DURATION SHOULD ALSO BE MONITORED. THE BASIN FLOOR SHALL BE MOWED AS REQUIRED; HOWEVER, THE GRASS HEIGHT SHALL NOT EXCEED 18". SEDIMENT SHALL BE CLEANED OUT OF THE INFILTRATION BASIN ANNUALLY.

**UTILITY PLAN**  
SCALE: 1" = 40'  
GRAPHIC SCALE



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SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

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**UTILITY PLAN**  
**25 TOWNSEND STREET**

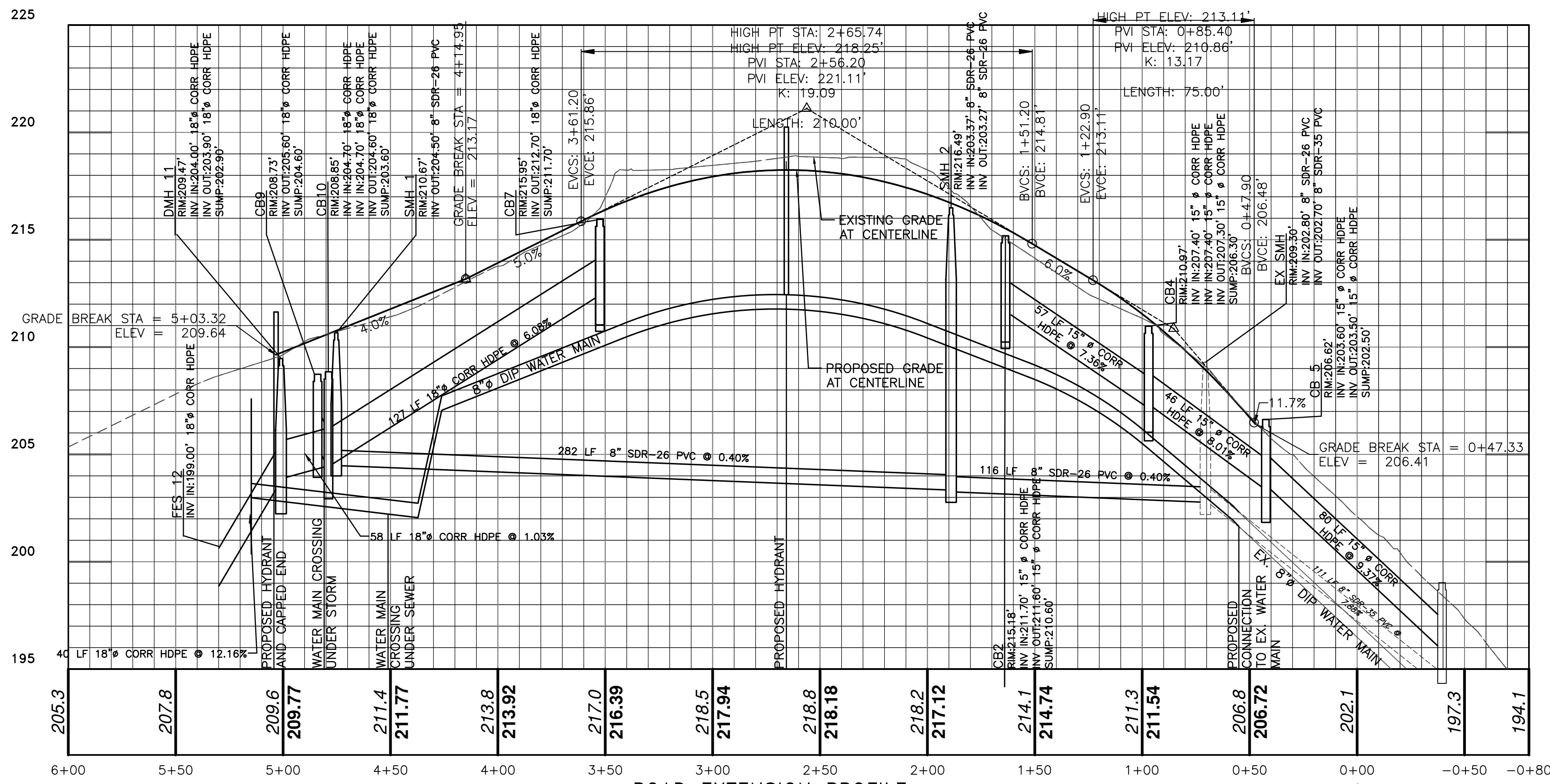
25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-03-383149  
SCALE: 1" = 40'  
DECEMBER 7, 2015

**HUDSON LAND DESIGN**

HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOHLER, P.E.  
NYS LICENSE NO. 082716



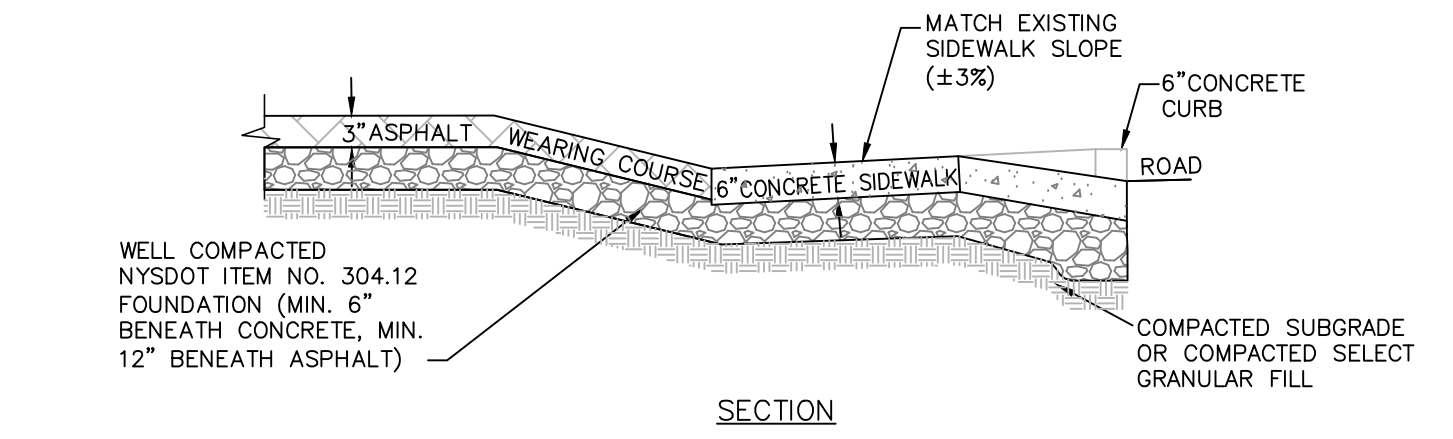
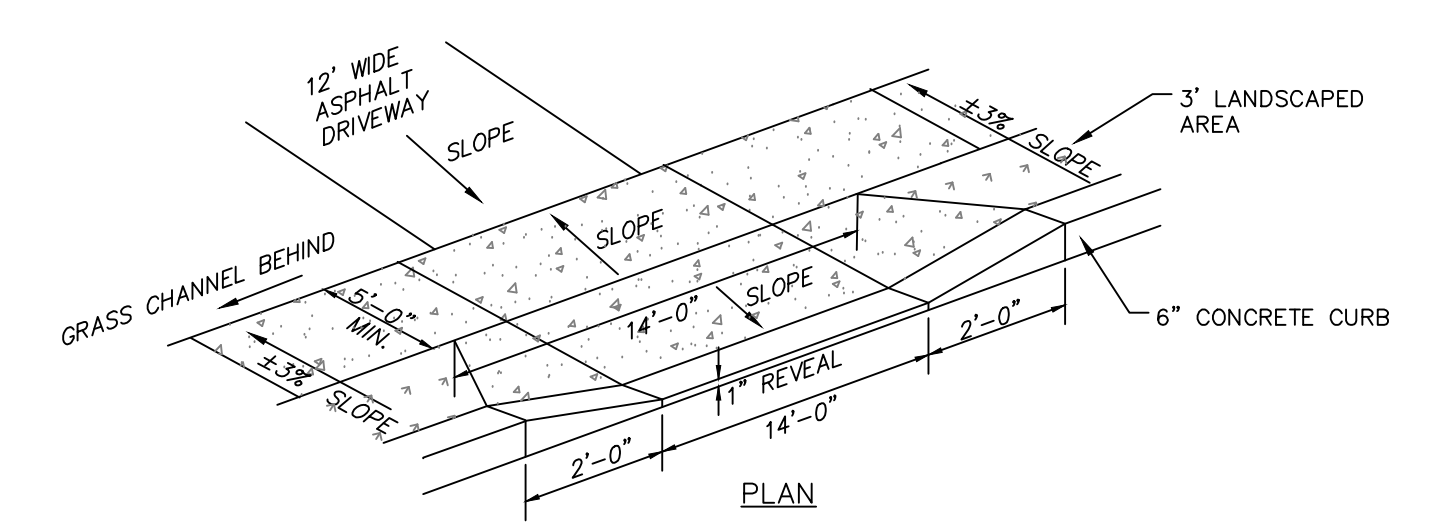
STRUCTURE	STRUCTURE DETAILS
CB 5	RIM = 206.62 SUMP = 202.50 PIPE 4-5 INV IN = 203.60 PIPE 5-EX INV OUT = 203.50
CB1	RIM = 215.18 SUMP = 210.90 PIPE 1-2 INV IN = 211.90
CB2	RIM = 215.18 SUMP = 210.60 PIPE 1-2 INV IN = 211.70 PIPE 2-4 INV OUT = 211.60
CB3	RIM = 210.97 SUMP = 206.70 PIPE 3-4 INV IN = 207.70
CB4	RIM = 210.97 SUMP = 206.30 PIPE 2-4 INV IN = 207.40 PIPE 3-4 INV IN = 207.40 PIPE 4-5 INV OUT = 207.30
CB7	RIM = 215.95 SUMP = 211.70 PIPE 7-8 INV IN = 212.70
CB8	RIM = 215.95 SUMP = 211.40 PIPE 7-8 INV IN = 212.50 PIPE 8-10 INV OUT = 212.40
CB9	RIM = 208.73 SUMP = 204.60 PIPE 9-10 INV IN = 205.60
CB10	RIM = 208.85 SUMP = 203.60 PIPE 8-10 INV IN = 204.70 PIPE 9-10 INV IN = 204.70 PIPE 10-11 INV OUT = 204.60
DMH 11	RIM = 209.47 SUMP = 202.90 PIPE 10-11 INV IN = 204.00 PIPE 11-12 INV OUT = 203.90

STRUCTURE	STRUCTURE DETAILS
FES 12	PIPE 11-12 INV IN = 199.00

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
PIPE 1-2	20 LF	15" Ø CORR HDPE	0.98%
PIPE 2-4	57 LF	15" Ø CORR HDPE	7.36%
PIPE 3-4	25 LF	15" Ø CORR HDPE	1.20%
PIPE 4-5	46 LF	15" Ø CORR HDPE	8.01%
PIPE 5-EX	80 LF	15" Ø CORR HDPE	9.37%
PIPE 7-8	17 LF	18" Ø CORR HDPE	1.19%
PIPE 8-10	127 LF	18" Ø CORR HDPE	6.08%
PIPE 9-10	87 LF	18" Ø CORR HDPE	1.03%
PIPE 10-11	58 LF	18" Ø CORR HDPE	1.03%
PIPE 11-12	40 LF	18" Ø CORR HDPE	12.16%

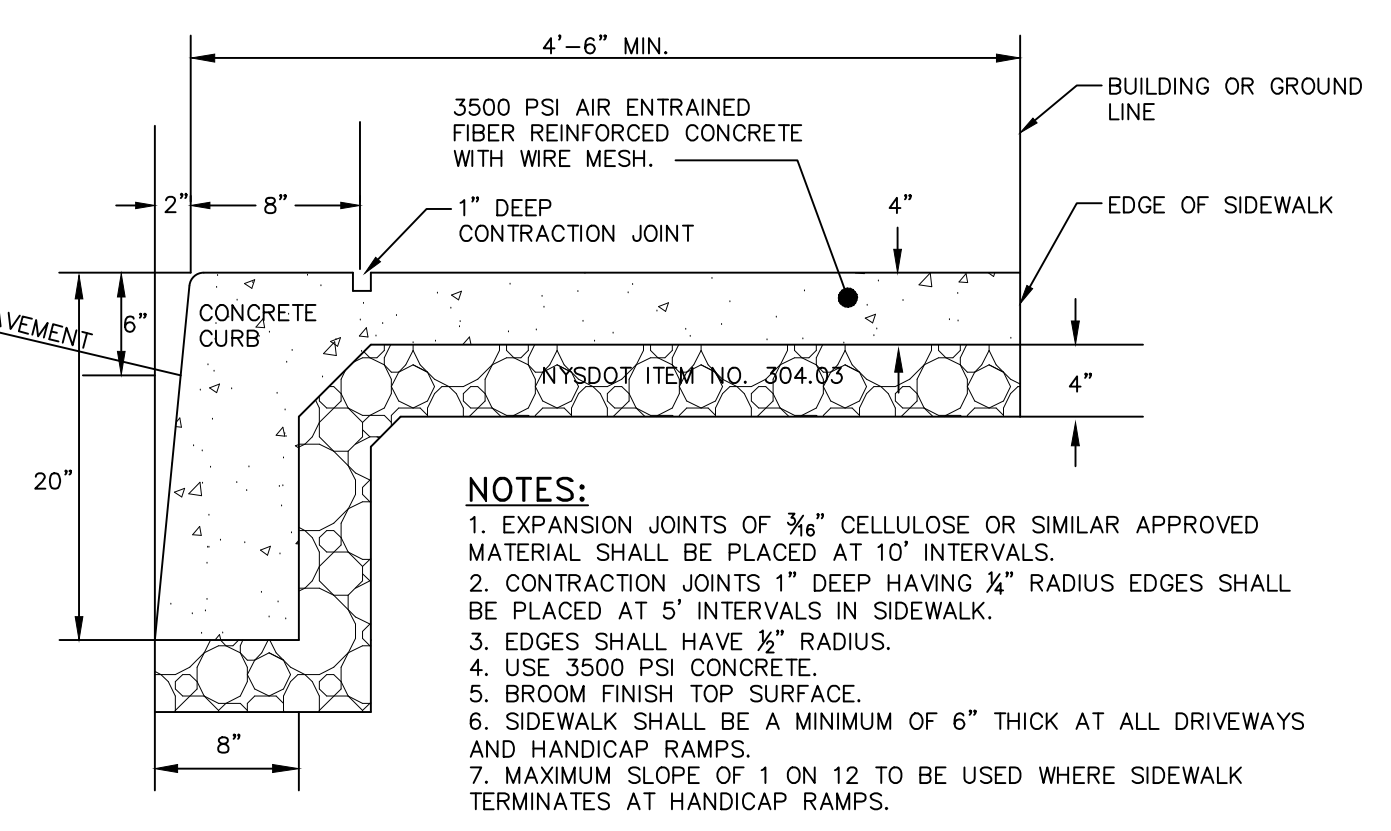
STRUCTURE	STRUCTURE DETAILS
EX SMH	RIM = 209.30 SUMP = 202.70 PIPE 2-EX INV IN = 202.80 EX. PIPE INV OUT = 202.70
SMH 1	RIM = 210.67 SUMP = 204.50 PIPE 1-2 INV IN = 204.50
SMH 2	RIM = 216.49 SUMP = 203.27 PIPE 1-2 INV IN = 203.37 PIPE 2-EX INV OUT = 203.27

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
PIPE 1-2	282 LF	8" SDR-26 PVC	0.40%
PIPE 2-EX	116 LF	8" SDR-26 PVC	0.40%
EX. PIPE	111 LF	8" SDR-35 PVC	7.88%



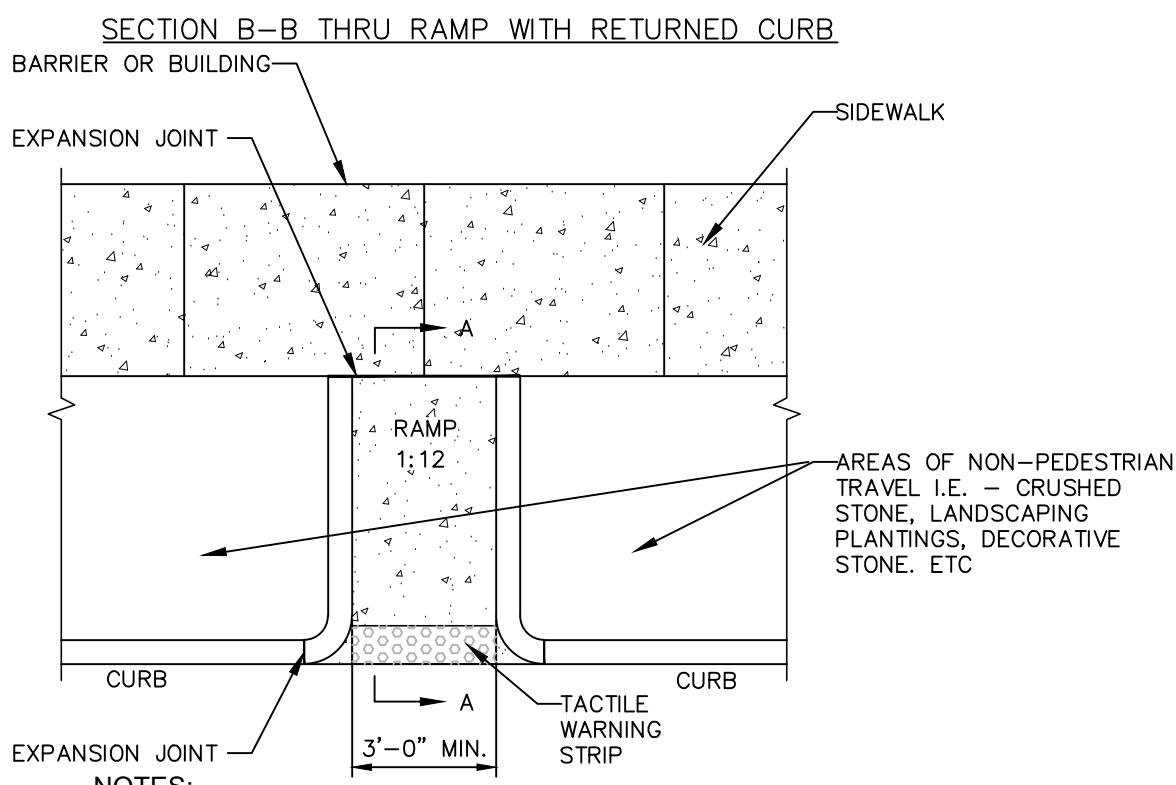
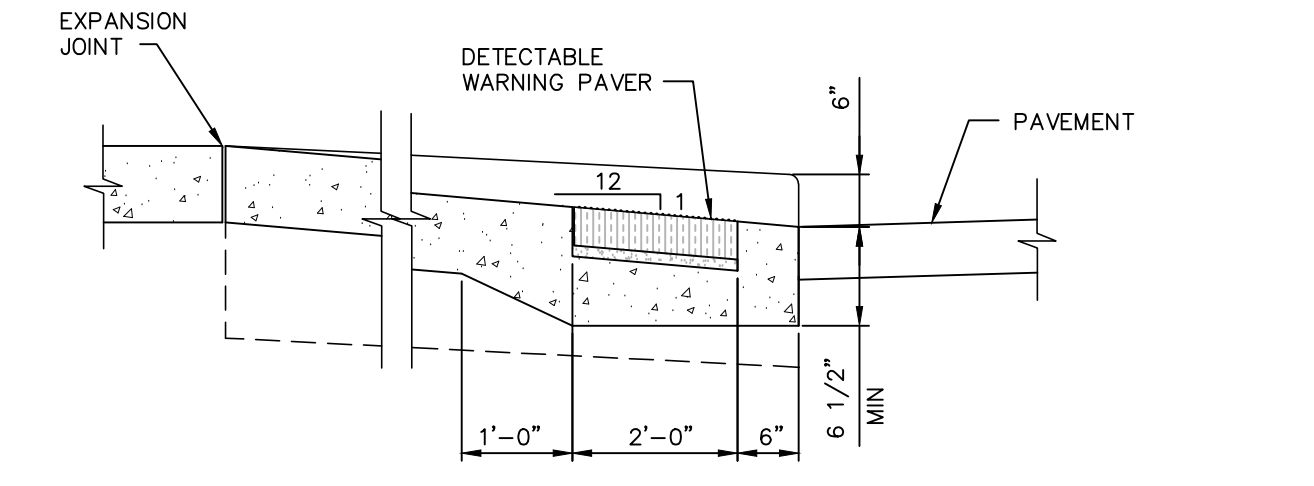
- NOTE:
1. PRE-MOLDED EXPANSION JOINTS TO BE USED AT ALL JOINTS.
  2. DRIVEWAY SHALL BE PAVED AFTER THE SIDEWALK.
  3. EXISTING SIDEWALK TO REMAIN UNTOUCHED.
  4. CONCRETE SHALL BE SEALED WITH A SALT RESISTANT SEALER.

DRIVEWAY ENTRANCE THROUGH SIDEWALK DETAIL NOT TO SCALE



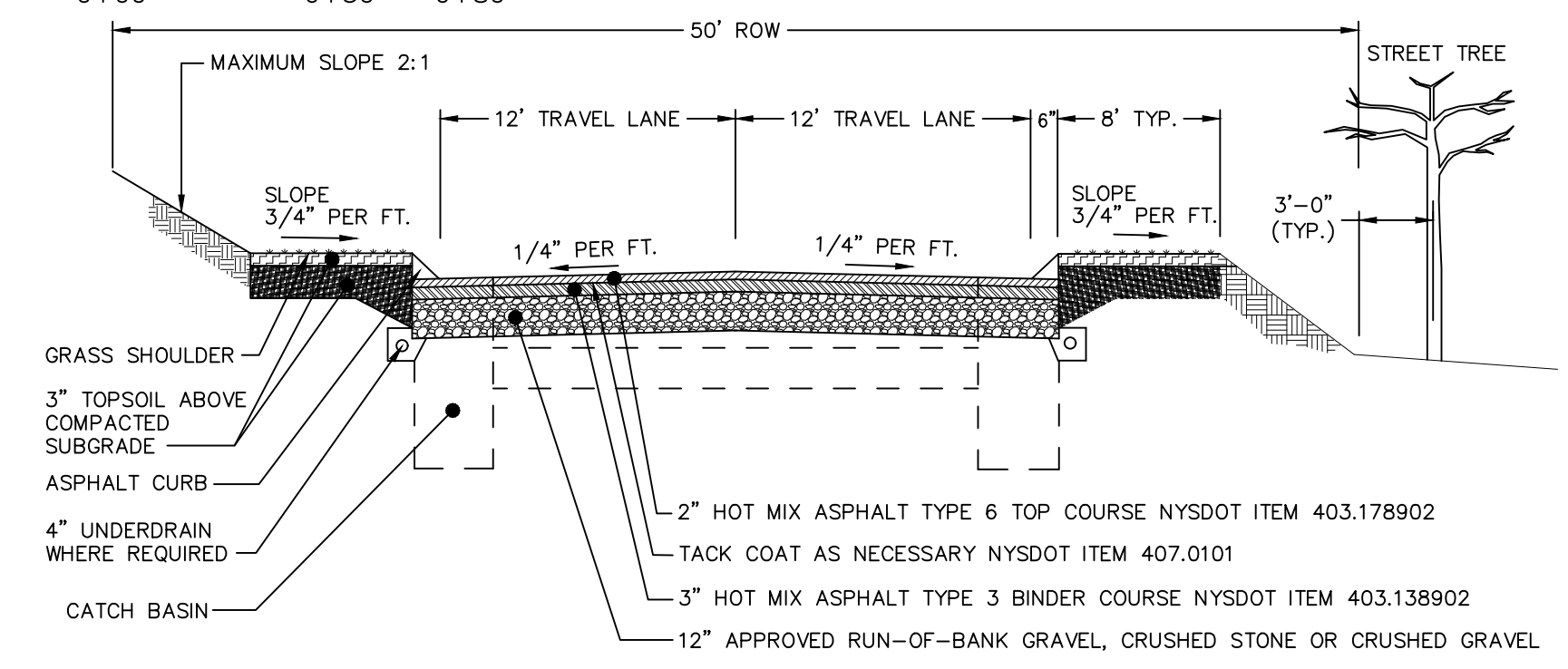
- NOTES:
1. EXPANSION JOINTS OF 3/8" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
  2. CONTRACTION JOINTS 1" DEEP HAVING 1/2" RADIUS EDGES SHALL BE PLACED AT 5' INTERVALS IN SIDEWALK.
  3. EDGES SHALL HAVE 1/2" RADIUS.
  4. USE 3500 PSI CONCRETE.
  5. BROOM FINISH TOP SURFACE.
  6. SIDEWALK SHALL BE A MINIMUM OF 6" THICK AT ALL DRIVEWAYS AND HANDICAP RAMPS.
  7. MAXIMUM SLOPE OF 1 ON 12 TO BE USED WHERE SIDEWALK TERMINATES AT HANDICAP RAMPS.

MONOLITHIC CURB AND SIDEWALK DETAIL NOT TO SCALE



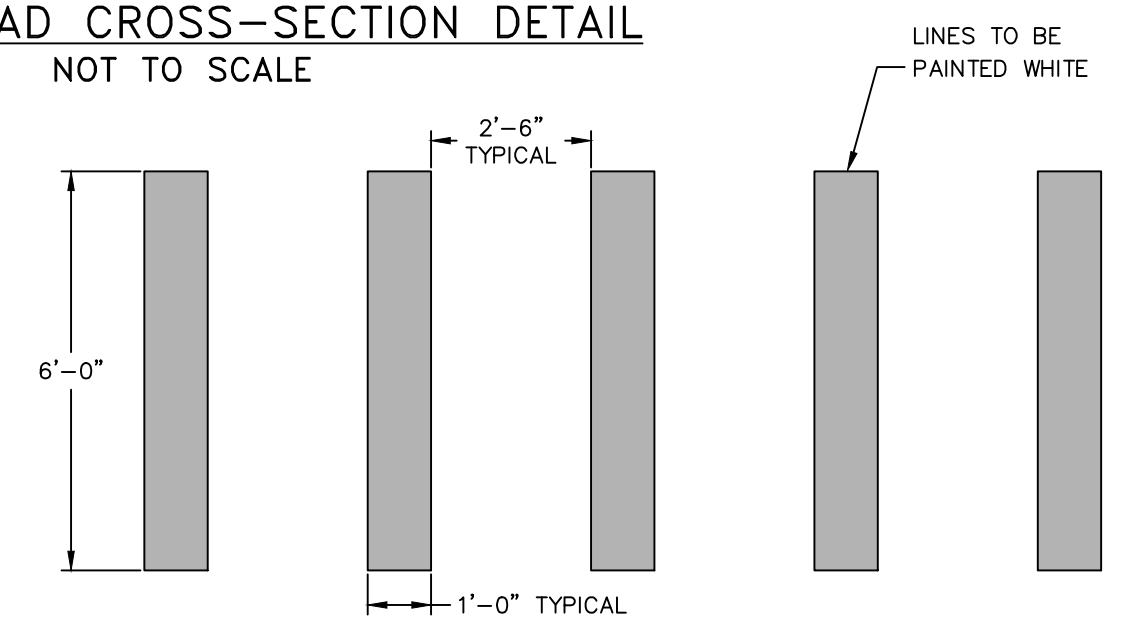
- NOTES:
1. ALL WORK SHALL CONFORM WITH THE NYS DOT STANDARD SPECIFICATION FOR CONSTRUCTION AND MATERIALS DATED, JANUARY 2, 2002 AND ALL ADDENDA THERETO; SPECIFICALLY SECTION 608- SIDEWALKS, DRIVEWAYS, AND BICYCLE PATHS.
  2. SLOPE RAMP AND SIDE FLARES AS INDICATED IN THE PLANS OR AS ORDERED BY THE ENGINEER.
  3. TACTILE WARNING STRIPS SHALL BE PROVIDED ON ALL RAMPS IN ACCORDANCE W/ ADA REQUIREMENTS.

HANDICAP CURB RAMP NOT TO SCALE



- NOTES:
1. THE PROPOSED TOWN ROAD SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF ARTICLE V OF TOWN CODE, CHAPTER 214 (STREETS AND SIDEWALKS) AND IN ACCORDANCE WITH THE LINES AND GRADES ON THE PLAN.
  2. REFERENCED NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYS DOT) ITEMS NUMBERS SHALL BE BASED ON THE MOST RECENT STANDARD SPECIFICATIONS.
  3. REFER TO THE SUBDIVISION PLAN FOR ROAD GRADING AT THE INTERSECTION TO MEET EXISTING COUNTY ROAD GRADES.
  4. REFER TO THE DCDPW LOCAL ROAD/SUBDIVISION ROAD DETAIL FOR INITIAL PAVING SECTION.

TYPICAL ROAD CROSS-SECTION DETAIL NOT TO SCALE



PAINTED CROSSWALK DETAIL NOT TO SCALE

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- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

UTILITY PLAN & PROFILE  
25 TOWNSEND STREET

25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-03-383149  
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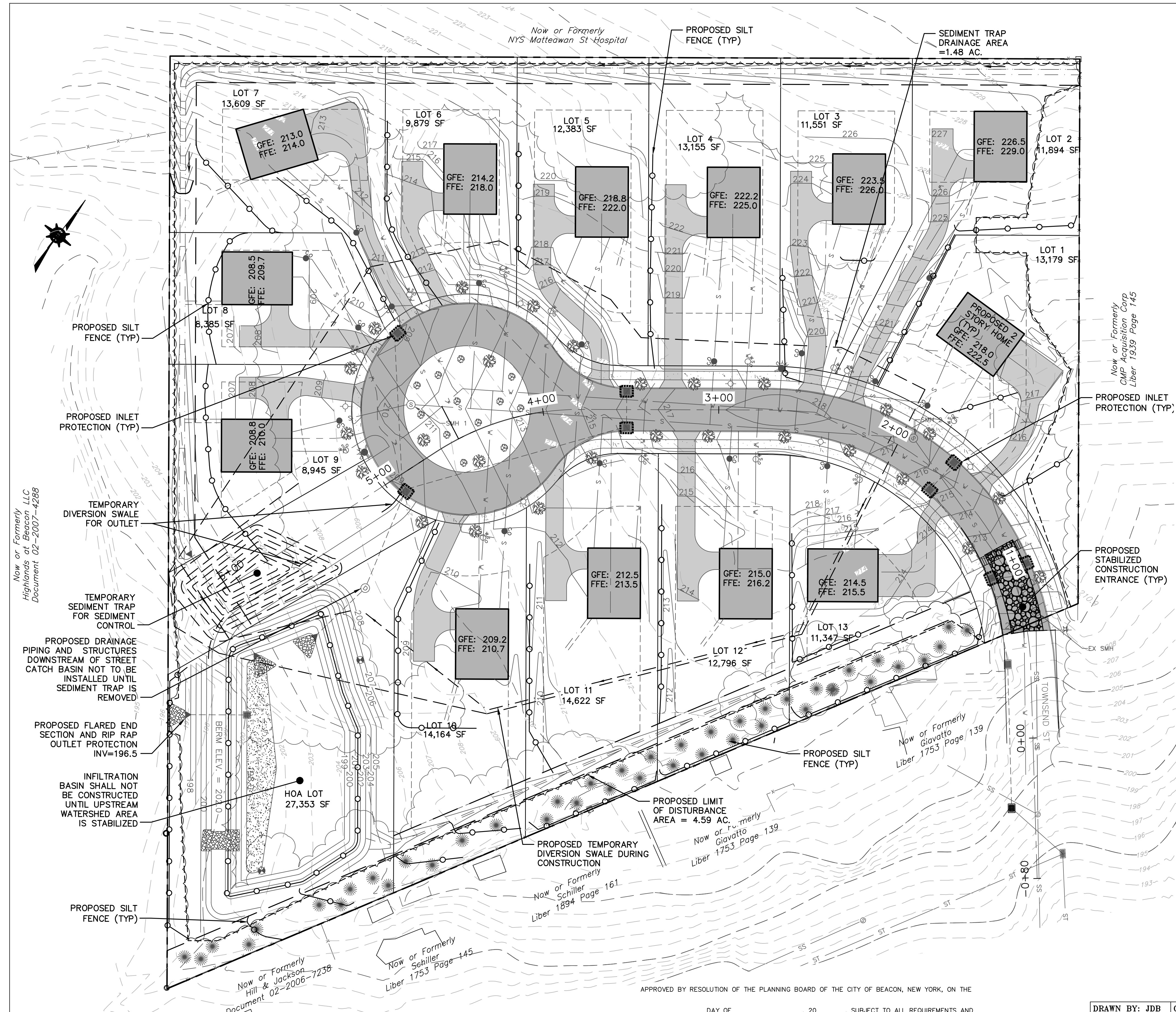


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SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

Now or Formerly  
Highlands at Beacon, LLC  
Document 02-2007-4288



**CONSTRUCTION SEQUENCING NOTES:**

- SCHEDULE A PRE-CONSTRUCTION MEETING WHICH SHALL INCLUDE THE CITY ENGINEER, OWNER OR OWNER'S REPRESENTATIVE, PROJECT ENGINEER, CONTRACTOR AND SUBCONTRACTORS (IF NECESSARY) WHO ARE TO PERFORM THE CONSTRUCTION.
- ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED ROAD AND STORMWATER MANAGEMENT AREA.
- INSTALL PERIMETER SILT FENCE AS DEPICTED ON THIS PLAN.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
- PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
- INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
- BEGIN SITE DEMOLITION WITHIN AS SHOWN ON THE DEMOLITION PLAN.
- CONSTRUCT UTILITY CONNECTIONS WITHIN TOWNSEND STREET.
- BEGIN MASS GRADING FOR PROPOSED ROAD, ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN TO 2 FEET ABOVE FINISHED GRADE.
- INSTALL SITE UTILITIES AND STUB SERVICE CONNECTIONS INTO EACH LOT.
- CONSTRUCT SEDIMENT TRAP AS SITE CONDITIONS WARRANT.
- SEED AND MULCH LANDSCAPED AREAS THAT WILL NOT BE DISTURBED DURING OTHER PHASES.
- PAVE NEW ROAD AND INSTALL SIDEWALK, CURBING AND PROPOSED CROSSWALK.
- REMOVE SEDIMENT TRAP AND CONSTRUCT INFILTRATION BASIN.
- CONSTRUCT INDIVIDUAL LOTS.
- REMOVE EROSION AND SEDIMENT CONTROLS WHEN CONTRIBUTING DRAINAGE AREAS HAVE BECOME STABILIZED.

**LEGEND**

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING ADJOINER LINE
- ⊗ EXISTING TREE
- 30 --- EXISTING MAJOR CONTOUR
- 30 --- EXISTING MINOR CONTOUR
- 28 --- PROPOSED MAJOR CONTOUR
- 28 --- PROPOSED MINOR CONTOUR
- S --- PROPOSED SEWER MAIN
- O --- PROPOSED SILT FENCE
- --- EXISTING OVERHEAD WIRE
- X --- EXISTING FENCE
- W --- EXISTING WATER MAIN
- WS --- WS --- EXISTING WATER SERVICE LINE
- --- PROPOSED DRAINAGE LINE
- V --- PROPOSED WATER MAIN
- ⊙ PROPOSED WATER SHUT-OFF VALVE
- ⊙ PROPOSED HYDRANT
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ PROPOSED CATCH BASIN

GENERAL NOTE: EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES AND BASED ON THE MAINTENANCE SCHEDULE. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED AS NECESSARY IN ORDER TO PROTECT ADJACENT PARCELS AND WATERS.

**INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES**

**PERMANENT AND TEMPORARY VEGETATION:**  
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

**STABILIZED CONSTRUCTION ENTRANCE:**  
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.

**SILT FENCE:**  
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

**SOIL STOCKPILE:**  
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

**DUST CONTROL:**  
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

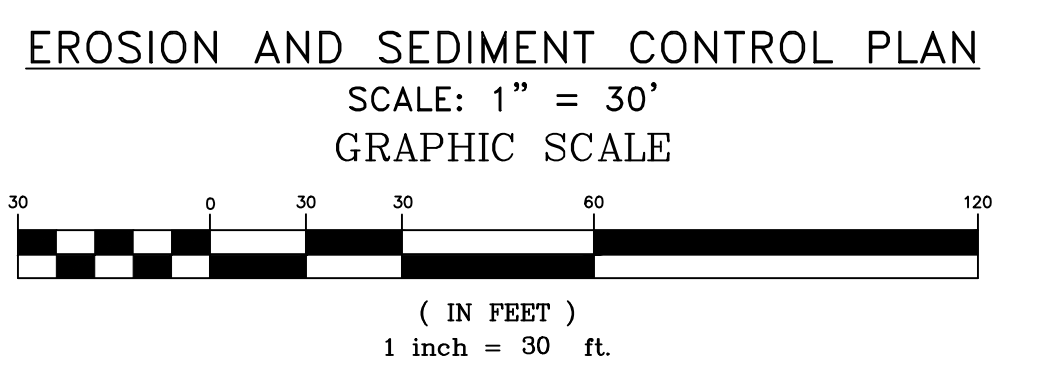
**CHECK DAM:**  
INSPECT CHECK DAMS EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. IF SIGNIFICANT EROSION OCCURS BETWEEN STRUCTURES, A LINER OF STONE OR OTHER SUITABLE MATERIAL SHOULD BE INSTALLED IN THAT PORTION OF THE CHANNEL. REMOVE SEDIMENT ACCUMULATED BEHIND THE DAM AS NEEDED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. REPLACE STONES AS NEEDED TO MAINTAIN THE DESIGN CROSS SECTION OF THE STRUCTURES. REMOVE CHECK DAMS AS PER APPROVAL OF THE PROJECT ENGINEER.

**EROSION CONTROL BLANKET:**  
INSPECT THE BLANKET EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. REPLACE WIRE STAPLES AS REQUIRED. REPAIR AND RESEED WHERE CRACKS AND DAMAGED VEGETATION IS EVIDENT. WHEN DAMAGED BEYOND REPAIR OR NO LONGER FUNCTIONING, THE BLANKET SHALL BE REPLACED.

**SEDIMENT TRAP:**  
SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO THE ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF OF THE DESIGN DEPTH OF THE TRAP. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN A PROTECTED AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.

**CATCH BASINS:**  
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. THE INLET PROTECTION SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED.

Now or Formerly  
Hill & Jackson  
Document 02-2006-7238



APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

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- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

DRAWN BY: JDB		CHECKED BY: MAB		JOB NO.: 2015-025	
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB		
2	03/27/18	PER PLANNING BOARD COMMENTS	CMB		
3	05/29/18	PER PLANNING BOARD COMMENTS	AG		

**EROSION & SEDIMENT CONTROL PLAN**  
**25 TOWNSEND STREET**

25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-03-383149  
SCALE: 1" = 30'  
DECEMBER 7, 2015

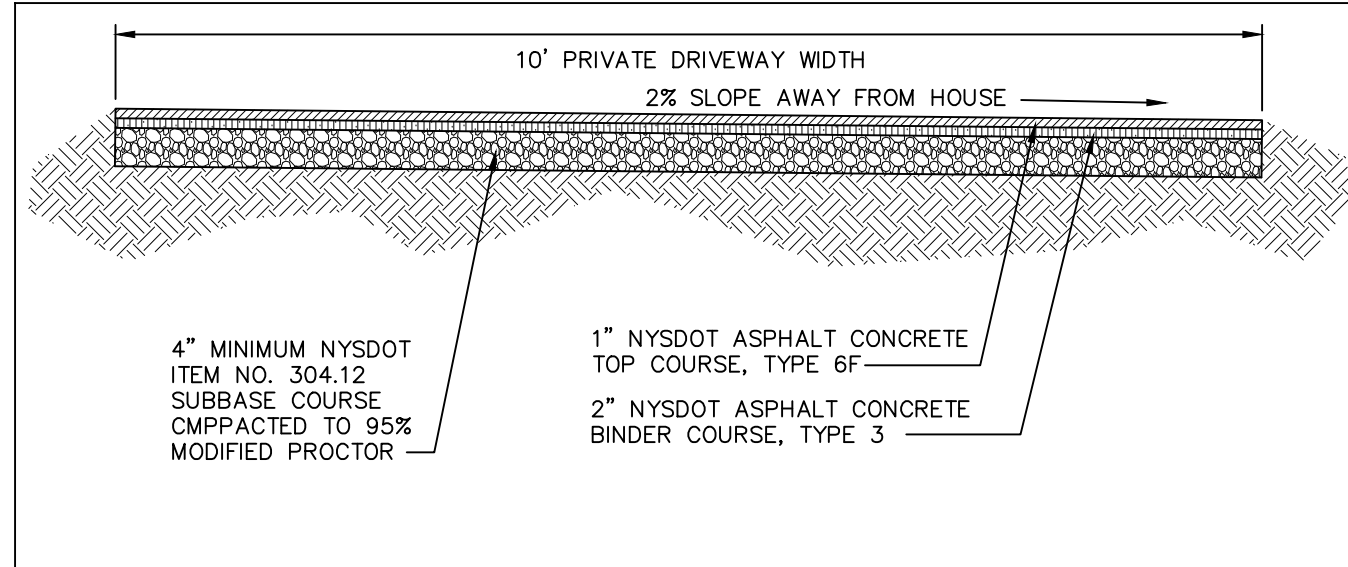


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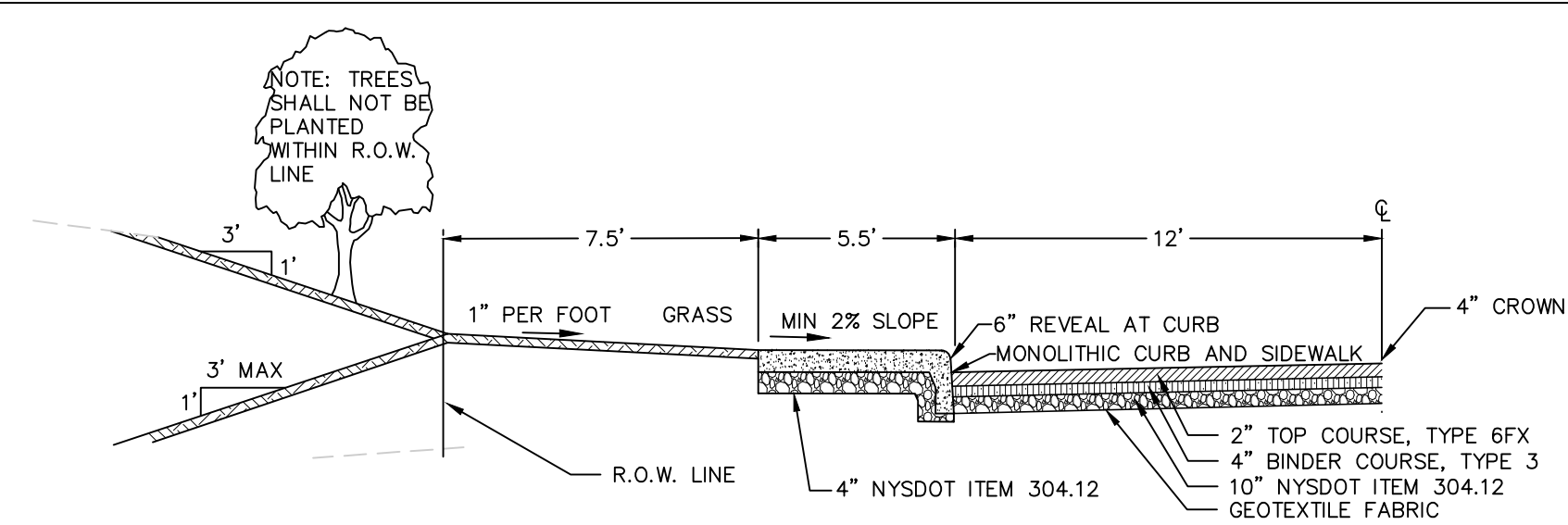


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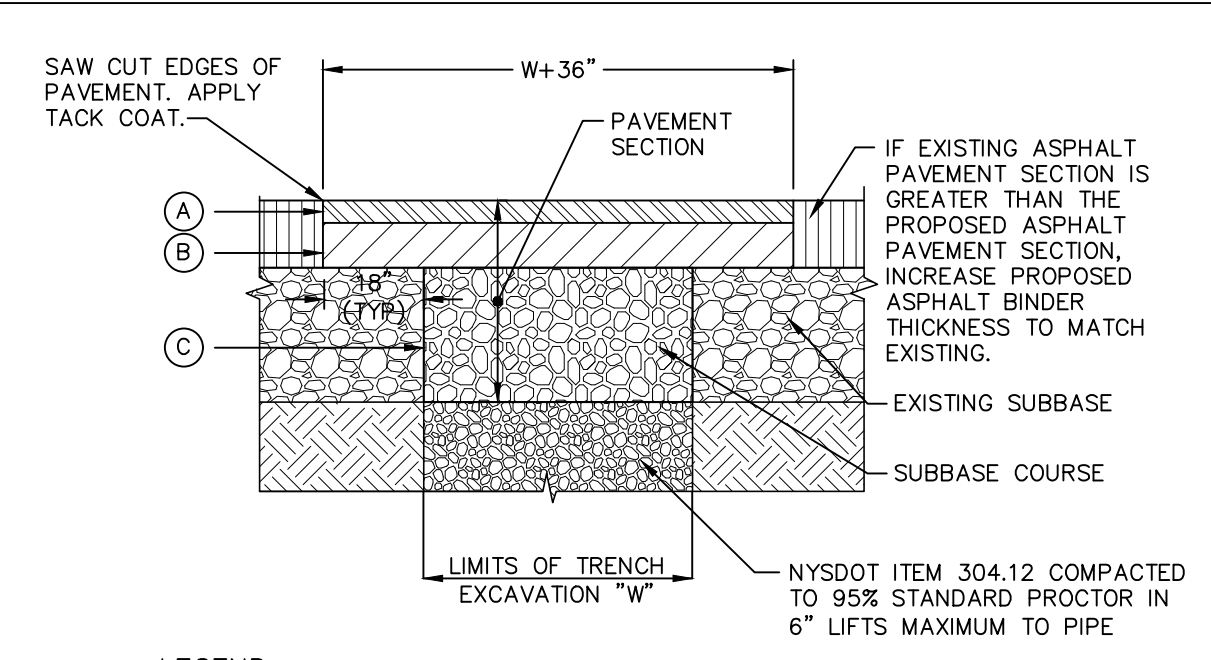




**PAVED DRIVEWAY SECTION DETAIL**  
NOT TO SCALE

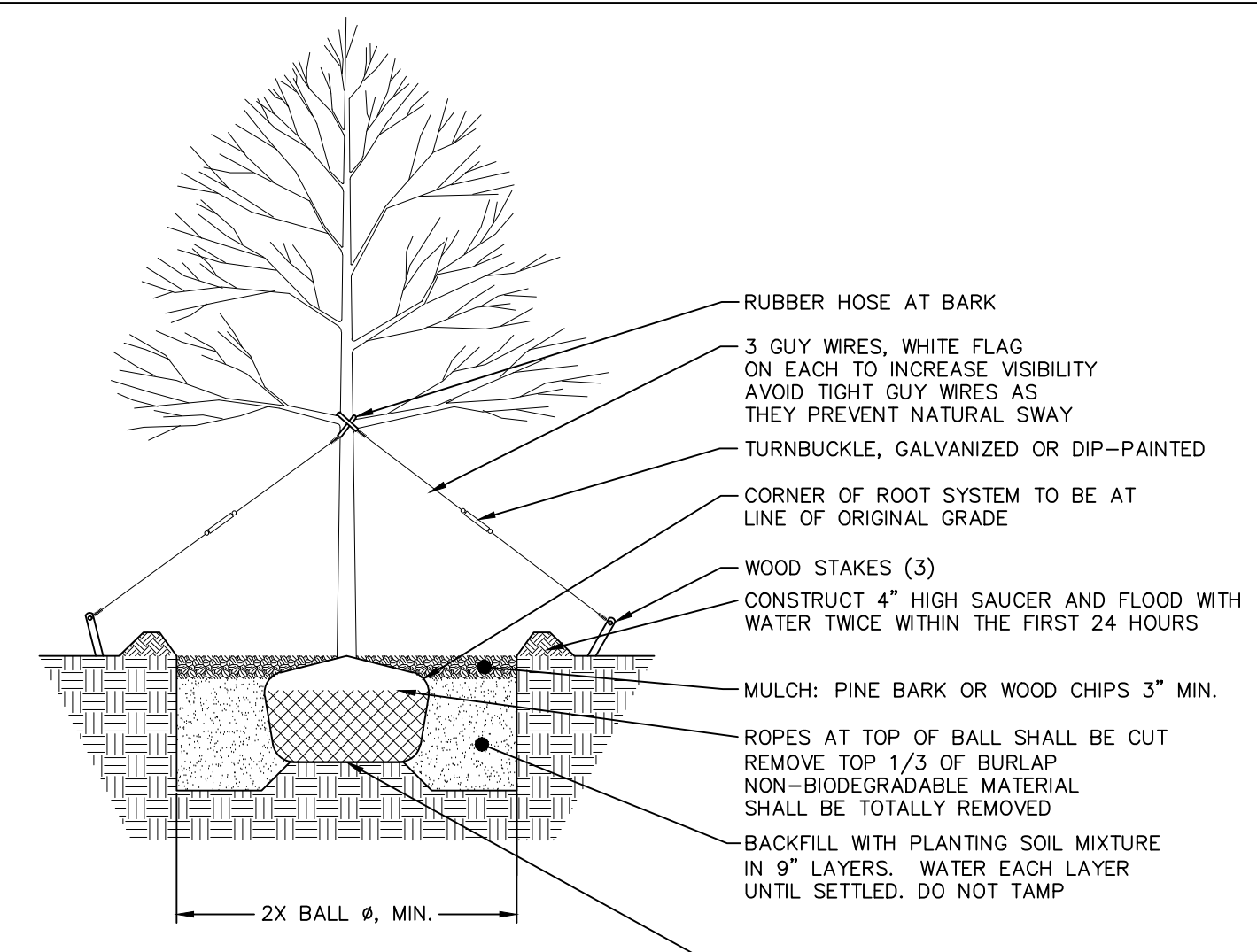


**LOCAL STREET CROSS SECTION DETAIL**  
NOT TO SCALE



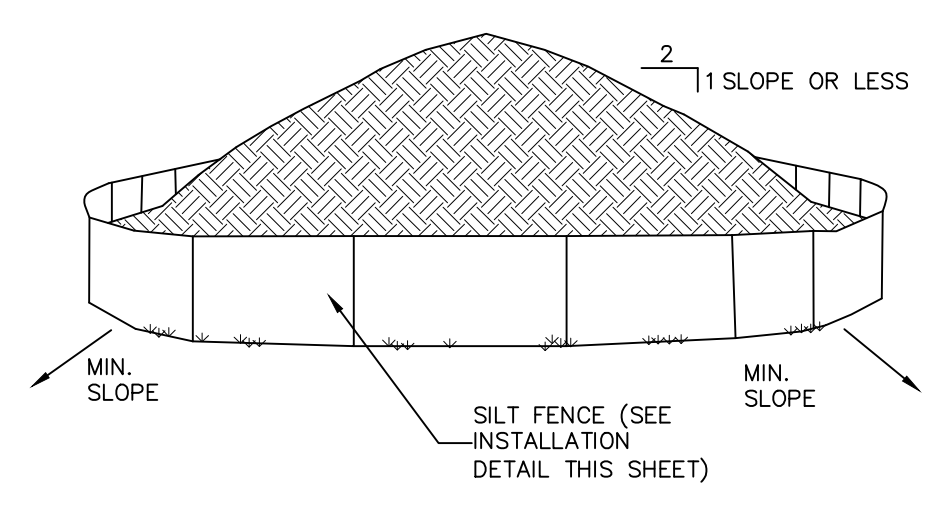
**LEGEND**  
 (A) 1-1/2" ASPHALT CONCRETE TOP COURSE- NYS DOT TYPE 6F  
 (B) 3" ASPHALT CONCRETE BINDER COURSE- NYS DOT TYPE 3  
 (C) 10" GRANULAR SUBBASE COURSE- NYS DOT ITEM 304.14

**NOTES:**  
 1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED. JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.  
 2. FURNISH, PLACE, AND COMPACT SUBBASE.  
 3. TACK COAT IN ACCORDANCE WITH NYS DOT STANDARD SPEC.  
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.



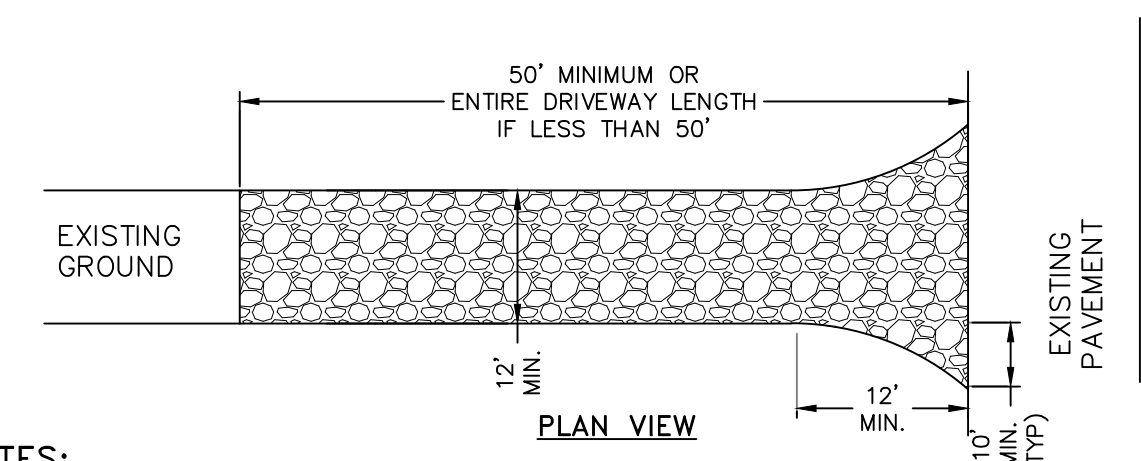
**NOTES:**  
 1. REFER TO SHEET 2 PLANS FOR LOCATIONS.

**TREE DETAIL**  
NOT TO SCALE



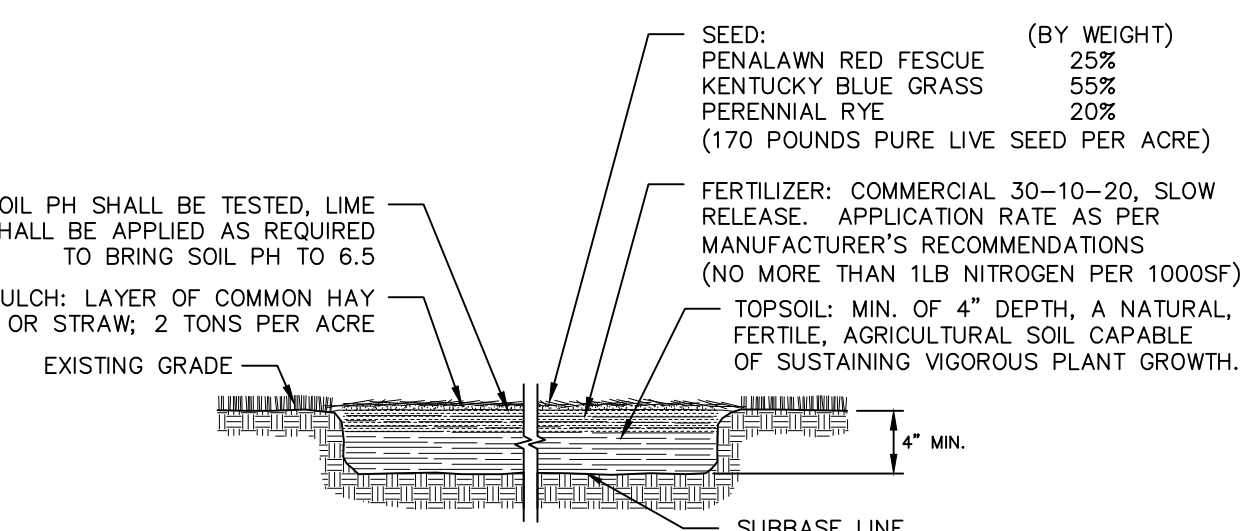
**NOTES:**  
 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
 2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

**TEMPORARY SOIL STOCKPILE DETAIL**  
NOT TO SCALE

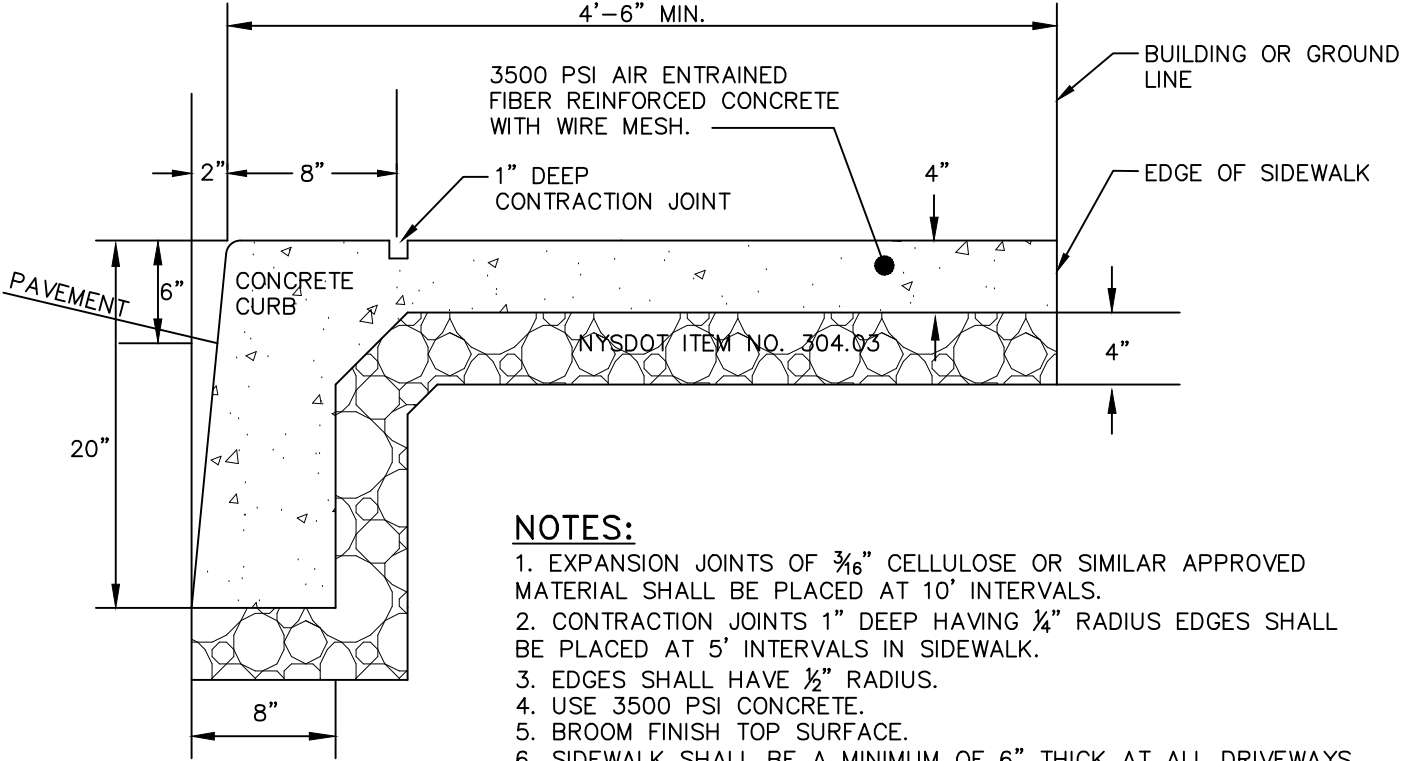


**NOTES:**  
 1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.  
 2. THICKNESS - NOT LESS THAN SIX (6) INCHES.  
 3. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.  
 4. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.  
 5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.  
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.  
 7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
 8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

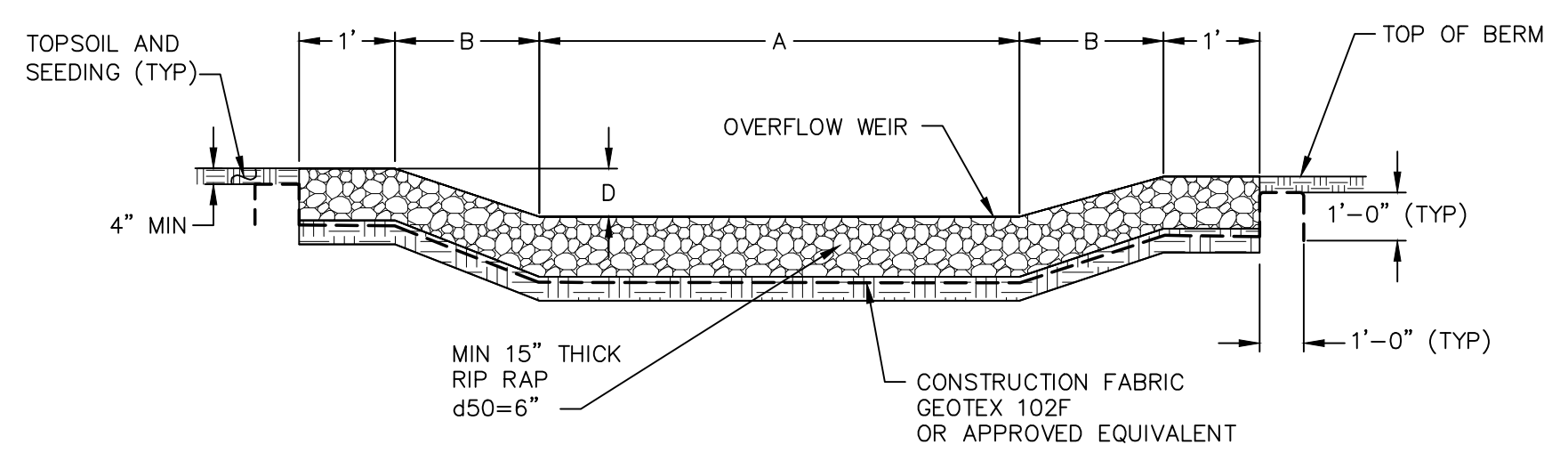


**TOPSOIL SEED, FERTILIZER AND MULCH DETAIL**  
NOT TO SCALE



**NOTES:**  
 1. EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.  
 2. CONTRACTION JOINTS 1" DEEP HAVING 1/4" RADIUS EDGES SHALL BE PLACED AT 5' INTERVALS IN SIDEWALK.  
 3. EDGES SHALL HAVE 1/2" RADIUS.  
 4. USE 3500 PSI CONCRETE.  
 5. BROOM FINISH TOP SURFACE.  
 6. SIDEWALK SHALL BE A MINIMUM OF 6" THICK AT ALL DRIVEWAYS AND HANDICAP RAMPS.  
 7. MAXIMUM SLOPE OF 1 ON 12 TO BE USED WHERE SIDEWALK TERMINATES AT HANDICAP RAMPS.

**MONOLITHIC CURB AND SIDEWALK DETAIL**  
NOT TO SCALE

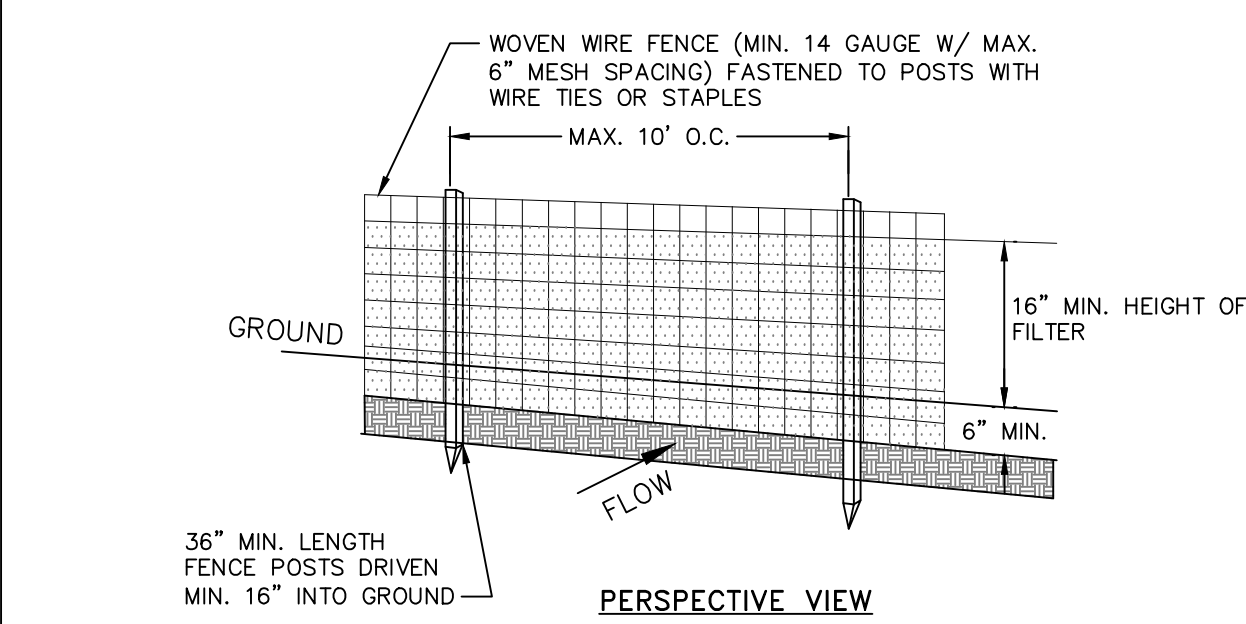


**EMERGENCY OVERFLOW WEIR TABLE**

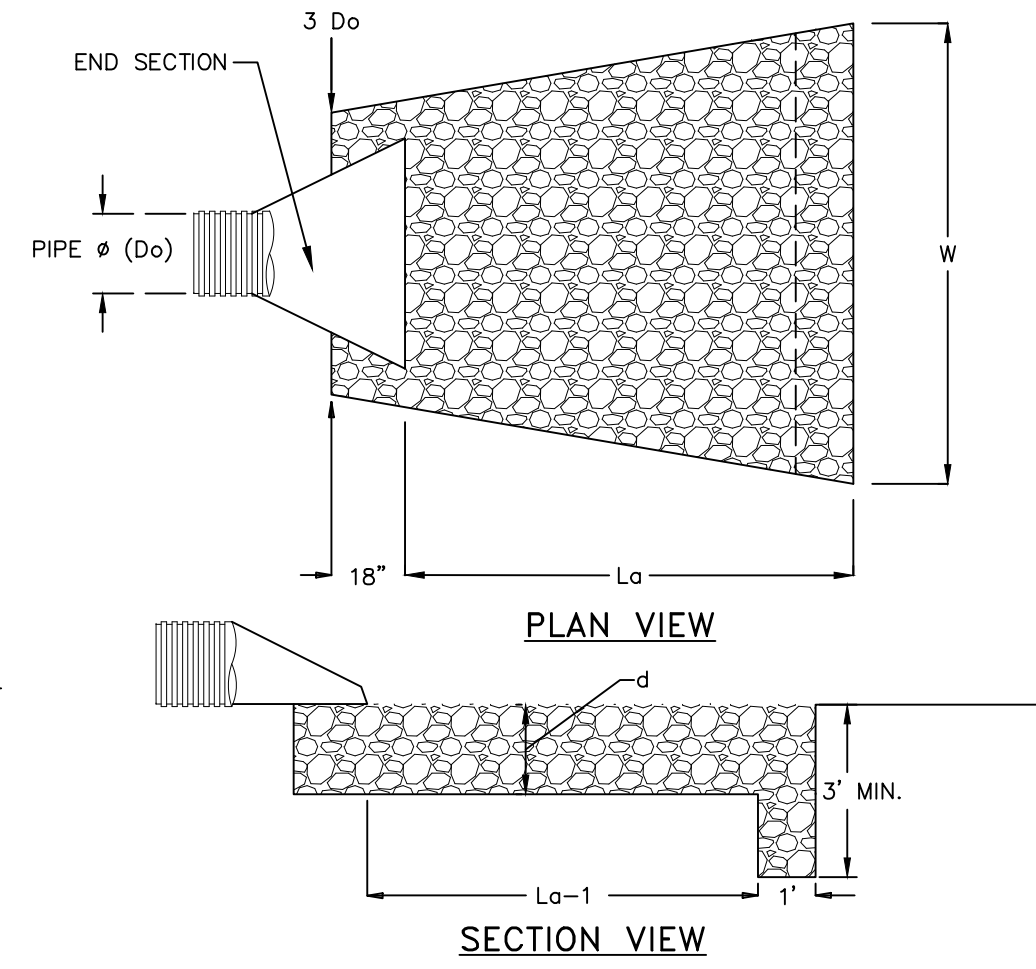
SWM ID	OVERFLOW WEIR ELEVATION (FT)	DIMENSION A (FT)	DIMENSION B (FT)	DIMENSION D (IN)
INFILTRATION BASIN	201.0	10	3	12

**NOTES:**  
 1. RIP RAP OUTLET PROTECTION SHALL BE 15" OF LIGHT STONE FILLING. STONE FILLING SIZE 450=6". RIVER ROCK MAY BE SUBSTITUTED FOR ANGULAR STONE.

**EMERGENCY OVERFLOW WEIR DETAIL**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE



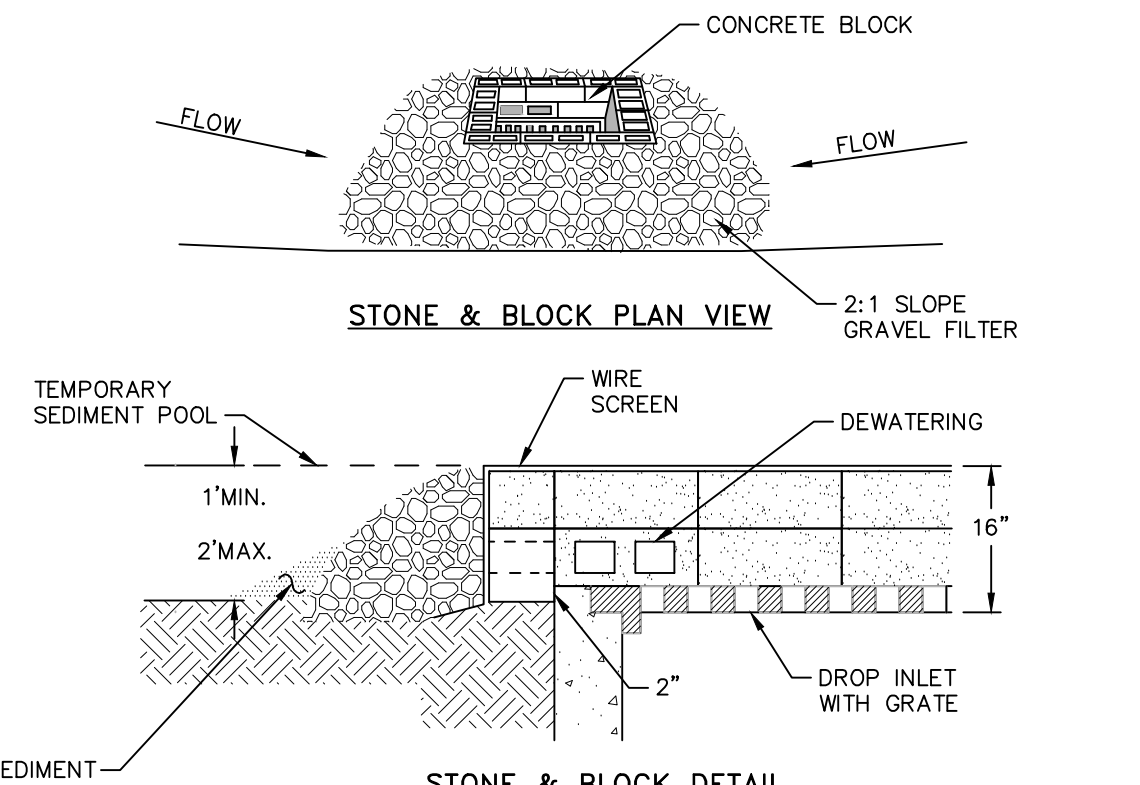
**NOTES:**  
 1. SIZING INFORMATION TAKEN FROM FIGURE 5B.12 (PAGE 5B.25) AND/OR FIGURE 5B.13 (PAGE 5B.26) OF THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" 2016 EDITION.  
 2. RIPRAP SHALL BE COMPOSED OF A WELL-GRADED MIXTURE OF STONE SIZE SO THAT 50% OF THE PIECES SHALL BE LARGER, BY WEIGHT, THAN THE SPECIFIED #50. THE LARGEST STONE SIZE SHALL BE 1.5 TIMES #50.  
 3. THE MINIMUM THICKNESS OF THE RIPRAP LAYER SHALL BE 1.5 TIMES THE MAXIMUM STONE DIAMETER FOR #50 OF 15 INCHES OR LESS, AND 1.2 TIMES THE MAXIMUM STONE SIZE FOR #50 GREATER THAN 15 INCHES.  
 4. A LAYER OF FILTER FABRIC (THICKNESS 20-60 MILS, GRAB STRENGTH 90-120 LBS, SHALL CONFORM TO ASTM D-1777 AND ASTM D-1682) SHALL BE PLACED BETWEEN THE RIPRAP AND THE UNDERLYING SOIL SURFACE. FILTER FABRIC SHALL HAVE A MINIMUM 1' OVERLAP AT ALL SEAMS.

**ROCK OUTLET PROTECTION DETAIL**  
NOT TO SCALE

**ROCK OUTLET PROTECTION TABLE**

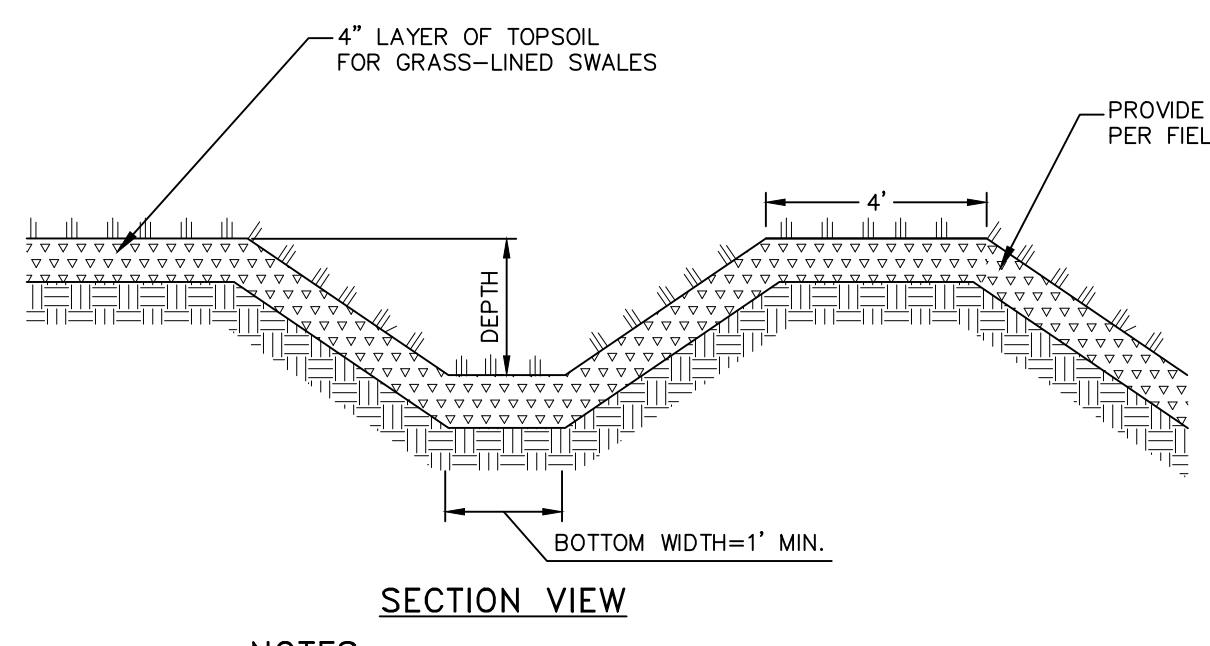
OUTLET PIPE ID	PIPE #	30#	W	L <sub>a</sub>	d	#50 RIPRAP SIZE
FES 12	18 INCHES	4.5 FEET	18.5 FEET	14 FEET	14 INCHES	6 INCHES
FES 13	24 INCHES	6 FEET	18.5 FEET	12.5 FEET	14 INCHES	6 INCHES
FES 14	18 INCHES	4.5 FEET	16.5 FEET	12.0 FEET	14 INCHES	6 INCHES

**ROCK OUTLET PROTECTION TABLE**  
NOT TO SCALE



**NOTES:**  
 1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.  
 2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.  
 3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.  
 4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

**CATCH BASIN INLET PROTECTION DETAIL**  
NOT TO SCALE



**NOTES:**  
 1. MINIMUM 1' DEPTH AND 1' WIDTH FOR ALL SWALES.  
 2. SWALE SHALL BE SEEDED WITH FAST GERMINATING RYE 15 TO 25 POUNDS PER 1,000 SQUARE FEET AND MULCHED.

**PERMANENT GRASS LINED SWALE/DIKE DETAIL**  
NOT TO SCALE

**DRAWN BY: JDB CHECKED BY: MAB JOB NO.: 2015-025**

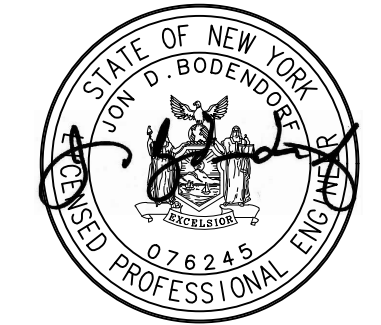
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB
2	03/27/18	PER PLANNING BOARD COMMENTS	CMB
3	05/29/18	PER PLANNING BOARD COMMENTS	AG

**CONSTRUCTION DETAILS**  
**25 TOWNSEND STREET**

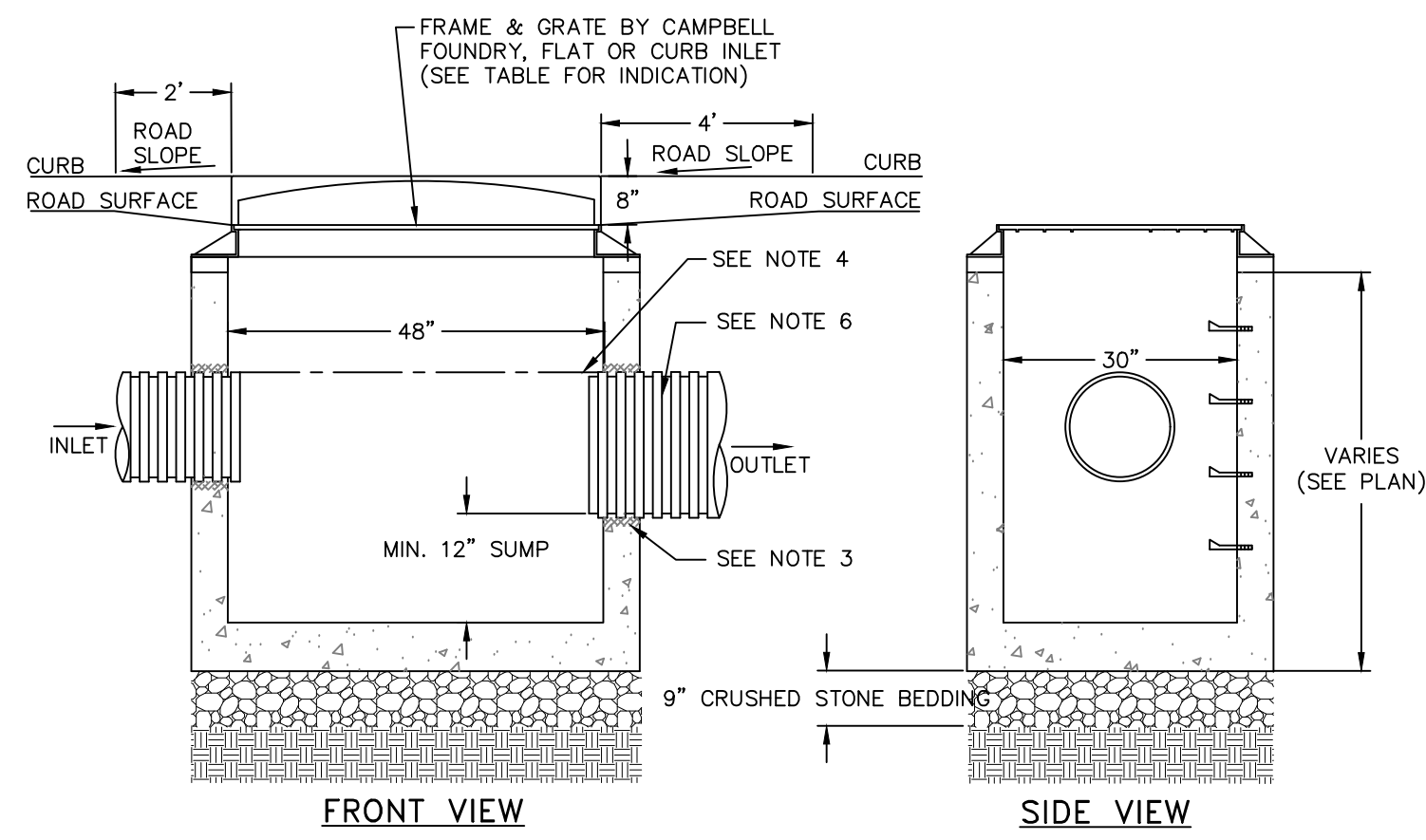
25 TOWNSEND STREET  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6055-03-383149  
 SCALE: AS SHOWN  
 DECEMBER 7, 2015



HUDSON LAND DESIGN  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN STREET  
 BEACON, NEW YORK 12508  
 PH: 845-440-6926 F: 845-440-6637



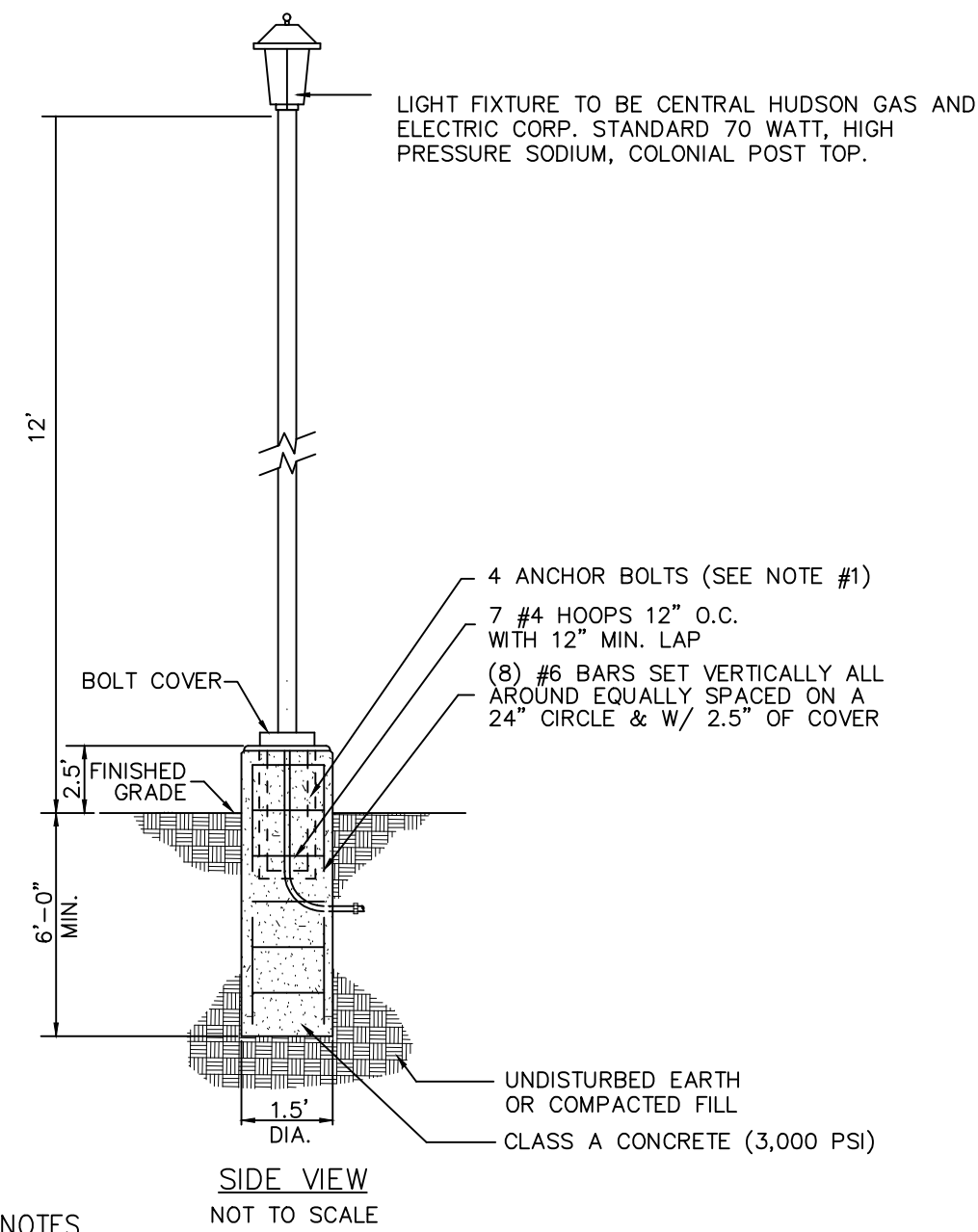
SEAL  
 JON D. BODENDORF, P.E.  
 NYS LICENSE NO. 076245  
 DANIEL G. KOHLER, P.E.  
 NYS LICENSE NO. 082716



**NOTES:**

1. PRECAST CONCRETE CATCH BASIN WITH CONCRETE STRENGTH OF 4,000 PSI @ 28 DAYS.
2. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN AND PARDED AROUND.
3. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE. CONNECTIONS MADE WITHIN 10 FEET OF A WATER MAIN (OR SERVICE LINE) OR A SEWER MAIN (OR SERVICE LATERAL) SHALL BE MADE WATERTIGHT.
4. PROVIDE A MINIMUM 0.1" DROP BETWEEN INLET AND OUTLET INVERTS (MATCH CROWNS FOR PIPES WITH DIFFERENT SIZE) UNLESS OTHERWISE NOTED ON THE PLAN.
5. CATCH BASINS WITH AN INTERIOR DEPTH OF 4' AND GREATER SHALL BE FURNISHED WITH STEEL REINFORCED POLYPROPYLENE PLASTIC STEPS AT 12" INTERVALS.
6. HOPE PIPE SHALL BE PROVIDED WITH WATERTIGHT CONNECTIONS. ADS MODEL N12 WT IB OR APPROVED EQUAL.

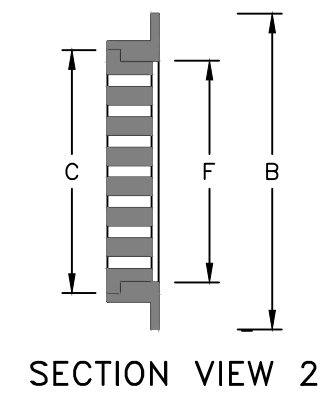
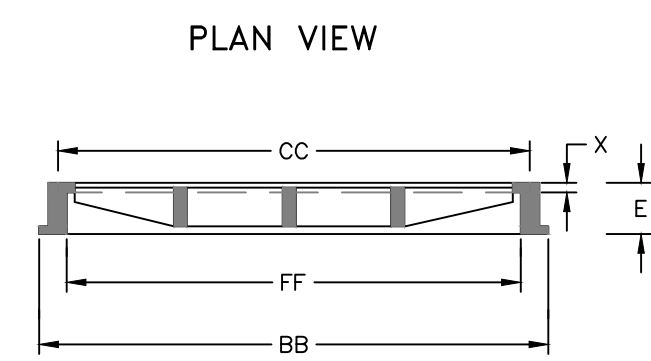
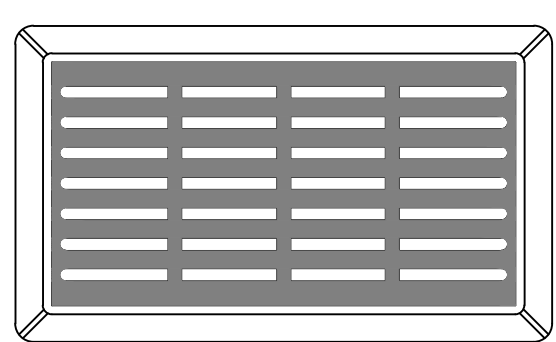
**CATCH BASIN DETAIL  
NOT TO SCALE**



**NOTES:**

1. LIGHT FIXTURE SHALL BE DIRECTED AND/OR SHADED AS NECESSARY TO PREVENT LIGHT FROM SPILLYING OFF-SITE AND TO PREVENT UNREASONABLE GLARE FROM BEING OBSERVED ON ADJACENT ROADWAY OR PROPERTY.

**POLE AND LUMINAIRE DETAIL  
NOT TO SCALE**



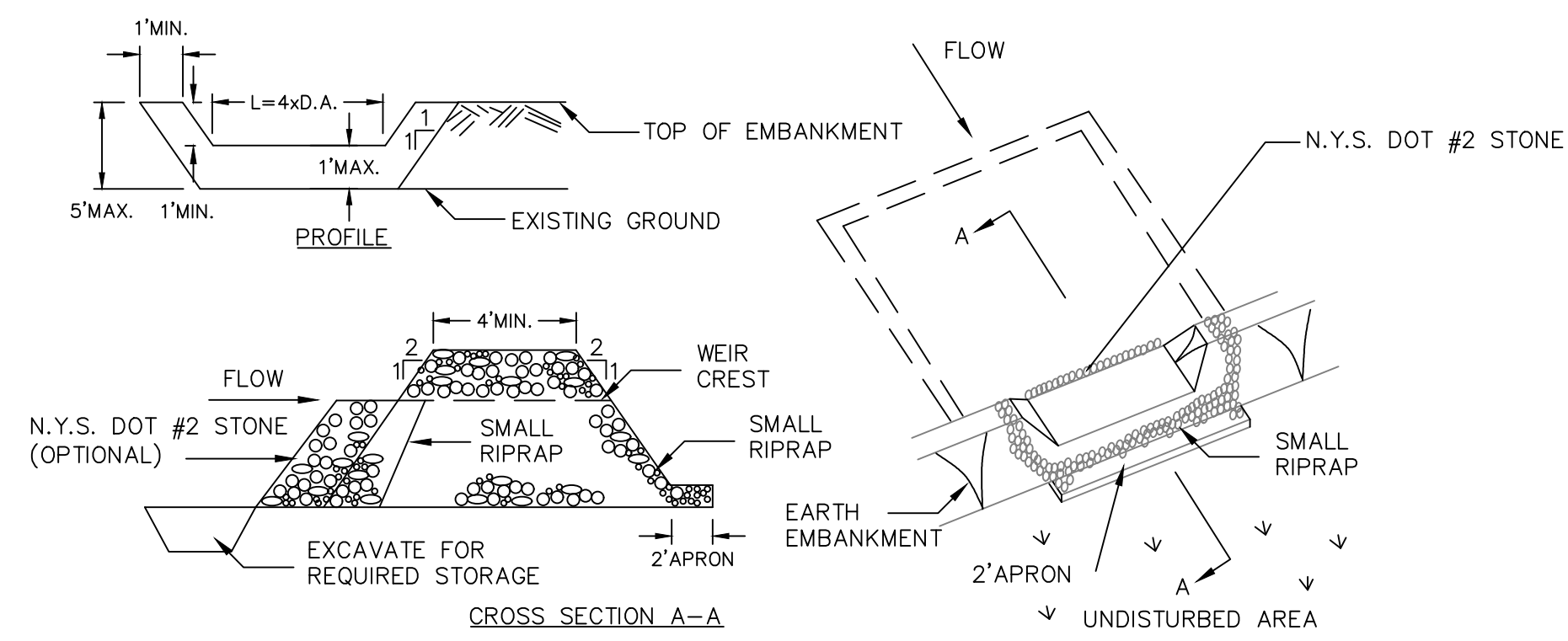
**DIMENSION TABLE:**

B	C	E	F	X	BB	CC	FF
30"	24"	4"	22"	1"	4"	36"	34"

**NOTES:**

1. HEAVY DUTY RECTANGULAR STORMWATER INLET GRATE TO BE CAMPBELL FOUNDRY MODEL 2541, OR APPROVED EQUAL.
2. DMH 11 RECEIVES A SOLID CAST IRON COVER.

**CAST IRON STORMWATER FLAT INLET GRATE DETAIL  
NOT TO SCALE**

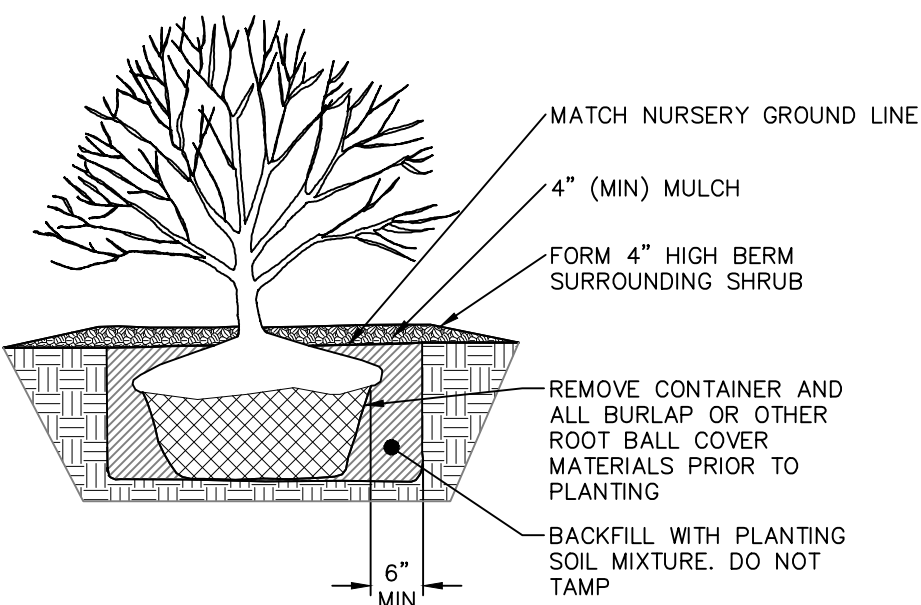


**OPTION: A ONE FOOT LAYER OF N.Y.S. DOT #2 STONE MAY BE PLACED ON THE UPSTREAM SIDE OF THE RIPRAP IN PLACE OF THE EMBEDDED FILTER CLOTH.**

**CONSTRUCTION SPECIFICATIONS**

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. IT SHALL BE PLACED ON SITE AND STABILIZED.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

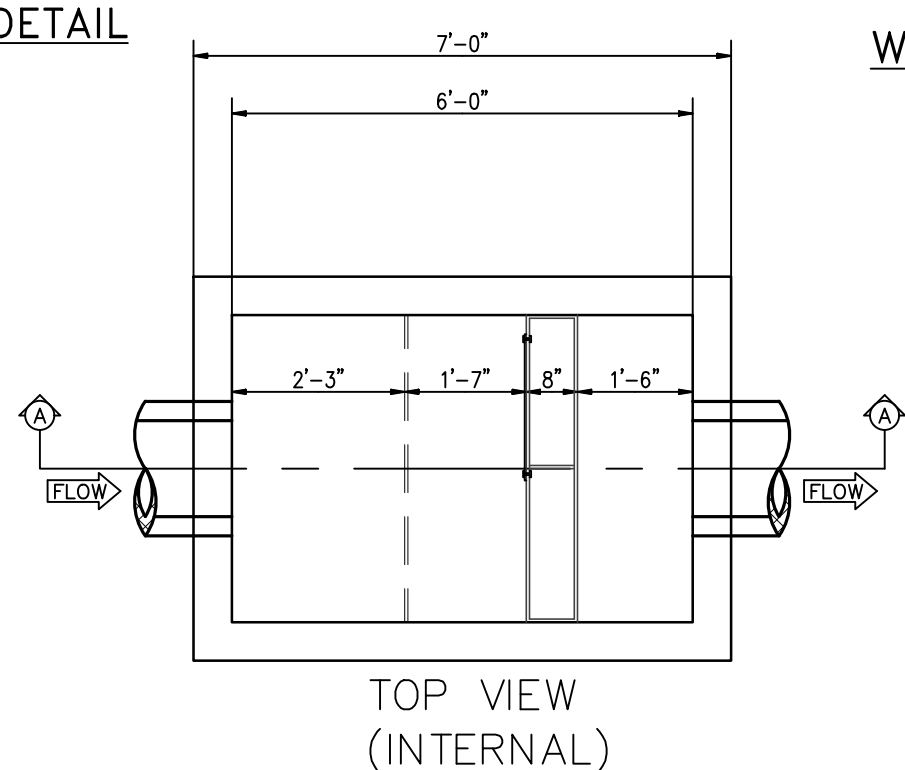
**STONE OUTLET SEDIMENT TRAP DETAIL  
NOT TO SCALE**



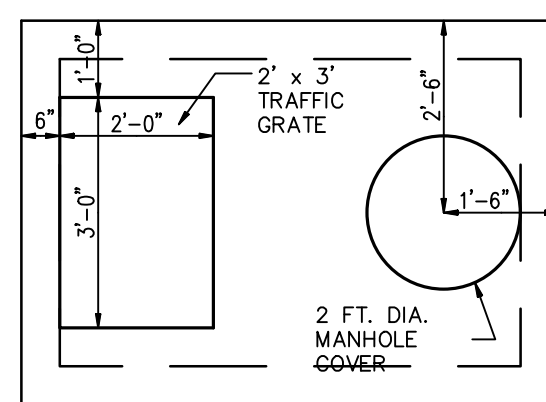
**NOTE**

1. WATER PER NURSERY SPECIFICATIONS IMMEDIATELY FOLLOWING PLANTING.
2. DETAIL IS FOR BOTH BALL & BURLAPPED OR CONTAINERED SHRUBS.

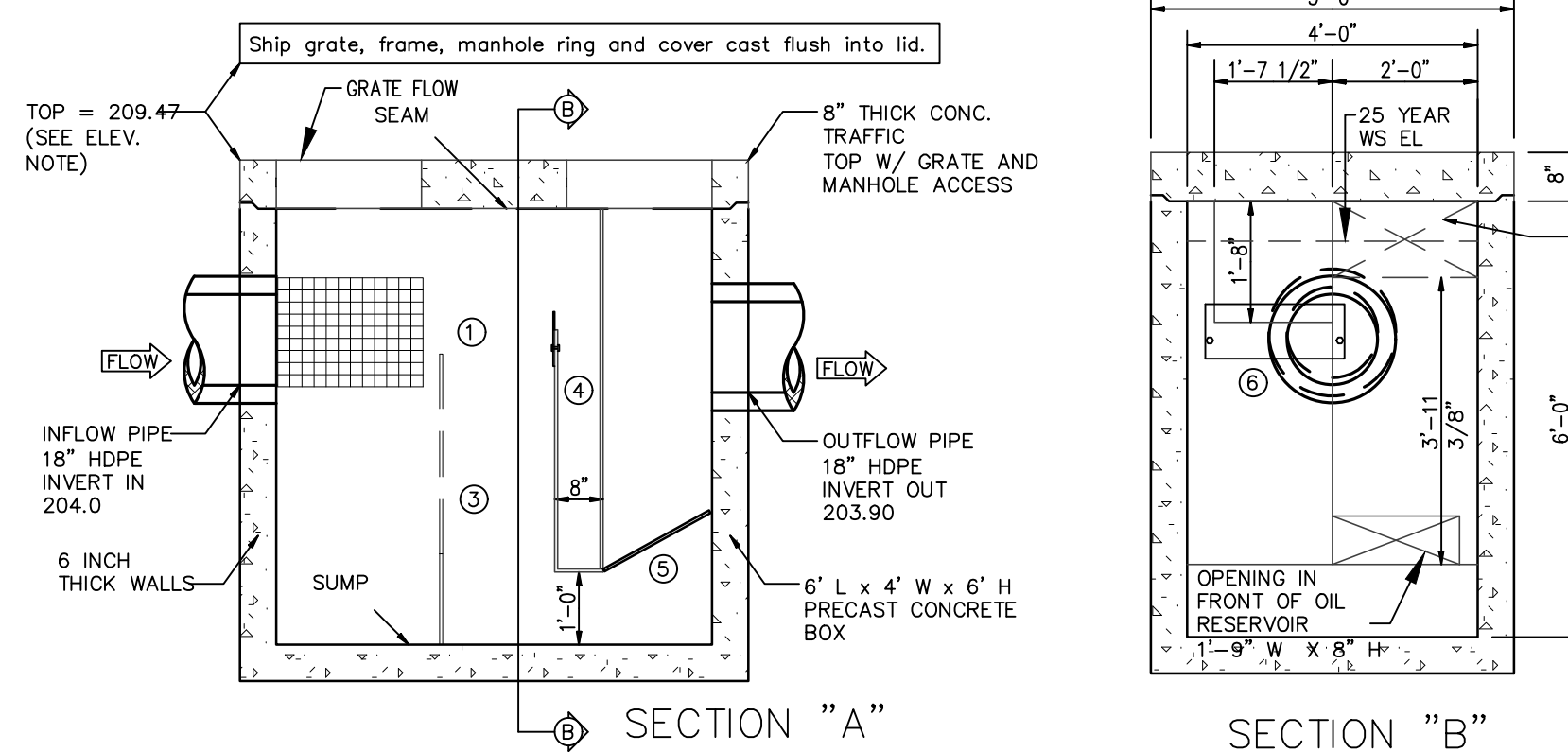
**SHRUB PLANTING DETAIL  
NOT TO SCALE**



**WQI DETAIL FOR DMH 11  
NOT TO SCALE**



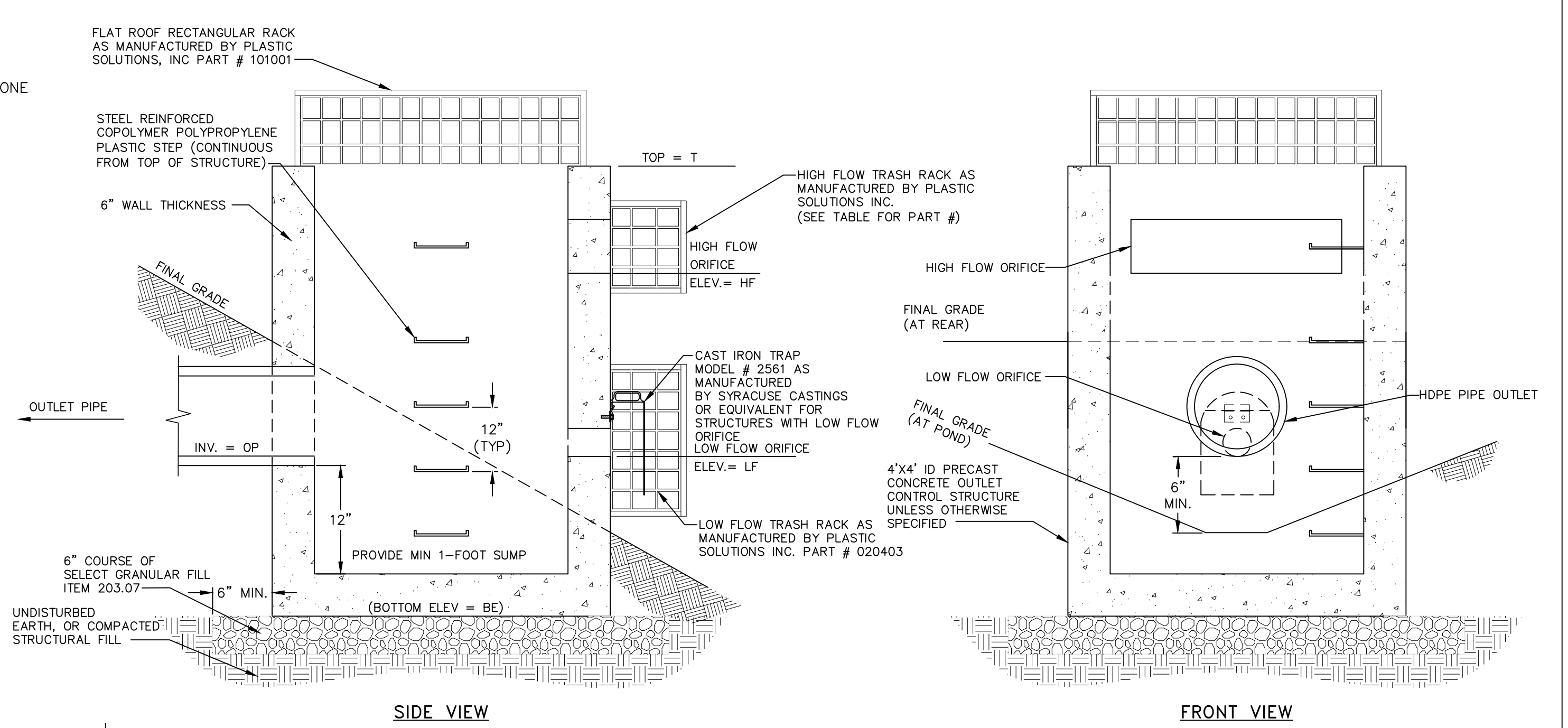
**TOP VIEW (SLAB)**



**NOTES:**

1. WATER QUALITY INLET SHOWN IS "CRYSTAL CLEAN" MODEL # 646 JB BY CRYSTAL STREAM TECHNOLOGIES, INC. OF LAWRENCEVILLE, GA., 1-800-648-6945.
2. ALL PIPES SHALL BE CONSTRUCTED TO BE FLUSH WITH THE INSIDE WALLS.
3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PIPES AND STRUCTURES BETWEEN AND AROUND THE WATER QUALITY VAULTS.
4. ALL VAULT LIFTING CONNECTIONS SHALL BE LOCATED ON THE OUTSIDE OF THE VAULT WALLS.
5. CONCRETE VAULT PRE-CASTER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONCRETE VAULTS. WALL AND SLAB THICKNESSES SHALL BE ALTERED ACCORDINGLY.

**HYDRODYNAMIC DEVICE DETAIL  
NOT TO SCALE**



**SIDE VIEW**

**FRONT VIEW**

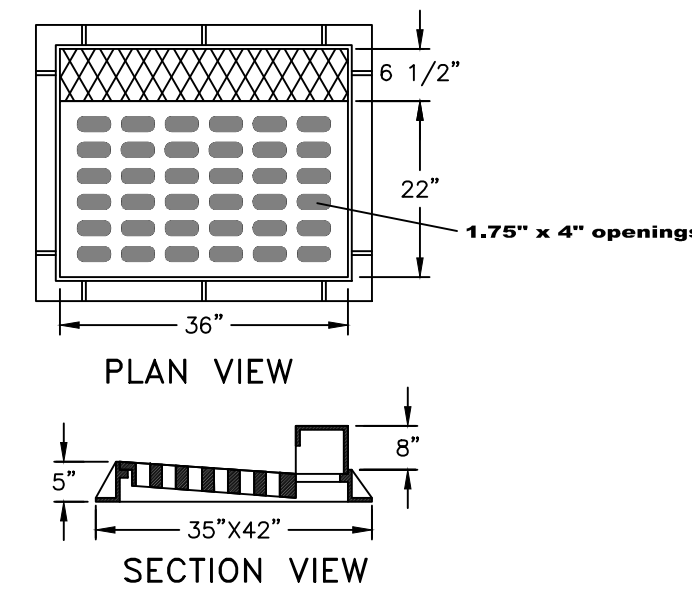
**OUTLET CONTROL STRUCTURE DATA**

OCS ID	STRUCTURE DIMENSIONS	LOW FLOW ORIFICE DIM. (IN)	"LF" (FT)	HIGH FLOW ORIFICE DIM. (IN)	# OF HIGH FLOW INLETS	"HF" (FT)	"T" (FT)	OUTLET PIPE Ø (IN)	"Op" (FT)	HIGH FLOW ORIFICE TRASH RACK PART #
15	4'x4' I.D.	6"Ø	198.5	6" x 36"	1	199.1	200.0	18	197.00	O20601

**NOTES:**

1. ALL TRASH RACKS SHALL HAVE UV PROTECTION MEETING OR EXCEEDING THE REQUIREMENTS OF ASTM D2565-99.
2. TRASH RACKS SHALL BE SECURED PER THE MANUFACTURER'S RECOMMENDATIONS.
3. WHERE HIGH FLOW ORIFICE EXTENDS TO TOP OF STRUCTURE, THE MAXIMUM ALLOWABLE GAP BETWEEN THE TRASH RACKS SHALL BE 4".

**INFILTRATION OUTLET CONTROL STRUCTURE DETAIL  
NOT TO SCALE**



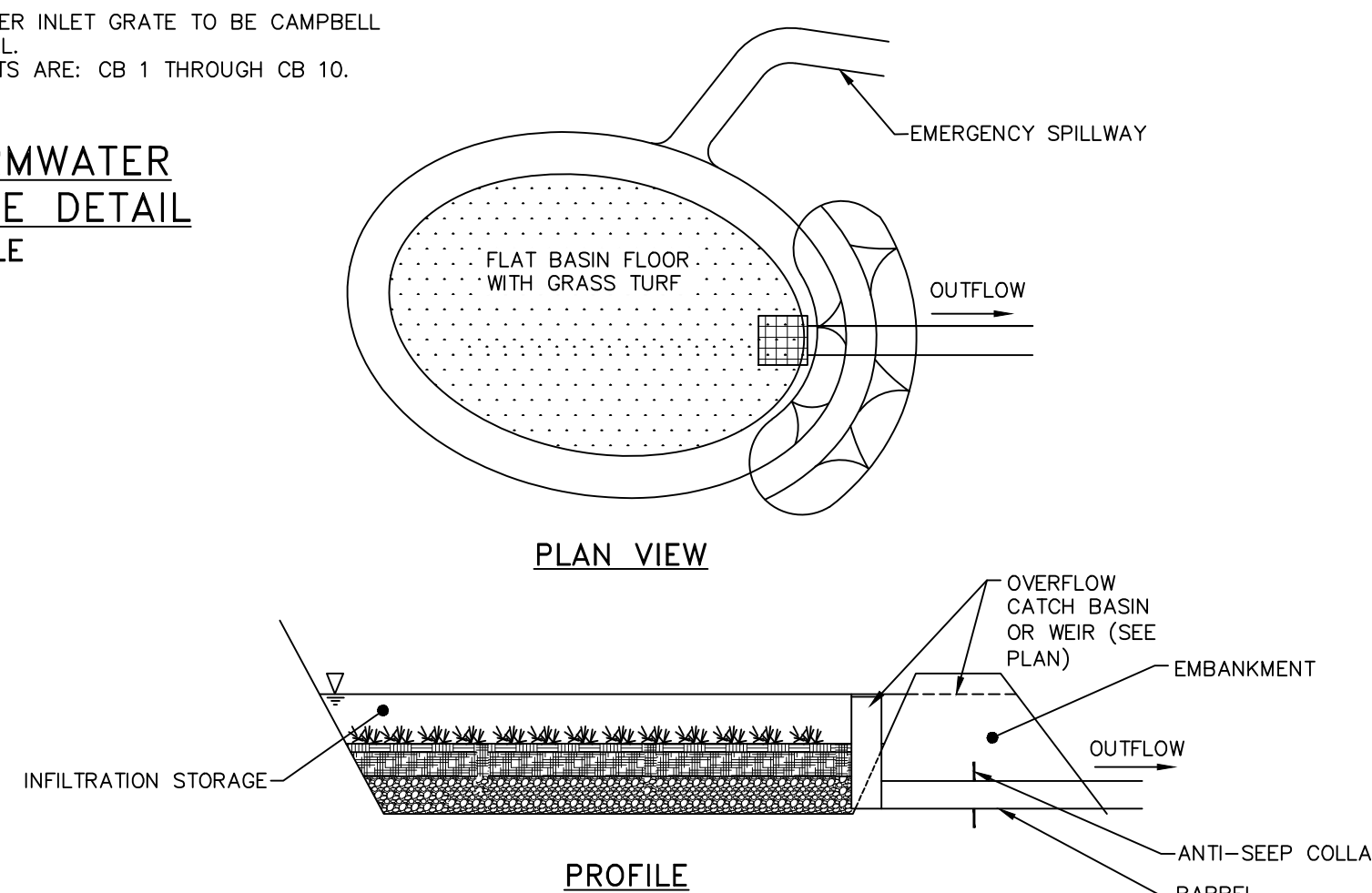
**NOTES:**

1. HEAVY DUTY RECTANGULAR STORMWATER INLET GRATE TO BE CAMPBELL FOUNDRY MODEL 2541, OR APPROVED EQUAL.
2. CATCH BASINS TO RECEIVE CURB INLETS ARE: CB 1 THROUGH CB 10.

**CAST IRON STORMWATER CURB INLET GRATE DETAIL  
NOT TO SCALE**

**LEGEND**

- ① EXPANDED ALUMINUM BASKET W/ 1/4" MESH LINING, 1'-6" H x 2'-0" L x 4'-0" W, UPFR 3'-6 3/4" FROM SUMP
- ② 2ND INTERNAL BAFFLE W/ 1" HOLES DRILLED AT 1 1/4" O.C., 4'-0" H.
- ③ SPILL PROTECTION RESERVOIR 5'-0" H, WITH A 1'-8" FRONT OUT.
- ④ 3/4" COCONUT FIBER FILTER IN ALUMINUM FRAME 1'-8" LONG.
- ⑤ 1/4" ALUMINUM PLATE, 9" H., 1'-11" WIDE.



**NOTES:**

1. THE INFILTRATION BASIN SHALL NOT SERVE AS A SEDIMENT TRAP DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
2. RELATIVELY LIGHT TRACKED EQUIPMENT IS RECOMMENDED FOR CONSTRUCTION PURPOSES TO AVOID COMPACTION OF THE BASIN FLOOR.
3. A HIGHLY POROUS SURFACE TEXTURE SHALL BE RETAINED ALONG THE BASIN FLOOR, ESPECIALLY WITHIN THE AREA IDENTIFIED AS BEING USED FOR INFILTRATION.
4. ESTABLISH DENSE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR TO PREVENT EROSION AND SLOUGHING AND TO PROVIDE A NATURAL MEANS OF MAINTAINING RELATIVELY HIGH INFILTRATION RATES. GRASSES OF THE FESCUE FAMILY (ALTAI FESCUE, WESTERN FESCUE OR RED FESCUE) ARE SPECIFIED ON THIS PLAN, PRIMARILY DUE TO THEIR ADAPTABILITY TO DRY SANDY SOILS, DROUGHT RESISTANCE, HARDINESS, AND ABILITY TO WITHSTAND BRIEF INUNDATIONS. FESCUE WILL ALSO ALLOW FOR LONG INTERVALS BETWEEN MOWINGS, WHICH SHALL OCCUR TWICE PER YEAR MINIMUM, TYPICALLY IN JUNE AND SEPTEMBER IS SATISFACTORY.
5. THE BERMS SHALL BE SUFFICIENTLY COMPACTED AND OF SUCH MATERIAL TO PREVENT SEEPAGE.

**TYPICAL INFILTRATION BASIN DETAIL  
NOT TO SCALE**

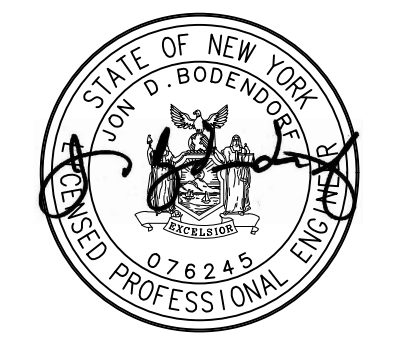
DRAWN BY: JDB CHECKED BY: MAB JOB NO.: 2015-025

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB
2	03/27/18	PER PLANNING BOARD COMMENTS	JDB
3	05/29/18	PER PLANNING BOARD COMMENTS	AG

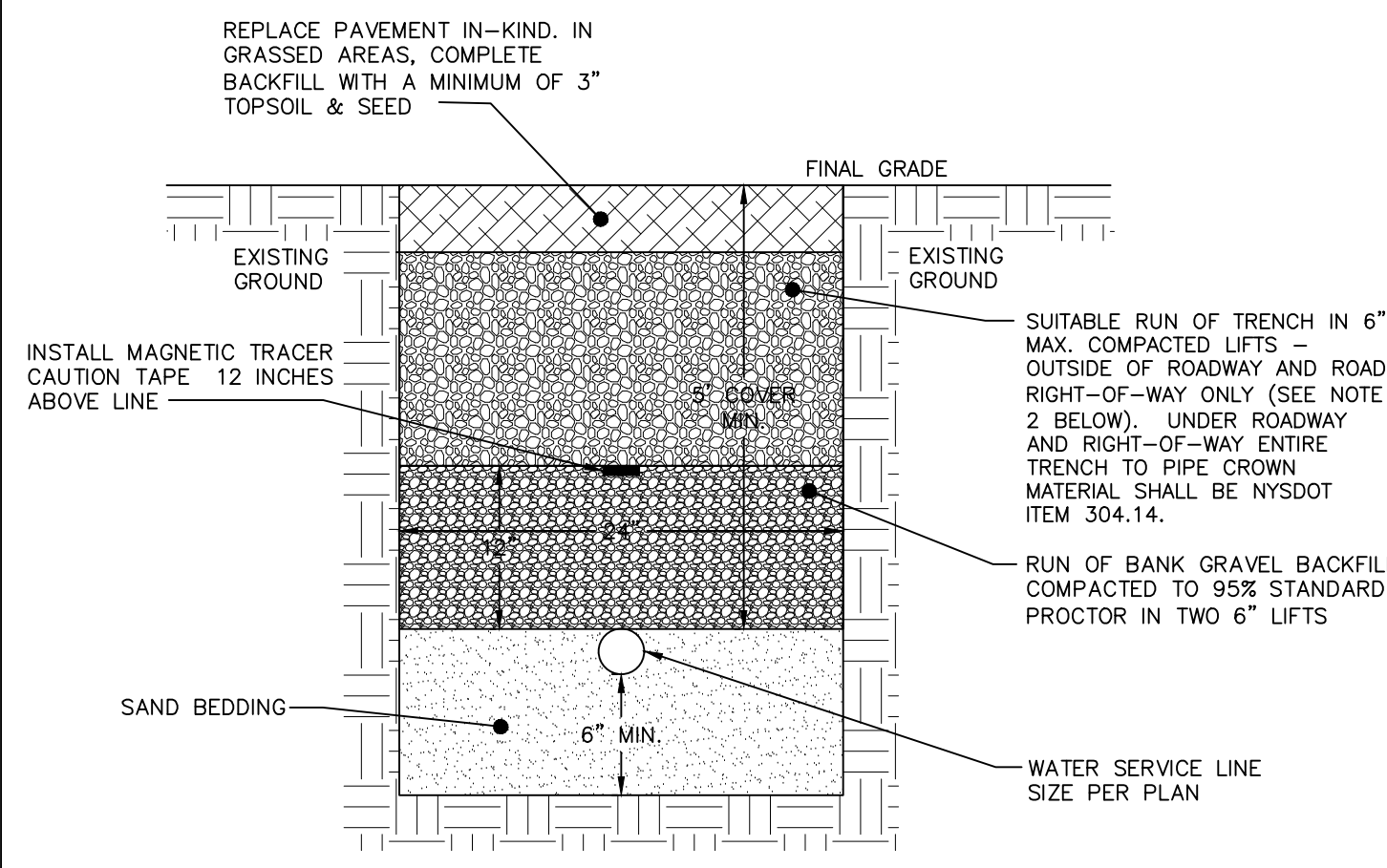
**CONSTRUCTION DETAILS  
25 TOWNSEND STREET**

25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-03-383149  
SCALE: AS SHOWN  
DECEMBER 7, 2015

**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637

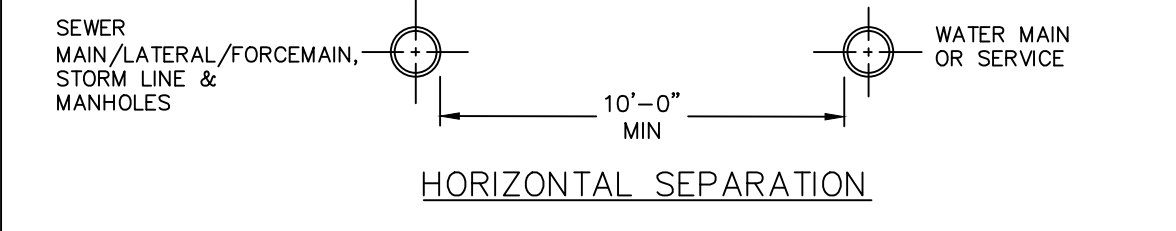
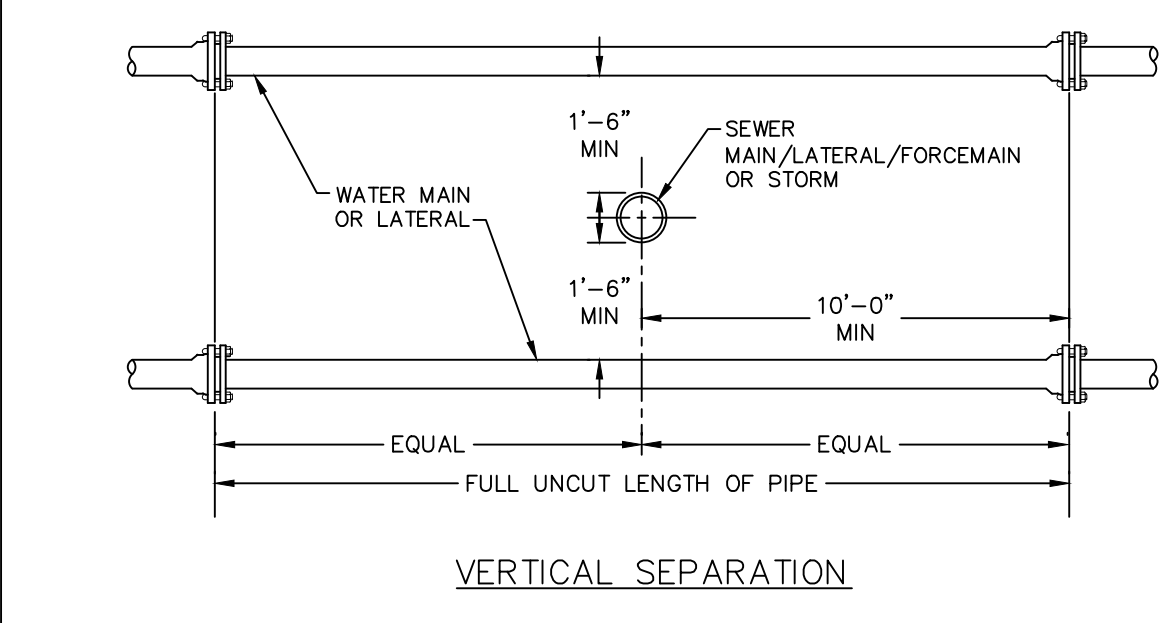


SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOHLER, P.E.  
NYS LICENSE NO. 082716



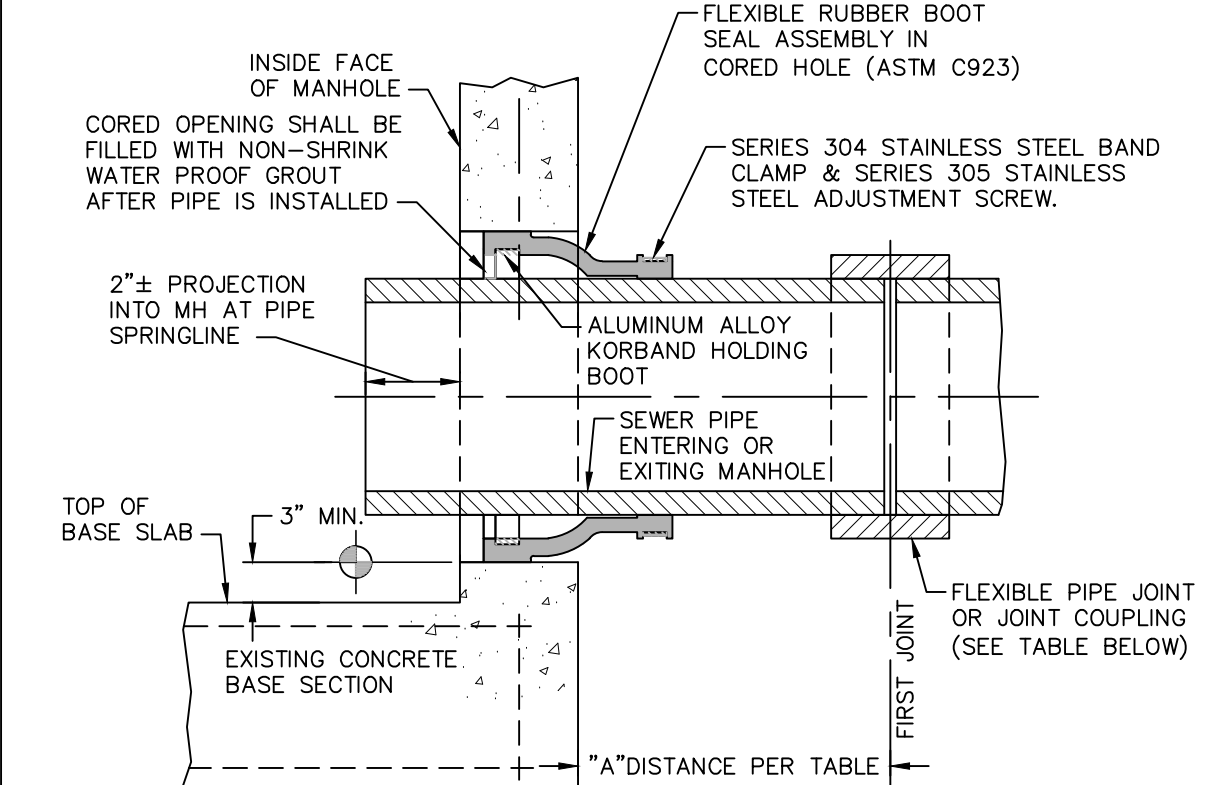
- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
  - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
  - IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.

**WATER SERVICE LINE TRENCH DETAIL**  
NOT TO SCALE



- NOTE:**
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

**WATER LINE SEPARATION DETAIL**  
NOT TO SCALE



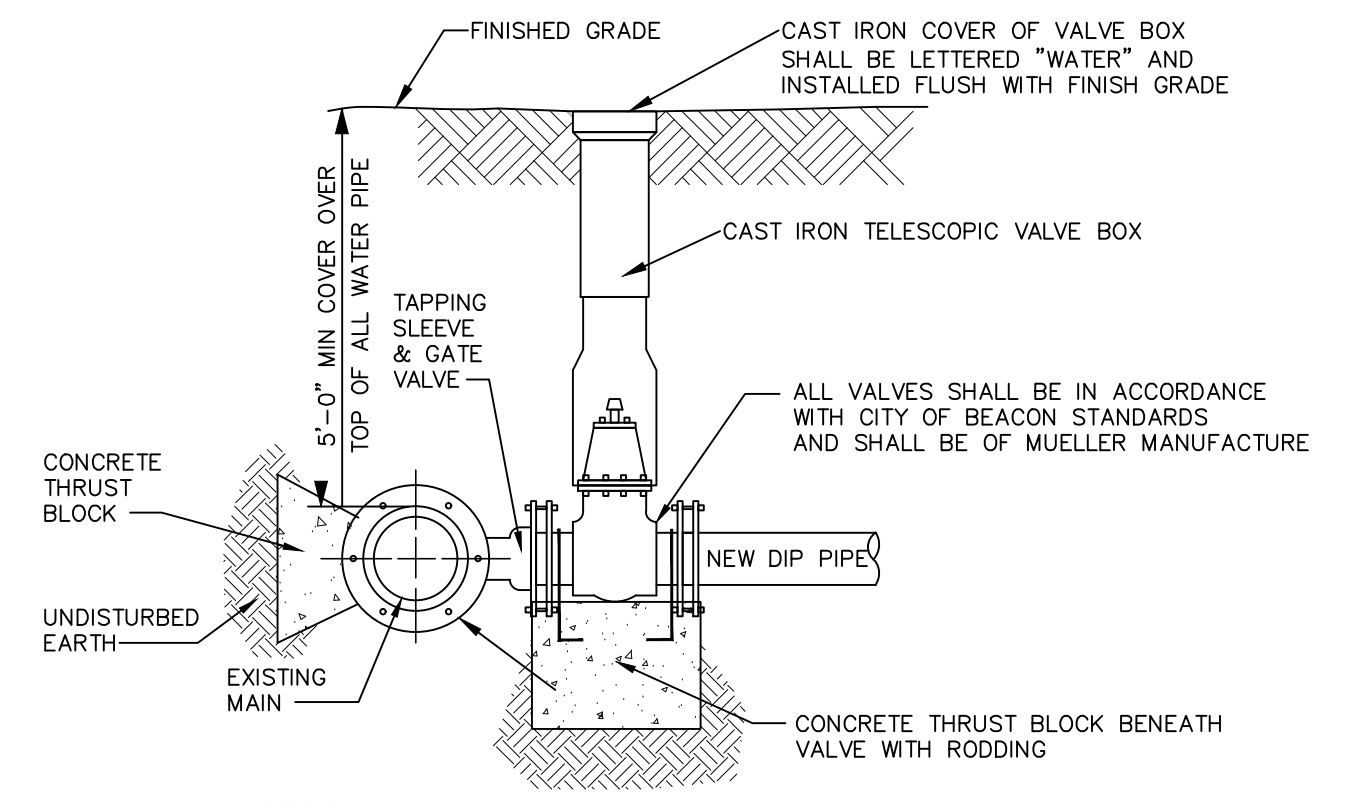
**FLEXIBLE JOINT REQUIREMENTS**

SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	"A" DISTANCE (FEET)
DUCTILE IRON	STD RUBBER GASKET PIPE JOINT ONLY	10' MAX
PVC	STD RUBBER GASKET PIPE JOINT ONLY	3' MAX

**NOTE:**

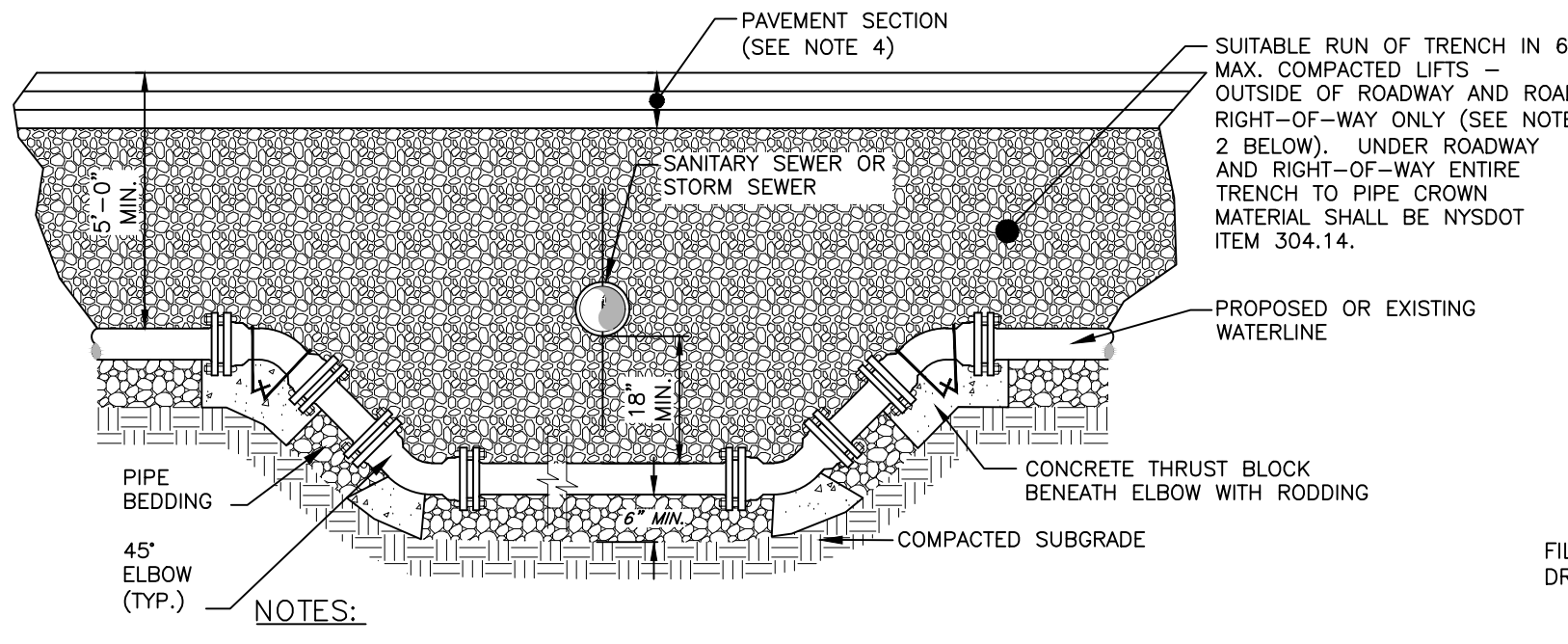
REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

**CORED HOLE AND INSERTED BOOT DETAIL**  
NOT TO SCALE



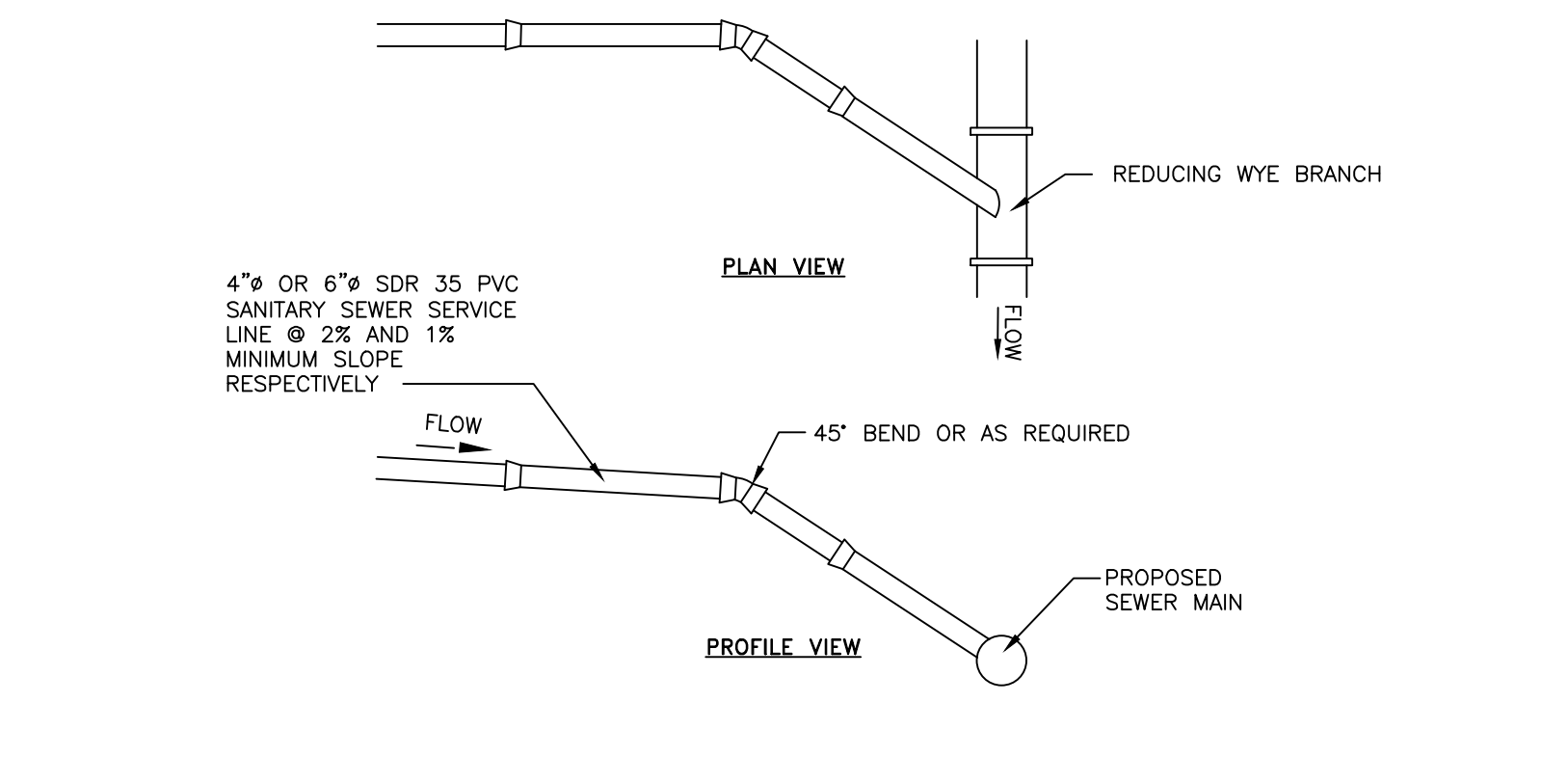
- NOTES:**
- ALL VALVES SHALL OPEN BY TURNING LEFT (COUNTERCLOCKWISE) AND HAVE A 2-INCH SQUARE-OPERATING NUT PAINTED RED.
  - ALL VALVES SHALL BE M.J. RESILIENT WEDGE TYPE WITH "O" RING PACKING, DESIGNED FOR A WORKING PRESSURE OF 150 PSI AND BE IN FULL CONFORMANCE WITH AWWA C500.
  - TAPPING SLEEVE AND GATE VALVE SHOWN ARE MUELLER H-615, AND T-2630 RESPECTIVELY.

**TAPPING SLEEVE DETAIL**  
NOT TO SCALE



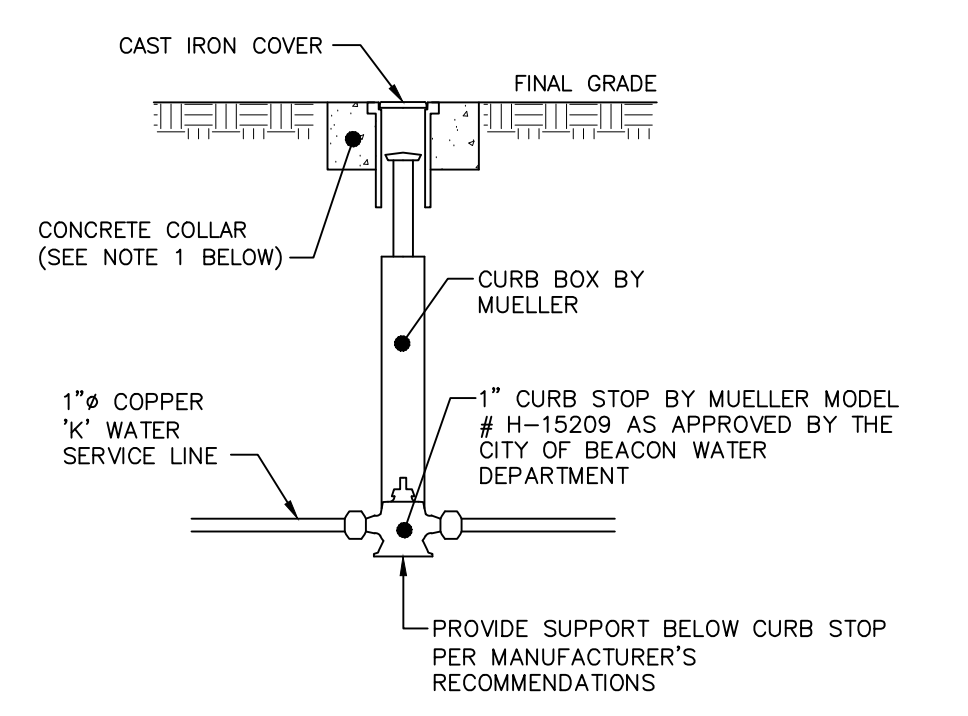
- NOTES:**
- WHEN THE ELEVATION OF THE SANITARY OR STORM SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER SERVICE LINE OR MAIN SHALL BE RELOCATED TO PROVIDE THIS REQUIRED SEPARATION OR RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATERMAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AWAY FROM THE SEWER AS POSSIBLE.
  - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
  - THE RELOCATED WATER MAIN/SERVICE LINE SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA, NYS DOH AND DCOH STANDARDS.
  - PAVEMENT RESTORATION SHALL BE IN ACCORDANCE WITH THE PAVEMENT RESTORATION DETAIL.
  - ALL REPLACED WATERMAIN SHALL BE 12" CLASS 52 DUCTILE IRON.

**WATER LINE OFFSET SET DETAIL**  
NOT TO SCALE



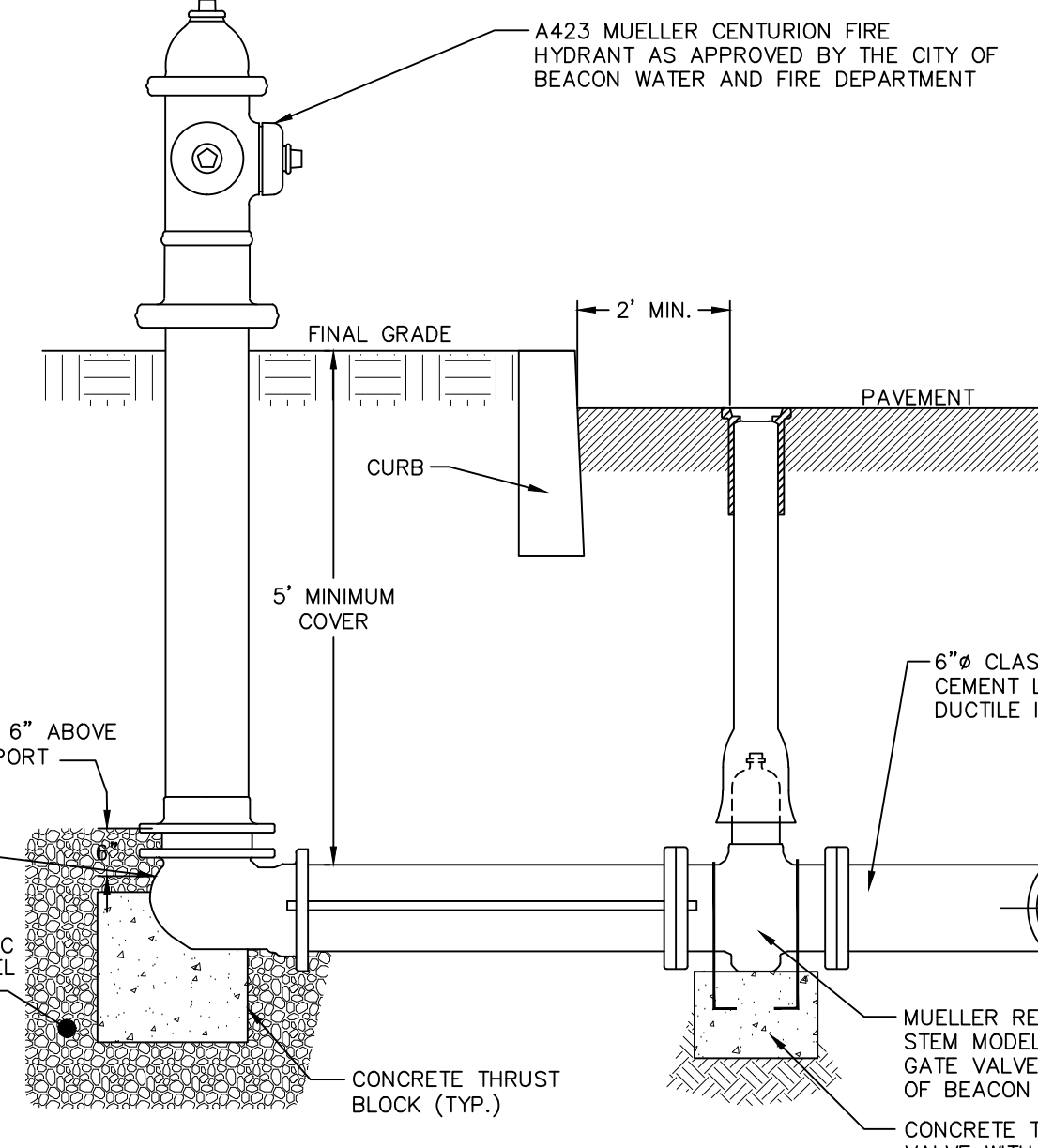
- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
  - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

**SANITARY SEWER SERVICE CONNECTION DETAIL**  
NOT TO SCALE



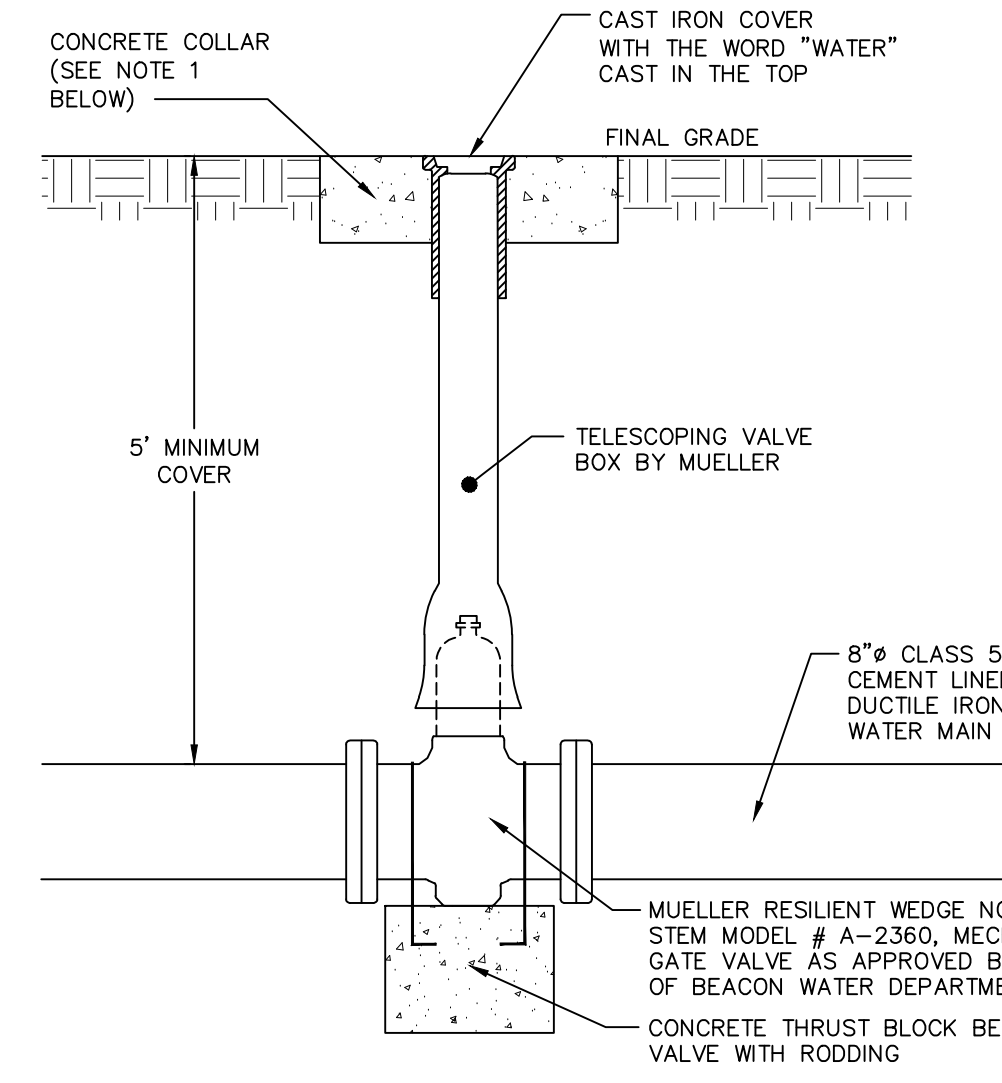
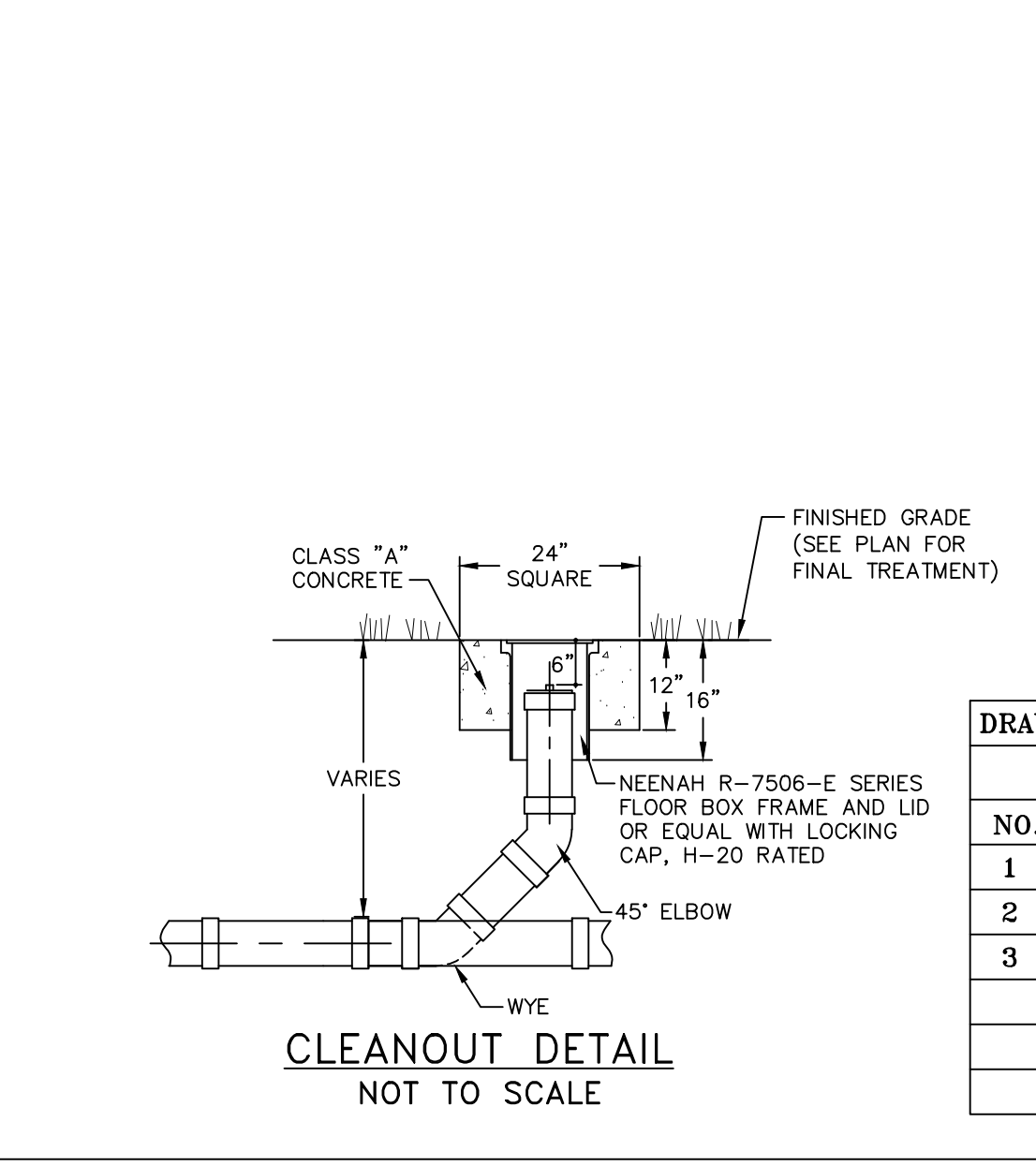
- NOTES:**
- CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.
  - CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
  - AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.

**WATER SHUT-OFF VALVE DETAIL**  
NOT TO SCALE



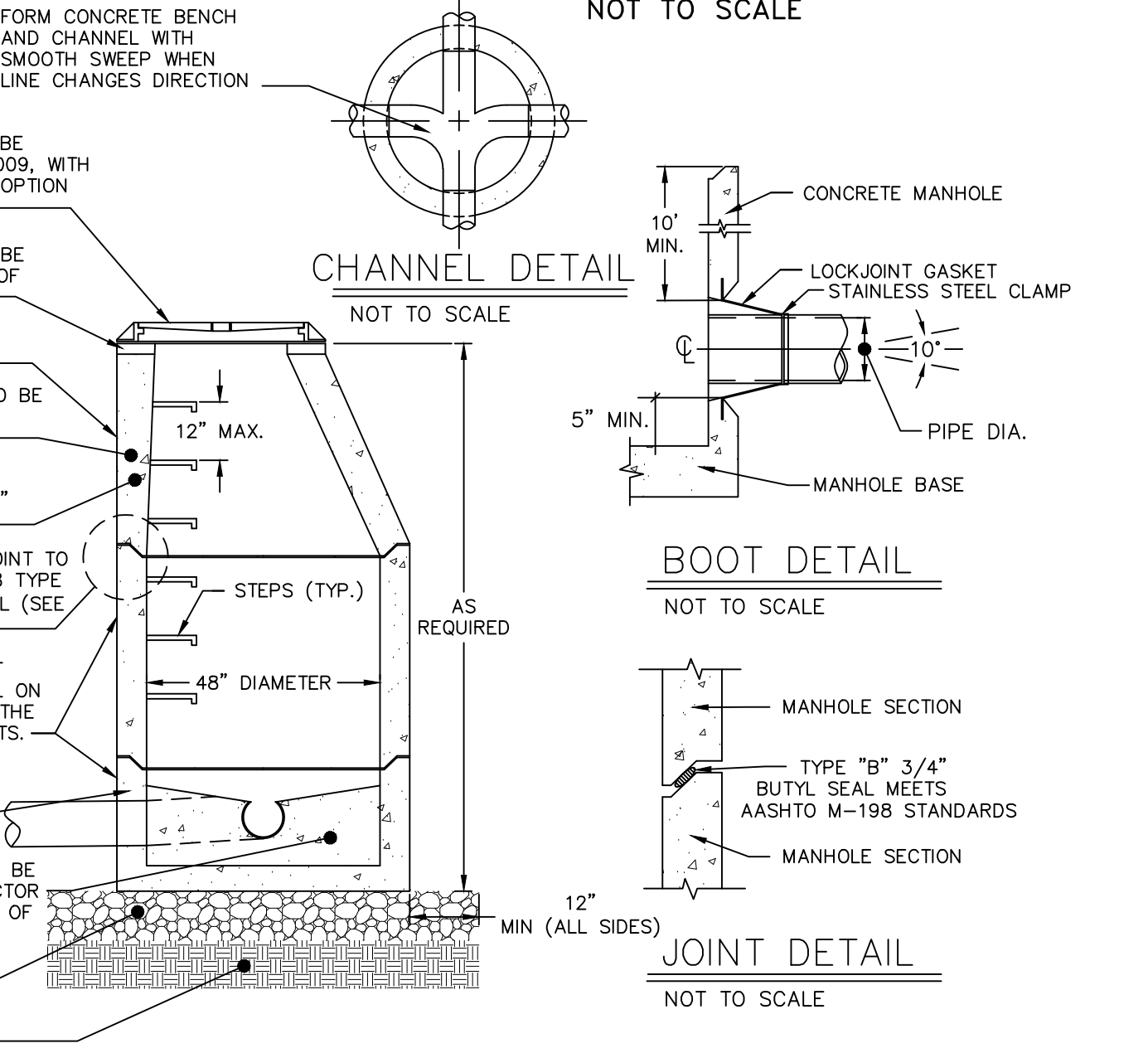
- NOTES:**
- THE GATE VALVE SHALL BE LOCATED THIRTY SIX (36) INCHES FROM THE HYDRANT CENTER LINE.
  - 1/2" STEEL TIE RODS TO BE PROVIDED BETWEEN THE GATE VALVE AND THE HYDRANT.

**HYDRANT DETAIL**  
NOT TO SCALE



- NOTES:**
- CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.

**GATE VALVE DETAIL**  
NOT TO SCALE



- NOTES:**
- PIPE CONNECTION TO BE STANDARD "LOCKJOINT" BOOT 5" OFF BASE OF MANHOLE (SEE DETAIL).
  - CONCRETE STRENGTH OF MANHOLE COMPONENTS TO BE 4000 PSI @ 28 DAYS IN ACCORDANCE WITH ASTM C-478-86.
  - STEEL REINFORCEMENT OF MANHOLE COMPONENTS TO MEET ASTM A615-A497 REQUIREMENTS.
  - LOADING OF MANHOLE COMPONENTS TO MEET H-20 REQUIREMENTS.
  - CONCRETE USED IN MANHOLE COMPONENTS TO CONTAIN 6% AIR ENTRAINMENT.
  - 4" MAXIMUM FROM MANHOLE TO PIPE JOINT.

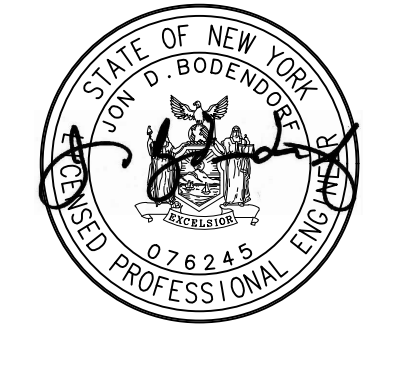
**PRE-CAST CONCRETE SANITARY MANHOLE DETAIL**  
NOT TO SCALE

**CONSTRUCTION DETAILS**  
**25 TOWNSEND STREET**

25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-03-383149  
SCALE: AS SHOWN  
DECEMBER 7, 2015



HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOHLER, P.E.  
NYS LICENSE NO. 082716

DRAWN BY: JDB		CHECKED BY: MAB		JOB NO.: 2015-025	
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB		
2	03/27/18	PER PLANNING BOARD COMMENTS	JDB		
3	05/29/18	PER PLANNING BOARD COMMENTS	AG		

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**St. Luke's Church / Hudson Hills Academy**

**Subject:**

Public hearing for SEQRA Environmental Review on applications for Subdivision Approval, Site Plan Approval, and Special Use Permit Approval, private school (Hudson Hills Academy), 850 Wolcott Avenue, submitted by St. Luke's Episcopal Church

**Background:**

**ATTACHMENTS:**

Description	Type
850 Wolcott Architect Cover Letter	Cover Memo/Letter
850 Wolcott Project Narrative	Backup Material
850 Wolcott Long EAF	EAF
850 Wolcott Sheet 1 Site Plan	Plans
850 Wolcott Sheet 2 Existing Conditions	Plans
850 Wolcott Sheet 3 Lighting & Landscaping	Plans
850 Wolcott Sheet 4 Plans & Exterior Views	Plans

# ARYEH SIEGEL

ARCHITECT

John Gunn - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 850 Wolcott Avenue – St. Lukes Church / Hudson Hills Academy**  
*Special Use Permit Application – Comment Letters*

May 29, 2018

Dear Mr. Gunn & Board Members,

Please find below the Applicant's response to John Clarke Planning & Design comments in his Memorandum dated May 2, 2018; and in Lanc & Tully's Memorandum dated April 30, 2018 regarding the St. Lukes Church / Hudson Hills Academy application. Hudson Land Design will provide a separate letter in response to Engineering comments.

## **John Clarke Planning & Design Comment Responses:**

1. Comment acknowledged. The EAF has been updated and resubmitted with this submission
2. The lot areas have been coordinated throughout the drawings and tables
3. The setbacks have been coordinated throughout the drawings
4. The Applicant proposes to leave the existing chain link fence in place due to cost concerns. The applicant proposes to change the existing window glass in the addition portion of the building to insulated glass. This will have no effect on the appearance since it's only the glass that is proposed to be replaced. The replacement will happen over time as funds become available.
5. There is a minimal number of students who will walk to school. The Applicant requests that the need for a crosswalk across Rector Street be evaluated.
6. The Church has stated that the existing parking lot lighting has always been adequate for their needs. Since the school is a daytime use, the Applicants state that they believe additional lighting is not required.
7. The parking agreement between the Church and the school is understood to permit the school to use parking on the Church property for school functions involving additional visitors. The Applicant's attorney is preparing declaration of restrictive covenants related to shared uses on

# ARYEH SIEGEL

ARCHITECT

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the site.

8. Comment acknowledged. The project requires a Special Use Permit.
9. The large tree in front of the school will be evaluated by an arborist. The proposed landscaping along Rector Street has been shifted to be more in front of the playground area. The landscape table has been updated to reflect 11 arbor vitae instead of 8.
10. Comment acknowledged.

## **Lanc & Tully Comment Responses:**

### **General Comments**

1. Hudson Land Design has been retained to provide the requested Inflow & Infiltration Study. The plans will be updated per the report, and a note granting access to the building department will be shown on the plans as well.

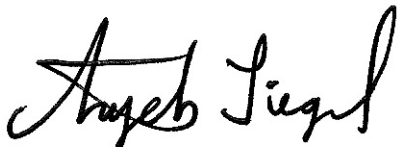
### **Subdivision Plat**

1. The Applicant's attorney is preparing declaration of restrictive covenants related to shared uses on the site.
2. The surveyor will update the plat to include the location of existing utilities.

### **Site Plan (Sheet 1 of 4)**

1. The Index of Drawings has been corrected
2. The surveyor will update the plat to include the location of existing utilities.
3. Traffic signs have been added to the plan, along with details
4. Signage details for the ADA parking spaces have been added to the plan
5. Existing pole mounted light fixtures are now shown on the plan. No additional lighting is proposed

Thank you. Please let me know if you have any questions.



Sincerely,

# ARYEH SIEGEL

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ARCHITECT

Aryeh Siegel  
*Aryeh Siegel, Architect*

### Project Narrative

St. Luke's Episcopal Church / Hudson Hills Academy  
*Subdivision / Site Plan Special Use Permit Applications*

May 25, 2018

#### **Project Summary**

St. Luke's Episcopal Church is applying to subdivide their property in order to lease the Church school building to Hudson Hills Academy, a private school currently operating at their Hanna Lane location in Beacon. This lease arrangement allows for the continued use and maintenance of the school building and will generate income for the Church that will help them offset the cost of upkeep for the remainder of the Church buildings and property.

The Church is dedicated to maintaining the original historical site plan, landscaping, and traffic patterns that have remained unchanged since the Church opened in 1869.

There are 4 parts to this application:

1. **Subdivision of St. Luke's Episcopal Church**

The subdivision of the property allows Hudson Hills Academy to use the existing Church school building as a private school. The subdivision is required because there can only be one principal building on each lot. Previously, the school building was accessory to the Church. Now that it is proposed to be a private school, it needs to be on its own property.

2. **Site Plan Review – St. Luke's Episcopal Church**

The Site Plan review is necessary to demonstrate that the remaining 8.8 acres Church property still meets Zoning Code after the 1-acre parcel is subdivided off to be leased to Hudson Hills Academy

3. **Site Plan Review – Hudson Hills Academy**

The Site Plan review is necessary to demonstrate that the newly created 1-acre parcel to be used by Hudson Hills Academy meets Zoning Code.

4. **Special Use Permit – Hudson Hills Academy**

The private school use is allowable in the R1-5 Zoning District by Special Use Permit



# ARYEH SIEGEL

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ARCHITECT

## **St. Luke's Episcopal Church**

St. Luke's Church was design by the renowned architect Frederick Clarke Withers, and built in 1869. The Church is listed on the National Register of Historic Places. The buildings, cemetery, and grounds were designed by Henry Winthrop Sargent. The school building is not considered to be a contributing factor in the historic designation due to the large addition constructed in the 1950s. In addition to the Church and school, there is also a Rectory building and a modern concrete block garage on the property.

The Church does not plan for any changes to their property after the subdivision.

## **Hudson Hills Academy**

Hudson Hills Academy intends to open a private school in the existing building on the subdivided parcel. Hudson Hills Academy foresees a total of approximately 85 students, 8 to 10 of which will be toddlers. The toddler classroom meets the requirements to be classified as a standard Education use because of the limited number of students, and the fact that it meets the required Building Code provisions.

The school does not expect the number of students to change significantly over time. The school year generally follows the public school schedule, with classes from September through June. There are approximately 12 teachers and administrators.

## **Student Arrival & Departure**

Most students will arrive by bus. There will normally be 4 school buses arriving at the existing Rector Street entrance in the morning at 8:20am. The buses will unload students in the bus loading area adjacent to the school entrance, and will leave the property at approximately 8:30am using the existing Wolcott Avenue entrance.

Buses will return at 3:15 pm for student pick up after school dismissal.

It is anticipated that the majority of students will travel to and from school by bus. The school anticipates no more than 6 - 8 students being driven to and from school in cars. The arrival and dismissal traffic are coordinated and supervised by school personnel, and the available parking and loading space in the existing parking lot will accommodate the travel needs of the students and teachers.

Parking on the property is shared between the Church and the School. For the overwhelming majority of the time, the Church and School schedules do not overlap, and parking can be dedicated to one use or the other. The Church is able to coordinate schedules and provide overflow parking on their lawns should the need ever arise.

There should be little impact on local traffic since there are only 4 buses, twice a day. The buses are on the property for a limited amount of time. Discrete signage will direct visitors to the Church and School.

All of the internal drives have historically supported 2-way traffic and will continue to do so. Stop signs will be installed at the drive exit points.

### **School Building & Grounds**

The school plans for minor renovation and cleanup inside the existing building. Very little will change at the exterior of the building or the site. The school plans to replace the single pane glass in the addition windows over time, but this will have no visual impact to the building since only the glass material will be replaced within the existing window frames. There will be a toddler playground in the existing fenced in play area. There will be a playground for the older students on the side of the building away from Rector Street.

A painted crosswalk will be installed across the entry at Rector Street. A stone dust path, similar to the Greenway Trail paths along the Fishkill Creek, will be installed between the Rector Street entrance and the school building entrance, for the rare occasions that people walk to the school.

Landscaping will be added to screen the school yard from Rector Street, and to shield views of the cemetery from the school and playground.

This application represents an opportunity for the Church to have the school building continue to be occupied by a compatible use consistent with its historic use, and to generate additional income to be used to maintain the overall landmark property. The school and the Church are both non-profit institutions, and must focus their limited resources carefully to allow for the continued maintenance of the historic property.

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Hudson Hills Academy		
Project Location (describe, and attach a general location map): 850 Wolcott Avenue (Route 9D), at Rector Street		
Brief Description of Proposed Action (include purpose or need): Change of use to Private School		
Name of Applicant/Sponsor: Hudson Hills Academy		Telephone: 845.831.1100
		E-Mail: <a href="mailto:asmasiddiqui@hudsonhills.org">asmasiddiqui@hudsonhills.org</a>
Address: 12 Hanna Lane		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Same as Sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): St. Lukes Episcopal Church		Telephone: 801-793-7376
		E-Mail: <a href="mailto:beaconrev@gmail.com">beaconrev@gmail.com</a>
Address: 850 Wolcott Avenue		
City/PO: Beacon	State: NY	Zip Code: 12508

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	City Council - Special Use Permit	May 2018 (projected)
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board - Site Plan Applications	March 2018 (actual)
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
R1-7.5, Historic Overlay District

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?  
City of Beacon Police Department

c. Which fire protection and emergency medical services serve the project site?  
City of Beacon Fire Department, EMS

d. What parks serve the project site?  
Memorial park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Private School

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 1.26 acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ 0 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 1.26 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Private School proposed, Church to remain  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? 2  
 iv. Minimum and maximum proposed lot sizes? Minimum 55,000 sf Maximum 375,206 sf

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 200 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: City of Beacon
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_  
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No  
 iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

---

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 8am - 4pm</li> <li>• Saturday: _____ N/A</li> <li>• Sunday: _____ N/A</li> <li>• Holidays: _____ N/A</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration: \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Parking lot lighting \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.09 acres	1.09 acres	
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	7.99 acres	7.99 acres	
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 314044 , C314118, 546031  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 8 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Knickerbocker-Urban Land \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 6 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:

i. Name of aquifer: Principal Aquifer \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 N/A \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District</p> <p>ii. Name: <u>St. Luke's Episcopal Church Complex</u></p> <p>iii. Brief description of attributes on which listing is based: <u>Historic Building</u></p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>

**F. Additional Information**


Attach any additional information which may be needed to clarify your project.

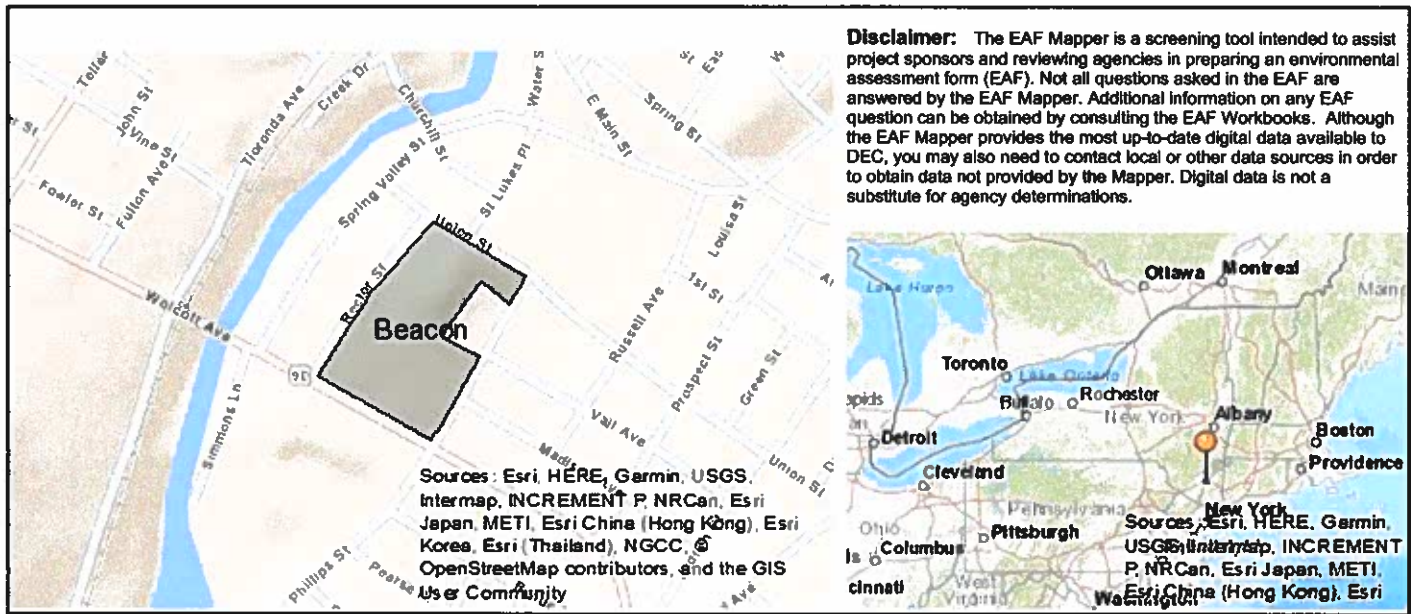
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Asma Siddiqui / Hudson Hills Academy Date March 27, 2018

Signature  Title \_\_\_\_\_

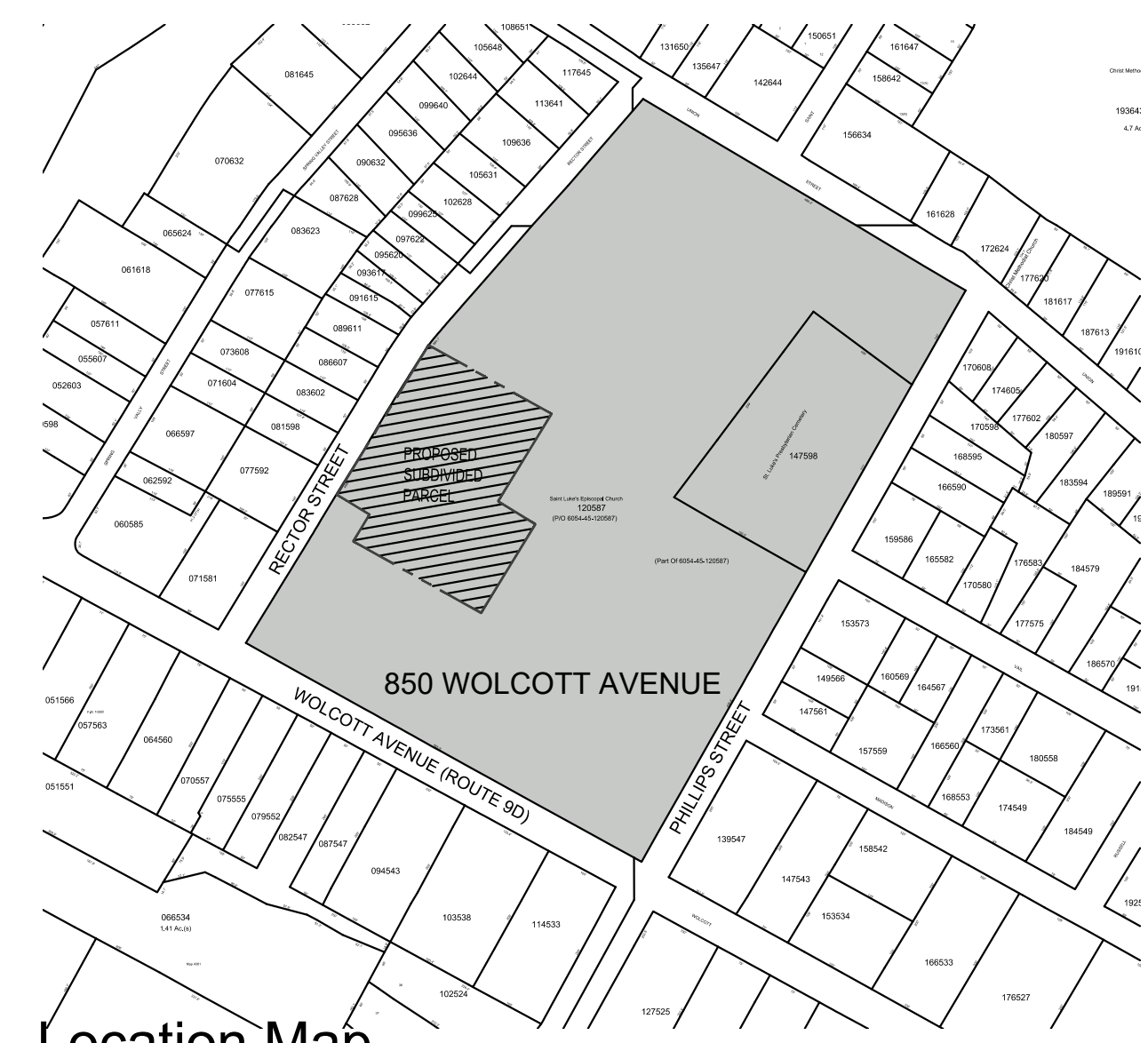
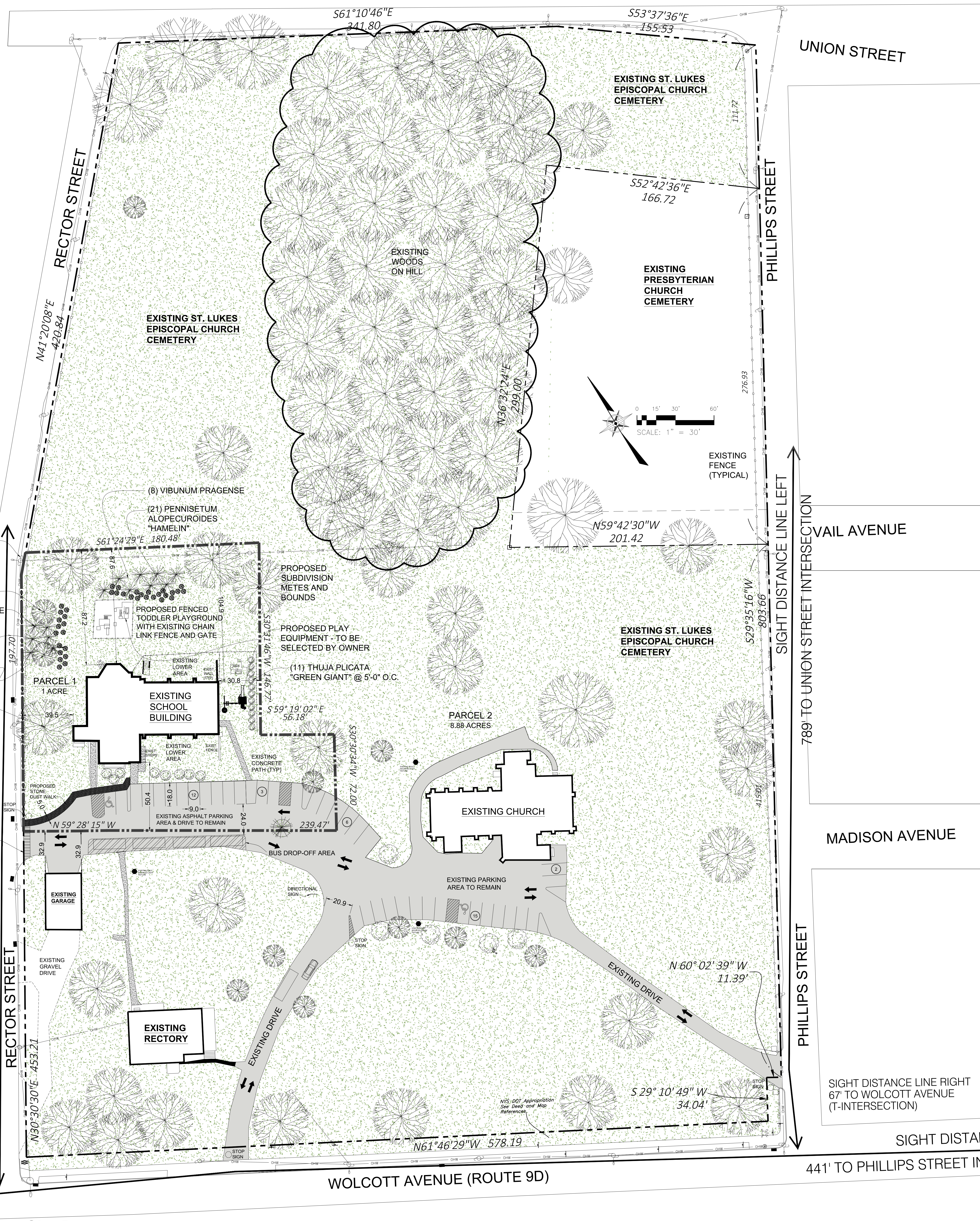


B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	314044 , C314118, 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No



E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	St. Luke's Episcopal Church Complex
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

PER CITY OF BEACON GUIDELINES, THE REQUIRED SIGHT DISTANCES SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. NOTE THAT THE 3 DRIVEWAY ENTRANCES AND ASSOCIATED SITE DISTANCES ARE EXISTING



#### Hudson Hills Academy

**Zoning Summary**

Zoning District:	R1-7.5
Tax Map No.:	6054-45-120587
Lot Area:	1.00 acre (43,560 sq ft)
Building Footprint:	5,438 sq ft Church (2,272 sq ft - Rectory) 1,226 sq ft - Garage = 9,349 sq ft Total
Historical Overlay District:	Yes
Historical Overlay District:	Church School
Proposed Use:	Private School

**Parking & Loading**

Use & Parking Requirements	Area / Count	Parking Requirement
Primary or Secondary School 1 per employee plus 1 per 5 students in the 11th grade or above, or 1 per 4 assembly seats, whichever is greater.	12 Employees	12 spaces
<b>Total Required Parking Spaces</b>		<b>12 spaces</b>
<b>Total Proposed Parking Spaces</b>		<b>16 spaces (on subdivided parcel)</b>

#### St. Lukes Episcopal Church

**Zoning Summary**

Zoning District:	R1-7.5
Tax Map No.:	6054-45-120587
Lot Area:	9.88 acres (430,142 sq ft)
Building Footprint:	5,851 sq ft Church (2,772 sq ft - Rectory) 1,226 sq ft - Garage = 9,349 sq ft Total
Historical Overlay District:	Yes
Historical Overlay District:	Church and School
Proposed Use:	Church (School building to be subdivided off)

**Parking & Loading**

Use & Parking Requirements	Area / Count	Parking Requirement
Place of Worship 1 space for each 4 seats or pew spaces (1964 requirement was 1 space for each 5 seats)	150 pew spaces	38 spaces (30 spaces in 1964)
<b>Total Required Parking Spaces</b>		<b>38 spaces</b>
<b>Total Proposed Parking Spaces</b>		<b>40 spaces (See Notes 3,4)</b>

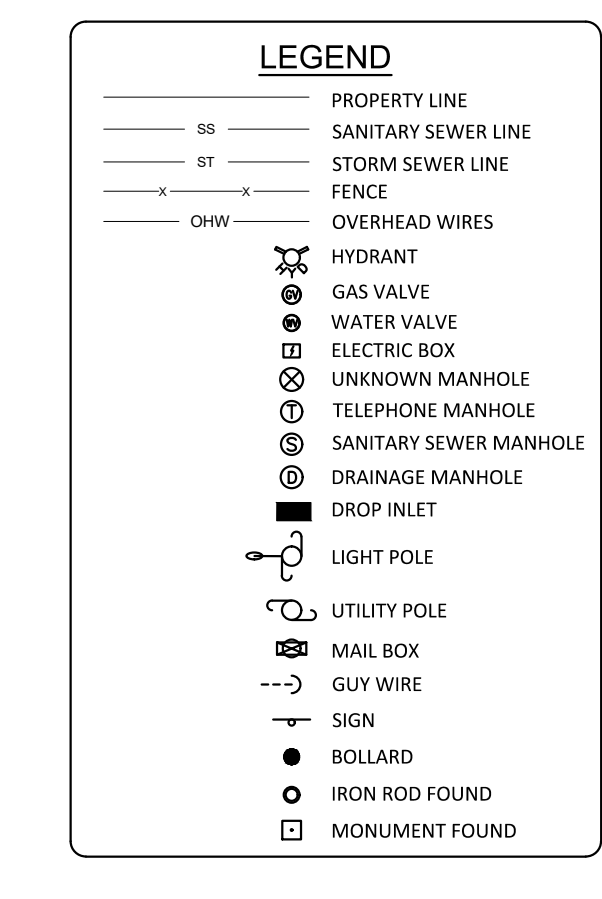
- Notes:**
- The application is for a Special Use Permit and Site Plan approval for the parcel to be subdivided from the larger St. Lukes Episcopal Church property.
  - The Applicant will apply for a Special Use Permit from the City Council upon referral by the Planning Board.
  - The proposed new parcel complies with Zoning Code. The Private School use is allowed by Special Use Permit in the R1-7.5 Zoning District.
  - Per the lease agreement between St. Lukes Episcopal Church and Hudson Hills Academy, the lessee of the subdivided property will have the school building, all the parking spaces on the School parcel will be available to the Church on Sundays and Church Holidays.
  - Cars will enter and exit at the existing Rector Street entrance.
  - School buses will enter on Wolcott Avenue and exit on Rector Street.
  - One sign at the Rector Street Entrance is proposed. The sign will comply with requirements for signs in a residential district. Per 223-15(c). For other permitted uses, one sign at each street frontage where the use has an access drive, provided that the total area of such sign does not exceed 50 square feet.
  - No change is proposed to the existing School Building exterior, apart from replacing existing single pane windows with double glazed insulated windows in the existing openings.
  - Trash will be stored in the Building and taken out to the curb on trash pickup days. The School will contract with Royal Carting to schedule trash pickups as required.
  - No change is proposed as part of this application.
  - There is no change to the existing trash storage and pickup.

#### Zoning Regulations Table - Hudson Hills Academy Parcel

Zoning District	Required Setbacks			Proposed Setbacks			Minimum Lot Area	Proposed Lot Area	Minimum Lot Width	Minimum Lot Depth	Proposed Lot Width	Proposed Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories
	Front	Side	Rear	Front	Side	Rear													
R1-7.5	30'	10'	30'	50.4'	39.5'	87.6'	7,500 sq ft	43,983.00 sq ft	75'	100'	189'	220.75'	30%	10%	None	30'	Existing no change	2 1/2	2 no change

#### Zoning Regulations Table - St. Lukes Episcopal Church Parcel

Zoning District	Required Setbacks			Existing Setbacks			Minimum Lot Area	Actual Lot Area after subdivision	Minimum Lot Width	Minimum Lot Depth	Proposed Lot Width	Proposed Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories
	Front	Side	Rear	Front	Side	Rear													
R1-7.5	30'	10'	30'	210'	77'	592'	7,500 sq ft	386,804 sq ft	75'	100'	342'	862'	30%	2%	None	30'	Existing no change	2 1/2	1 no change



### Index of Drawings

Sheet 1 of 4	Subdivision Plat
Sheet 2 of 4	Site Plan
Sheet 3 of 4	Existing Conditions Survey
Sheet 4 of 4	Landscaping Plan - Hudson Hills Academy
Sheet 4 of 4	Floor Plans & Elevations

### REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS
2	05/29/18	REVISED PER PLANNING BOARD COMMENTS	AJS

**Site Plan**  
Scale: 1" = 30'

# Sub-Division, Site Plan & Special Use Permit Application

Sheet 1 of 4 - Site Plan

Owner / Applicant for Subdivision and Site Plan:  
**St. Lukes Episcopal Church**  
850 Wolcott Avenue  
Beacon, NY 12508

Applicant / Lessee for Special Use Permit for School:  
**Hudson Hills Academy**  
12 Hanna Lane  
Beacon, NY 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Surveyor:  
**TEC Surveying**  
15C Tioronda Avenue  
Beacon, New York 12508

**850 Wolcott Avenue**  
St. Lukes Episcopal Church & Hudson Hills Academy  
Beacon, New York  
Scale: 1" = 30'  
March 27, 2018

**SURVEY NOTES**

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.
11. Historical mapping and deeds show property lines to centerline of adjoining streets. Other historical deeds describe street dedications. Street lines as per deeds with dedications are shown hereon based on public usage.

**MAP REFERENCE**

Survey shown hereon depicts lot(s) as shown on a map entitled "Property of Saint Lukes Church" prepared by G.R. Hustis dated December 31, 1956.

NYS DOT Map No. 55, Parcel 61 - Walcott Avenue Dated July 5 2002.

NYS DOT Map No. 56, Parcel 62 - Walcott Avenue Dated July 25, 2002.

NYS DOT Map No. 72, Parcel 78 - Walcott Avenue Dated July 25, 2002.

**DEED REFERENCE**

Doc. #02 2009 8998  
Rectors Church Wardens & Vestryment  
To  
NYS Dept. of Transportation  
October 30, 2003

Liber 136, Page 483  
Walcott  
To  
Rector Church Wardens & Vestryment  
May 15, 1866

**TAX PARCEL NUMBER**

City of Beacon, Dutchess County, New York  
130200-6054-45-120587 &  
130200-6054-45-147598

**AREA**

Parcel 120587:  
430,187 Square Feet  
9,890 Acres

Parcel 147598:  
52,810 Sq. Ft.  
1,212 Acres

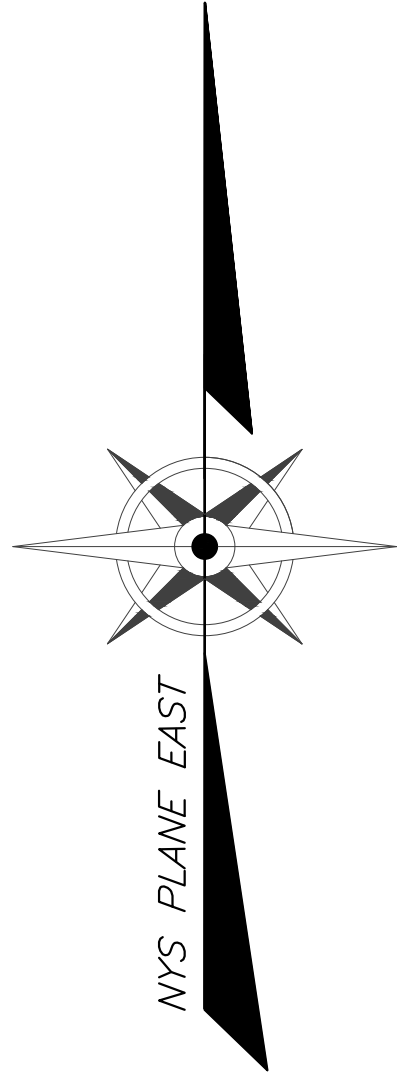
**DATE OF SURVEY**

Field Completion: January 25, 2017

**SURVEYOR**

Prepared by TEC Surveying  
15c Tioronda Avenue  
Beacon, NY 12508

LEGEND	
	PROPERTY LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	FENCE
	OVERHEAD WIRES
	HYDRANT
	GAS VALVE
	WATER VALVE
	ELECTRIC BOX
	UNKNOWN MANHOLE
	TELEPHONE MANHOLE
	SANITARY SEWER MANHOLE
	DRAINAGE MANHOLE
	DRIP PILE
	LIGHT POLE
	UTILITY POLE
	MAIL BOX
	GUY WIRE
	SKIN
	BOLLARD
	IRON ROD FOUND
	MONUMENT FOUND



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS
2	05/29/18	REVISED PER PLANNING BOARD COMMENTS	AJS

**Survey**  
Scale: 1" = 30'

**Sub-Division, Site Plan & Special Use Permit Application**  
Sheet 2 of 4 - Existing Conditions Survey

Owner / Applicant for Subdivision and Site Plan:  
**St. Lukes Episcopal Church**  
850 Wolcott Avenue  
Beacon, NY 12508

Applicant / Lessee for Special Use Permit for School:  
**Hudson Hills Academy**  
12 Hanna Lane  
Beacon, NY 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Surveyor:  
**TEC Surveying**  
15c Tioronda Avenue  
Beacon, New York 12508

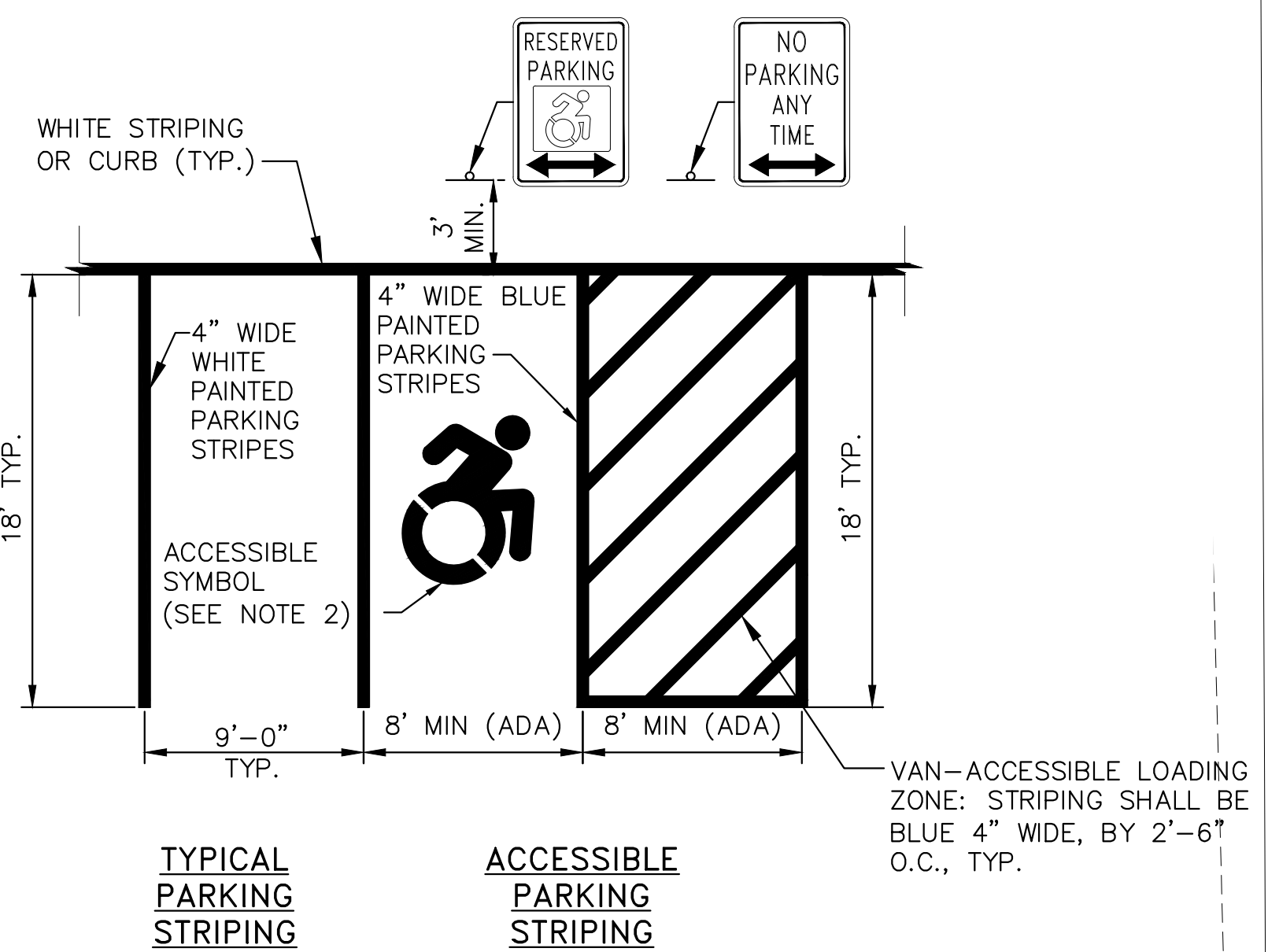
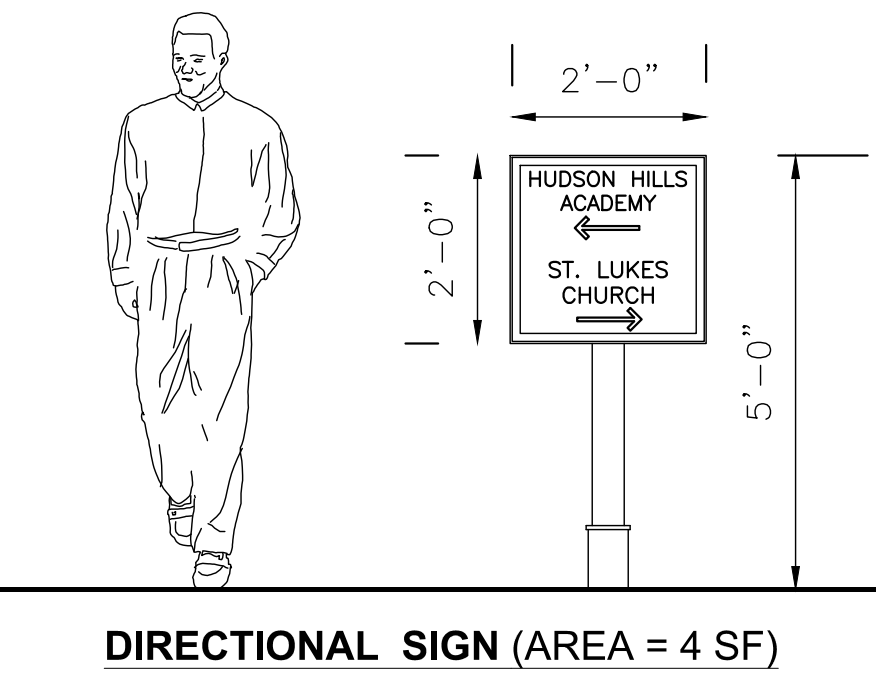
**850 Wolcott Avenue**  
St. Lukes Episcopal Church & Hudson Hills Academy  
Beacon, New York  
Scale: 1" = 30'  
March 27, 2018

**LEGEND**

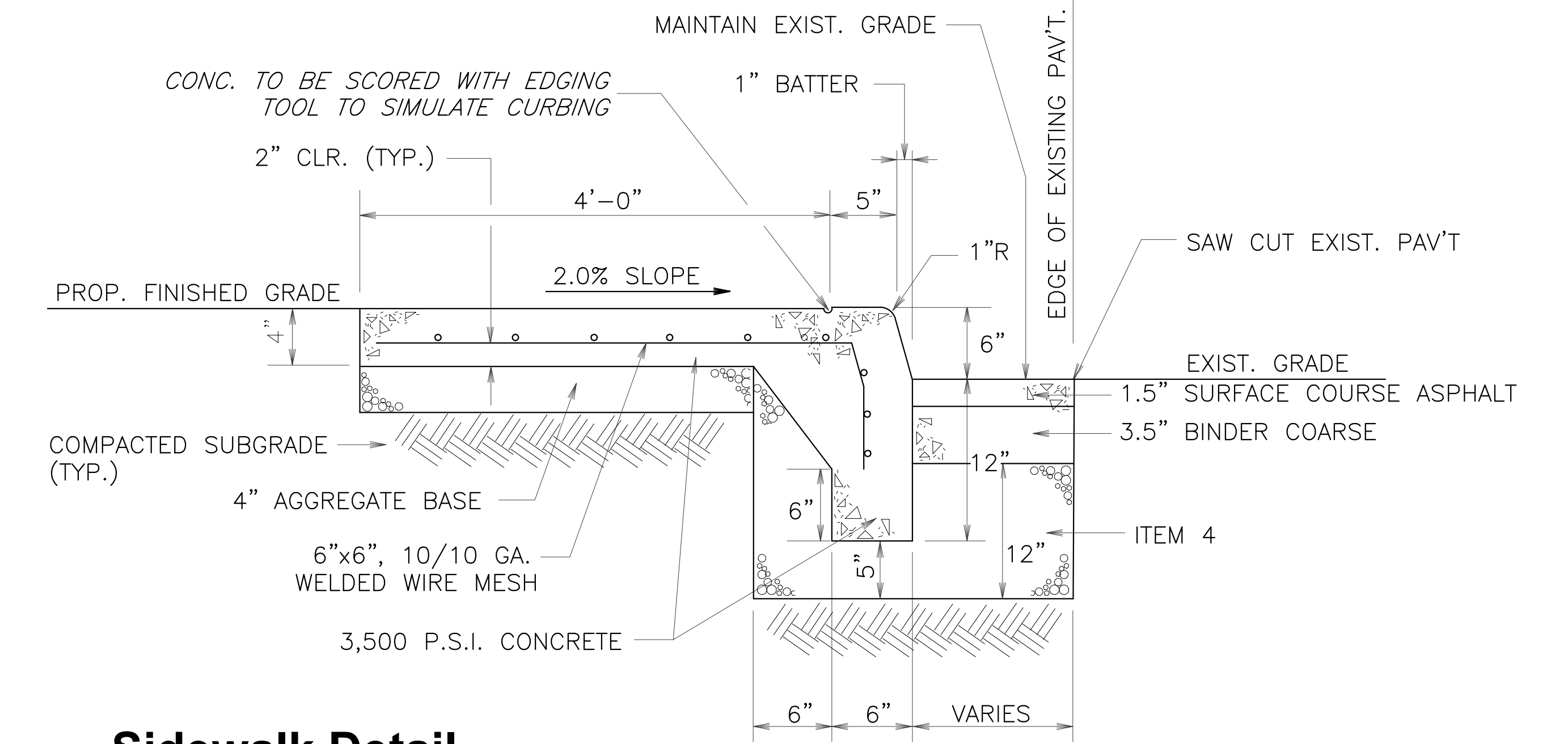
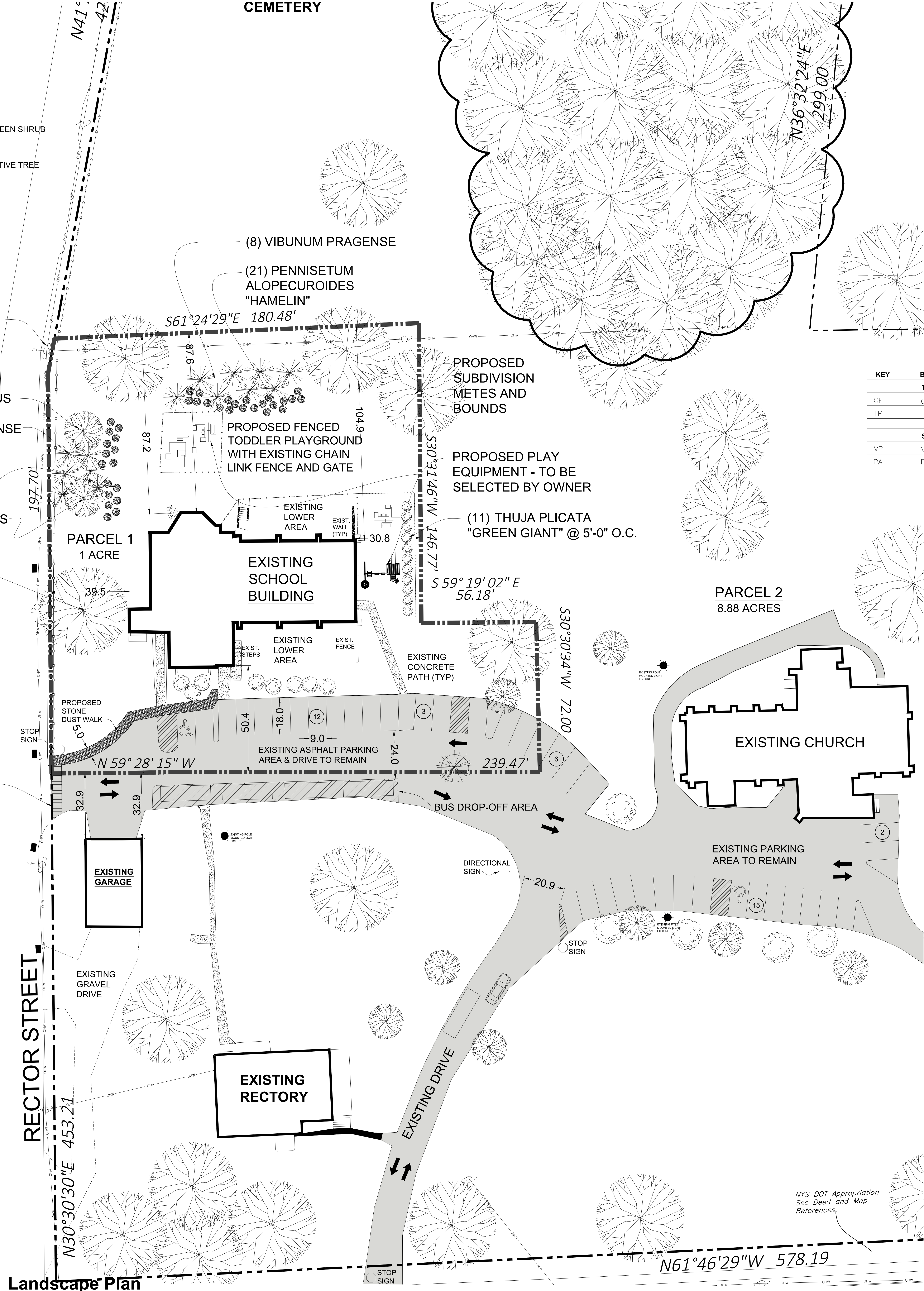
---	PROPERTY LINE
---	SAWYER SEWER LINE
---	STORM SEWER LINE
---	FINCE
---	OVERHEAD WIRES
○	HYDRANT
○	GAS VALVE
○	WATER VALVE
○	ELECTRIC BOX
○	UNKNOWN MANHOLE
○	TELEPHONE MANHOLE
○	SAWYER SEWER MANHOLE
○	DRAINAGE MANHOLE
○	DROP INLET
○	LIGHT POLE
○	UTILITY POLE
○	MAIL BOX
○	GUY WIRE
○	SIGN
○	ROAD
○	IRON ROD FOUND
○	MONUMENT FOUND

**HATCHING & LANDSCAPE LEGEND**

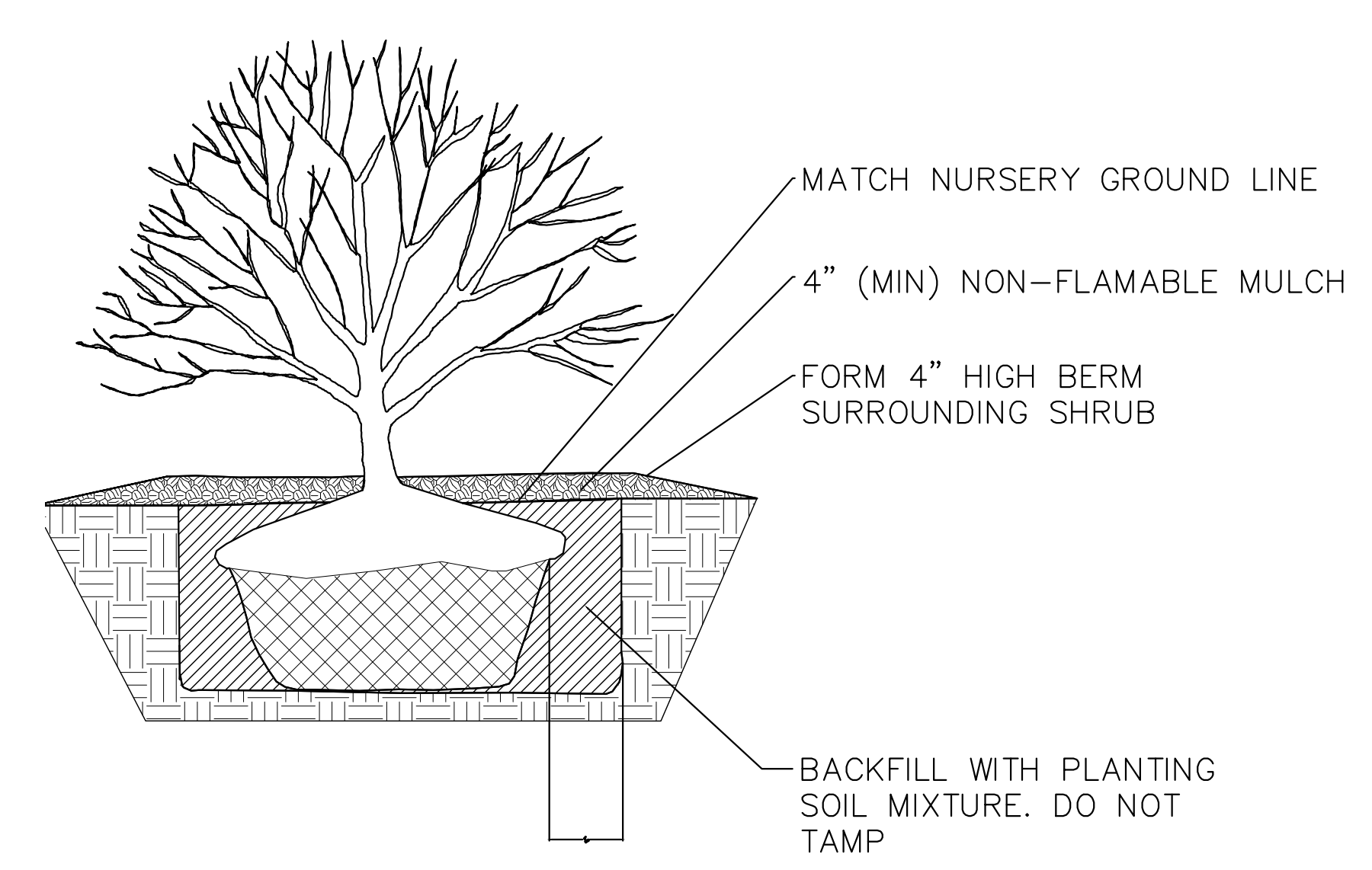
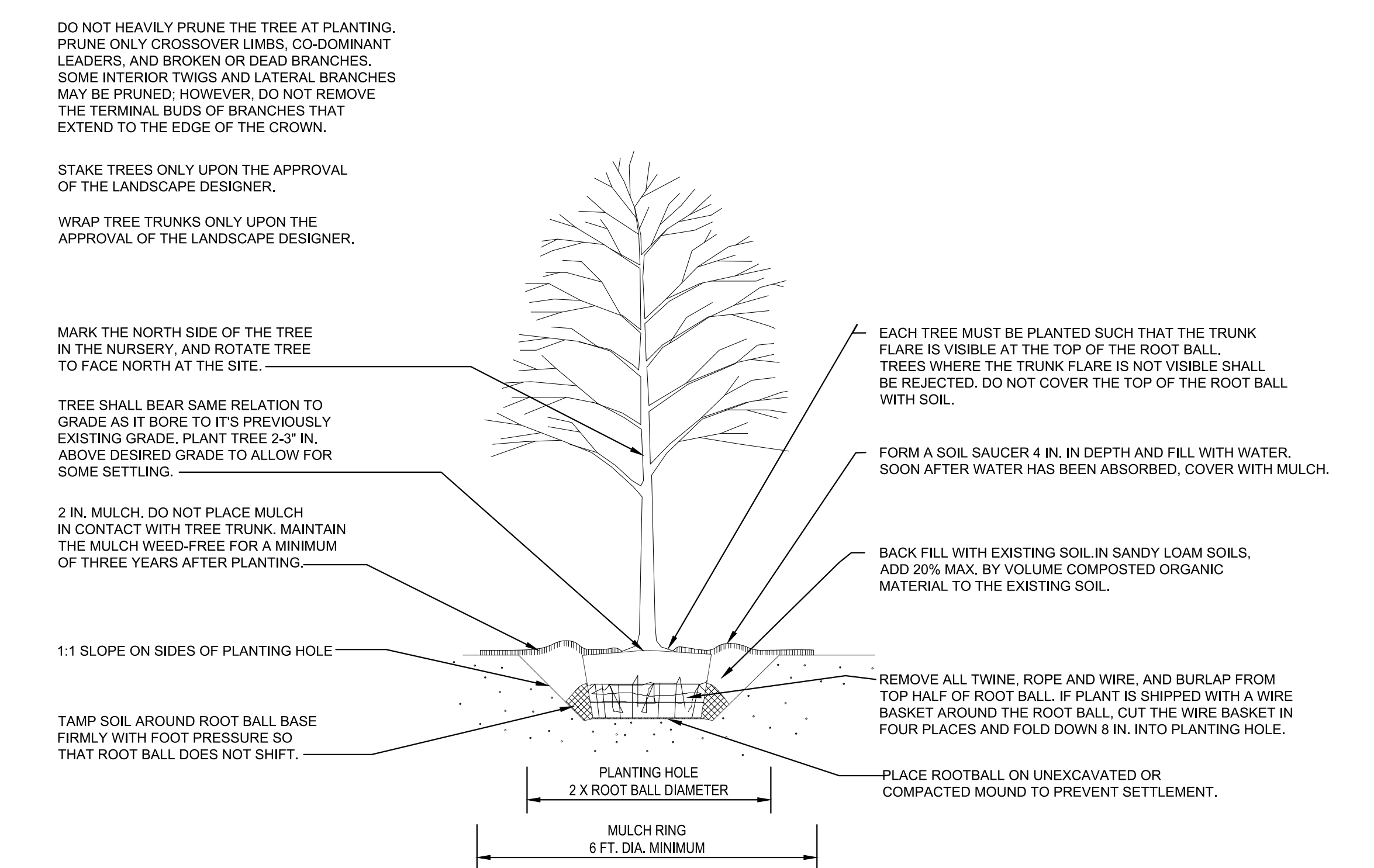
[Hatched Box]	CONCRETE SIDEWALK
[Hatched Box]	ASPHALT PAVING
[Hatched Box]	EXISTING GRASS TO REMAIN
[Tree Symbol]	PROPOSED ARBOR VITAE EVERGREEN SHRUB
[Tree Symbol]	PROPOSED NEW ORNAMENTAL NATIVE TREE
[Tree Symbol]	PROPOSED NATIVE EVERGREEN
[Tree Symbol]	EXISTING TREE TO REMAIN



- NOTES:**
1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.
  2. PAINTED ACCESSIBLE SYMBOL TO BE IN ACCORDANCE WITH NYS DOT AND ADA STANDARDS.
  3. IF PARKING ABUTS A SIDEWALK, THEN THE REGULATORY SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.



KEY	BOTANICAL NAME	QTY.	SIZE	ROOT	SPACING	COMMENTS
<b>TREES</b>						
CF	CORNUS FLORIDA (FLOWERING DOGWOOD)	2	2.5" - 3.0"	B&B	SEE DRAWING	
TP	THUJA PLICATA (GREEN GIANT WESTERN ARBOR VITAE)	11	6-8"	B&B	SEE DRAWING	
<b>SHRUBS</b>						
VP	VIBURNUM PRAGENSE (PRAGUE VIBURNUM)	14	42-48"	B&B	SEE DRAWING	
PA	PENNISETUM ALOPECUROIDES (HAAMELIN DWARF FOUNTAIN GRASS)	37	2 GAL.	CONT	SEE DRAWING	



- NOTE**
1. WATER PER NURSERY SPECIFICATIONS IMMEDIATELY FOLLOWING PLANTING.
  2. DETAIL IS FOR BOTH BALL & BURLAPPED OR CONTAINERED SHRUBS.

REVISIONS:				
NO.	DATE	DESCRIPTION	BY	
1	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS	
2	05/29/18	REVISED PER PLANNING BOARD COMMENTS	AJS	

**Sub-Division, Site Plan & Special Use Permit Application**  
Sheet 3 of 4 - Landscaping Plan

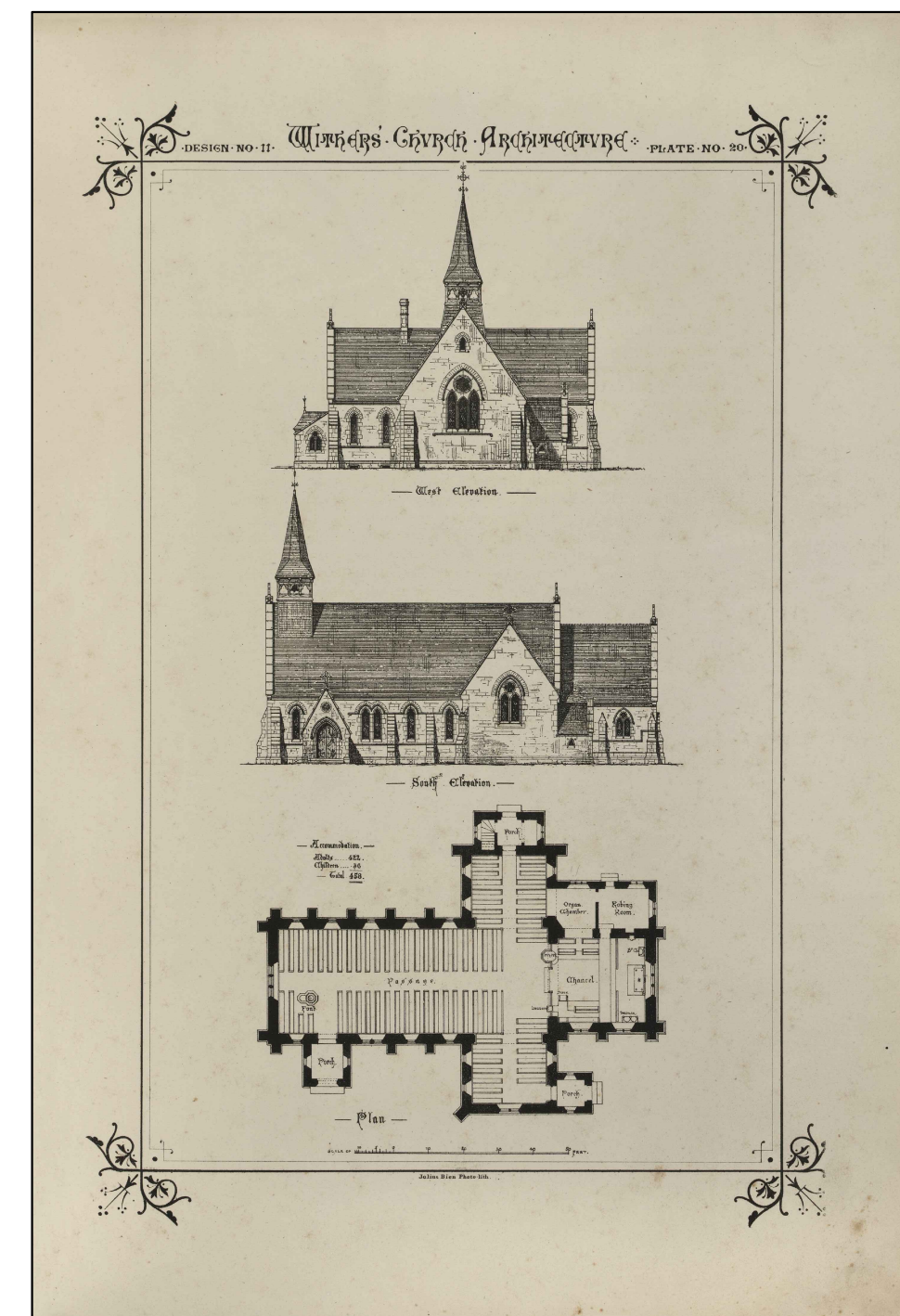
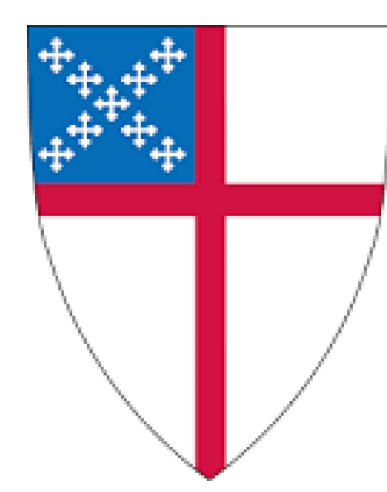
Owner / Applicant for Subdivision and Site Plan:  
**St. Lukes Episcopal Church**  
850 Wolcott Avenue  
Beacon, NY 12508

Applicant / Lessee for Special Use Permit for School:  
**Hudson Hills Academy**  
12 Hanna Lane  
Beacon, NY 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

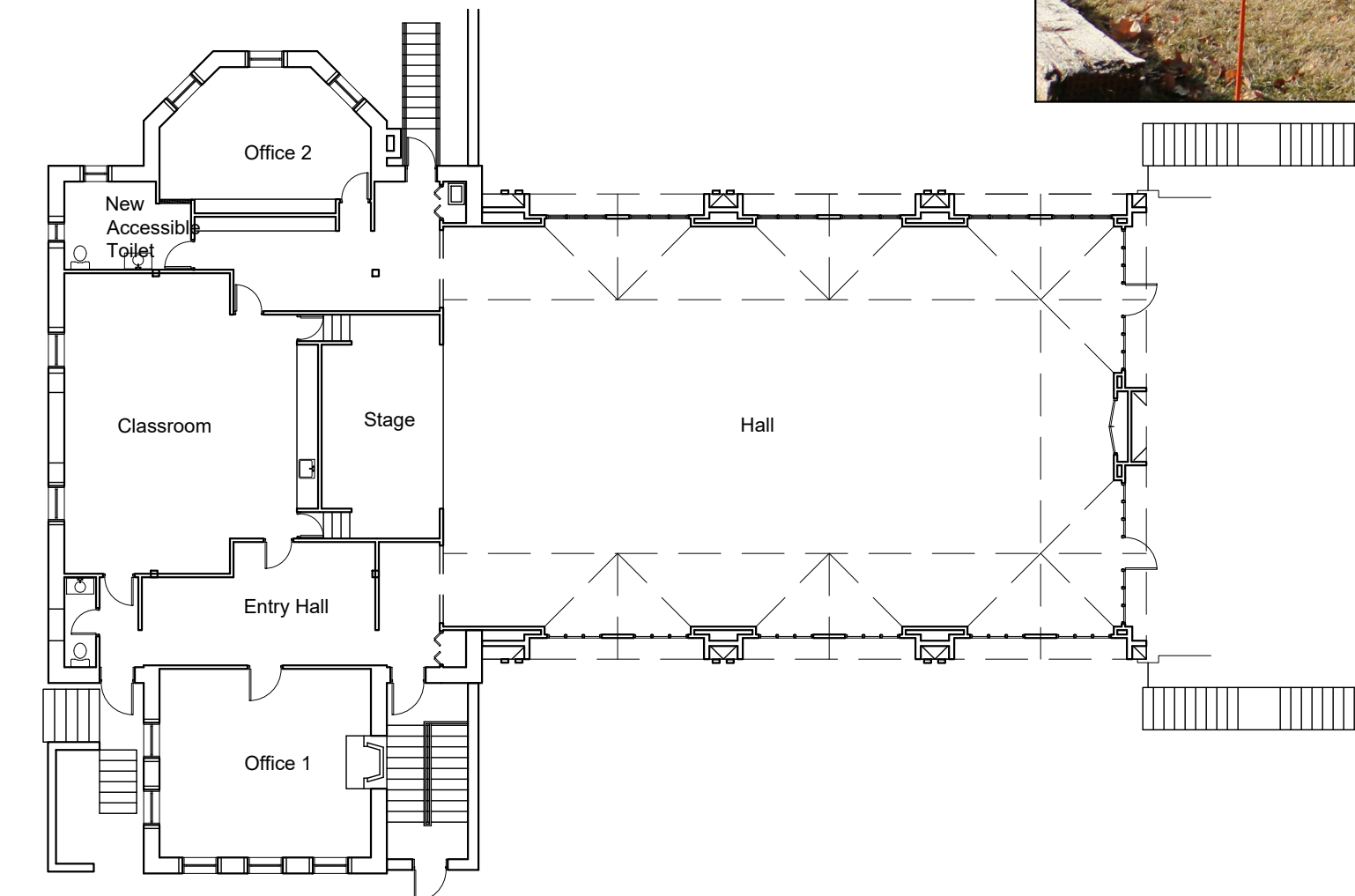
Surveyor:  
**TEC Surveying**  
15C Tioronda Avenue  
Beacon, New York 12508

**850 Wolcott Avenue**  
St. Lukes Episcopal Church & Hudson Hills Academy  
Beacon, New York  
Scale: 1" = 20'  
March 27, 2018



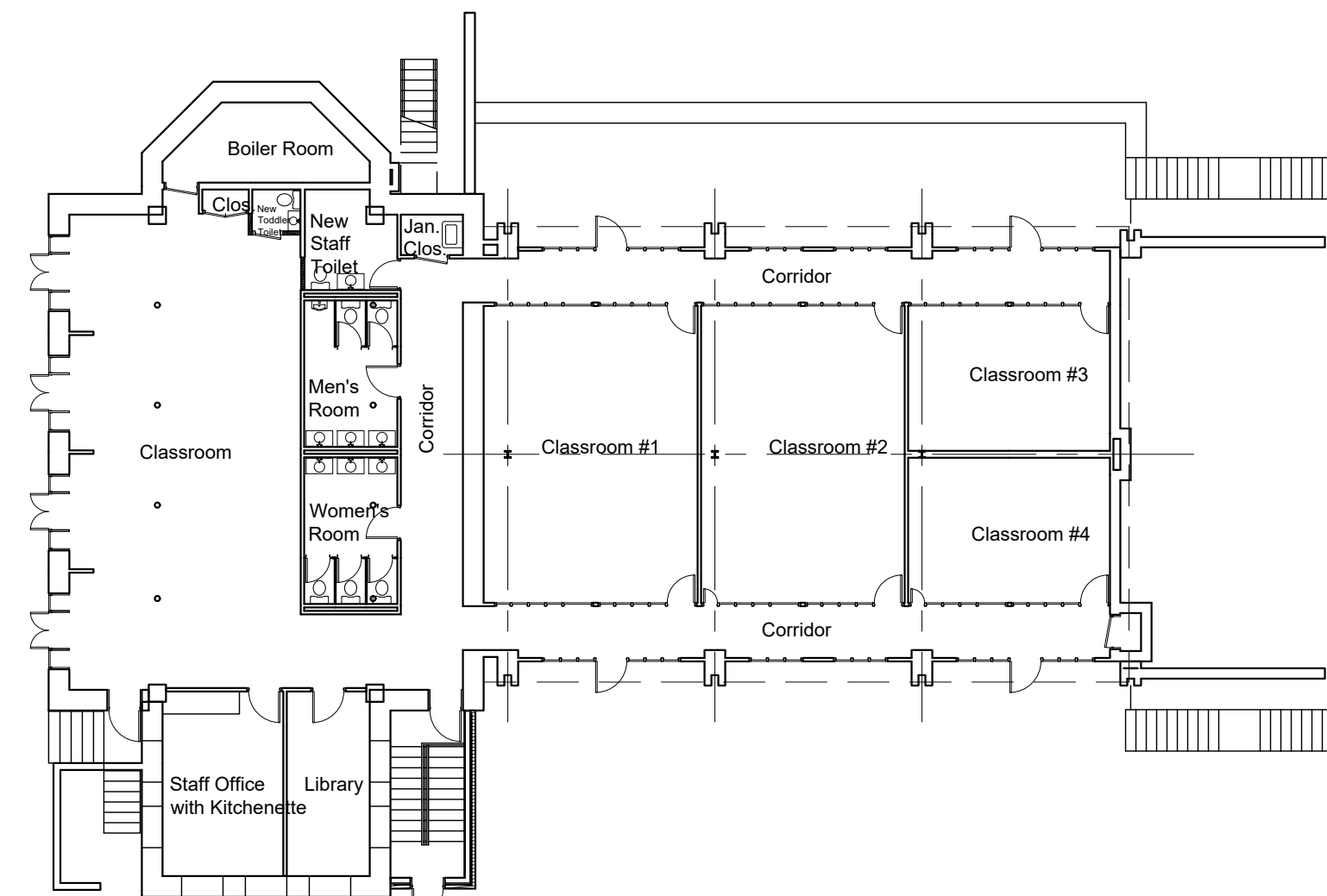
**Church Plan**

Scale: Not to Scale



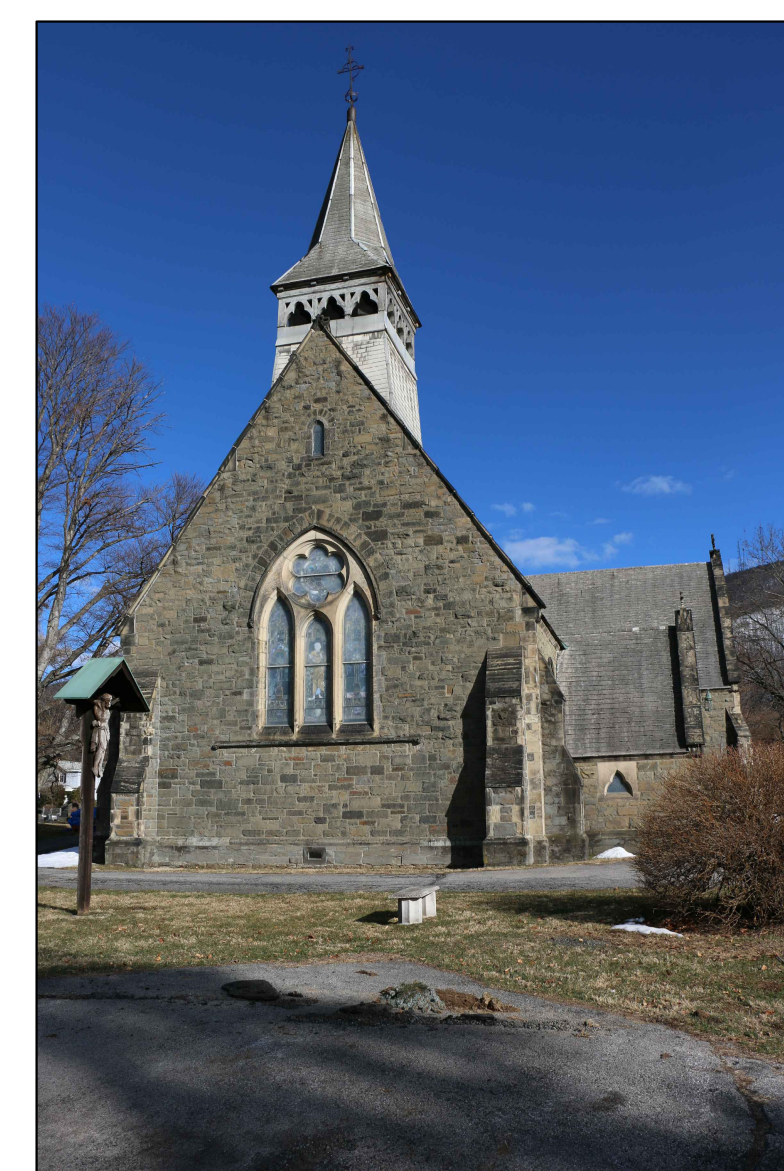
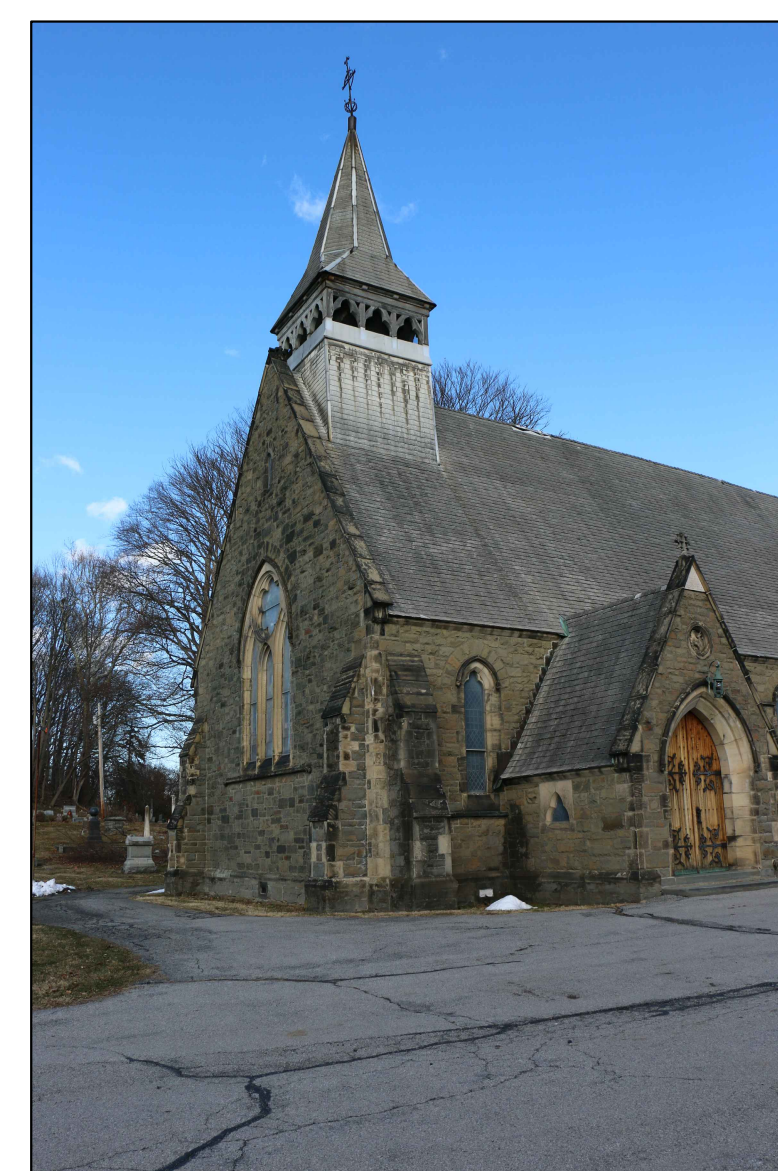
**Upper Level Plan: School**

Scale: 1/4" = 1'-0"



**Lower Level Plan: School**

Scale: 1/16" = 1'-0"



**Sub-Division, Site Plan & Special Use Permit Application**  
Sheet 4 of 4 - Plans, Elevations, Images

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**Ferry Landing @ Beacon - Beekman Street**

**Subject:**

Public hearing for SEQRA Environmental Review on application for Site Plan Approval, 6 Unit Residential "Ferry Landing at Beacon", Beekman Street, submitted by Ferry Landing at Beacon, Ltd.

**Background:**

**ATTACHMENTS:**

Description	Type
Ferry Landing Cover Letter	Cover Memo/Letter
Ferry Landing Subdivision Application	Application
Ferry Landing Easement	Backup Material
Ferry Landing Site Lighting	Backup Material
Ferry Landing Survey	Backup Material
Ferry Landing Sheets 1-9	Plans

**FERRY LANDING AT BEACON, LTD.**  
**DEVELOPERS - DESIGNERS - BUILDERS**  
**Post Office Box 294**  
**Beacon, NY 12508**  
**845-464-0460**

**VIA HAND DELIVERY**

May 29, 2018  
Beacon City Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: Ferry Landing at Beacon  
Beekman Street  
Beacon, NY 12508  
Parcel Grid # 5954-33-556840

Dear Members of the Beacon City Planning Board:

Enclosed please find the following documents:

- Five (5) folded paper copies of Site Plan drawings pages 1 - 9
- One (1) paper draft copy of proposed Drainage Easement (5 Pages)
- One (1) paper copy of Site Lighting Section Sketches dated May 18, 2018 (3 Pages)
- One (1) folded paper copy of Survey drawing by John J. Post, Jr., LS dated November 25, 2017 (1 Page)
- One (1) electronic copy of the above items on CD

The above listed items are being submitted for the Planning Board's review and consideration at your next available regularly scheduled Planning Board meeting.

In regards to the comments received from the City of Beacon's consultants, please find the following response:

**Lanc & Tully Engineering and Surveying, P.C. missive dated May 3, 2018:**

General Comments:

1. The drainage easement description provided in this submission has been revised to reflect a distance of 47.75' through the HOA parcel.
2. A double check valve construction detail has been added to the Site Details Plan (drawing 8 of 9) provided in this submission.

Page 2 of 4 dated May 29, 2018

3. Additional construction details for the proposed steel curbing have been added to the Site Details Plan (drawing 9 of 9) provided in this submission.

Sheet 2 of 9 (Existing Site Plan):

1. A note indicating the existing 3/4" water service will be abandoned in accordance with the City of Beacon Water Department requirements has been added to the Existing Site Conditions plan (drawing 2 of 9) provided in this submission.
2. The limits of the exposed rock have been clearly delineated on the Existing Site Conditions plan (drawing 2 of 9) provided in this submission.

Sheet 3 of 9 (Site Development Plan):

1. Shielding and containment of the proposed site lighting has been provided in accordance with the Site Lighting Section Sketches (3 Pages) provided in this submission.
2. The proposed sidewalk has been relocated to run directly behind the curb line.
3. The installation of ADA compliant ramps at either end of the sidewalk has been noted on the Site Development Plan (drawing 3 of 9) provided in this submission.

Sheet 4 of 9 (Site Grading Plan):

1. Additional spot elevations through the parking lot have been provided on the Site Grading Plan (drawing 4 of 9) provided in this submission.
2. Additional silt fence along Ferry Street has been provided on the Site Grading Plan (drawing 4 of 9) provided in this submission.
3. The additional lines at the "Stabilized Construction Entrance" detail have been removed on the Site Grading Plan (drawing 4 of 9) provided in this submission.

Sheet 5 of 9 (Site Utility Plan):

1. An additional catch basin has been added to the south side of the entrance as indicated on the Site Utility Plan (drawing 5 of 9) provided in this submission.
2. The installation of ADA compliant ramps at either end of the sidewalk have been noted on the Site Utility Plan (drawing 5 of 9) provided in this submission.



3. The existing 8" sewer service that extends into the site from the sewer manhole on the north side of Beekman Street has been noted as private service and shall be owned and maintained by the HOA as indicated in Note # 5 (Site Utility Notes) on the Site Utility Plan (drawing 5 of 9) provided in this submission.
4. The 8" sewer service has been revised to extend straight to a point between units 1 and 2, and then a bend put on the line to redirect the line along the front of the building as indicated on the Site Utility Plan (drawing 5 of 9) provided in this submission.
5. Unit #2 has been noted as such on the Site Utility Plan (drawing 5 of 9) provided in this submission.
6. A catch basin, in lieu of the manhole, has been indicated along the curb line on Ferry Street as indicated on the Site Utility Plan (drawing 5 of 9) provided in this submission.

Sheet 7 of 9 (Site Distance Plan):

1. The sight distances have been labeled on all lines as indicated on the Sight Distance Plan (drawing 7 of 9) provided in this submission.
2. A "Sight Distance Table" has been provided on the Sight Distance Plan (drawing 7 of 9) provided in this submission.
3. Sight distance measurements for actual sight distances achieved have been provided on the Sight Distance Plan (drawing 7 of 9) provided in this submission.

Sheet 8 of 9 (Site Details Plan):

1. The "Typical Sewer Service Detail" has been modified to note the use of SDR 35 PVC pipe as indicated on the Site Detail Plan (drawing 8 of 9) provided in this submission.
2. The trench details have been modified to note the use of NYSDOT Item No. 304.12 for backfill in the City right of way. In addition, it has also been noted on the Site Details Plan (drawing 8 of 9) provided in this submission that material shall be backfilled in 8" lifts and compacted to 95% proctor.
3. The "Typical Water Service Detail" on the Site Details Plan (drawing 8 of 9) provided in this submission has been modified to note the corporations and curb valves to be manufactured by Mueller and shall be of the compression type.
4. The concrete sidewalk and curb details on the Site Details Plan (drawing 9 of 9) provided in this submission have been modified to meet the requirements of the City's specifications and note the strength of the concrete to be 4000psi.

**John Clark Planning and Design missive dated May 2, 2018:**

1. The front sidewalk has been extended around the corner of Ferry Street.
2. The added paved area to the rear was provided as per Lanc & Tully's missive dated November 10, 2017 and a subsequent meeting with the City Building Department and Lanc & Tully. The purpose of this added paved area was to provide additional vehicle maneuvering area and snow storage area.
3. The landscape plan has been modified to include three (3) additional large trees.
4. The table on the Site Development Plan (drawing 3 of 9) provided in this submission has been changed to indicate "stoop". The previous indication of "porch" was incorrect.
5. The revised elevation drawings will be submitted for the Architectural Review Subcommittee at the next available regularly scheduled Planning Board meeting.
6. A note has been added to the Site Development Plan (drawing 3 of 9) provided in this submission to indicate the option offering a one (1) car garage. In addition, the building ground floor layout has also been modified to indicate the one (1) car garage design.
7. The lighting specifications for the wall mounted lighting fixtures attached to the building have been added to the Site Development Plan (drawing 3 of 9) provided in this submission.
8. A signed and stamped survey prepared by John J. Post, Jr., LS dated November 25, 2017 (1 Page) is provided in this submission.

We look forward to discussing the proposed project with the you.

If you have any questions or if you require any additional information, please feel free to call me at 845-464-0460.

Thank you.

Sincerely,

Thomas Elias

**APPLICATION FOR SUBDIVISION APPROVAL**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

Name: FERRY LANDING AT BEACON, LTD.  
Address: P.O. Box 294  
BEACON, NY 12530  
Signature: [Signature] PRESIDENT  
Date: MAY 29, 2018  
Phone: 845-464-0460

*(For Official Use Only)*

Preliminary Application Rec'd \_\_\_\_\_  
Application Fee: \_\_\_\_\_  
Public Hearing \_\_\_\_\_  
Preliminary Plat Approved: \_\_\_\_\_  
Final Plat Approved: \_\_\_\_\_  
Recreation Fee: \_\_\_\_\_  
Performance Bond: \_\_\_\_\_

Date Initials

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: THOMAS ELIAS  
Address: P.O. Box 294  
BEACON, NY 12530

Phone: 845-464-0460  
Fax: 845-473-4025  
Email address: TELIASE@FERRYLANDING  
ATBEACON.COM

**IDENTIFICATION OF SUBJECT PROPERTY:**

Subdivision name or identifying title:  
FERRY LANDING AT BEACON  
Street which property abuts: SOUTH EAST CORNER OF BEEKMAN & FERRY STREET  
Current Tax Map Designation: Section 5954 Block 33 Lot(s) 556840  
Property  (does not) connect directly into a (State) (County) highway.  
Land in subdivision  (is not) within 500 feet of a Municipal boundary.  
Total area of property is 0.56 acres

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. One electronic and five (5) folded copies of a subdivision plat showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- c. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

**CITY OF BEACON  
PRELIMINARY SUBDIVISION PLAT  
AND CONSTRUCTION PLANS SPECIFICATION FORM**

Name of Application: FERRY LANDING AT BEACON

<b>PRELIMINARY SUBDIVISION PLAT</b>	<b>YES</b>	<b>NO</b>
The preliminary plat shall be clearly marked "Preliminary Plat", shall be drawn to a convenient scale but not less than 1" = 100', and shall contain the following information:	✓	
Proposed subdivision name or identifying title, name, and address of property owner and subdivider (if other than owner), name and address of the surveyor and/or engineer preparing the plan, scale, approximate true North point, and date.	✓	
The approximate location and dimensions of all property lines, the total acreage of the proposed subdivision, the location of any zoning, special district or municipal boundary lines affecting the subdivision, and the names of owners of record of properties adjoining and directly across the street from proposed subdivision.	✓	
The location of all existing structures and pertinent features, including <del>railroads, water bodies, water courses, wetlands</del> , rock outcroppings, wooded areas, major trees, <del>and stone walls</del> , that may influence the design of the subdivision, plus accurate topography at a vertical contour interval of not more than two (2) feet. The topographic data shall be determined by field survey unless the Planning Board specifically waives this requirement and/or permits the substitution of topographic information obtained from other sources determined satisfactory for the particular case.	✓	
The location and status of existing streets <del>or private roads</del> , easements and rights-of-way (if any), proposals for the layout of new streets or private roads (including widths and approximate curve radii) and any proposed easements, rights-of-way and/or reservations.	✓	
The names of existing streets <del>or private roads and proposed names for new streets or private roads</del> .	✓	
The proposed arrangement of lots, including identifying numbers and approximate area and dimensions of each.	✓	
Location, size and nature of any area proposed to be reserved for park purposes. (1)		✓
A site location sketch, at a scale of one inch equals 400 feet, showing the general situation within 1,000 feet of the applicant's property with respect to surrounding properties, streets and private roads. <i>NOTE: CURRENT SCALE IS 1" = 200'</i> (2)		✓
Where the preliminary plat includes only a portion of an applicant's contiguous holding, the applicant shall also indicate, on a sketch at a scale of not less than one inch equals 200 feet, the probable future street or private road system, lot arrangement and location of park and other reservations for the remaining portion of the tract. Such sketch shall be for the purpose of guiding the Planning Board in reviewing the proposed preliminary plat and shall include topographic data with a vertical contour interval of not more than five feet plus any other information determined necessary by the Planning Board. (3)		✓
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.		

<b>PRELIMINARY CONSTRUCTION PLANS</b>	<b>YES</b>	<b>NO</b>
The preliminary construction plans shall be drawn at the same scale as the preliminary plat and shall include the following information:	✓	
Location and sizes of any existing water, sewer storm drainage and other utility lines and structures within and nearby the proposed subdivision.	✓	
The proposed system for the provision of water supply and fire protection facilities, sewage disposal, stormwater drainage, and other utility services.	✓	
Proposed street or private road profiles and cross-sections showing the approximate grade of proposed streets or private roads, the relationship of existing to proposed grades, and the proposed grades, and the proposed vertical curvature along the center line of all new streets or private roads.	✓	
Location of all existing and proposed monuments and other subdivision improvements.	✓	
Such additional information as may be required by this chapter, the Zoning chapter, or the Planning Board.		

**CITY OF BEACON  
FINAL SUBDIVISION PLAT  
AND CONSTRUCTION PLANS SPECIFICATION FORM**

Name of Application: FERRY LANDING AT BEACON

FINAL SUBDIVISION PLAT (4)	YES	NO
The final subdivision plat shall be drawn clearly and legibly on transparent tracing cloth with black waterproof ink, at a scale no smaller than one inch equals 100 feet but preferably at a scale of one inch equals 50 feet. The sheet size shall not exceed 36 inches by 48 inches. If the size of proposed subdivision required a drawing larger than this, two or more sheets may be submitted, with match lines clearly indicated, and an index map shall be prepared on the same size sheet.		
The final plat shall contain the following information:		
Proposed subdivision name or identifying title, name, and address of owner of record and of subdivider (if other than owner), certification and seal of the registered engineer or licensed land surveyor who prepared the plat, names of the owners of record of adjoining properties and of properties directly across the street or private road, graphic scale, approximate true North point, and date.		
The location and dimensions of all boundary lines of the proposed subdivision, and all existing and proposed streets, private roads, lot lines, easements and rights-of-way, with sufficient data to readily determine the location, bearing and length of all such lines and to reproduce such lines upon the ground.		
The names of all existing and proposed streets and private roads.		
The locations of all water bodies and watercourses.		
The location of all existing buildings, including identification of all buildings to be removed as a condition of plat approval.		
The total acreage included in the entire subdivision, and the identification number and acreage of all lots and land reservations within the proposed subdivision.		
Location of all existing and proposed monuments.		
A site location map, at a scale of one inch equals 400 feet, showing the location of the subject property with respect to neighboring properties, streets and private roads.		
Notations explaining any drainage, sight slope, street widening, park area or other reservations or easements, including any self-imposed restrictions or covenants.		
Endorsement of approval by the Dutchess County Health Department.		
Plan for the provisional delivery of mail, as approved by the local postmaster.		
Endorsement of the owner as follows:  “Approved for filing:  _____ Owner Date _____”		

FINAL SUBDIVISION PLAT <i>(continued)</i>	YES	NO
<p>Form for endorsement by Planning Board Chairman as follows:</p> <p>“Approved by Resolution of the Planning Board of the City of Beacon, New York, on the _____ day of _____, 20_____, subject to All requirements and conditions of said Resolution. Any change, erasure, modification or revision of this plat, as approved, shall void this approval.</p> <p>Signed this _____ day of _____, 20_____, by _____, Chairman          _____, Secretary</p> <p>In absence of the Chairman or Secretary, the Acting Chairman or Acting Secretary Respectively may sign in this place.</p>		
<p>Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.</p>		
<p>Stormwater pollution prevention plan. A stormwater pollution prevention plan consistent with the requirements of Chapter 190 and with the terms of preliminary plan approval shall be required for final subdivision plat approval. The SWPPP shall meet the performance and design criteria and standards in Chapter 190, Article II. The approved final subdivision plat shall be consistent with the provisions of Chapter 190.</p>		

FINAL CONSTRUCTION PLANS	YES	NO
<p>Final construction plans and profiles shall be prepared for all proposed streets, private roads and other required improvements. Plans shall be drawn at the same scale as the final plat and on the same size sheets, but not on the same sheets. The following information shall be shown:</p>	✓	
<p>Plans and profiles showing the location and a typical cross-section of street and/or private road pavements including curbs and gutters, sidewalks, manholes and catch basins; the location of street or private road trees, lighting and signs; the location, size and invert elevations of existing and proposed sanitary sewers, stormwater drains and fire hydrants; the location and size of all water, gas or other underground utilities or structures; and the location and design of any other required improvements.</p>	✓	
<p>Profiles showing existing and proposed elevations along the center line of all streets and private roads. Where a proposed street or private road intersects an existing street or private road, the elevation along the center line of the existing street or private road within 100 feet of intersection, shall be shown. All elevations must be referred to established U.S. Government of approved local benchmarks, where they exist within ½ mile of the boundary of the subdivision.</p>	✓	
<p>The Planning Board may require, where steep slopes exist, cross-sections showing existing and proposed elevations of all new streets and private roads every 100 feet at five points on a line at right angles to the center line of the street or private road, said elevation points to be at the center line of the street or private road, each property line, and points 30 feet inside each property line. (5)</p>		✓
<p>Location, size, elevation and other appropriate description of any existing facilities which will be connected to proposed facilities and utilities within the subdivision.</p>	✓	

<b>FINAL CONSTRUCTION PLANS (continued)</b>		
Where the design of the subdivision requires the regarding of land, the regarding of land, the regraded contours shall be shown along with estimates of the quantity of material to be added or removed and the proposed measures to be implemented by the subdivider to rehabilitate the disturbed area or areas.	✓	
Title of all sheets, name, address, signature and seal of licensed engineer preparing the construction plans, the date prepared, including revisions dates if any, approximate true North point, scale, and consecutive numbering as sheet _____ of _____.	✓	
A notation of approval, on all sheets as follows  “Approved by: _____ Owner Date and _____ Planning Board Chairman Date”		✓
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.		

For all items marked “NO” above, please explain below why the required information has not been provided:

SEE ATTACHED PAGE FOR NOTES

Applicant/Sponsor Name: FERRY LANDING AT BEACON  
Signature: [Signature], PRESIDENT  
Date: MAY 29, 2018



**GENERAL NOTES FOR  
PRELIMINARY SUBDIVISION PLAT  
FINAL SUBDIVISION PLAT  
FINAL CONSTRUCTION PLANS**

**NOTE # 1:** There is no area proposed for park purposes.

**NOTE # 2:** The current scale provided on the construction plans is 1" = 200' with a 500' radius in respect to the surrounding area. A revised location sketch will be provided on the subdivision plat at the required scale of 1" = 400' with a 1000' radius in respect to the surrounding area.

**NOTE # 3:** The applicant or current owner has no contiguous holdings adjoining the site.

**NOTE # 4:** A final subdivision plat has not yet been submitted.

**NOTE # 5:** There are no proposed construction on steep slopes

**NOTE # 6:** The notation of approval will be included on all sheets

## ***DRAINAGE EASEMENT***

***THIS INDENTURE***, made the \_\_\_\_ day of \_\_\_\_\_, 2018

***Between***

***FERRY LANDING AT BEACON, LTD.***, a domestic corporation organized under the laws of the State of New York, with an office at 105 Catherine street, Beacon, New York 12508 and a mailing address of Post Office Box 294, Beacon, New York 12508, party of the first part, and

***CITY OF BEACON***, a municipal corporation organized under the laws of the State of New York, with an address of 1 Municipal Plaza, Beacon, NY 12508, party of the second part,

***NOW THIS INDENTURE WITNESSETH***, that the party of the first part, in consideration of TEN AND 00/100 DOLLARS (\$10.00) lawful money of the United States, and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

***ALL*** that certain permanent easement and right of way for the purpose of access to use, maintain, repair, and or replace the existing storm drain on the property located at the south east corner of Beekman Street and Ferry Street. Said property is the premises described in a deed recorded in the Dutchess County Clerk's Office on April 25, 1986 in Liber 1704, Page 883 and is further identified with a parcel grid identification number of 5954-33-556840.

Said property is situated, lying and being in the City of Beacon, County of Dutchess, State of New York, and is shown on a map titled "Subdivision Plat for Ferry landing at Beacon" and filed in the Office of the Dutchess County Clerk on the \_\_\_\_ day of \_\_\_\_\_, 2017 as Filed Map # \_\_\_\_\_, said easement and right of way is indicated as "Proposed Drainage Easement Granted to City of Beacon" on said map, and is more particularly described as follows:

BEGINNING at a point on the north east corner of Bayview Avenue, said point also being the south corner of the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE north westerly along the division line between the parcel of land designated HOA Lot and the parcel of land designated Bayview Avenue on said map, North 59°49'50" West for a distance of 20.19' to a point on the division line between the parcel of land designated HOA Lot and the parcel of land designated Bayview Avenue on said map;

THENCE north easterly through the parcel of land designated HOA Lot, North 22°20'20" East for a distance of 77.23' to a point, said point being on the north division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE south easterly along the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map, South 21°13'40" East for a distance of 29.02' to a point, said point being on the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE south westerly along the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map, South 22°20'20" West for a distance of 58.95' to a point, said point being the point or place of beginning.

CONTAINING 0.03 acres of land more or less.

AND:

BEGINNING at a point on the south side of Ferry Street, said point also being the north corner of the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE south easterly along the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map, South 21°13'40" East for a distance of 23.47' to a point, said point being on the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE north westerly through the parcel of land designated HOA Lot on said map, North 79°40'40" West for a distance of 47.75' to a point;

THENCE north easterly through the parcel of land designated HOA Lot on said map, North 10°19'20" East for a distance of 20.00' to a point, said point being on the division line between the parcel of land designated HOA Lot and the parcel of land designated Ferry Street on said map;

THENCE south easterly along the division line between the parcel of land designated HOA Lot and the parcel of land designated Ferry Street on said map, South 79°40'40" East for a distance of 35.47 to a point, said point being the point or place of beginning.

CONTAINING 0.02 acres of land more or less.

**TOGETHER** with the following express conditions, reservations and restrictions which shall continue and will run with the land:

**FIRST** that the party of the second part shall, at its own cost and expense, repair, restore, replace, and maintain the surface of any land impairment occasioned by the party of the second part's use of said lands.

**SECOND** that the party of the second part does hereby waive any claims for damages from the use of the easement hereby offered.

**THIRD** that the party of the second part agrees to indemnify and save the party of the first part harmless from and against any and all claims, liability, loss, expense, suits, damages, judgments, demands, and cost, including reasonable legal fees and expenses from the use of the easement hereby offered.

**FOURTH** that the parties of the second part will not cause any impairment outside of said easement area occasioned by the party of the second part's use of said lands.

**FIFTH** that the parties of the first part will not erect or construct any permanent improvements within said easement without having first obtained written approval from the party of the second part.

**SIXTH** that the parties of the first part will not plant or place any tree or shrub within said easement without having first obtained written approval from the party of the second part.

**TO HAVE AND TO HOLD** the rights herein granted unto the party of the second part forever.

**AND** the party of the second part shall have the right to transfer, convey, and assign the rights herein granted to any and all additional parties at its sole discretion.

**AND** the party of the second part shall have the right to use the said premises, with the rights and privileges herein described and granted, for the purpose of access to use, maintain, repair, and or replace the existing storm drain on the property.

**AND** the party of the first part shall have the right to use the said premises, with the rights and privileges herein described and granted, provided that such use shall not interfere with the use, maintenance, repair, and or replacement of the existing storm drain on the property.

**AND** this easement shall be binding on the party of the first part and their respective distributees, successors, personal and legal representatives, successors and assigns forever.

The word "party" shall be construed as it if read "parties" whenever the sense of this indenture so requires.

**IN WITNESS WHEREOF**, the party of the first part has duly executed this easement the day and year first above written.

**IN PRESENCE OF:**

**FERRY LANDING AT BEACON, LTD.**

BY: \_\_\_\_\_  
Thomas Elias, President

STATE OF NEW YORK )  
                                  ) SS.:  
COUNTY OF \_\_\_\_\_ )

On the \_\_\_\_\_ day of \_\_\_\_\_, 2018 before me, the undersigned, a Notary Public in and for said state, personally appeared THOMAS ELIAS, President of ferry landing at Beacon, Ltd., known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is (are) subscribed to the within instrument and acknowledged to me that he executed the same in his capacity and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

\_\_\_\_\_  
Notary Public

***DRAINAGE EASEMENT***

TITLE No.

---

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**FERRY LANDING AT BEACON, LTD.**

TO

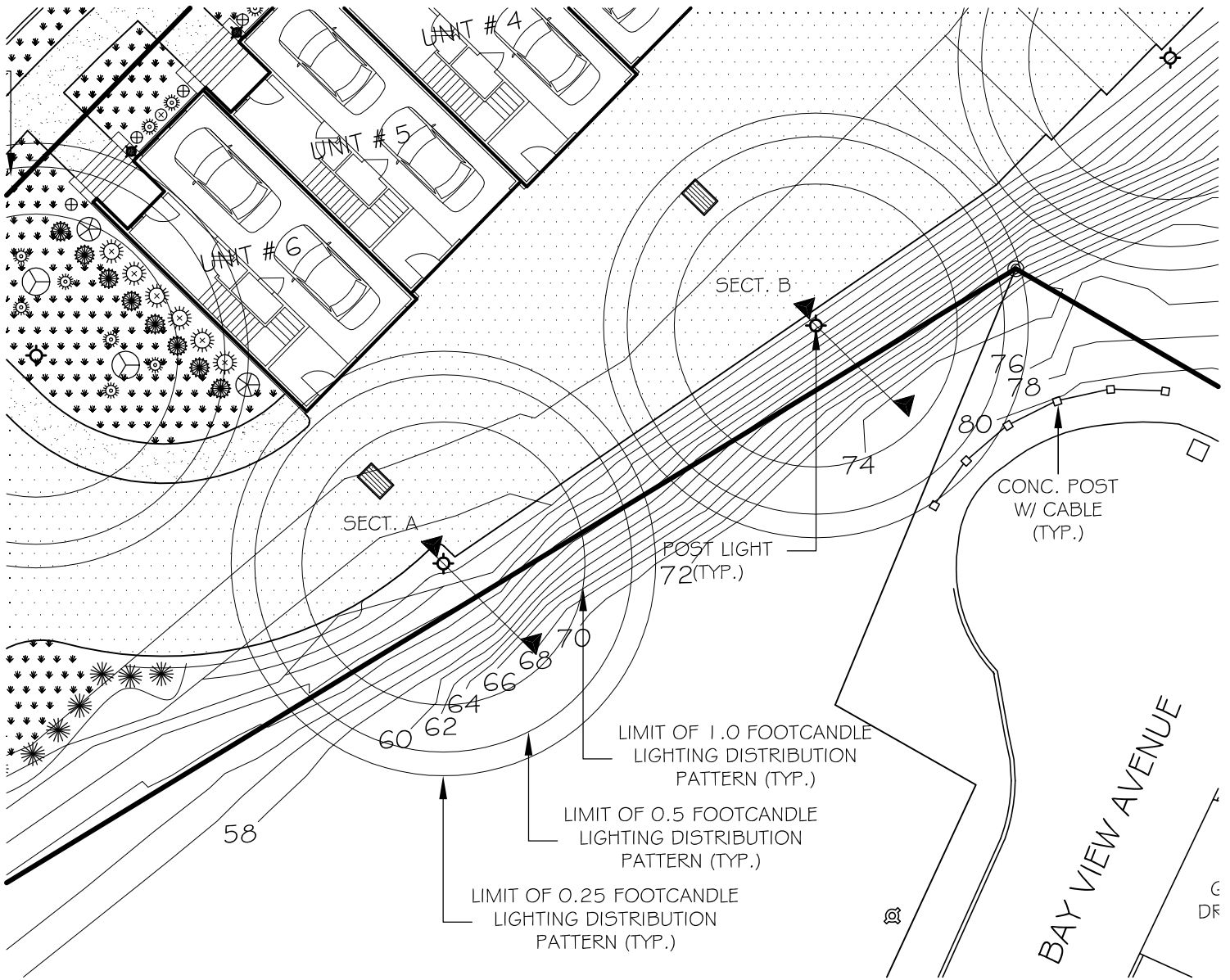
**CITY OF BEACON**

SECTION 5954  
BLOCK 33  
LOT 556840  
COUNTY DUTCHESS  
CITY BEACON

**DRAFT COPY**

RETURN BY MAIL TO:

CITY OF BEACON  
1 MUNICIPAL PLAZA  
BEACON, NY 12508

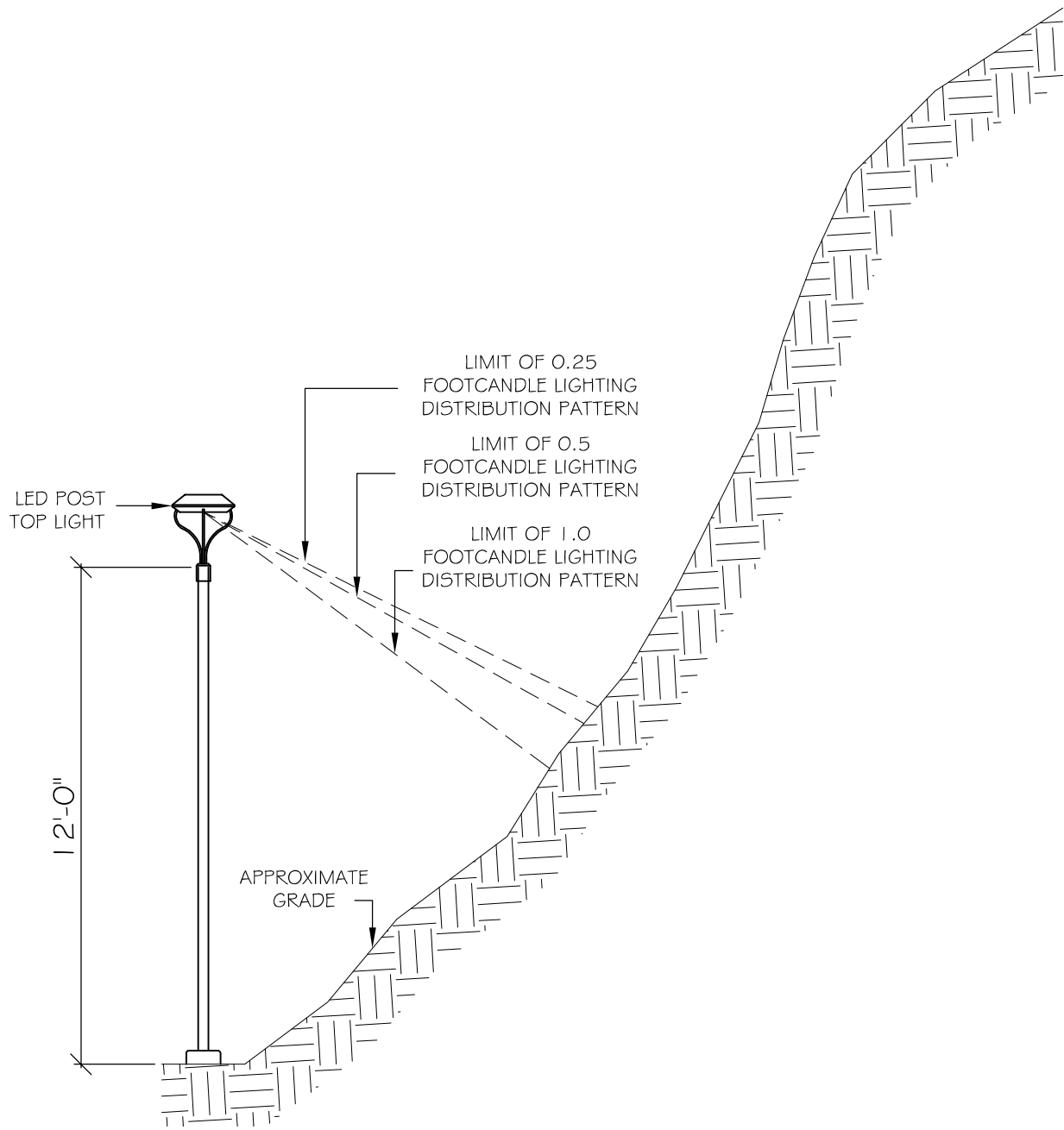


## SITE LIGHTING SECTION PLAN

SCALE: 1" = 20' - 0"  
 DATED MAY 18, 2018  
 SKETCH 1 OF 3

NARRATIVE:

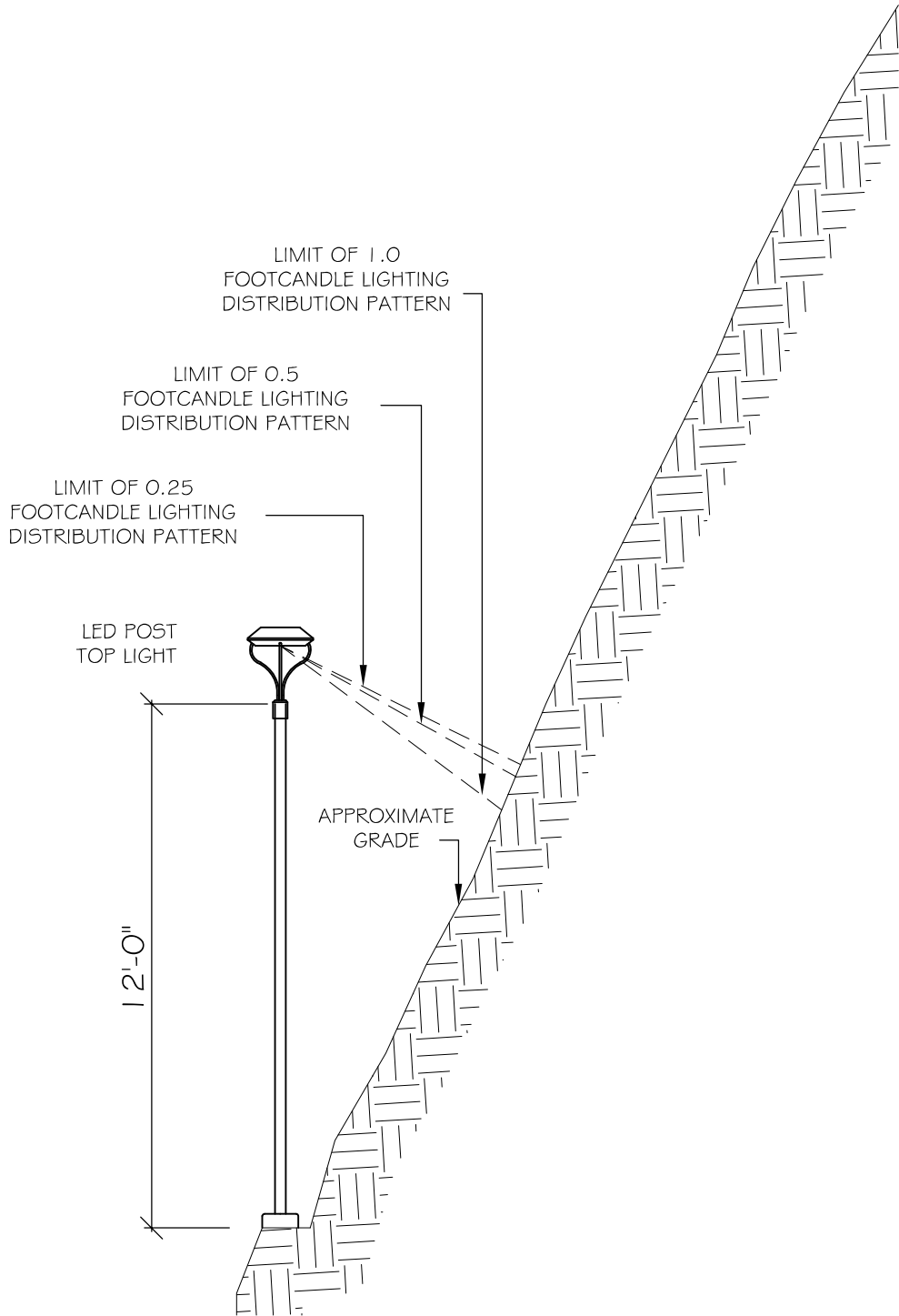
1.) THE PURPOSE OF THIS SKETCH AND ATTACHED SKETCHES 2 AND 3 IS TO ADDRESSES THE SHIELDING OF THE PROPOSED SITE LIGHTING. THESE SKETCHES INDICATE THAT THE EXISTING TOPOGRAPHY ON THE EAST SIDE OF THE SITE WILL PROVIDE CONTAINMENT OF THE ILLUMINANCE AND MINIMIZE THE DISTRIBUTION OF AMBIENT LIGHT ON ADJOINING PARCELS



## SECTION "A"

SCALE: 1/4 " = 1' - 0"  
DATED MAY 18, 2018  
SKETCH 2 OF 3



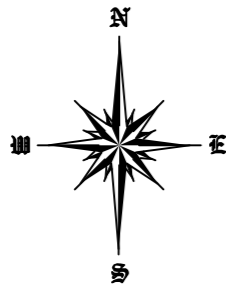


SECTION "B"

SCALE: 1/4 " = 1' - 0"

DATED MAY 18, 2018

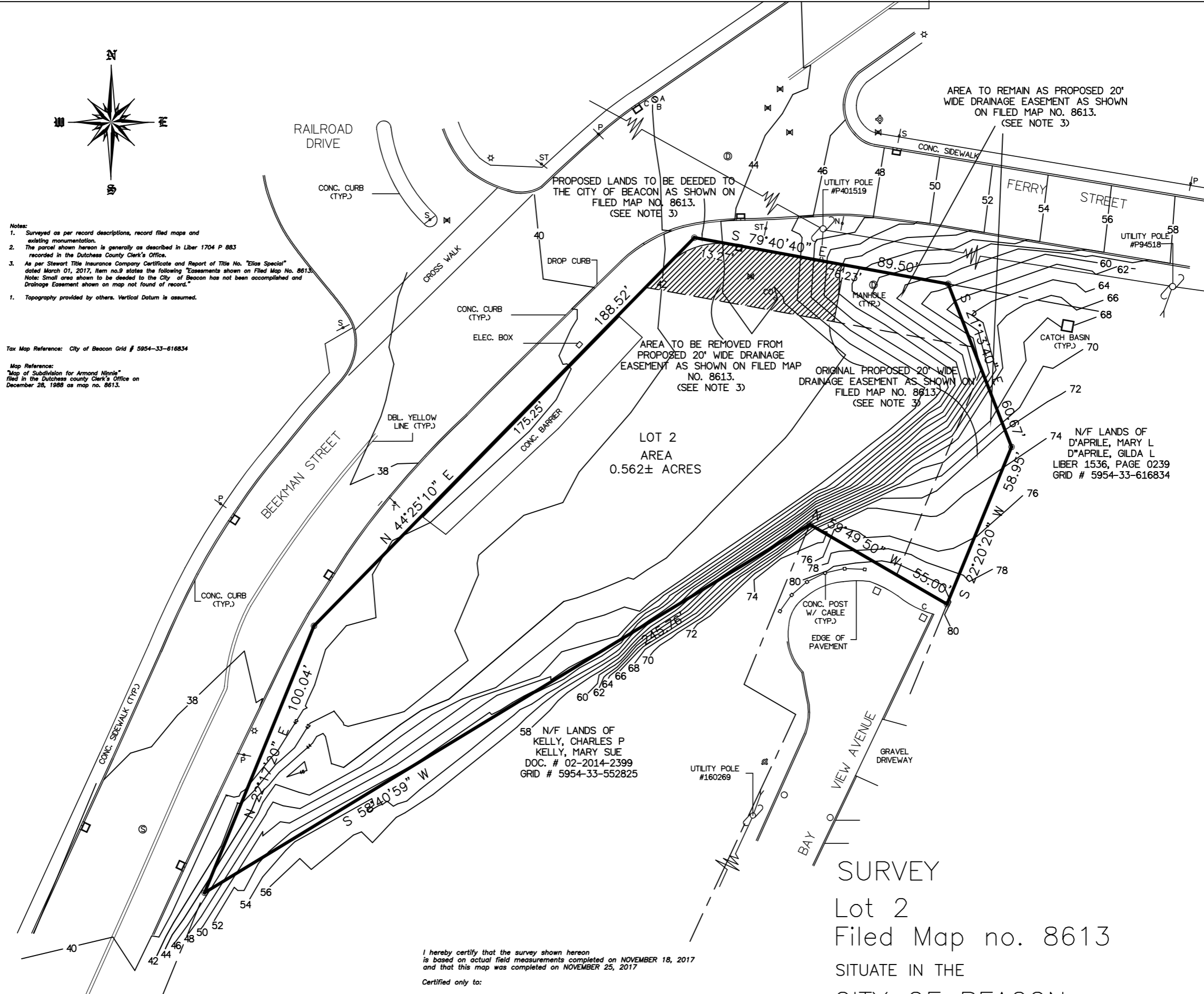
SKETCH 2 OF 3



- Notes:
1. Surveyed as per record descriptions, record filed maps and existing monumentation.
  2. The parcel shown hereon is generally as described in Liber 1704 P 883 recorded in the Dutchess County Clerk's Office.
  3. As per Stewart Title Insurance Company Certificate and Report of Title No. "Elias Special" dated March 01, 2017, Item no.9 states the following "Easements shown on Filed Map No. 8613. Note: Small area shown to be deeded to the City of Beacon has not been accomplished and Drainage Easement shown on map not found of record."
1. Topography provided by others. Vertical Datum is assumed.

Tax Map Reference: City of Beacon Grid # 5954-33-616834

Map Reference:  
"Map of Subdivision for Armond Ninnie"  
filed in the Dutchess county Clerk's Office on  
December 28, 1988 as map no. 8613.



LOT 2  
AREA  
0.562± ACRES

58 N/F LANDS OF  
KELLY, CHARLES P  
KELLY, MARY SUE  
DOC. # 02-2014-2399  
GRID # 5954-33-552825

N/F LANDS OF  
D'APRILE, MARY L  
D'APRILE, GILDA L  
LIBER 1536, PAGE 0239  
GRID # 5954-33-616834

I hereby certify that the survey shown hereon  
is based on actual field measurements completed on NOVEMBER 18, 2017  
and that this map was completed on NOVEMBER 25, 2017

Certified only to:  
FERRY CROSSING at BEACON LTD



By: John J. Post, Jr., NYS Lic. No. 50643

REVISED 03.11.18 Topography amended  
REVISED 01.20.18

SURVEY  
Lot 2  
Filed Map no. 8613  
SITUATE IN THE  
CITY OF BEACON  
DUTCHESS COUNTY, N.Y.  
SCALE 1" = 20'  
NOVEMBER 25, 2017

The location of any subsurface easements, right of ways, encroachments and/or improvements, if any exist, are not certified or shown hereon.

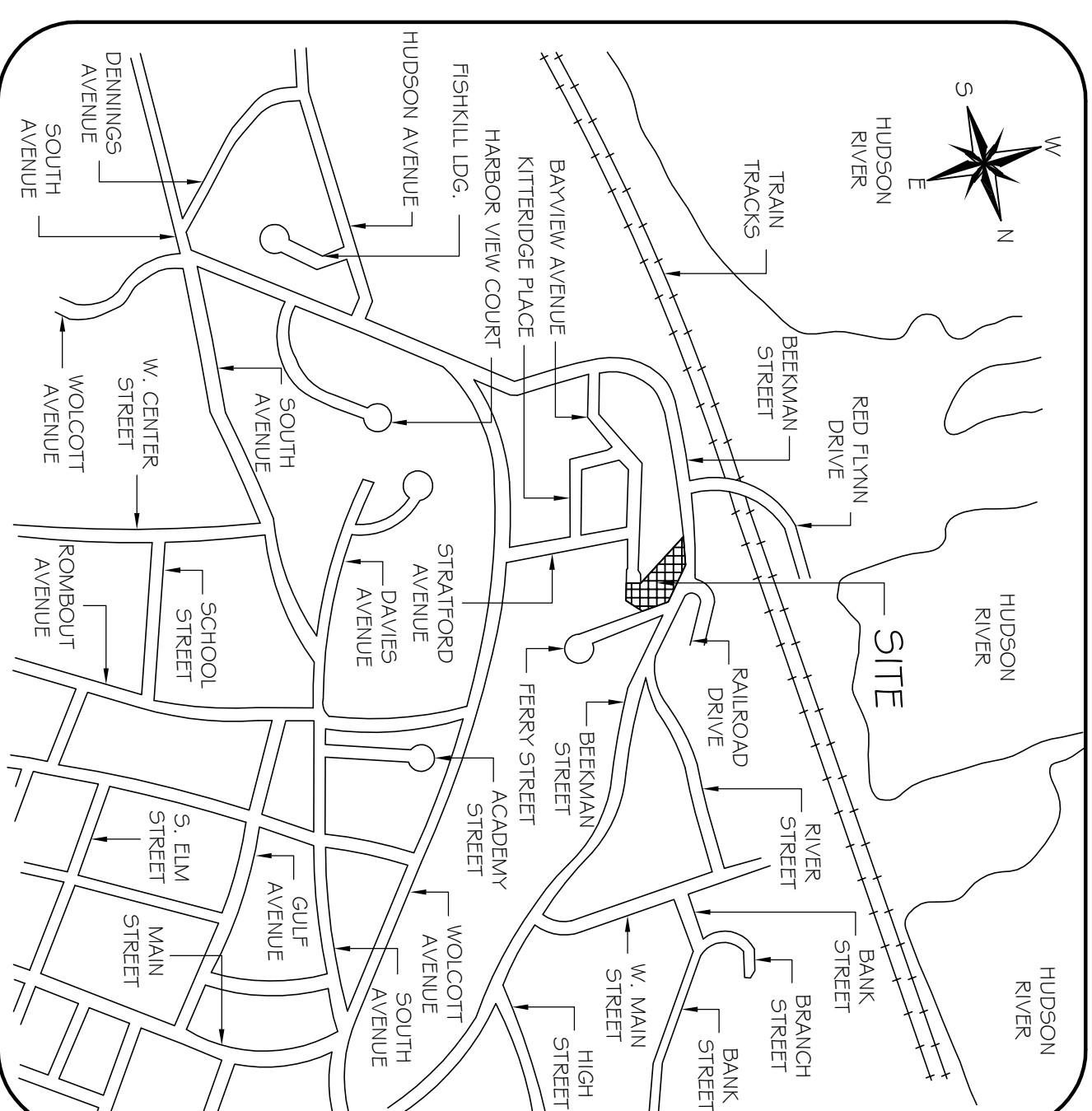
Any alterations or additions to this survey is a violation of Section 7209 of the New York State Education Law, except as per Section 7209 Sub-division 2.

All certifications hereon are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

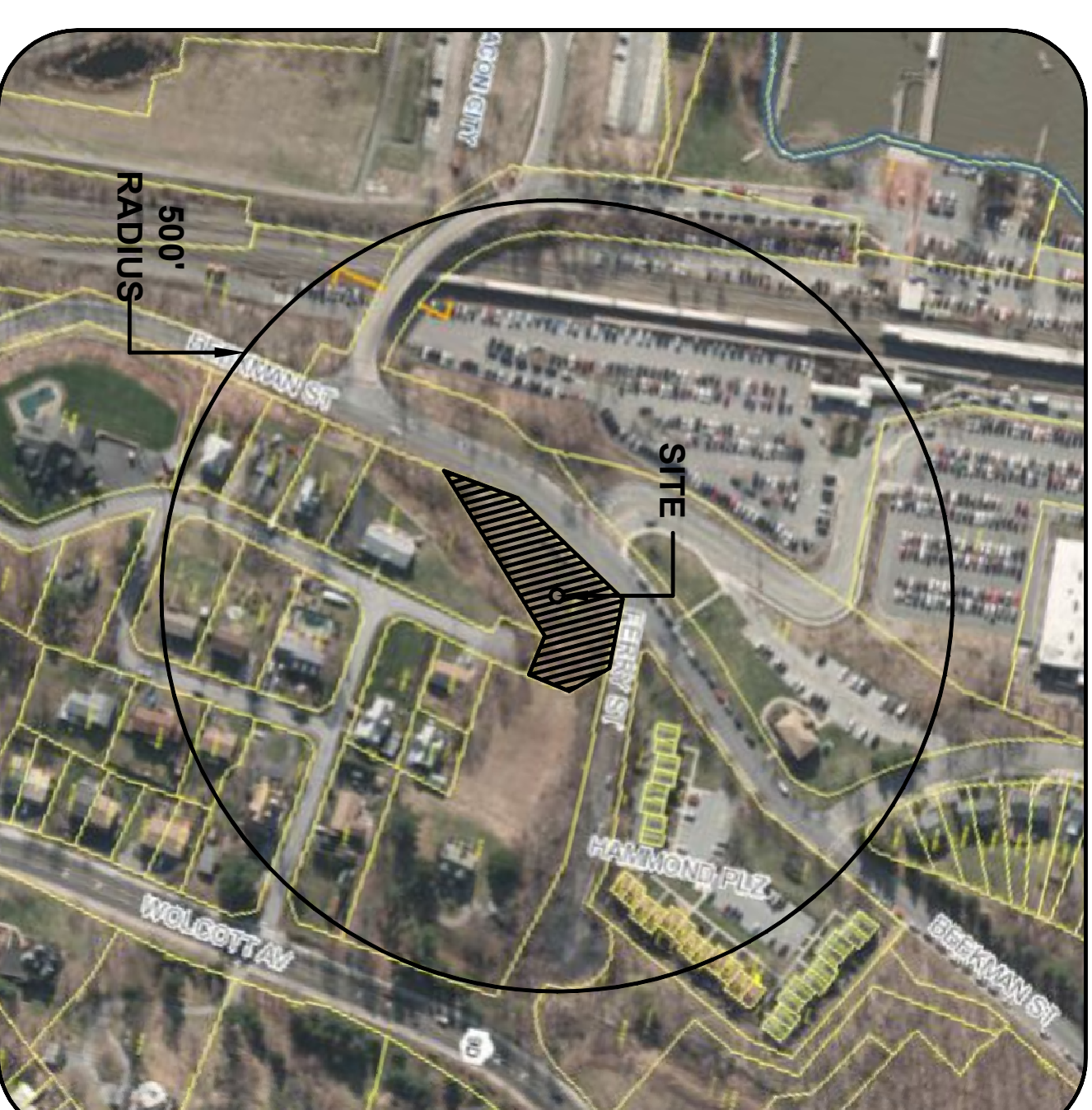
John J. Post, Jr., Land Surveyor  
P.O. Box 827, Stone Ridge, N.Y. (845) 706-7528

**GENERAL PARCEL INFORMATION**

PARCEL GRID IDENTIFICATION # 5954-33-55640  
 PARCEL INFORMATION: LIBER 1704 PAGE 0883  
 AKA LOT # 2 ON FM # 0613  
 MUNICIPALITY: BEACON  
 PARCEL LOCATION: BEEKMAN & FERRY STREET  
 CURRENT OWNER: NINNIE ARMAND  
 PO BOX 328  
 BEACON, NY 12508  
 PARCEL DETAILS:  
 SIZE: 0.56 ACRES = 24,491 SF  
 SCHOOL DISTRICT: BEACON CITY  
 LAND USE: VACANT  
 ZONING DISTRICT: LINKAGE DISTRICT (L)  
 FLOOD INFORMATION: NO PORTION OF THE PROPERTY IS SUBJECT TO FLOODING OR STORMWATER OVERFLOWS



**LOCATION MAP**  
 SCALE: 1" = 1200' ±



**AERIAL OF SURROUNDING BUILDINGS**  
 SCALE: 1" = 200' ±

**GENERAL PROJECT INFORMATION**

PROJECT APPLICANT:  
 FERRY LANDING AT BEACON, LTD.  
 POST OFFICE BOX 294  
 BEACON, NY 12508

PROPOSED USE:  
 ATTACHED DWELING UNITS IN ACCORDANCE WITH SECTION 223-41.21 A. (2)  
 OF THE CITY OF BEACON ZONING CODE

NUMBER OF UNITS:  
 SIX (6) SINGLE FAMILY RESIDENTIAL UNITS

FRONT SETBACK:  
 MINIMUM 0', MAXIMUM 20'

CORNER BUILDINGS:  
 ASSUME FRONTAGE ON BOTH STREETS & FRONT SETBACKS APPLY TO BOTH

SIDE SETBACKS:  
 MINIMUM 0', MAXIMUM 30'

REAR SETBACKS:  
 MINIMUM 25'

BUILDING HEIGHT:  
 4 STORIES

LOT AREA & LOT WIDTH:  
 NO MINIMUM

LOT DEPTH:  
 MINIMUM 75'

FLOOR AREA RATIO:  
 NO MINIMUM

LANDSCAPED AREA:  
 MINIMUM REQUIRED: 15% OF LOT AREA = 3,674 SF  
 LANDSCAPED AREA PROVIDED: 20% OF LOT AREA = 4,847 SF

ADDITIONAL LANDSCAPED AREA ADJOINING SITE = 1,820 SF  
 TOTAL AREA OF LANDSCAPING PROVIDED = 6,667 SF

MINIMUM REQUIRED: 6 SPACES  
 PARKING PROVIDED: 12 INTERIOR SPACES / 6 EXTERIOR SPACES

OFF STREET PARKING:  
 BUILDING FOOTPRINT:

PAVEMENT AREA:  
 0.11 ACRES = 4,770 SF

0.18 ACRES = 8,034 SF ON SITE

0.03 ACRES = 1,511 SF ADJOINING SITE

0.21 ACRES = 9,545 SF TOTAL AREA

AREA OF DISTURBANCE:  
 0.41 ACRES = 17,651 SF ON SITE

0.07 ACRES = 3,331 SF ADJOINING SITE

0.48 ACRES = 20,962 SF TOTAL AREA

**PLAN LEGEND**

	SITE PROPERTY LINE
	ADJOINING PROPERTY LINE
	EXISTING CONTOUR LINE
	EXISTING STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING DRAINAGE MANHOLE
	EXISTING STOP SIGN
	EXISTING NO OUTLET SIGN
	EXISTING STREET SIGN
	EXISTING PARKING SIGN
	EXISTING TRAIN SIGN
	EXISTING SEWER MAN HOLE
	EXISTING UTILITY POLE
	EXISTING OH WIRE
	PROPOSED POST LIGHT
	PROPOSED CONTOUR LINE
	PROPOSED LOW POINT SPOT ELEVATION
	PROPOSED 4" Ø SDR SEWER SERVICE
	PROPOSED DOWN SHOUT
	PROPOSED 1" Ø WATER SERVICE
	PROPOSED CURB VALVE
	PROPOSED SEWER / DRAIN CLEAN OUT
	PROPOSED 8" Ø SDR SEWER MAIN
	PROPOSED 8" Ø ROOF DRAIN MAIN
	PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED ELECTRIC SERVICE
	PROPOSED TELEPHONE SERVICE
	PROPOSED CABLE TV SERVICE
	PROPOSED DRAINAGE MANHOLE

<b>DRAWING</b>	<b>DRAWING INDEX</b>	<b>DRAWING TITLE</b>
1 OF 9	SITE INFORMATION PLAN	
2 OF 9	EXISTING SITE CONDITIONS	
3 OF 9	SITE DEVELOPMENT PLAN	
4 OF 9	SITE GRADING PLAN	
5 OF 9	SITE UTILITIES PLAN	
6 OF 9	UTILITY PROFILE PLAN	
7 OF 9	SIGHT DISTANCE PLAN	
8 OF 9	SITE DETAILS PLAN	
9 OF 9	SITE DETAILS PLAN	

APPROVED BY RESOLUTION OF THE BEACON PLANNING BOARD  
 ON THE DAY OF 2017  
 SUBJECT TO ALL CONDITIONS AS STATED THEREIN

CHAIRMAN, CITY PLANNING BOARD

DATE

REVISION & DATE

**FERRY LANDING AT BEACON, LTD**  
 DEVELOPERS · DESIGNERS · BUILDERS  
 POST OFFICE BOX 294  
 BEACON, NY 12508

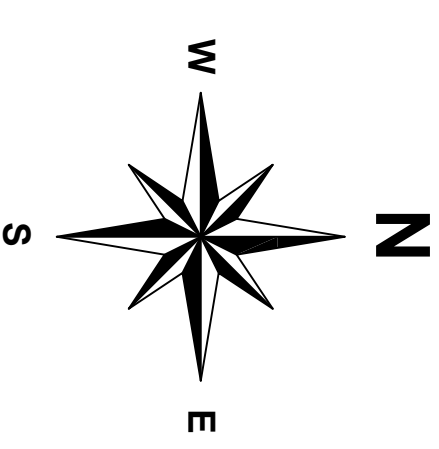
**SITE INFORMATION PLAN**  
 FOR  
**FERRY LANDING AT BEACON**  
 BEEKMAN AND FERRY STREET  
 BEACON, NY 12508

DATED: MAY 22, 2018

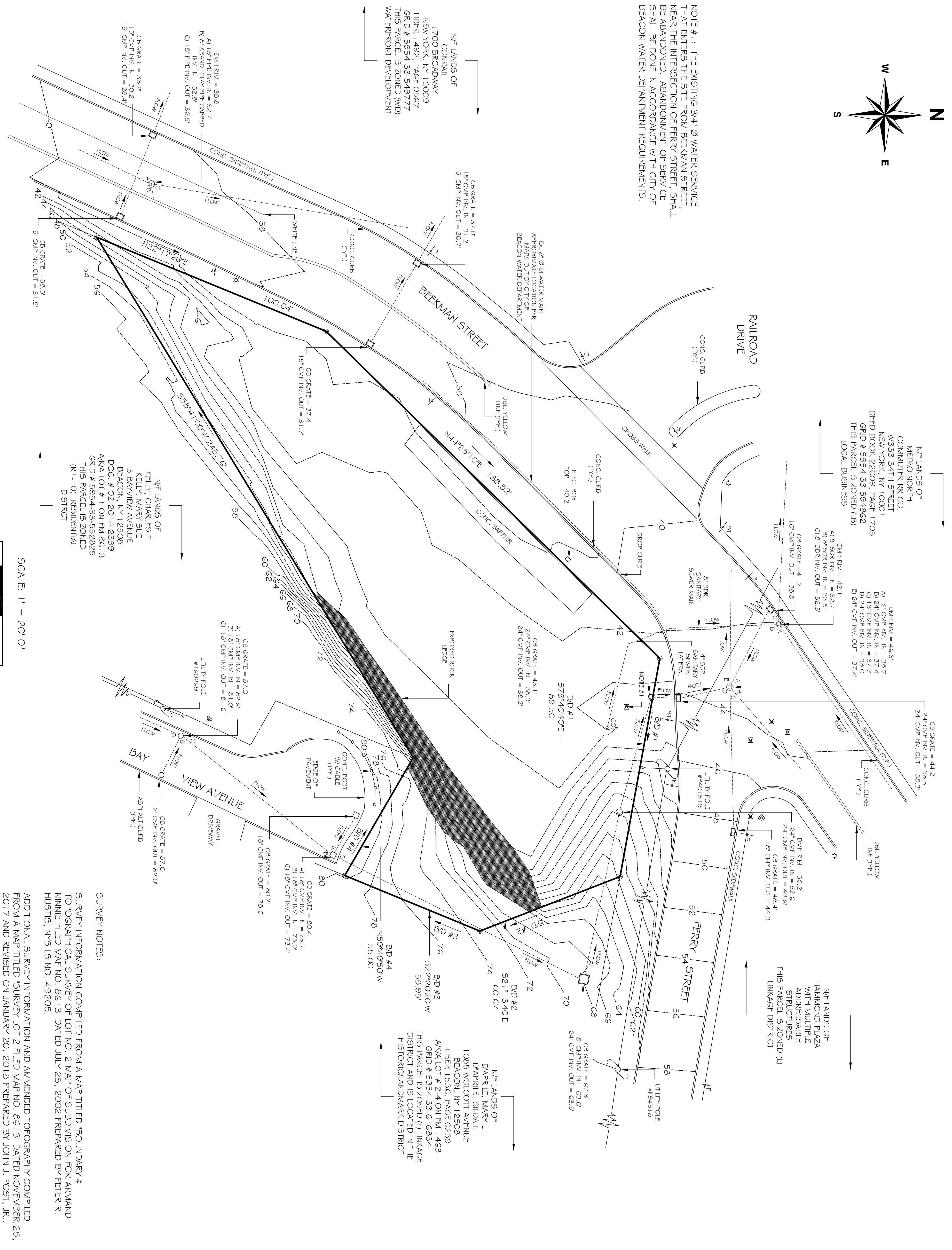
SCALE: NONE

DRAWING:

1 OF 9



NOTE #1: THE EXISTING 3/4" Ø WATER SERVICE THAT ENTERS THE SITE FROM BEEKMAN STREET, NEAR THE INTERSECTION OF FERRY STREET, SHALL BE ABANDONED. ABANDONMENT OF SERVICE SHALL BE DONE IN ACCORDANCE WITH CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.



SCALE: 1" = 20'-0"



EXISTING SITE CONDITIONS  
FOR  
FERRY LANDING AT BEACON  
BEEKMAN AND FERRY STREET  
BEACON, NY 12508

**FERRY LANDING AT BEACON, LTD**  
DEVELOPERS · DESIGNERS · BUILDERS  
POST OFFICE BOX 294  
BEACON, NY 12508

DATED: MAY 22, 2018  
SCALE: 1" = 20'-0"

DRAWING:  
2 OF 9

SURVEY NOTES:  
SURVEY INFORMATION COMPILED FROM A MAP TITLED "BOUNDARY & TOPOGRAPHICAL SURVEY OF LOT NO. 2 MAP OF SUBDIVISION FOR ARMAND NININE FILED MAP NO. 86.13" DATED JULY 25, 2002 PREPARED BY PETER R. HUSTIS, NYS LS NO. 49205.  
ADDITIONAL SURVEY INFORMATION AND AMENDED TOPOGRAPHY COMPILED FROM A MAP TITLED "SURVEY LOT 2 FILED MAP NO. 86.13" DATED NOVEMBER 25, 2017 AND REVISED ON JANUARY 20, 2018 PREPARED BY JOHN J. POST, JR., NYS LS NO. 50643

AREA AND DIMENSIONAL STANDARDS TABLE IN ACCORDANCE WITH SECTION 223-4.1.2(D)(1) AND FIGURE 21-1 LINKAGE ZONE STANDARDS

LOT STANDARDS		MIN.	MAX.	PROPOSED
LOT AREA	---	---	---	24,491 SF
LOT WIDTH	---	---	---	VARIES
LOT DEPTH	75'	---	---	VARIES > 75'
F.A.R.	---	---	---	---
FRONT SETBACK	0'	20'	---	VARIES < 20'
SIDE SETBACK	0'	30'	---	VARIES < 30'
REAR SETBACK	25'	---	---	VARIES > 25'
LANDSCAPED AREA	15%	---	---	23 %
FRONTAGE OCCUPANCY	---	---	---	---
PEDESTRIAN CLEARWAY	5'	---	---	5'

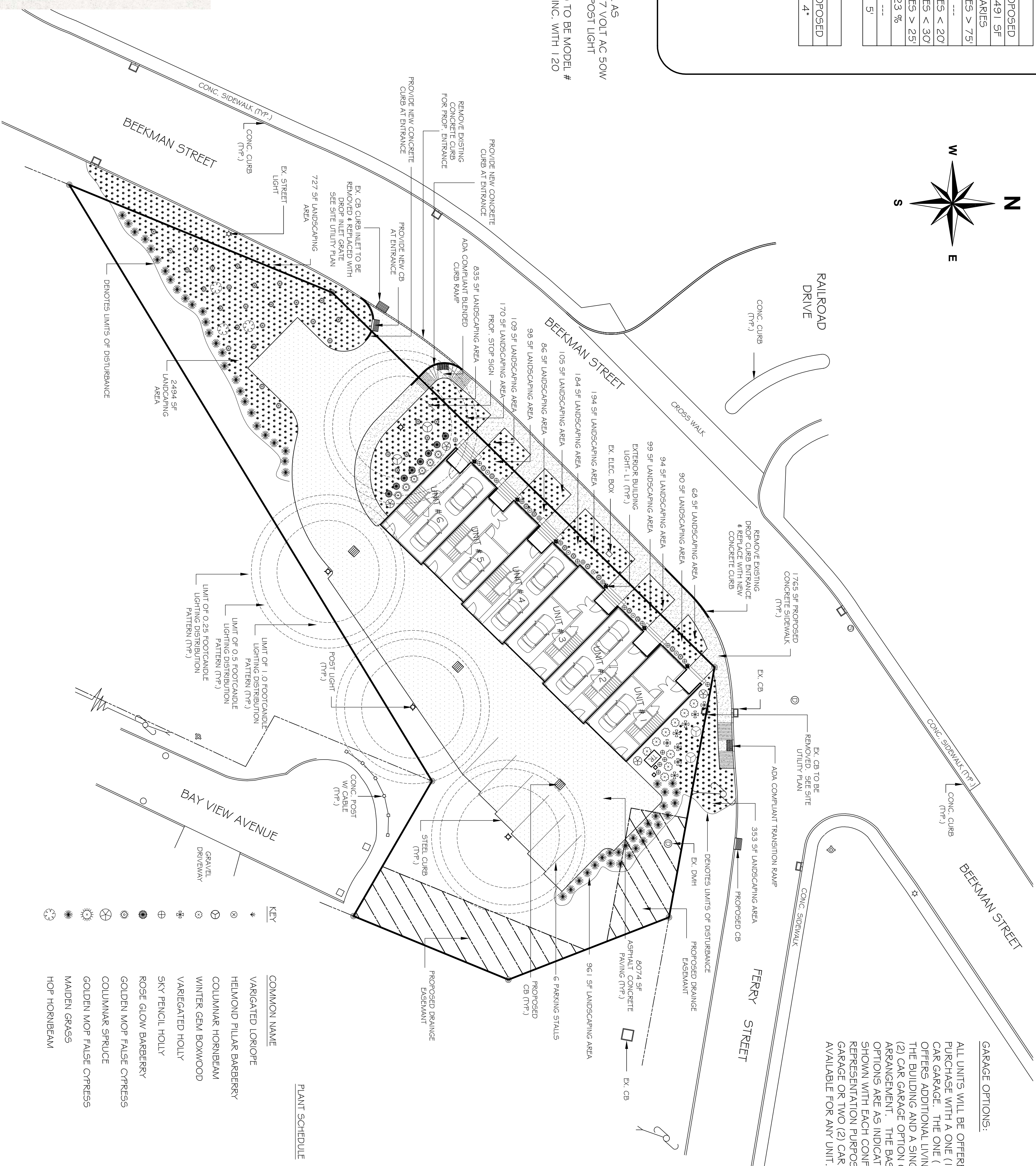
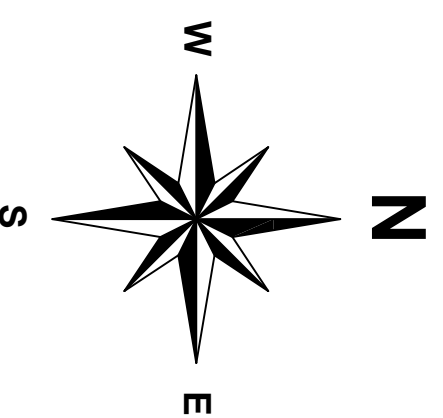
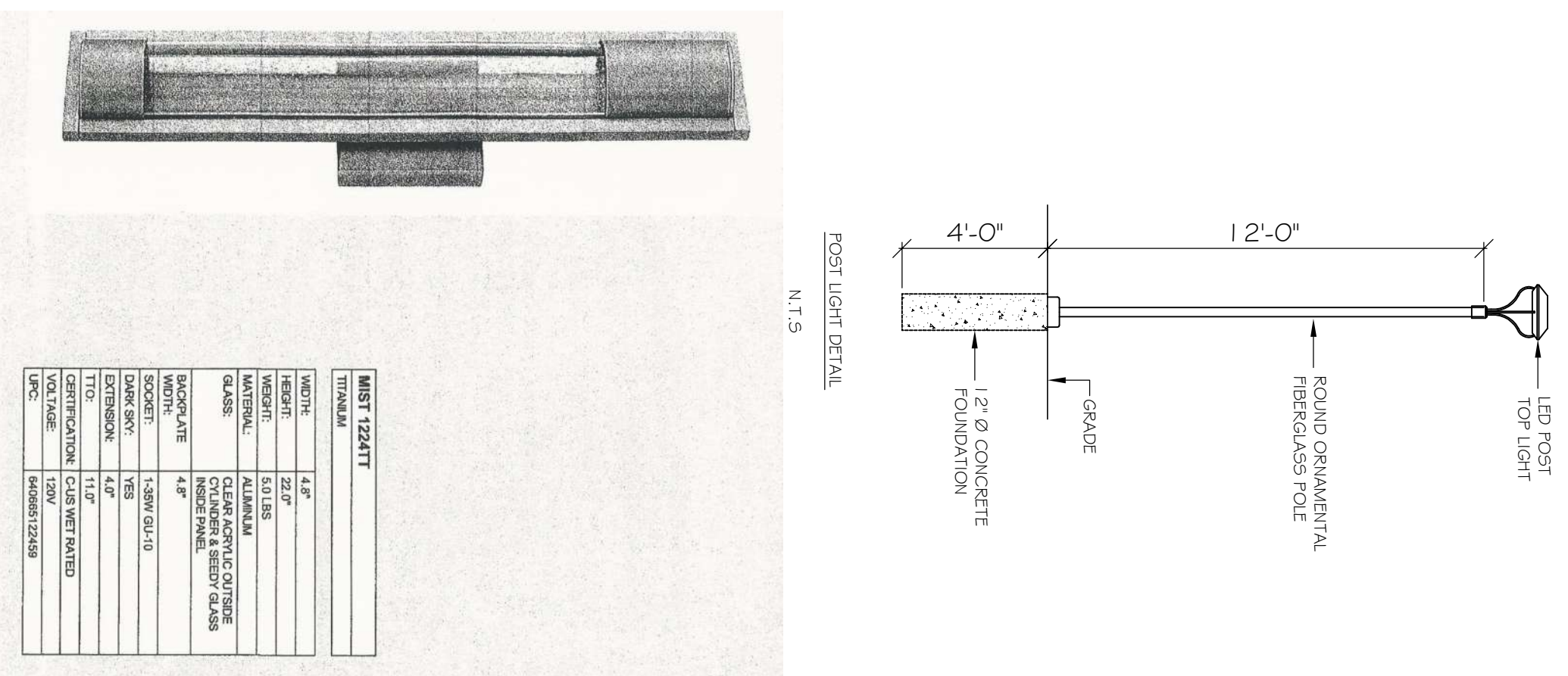
BUILDING HEIGHTS		MIN.	MAX.	PROPOSED
# OF STORIES	---	2	4*	4*

\* WITH 15' SETBACK OVER THIRD STORY

FRONTAGE TYPE	ALLOWED	PROPOSED
FORECOURT	YES	---
PORCH	YES	---
LIGHTWELL	YES	---
STOOP	YES	YES

**SITE LIGHTING NOTES:**

1. ALL POST LIGHTS TO BE MODEL # USPT5150MRU AS MANUFACTURED BY USAVEILED, LLC. WITH 100-277 VOLT AC 50W LED LAMP WITH DUSK TO DAWN PHOTOCONTROL. POST LIGHT PROVIDES "DARK SKY DESIGN".
2. ALL BUILDING MOUNTED EXTERIOR LIGHTING (L1) TO BE MODEL # 1224TT AS MANUFACTURED BY HINKLEY LIGHTING INC. WITH 120 VOLT AC 35W LED LAMP.



**GARAGE OPTIONS:**  
 ALL UNITS WILL BE OFFERED WITH AN OPTION TO PURCHASE WITH A ONE (1) CAR GARAGE OR A TWO (2) CAR GARAGE. THE ONE (1) CAR GARAGE OPTION OFFERS ADDITIONAL LIVING SPACE IN THE FRONT OF THE BUILDING AND A SINGLE REAR GARAGE. THE TWO (2) CAR GARAGE OPTION OFFERS A TANDEM GARAGE ARRANGEMENT. THE BASIC DESIGN FOR THESE TWO OPTIONS ARE AS INDICATED ON THIS PLAN. THE UNITS SHOWN WITH EACH CONFIGURATION ARE FOR REPRESENTATION PURPOSES ONLY. THE ONE (1) CAR GARAGE OR TWO (2) CAR GARAGE OPTION WILL BE AVAILABLE FOR ANY UNIT.

**PLANT SCHEDULE**

COMMON NAME	SIZE	QUANTITY
VARIATED LORIOPE	1 GAL	1263
HELMOND PILAR BARBERRY	3 GAL	6
COLUMNAR HORNBAM	8' HEIGHT B&B	4
WINTER GEM BOXWOOD	24"-30" B&B	9
VARIATED HOLLY	3 GAL	8
SKY FENCIL HOLLY	7 GAL	18
ROSE GLOW BARBERRY	3 GAL	8
GOLDEN MOP FALSE CYPRESS	5 GAL	42
COLUMNAR SPRUCE	8'-10' HEIGHT B&B	2
GOLDEN MOP FALSE CYPRESS	24"-30" B&B	6
MAIDEN GRASS	3 GAL	54
HOP HORNBAM	8' HEIGHT B&B	3



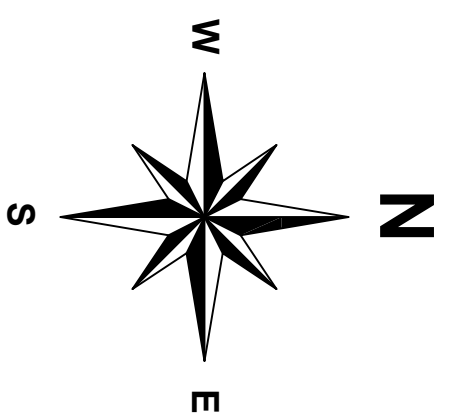
REVISION & DATE

**FERRY LANDING AT BEACON, LTD**  
 DEVELOPERS · DESIGNERS · BUILDERS  
 POST OFFICE BOX 294  
 BEACON, NY 12508

**SITE DEVELOPMENT PLAN**  
 FOR  
**FERRY LANDING AT BEACON**  
 BEEKMAN AND FERRY STREET  
 BEACON, NY 12508

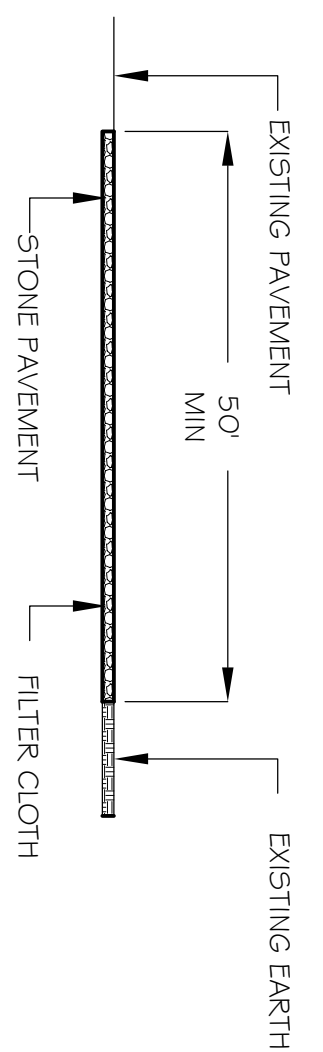
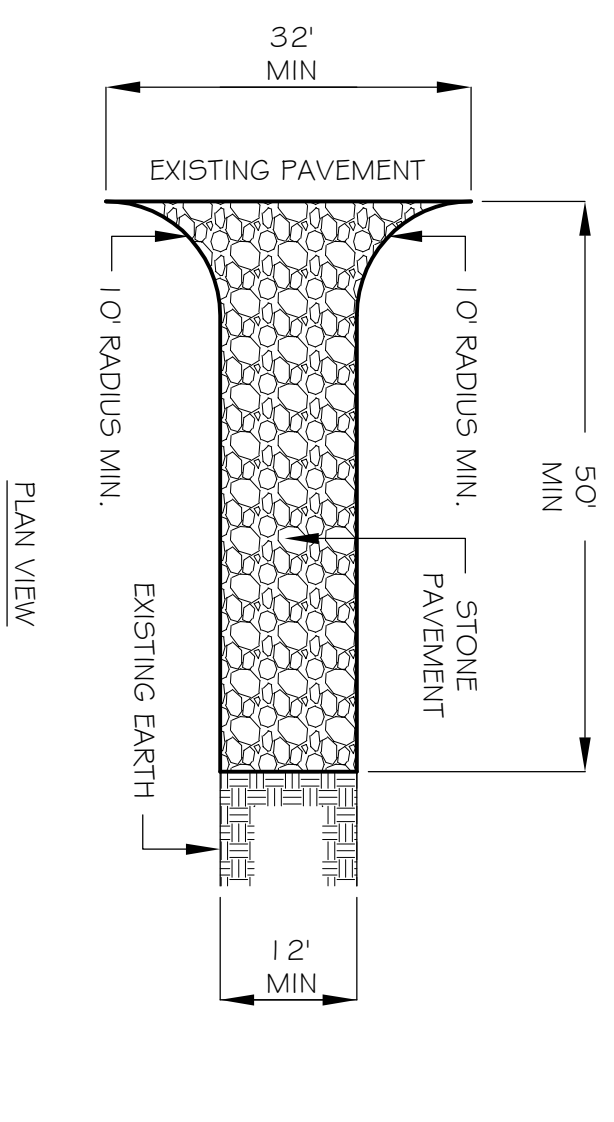
DATED: MAY 22, 2018  
 SCALE: 1" = 20'-0"

DRAWING:  
**3 OF 9**



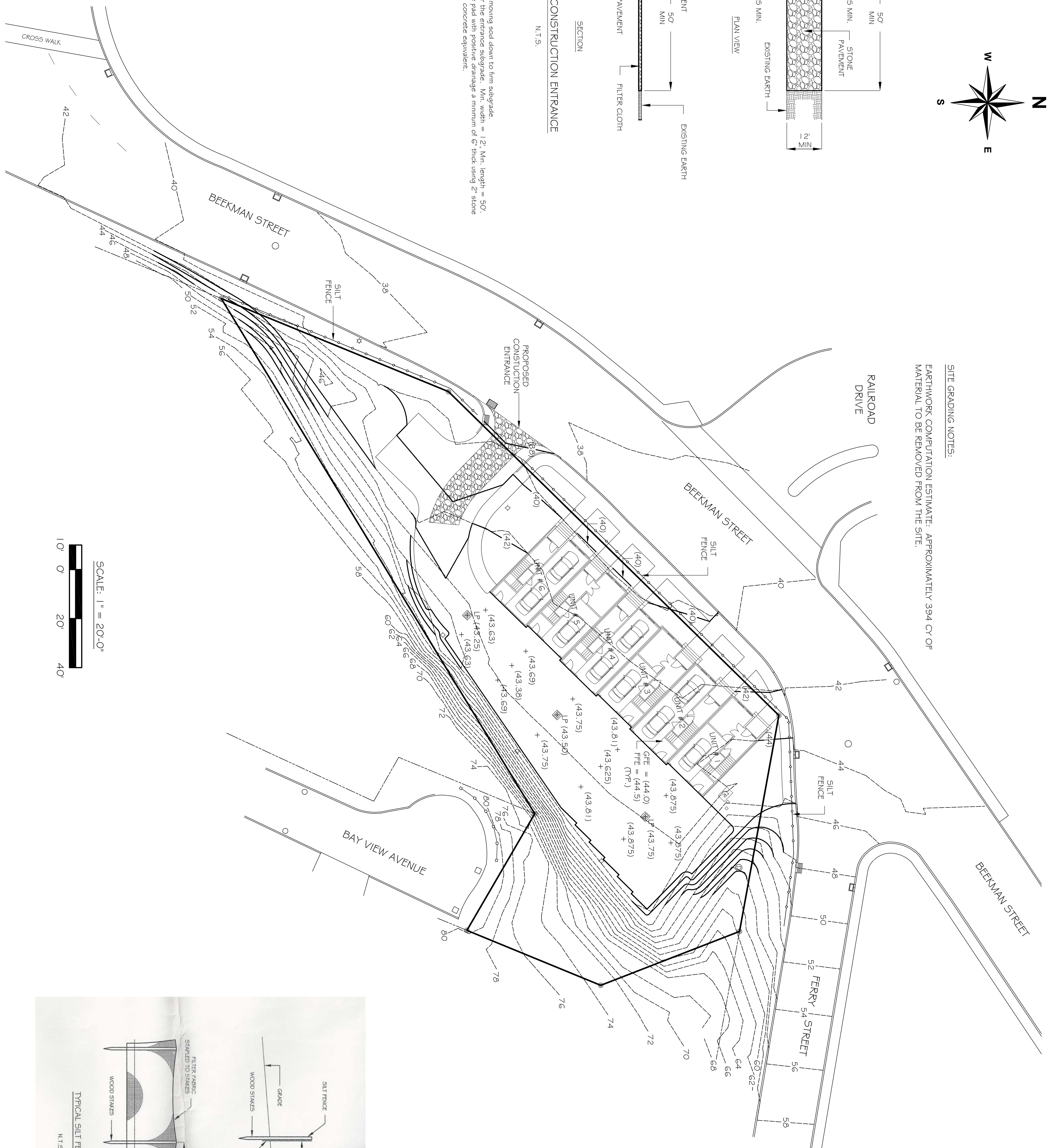
SITE GRADING NOTES:

EARTHWORK COMPUTATION ESTIMATE: APPROXIMATELY 394 CY OF MATERIAL TO BE REMOVED FROM THE SITE.

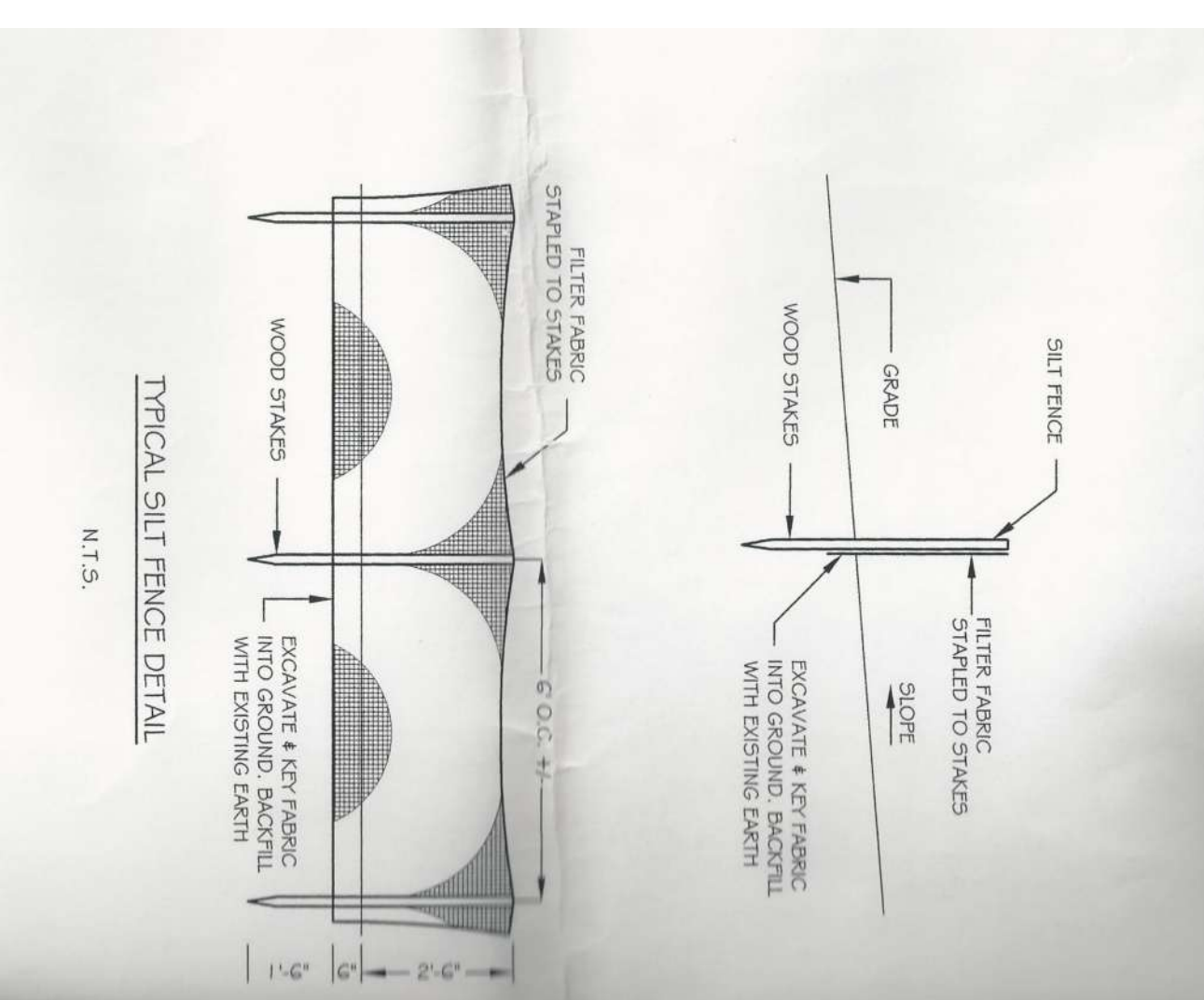
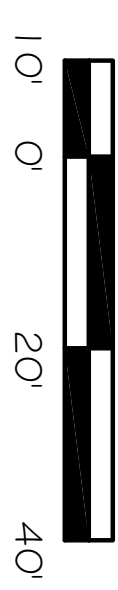


STABILIZED CONSTRUCTION ENTRANCE  
N.T.S.

- Installation Details:
1. Grade entrance by removing sod down to firm subgrade.
  2. Place filter cloth over the entrance subgrade. Min. width = 12'. Min. length = 50'.
  3. Construct aggregate pad with positive drainage a minimum of 6" thick using 2" stone or reclaimed or recycled concrete equivalent.



SCALE: 1" = 20'-0"



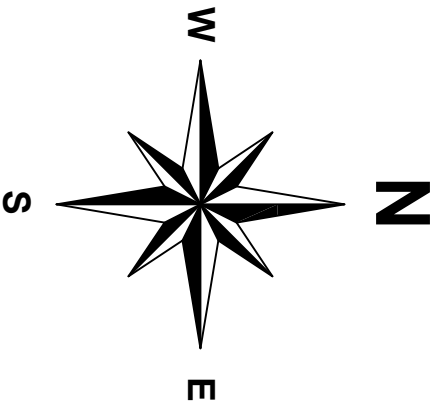
TYPICAL SILT FENCE DETAIL  
N.T.S.

REVISION & DATE

**FERRY LANDING AT BEACON, LTD**  
DEVELOPERS · DESIGNERS · BUILDERS  
POST OFFICE BOX 294  
BEACON, NY 12508

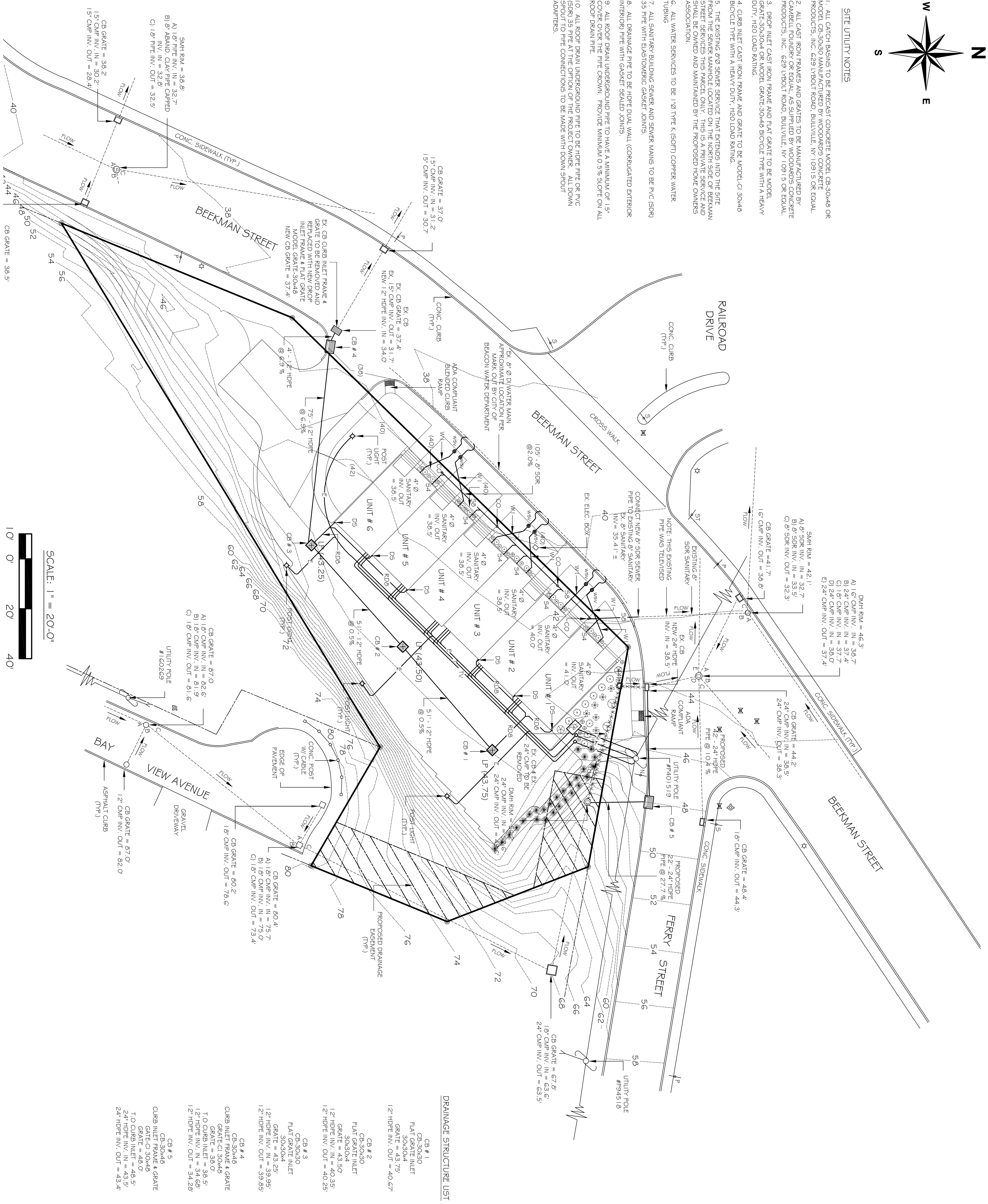
**SITE GRADING PLAN**  
FOR  
**FERRY LANDING AT BEACON**  
BEEKMAN AND FERRY STREET  
BEACON, NY 12508

DATED: MAY 22, 2018  
SCALE: 1" = 20'-0"  
DRAWING:  
**4 OF 9**



**SITE UTILITY NOTES**

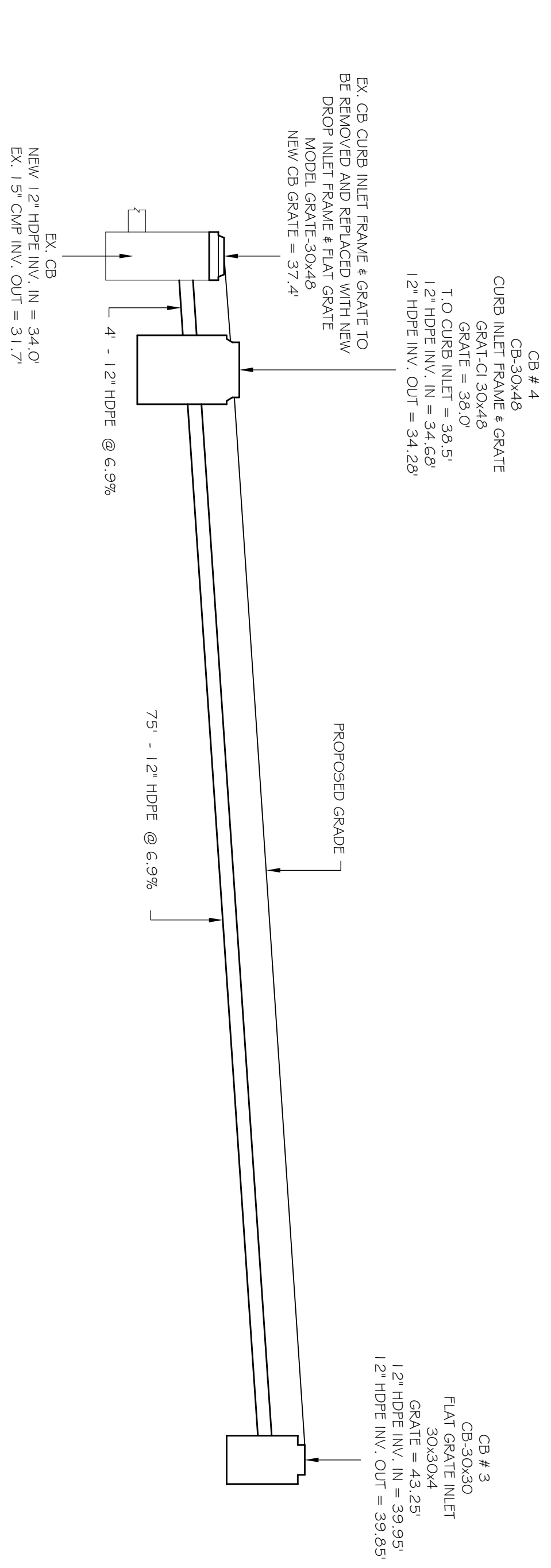
1. ALL CATCH BASINS TO BE PRECAST CONCRETE MODEL CB-30048 OR MODEL CB-30030 MANUFACTURED BY WOODWARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD, BULLVILLE, NY 10915 OR EQUAL.
2. ALL CAST IRON FRAMES AND GRATES TO BE MANUFACTURED BY CAMBELL FOUNDRY OR EQUAL, AS SUPPLIED BY WOODWARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD, BULLVILLE, NY 10915 OR EQUAL.
3. DROP INLET CAST IRON FRAME AND FLAT GRATE TO BE MODEL GRATE-300304 OR MODEL GRATE-30048 BICYCLE TYPE WITH A HEAVY DUTY, H20 LOAD RATING.
4. CURB INLET CAST IRON FRAME AND GRATE TO BE MODEL CI 30048 BICYCLE TYPE WITH A HEAVY DUTY, H20 LOAD RATING.
5. THE EXISTING 8"Ø SEWER SERVICE THAT EXTENDS INTO THE SITE FROM THE SEWER MANHOLE LOCATED ON THE NORTH SIDE OF BEEKMAN STREET SHALL BE REMOVED AND THE SERVICE SHALL BE RECONNECTED TO THE EXISTING 8"Ø SANITARY MAIN. ALL WORK SHALL BE OWNED AND MAINTAINED BY THE PROPOSED HOME OWNERS ASSOCIATION.
6. ALL WATER SERVICES TO BE 1/2" TYPE K (SOFT) COPPER WATER TUBING.
7. ALL SANITARY BUILDING SEWER AND SEWER MAINS TO BE PVC 6090 3/8" PIPE WITH ELASTOMERIC GASKET JOINTS.
8. ALL DRAINAGE PIPE TO BE HDPE DUAL WALL (CORRUGATED EXTERIOR INTERIOR PIPE WITH GASKET SEALED JOINTS).
9. ALL ROOF DRAIN UNDERGROUND PIPE TO HAVE A MINIMUM OF 1/8" DROP PER FOOT TO THE POINT OF THE PROJECT OWNER. ALL DOWN SPOUTS TO BE 1/2" Ø WITH GASKET SEALED JOINTS TO BE MADE WITH DOWN SPOUT ADAPTERS.
10. ALL ROOF DRAIN UNDERGROUND PIPE TO BE HDPE PIPE OR PVC GRAB 3/8" PIPE AT THE POINT OF THE PROJECT OWNER. ALL DOWN SPOUTS TO BE 1/2" Ø WITH GASKET SEALED JOINTS TO BE MADE WITH DOWN SPOUT ADAPTERS.



**SITE UTILITY PLAN**  
FOR  
**FERRY LANDING AT BEACON**  
BEEKMAN AND FERRY STREET  
BEACON, NY 12508

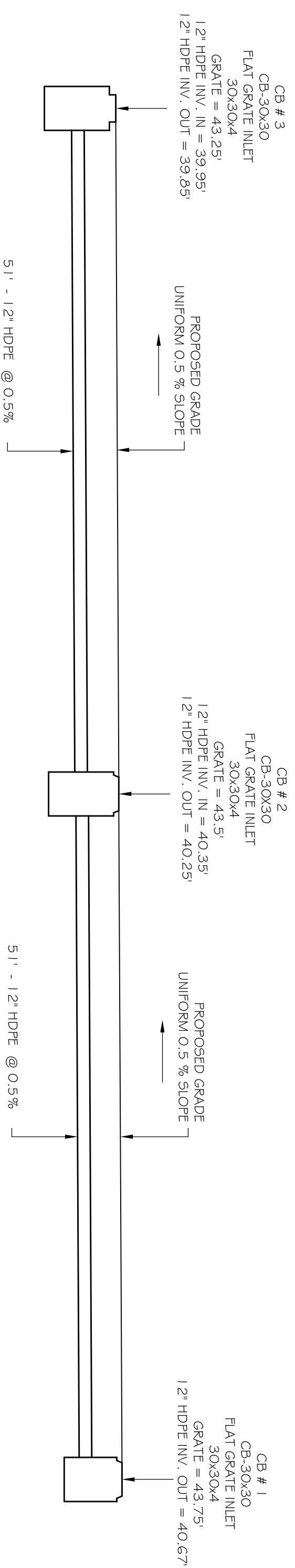
**FERRY LANDING AT BEACON, LTD**  
DEVELOPERS · DESIGNERS · BUILDERS  
POST OFFICE BOX 294  
BEACON, NY 12508

DATED: MAY 22, 2018  
SCALE: 1" = 20'-0"  
DRAWING:  
**5 OF 9**



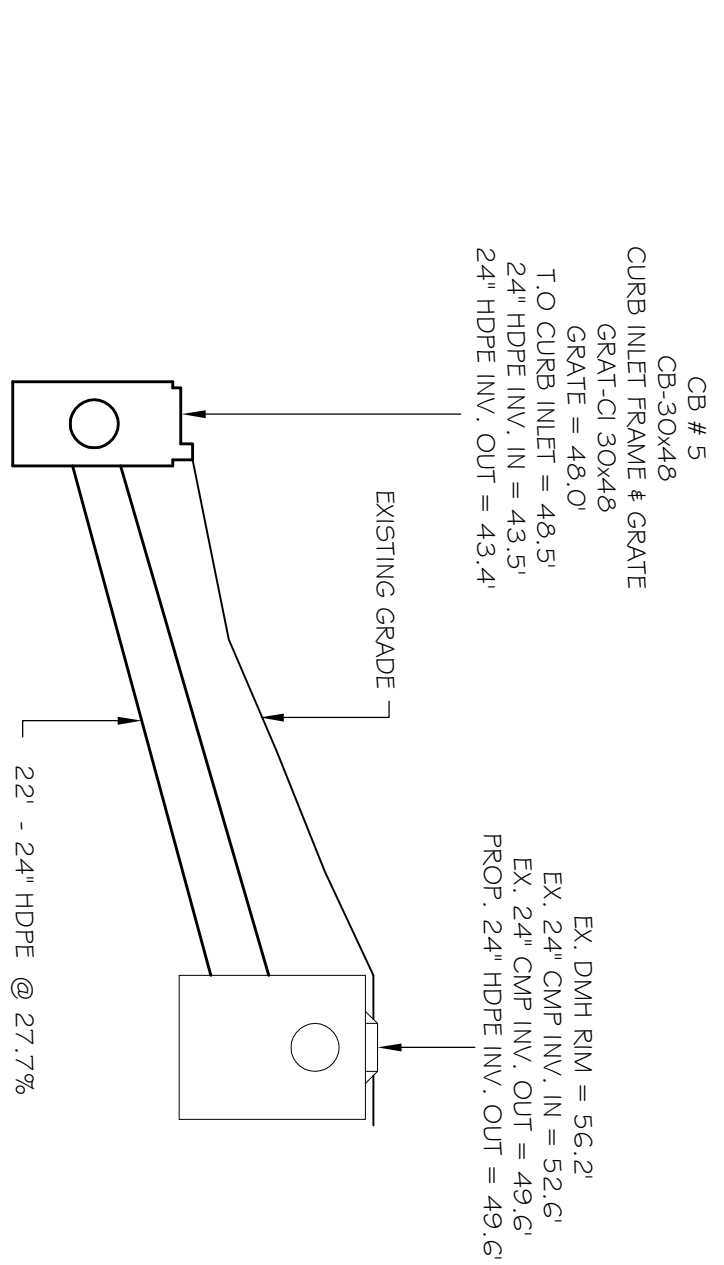
STORM DRAIN PROFILE AT CB#3 TO EX. CB

SCALE: 1/8" = 1'-0"



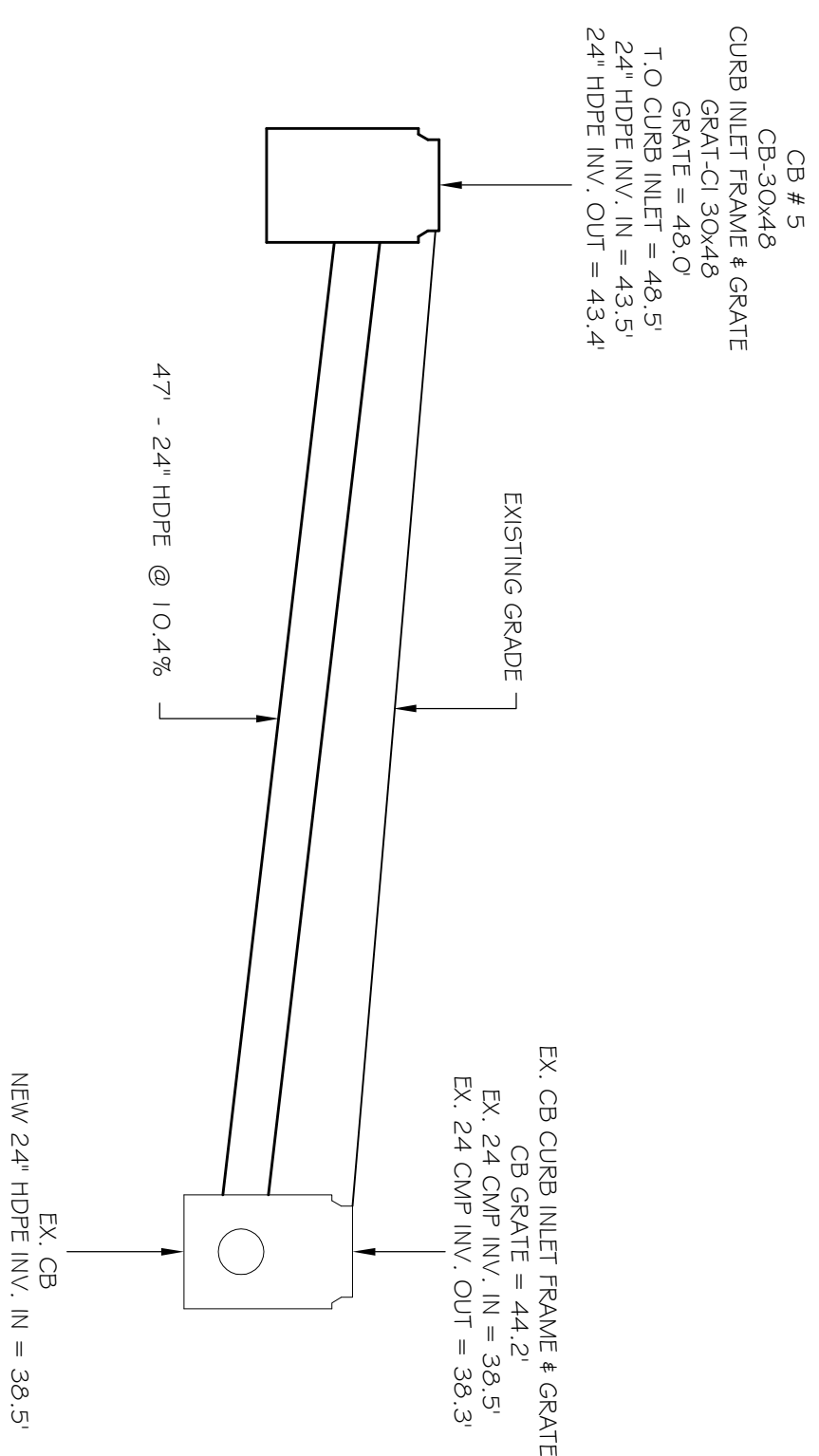
STORM DRAIN PROFILE AT CB#1 TO CB#3

SCALE: 1/8" = 1'-0"



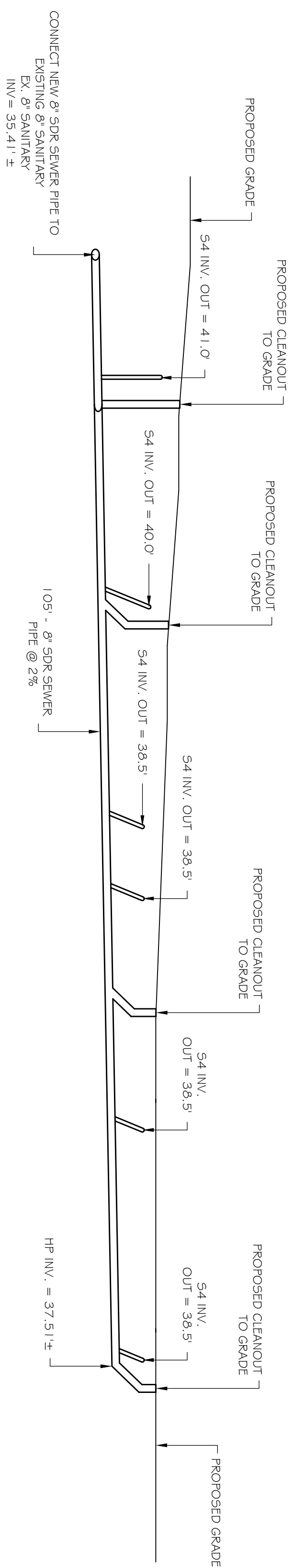
STORM DRAIN PROFILE AT EX. MH TO CB # 5

SCALE: 1/8" = 1'-0"



STORM DRAIN PROFILE AT CB # 5 TO EX. CB

SCALE: 1/8" = 1'-0"



SANITARY SEWER PROFILE

SCALE: 1/8" = 1'-0"

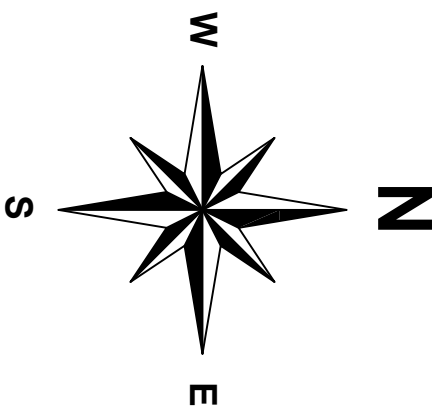
UTILITY PROFILE PLAN  
FOR  
**FERRY LANDING AT BEACON**  
BEEKMAN AND FERRY STREET  
BEACON, NY | 2508

**FERRY LANDING AT BEACON, LTD**  
DEVELOPERS · DESIGNERS · BUILDERS  
POST OFFICE BOX 294  
BEACON, NY 12508

DATED: MAY 22, 2018  
SCALE: 1/8" = 1'-0"

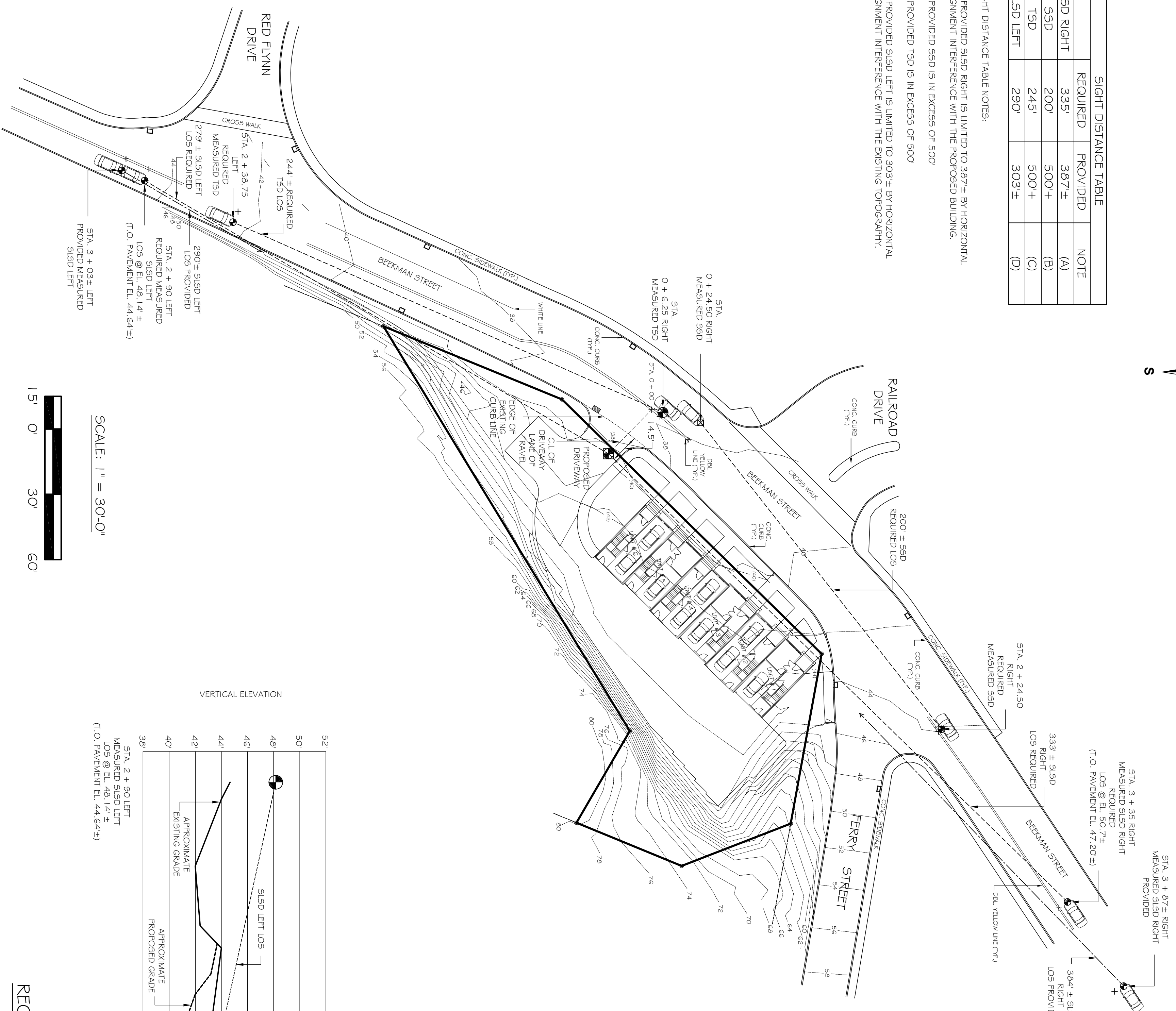
DRAWING:  
**6 OF 9**





SIGHT DISTANCE TABLE			NOTE
S1SD RIGHT	REQUIRED 335	PROVIDED 367±	(A)
S5D	REQUIRED 200	PROVIDED 500±	(B)
T5D	REQUIRED 245	PROVIDED 500±	(C)
S1SD LEFT	REQUIRED 290	PROVIDED 303±	(D)

- SIGHT DISTANCE TABLE NOTES:
- (A) PROVIDED S1SD RIGHT IS LIMITED TO 367± BY HORIZONTAL ALIGNMENT INTERFERENCE WITH THE PROPOSED BUILDING.
  - (B) PROVIDED S5D IS IN EXCESS OF 500
  - (C) PROVIDED T5D IS IN EXCESS OF 500
  - (D) PROVIDED S1SD LEFT IS LIMITED TO 303± BY HORIZONTAL ALIGNMENT INTERFERENCE WITH THE EXISTING TOPOGRAPHY.

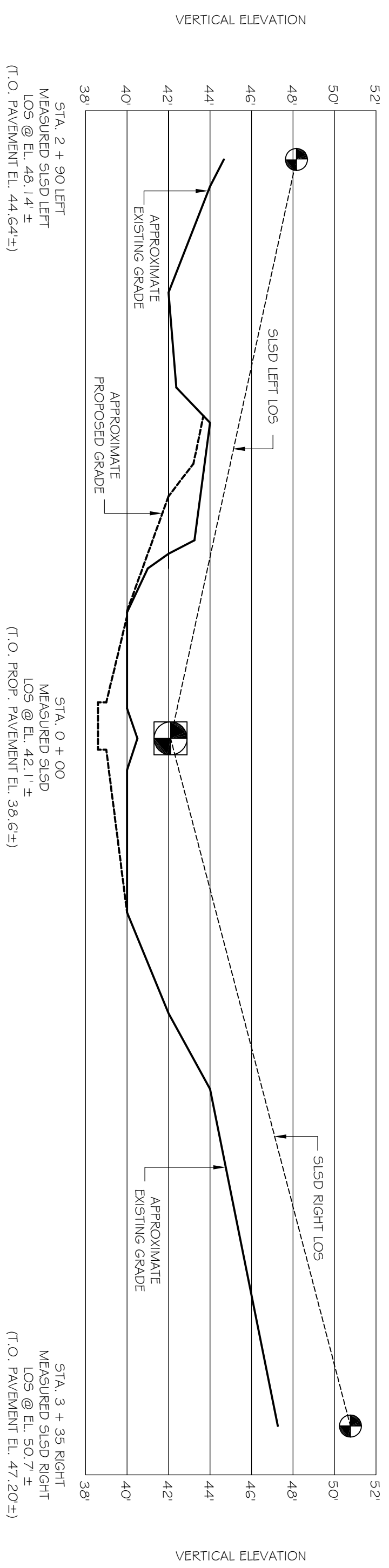


DRIVEWAY SIGHT DISTANCE NOTES

1. DRIVEWAY SITE DISTANCE REQUIREMENTS IN CONFORMANCE WITH THE STANDARDS CONTAINED IN THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION PUBLICATION TITLED "POLICY AND STANDARDS FOR DESIGNING STATE HIGHWAYS DATED JANUARY 15, 2013 AND THE ASSOCIATED SUPPLEMENTARY NOTES TO THE DESIGN OF STATE HIGHWAYS AND STREETS" DATED 2011.
2. DRIVEWAY SIGHT DISTANCE DESIGN BASED ON THE FOLLOWING:
  - A) 30 MPH DESIGN SPEED ON MAJOR ROAD WITH NO ADJUSTMENT FACTORS FOR SIGHT DISTANCES BASED ON APPROACH GRADE.
  - B) DRIVEWAY INTERSECTION WITH NO TRAFFIC CONTROL ON THE MAJOR ROAD AND STOP CONTROL ON THE DRIVEWAY.
  - C) 335 STOP LINE SIGHT DISTANCE (S1SD) FOR LEFT TURN FROM STOP - 1 LANE CROSSED.
  - D) 290 STOP LINE SIGHT DISTANCE (S1SD) FOR RIGHT TURN FROM STOP - 1 LANE CROSSED.
  - E) 245 TURNING SIGHT DISTANCE (T5D) ON MAJOR ROAD FROM MAJOR ROAD - 1 LANE CROSSED.
3. STOP LINE SIGHT DISTANCE (S1SD) AND TURNING SIGHT DISTANCE (T5D) ARE MEASURED AT 42' ABOVE DRIVEWAY SURFACE AND ROAD PAVEMENT SURFACE (DRIVER EYE ELEVATION).
4. STOPPING SIGHT DISTANCE (S5D) IS MEASURED FROM 42' ABOVE ROAD PAVEMENT SURFACE (DRIVER EYE ELEVATION).
5. A SIGHT DISTANCE SEGMENT FOR THE PURPOSE OF PROVIDING AND MAINTAINING UNOBSTRUCTED SIGHT DISTANCE FOR LIGHT AND DARK FERRIS FROM THE PROPOSED DRIVEWAY ACROSS ALL LOT'S AND COMMON AREAS WILL BE PROVIDED.

SIGHT DISTANCE SYMBOLS

- DRIVER LOCATION AT 42' ABOVE DRIVEWAY SURFACE ELEVATION AT STOP
- BRAKE LIGHT LOCATION AT 42' ABOVE ROAD SURFACE ELEVATION
- LINE OF SIGHT
- STOP LINE SIGHT DISTANCE
- STOP SIGHT DISTANCE
- TURNING SIGHT DISTANCE



REQUIRED STOP LINE SIGHT DISTANCE PROFILE

HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

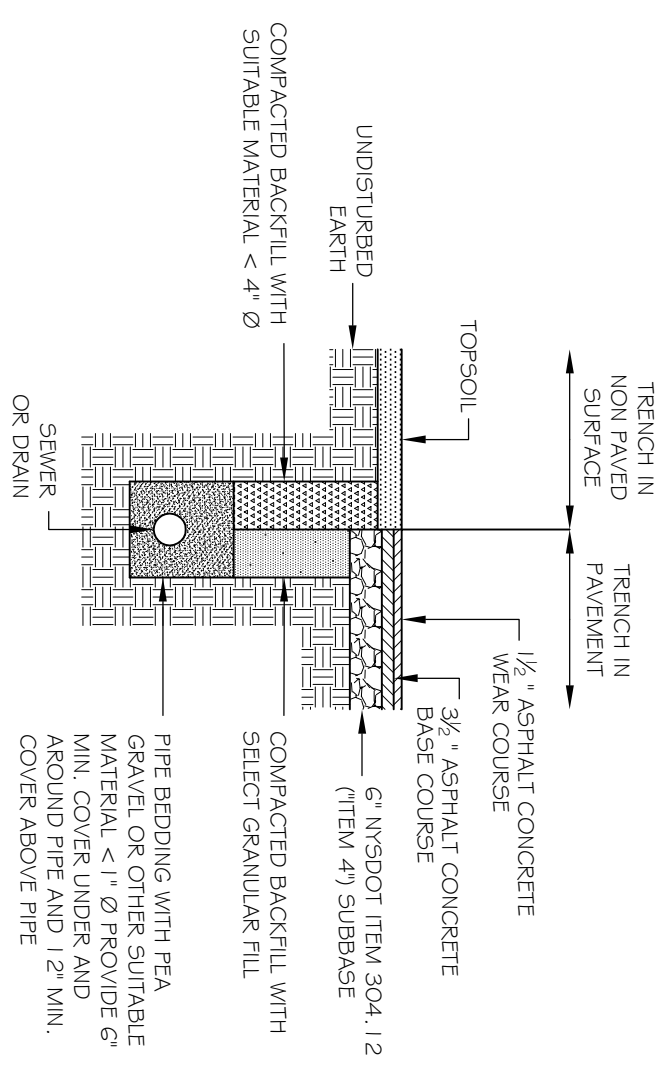
SCALE: 1" = 30'-0"  
15' 0' 30' 60'

**SIGHT DISTANCE PLAN**  
FOR  
**FERRY LANDING AT BEACON**  
BEEKMAN AND FERRY STREET  
BEACON, NY 12508

**FERRY LANDING AT BEACON, LTD**  
DEVELOPERS · DESIGNERS · BUILDERS  
POST OFFICE BOX 294  
BEACON, NY 12508

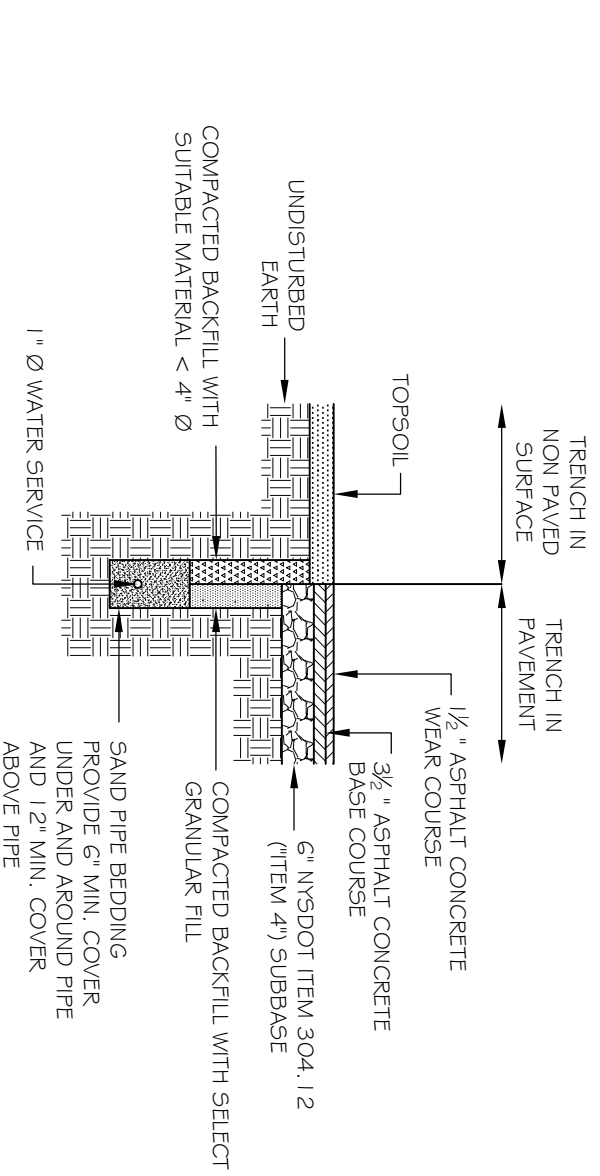
DATED: MAY 22, 2018  
SCALE: 1" = 30'-0"

DRAWING:  
**7 OF 9**



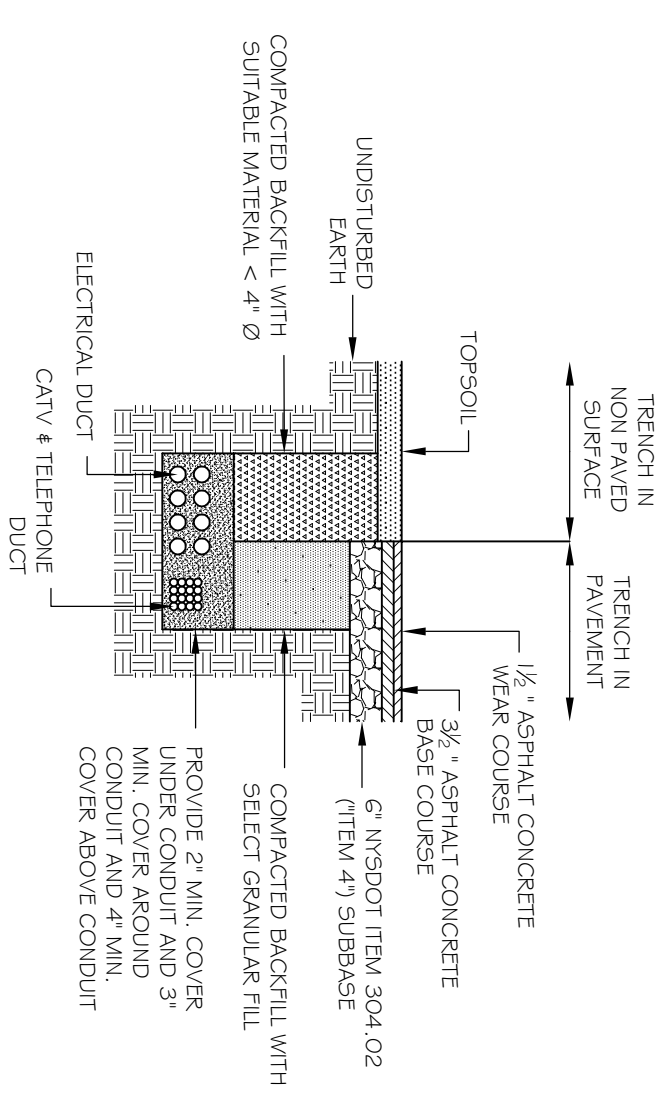
TYPICAL SEWER / DRAIN TRENCH  
N.T.S.

NOTE: ALL BACKFILL MATERIAL USED IN THE CITY OF BEACON ROAD RIGHT OF WAY TO BE MSDOT ITEM NO. 304.12. ALL BACKFILL MATERIAL SHALL BE BACKFILLED IN 8" MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% PROCTOR.



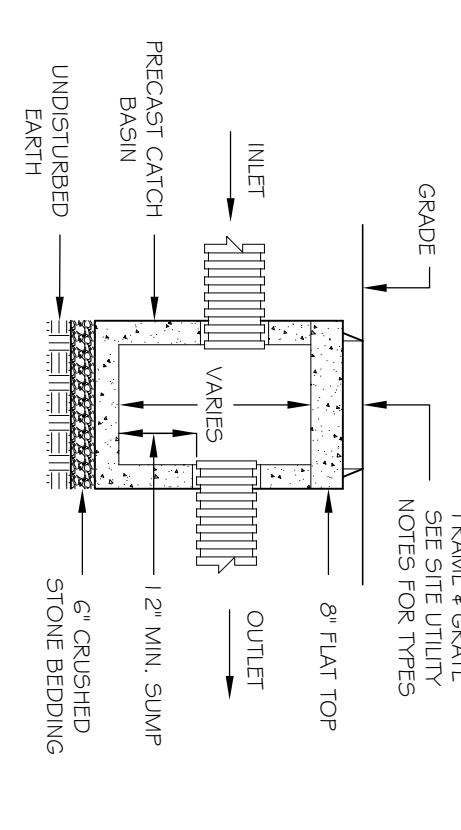
TYPICAL WATER SERVICE TRENCH  
N.T.S.

NOTE: ALL BACKFILL MATERIAL USED IN THE CITY OF BEACON ROAD RIGHT OF WAY TO BE MSDOT ITEM NO. 304.12. ALL BACKFILL MATERIAL SHALL BE BACKFILLED IN 8" MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% PROCTOR.



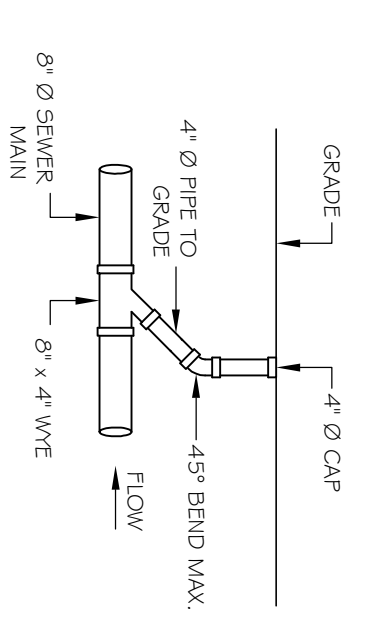
TYPICAL UTILITY TRENCH  
N.T.S.

ALL UNDERGROUND CONDUIT INSTALLATIONS INCLUDING COVER REQUIREMENTS, GROUNDING, AND PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF BEACON CENTRAL UTILITY DIVISION SPECIFICATIONS & REQUIREMENTS, AND ANY OTHER UTILITY COMPANY REQUIREMENTS.



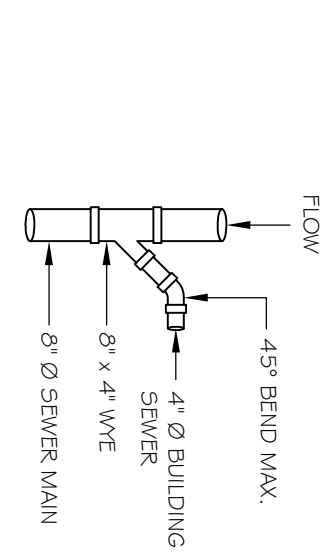
CATCH BASIN DETAIL  
N.T.S.

CATCH BASIN NOTES:  
1. SEE SITE UTILITY PLAN FOR GENERAL NOTES, SETS, DIMENSIONS, DETAILS AND FRAMES & GRATES FOR ALL CATCH BASINS.  
2. THE EDGES OF ALL PIPE PENETRATIONS INTO CATCH BASINS ARE TO BE FINISHED TO MATCH THE SURFACE OF THE BASIN.  
3. PLACE CRUSHED STONE BEDDING.  
4. PROVIDE MINIMUM OF 1" SWAMP AT BOTTOM OF ALL CATCH BASINS.  
5. PROVIDE MINIMUM OF 1" SWAMP BETWEEN INLET AND OUTLET INVERTS UNLESS OTHERWISE NOTED ON PLAN.

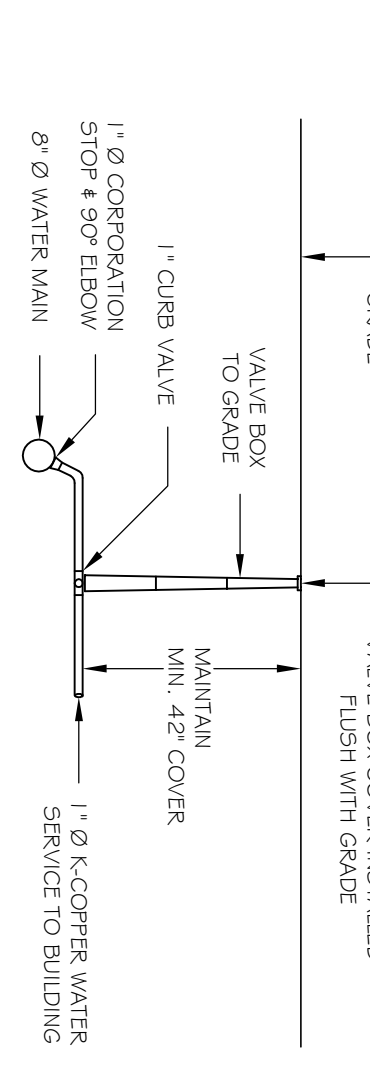


TYPICAL SEWER CLEAN OUT DETAIL  
N.T.S.

NOTE: ALL SANITARY BUILDING SEWER AND SEWER MAINS TO BE PVC (SDR 35) PIPE WITH ELASTOMERIC GASKET JOINTS

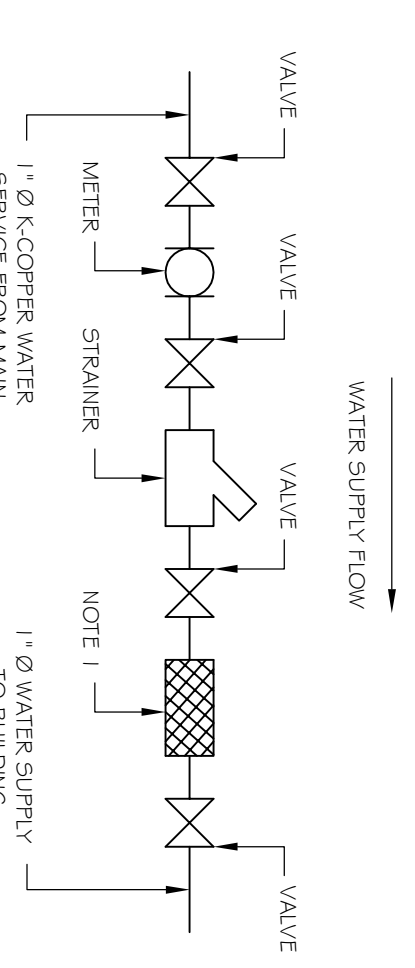


TYPICAL SEWER SERVICE DETAIL  
N.T.S.



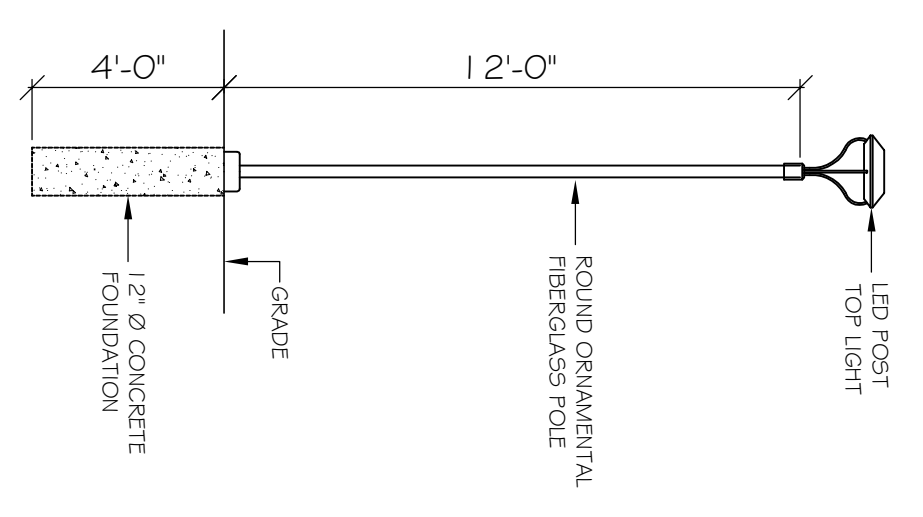
TYPICAL WATER SERVICE DETAIL  
N.T.S.

NOTE: ALL SERVICE BRASS INCLUDING CORPORATION VALVES, CURB VALVES, AND CURB BOXES TO BE MANUFACTURED BY MILLER WATER PRODUCTS, INC. ALL CORPORATION VALVES AND CURB VALVES INLET/OUTLET CONNECTIONS TO BE COMPRESSION CONNECTIONS



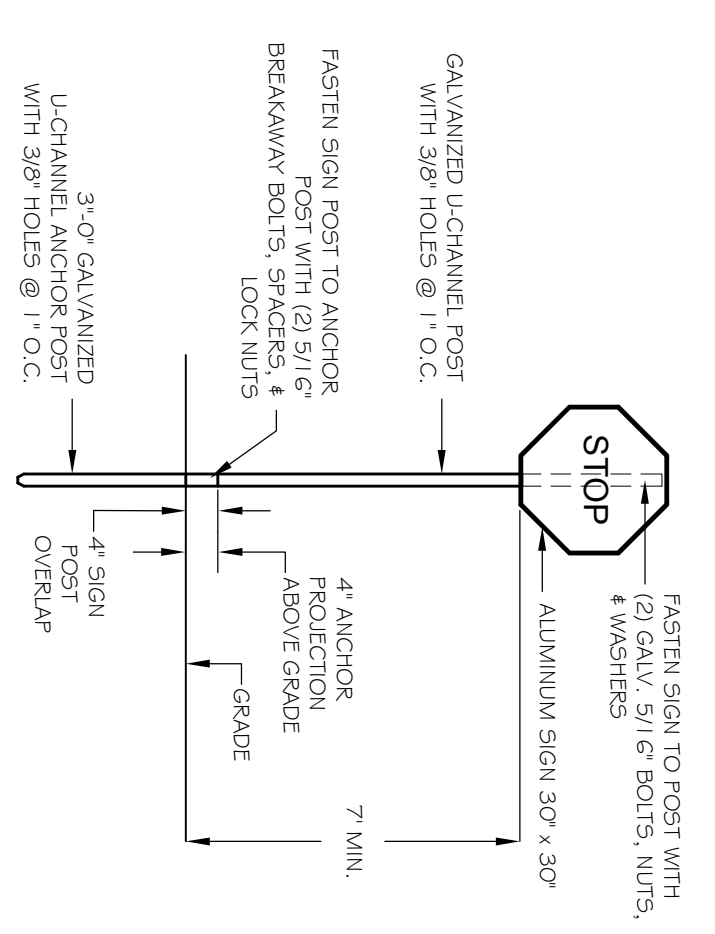
TYPICAL WATER SERVICE CHECK VALVE DETAIL  
N.T.S.

NOTE 1: A DOUBLE CHECK VALVE ASSEMBLY SHALL BE INSTALLED ON EACH WATER SERVICE. THE DOUBLE CHECK VALVE IS TO BE MODEL E0311 OR MANUFACTURED BY ANY OTHER MANUFACTURER.



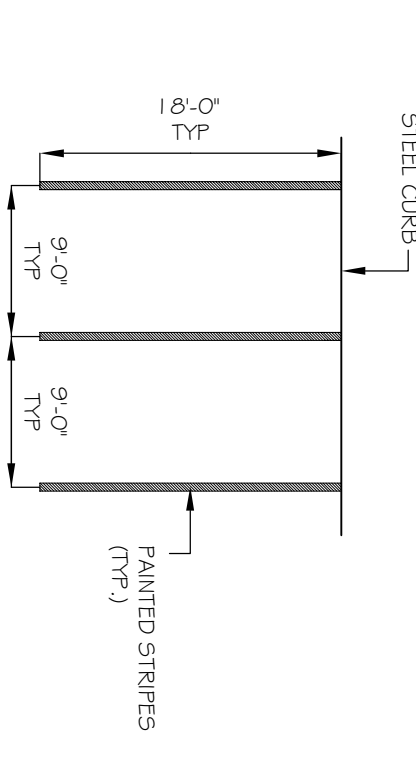
TYPICAL POST LIGHT DETAIL  
N.T.S.

ALL POST LIGHTS TO BE MODEL # USTPSG000R AS MANUFACTURED BY UST LIGHTING. POST LIGHT PROVIDED DARK SKY DESIGN. MAIN PHOTOCONTROL. POST LIGHT PROVIDES DARK SKY DESIGN.



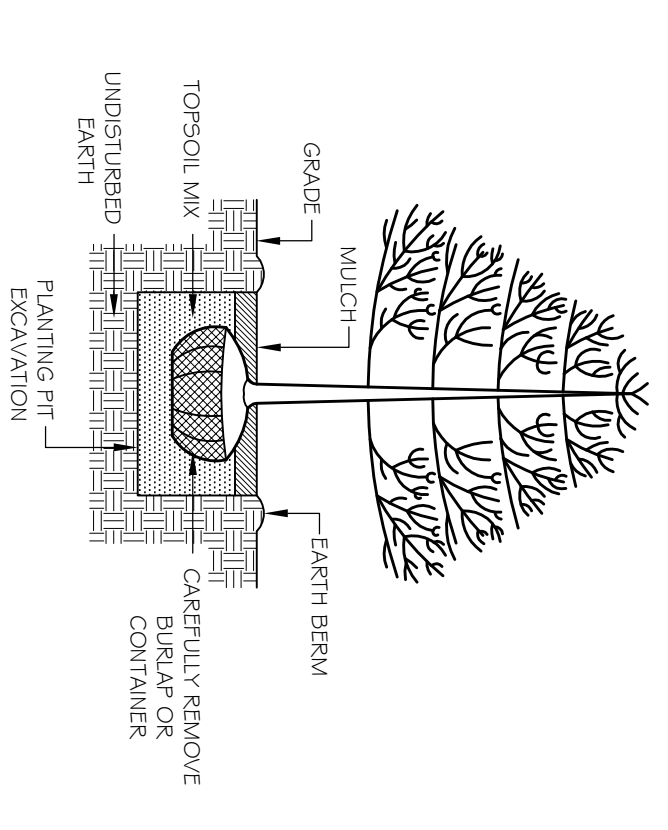
STOP SIGN DETAIL  
N.T.S.

STOP SIGN TO BE TYPE R1.1. STOP SIGN COMPLIANCE WITH THE 2009 EDITION OF THE FINAL MUTCD FOR STREETS AND HIGHWAYS



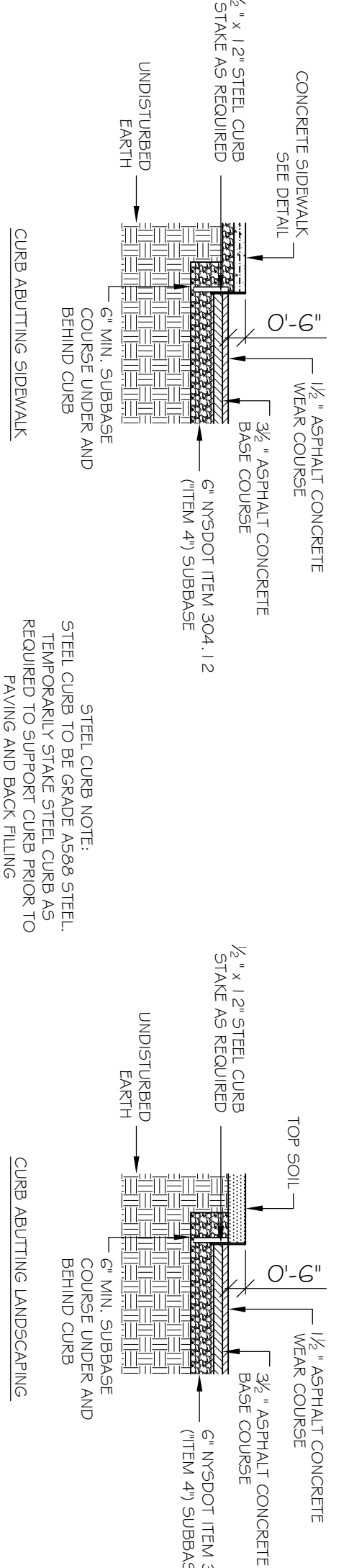
TYPICAL PARKING STRIPING DETAIL  
N.T.S.

ALL PARKING STRIPES TO BE 4" PAINTED WHITE STRIPES. PARKING LOT STRIPING NOTE.

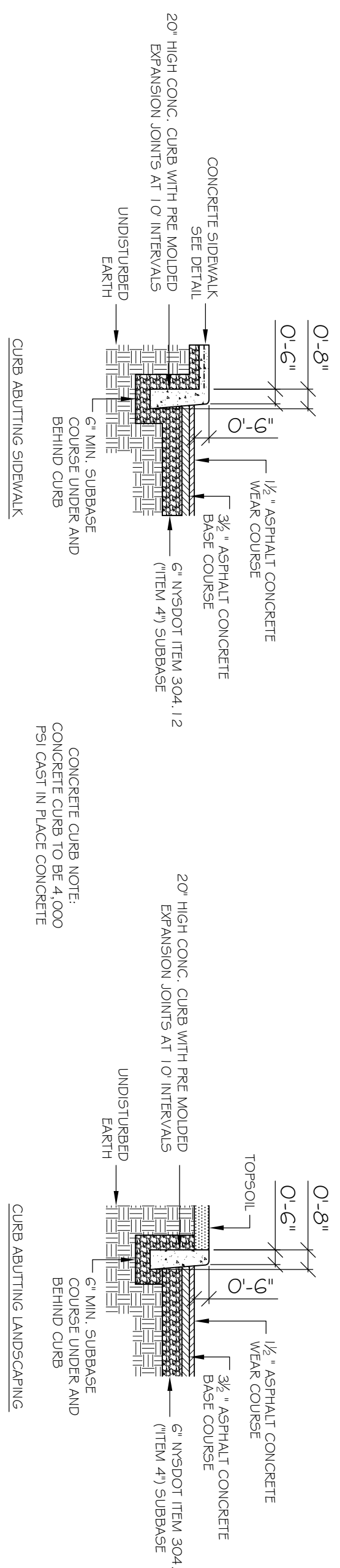


TREE & SHRUB PLANTING DETAIL  
B&B OR CONTAINER PLANTS  
N.T.S.

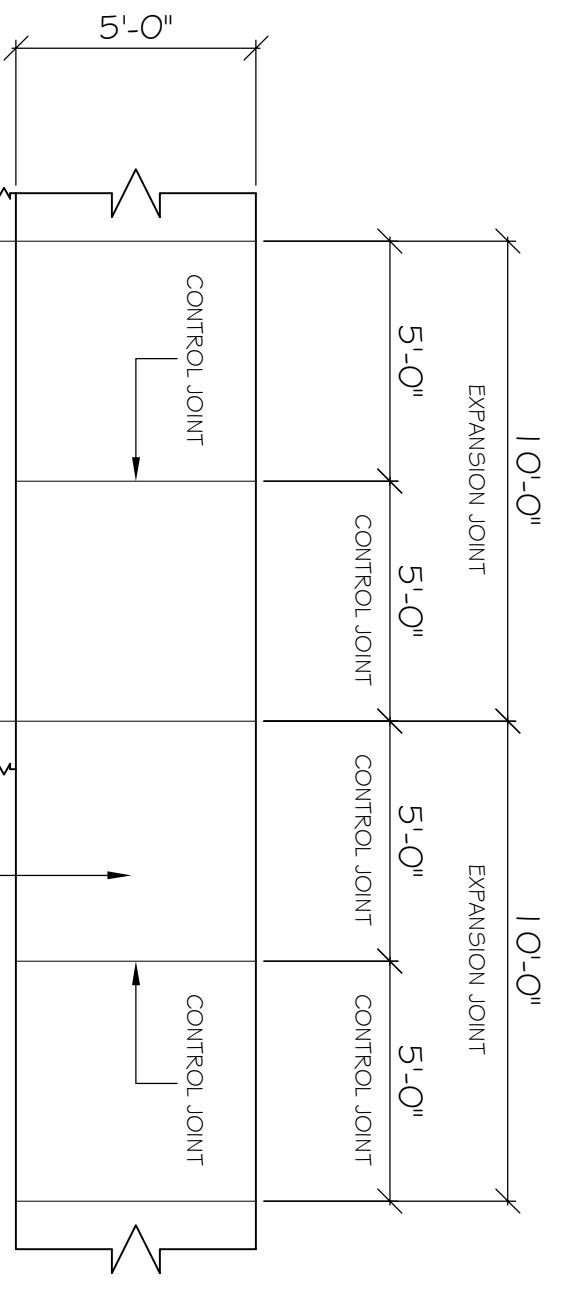
GENERAL PLANTING NOTES:  
1. TRIM OR PRUNE ANY DAMAGED, DISSEASD, BROKEN OR WEAK BRANCHES IMMEDIATELY AFTER PLANTING.  
2. PLANTING PIT EXCAVATION TO BE 2X WIDTH OF ROOT BALL IN SOIL AND MAINTAIN TOP OF ROOT BALL FLUSH WITH SOIL SURFACE OR 1"-2" ABOVE SOIL SURFACE. DO NOT COVER TOP OF ROOT BALL WITH SOIL.  
3. TOPSOIL MIX TO BE 2 PARTS TOPSOIL TO ONE PART ORGANIC MULCH.  
4. PLANTS IN CONTAINERS: REMOVE CONTAINER AND LOOSEN ROOTS OF POT BOUND PLANTS BY GENTLY SCORING OR RIPPING ROOTS.  
5. STRIKE ROOTS ONLY IF NECESSARY. STAKING IS NOT REQUIRED IF PLANTING.  
6. STRIKE STRIKING MUST BE REMOVED NO LATER THAN ONE WEEK AFTER PLANTING.



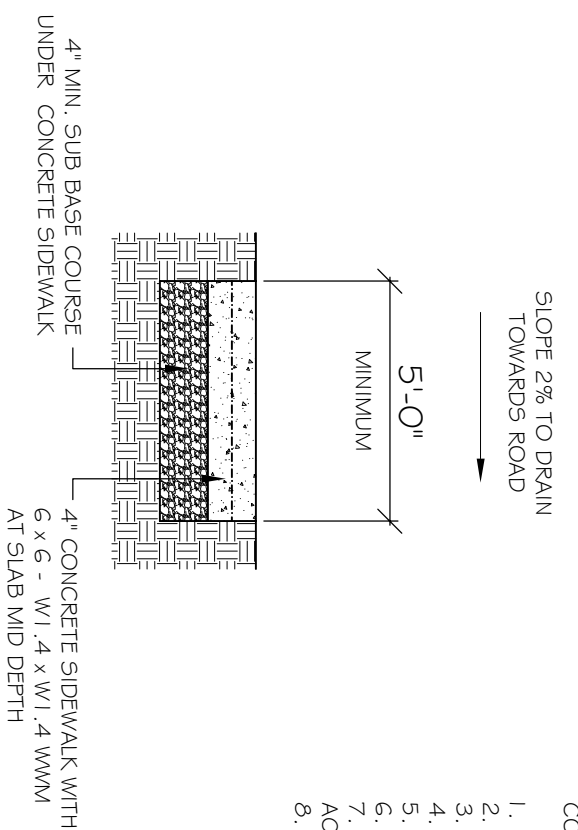
STEEL CURB DETAIL  
NOT TO SCALE



CAST IN PLACE CONCRETE CURB DETAIL  
NOT TO SCALE

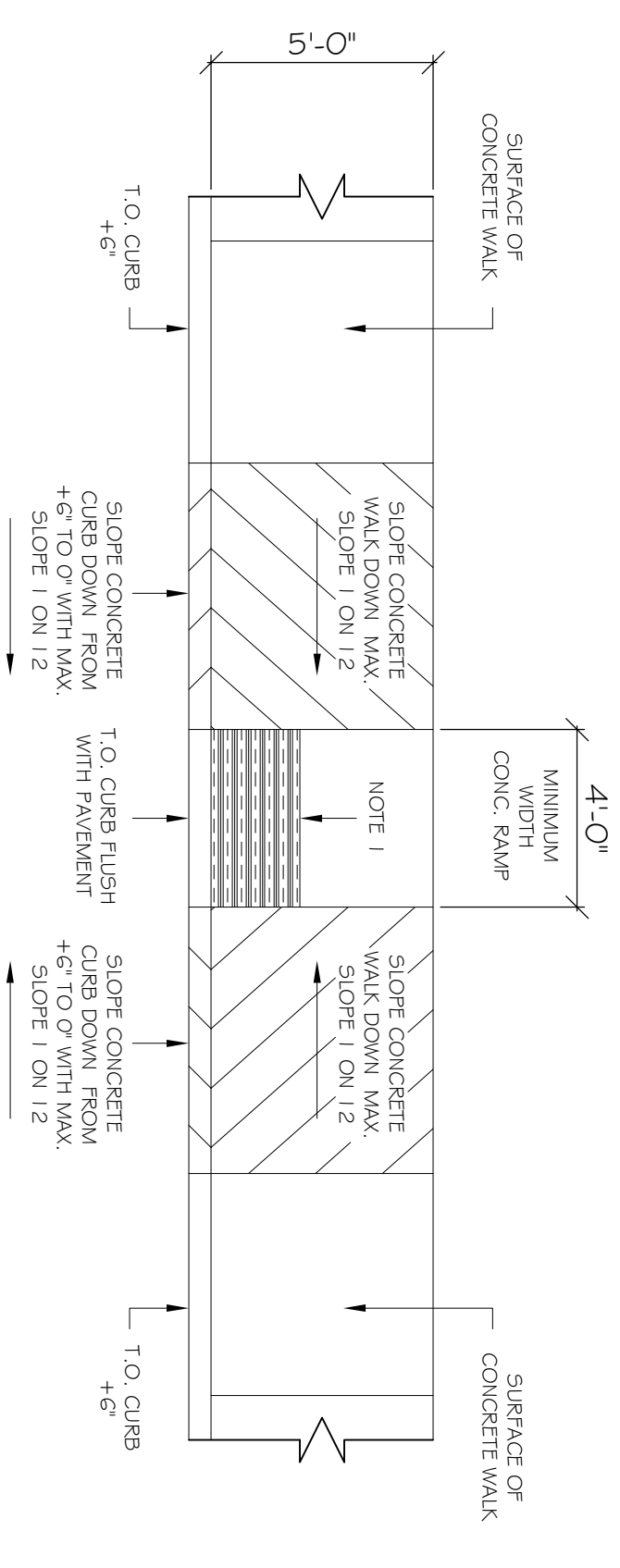


TYPICAL CONCRETE SIDEWALK PLAN  
NOT TO SCALE

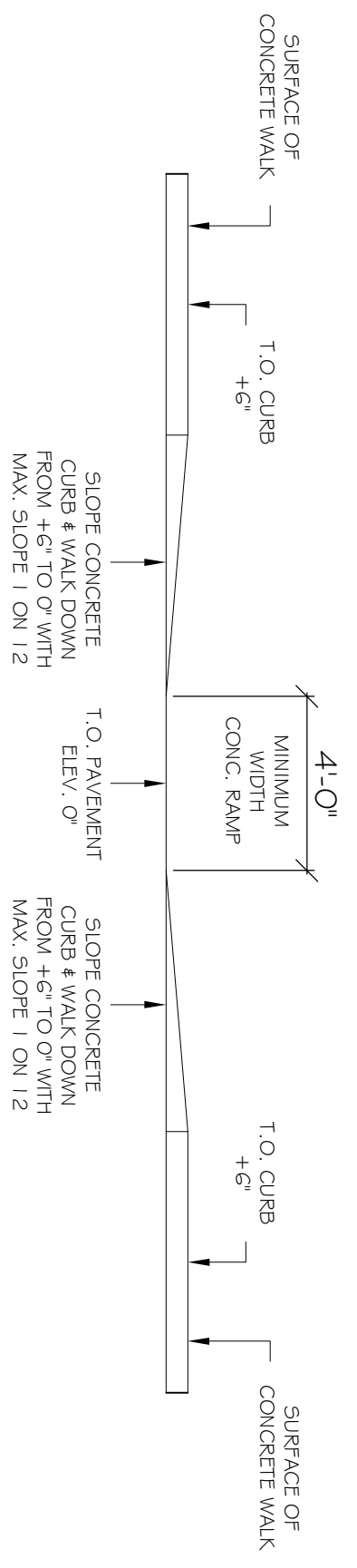


TYPICAL CONCRETE SIDEWALK SECTION  
NOT TO SCALE

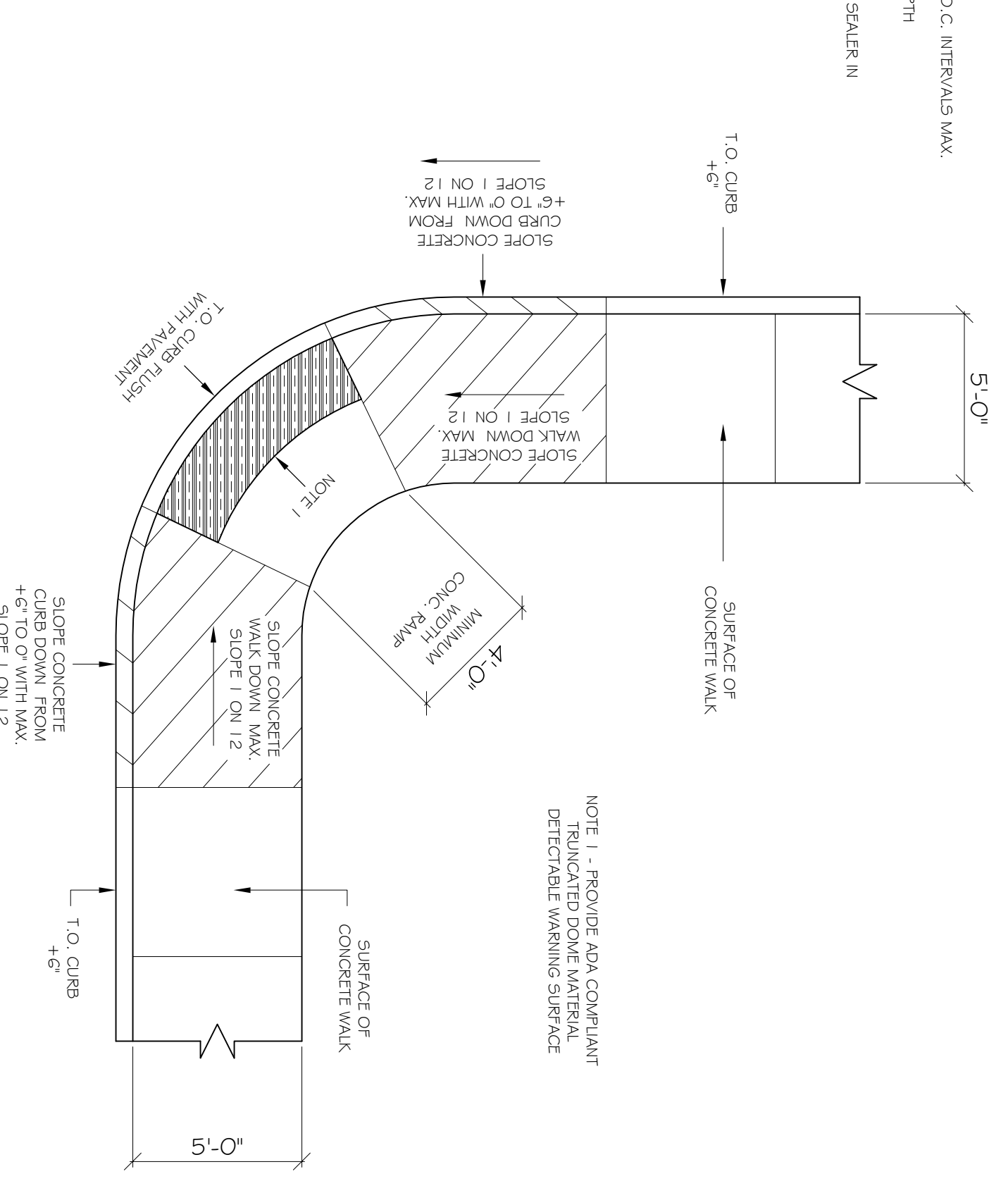
- CONCRETE SIDEWALK NOTES:
1. ALL CONCRETE SIDEWALKS TO BE 4,000 PSI CAST IN PLACE CONCRETE.
  2. PROVIDE HAND TOoled TRANSITION CONTROL JOINTS WITH 1/4" RADIUS EDGES AT 5'-0" O.C. INTERVALS MAX.
  3. PROVIDE PRE MOLDed EXPANSION JOINTS WITH HAND TOoled EDGES @ 10'-0" O.C. MAX.
  4. REINFORCING FOR CONCRETE TO BE 6 # 6 - W/ 4 # 1, 4 # W/M INSTALLED AT SLAB MID DEPTH.
  5. JOINTS WILL NOT BE SAWCUT.
  6. PROVIDE HAND TOoled 1/4" RADIUS EDGES AT TERMINITEr OF ALL SIDEWALKS.
  7. ALL DYPSED CONCRETE SURFACE TO BE RELATED WITH SUPERDOP FOR EQUAL SIDEWALK SLAUR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



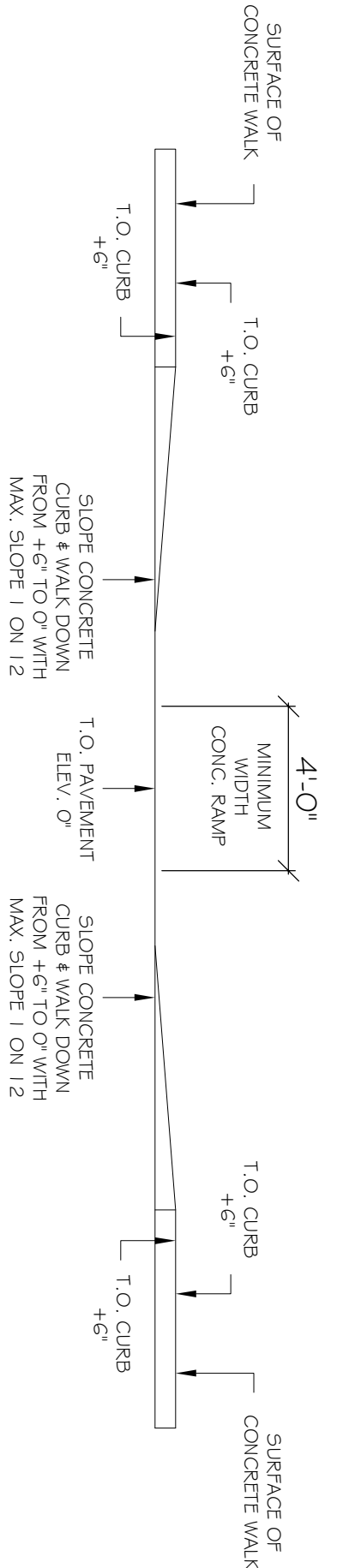
CONCRETE SIDEWALK TRANSITION RAMP PLAN  
NOT TO SCALE



CONCRETE SIDEWALK TRANSITION RAMP ELEVATION  
NOT TO SCALE



CONCRETE SIDEWALK BLENDED CURB PLAN  
NOT TO SCALE



CONCRETE SIDEWALK BLENDED CURB ELEVATION  
NOT TO SCALE

ADA COMPLIANT CONCRETE SIDEWALK TRANSITION RAMP DETAIL  
NOT TO SCALE

SITE DETAILS PLAN  
FOR  
FERRY LANDING AT BEACON  
BEEKMAN AND FERRY STREET  
BEACON, NY 12508

FERRY LANDING AT BEACON, LTD  
DEVELOPERS · DESIGNERS · BUILDERS  
POST OFFICE BOX 294  
BEACON, NY 12508

DATED: MAY 22, 2018  
SCALE: NONE  
DRAWING: 9 OF 9

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**208 Main Street**

**Subject:**

Public hearing for SEQRA Environmental Review on application for Site Plan Approval, Retail/Residential, 208 Main Street, submitted by 206-208 Main Street, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
208 Main Architect Cover Letter	Cover Memo/Letter
208 Main Engineer Cover Letter	Cover Memo/Letter
208 Main Sheet Site Plan Application	Application
208 Main Sheet 1 Site Plan	Plans
208 Main Sheet 2 Existing Conditions	Plans
208 Main Sheet 3 Building Plans & Elevations	Plans
208 Main Sheet 4 Erosion & Sediment Control	Plans
208 Main Sheet 5 Construction Plans	Plans

# ARYEH SIEGEL

ARCHITECT

John Gunn - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 208 Main Street**  
*Site Plan Application – Comment Letters*

May 29, 2018

Dear Mr. Gunn & Board Members,

Please find below the Applicant's response to John Clarke Planning & Design comments in his Memorandum dated May 2, 2018; and in Lanc & Tully's Memorandum dated May 2, 2018 regarding the St. Lukes Church / Huson Hills Academy application. Hudson Land Design will provide a separate letter in response to Engineering comments.

## **John Clarke Planning & Design Comment Responses:**

1. The shed and fence encroachments were resolved by the neighboring property owner relocating the shed and fence behind the property line. The updated locations are shown on the Site Plan.
2. The Bulk Zoning Table has been updated, and now includes landscaping requirements
3. The Zoning Summary has been updated to indicate that the property is not in the Historic Overlay District
4. The Building Inspector confirmed the 1964 parking exemption analysis. The EAF was revised to remove the reference to a parking variance application to the Zoning Board.
5. The parking layout was revised to place the parking space below the building overhang. Additional green space was added for a total of 5% of the property, and 14% of the rear yard. The available area for landscape is limited by the building footprint and parking lot. The landscape requirement may be waived for lots less than 5,000 square feet. The subject property is less than 5,000 square feet.
6. The lighting has been revised to eliminate the free-standing pole mounted fixture per the new parking layout.

# ARYEH SIEGEL

ARCHITECT

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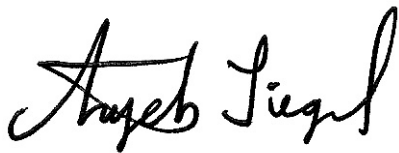
7. The 3<sup>rd</sup> story, in this case, does not create a requirement for an elevator, or for a second exit stair.
8. The windows have been revised in plan to reflect the elevation. The Applicant will request a meeting with the Architectural Review Subcommittee.

## **Lanc & Tully Comment Responses:**

### **General Comments**

1. The shed and fence encroachments were resolved by the neighboring property owner relocating the shed and fence behind the property line. The updated locations are shown on the Site Plan.
2. The Bilco door has been added to the site plan
3. The site plan has been revised to show one utility pole
4. Refer to Hudson Land Design response regarding water and sewer services
5. Refer to Hudson Land Design response regarding sight distances.

Thank you. Please let me know if you have any questions.



Sincerely,  
Aryeh Siegel  
*Aryeh Siegel, Architect*



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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May 29, 2018

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 208 Main Street Site Plan  
City of Beacon, New York

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the site plan set in response to Lanc & Tully's May 2, 2018 comment letter, and John Clarke Planning and Design comment memorandum dated May 2, 2018. Below is a point-by-point response to the comments received.

**Lanc & Tully May 2, 2018 comment letter**

1. The fence and shed have been re-located by the neighbor. The updated locations are shown on the plans.
2. Aryeh Siegel has added the Bilco door to Sheet 1 & 2 of the plan set.
3. The utility pole that has recently been removed by CHGE has been removed from the plan.
4. The water service line is shown and labeled on the plans. We are still investigating where the sewer service line is located. We are coordinating with the sewer department to open and view some manholes that are inoperable in the vicinity of the building. The line will be shown on the plans once located.
5. Sight distances at the proposed/existing driveway location have been measured, and are now shown on the site plan, and in the site specific notes.

**John Clarke Planning and Design May 2, 2018 comment memorandum**

1. See response to Lanc & Tully #1.
2. Aryeh Siegel has updated the bulk table on Sheet 1.
3. Aryeh Siegel has updated the Zoning Summary to include the Historical Overlay District.
4. Aryeh Siegel has responded to this comment.
5. Aryeh Siegel has responded to this comment.
6. Aryeh Siegel has responded to this comment.
7. Aryeh Siegel has responded to this comment.
8. Aryeh Siegel has responded to this comment.

We look forward to continuing discussing the project with you and your Board members at the next meeting. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael A. Bodendorf". The signature is fluid and cursive, with the first name "Michael" and last name "Bodendorf" clearly distinguishable.

Michael A. Bodendorf, P.E.  
Principal

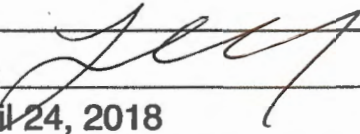
cc: Lendita Mavraj  
Aryeh Siegel, AIA  
Jon D Bodendorf, P.E. (HLD File)



**APPLICATION FOR SITE PLAN APPROVAL**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

Name: 206-208 Main Street, LLC  
Address: 59 River Glen Road Wallkill NY 12589  
Signature:   
Date: April 24, 2018  
Phone: (646) 552-4060

*(For Official Use Only)*

Application & Fee Rec'd  
Initial Review  
Public Hearing  
Conditional Approval  
Final Approval

Date Initials  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: Aryeh Siegel Architect  
Address: 84 Mason Circle  
Beacon NY 12508

Phone: 845-838-2490  
Fax: 845-838-2657  
Email address: ajs@ajsarch.com

**IDENTIFICATION OF SUBJECT PROPERTY:**

Property Address: 208 Main Street  
Tax Map Designation: Section 5954  
Land Area: 0.109 acres

Block 27 Lot(s) 842935  
Zoning District(s) CMS

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Proposed Use: Multi-family residential and retail  
Gross Non-Residential Floor Space: Existing 2,652 sf Proposed 0  
TOTAL: 2,652 sf  
Dwelling Units (by type): Existing 5 Proposed 3  
TOTAL: 8

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. One electronic and five (5) **folded** paper copies of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. One electronic and five (5) **folded** paper copies of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. One electronic and five (5) **folded** paper copies of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

**Bulk Zoning Regulations Table**

Zoning District	Required Setbacks			Proposed Setbacks			Frontage Required	Frontage Proposed	Minimum Lot Depth	Proposed Lot Depth	Allowable Building Height	Proposed Building Height	Lot Area	Proposed Floor Area	Minimum Landscaped Area	Proposed Landscaped Area
	Front	Side	Rear	Front	Side	Rear										
CMS	0'-10'	0	25	2.75'	0'	25'	80%	100%	75'	101.62'	4 stories	3 stories	4,753 sf	9,563	10% **	5%

\* Existing condition  
 \*\* Minimum landscaped area may be waived for lots smaller than 5,000 sf. Subject lot is 4,753 sf

QUANTITY	KEY	BOTANIC NAME	COMMON NAME	SIZE	COMMENTS
<b>Shrubs</b>					
4	S-R	<i>Rhododendron maximus</i>	Rhododendron	30-36"	
<b>Grass</b>					
lbs	ECO-LAWN	<i>Buchloe dactyloides 'Texoka'</i>	Eco Lawn	Seed	April-October planting



**L1: Wall Mounted**

NOTE: ALL EXTERIOR LIGHTING ON THE SITE SHALL BE DIRECTED AND/OR SHIELDED SO AS NOT TO CAUSE ANY OBJECTIONABLE GLARE OBSERVABLE FROM NEIGHBORING STREETS AND PROPERTIES. THE SOURCE (BULBS) OF SUCH LIGHTING SHALL NOT BE VISIBLE FROM SAID NEIGHBORING STREETS AND PROPERTIES. PHOTOMETRIC DIAGRAMS ARE SHOWN WITH SHIELDED CONDITIONS.



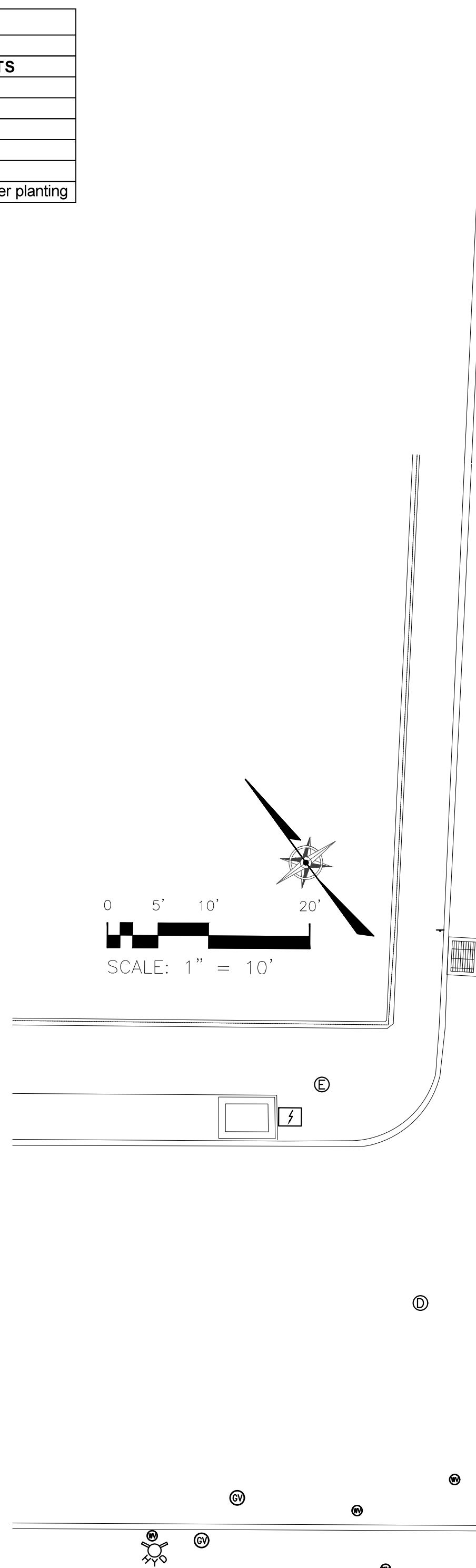
**WALL MOUNTED LIGHT (L2)**  
 SELUX LIGHTING "BETA PENDANT" WALL MOUNTED FIXTURE. MODEL #BPC-LR2-1-H50-BK-120-HS-PC WITH LOW GLARE CUTOFF SHIELD. COLOR: BLACK. PHOTOCELL CONTROL. OR APPROVED EQUAL. MOUNTING HEIGHT = 12 FEET

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

NOTE: AS AN ALTERNATE, THE OWNER MAY INSTALL EQUIVALENT WATTAGE LED FIXTURES IN PLACE OF THE INCANDESCENT FIXTURES SHOWN. LED LIGHTING WILL MEET THE SAME SPECIFICATIONS FOR LOW GLARE CUT OFF CONTROLS, EITHER BY SHIELDING OR INTERNAL CONTROLS.

**Lighting**

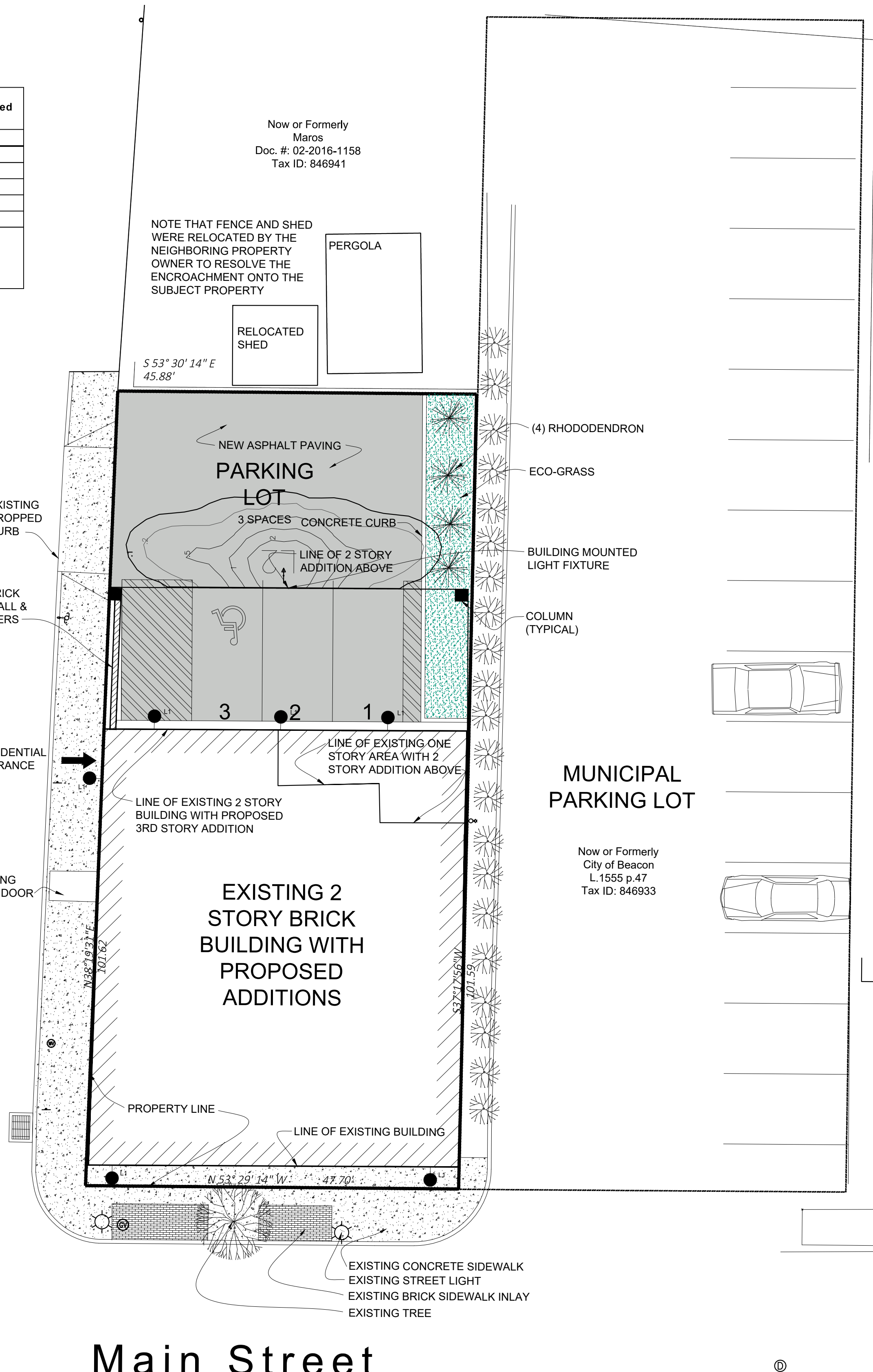
Not to Scale



**Site Plan**

Scale: 1" = 10'

Survey Date: February 6, 2018  
 TEC Land Surveying  
 15c Tioronda Ave.  
 Beacon, New York 12508



**Main Street**



**Location Map**

Not to Scale

**Zoning Summary**

Zoning District:	CMS (Central Main Street)
Tax Map No.:	5954-27-842935
Lot Area:	0.109 Acres (4,753 sf)
Building Footprint:	2,571 square feet
Historical Overlay District:	No
Parking Overlay District:	Yes
Existing Use:	Retail / Multi-Family Residential
Proposed Use:	Retail / Multi-Family Residential

**Parking & Loading**

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
<b>Residential</b>				
1964 - 1 1/2 spaces per dwelling unit	4 apartments	6 parking spaces		
Present - 1 space per dwelling unit			8 apartments	8 parking spaces
<b>Retail</b>				
1964 - 1 space per 200 sf gross area excluding basement and utility areas	2,571 sf	13 parking spaces		
Present - 3 spaces per 1,000 sf of floor area			2,100 sf	7 parking spaces
<b>Total Required Parking Spaces</b>		<b>19 Parking Spaces</b>		<b>15 Parking Spaces</b>
<b>Total Proposed Parking Spaces</b>				<b>3 Parking Spaces (Note 1)</b>

- Notes:**
- Parking is not required per Beacon Zoning Code Section 223-26 (B.2). The building was in existence on April 20, 1964. The new use is less than 25% greater intensity than the use existing in 1964. 19 parking spaces would have been required in 1964 for the uses in existence at that time. 15 parking spaces are required for the current proposed uses.
  - Whenever a building or structure erected prior to or after April 20, 1964, or any land use shall undergo any increase in intensity of use in the number of dwelling units, floor area, seating capacity, number of employees or other unit of measurement specified hereinafter for required parking facilities, or from other causes, and further when said increase would result in a requirement for additional parking facilities through application of the Schedule of Off-Street Parking Requirements (Subsection 1), additional parking facilities shall be provided accordingly, except that no building or structure erected prior to said date shall be required to provide parking facilities unless the aforesaid additional required facilities amount to a cumulative total increase of at least 25% over the existing use as of said date, in which case parking spaces shall be provided on the basis of the total units of measurements of the new use or the alteration or expansion of the existing use.
  - The existing use in 1964 was retail at the 1st floor, and 4 apartments on the 2nd, the 1964 Beacon Director.
  - There are public parking lots within 800' of the property.
    - Pleasant Ridge Pizza
    - Dutchess County Motor Vehicles
  - Retail Hours of operation: 7am - 10pm, Monday through Sunday, inclusive
  - No signage is proposed as part of this application. Retail tenants will apply separately to the Planning Board for their own signage

**Index of Drawings**

Sheet 1 of 5	Site Plan
Sheet 2 of 5	Existing Conditions Survey
Sheet 3 of 5	Floor Plans & Elevations
Sheet 4 of 5	Grading, Utility and Erosion & Sediment Control Plan
Sheet 5 of 5	Construction Details

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	5/29/18	REVISED PER PLANNING BOARD COMMENTS	AJS

**Site Plan Application**  
 Sheet 1 of 5 - Site Plan

**208 Main Street**  
 Beacon, New York  
 Scale: 1" = 10'  
 April 24, 2018

**Owner**  
**Lendita & Fadil Mavraj**  
 59 River Glen Road  
 Wallkill NY 12589

**Architect:**  
**Aryeh Siegel, Architect**  
 84 Mason Circle  
 Beacon, New York 12508

**Surveyor:**  
**TEC Surveying**  
 15C Tioronda Avenue  
 Beacon, New York 12508

**Civil Engineer:**  
**Hudson Land Design**  
 174 Main Street  
 Beacon, New York 12508

## SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.

## FILED MAP REFERENCE

Map entitled "Map of Survey of 208-210 Main Street" prepared by Gary R. LaTour, LS and dated April 30, 2002.

Map entitled "Map of Survey for Ji Hui Chen" prepared by Gary R. LaTour, LS and dated February 28, 2001.

## DEED REFERENCE

Doc. #: 02-2002-07601  
Joseph Guarneri D/B/A J.C. Realty  
To  
Tahir Gecaj  
July 19, 2002

## TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York  
130200-5954-27-842935-0000

## DATE OF SURVEY

Field Completion: February 6, 2018

## AREA

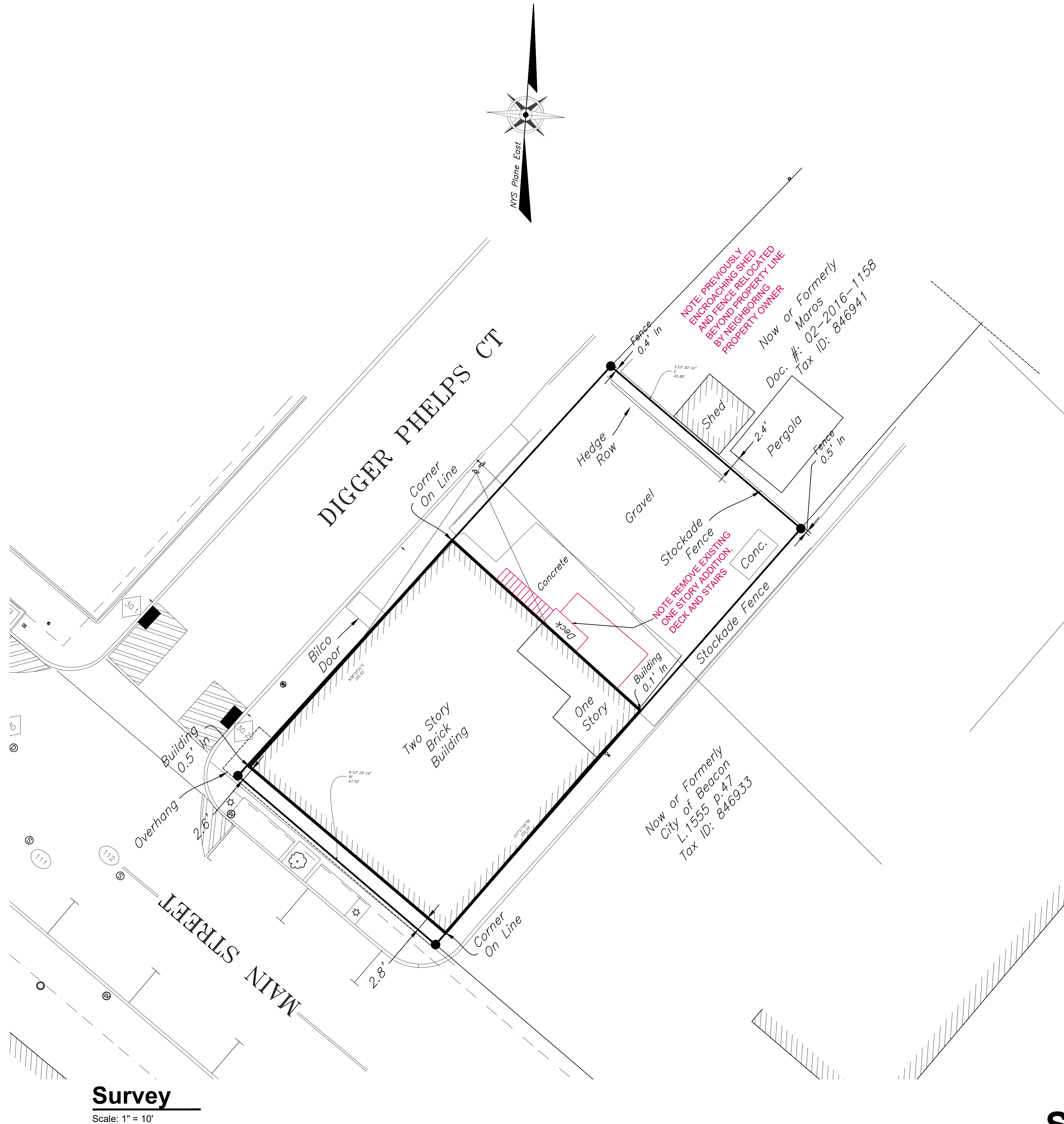
4,753 Square Feet  
0.109 Acres

## CERTIFICATIONS

206-208 Main St. LLC

## SURVEYOR

TEC Surveying  
15C Tioronda Avenue  
Beacon, New York 12508



LEGEND	
---	PROPERTY LINE
SS	SANITARY SEWER LINE
ST	STORM SEWER LINE
-x-x-	FENCE
OHW	OVERHEAD WIRES
⊕	HYDRANT
⊙	GAS VALVE
⊙	WATER VALVE
⊕	ELECTRIC BOX
⊕	UNKNOWN MANHOLE
⊕	TELEPHONE MANHOLE
⊕	SANITARY SEWER MANHOLE
⊕	DRAINAGE MANHOLE
⊕	DROP INLET
⊕	LIGHT POLE
⊕	UTILITY POLE
⊕	MAIL BOX
⊕	GUY WIRE
⊕	SIGN
⊕	BOLLARD
⊕	IRON ROD FOUND
⊕	MONUMENT FOUND

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	5/29/18	REVISED TO SHOW REMOVALS AND SHED	AJS

# Site Plan Application

Sheet 2 of 5 - Existing Conditions & Removals

## 208 Main Street

Beacon, New York  
Scale: 1" = 10'  
April 24, 2018

Owner  
**Lendita & Fadil Mavraj**  
59 River Glen Road  
Wallkill NY 12589

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Surveyor:  
**TEC Surveying**  
15C Tioronda Avenue  
Beacon, New York 12508

Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508



PAINTED WOOD CORNICE AND BRACKETS

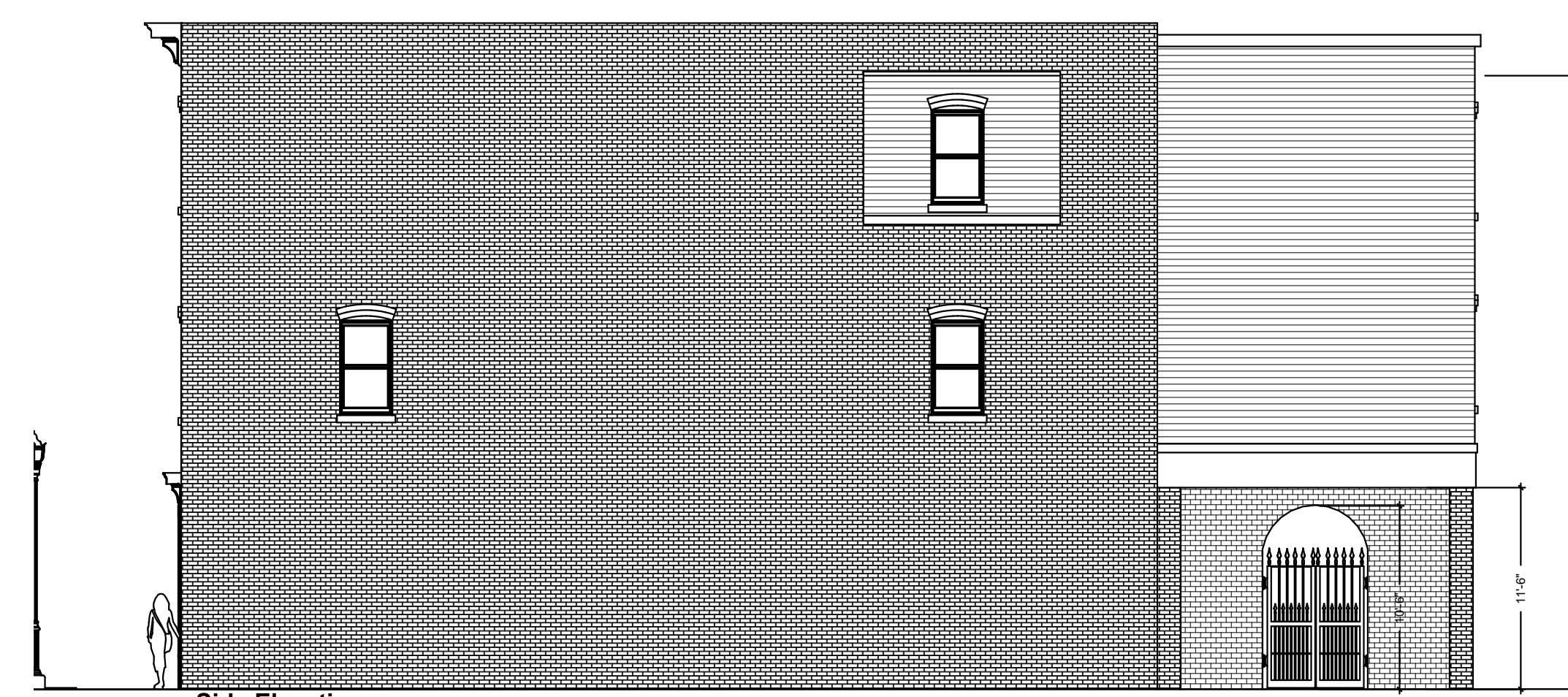
DOUBLE HUNG INSULATED WINDOWS TO MATCH EXISTING

NEW BRICK FACE TO MATCH EXISTING

NEW PAINTED WOOD AND GLASS STOREFRONT WITH LOWER CORNICE AND BRACKETS.

Front Elevation

Scale: 1/2" = 1'-0"



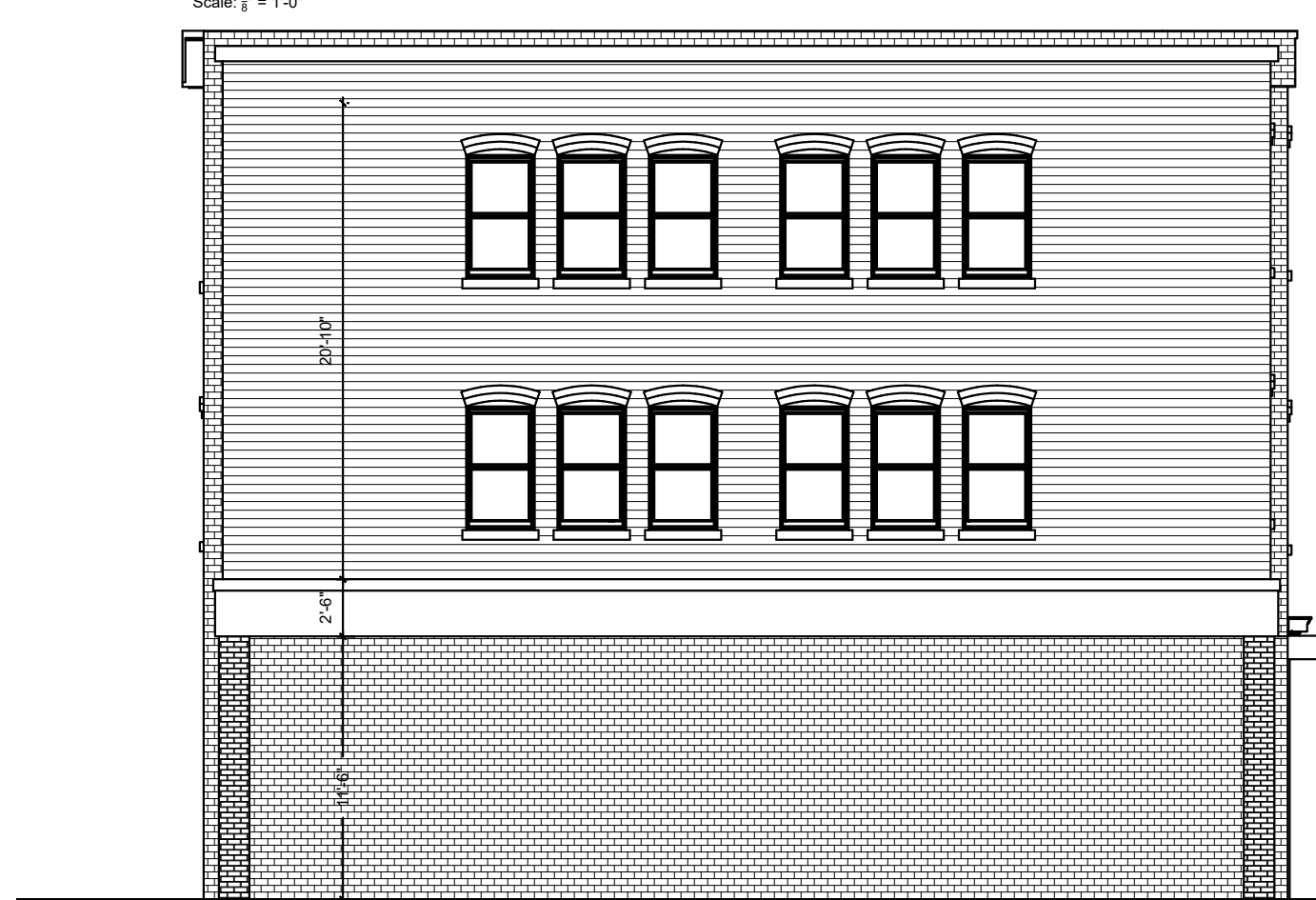
PAINTED WOOD CORNICE AND BRACKETS

DOUBLE HUNG INSULATED WINDOWS TO MATCH EXISTING

HARDIE SIDING: COLOR IRON GRAY

Side Elevation

Scale: 1/2" = 1'-0"



PAINTED WOOD CORNICE AND BRACKETS

DOUBLE HUNG INSULATED WINDOWS TO MATCH EXISTING

HARDIE SIDING: COLOR IRON GRAY

HARDIE SIDING: COLOR IRON GRAY

Rear Elevation

Scale: 1/2" = 1'-0"



PAINTED WOOD CORNICE AND BRACKETS

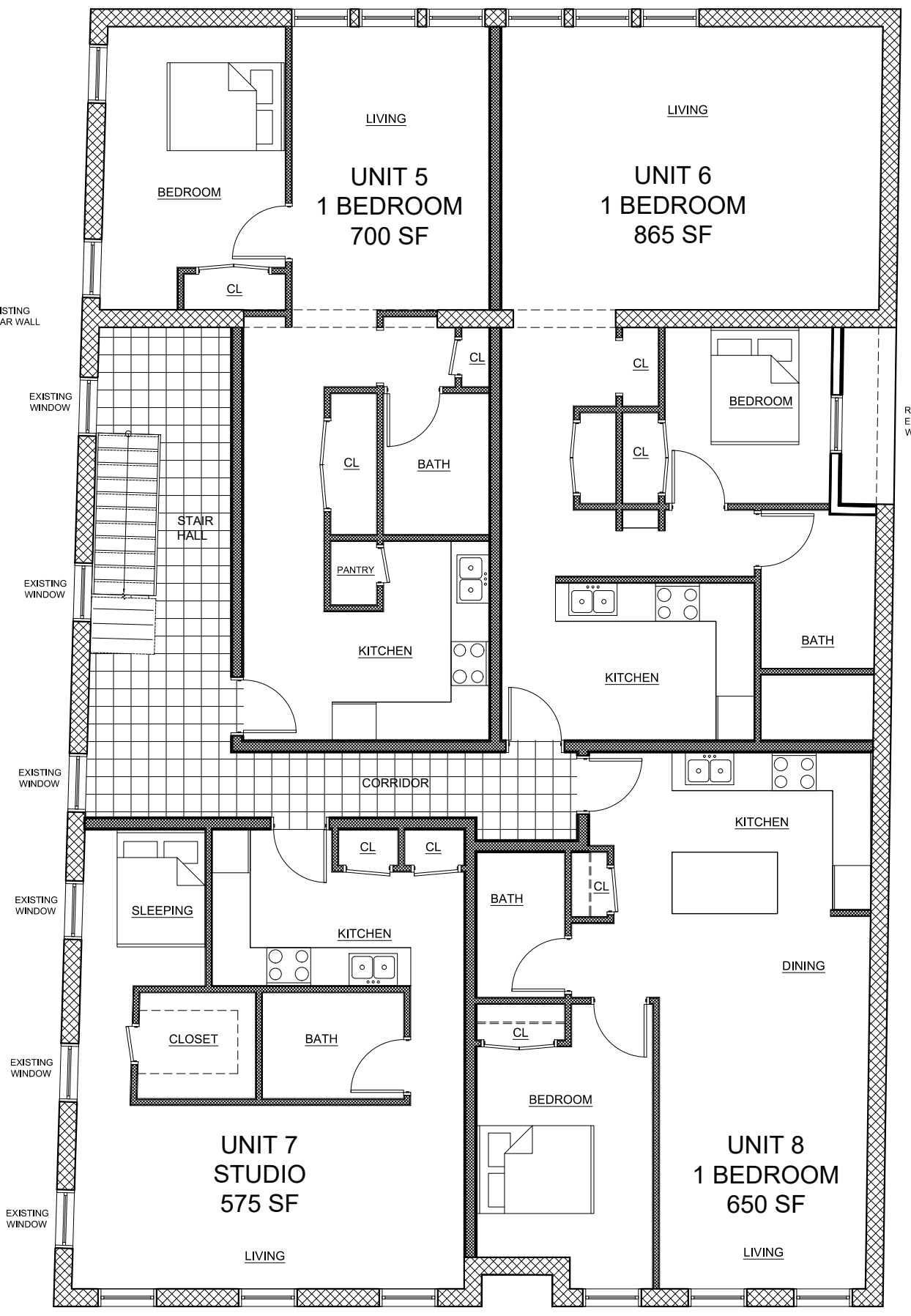
DOUBLE HUNG INSULATED WINDOWS TO MATCH EXISTING

NEW BRICK FACE TO MATCH EXISTING

NEW PAINTED WOOD AND GLASS STOREFRONT WITH LOWER CORNICE AND BRACKETS.

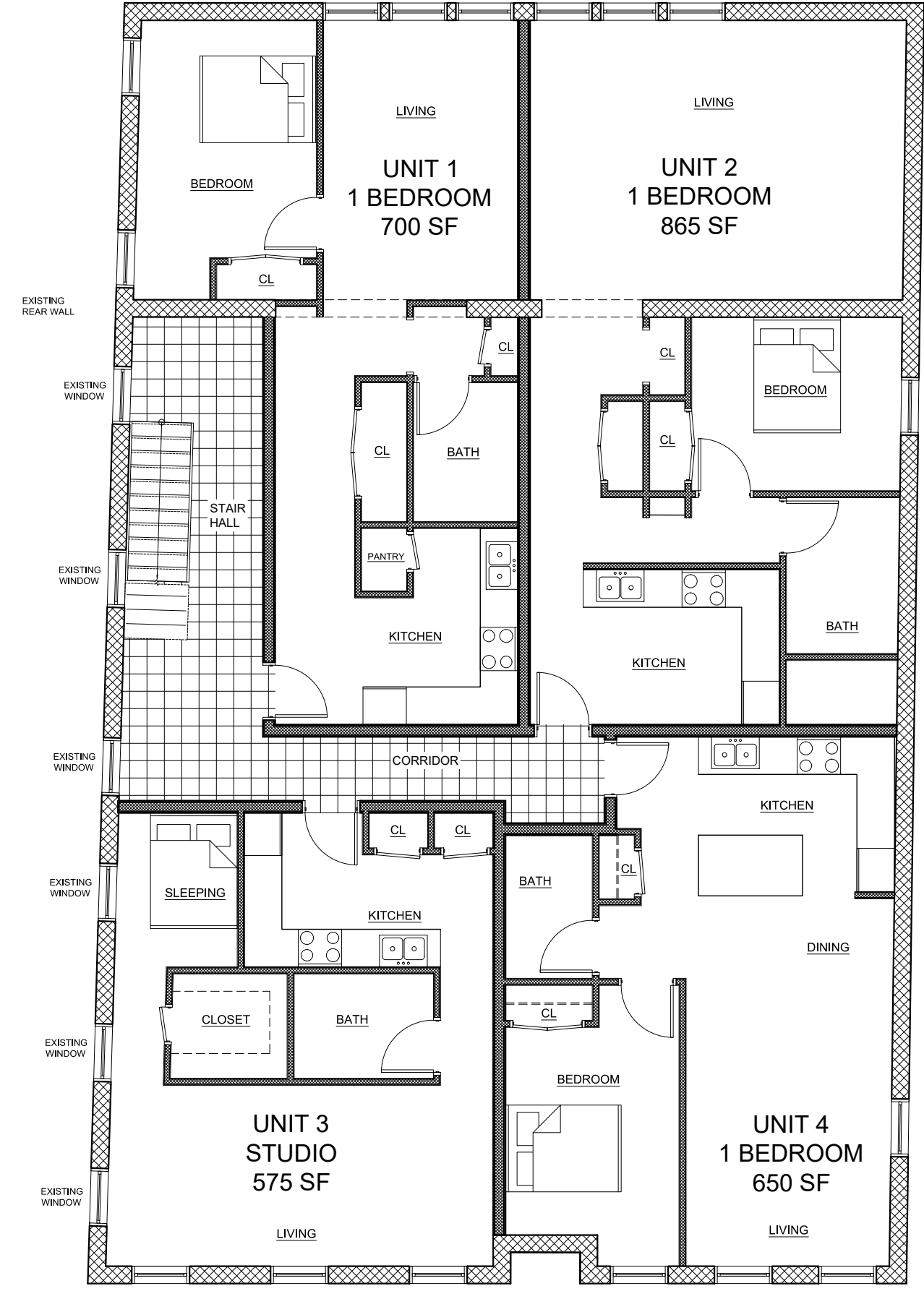
Side Elevation (Digger Phelps Court)

Scale: 1/2" = 1'-0"



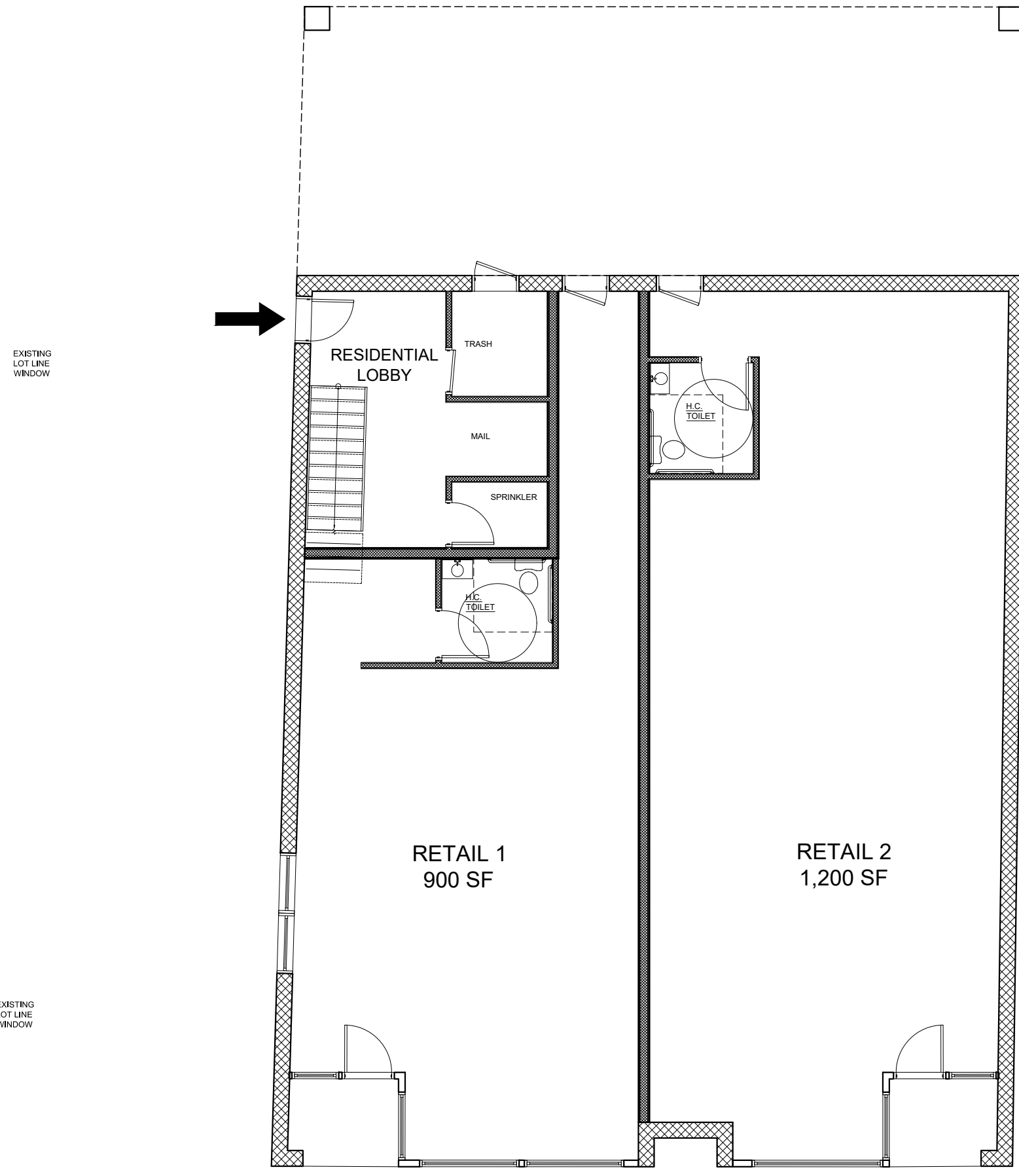
3rd Floor Plan

Scale: 1/8" = 1'-0"



2nd Floor Plan

Scale: 1/8" = 1'-0"



1st Floor Plan

Scale: 1/8" = 1'-0"



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	5/29/18	REVISED PER PLANNING BOARD COMMENTS	AJS

# Site Plan Application

Sheet 3 of 5 - Building Plans & Elevations

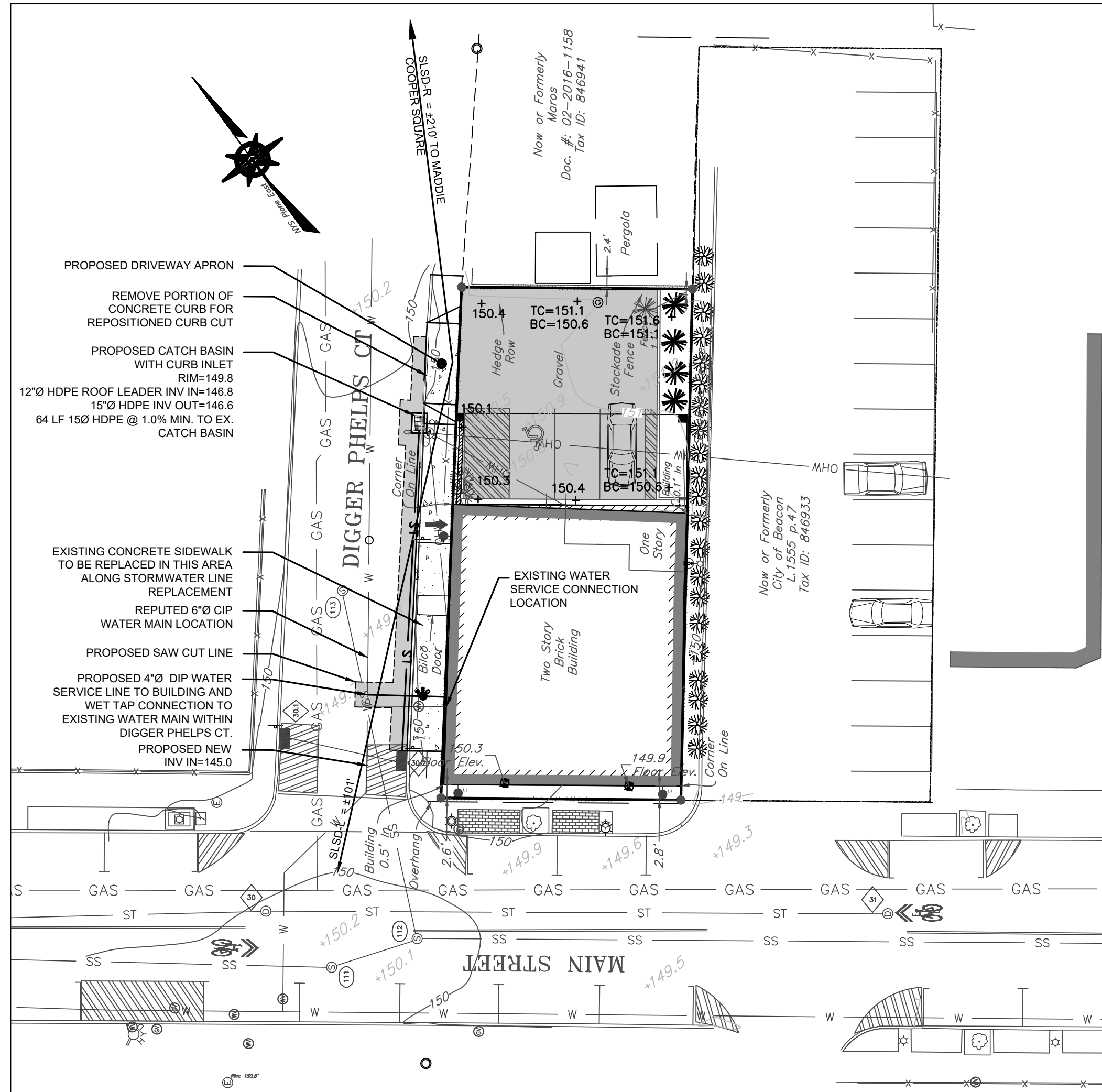
**208 Main Street**  
 Beacon, New York  
 Scale: 1" = 10'  
 April 24, 2018

**Owner**  
**Lendita & Fadil Mavraj**  
 59 River Glen Road  
 Wallkill NY 12589

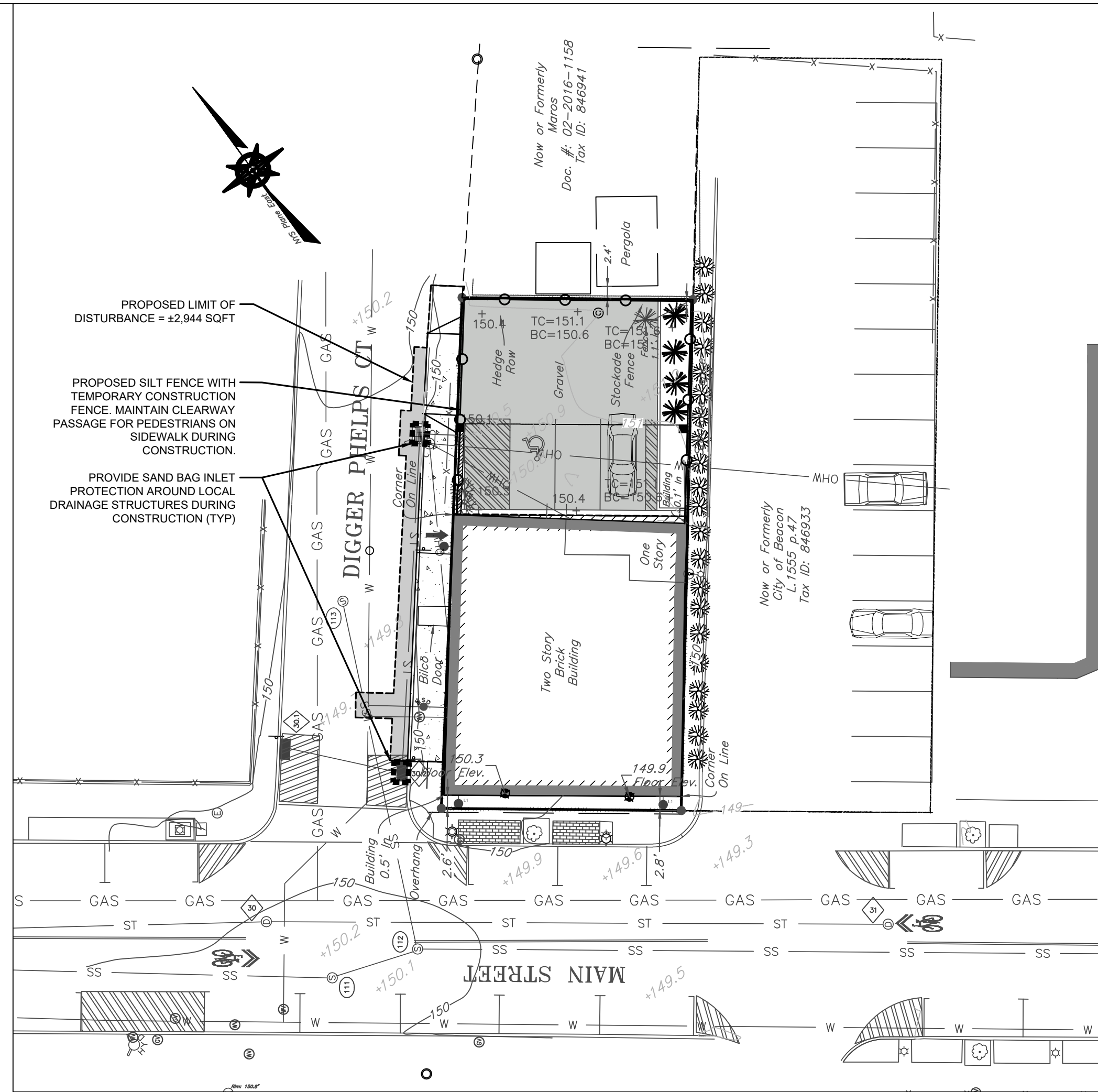
**Architect:**  
**Aryeh Siegel, Architect**  
 84 Mason Circle  
 Beacon, New York 12508

**Surveyor:**  
**TEC Surveying**  
 15C Tiononda Avenue  
 Beacon, New York 12508

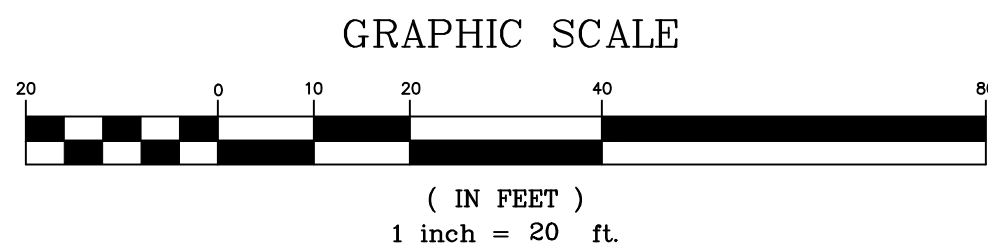
**Civil Engineer:**  
**Hudson Land Design**  
 174 Main Street  
 Beacon, New York 12508



**GRADING & UTILITY PLAN**  
SCALE: 1" = 20'



**EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1" = 20'



**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING ADJOINER LINE
- - - EXISTING SEWER MAIN
- - - EXISTING WATER MAIN
- GAS GAS EXISTING GAS MAIN
- - - PROPOSED SEWER SERVICE LINE
- - - PROPOSED WATER SERVICE LINE
- - - PROPOSED STORM SEWER LINE
- - - PROPOSED ROOF LEADER LINE
- PROPOSED WATER SHUT-OFF VALVE
- PROPOSED CLEAN OUT
- PROPOSED SILT FENCE

**SITE SPECIFIC NOTES:**

1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS, WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL DRAINAGE, SANITARY SEWER, WATER AND GAS LINES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT.
3. THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES. AS SUCH, THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
4. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
5. THE WATER SERVICE LINE SHALL BE 6" DIP.
6. THE SEWER SERVICE FOR THE BUILDING ADDITION SHALL TIE INTO EXISTING PLUMBING WITHIN THE BUILDING. IF IT IS DETERMINED THAT A NEW SERVICE LINE IS REQUIRED, THE PIPE SHALL BE 6" SDR-35 PVC PIPE WITH A MINIMUM OF 1/4" PER FOOT TO THE CITY SEWER MAIN.
7. STREET CLOSURE FOR WATER, SEWER AND GAS SERVICE CONNECTIONS AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS. A PLAN SHALL BE IN PLACE FOR MAINTENANCE AND PROTECTION OF TRAFFIC.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. MAIN STREET DIGGER PHELPS COURT SHALL BE KEPT CLEAN AND SWEEPED DURING CONSTRUCTION.
9. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, AS REQUIRED. THE TYPES OF PUMPS AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
10. THE TOTAL DISTURBANCE ASSOCIATED WITH THE PROJECT HAS BEEN ESTIMATED TO BE 2,040 SQUARE FEET (±0.05 ACRE).
11. THE BUILDING DEPARTMENT SHALL INSPECT THE EXISTING BUILDING TO CONFIRM THAT THERE ARE NO EXISTING STORMWATER CONNECTIONS TO THE CITY'S SANITARY SEWER SYSTEM PRIOR TO THE MAP BEING SIGNED.
12. THE EXISTING WATER SERVICE LINE SHALL BE CUT, CAPPED AND ABANDONED IN-PLACE.
13. THE EXISTING SEWER SERVICE LATERAL SHALL BE REMOVED AND PLUGGED TO PREVENT ANY GROUNDWATER INFLOW INTO THE CITY SEWER SYSTEM.
14. THE PROPOSED DRIVEWAY ENTRANCE IS LOCATED IN THE EXISTING CURB CUT FOR THE PARCEL. EXISTING SIGHT DISTANCES WERE MEASURED AT THE LOCATION IN ACCORDANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:

Structure	Top of Structure	Invert	Invert	Invert	Invert
111	150.1'	139.5' 10" PVC	139.5' 10" PVC		
112	150.1'	139.8' 10" PVC	139.5' 8" PVC	139.4' 10" PVC	
113	149.9'	140.6' 10" PVC	140.5' 10" PVC		

Structure	Top of Structure	Invert	Invert	Invert
114	150.0'	143.5' 24" RCP	143.9' 18" RCP	143.6' 24" RCP
115	149.5'	144.7' 18" RCP	144.9' 18" RCP	
116	149.5'	144.8' 18" RCP		

STOP LINE SIGHT DISTANCE (SLSD) RIGHT = ±210 FEET (TO INTERSECTION WITH MATTIE COOPER SQUARE).

STOP LINE SIGHT DISTANCE (SLSD) LEFT = ±101 FEET (TO INTERSECTION WITH MAIN ST).

STOPPING SIGHT DISTANCE (SSD) RIGHT = ±210 FEET (TO INTERSECTION WITH MATTIE COOPER SQUARE).

STOPPING SIGHT DISTANCE (SSD) LEFT = ±101 FEET (TO INTERSECTION WITH MATTIE COOPER SQUARE).

ALTHOUGH THE MEASURED SIGHT DISTANCE IS LESS THAN WHAT IS REQUIRED, THE SIGHT DISTANCE IS CLEAR THROUGH BOTH INTERSECTIONS TO THE REQUIRED DISTANCE; HOWEVER, THE INTERSECTIONS ARE CONTROLLED WITH STOP SIGNS. THEREFORE, APPROACHING VEHICLES WILL NOT BE TRAVELING AT THE DESIGN SPEED THROUGH THE INTERSECTIONS, AND WHEN TURNING INTO DIGGER PHELPS CT. FROM MAIN ST. OR MATTIE COOPER SQ..

**EXISTING UNDERGROUND UTILITY NOTES:**

1. CONTRACTOR SHALL DIG TEST PITS TO VERIFY LOCATION, SIZE AND PIPE MATERIAL OF EXISTING UNDERGROUND UTILITIES. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

**INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES**

**CATCH BASINS AND PIPING:**

ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

**GENERAL CONSTRUCTION NOTES:**

1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
2. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962.
3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
4. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATERTIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

**EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
2. ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
3. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
4. ANY PILE OF POTENTIALLY ERODIBLE MATERIAL, TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
5. PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THIS SHEET.
7. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
8. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
9. THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
10. THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
11. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
12. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
13. STORMWATER SUMPS SHALL BE PROPERLY MAINTAINED BY WEEDING AND TRIMMING THE DROUGHT TOLERANT SPECIES TWICE A YEAR. MULCH SHALL BE REPLACED WHEN SEDIMENT BUILDUP OBSERVED AND THE INFILTRATIVE CAPACITY OF THE SUMP IS DIMINISHED.
14. STORMWATER SUMP OVERFLOW WEIR SHALL BE INSPECTED ANNUALLY, OR AFTER ANY LARGE STORM EVENTS. SEDIMENT ACCUMULATION SHALL BE MONITORED AND REMOVED FROM RIP RAP AS REQUIRED. DEBRIS SHALL BE REMOVED WHEN BUILD-UP HAS ACCUMULATED TO APPROXIMATELY 10% TO 20% OF WEIR CAPACITY.

PARCEL OWNER:	206-208 MAIN STREET, LLC., 59 RIVER GLEN RD., WALKKILL, NY 12589
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	208 MAIN STREET BEACON, NEW YORK 12508
TAX PARCEL ID:	6054-39-349638
PARCEL AREA:	±0.16-ACRE
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL
ZONING DISTRICT:	CENTRAL MAIN STREET (CMS)

**MAP REFERENCES:**

1. EXISTING FEATURES AS SHOWN ON THIS SITE PLAN PROVIDED BY A SURVEY BY TEC LAND SURVEYING.

**GRADING, UTILITY AND EROSION & SEDIMENT CONTROL PLAN**  
**208 MAIN STREET**

208 MAIN STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-39-349638  
SCALE: AS NOTED  
APRIL 24, 2018

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

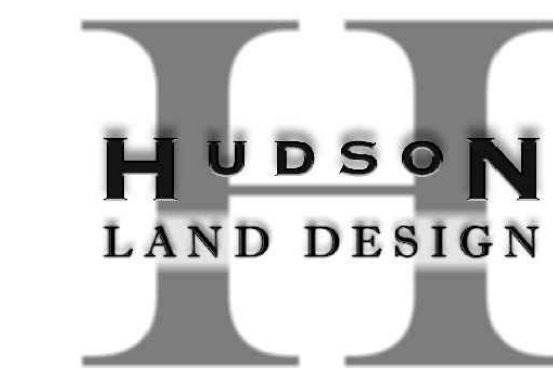
CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



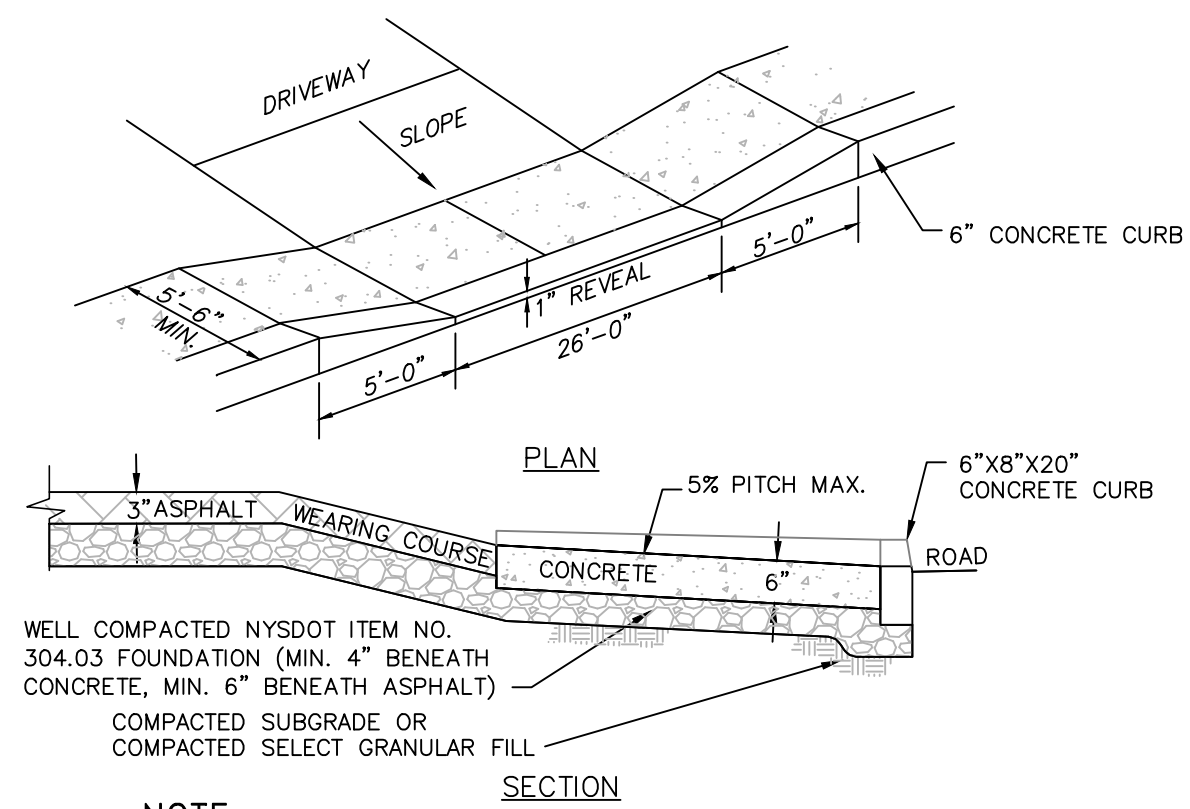
NO.	DATE	DESCRIPTION	BY
1	5/29/18	PER CITY OF BEACON COMMENTS	CMB



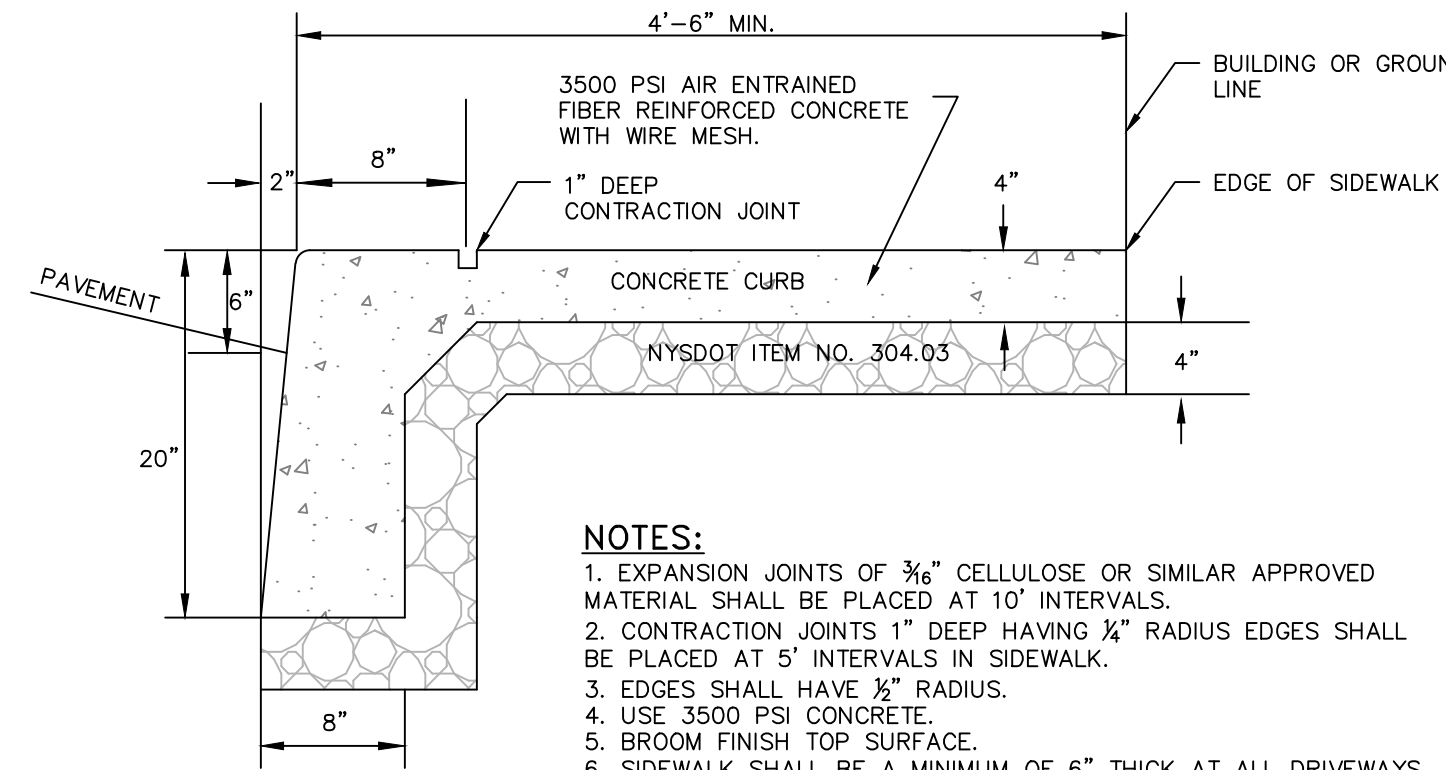
HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



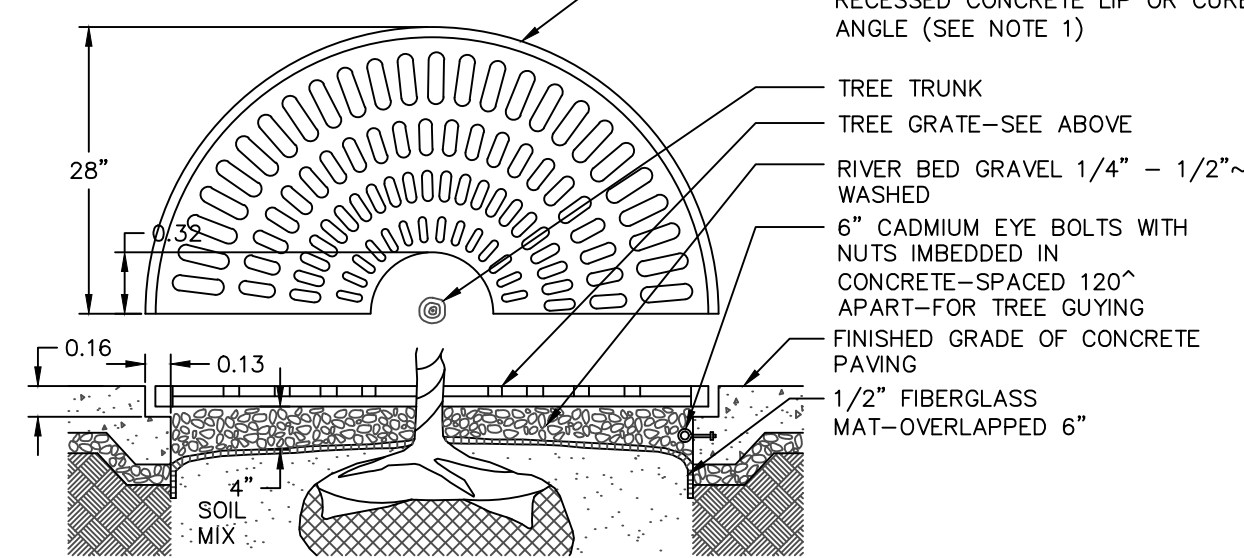
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOHLER, P.E.  
NYS LICENSE NO. 082716



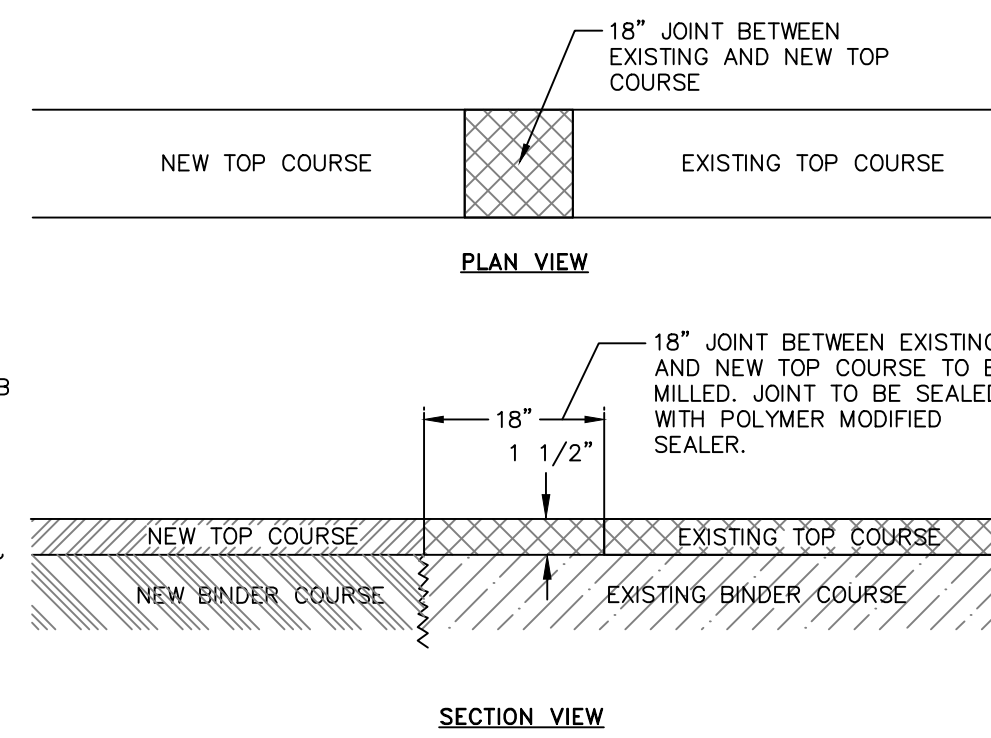
**DRIVEWAY ENTRANCE DETAIL**  
NOT TO SCALE



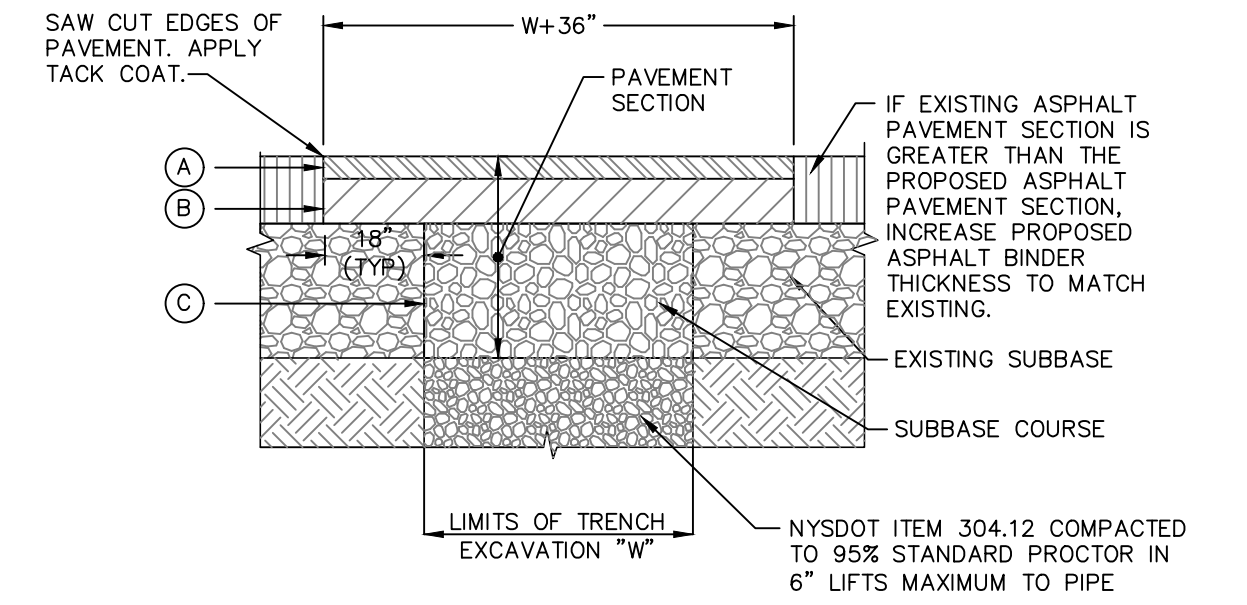
**MONOLITHIC CURB AND SIDEWALK DETAIL**  
NOT TO SCALE



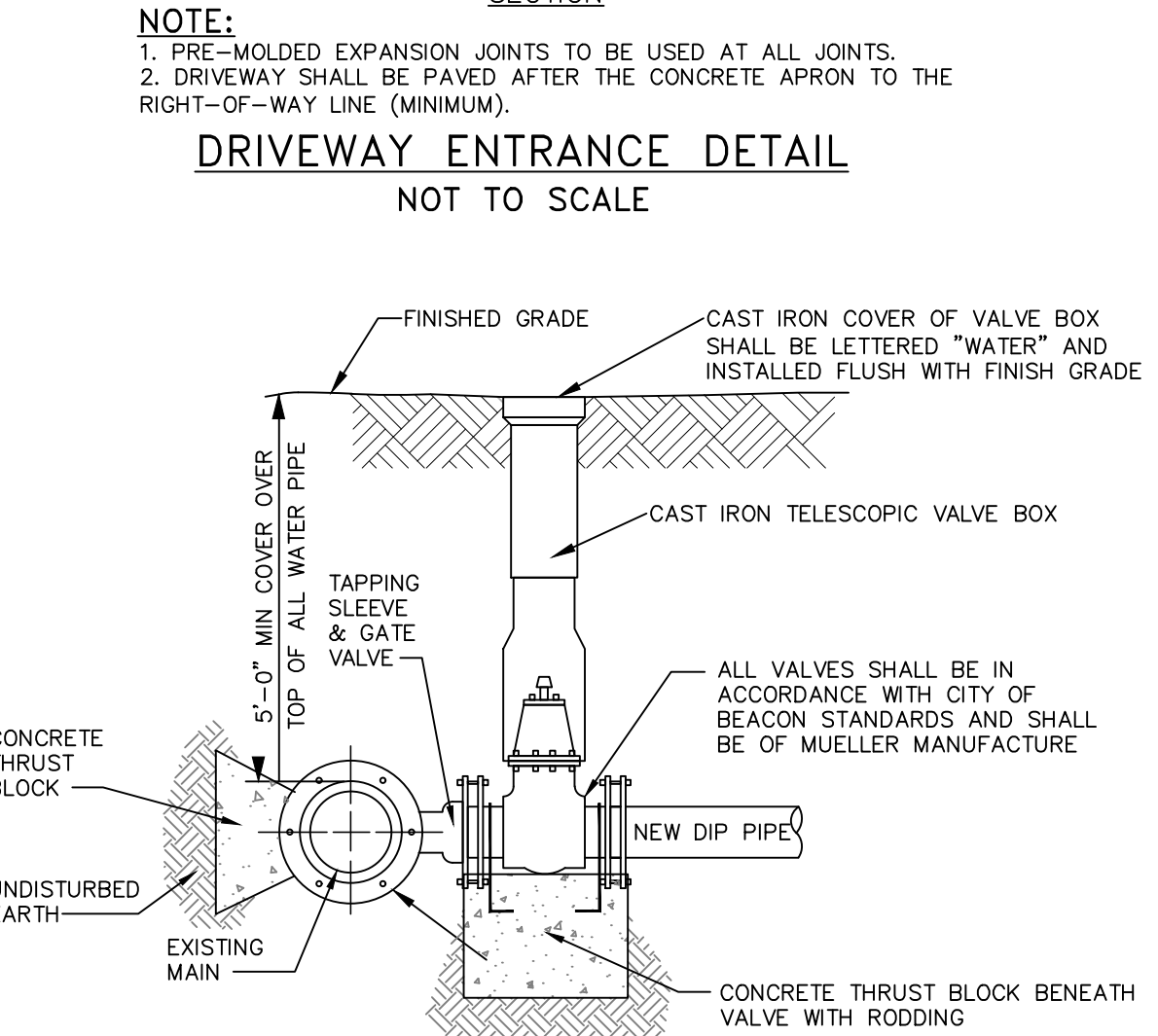
**TREE GRATE PLANTING DETAIL**  
NOT TO SCALE



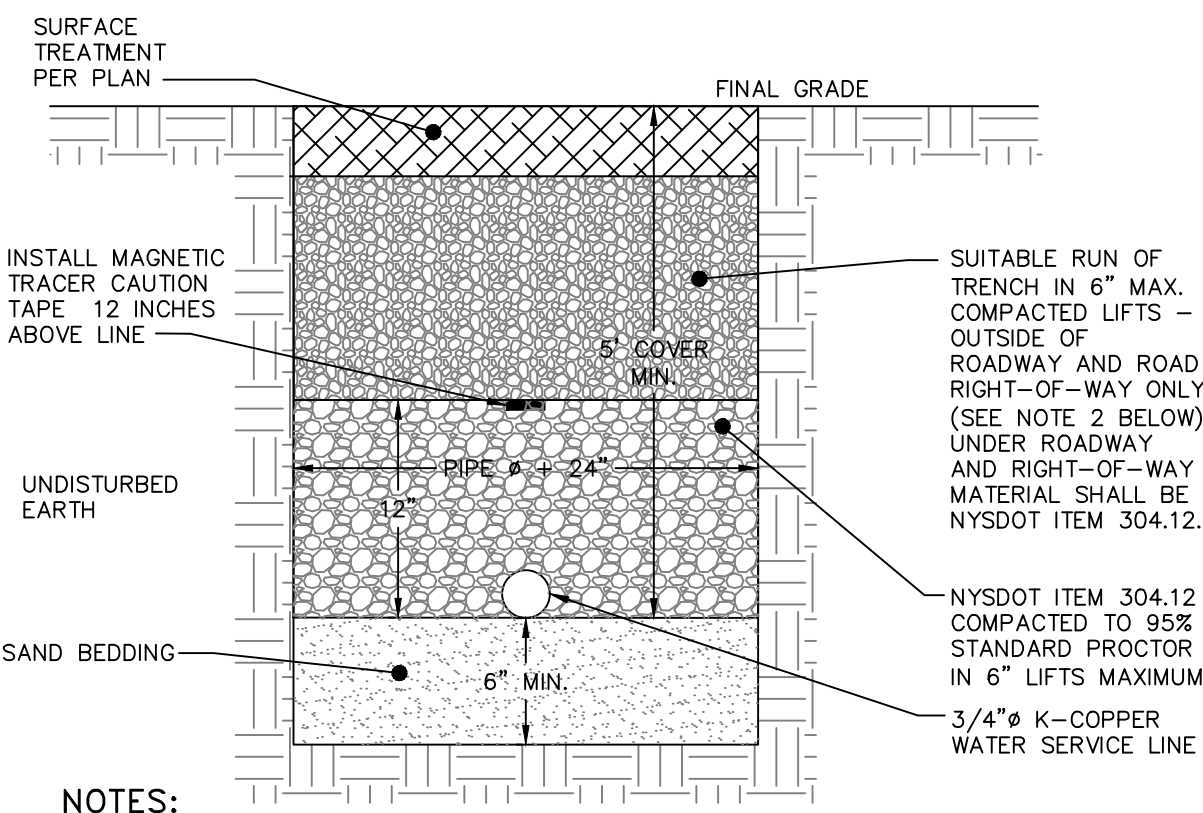
**MILLED KEYWAY DETAIL**  
NOT TO SCALE



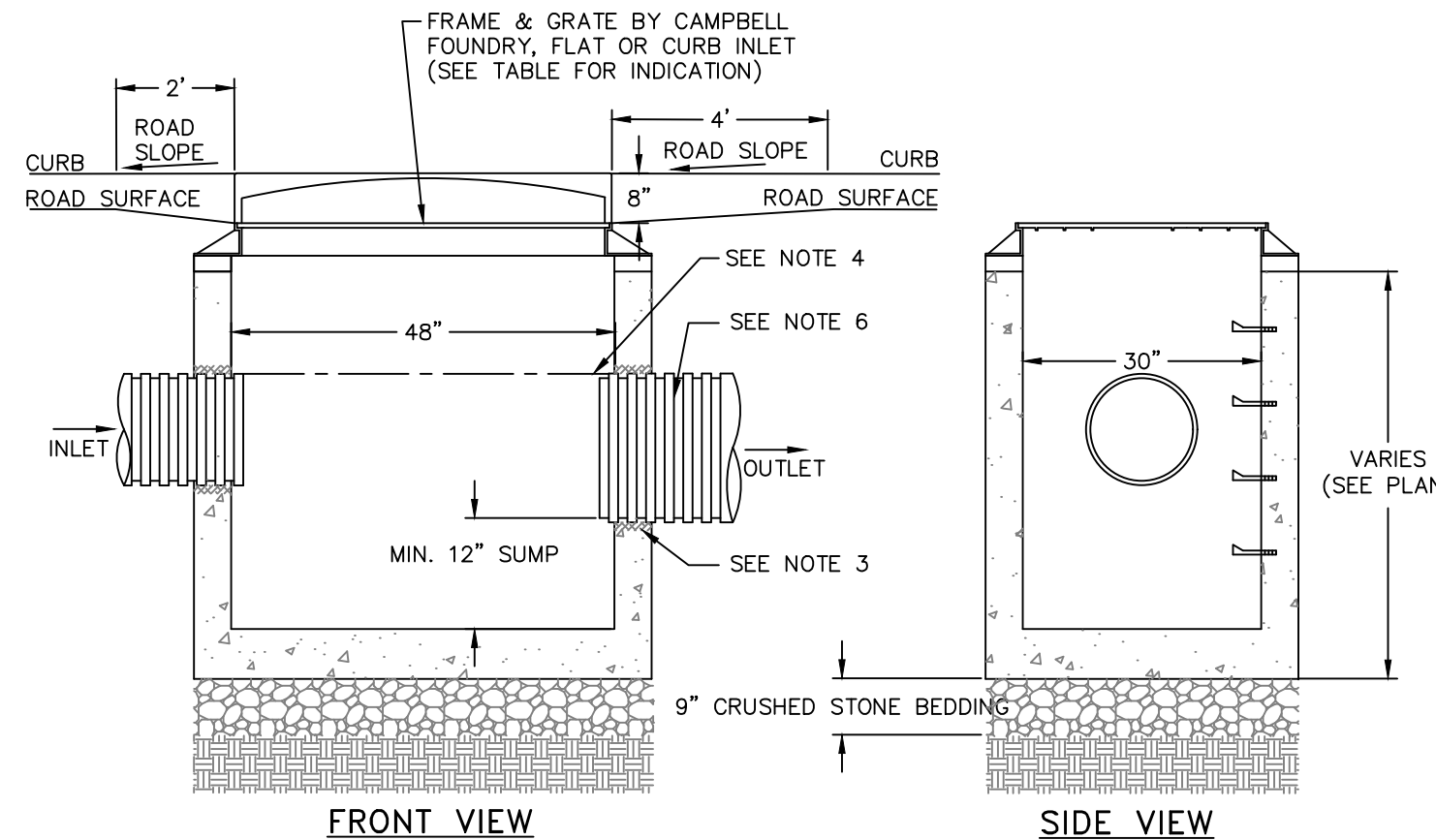
**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE



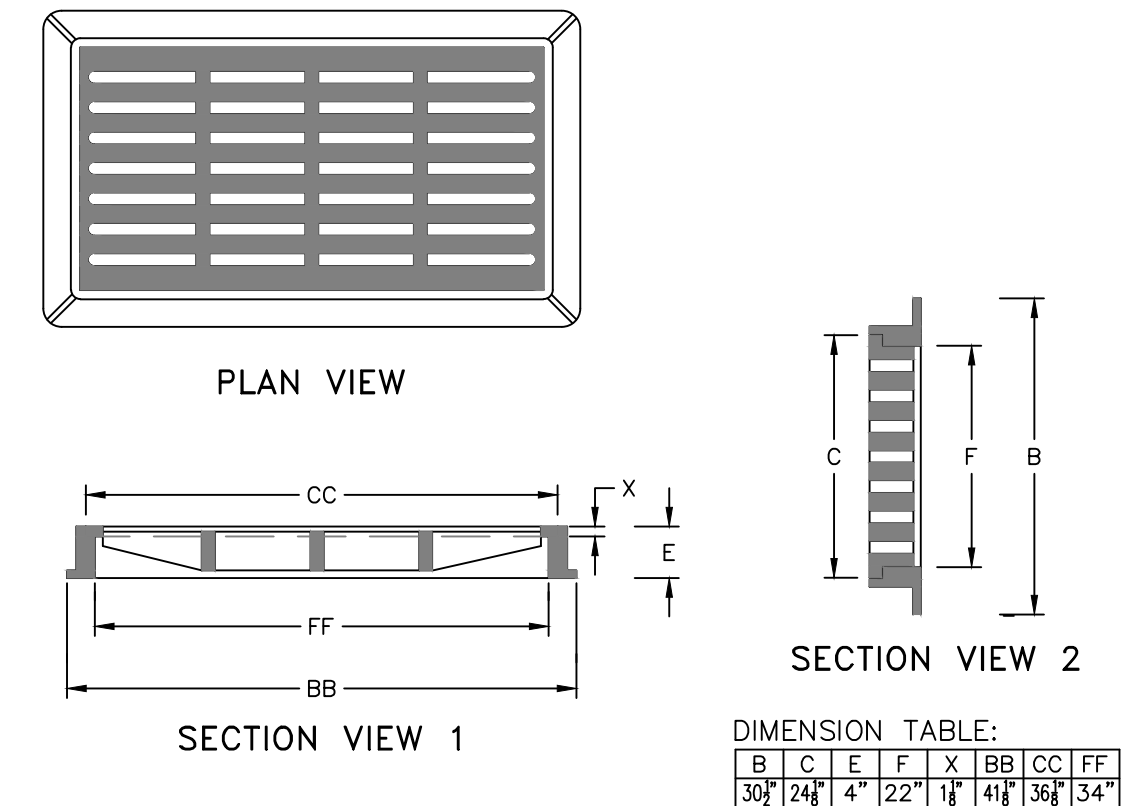
**TAPPING SLEEVE DETAIL**  
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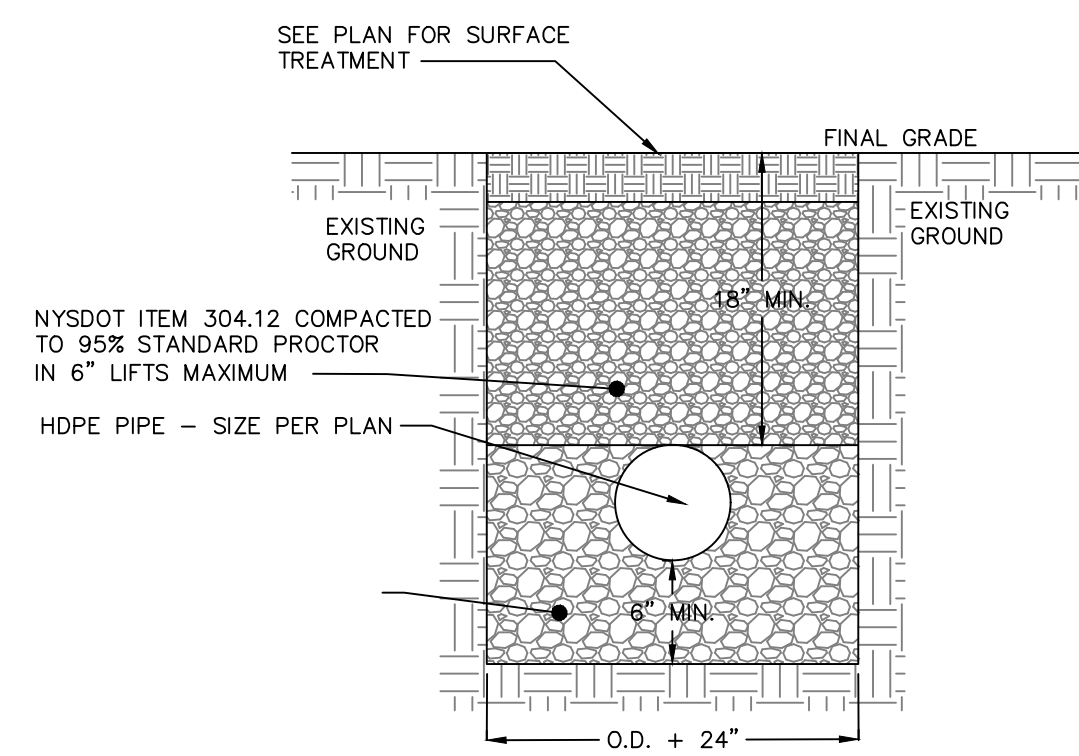
**WATER SERVICE LINE TRENCH DETAIL**  
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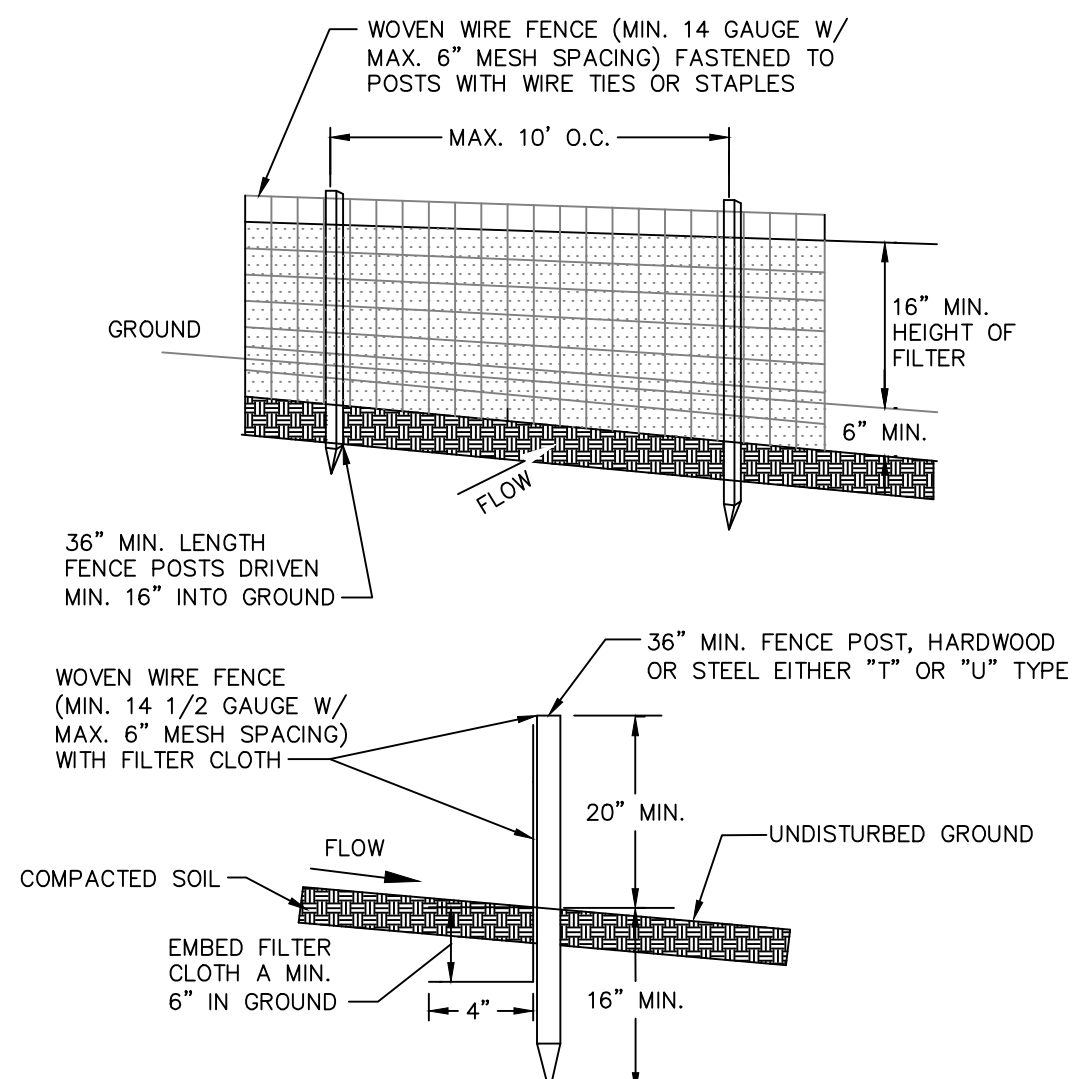
**CATCH BASIN DETAIL**  
NOT TO SCALE



**CAST IRON STORMWATER FLAT INLET GRATE DETAIL**  
NOT TO SCALE



**STORMWATER PIPE IN TRENCH DETAIL**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

DRAWN BY:	CMB	CHECKED BY:	MAB	JOB NO.:	2018-013
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	5/29/18	PER CITY OF BEACON COMMENTS	CMB		

## CONSTRUCTION DETAILS 208 MAIN STREET

208 MAIN STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-39-349638  
SCALE: AS NOTED  
APRIL 24, 2018

**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**38 St. Luke's Place**

**Subject:**

Public hearing for SEQRA Environmental Review on application for Subdivision Approval, three-lot residential, 38 St. Luke's Place, submitted by Beacon 226 Main Street, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
38 St. Lukes Engineer Cover Letter	Cover Memo/Letter
38 St. Lukes Sheet 1 Plat	Plans
38 St. Lukes Sheet 2 Subdivision Plan	Plans
38 St. Lukes Sheet 3 Erosion & Sediment Control	Plans
38 St. Lukes Sheet 4 Details	Plans



*Civil & Environmental Engineering Consultants*  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)

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May 29, 2018

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 38 St. Luke's Subdivision  
Tax IDs: 6054-38-156634  
City of Beacon, New York

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the subdivision plan set in response to Lanc & Tully's May 02, 2018 comment letter and John Clarke Planning and Design's May 02, 2018 comment letter. Below is a point-by-point response to the comments received.

**Lanc & Tully's May 02, 2018 Comment Letter:**

1. The proposed property lines for both Lot 2 and Lot 3 have been shifted to the north by varying distances to resolve the right of way issue associated with this lot. The newly proposed property lines are outside the existing edge of pavement on Union Street. The City will be given the maximum amount of area while keeping both Lot 2 and Lot 3 in conformance.
2. The front yard setback for Lot 2 is 12.5 feet, keeping in conformance with the existing house on Lot 1. The side yard setback for Lot 2 and the front yard setback for Lot 3 are both 13.1 feet. Lot 3 is lined up with the house on Parcel 6054-46-172624, which is to the west of the proposed lot. The house on adjacent property to the west, Parcel 6054-38-161628, is set back farther than the rest of the houses on Union Street and rotated slightly to the east.
3. Sight distance measurements have been provided in the Notes on Sheet 2 and represented on the Subdivision Plan: Sheet 2. A driveway profile for Lot 2 and Lot 3 will be provided when house and driveway locations are acceptable to the Board.
4. Additional contours have been shown on adjacent parcels to the proposed lots. A drywell is proposed to infiltrate stormwater runoff and footing drain runoff for each of the proposed lots.
5. An enlargement of the northwest corner of Lot 1 is shown detailing the sewer service connections and all construction within St. Luke's Place.

**John Clark Planning and Design's May 02, 2018 Comment Letter:**

1. Comment satisfied by TEC Land Surveying.
2. Comment satisfied by TEC Land Surveying.



3. The reference to 0.11 acres on Sheet 2 has been removed.
4. Comment noted. Lot 2 proposed residence is aligned with the existing House on the subject parcel, while the proposed residence on Lot 3 is aligned with the houses on Union Street, with the exception of the adjacent parcel to the west. This parcel is setback further than the houses on Union Street and rotated slightly to the east.
5. The chain link fence that is proposed to be removed is called out on Sheet 2.
6. The comment proposing a sidewalk along Union Street is well received but will not be proposed for the project. The sidewalk would terminate at the existing Lot on Parcel 6054-38-161628.
7. Three (3) street trees along Union Street are proposed and shown on the plans. One additional tree has been added in the rear yard of Lot 3 for shade.

Please find enclosed the following materials for consideration of Final Approval:

- Revised Subdivision Plan Set – 4 Sheets (5 copies);
- CD with all the above documents.

Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Respectfully,



Adam Gasparre  
Project Manager

cc: Gary Joseph via Email  
Daniel G. Koehler, P.E. (HLD File)

**SURVEY NOTES**

- Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
- Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
- Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
- Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
- The certifications herein are not transferable.
- The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
- Subject to the findings of a current title search.
- Subject to covenants, easements, restrictions, conditions and agreements of record.
- Subject to any right, title or interest the public may have for highway use.
- Bearings and North shown hereon are referenced to NAD 83--NY East using NYSNET RTN GPS.
- Contour interval is one foot. Elevations shown hereon are referenced to NAVD 88 using NYSNET RTN GPS.
- Area shown to be dedicated to the City of Beacon for highway use contains 534 ft<sup>2</sup>, more or less.

**FILED MAP REFERENCE**

Map entitled "Map of Lots at Matteawan, N.Y. - Property of Mrs. Maria Robinson" prepared by S. Scofield, C.E. and filed with the Dutchess County Clerk's office on July 7, 1897 as Map No. 514.

Map entitled "Map of Lands Belonging to Caroline R. Clark and Ors." prepared by W.R. Scofield and filed with the Dutchess County Clerk's office on November 15, 1916 as Map No. 1491.

**DEED REFERENCE**

Liber 1001 Page 311  
Clarence E. Wood  
Conveyed To  
Leroy Steinhart & Beryl Steinhart  
On July 15, 1959

Liber 535 Page 414  
Thomas B. Finney & Theresa Finney  
Conveyed To  
Clarence Edward Wood & Florence May Wood  
On December 13, 1933

**TAX PARCEL NUMBER**

City of Beacon, Dutchess County, New York  
130200-6054-38-156634-0000

**AREA**

Total  
17,635 ft<sup>2</sup>  
0.41 Acres

**CERTIFICATIONS**

Beacon 226 Main Street LLC

**ZONING**

Property shown hereon is located within the R1-5 (5,000 ft<sup>2</sup>/dwelling) Residential District as shown on map entitled "Zoning" prepared by Frederick P. Clark Associates, Inc. and dated 6/7/1996, revised on 7/29/2014.

**FLOOD ZONE**

Property shown hereon is located within the Zone "X" Unshaded region and is determined to be outside the 0.2% annual chance floodplain as shown on Flood Insurance Rate Map (FIRM) No. 38027C0577E (Effective Date: 05/02/2012).

**OWNERS & APPLICANTS**

Beacon 226 Main Street LLC

**PLANNING BOARD**

Approved by resolution of the Planning Board of the City of Beacon, New York, on the \_\_\_\_\_ day of year \_\_\_\_\_ Subject to all requirements and conditions of said resolution. Any change, erasure, modification or revision of the plat as approved shall void the approval. Signed this \_\_\_\_\_ day, of year \_\_\_\_\_

By: \_\_\_\_\_ Chairman

**DCDOH STANDARD NOTE**

FOR PERMISSION TO FILE  
This plan does not constitute a realty subdivision as defined by Article XI, Title II, Section 1115 of the Public Health Law of the State of New York, and Article XI, of the Dutchess County Sanitary Code. Permission is hereby granted for the filing of this map with the Clerk of Dutchess County. Approval for arrangements for water supply and/or sewage disposal is neither sought nor granted.

Authorized Representative of the Commissioner of Health \_\_\_\_\_ Date \_\_\_\_\_

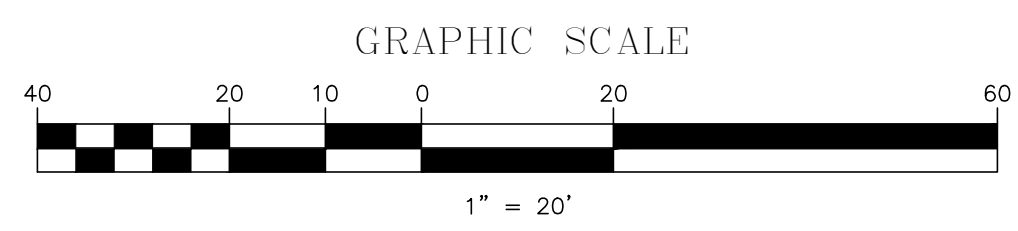
**OWNER'S CONSENT**

The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated hereon.

\_\_\_\_\_ Date \_\_\_\_\_

rev.	date	Revisions Per Planning Board	description
1	5/29/18		

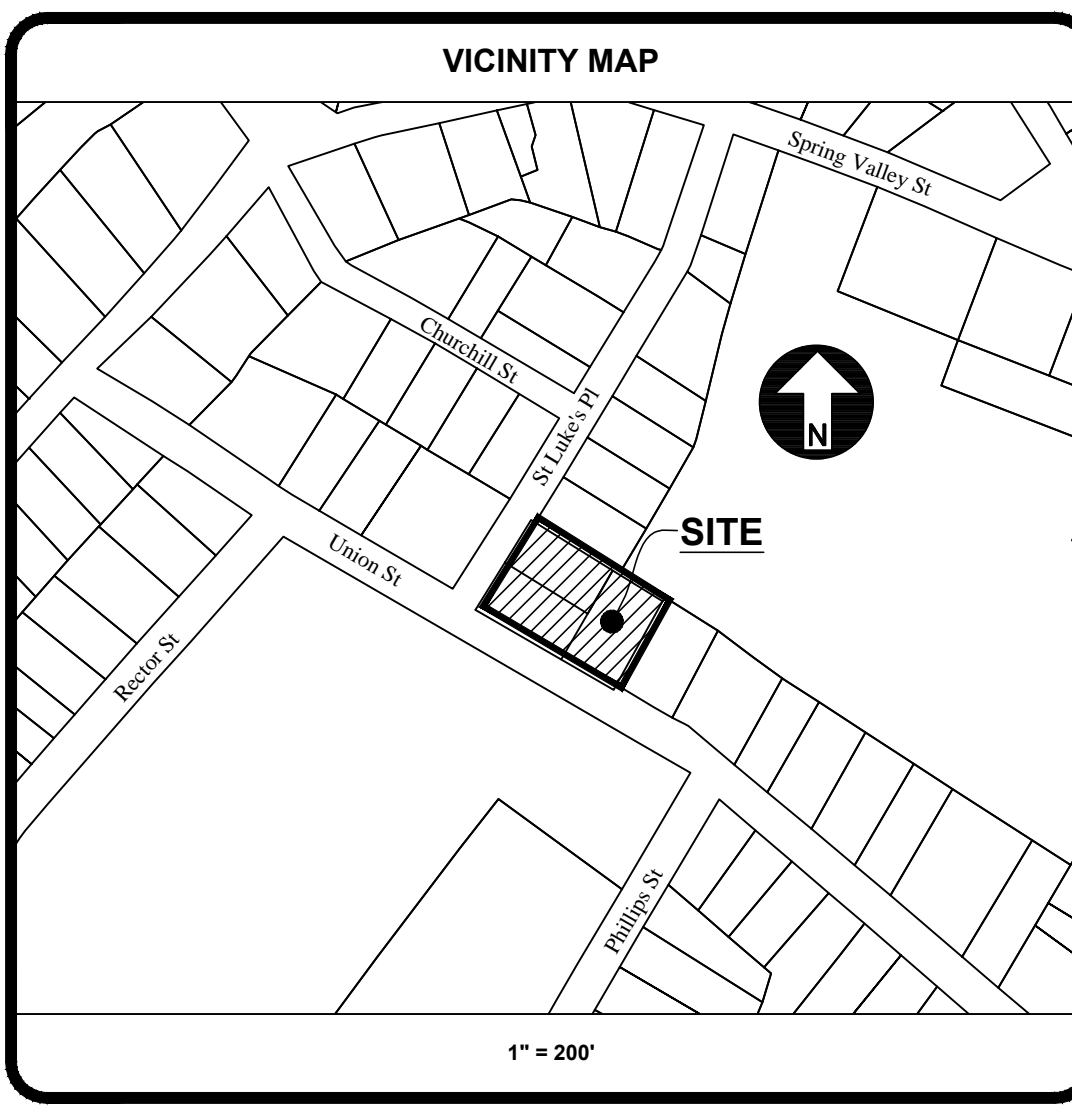
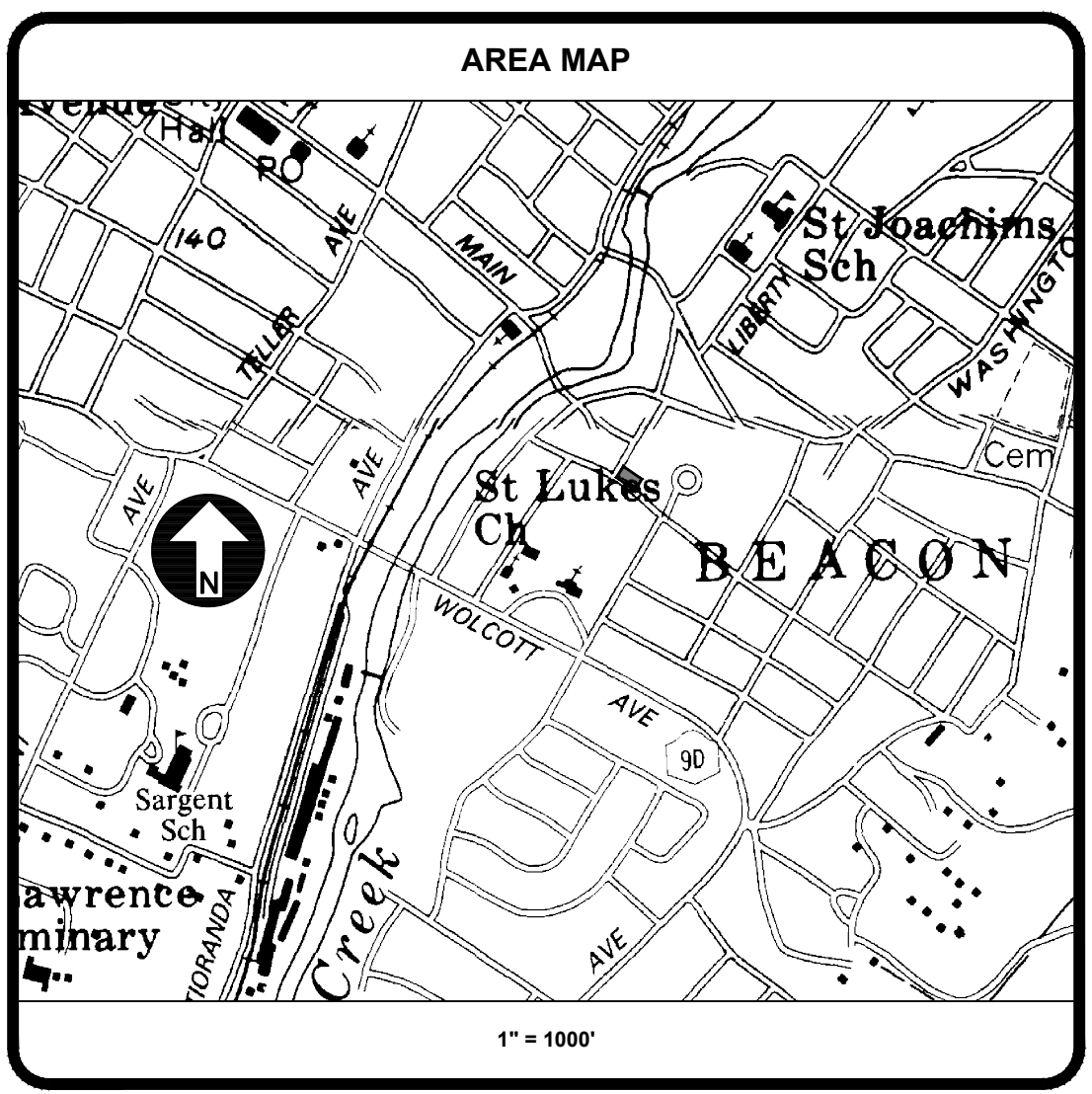
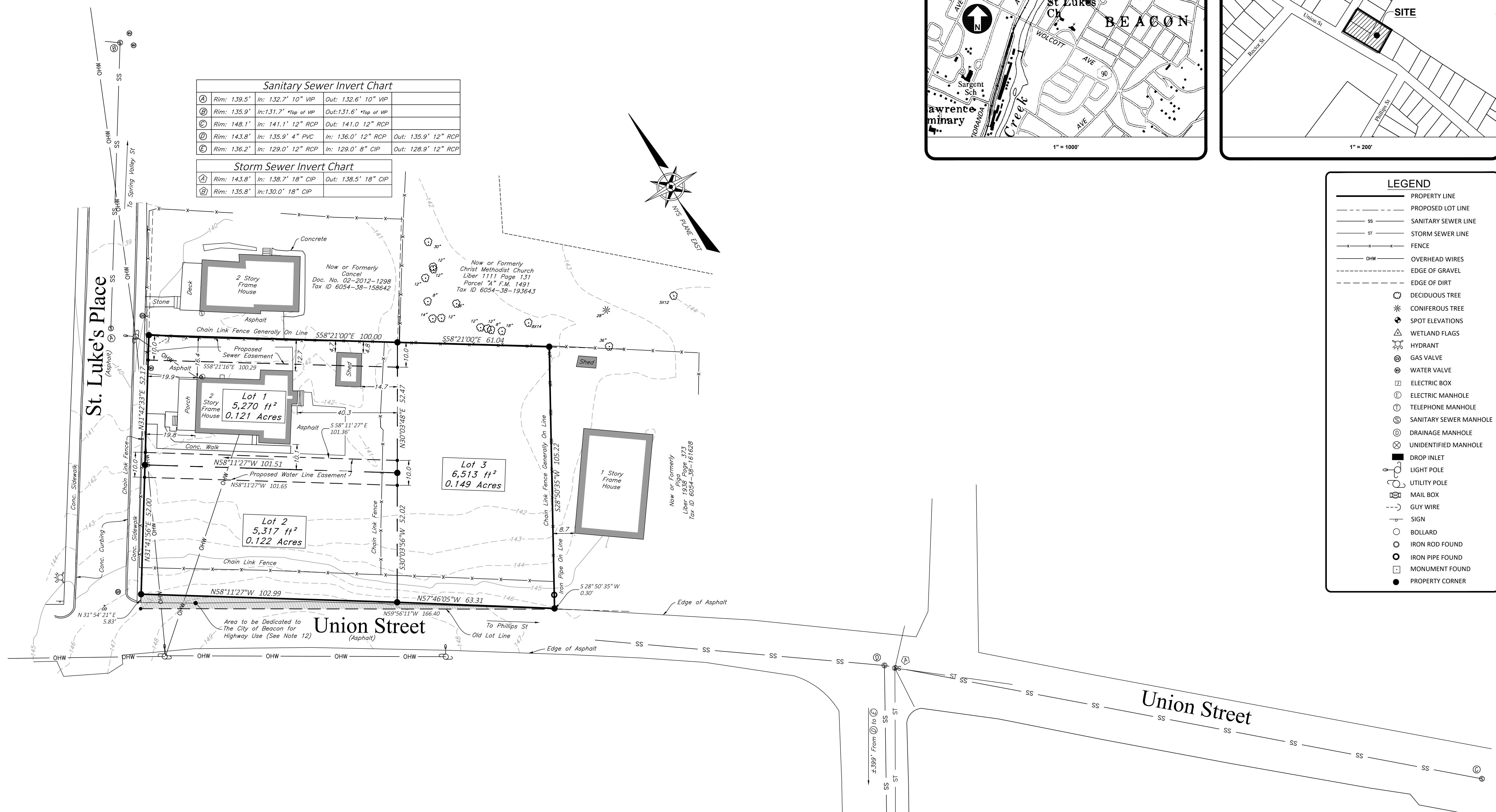
**TEC LAND SURVEYING**  
150 TIORONDA AVE. BEACON, NY 12508  
PH: 845.445.6590 FX: 845.445.6591



Sanitary Sewer Invert Chart			
Ⓐ	Rim: 139.5'	In: 132.7' 10" VIP	Out: 132.6' 10" VIP
Ⓑ	Rim: 135.9'	In: 131.7' *Top of VP	Out: 131.6' *Top of VP
Ⓒ	Rim: 148.1'	In: 141.1' 12" RCP	Out: 141.0 12" RCP
Ⓓ	Rim: 143.8'	In: 135.9' 4" PVC	Out: 135.9' 12" RCP
Ⓔ	Rim: 136.2'	In: 129.0' 12" RCP	Out: 128.9' 12" RCP

Storm Sewer Invert Chart			
Ⓐ	Rim: 143.8'	In: 138.7' 18" CIP	Out: 138.5' 18" CIP
Ⓑ	Rim: 135.8'	In: 130.0' 18" CIP	Out: 129.8' 18" CIP



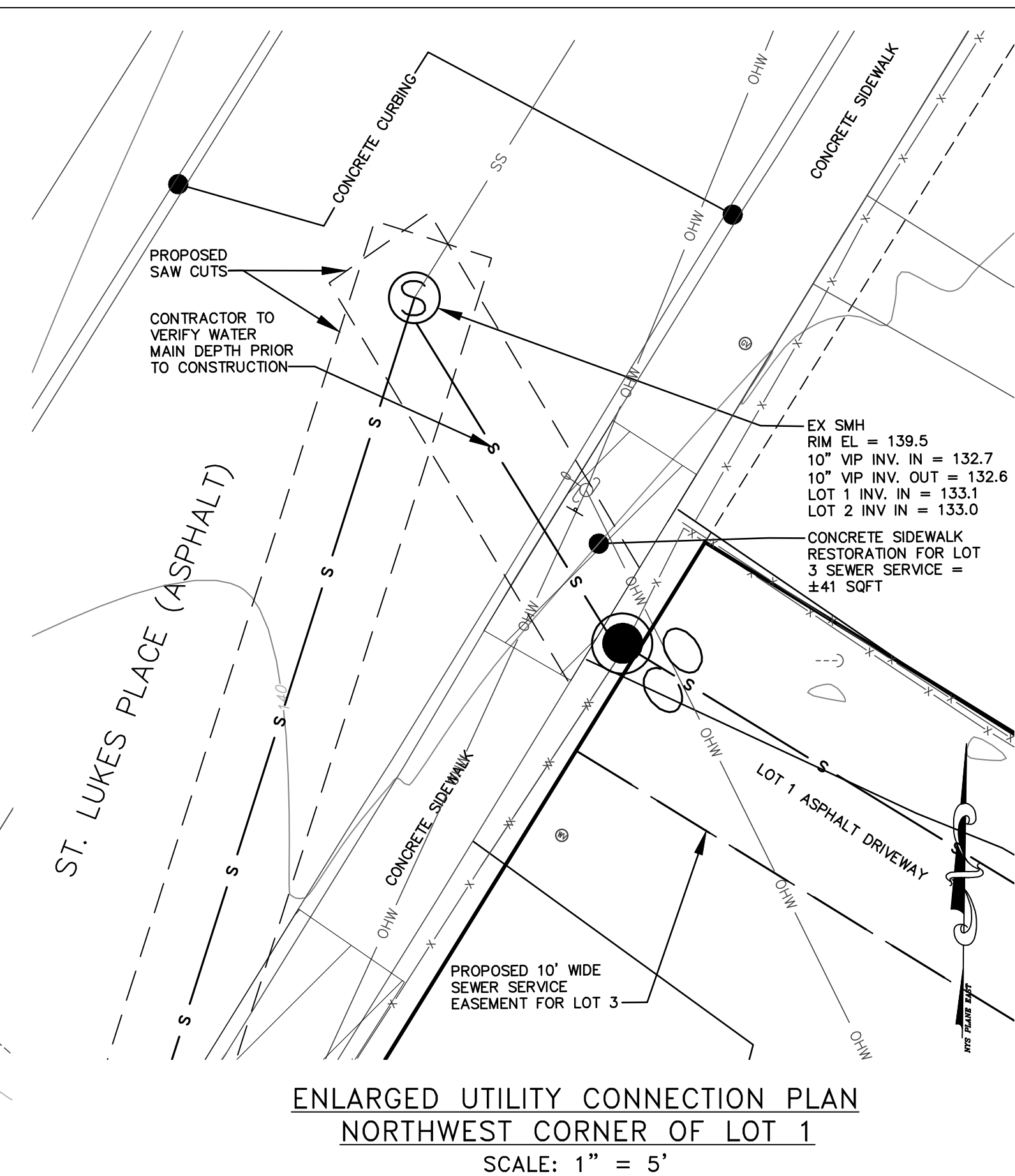
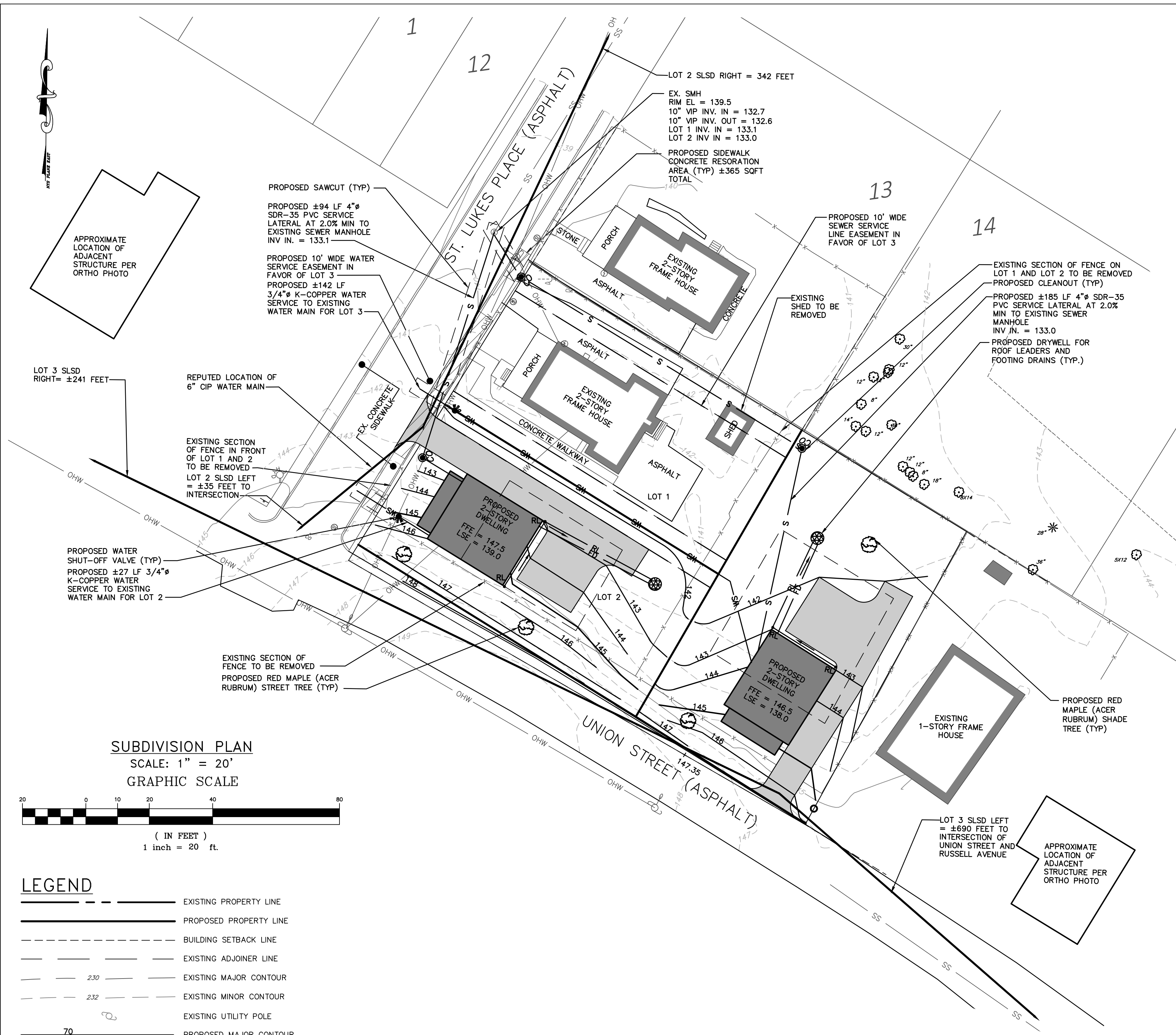
**LEGEND**

- PROPERTY LINE
- PROPOSED LOT LINE
- SS SANITARY SEWER LINE
- ST STORM SEWER LINE
- FENCE
- OHW OVERHEAD WIRES
- EDGE OF GRAVEL
- EDGE OF DIRT
- DECIDUOUS TREE
- CONIFEROUS TREE
- SPOT ELEVATIONS
- WETLAND FLAGS
- HYDRANT
- GAS VALVE
- WATER VALVE
- ELECTRIC BOX
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- SANITARY SEWER MANHOLE
- DRAINAGE MANHOLE
- UNIDENTIFIED MANHOLE
- DROP INLET
- LIGHT POLE
- UTILITY POLE
- MAIL BOX
- GUY WIRE
- SIGN
- BOLLARD
- IRON ROD FOUND
- IRON PIPE FOUND
- MONUMENT FOUND
- PROPERTY CORNER

38 ST LUKES PLACE  
SUBDIVISION PLAT  
PREPARED FOR  
BEACON 226 MAIN STREET LLC  
CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id	6054-38-156634
address	38 ST LUKES PLACE
date	04/20/2018
scale	1" = 20'
project no.	18-040
project name	38 ST LUKES PLACE
sheet	1 OF 4

THOMAS E. GERCHIARA, P.L.S.  
P.L.S. No. 50732



**PROJECT INFORMATION:**

PARCEL OWNERS:	BEACON 226 MAIN STREET INC.
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	38 ST. LUKES PLACE, BEACON NY, 12508
TAX PARCEL ID:	6054-38-156634 ( ±0.405 AC)
PARCEL AREA:	±0.405 ACRES
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

**MAP REFERENCES:**  
1. EXISTING FEATURES AS SHOWN ON THIS SUBDIVISION PLAN PROVIDED BY MAPPING OBTAINED FROM TEC LAND SURVEYORS, P.S., LLC.

**SURVEY NOTES:**  
1. SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.

**SITE SPECIFIC NOTES:**

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
- THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
- THE WATER SERVICE LINE SHALL BE 3/4" K-COPPER.
- THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
- A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER AND SEWER SERVICES FOR THE NEW LOT. STREET CLOSURE FOR WATER AND SEWER SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
- ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
- SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
- THE DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:  
LOT 2: SLSD LEFT = ±35 FEET (TO INTERSECTION OF ST. LUKES PLACE AND UNION STREET)  
SLSD RIGHT = ±241 FEET  
LOT 3: SLSD RIGHT = ±241 FEET  
SLSD LEFT = ±690 FEET (TO INTERSECTION OF UNION STREET AND RUSSELL AVE)  
AS SLSD RIGHT FOR LOT 3 IS DEFICIENT, STOPPING SIGHT DISTANCE (SSD) WAS MEASURED TO BE 241', WHICH EXCEEDS THE MINIMUM REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FROM THE NORTH (SOUTHBOUND).  
STOPPING SIGHT DISTANCE (SSD) WAS OBSERVED TO BE IN EXCESS OF THE REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FOR BOTH LOT 2 AND LOT 3 FROM THE LEFT AND RIGHT.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS, STORM SEWER LINES, SANITARY MANHOLES, SEWER LINES, WATERLINES, AND UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.

**INDIANA BAT PROTECTION NOTES:**

- TREE CLEARING SHALL BE RESTRICTED TO THE PERIOD BETWEEN OCTOBER 1 AND MARCH 31.
- THE LIMITS OF DISTURBANCE SHALL BE DEMARCATED BY INSTALLING ORANGE CONSTRUCTION FENCE FOR THE GENERAL IMPROVEMENT AND INFRASTRUCTURE CONSTRUCTION ACTIVITIES AND FOR THE INDIVIDUAL LOT CONSTRUCTION. THESE LIMITS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- DUST CONTROL DURING CONSTRUCTION SHALL BE IMPLEMENTED. THIS INCLUDES USE OF CONSTRUCTION ENTRANCES, APPLYING LIGHT WATER, AND ESTABLISHING VEGETATION.
- STREET LIGHTS ARE NOT PERMITTED. RESIDENTIAL LIGHTING SHALL BE DIRECTED DOWNWARD TO REDUCE IMPACTS TO BATS FORAGING FOR FOOD.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN

SECRETARY

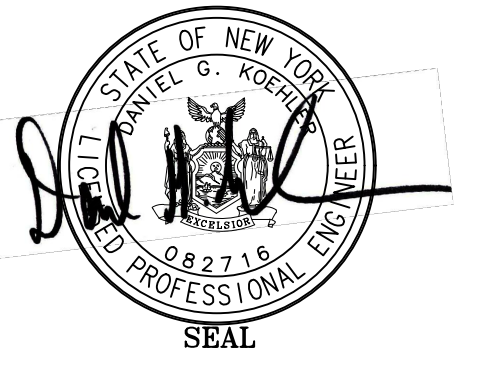
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**SUBDIVISION PLAN**  
**38 ST. LUKES SUBDIVISION**

38 ST. LUKES PLACE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-38-156634  
SCALE: 1" = 20'  
APRIL 24, 2018



HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

**SCHEDULE OF REGULATIONS (R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT #1	LOT #2	LOT #3
LOT AREA:	5,000 SQUARE FEET MIN	5,270 S.F.	5,317 S.F.	6,513 S.F.
LOT WIDTH:	50 FEET MINIMUM	52.2 FEET	52.0 FEET	61.0 FEET
LOT DEPTH:	100 FEET MINIMUM	100.0 FEET	101.5 FEET	104.5 FEET
<b>YARD SETBACKS (RESIDENTIAL USE):</b>				
FRONT YARD:	30 FEET MINIMUM	12.5 FEET*	12.5 FEET**(1)	13.1 FEET**
SIDE YARD:	10 FEET MINIMUM	10.0 FEET	13.1 FEET	15.1 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	22.7 FEET	28.0 FEET	37.2 FEET
REAR YARD:	30 FEET MINIMUM	40.0 FEET	56.4 FEET	58.5 FEET
<b>YARD SETBACKS (ACCESSORY STRUCTURE):</b>				
SIDE YARD:	5 FEET MINIMUM	STRUCTURE TBR	N/A	N/A
REAR YARD:	5 FEET MINIMUM	STRUCTURE TBR	N/A	N/A
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	±27 FEET	<35 FEET	<35 FEET
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	±27 FEET	>12 FEET	>12 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	STRUCTURE TBR	N/A	N/A
BUILDING COVERAGE:	MAX 25%	21.1%	13.5%	11.5%
DWELLING UNITS PER LOT:	MAX 1	1	1	1

\* EXISTING, NON-COMFORMING  
\*\* THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT #2 AND LOT #3 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO HOUSES ALONG ST. LUKES PLACE AND UNION STREET, RESPECTIVELY).  
(1) ASSUMES FULL FRONT YARD FROM ST. LUKES PLACE, WITH FRONT YARD ALONG UNION STREET REDUCED TO 0.25 X 52.0' = 13.0' (PER SECTION 223-13J: ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT, OR, IF THE LOT IS OCCUPIED BY A ONE-FAMILY HOME, SUCH SIDE YARD MAY BE REDUCED TO 25% OF THE ACTUAL LOT WIDTH).



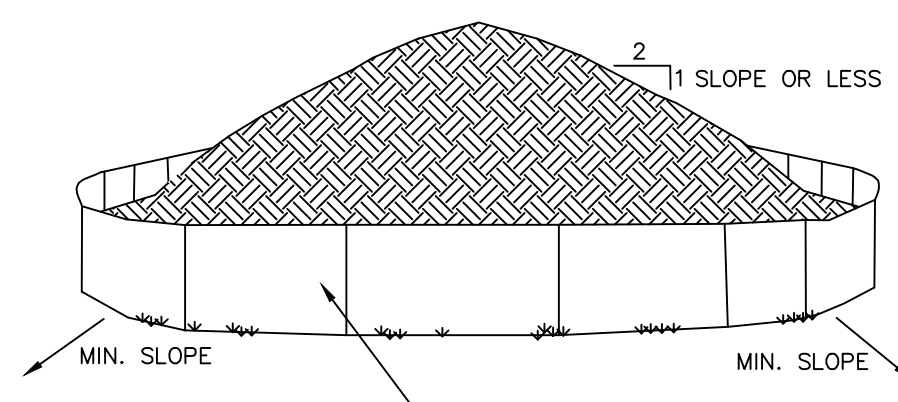
DRAWN BY: AG	CHECKED BY: DKG	JOB NO.: 2018-012	
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	05/29/18	REVISED LAYOUT PER CONSULTANT COMMENTS	AG

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON OCTOBER 6, 2017.

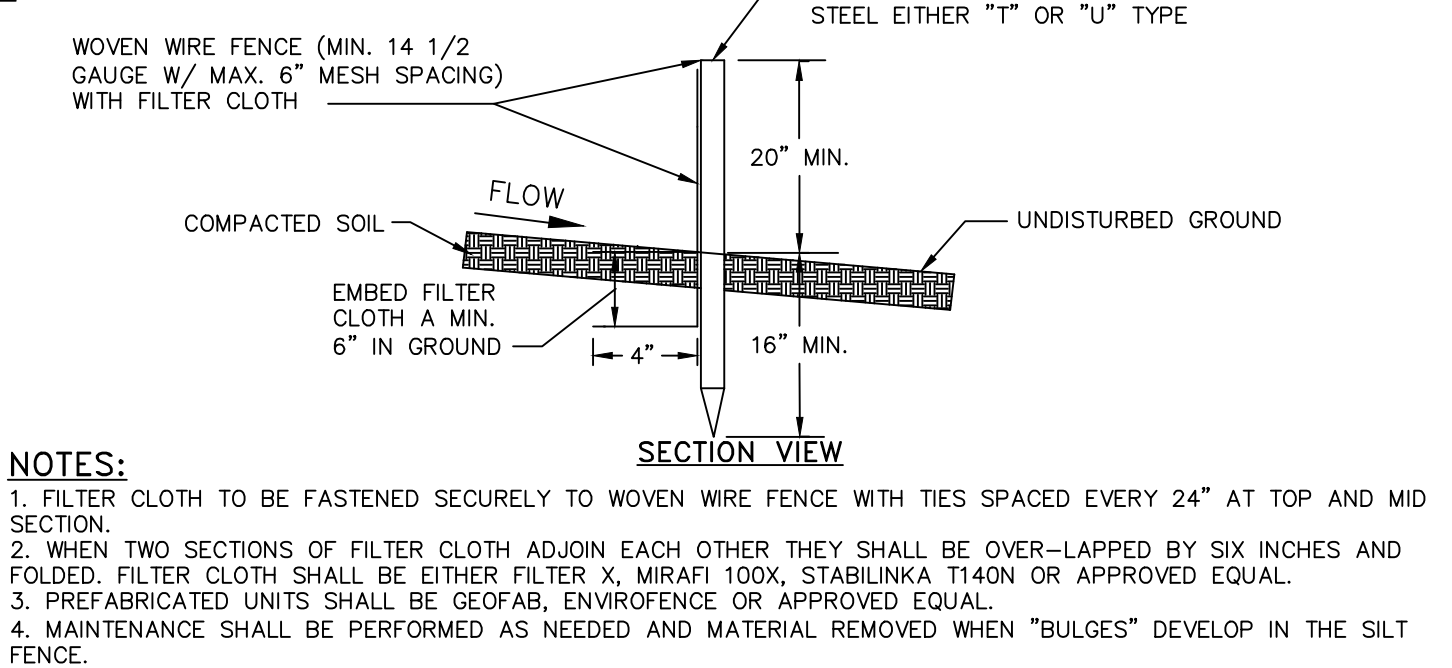
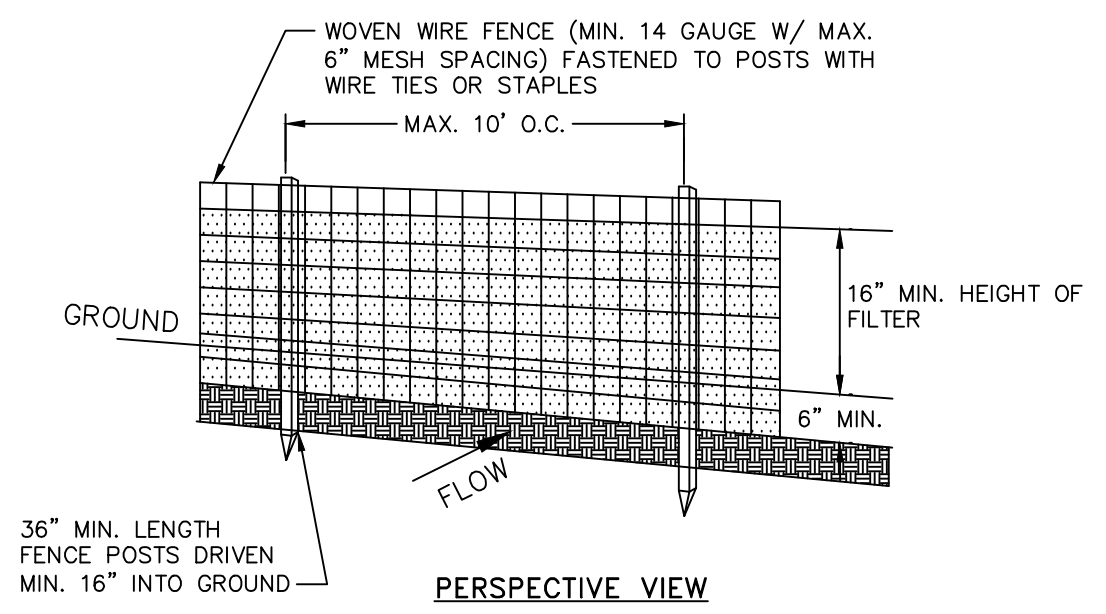
**OWNER'S CONSENT:**  
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

GARY JOSEPH OR TIM OWEN \_\_\_\_\_ DATE \_\_\_\_\_ THOMAS CERCHIARA P.L.S. \_\_\_\_\_ SEAL \_\_\_\_\_



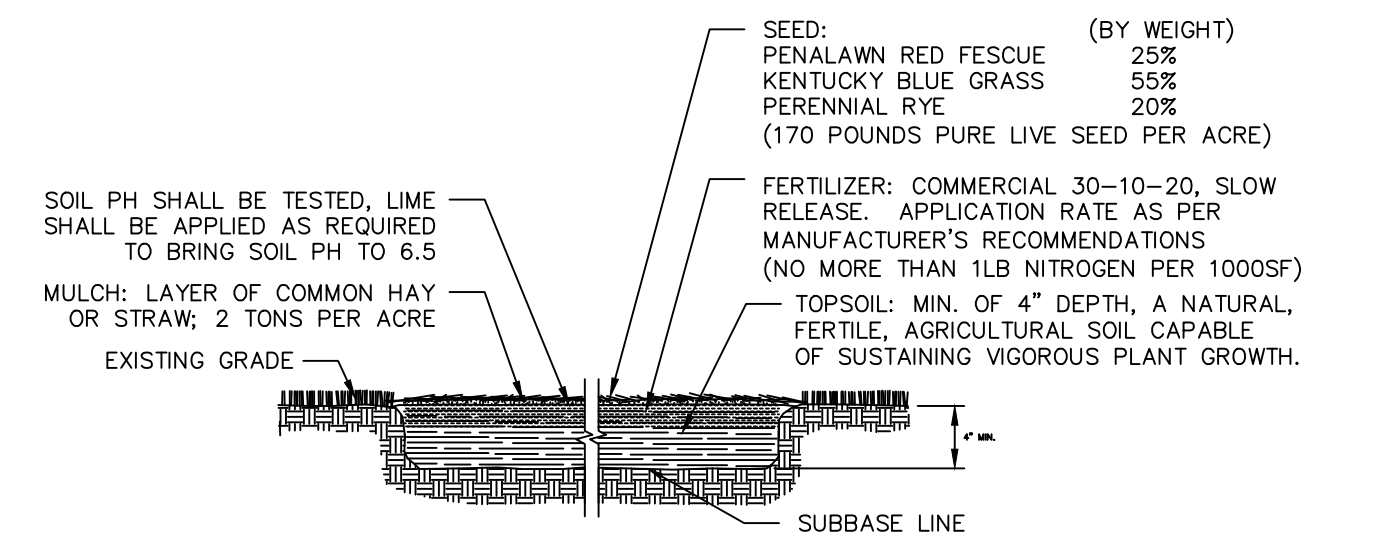
**NOTES:**  
 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
 2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

**TEMPORARY SOIL STOCKPILE DETAIL**  
 NOT TO SCALE

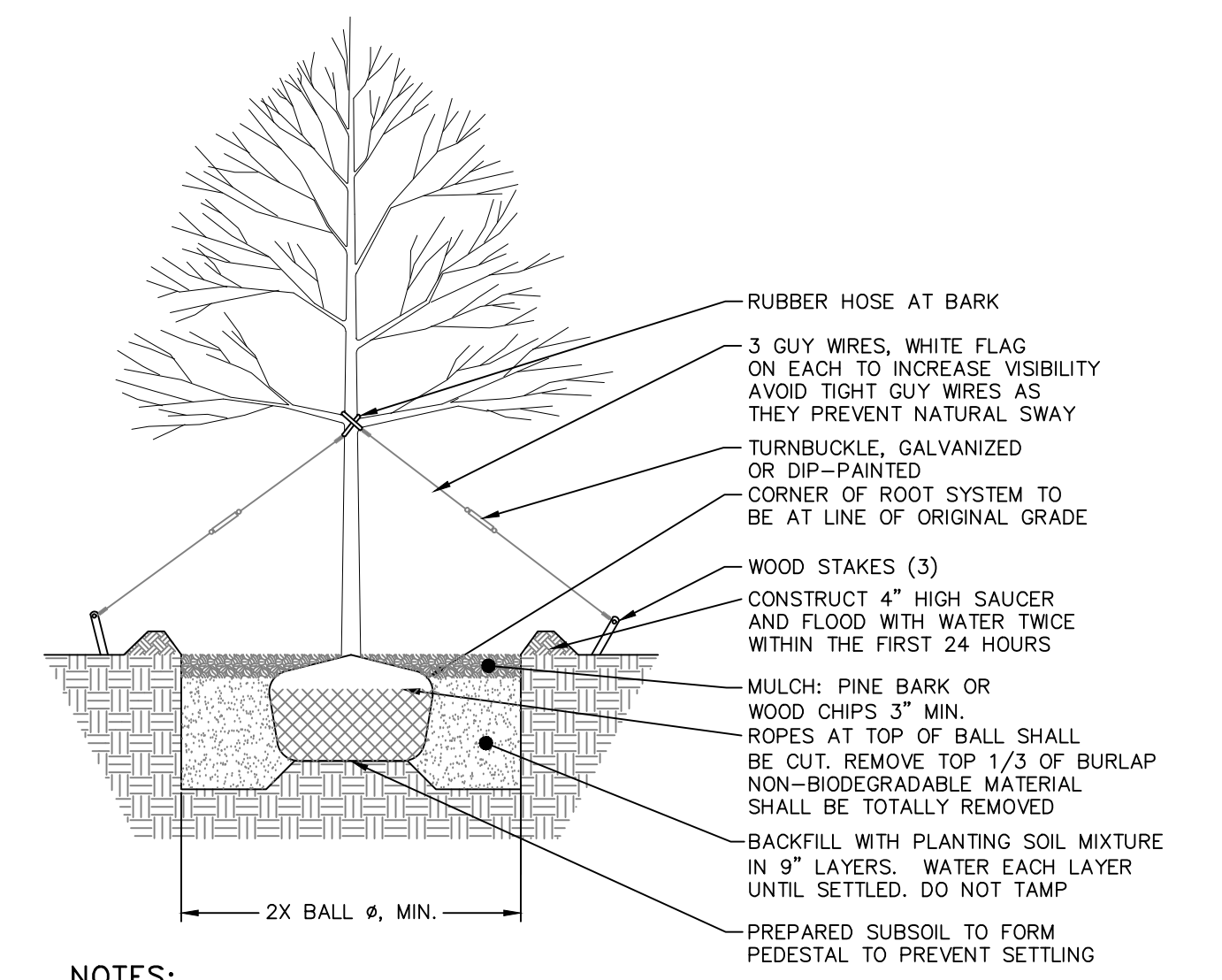


**NOTES:**  
 1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCH AT TOP AND MID SECTION.  
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.  
 3. PREFABRICATED UNITS SHALL BE GEOTEX, ENVIROCORE OR APPROVED EQUAL.  
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**  
 NOT TO SCALE

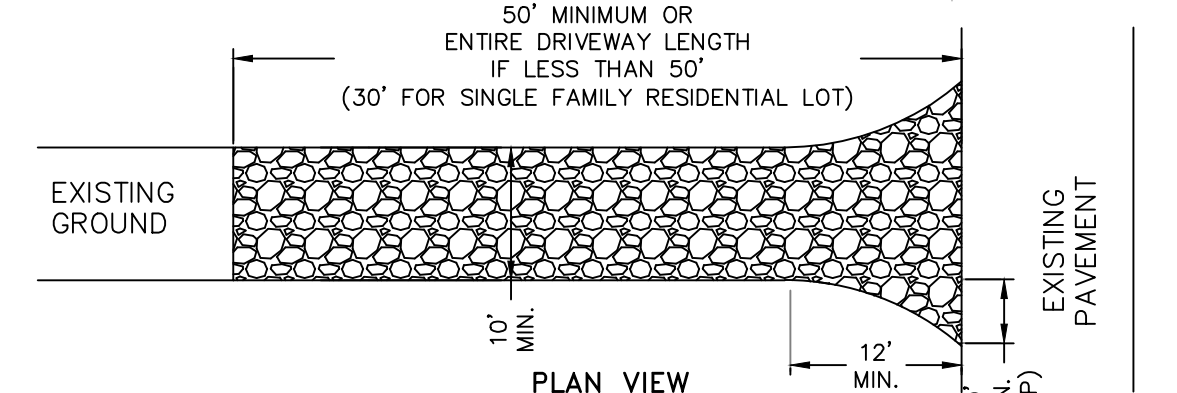


**TOPSOIL SEED, FERTILIZER AND MULCH DETAIL**  
 NOT TO SCALE



**NOTES:**  
 1. PROPOSED TREES TO BE RED MAPLE. REFER TO SHEET 2 PLANS FOR LOCATIONS.

**TREE PLANTING DETAIL**  
 NOT TO SCALE



**NOTES:**  
 1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.  
 2. THICKNESS - NOT LESS THAN SIX (6) INCHES.  
 3. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO LARGE COMMERCIAL OR RESIDENTIAL SITE.  
 4. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.  
 5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.  
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.  
 7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
 8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
 NOT TO SCALE

**SURVEY NOTES:**  
 1. SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.

**EROSION AND SEDIMENT CONTROL NOTES:**

- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SLUMP DEPTH.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDING AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THIS SHEET.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
- THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

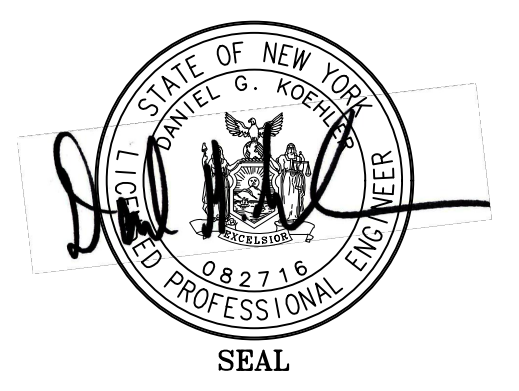
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_  
 \_\_\_\_\_ CHAIRMAN  
 \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

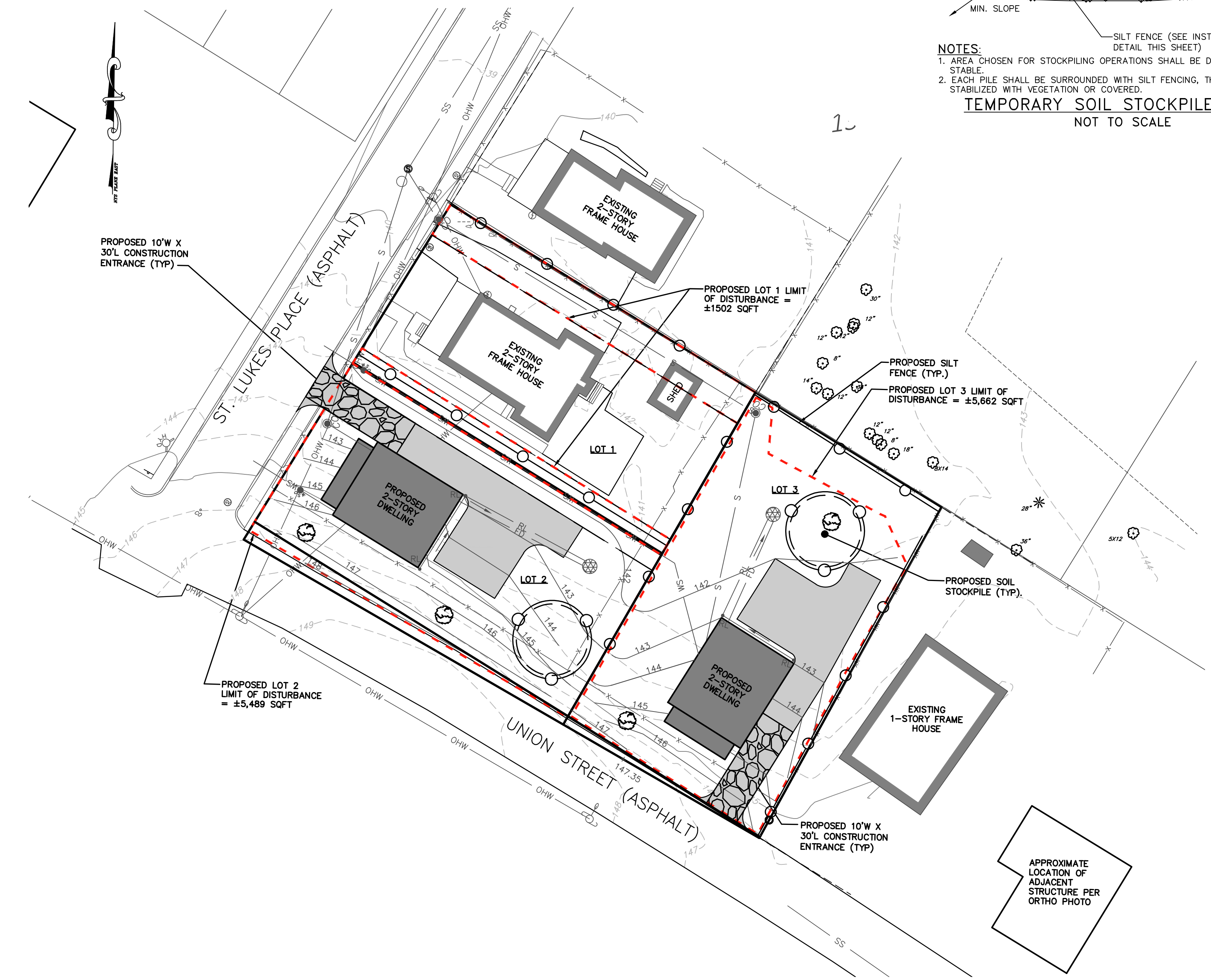
**EROSION & SEDIMENT CONTROL PLAN**  
**38 ST. LUKES SUBDIVISION**

38 ST. LUKES PLACE  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6054-38-156634  
 SCALE: 1" = 20'  
 APRIL 24, 2018

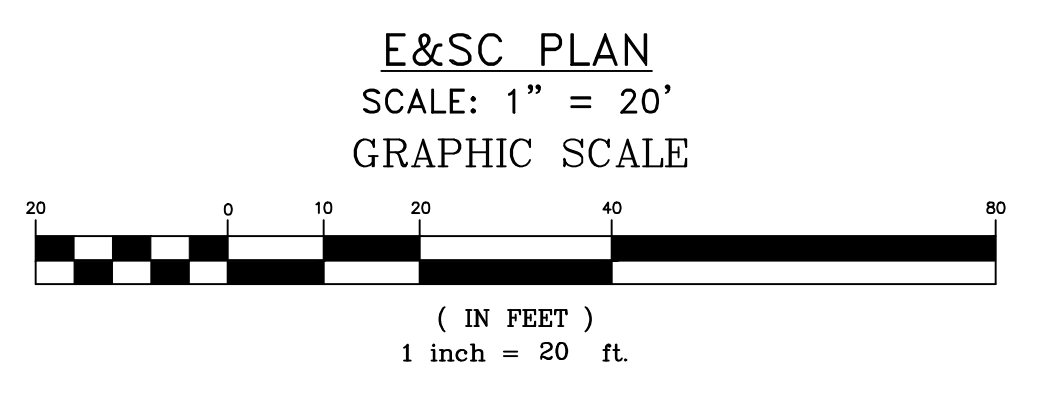


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 174 MAIN STREET  
 BEACON, NEW YORK 12508  
 PH: 845-440-6926 F: 845-440-6637

SHEET: 3 OF 4



- LEGEND**
- EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING UTILITY POLE
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED SPOT ELEVATION
  - PROPOSED SILT FENCE
  - PROPOSED LIMIT OF DISTURBANCE
  - PROPOSED SOIL STOCKPILE BOUNDARY

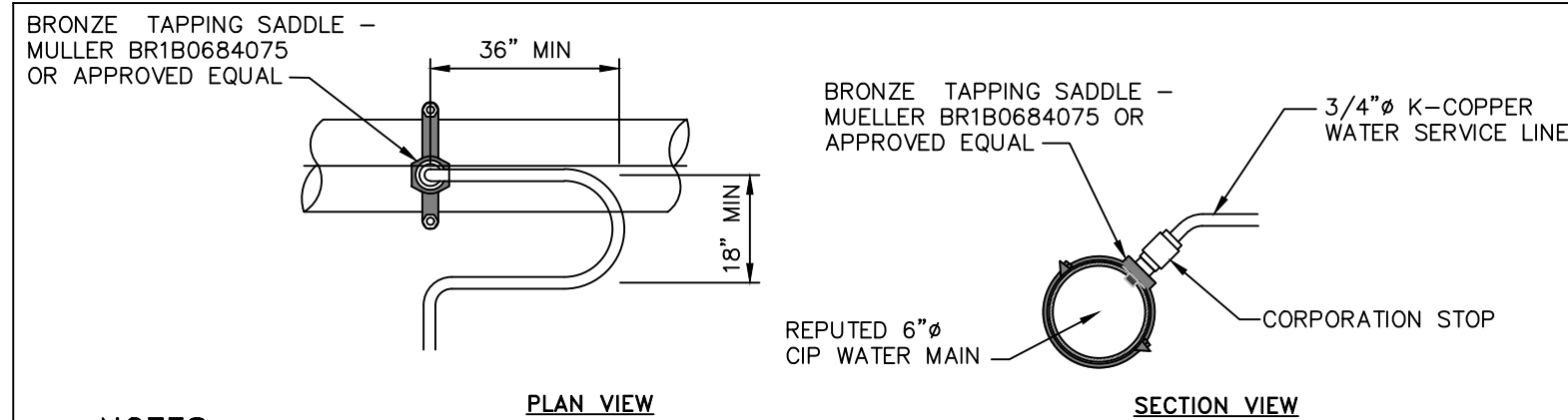


**OWNER'S CONSENT:**  
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

GARY JOSEPH OR TIM OWEN \_\_\_\_\_ DATE \_\_\_\_\_

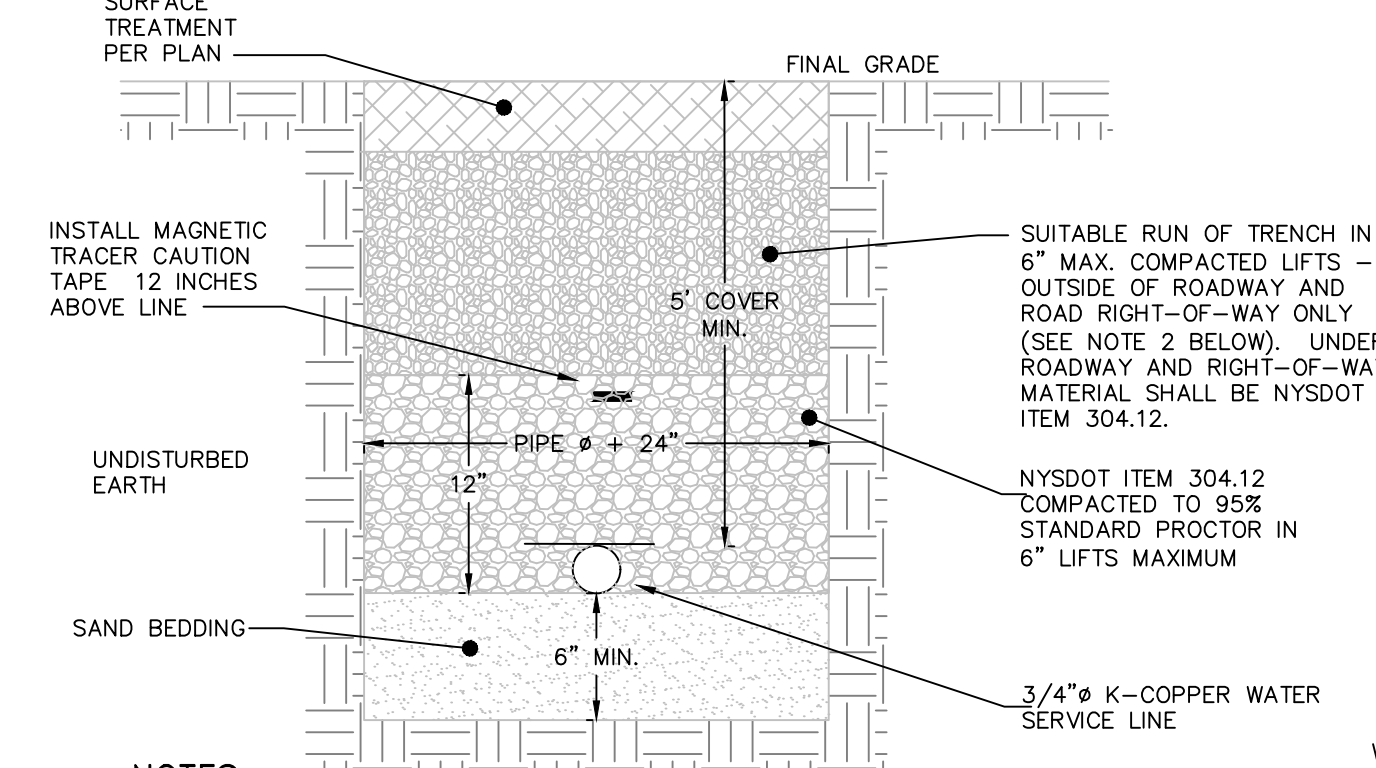
**Dig Safely. New York**  
 800-962-7962  
 www.digsafelynewyork.org

DRAWN BY: AG		CHECKED BY: DGK		JOB NO.: 2018-012	
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	05/29/18	REVISED LAYOUT PER CONSULTANT COMMENTS	AG		



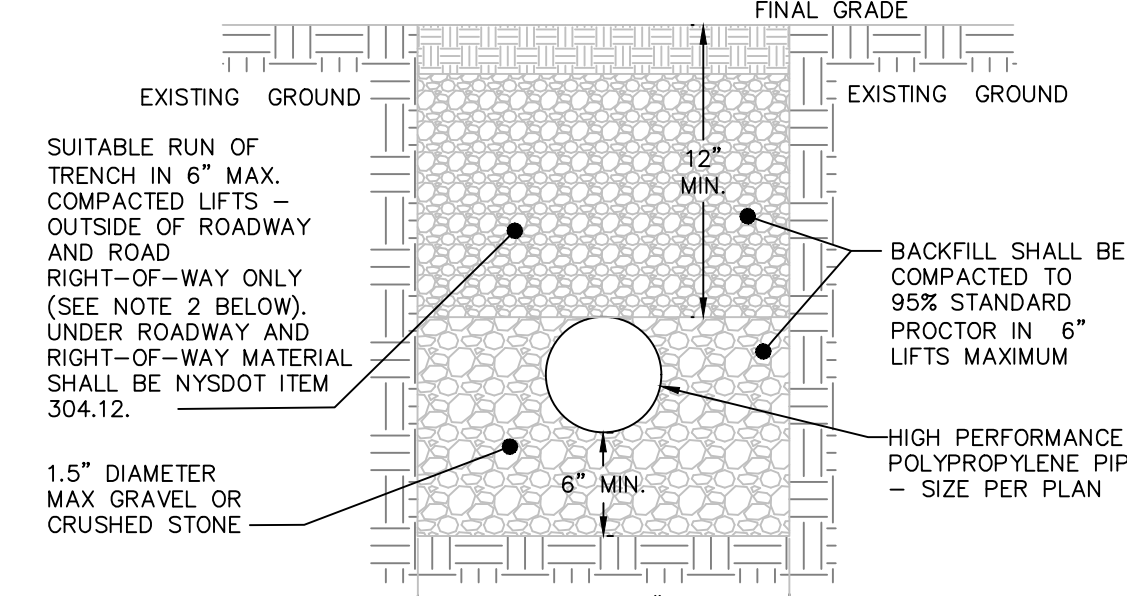
- NOTES:**
- A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).
  - CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.
  - WATER SERVICE LINE TO HAVE A "GOOSENECK" NEAR CORPORATION STOP.
  - CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.
  - THE CONTRACTOR SHALL INSTALL A FULL BODIED STAINLESS STEEL TAPPING SLEEVE AT THE PROPOSED WATER SERVICE LOCATION.

**WATER SERVICE CONNECTION DETAIL**  
NOT TO SCALE



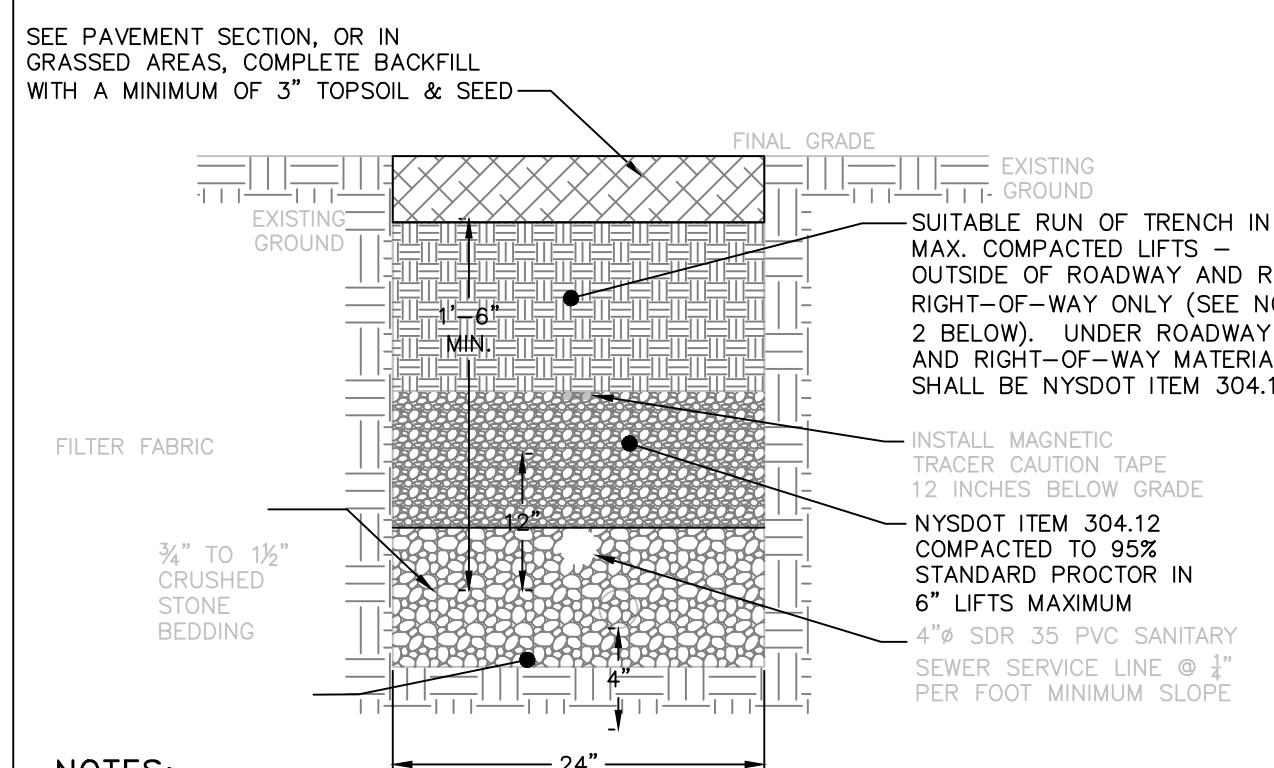
- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
  - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLOGATED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
  - IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.
  - IF WATER SERVICE AND SEWER SERVICE LINE CROSSINGS ARE NEEDED, PROVIDE 18" OF VERTICAL SEPARATION.

**WATER SERVICE LINE TRENCH DETAIL**  
NOT TO SCALE



- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

**STORM LINE TRENCH DETAIL**  
NOT TO SCALE



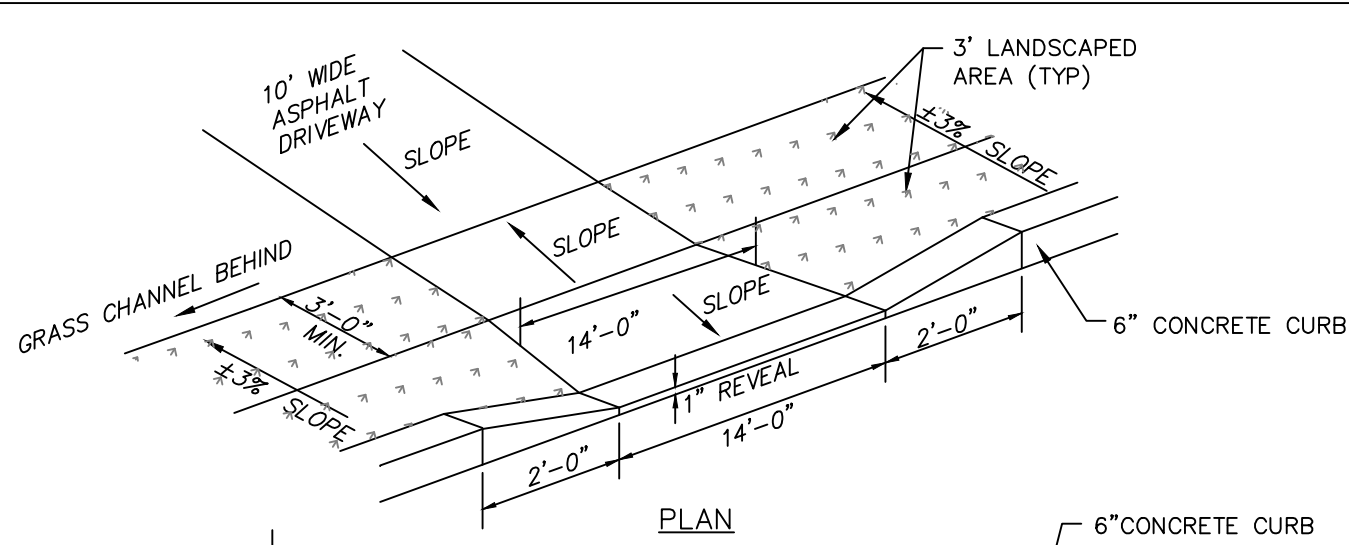
- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
  - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

**SANITARY SEWER SERVICE LINE TRENCH DETAIL**  
NOT TO SCALE

**OWNER'S CONSENT:**

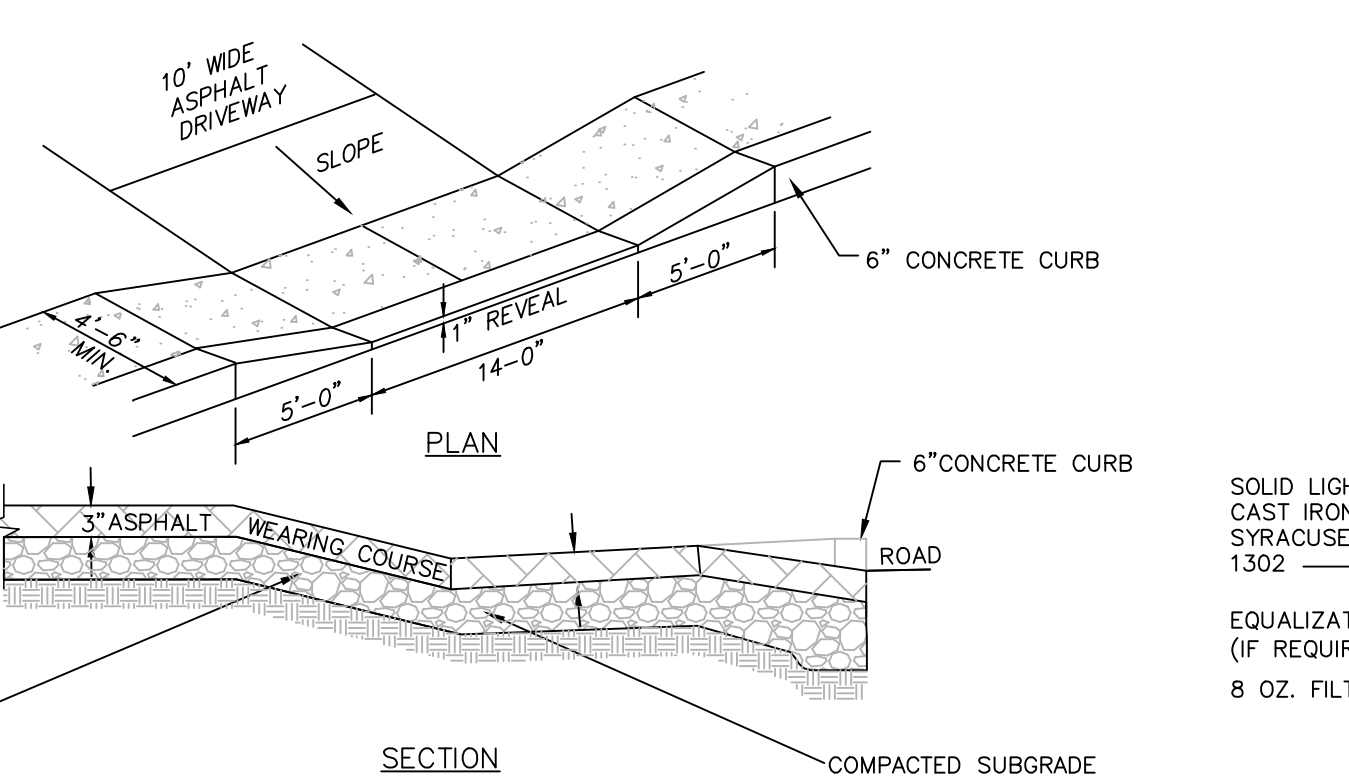
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GARY JOSEPH OR TIM OWEN \_\_\_\_\_ DATE \_\_\_\_\_



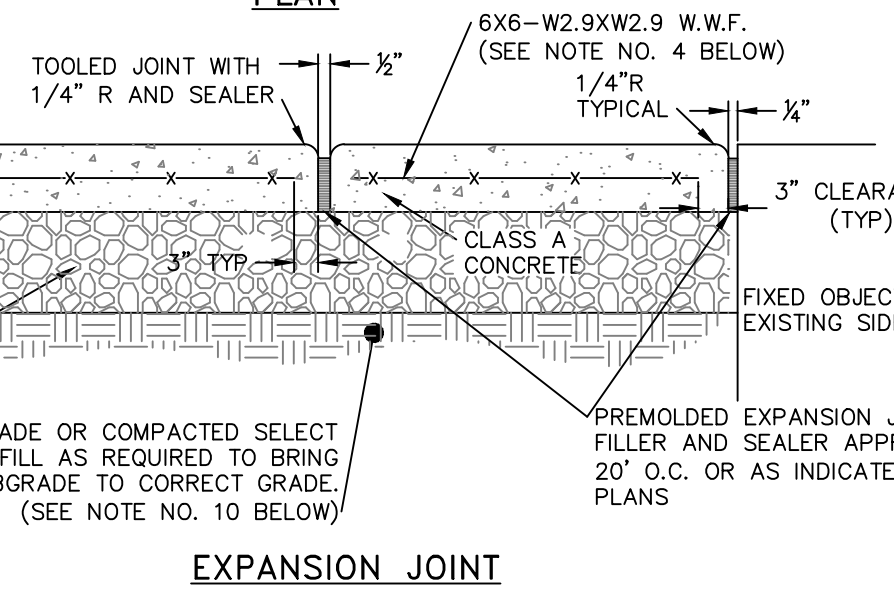
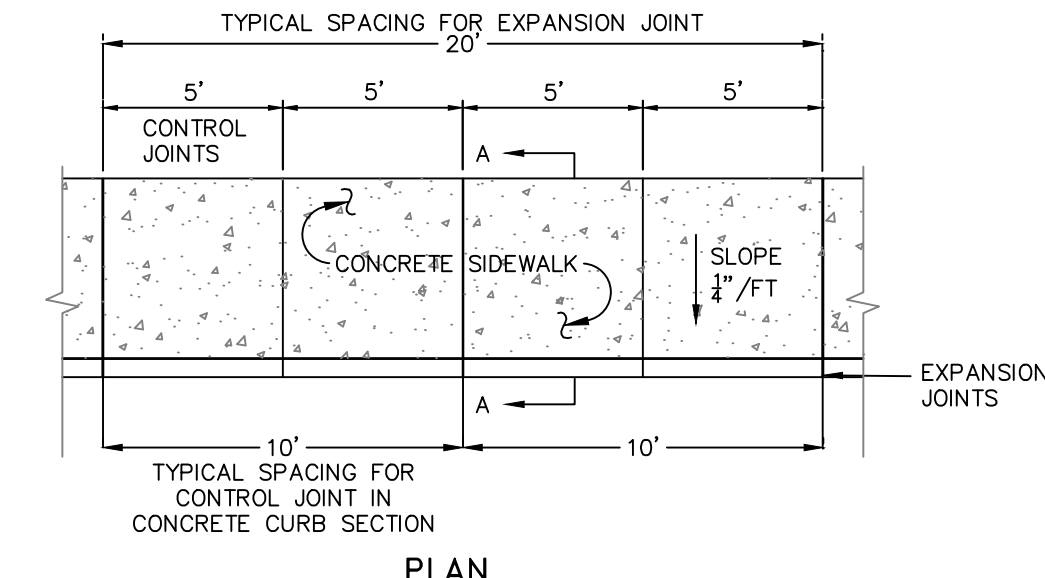
- NOTE:**
- RESEED AND STABILIZE GRASS AREAS AFTER ASPHALT INSTALLATION.

**LOT 3 DRIVEWAY ENTRANCE DETAIL**  
NOT TO SCALE



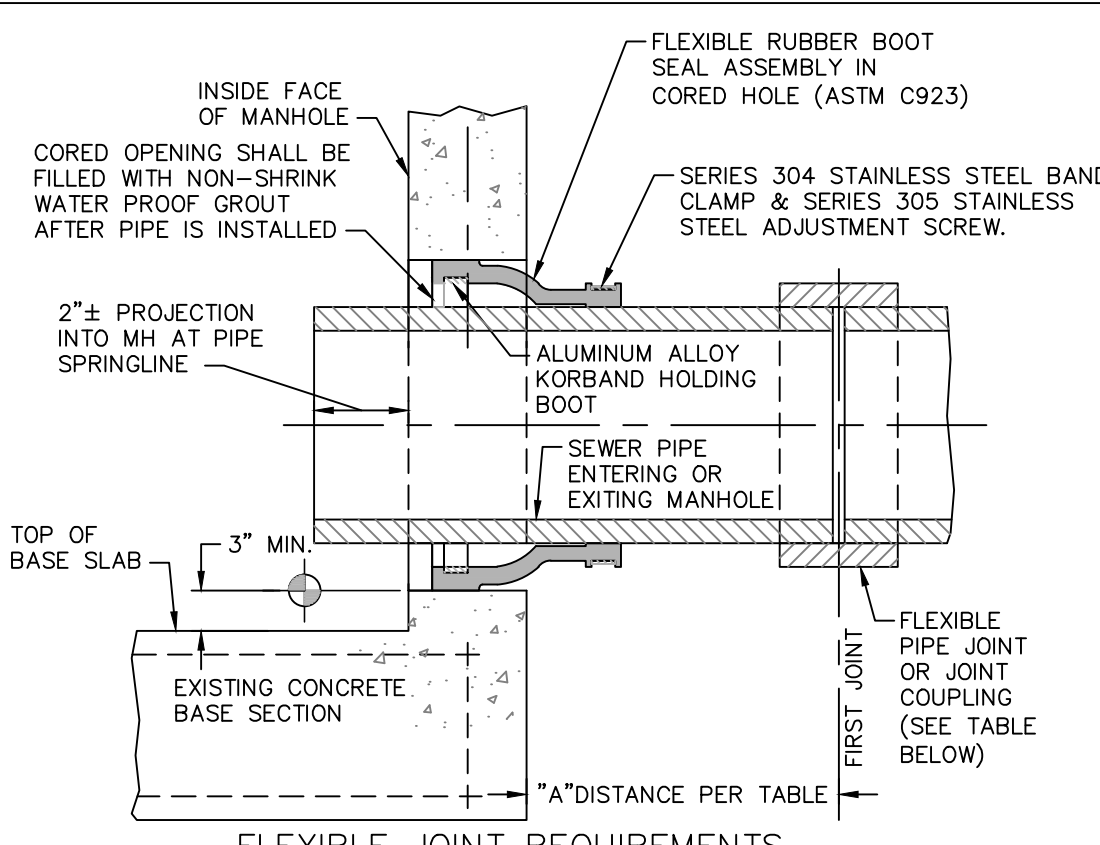
- NOTE:**
- RESEED AND STABILIZE GRASS AREAS AFTER ASPHALT INSTALLATION.

**LOT 2 DRIVEWAY ENTRANCE DETAIL**  
NOT TO SCALE



- NOTES:**
- 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.
  - MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002, AND ALL ADDENDA THERETO; THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
  - ALL CONCRETE SHALL BE 3,500 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  - REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
  - ALL EXPOSED SURFACED SHALL HAVE A BROOM TEXTURED FINISH.
  - EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20' ON CENTER, OR AS INDICATED ON PLANS.
  - JOINTS SHALL NOT BE SAW CUT.
  - EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFEbond" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSDOT STANDARD.
  - WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  - ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  - CONCRETE SHALL BE SEALED WITH A SALT RESISTANT SEALER.

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE

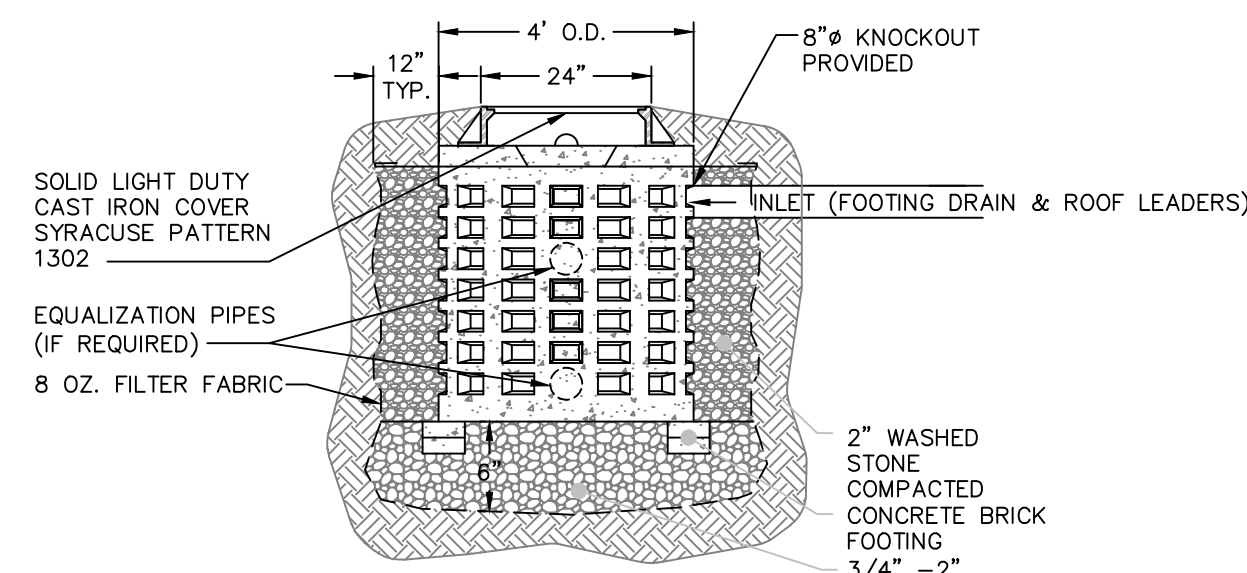


**FLEXIBLE JOINT REQUIREMENTS**

SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	MAXIMUM DISTANCE (FEET)
DUCTILE IRON	STD RUBBER GASKET PIPE JOINT ONLY	10' MAX
PVC	STD RUBBER GASKET PIPE JOINT ONLY	3' MAX

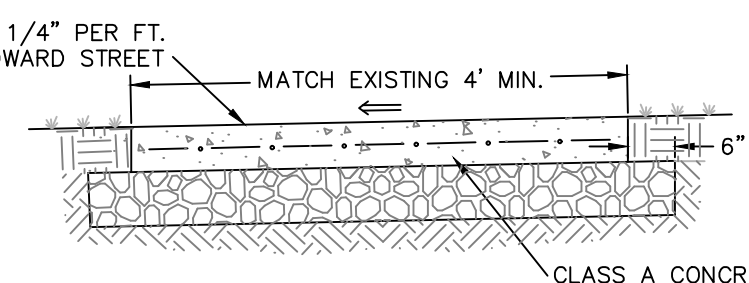
**NOTE:** REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

**CORED HOLE AND INSERTED BOOT DETAIL**  
NOT TO SCALE

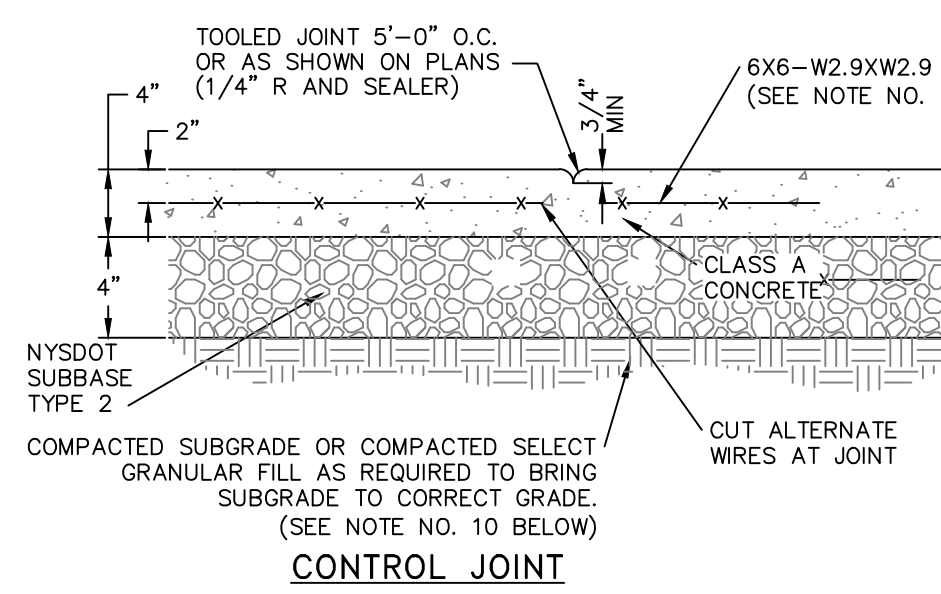


- NOTES:**
- PRECAST CONCRETE STRENGTH OF 4,000 PSI @ 28 DAYS.
  - BACKFILL SHALL BE SELECT MATERIAL, COMPACTED IN 6" LIFTS.
  - PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
  - STRUCTURES WITH AN INTERIOR DEPTH OF 4' AND GREATER SHALL BE FURNISHED WITH STEEL REINFORCED POLYPROPYLENE PLASTIC STEPS AT 12" INTERVALS.
  - ALL PIPES SHALL BE PITCHED AT 1.0% SLOPE MINIMUM.
  - CONTRACTOR SHALL SCARIFY SIDES AND BOTTOM OF DRYWELL EXCAVATION TO PROMOTE INFILTRATION INTO THE EXISTING SOIL.

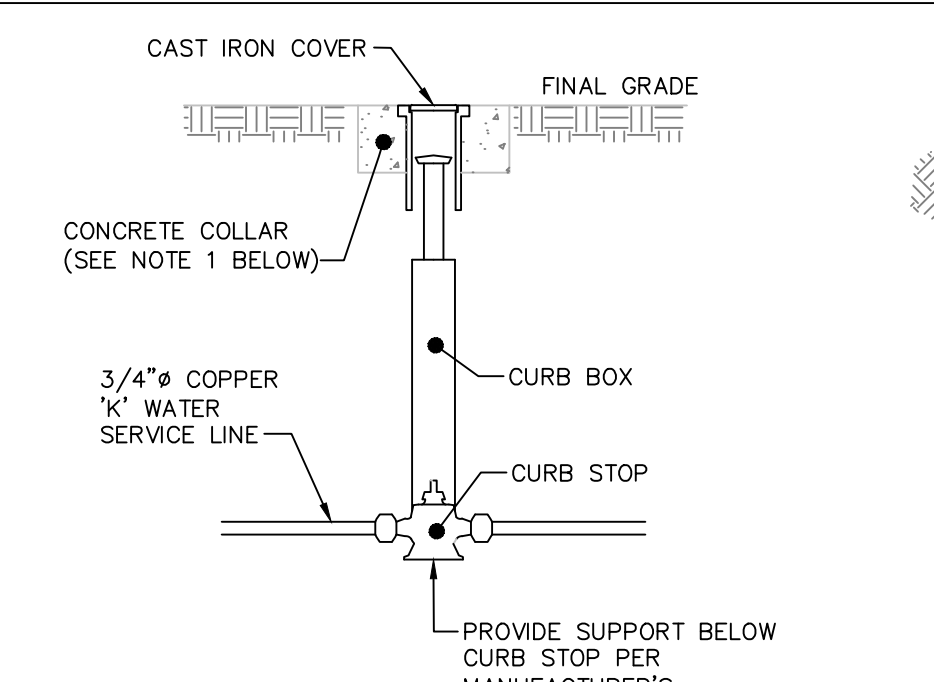
**DRYWELL DETAIL**  
NOT TO SCALE



**SECTION A-A**

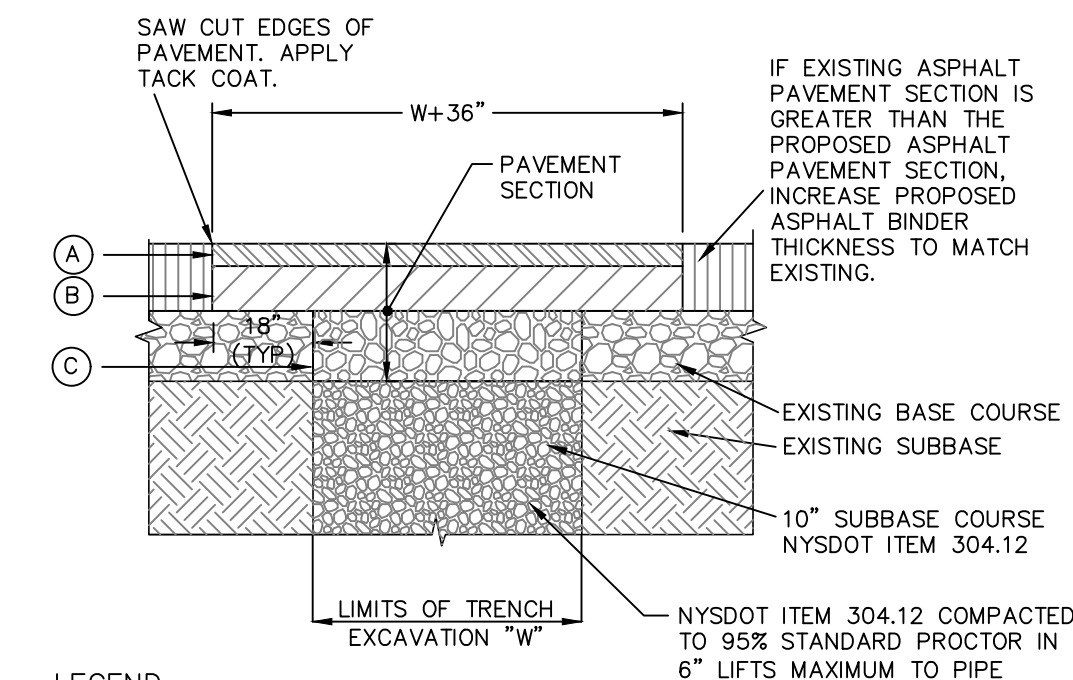


**CONTROL JOINT**



- NOTES:**
- CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.
  - CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
  - AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.

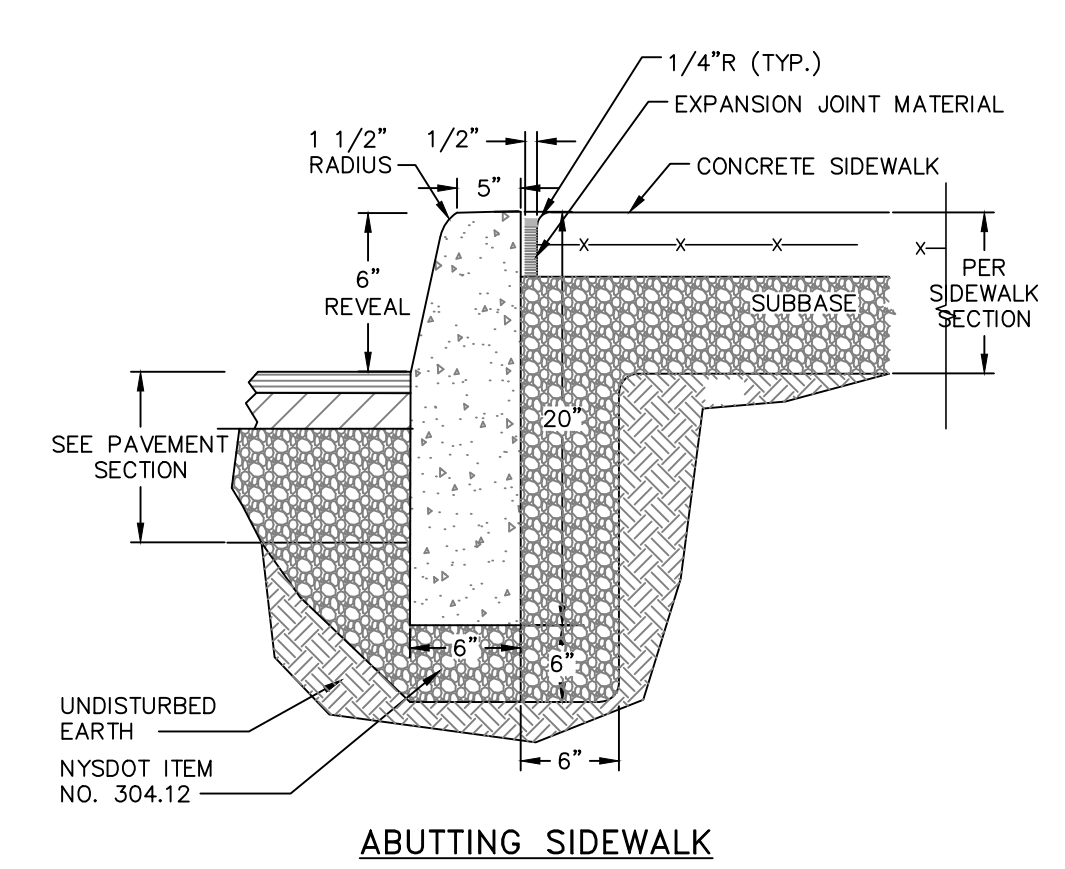
**WATER SHUT-OFF VALVE DETAIL**  
NOT TO SCALE



- LEGEND**
- (A) 1.5" ASPHALT CONCRETE TOP COURSE - NYSDOT TYPE F1
  - (B) 3.0" ASPHALT CONCRETE BINDER COURSE - NYSDOT TYPE F9
  - (C) 3.0" ASPHALT BASE COURSE - NYSDOT TYPE F9

- NOTES:**
- SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED, JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.
  - FURNISH, PLACE, AND COMPACT SUBBASE.
  - TACK COAT IN ACCORDANCE WITH NYSDOT STANDARD SPEC.
  - FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

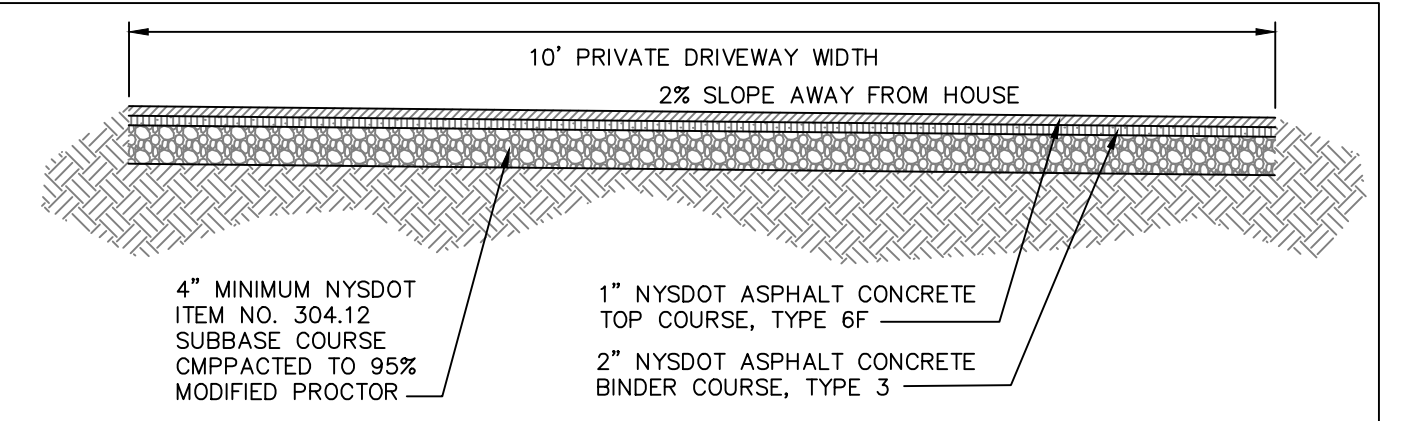
**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE



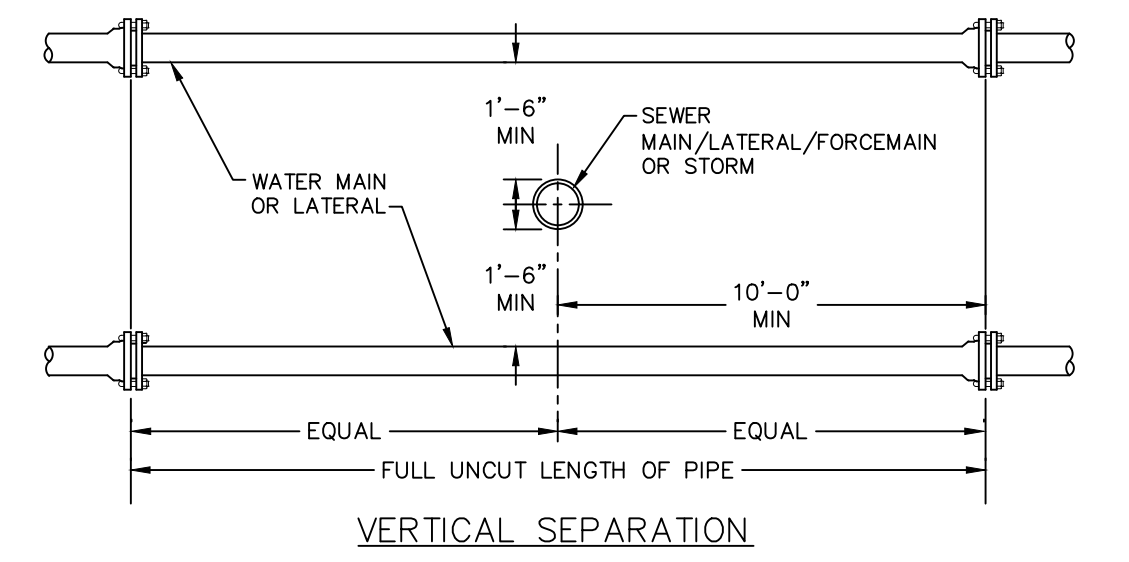
**ABUTTING SIDEWALK**

- NOTES:**
- CONCRETE CURB SHALL BE 4,000 PSI CAST-IN-PLACE, AND IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
  - EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS.
  - FOR MOUNTABLE CURBS ABUTTING SIDEWALK OR OTHER HARDSCAPE, REFER TO "ABUTTING SIDEWALK" DETAIL.
  - CONCRETE SHALL BE SEALED WITH A SALT RESISTANT SEALER.

**CAST-IN-PLACE CONCRETE CURB DETAIL**  
NOT TO SCALE



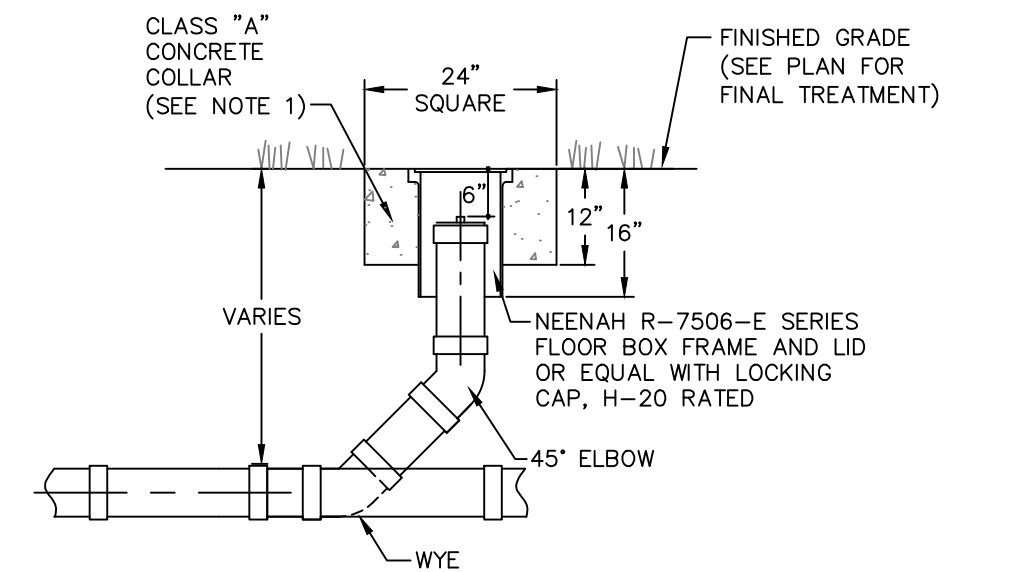
**PAVED DRIVEWAY SECTION DETAIL**  
NOT TO SCALE



**VERTICAL SEPARATION**  
**HORIZONTAL SEPARATION**

- NOTE:** NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASEMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

**WATER LINE SEPARATION DETAIL**  
NOT TO SCALE



- NOTES:**
- CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.

**CLEANOUT DETAIL**  
NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

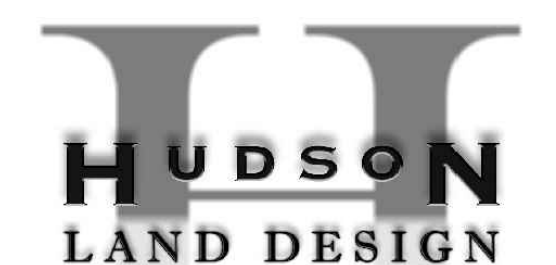
\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**DETAILS**

**38 ST. LUKES SUBDIVISION**

38 ST. LUKES PLACE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-38-156634  
SCALE: NTS  
APRIL 24, 2018



HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637

JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

SHEET: 4 OF 4

**Dig Safely. New York.**  
800-962-7962  
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

DRAWN BY: AG		CHECKED BY: DGK		JOB NO.: 2018-012	
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	05/29/18	REVISED PER CONSULTANT COMMENTS	AG		

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**31 Mountain Lane**

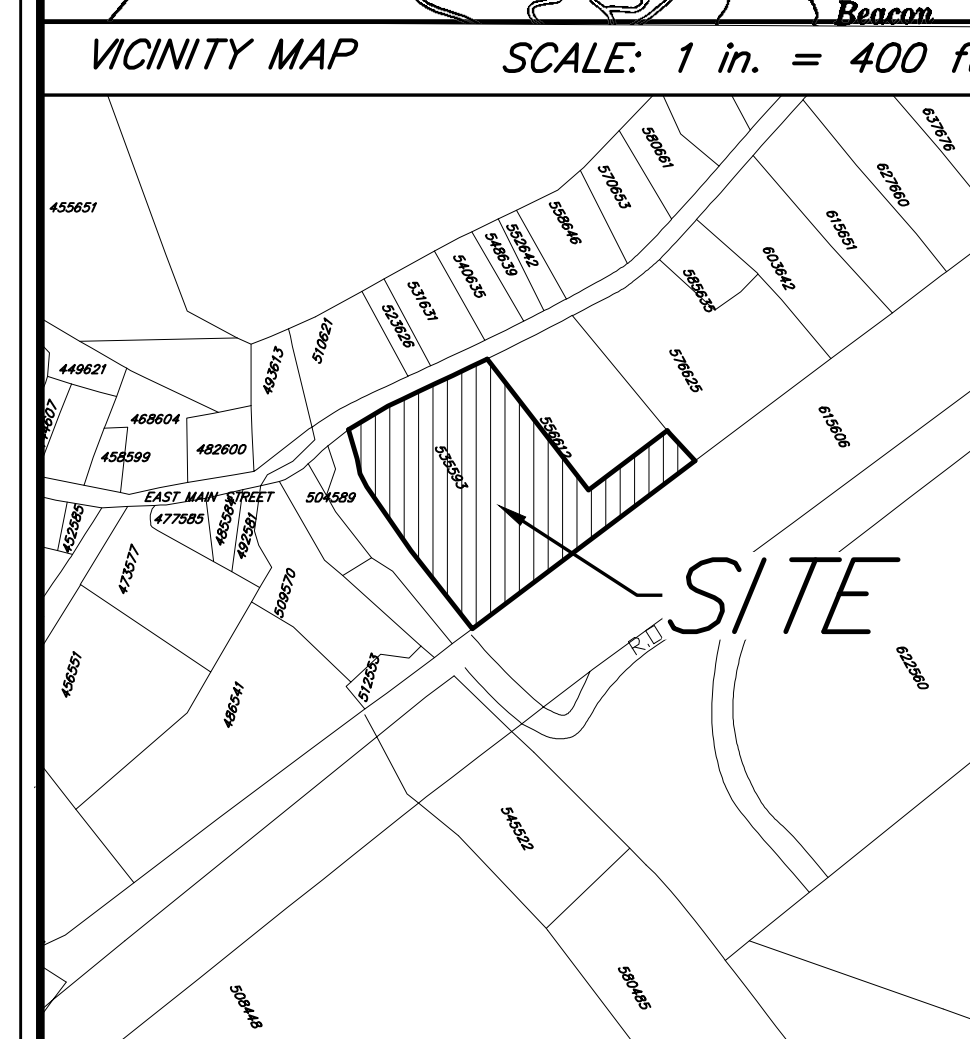
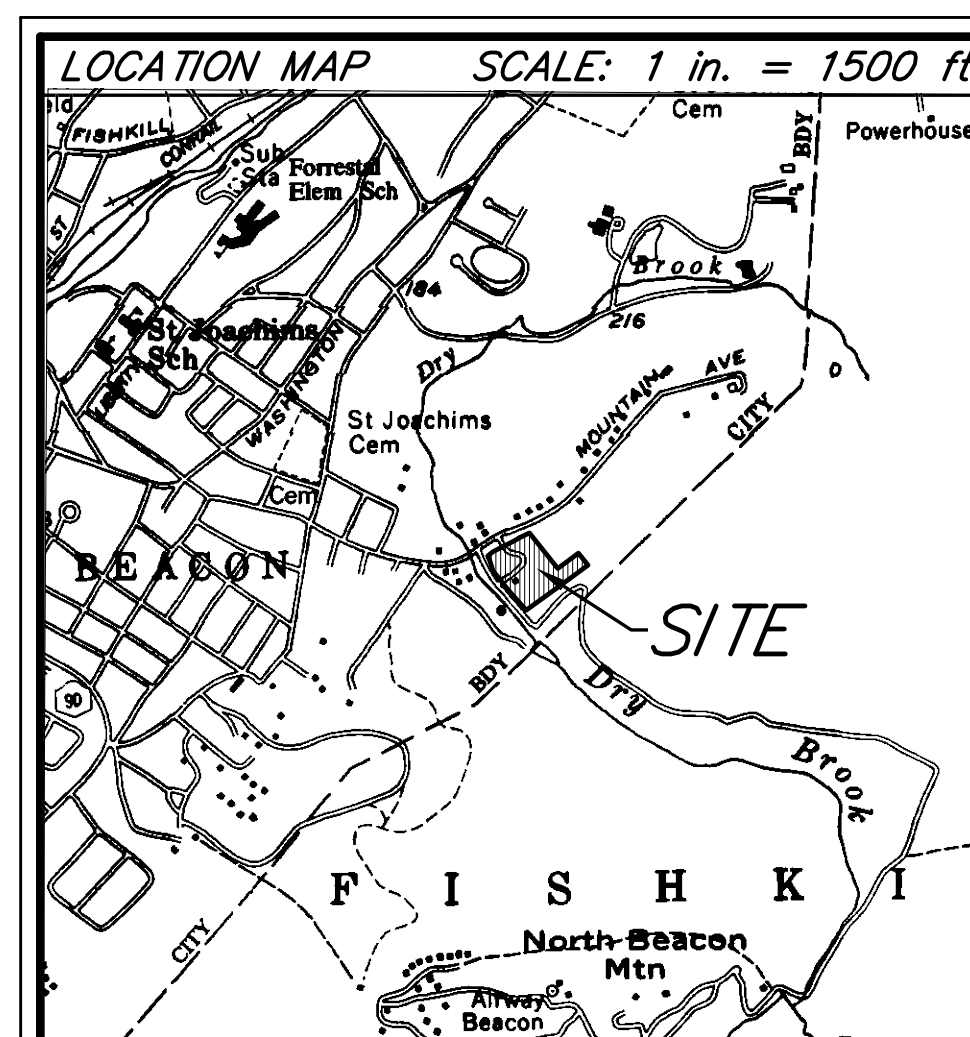
**Subject:**

Public hearing for SEQRA Environmental Review on application for Subdivision Approval, two-lot residential, 31 Mountain Lane, submitted by Penelope Hedges (*no new plans submitted*)

**Background:**

**ATTACHMENTS:**

Description	Type
31 Mountain Lane Subdivision	Plans



HEALTH DEPARTMENT APPROVAL
This is to certify that the proposed arrangements for water supply and sewage disposal for PENELOPE HEDGES SUBDIVISION in the CITY OF BEACON...

PLANNING BOARD APPROVAL
Approved by the Planning Board of the City of Beacon, Dutchess County, N.Y. by resolution dated...

NOTES
1. Unauthorized alteration or addition to a document prepared by a licensed Land Surveyor or licensed Professional Engineer is a violation of Section 2209, Sub-Division 2 of the New York State Education Law...

REVISIONS table with columns for See Title, R01, Original Drawing, and a blank column for description.

LEGEND table listing symbols for Pole, Retaining wall, Wires, Sign, Evergreen Tree, Deciduous Tree, Bush, Hedges, and Bushes.

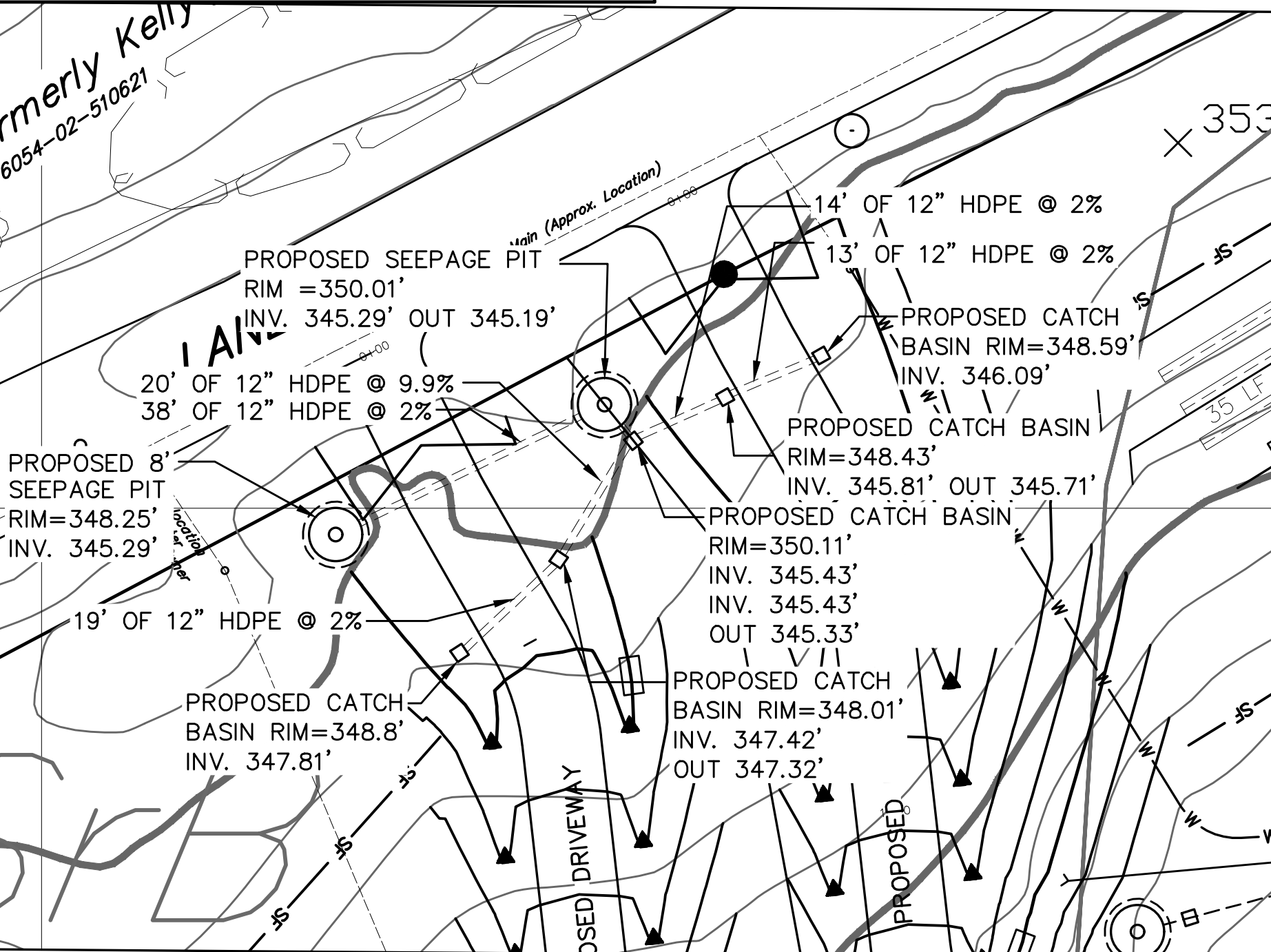
ENGINEER, ENGINEER, SURVEYOR, OWNER & APPLICANT, OWNER'S APPROVAL, PROPERTY DATA, ZONING REQUIREMENTS (R1-80) section.

NOTICE TO OWNER
NOTICE: DEVELOPMENT WITHIN THIS SUBDIVISION COULD HAVE THE POTENTIAL TO DISTURB MORE THAN ONE (1) ACRE. IN THE EVENT THIS THRESHOLD IS REACHED, A NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "NOTICE OF INTENT" (NOI) MUST BE FILED NOT LESS THAN FIVE (5) BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. IF IT IS REQUIRED, IT IS THE RESPONSIBILITY OF THE OWNER TO FILE THE "NOTICE OF INTENT" WITH THE NYSDEC.

ANTICIPATED LIMIT OF DISTURBANCE
1.77 ACRES
COMMISSIONER OF FINANCE CERTIFICATION
The Commissioner of Finance hereby certifies that all Town, County and Village Real Property Taxes forwarded to this office for collection as of have been paid for the parcel or parcels described as: Tax Map No(s).

REALTY SUBDIVISION GENERAL NOTES
1. The Dutchess County Department of Health requires a Construction Permit Application be submitted for approval for each individual subsurface sewage treatment system (SSTS) prior to the issuance of building permits by the local municipality.

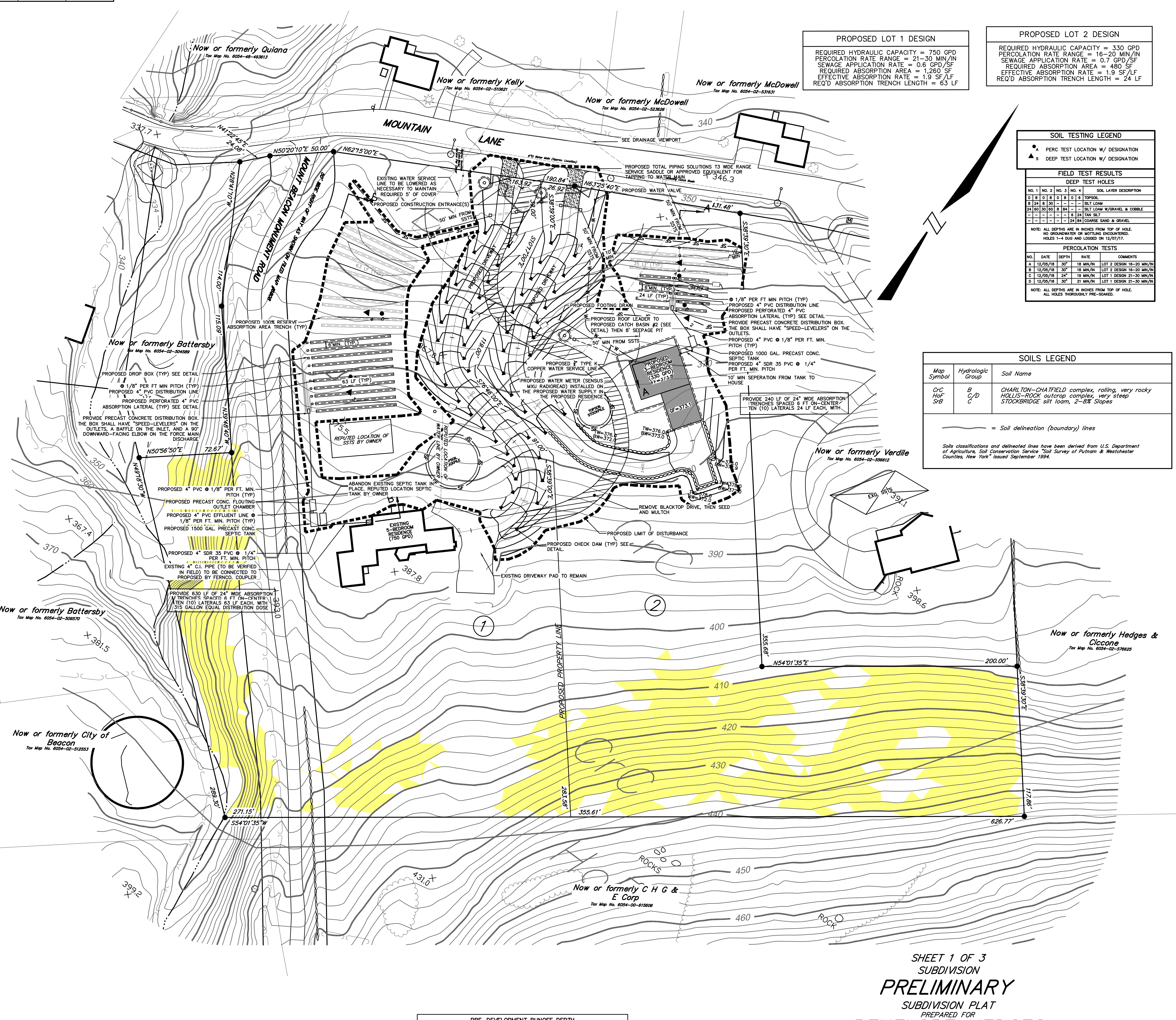
ADDITIONAL NOTES
16. No out is permitted within 10 feet of a sewage disposal area.
17. No absorption trench to be less than 100 feet from any lake, stream or water course.



STANDARD NOTES FOR RESIDENTIAL PROJECTS
1. THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
- "APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."

PRELIMINARY stamp and signature lines for ENGINEER, SURVEYOR, OWNER & APPLICANT, and OWNER'S APPROVAL.

ZONING TABLE with columns for Lot No., Area (SF) Required/Provided, Front YD (FT) Required/Provided, Side YD (FT) Required/Provided, Rear YD (FT) Required/Provided, Lot Width Required/Provided, Lot Depth Required/Provided.



PROPOSED LOT 1 DESIGN and PROPOSED LOT 2 DESIGN tables with hydraulic capacity, percolation rate, and absorption area requirements.

SOIL TESTING LEGEND and SOILS LEGEND tables defining test locations, field test results, and soil classifications.

WARNING STAMP
ALTERATION OF THIS DOCUMENT, IN ANY WAY, BY ANY PERSON NOT UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, AS APPROPRIATE, IS A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK.

PRE-DEVELOPMENT RUNOFF DEPTH and POST-DEVELOPMENT RUNOFF DEPTH tables with columns for Cover Description, Area (SF), and Runoff Depth.

PROPOSED STORMWATER MITIGATION table showing pre-runoff, post-runoff, and volume of runoff.

PRINTED April 24, 2018 BADEY & WATSON Surveying & Engineering, P.C.

SHEET 1 OF 3 SUBDIVISION PRELIMINARY SUBDIVISION PLAT PREPARED FOR PENELOPE HEDGES SITUATE IN THE CITY OF BEACON DUTCHESS COUNTY NEW YORK SCALE 1 in. = 30 ft. APRIL 19, 2018

I hereby certify that this subdivision plat was prepared by me, and was made from an actual survey completed by me in May of 2014. For latest issue date see revision box. Gary LaTour, L.S. PRELIMINARY by NEW YORK STATE LICENSED LAND SURVEYOR LICENSE No. 49457

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**Edgewater**

**Subject:**

Continue review of application for Site Plan Approval, 7 residential buildings "Edgewater" submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place

**Background:**

**ATTACHMENTS:**

Description	Type
Edgewater Cover Letter	Cover Memo/Letter





445 Hamilton Avenue, 14th Floor  
White Plains, New York 10601  
T 914 761 1300  
F 914 761 5372  
cuddyfeder.com

Taylor M. Palmer, Esq.  
[tpalmer@cuddyfeder.com](mailto:tpalmer@cuddyfeder.com)

May 30, 2018

**VIA FEDERAL EXPRESS  
AND E-MAIL**

Chairman John Gunn  
and Members of the Planning Board  
City Hall, One Municipal Plaza  
Beacon, New York 12508

Re: Edgewater – Request to Appear at June 12<sup>th</sup> Planning Board Meeting  
SEQR Discussion of Reduced Unit Count  
Premises: 22 Edgewater Place, Beacon, New York

Dear Chairman Gunn and Members of the Planning Board:

On behalf of Scenic Beacon Developments, LLC, (the “Applicant”), we are writing to respectfully confirm a place on the Planning Board’s June 12<sup>th</sup> Agenda to discuss the Edgewater project. The Applicant is presently scheduled to appear on the June 12<sup>th</sup> Agenda for the continued Site Plan Public Hearing.

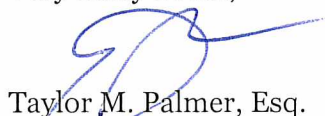
As you know, the City Council just recently enacted a Local Law concerning the calculation of Lot Area per Dwelling Unit, which had been under consideration by the Council in multiple variations for some months. While Edgewater was featured prominently in the public comment and discussion of the draft law, the application of the final enacted Law to the Edgewater project requires technical analysis.

Following the adoption of the Law, the Applicant’s Engineer met with the City Engineer and City Planner to review its effect on the project’s unit count. Subsequently, the Applicant appeared at the City Council’s Workshop on Tuesday, May 29<sup>th</sup>, to provide an update within the Special Use Permit context and to reaffirm the Applicant’s commitment to the Edgewater project in light of the recently enacted law. We believe that the adoption of this new Law will result in a substantial reduction in the project’s unit count, and as a result, further decrease any perceived potential impacts that were previously considered and addressed by this Board during its Coordinated SEQRA Review. Accordingly, we would like to appear before the Planning Board on June 12<sup>th</sup> to discuss this matter further and to proceed in furtherance of the Board reaffirming the Negative Declaration and the Local Waterfront Revitalization Plan Consistency Determination, which were adopted by this Board on December 12, 2017.

The Applicant’s team is working diligently to prepare and submit additional materials to assist the Planning Board in its review and are seeking to submit those materials to you prior to June 12<sup>th</sup>.

Thank you for your consideration in this matter.

Very Truly Yours,

  
Taylor M. Palmer, Esq.

cc: Jennifer L. Gray, Esq., Attorney to the Planning Board; Arthur R. Tully, P.E., City Engineer;  
John Clarke, Beacon Planning Consultant; Nicholas M. Ward-Willis, Esq., City Attorney

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**21 South Avenue**

**Subject:**

Review application for Special Use Permit and Site Plan Approval, three-unit residential, 21 South Avenue, submitted by Protestant Episcopal Diocese of New York

**Background:**

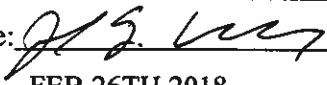
**ATTACHMENTS:**

Description	Type
21 South Avenue Application	Application
21 South Avenue EAF	EAF
21 South Avenue Site Plan Sheets 1-4	Plans

**APPLICATION FOR SPECIAL USE PERMIT**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

Name: REV JOHN WILLIAMS  
Address: 15 SOUTH AVE. BEACON NY  
12508  
Signature:   
Date: FEB 26TH 2018  
Phone: 801 793 7376

*(For Official Use Only)*

Application & Fee Rec'd 5-10-18 EW  
Initial Review 6-12-18  
PB Public Hearing \_\_\_\_\_  
Sent to City Council \_\_\_\_\_  
City Council Workshop \_\_\_\_\_  
City Council Public Hearing \_\_\_\_\_  
City Council Approve/Disapprove \_\_\_\_\_

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: BARRY DONALDSON ARCHITECTS  
Address: 14 KING STREET  
CROTON ON HUDSON, NY, 10520

Phone: 914 827 8249  
Fax: \_\_\_\_\_  
Email address: BD@BARRYDONALDSONARCHITECTS.COM

**IDENTIFICATION OF SUBJECT PROPERTY:**

Property Address: 21 SOUTH AVE. BEACON, NY 12508  
Tax Map Designation: Section 5954 Block 26 Lot(s) 724907  
Land Area: 20, 327 SQ FT Zoning District(s) R1-7.5/HISTORIC DISTRICT AND OVERLAY ZONE

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Proposed Use: 3 UNIT RESIDENTIAL  
Gross Non-Residential Floor Space: Existing 0 Proposed 0  
TOTAL: 0  
Dwelling Units (by type): Existing 1 Proposed 3  
TOTAL: 3

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. Five (5) **folded** copies and One (1) digital copy of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. Five (5) **folded** copies and One (1) digital copy of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. Five (5) **folded** copies and One (1) digital copy of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

**INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH**

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

**INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN**

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board  
on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_  
subject to all conditions as stated therein**

\_\_\_\_\_  
**Chairman, City Planning Board**

\_\_\_\_\_  
**Date**

**APPLICATION PROCESSING RESTRICTION LAW**

**Affidavit of Property Owner**

Property Owner: PROTESTANT EPISCOPAL DIOCESE OF NEW YORK

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 15 SOUTH AVE. BEACON NY 12508

Project Address: 21 SOUTH AVE. BEACON, NY, 12508

Project Tax Grid # \_\_\_\_\_

Type of Application SPECIAL USE PERMIT

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, JOHN WILLIAMS, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

- 1. No violations are pending for ANY parcel owned by me situated within the City of Beacon X
- 2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon X
- 3. ALL tax payments due to the City of Beacon are current X
- 4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon X
- 5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon X
- 6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current X

*John Williams*  
Signature of Owner

Rector  
Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>EW</u>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>ST</u>
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>ST</u>

**CITY OF BEACON  
SITE PLAN SPECIFICATION FORM**

Name of Application: J. .... ; RENOVATION OF 21 SOUTH AVE

<b>PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.</b>		
	YES	NO
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual or firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>LEGAL DATA</b>		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>NATURAL FEATURES</b>		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>EXISTING STRUCTURES, UTILITIES, ETC.</b>		
Outlines of all structures and the location of all uses not requiring structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<b>PROPOSED DEVELOPMENT</b>	<b>YES</b>	<b>NO</b>
The location, use and design of proposed buildings or structural improvements.	X	
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	X	
Any proposed division of buildings into units of separate occupancy.	X	
The location, direction, power, and time of use for any proposed outdoor lighting.	X	
The location and plans for any outdoor signs.	X	
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	X	
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	X	
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	X	
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	X	
Any contemplated public improvements on or adjoining the property.	X	
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	X	
Elevations of all proposed principal or accessory structures.	X	
Any proposed fences or retaining walls.	X	
<b>MISCELLANEOUS</b>	X	
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	X	
Erosion and sedimentation control measures.	X	
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	X	
An indication of proposed hours of operation.	X	
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	X	

For all items marked “NO” above, please explain below why the required information has not been provided:

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Applicant/Sponsor Name: JOHN WILLIAMS

Signature: 

Date: FEB 26 2018



**FOR OFFICE USE ONLY**

Application #

**CITY OF BEACON**

**1 Municipal Plaza, Beacon, NY**

**Telephone (845) 838-5000 \* <http://cityofbeacon.org/>**

**ENTITY DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

**SECTION A**

Name of Applicant: REV JOHN WILLAIMS

Address of Applicant: 15 SOUTH AVE, BEACON NY 12508

Telephone Contact Information: 801 793 7376

**SECTION B. List all owners of record of the subject property or any part thereof.**

<b>Name</b>	<b>Residence or Business Address</b>	<b>Telephone Number</b>	<b>Date and Manner title was acquired</b>	<b>Date and place where the deed or document of conveyance was recorded or filed.</b>
EPISCOPAL DICESE	1047 AMSTERDAM AVE. NY, NY	212 316 7400		

**SECTION B.** Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

YES                       NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

**SECTION C.** If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

**SECTION D.** Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

YES                       NO

I, REV JOHN WILLIAMS being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) John F. Williams

(Signature) 

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: RENOVATION OF 21 SOUTH AVE.		
Project Location (describe, and attach a general location map): 21 SOUTH AVE. BEACON, NY, 12508		
Brief Description of Proposed Action (include purpose or need): RENOVATION OF AN EXISTING UNOCCUPIED BUILDING IN NEED OF REPAIR.		
Name of Applicant/Sponsor: ST ANDREW'S EPISCOPAL CHURCH		Telephone: 845 831 1369
		E-Mail:
Address: 17 SOUTH AVE.		
City/PO: BEACON	State: NY	Zip Code: 10025
Project Contact (if not same as sponsor; give name and title/role): REV JOHN WILLIAMS		Telephone: 801 793 7376
		E-Mail: beaconrev@gmail.com
Address: 15 SOUTH AVE		
City/PO: BEACON NY	State: NY	Zip Code: 12508
Property Owner (if not same as sponsor): EPISCOPAL DIOCESE OF NEW YORK		Telephone: 212 316 7400
		E-Mail:
Address: 1047 AMSTERDAM AVE.		
City/PO: NY	State: NY	Zip Code: 10025

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission		FEB 26, 2018
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): <u>HISTORIC OVERLAY ZONE</u> _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s): _____ _____ _____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
R1-7.5 AND HISTORIC DISTRICT OVERLAY ZONE

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? BEACON CITY SD

b. What police or other public protection forces serve the project site?  
BEACON

c. Which fire protection and emergency medical services serve the project site?  
BEACON

d. What parks serve the project site?  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
RESIDENTIAL

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ .44 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 0 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	1	_____
At completion	_____	_____	1	_____
of all phases	_____	_____	1	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)
- Describe types of new point sources. \_\_\_\_\_
- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_
  - If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
  - Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

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f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) \_\_\_\_\_
- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) \_\_\_\_\_
- Stationary sources during operations (e.g., process emissions, large boilers, electric generation) \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration: \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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n.. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): RELIGIOUS

ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	.22	.22	0
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	.24	.24	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

DUTCHES CARDIBAN/URBAN	_____	100 %
+ LANO COMPLEX	_____	_____ %
_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >7 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

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h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____          _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If yes, give a brief description of how the proposed action may affect that use: _____</p>	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name REV JOHN WILLIAMS Date FEB 26 2018

Signature  Title Rector

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only (If applicable)

Project :   
 Date :

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b> Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>



**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO

YES

*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO

YES

*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>6. Impacts on Air</b>			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels:			
i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> )	D2g	<input type="checkbox"/>	<input type="checkbox"/>
ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> )	D2g	<input type="checkbox"/>	<input type="checkbox"/>
v. More than 1000 tons/year of carbon dioxide equivalent of hydrochlorofluorocarbons (HFCs) emissions	D2g	<input type="checkbox"/>	<input type="checkbox"/>
vi. 43 tons/year or more of methane	D2h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b>			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b>			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part I. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part I. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Yes", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b> The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>12. Impact on Critical Environmental Areas</b> The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1. D.2.j)  
*If "Yes", answer questions a - g. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**  
 The proposed action may cause an increase in the use of any form of energy.  NO  YES  
 (See Part 1. D.2.k)  
*If "Yes", answer questions a - e. If "No", go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____			

**15. Impact on Noise, Odor, and Light**  
 The proposed action may result in an increase in noise, odors, or outdoor lighting.  NO  YES  
 (See Part 1. D.2.m., n., and o.)  
*If "Yes", answer questions a - f. If "No", go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**16. Impact on Human Health**

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)  NO  YES

*If "Yes", answer questions a - m. If "No", go to Section 17.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____			



<b>17. Consistency with Community Plans</b> The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>18. Consistency with Community Character</b> The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**PRINT FULL FORM**

Project : \_\_\_\_\_

Date : \_\_\_\_\_

**Full Environmental Assessment Form**  
**Part 3 - Evaluation of the Magnitude and Importance of Project Impacts**  
**and**  
**Determination of Significance**

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status:       Type 1                       Unlisted

Identify portions of EAF completed for this Project:    Part 1       Part 2       Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the \_\_\_\_\_ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action:

Name of Lead Agency:

Name of Responsible Officer in Lead Agency:

Title of Responsible Officer:

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

**For Further Information:**

Contact Person:

Address:

Telephone Number:

E-mail:

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

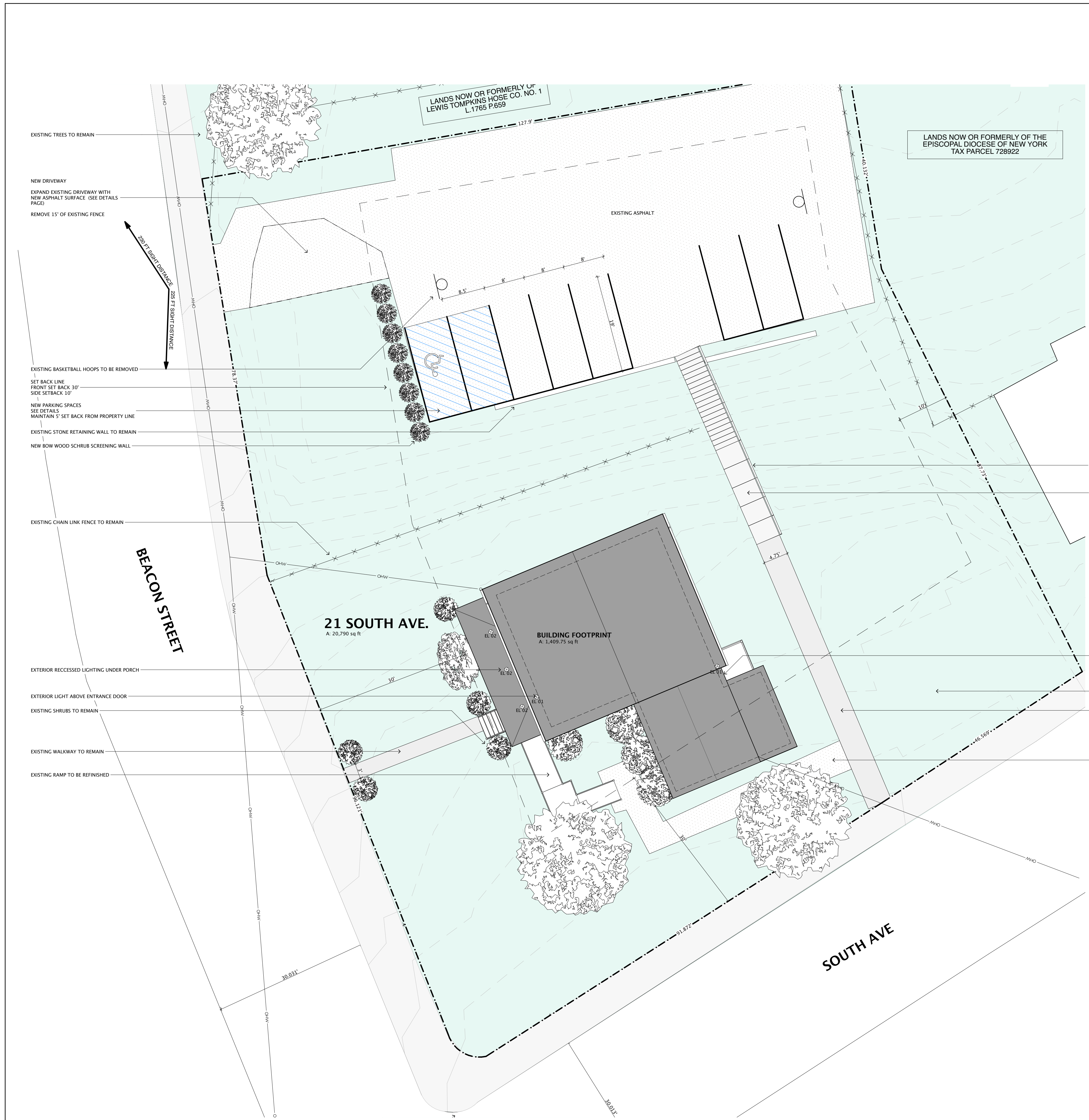
Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

**PRINT FULL FORM**



- 1. PROPERTY PROFILE**
- 1.1. Block No .....26
  - 1.2. Lot No.....724907
  - 1.3. Zoning District .....R1-7.5
  - 1.4. Overlay .....Historic District and Landmark
  - 1.5. Lot Area .....20,790 SQ FT
  - 1.6. Building Footprint .....1,409 SQ FT
  - 1.7. No. Of Floors .....2.5
  - 1.8. Owner of Record  
EPISCOPAL DIOCESE OF NEW YORK  
1047 AMSTERDAM AVE.  
NY, NY 10025
  - 1.9. Applicant  
REV JOHN WILLIAMS  
15 SOUTH AVE.  
BEACON, NY 10025
  - 1.10. Prepared By  
BARRY DONALDSON ARCHITECTS  
14 KING ST.  
CROTON ON HUDSON, NY 10520

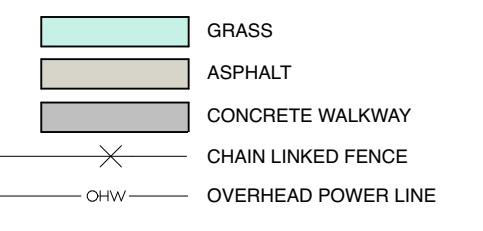
- 2. GENERAL NOTES**
- 2.1. Conversion of existing single family home into 3 unit apartment.
  - 2.2. Existing contours to remain unchanged.
  - 2.3. Existing building footprint to remain unchanged.
  - 2.4. Property is not in a flood zone.
  - 2.5. No new signage.
  - 2.6. No new fences or retaining walls.

**PARKING REQUIREMENTS SCHEDULE**

SPACES PER UNIT	CODE MIN.	CALCULATED AMOUNT
1	1	3
ADDITIONAL SPACES PER BEDROOM	0.25	1.25
		4.25

**ZONING REGULATION SCHEDULE**

R1-7.5	MINIMUM	ACTUAL	NOTE
MINIMUM LOT SIZE	7,500 SQ FT	20,790 SQ	PASS
LOT AREA PER DWELLING UNIT	7,500 SQ FT	6,800 SQ FT	PASS
MINIMUM FRONT YARD	30 FT	20 FT	PRE-EXISTING
MINIMUM SIDE YARD	10 FT		PASS
MINIMUM REAR YARD	30 FT	N/A	
MAXIMUM HEIGHT	2.5 AND 35	32 FT	PASS
MAXIMUM BUILDING COVERAGE	30%	7%	PASS
MULTIPLE FAMILY	N/A		BY SPECIAL PERMIT



AREA MAP  
NOT TO SCALE

03		
02	5/18/18	SITE PLAN APPROVAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE

ISSUE RECORD

SEAL & SIGNATURE

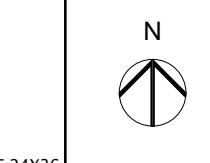
**BARRY DONALDSON ARCHITECTS**  
14 KING STREET  
CROTON ON HUDSON, NY 10520  
TEL: 914-877-8849  
EMAIL: BDA@BARRYDONALDSONARCHITECTS.COM

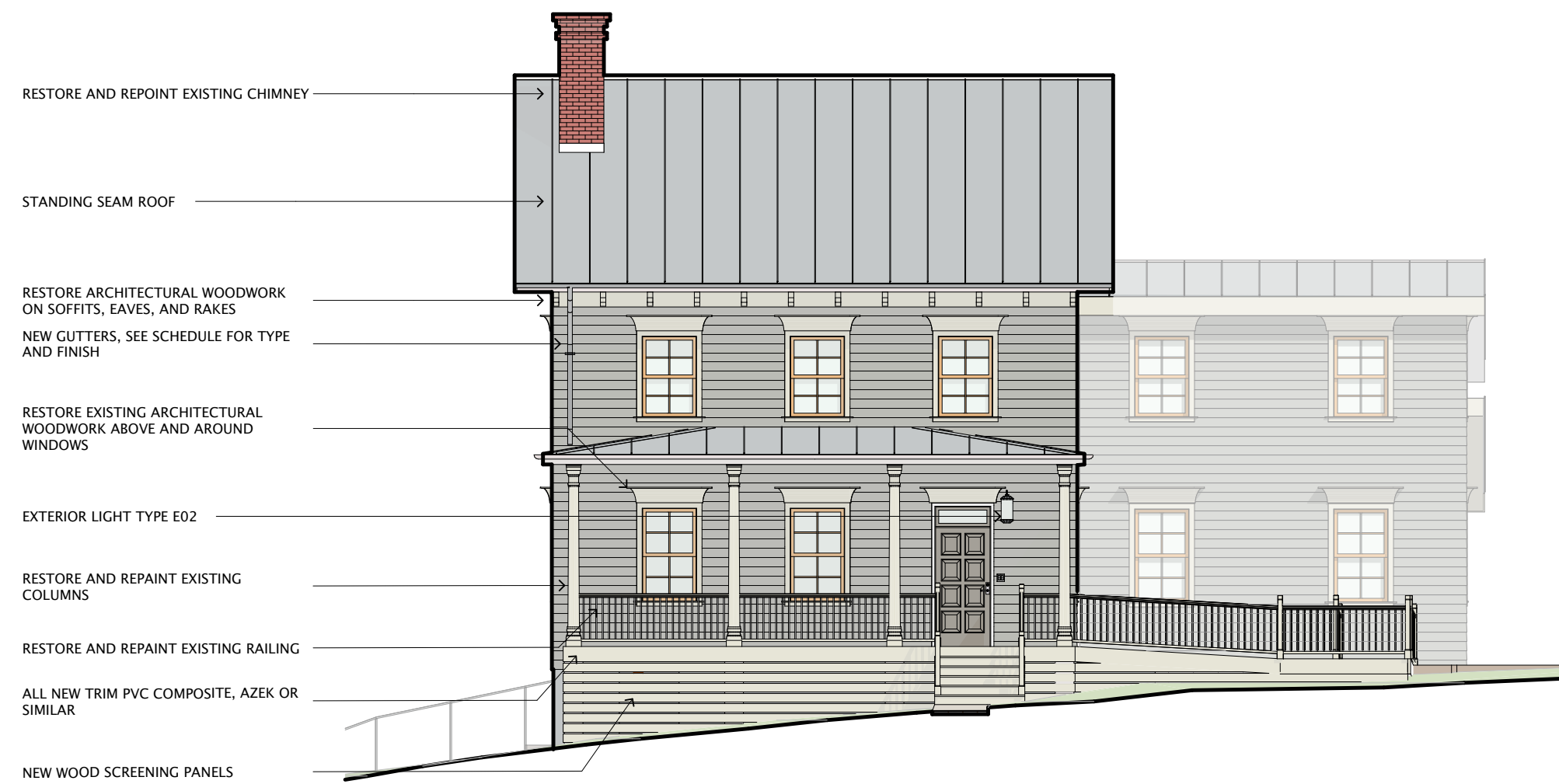
PROJECT  
**Renovation of 21 South Ave.**  
21 South Ave.  
Beacon, NY  
12508

DRAWING TITLE  
**SITE PLAN**

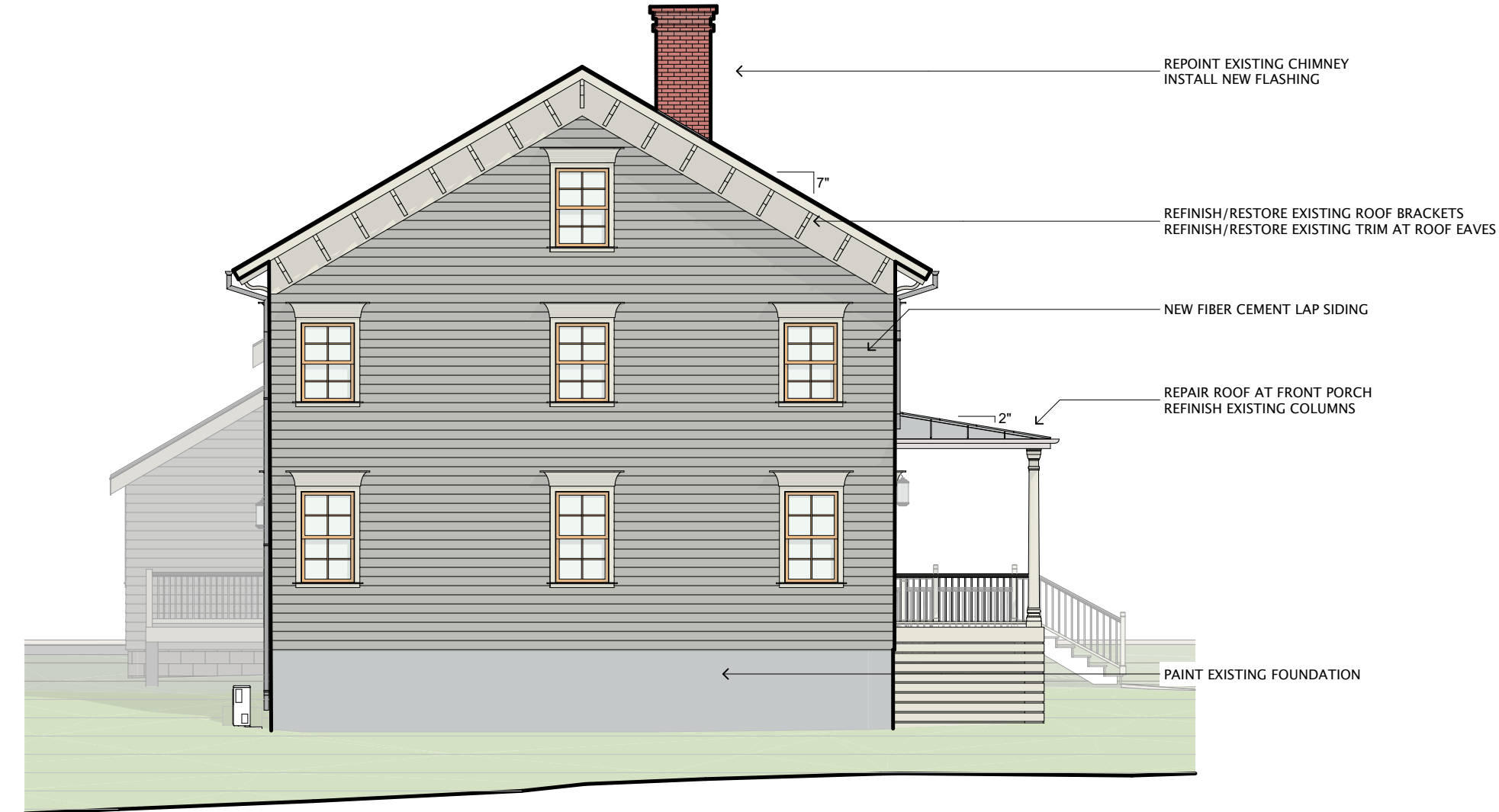
JOB NO. 0000      DATE 5/18/18      SCALE 1" = 10'

DRAWING NO. **01**





**2** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**3** WEST ELEVATION  
SCALE: 1/8" = 1'-0"




**4** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

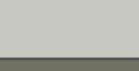

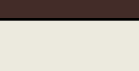
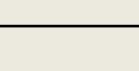
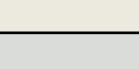


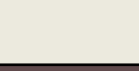


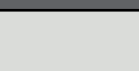


**1** EAST ELEVATION  
SCALE: 1/8" = 1'-0"

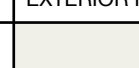
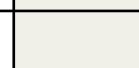
**EXTERIOR LIGHTING SCHEDULE**

ID		MANUFACTURER	MODEL	LUMENS	LIGHT COLOR	NOTES
EL-01		BAZZ	LED 410	800	3000 K	4.5" DIMMABLE
EL-02		PROGRESS LIGHTING	P560082-031 HOLLINGSWO RTH WALL LANTERN		3000 K	

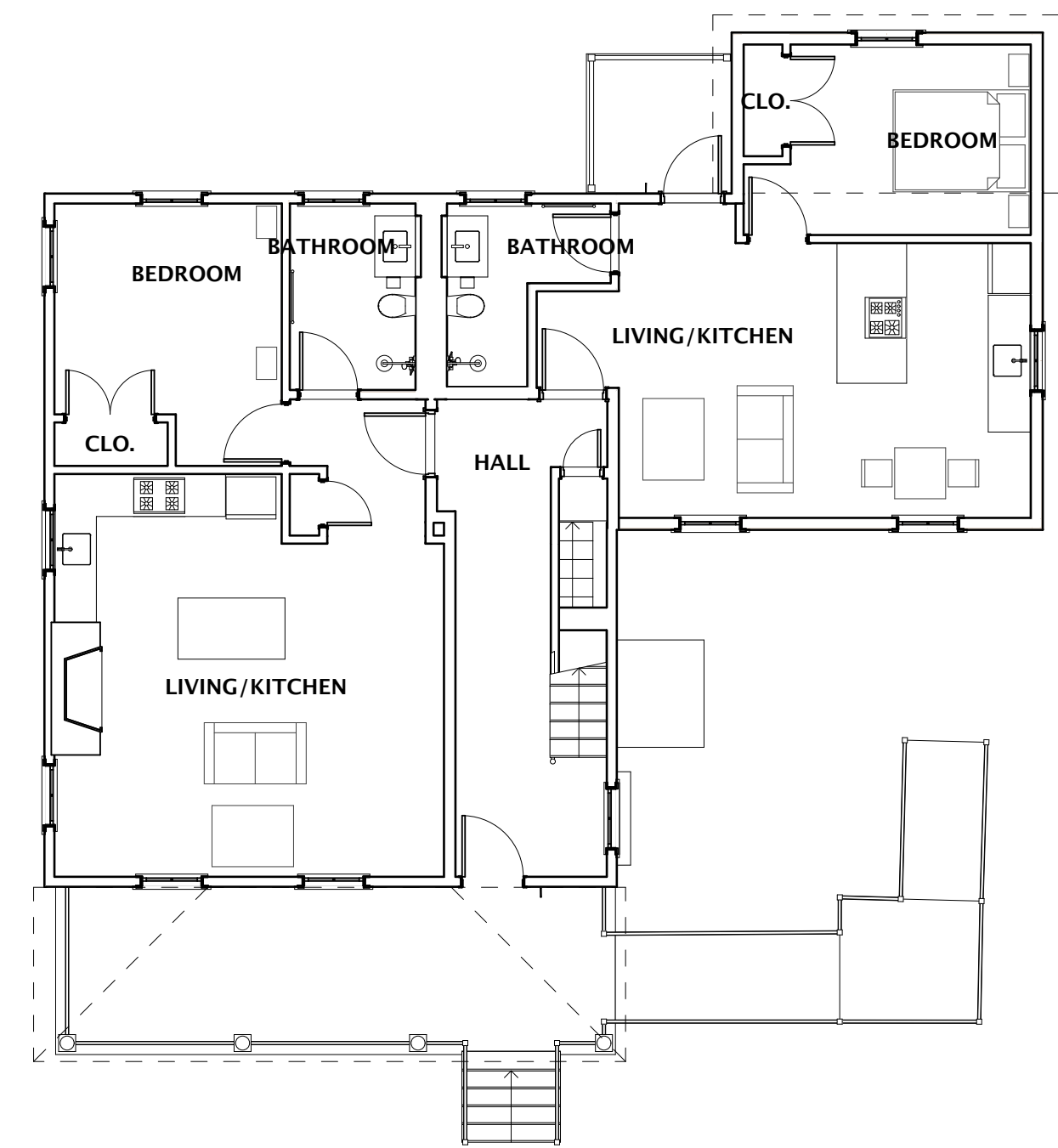
**FINISH SCHEDULE**

ID	DESCRIPTION	MANUFACTURER	MATERIAL	FINISH	COLOR	SWATCH	PANTONE EQUIVALENT
FN 01	CLABBARD SIDING		CEDAR	PAINTED	HARBOR GRAY BENJAMIN MOORE NUMBER: AC-25		427 C
FN 02	STANDING SEAM ROOF	MCELROY	STEEL		SLATE GRAY		424 C
FN 03	DECKING	TREX	FIBER CEMENT	TEXTURED	WOODLAND BROWN		4975 C
FN 04	TRIM AT WINDOWS	LOCAL SOURCE	PAINTED FIR	PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 05	PROFILED TRIM AT TOP OF WINDOWS	LOCAL SOURCE	PAINTED FIR	PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 06	REFINISHED AND PAINTED EXPOSED FOUNDATION FIELD STONE FOUNDATION	EXISTING REFINISHED		PAINTED	GRAYTINT BENJAMIN MOORE NUMBER: 1611		COOL GRAY 1 C
FN 07	EXISTING DECK RAILING - TOP RAIL	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 08	DECK RAILING - POSTS/BALUSTERS/BOTTOM RAIL	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 09	REFINISHED TRIM	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 10	NEW DECK RAILING	SITE BUILT	DOUGLOUS FIR	STAINED	DARK WALNUT BENJAMIN MOORE NUMBER: 1358		438 C
FN 11	RAILING AT CONCRETE WALKWAY	SITE BUILT	GALVANIZED STEEL	MATT PAINT	STORM SKY BENJAMIN MOORE NUMBER: 1616		COOL GRAY 10 C
FN 12	GUTTERS/DOWNSPOUTS		ALUMINUM		MANUFACTURER'S GREY CLOSEST TO NOTED PANTONE NUMBER		COOL GRAY 1 C

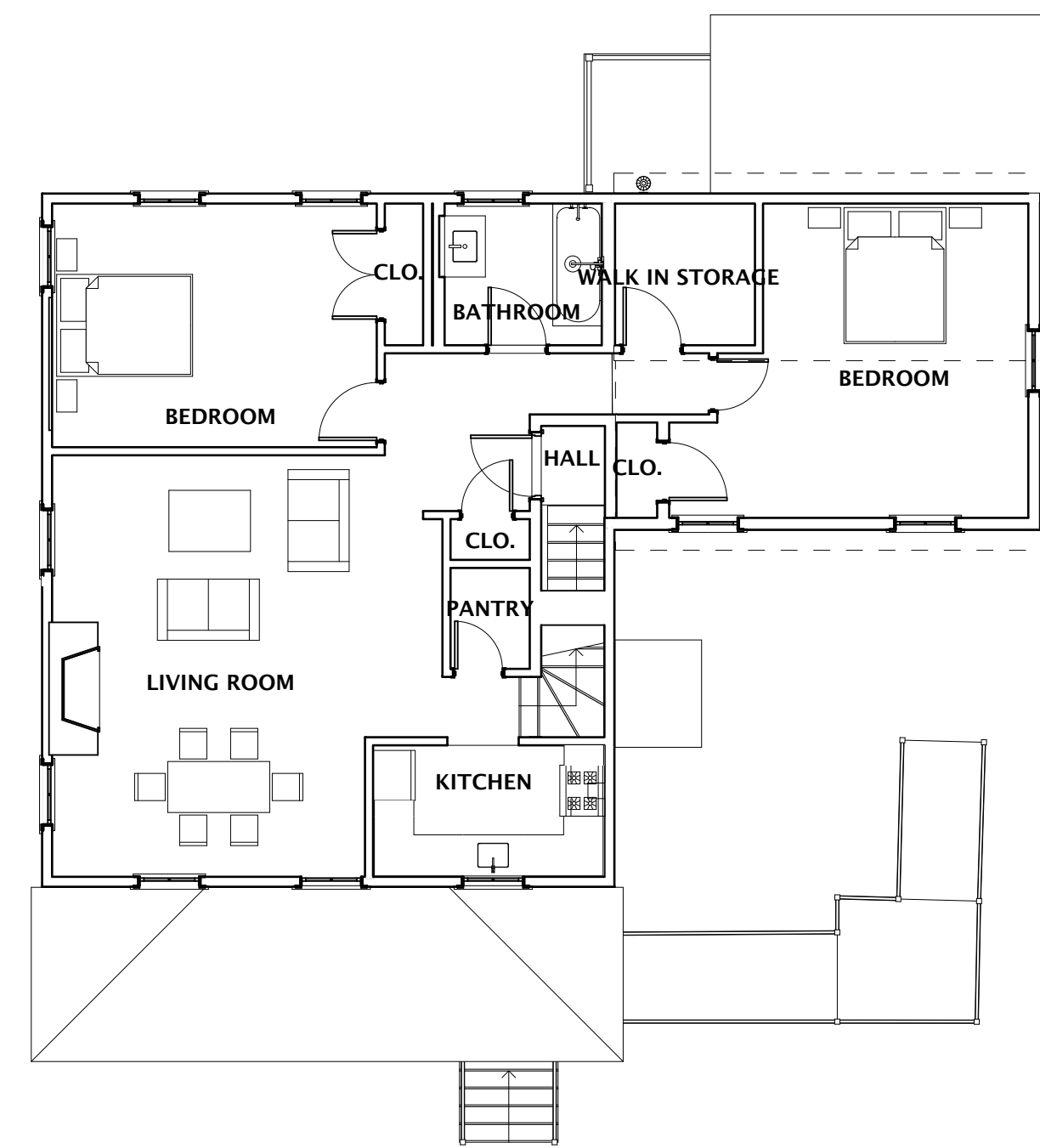
**WINDOW SCHEDULE**

TYPE	DESCRIPTION	MANUFACTURER	MOEEL	WIDTH	HEIGHT	EXTERIOR FINISH	EXTERIOR FINISH SWATCH	INTERIOR FINISH	DIVIDERS	AMOUNT	NOTES
1	DOWNSTAIRS DOUBLE HUNG	MARVIN	ULTIMATE DOUBLE HUNG NEXT GENERATION	3'	5'-0"	STONE WHITE		WHITE OAK	SIMULATED DIVIDED LITE WITH SPACE BAR 2X2	13	
2	UPSTAIRS DOUBLE HUNG	MARVIN	ULTIMATE DOUBLE HUNG NEXT GENERATION	3'	4'-5"	STONE WHITE		WHITE OAK	SIMULATED DIVIDED LITE WITH SPACE BAR 2X2	13	

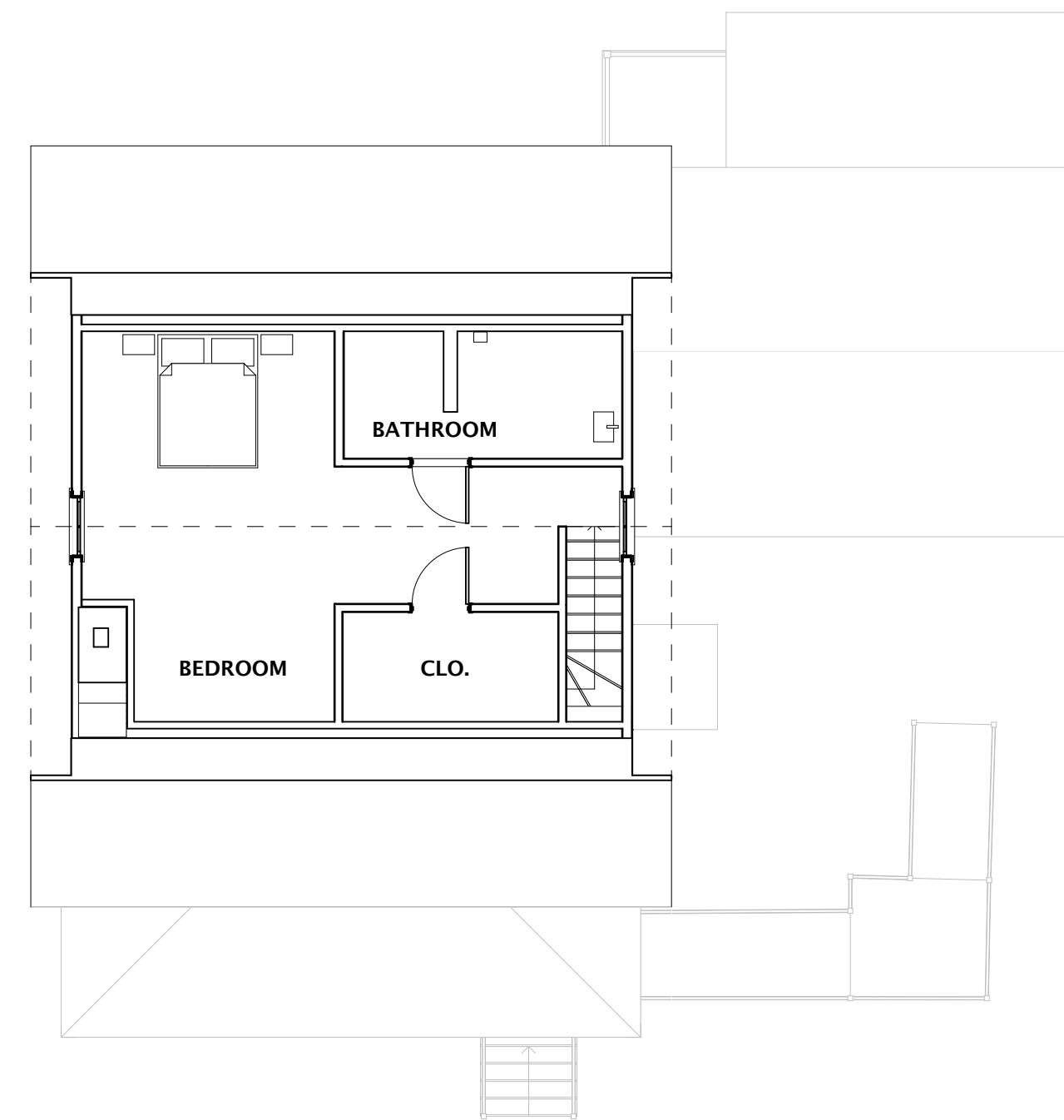
03		
02	5/18/18	SITE PLAN APPROVAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE
ISSUE RECORD		
SEAL & SIGNATURE		
BARRY DONALDSON ARCHITECTS		
14 KING STREET CROTON ON HUDSON, NY 10520		
TEL: 914-877-8849 EMAIL: BARRY@DONALDSONARCHITECTS.COM		
PROJECT		
Renovation of 21 South Ave. 21 South Ave. Beacon, NY 12508		
DRAWING TITLE		
ELEVATIONS		
JOB NO.	DATE	SCALE
0000	5/18/18	1/8" = 1'-0"
DRAWING NO.		
02		



1 1ST FLOOR APARTMENT 1 AND 2  
SCALE: 1/8" = 1'-0"



2 2ND FLOOR APARTMENT 03  
SCALE: 1/8" = 1'-0"



3 3RD FLOOR APARTMENT 03 MASTER BEDROOM  
SCALE: 1/8" = 1'-0"

03		
02	5/18/18	SITE PLAN APPROVAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE

ISSUE RECORD

SEAL & SIGNATURE

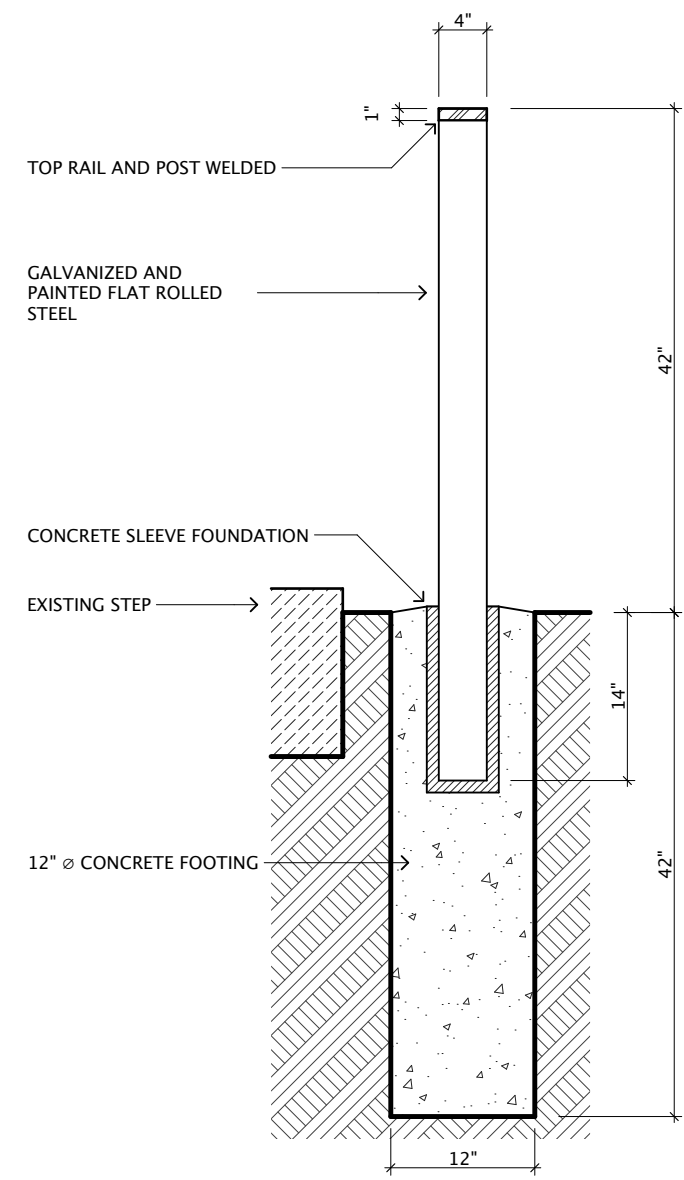
**BARRY DONALDSON ARCHITECTS**  
14 KING STREET  
CROTON ON HUDSON, NY 10520  
TEL: 914-877-8840  
EMAIL: BARRY@BARRYDONALDSONARCHITECTS.COM

PROJECT  
**Renovation of 21 South Ave.**  
21 South Ave.  
Beacon, NY  
12508

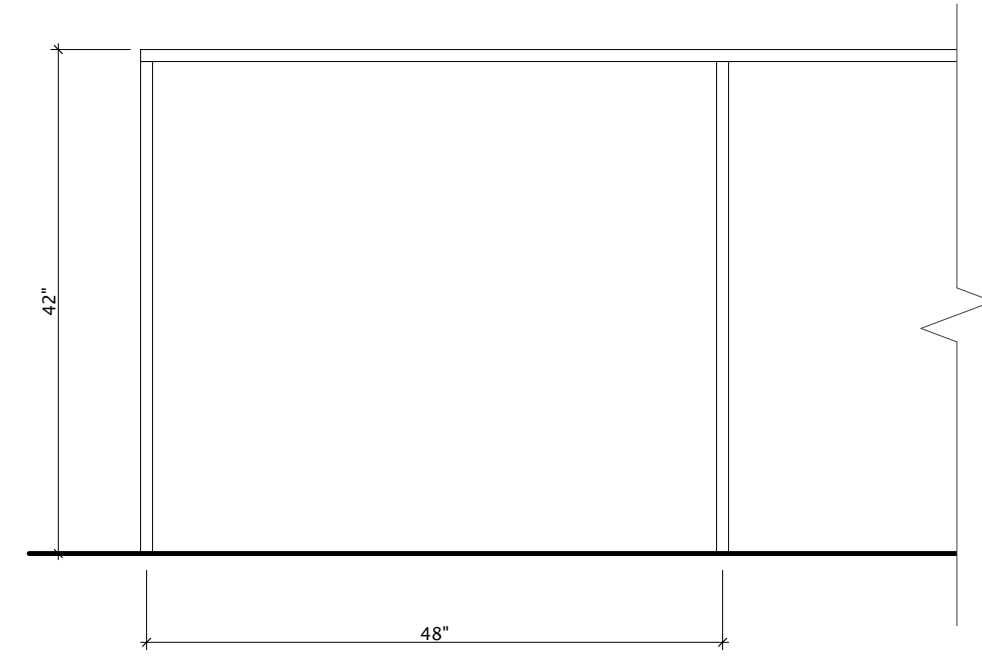
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**SCHEMATIC PLANS**

JOB NO. 0000	DATE 5/18/18	SCALE 1/8" = 1'-0"
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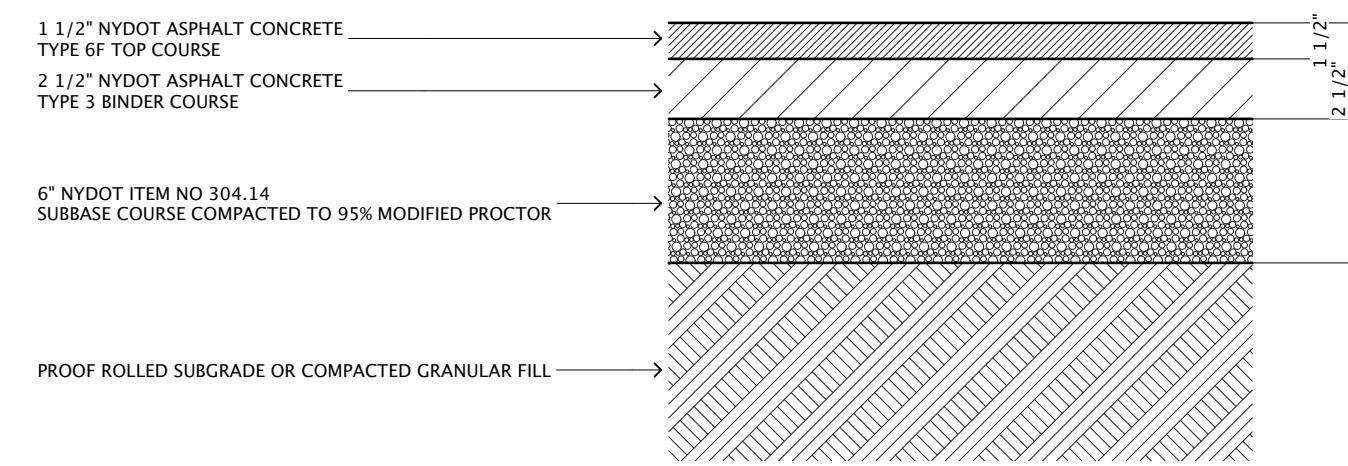
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**03**



**1** SITE RAILING DETAIL  
SCALE: 3/4" = 1'-0"

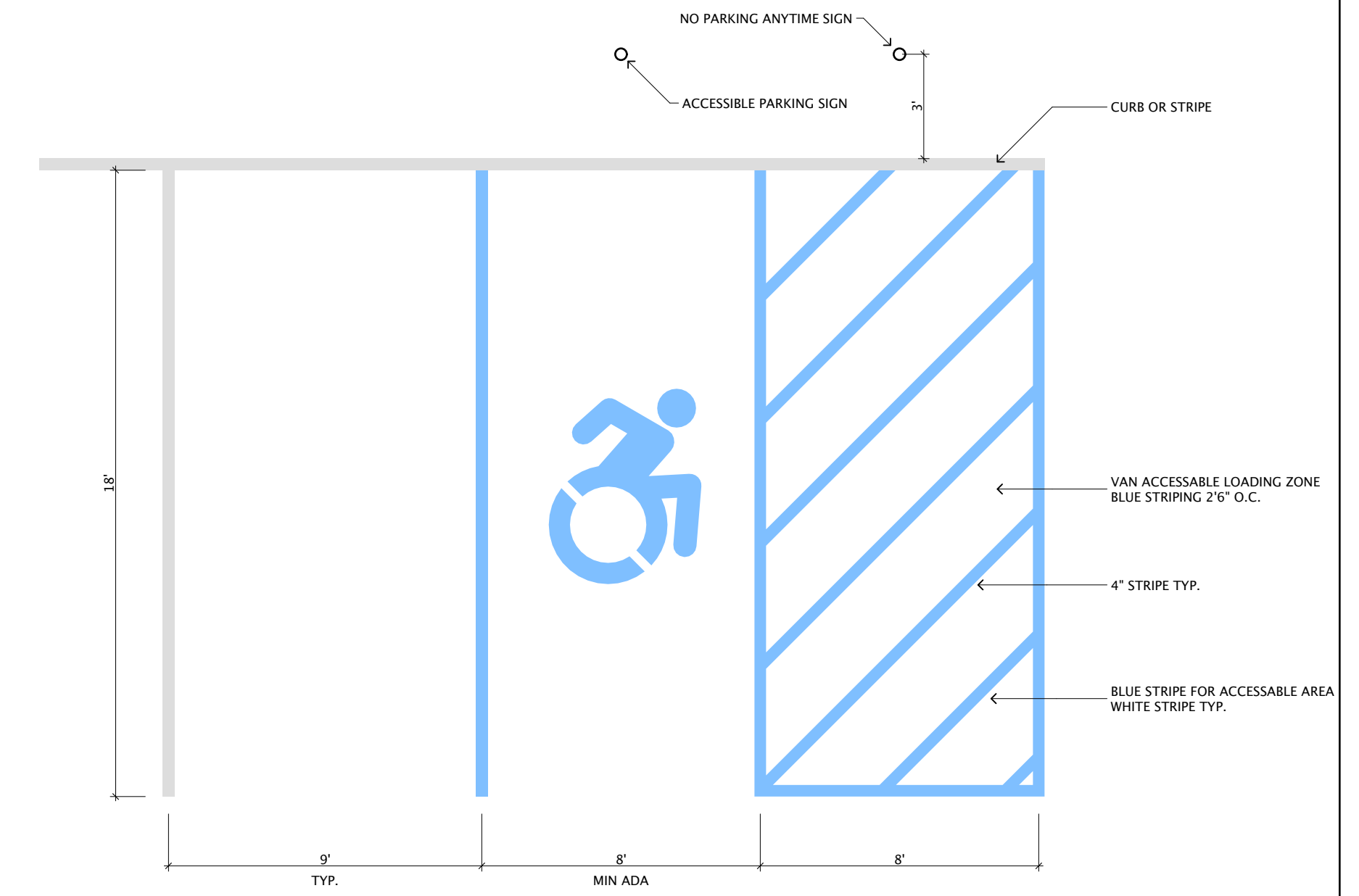


**2** SITE RAILING ELEVATION  
SCALE: 3/4" = 1'-0"



NOTES:  
 1. MATERIALS AND METHODS SHALL CONFORM TO NYS DOT STANDARDS.  
 2. SUBGRADE SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.  
 3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407 - TACK COAT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.  
 4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 303.01 AND EMBANKMENT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.

**3** NEW PAVING DETAIL  
SCALE: 1 1/2" = 1'-0"



**4** PARKING DETAIL  
SCALE: 1/4" = 1'-0"

03		
02	5/18/18	SITE PLAN APPROVAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE
ISSUE RECORD		
SEAL & SIGNATURE		
BARRY DONALDSON ARCHITECTS		
14 KING STREET CROTON ON HUDSON, NY 10520		
TEL: 845-877-8849 EMAIL: BDB@BARRYDONALDSONARCHITECTS.COM		
PROJECT		
Renovation of 21 South Ave. 21 South Ave. Beacon, NY 12508		
DRAWING TITLE		
DETAILS		
JOB NO.	DATE	SCALE
0000	5/18/18	
DRAWING NO.		
		04

**City of Beacon Planning Board  
6/12/2018**

**Title:**

**Zoning Board of Appeals**

**Subject:**

Zoning Board of Appeals – June Agenda

**Background:**



**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**West End Lofts**

**Subject:**

Review of West End Lofts retaining wall

**Background:**

**ATTACHMENTS:**

Description	Type
West End Lofts Cover Letter	Cover Memo/Letter
West End Lofts Retaining Wall Rendering	Backup Material
West End Lofts Redi-Lock Brochure	Backup Material



May 29, 2018

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Plaza, Suite 1  
Beacon, New York 12508

RE: West End Lofts  
Wolcott Avenue  
Tax Map No. 5954-26-688931

Dear Chairman Gunn and Members of the Board:

Enclosed please find five (5) copies of the following in support of the above referenced project:

- Retaining Wall Rendering, dated May 28, 2018.
- Redi-Rock: LedgeStone Brochure.
- Cornerstone 100 Brochure.

Also enclosed is a CD containing the above materials.

The retaining wall rendering has been revised to illustrate the intended constructed look of the retaining wall facing City Hall as recommended by the Board. An example of the wall materials is also provided for review.

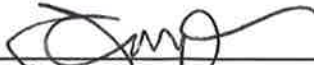
Based on the input offered by the Board, the applicant has modified the proposed wall material and finish (Redi-Rock LedgeStone) for the wall facing City Hall. This wall will match the wall installed at the View project. This wall system carries an installed cost significantly higher than standard wall systems, but the applicant remains committed to constructing a hardscape / landscape design that will enhance the view from City Hall.

The remaining onsite retaining walls will utilize the Cornerstone wall system which is consistent with the wall type included on the approved site plan. This type of wall system was priced and included in project budgets which have been accepted by funding sources. Changing the wall system to the Redi-Rock system would impact the budget substantially which is not feasible within the project's affordable housing program.

We respectfully request this project be placed on the June 12, 2018 Planning Board meeting for review of the provided information and consideration of approval. Should you have any questions or comments regarding the above information, please do not hesitate to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:   
Jeffrey J. Contempo, PE  
Senior Principal Engineer

JJC/jll

Enclosures

cc: Ken Kearney  
Sean Kearney  
AJ Coppola, R.A.  
Insite File No. 16226.100

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3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717  
[www.insite-eng.com](http://www.insite-eng.com)



**ENLARGED RETAINING WALL LANDSCAPE PLAN**

SCALE: 1" = 20'

NOTE: REFER TO DRAWING SP-1 FOR PLANT SPECIES, NUMBER AND SIZE.



**PROPOSED RETAINING WALL #1  
ELEVATION LOOKING SOUTH WITH LANDSCAPING**

SCALE: 1" = 20' HORIZ.  
1" = 10' VERT.

**RETAINING WALL RENDERING**

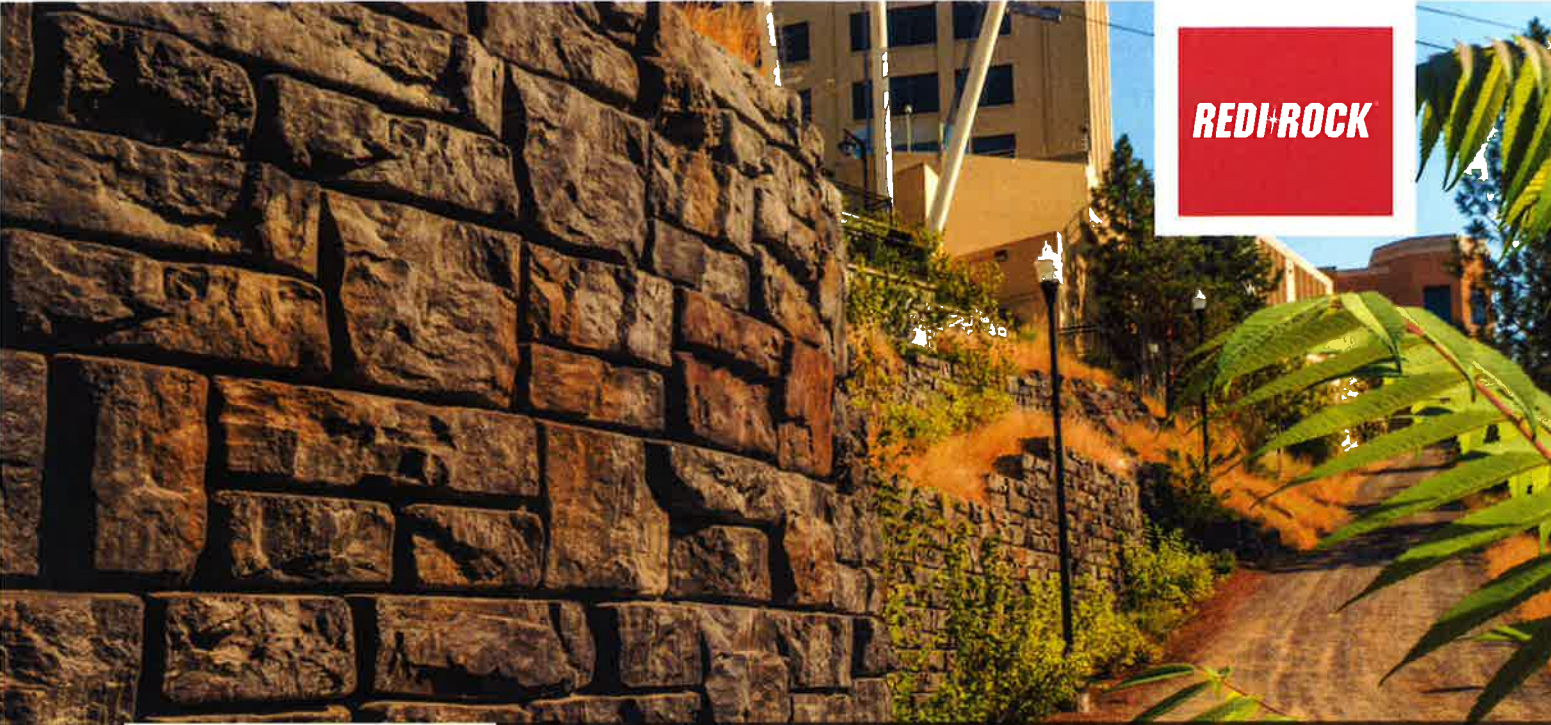
**WEST END LOFTS**

March 27, 2018

Revised May 28, 2018



**REDI-ROCK**



The Ledgestone texture is available on any Redi-Rock® block. That means you can create a retaining wall, top it with a freestanding wall, and accent it with columns. Beautiful!



REDI-ROCK TEXTURE:

# LEDGESTONE

Strong. Rugged. Handsome. What, you don't have those thoughts about retaining walls?

Well, we do. At Redi-Rock, we like retaining walls to look great while doing the hard job of holding back the earth. We painstakingly sought out world-class stone to create molds that give these blocks their classic stone aesthetics.

Redi-Rock Ledgestone blocks give projects a random, stacked stone look. Because they're made using architectural-grade precast concrete, the level of detail in the texture is outstanding.

## Ledgestone Block Specifications

- Trapezoidal shape allows convex and concave radii
- 5.5 inch (140 millimeter) deep texture
- Colors can be formulated based upon local region
- Ten individual face molds offer up to 115 square feet (10.5 square meters) of non-repeating patterns
- Wet-cast concrete gives a greater level of detail and durability



Regional colors and coordinating accessories are available. Contact your local Redi-Rock retailer or visit [redi-rock.com](http://redi-rock.com) to learn more about the Redi-Rock Ledgestone face today!



## 19.5 Foot (6 Meter) Gravity Wall Creates Access For FBI Headquarters

### The Challenge

When the FBI was relocating its division headquarters near Cincinnati, the terrain at the new site included extreme grade changes, making for some challenging planning for an access road to the site. The road was slated for a tight space between an existing residential neighborhood and a major office building, which would require a 700 foot (213 meter) long retaining wall.

### The Solution

"Sycamore Township chose Redi-Rock because we had a limited amount of space; we did not want to cut back behind the wall for tie-ins and we didn't want to lose trees that were buffering the neighbors from the

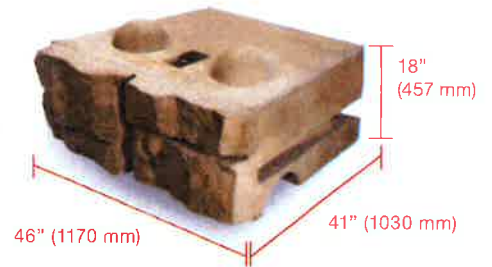
project," explained Tracy Kellums, Superintendent for Sycamore Township.

Redi-Rock is known for building tall gravity walls using massive, one-ton blocks to get the job done, but this 19.5 foot (6 meter) tall wall gave engineers the chance to show just what Redi-Rock blocks are really capable of.

To reach the required 19.5 feet (6 meters) with a gravity wall, engineers at URS utilized several unique components of the Redi-Rock system to achieve a custom solution for the project without the need for geogrid reinforcement or anchors. The design began with six to eight courses of the 60-inch base blocks, continued with

9-inch setback blocks, and finished with 41-inch blocks and 28-inch blocks.

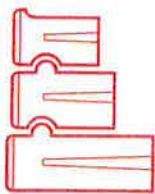
In total, the 8,000 square foot (743 square meter) wall was installed in less than three weeks, using a piece of heavy machinery and a small crew.



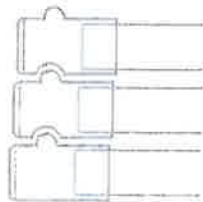
5.75 square feet of face - 2240 pounds  
(0.5 square meters of face - 1015 kilograms)

**Project:** Ronald Reagan Drive Project **Customer:** Sycamore Township, Ohio **Design/Specifying Engineer:** URS **Block Manufacturer:** Redi-Rock Structures of OKI **Wall Installer:** Nemann Construction **Location:** Cincinnati, Ohio **Completed:** 2011

**Your Complete Wall Solution**—Each block in the Redi-Rock system is available in any texture and can coordinate in the same wall, giving you the flexibility you need.



**Gravity Walls**  
(shown above)



**MSE Walls**

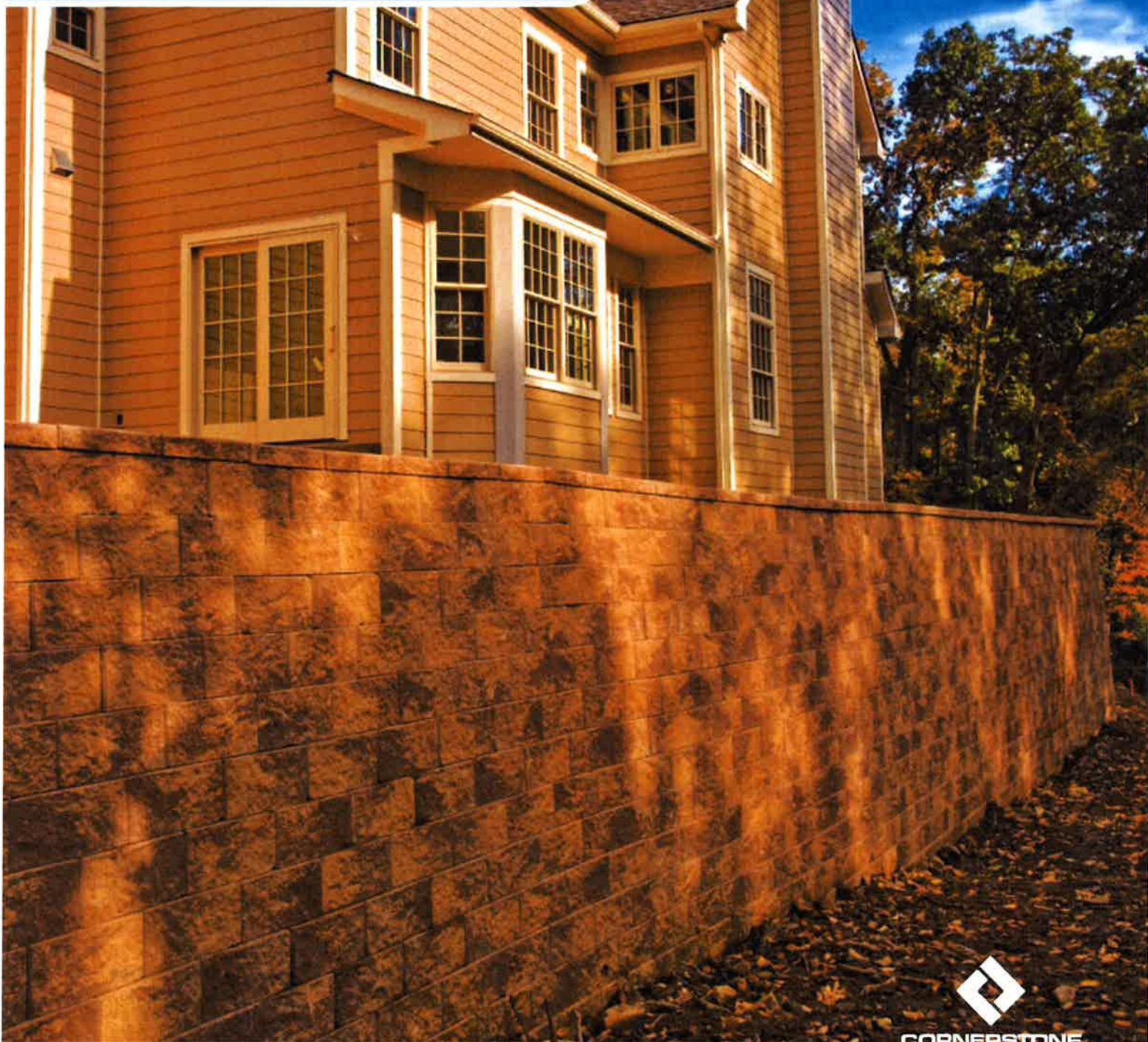


**Freestanding Walls**

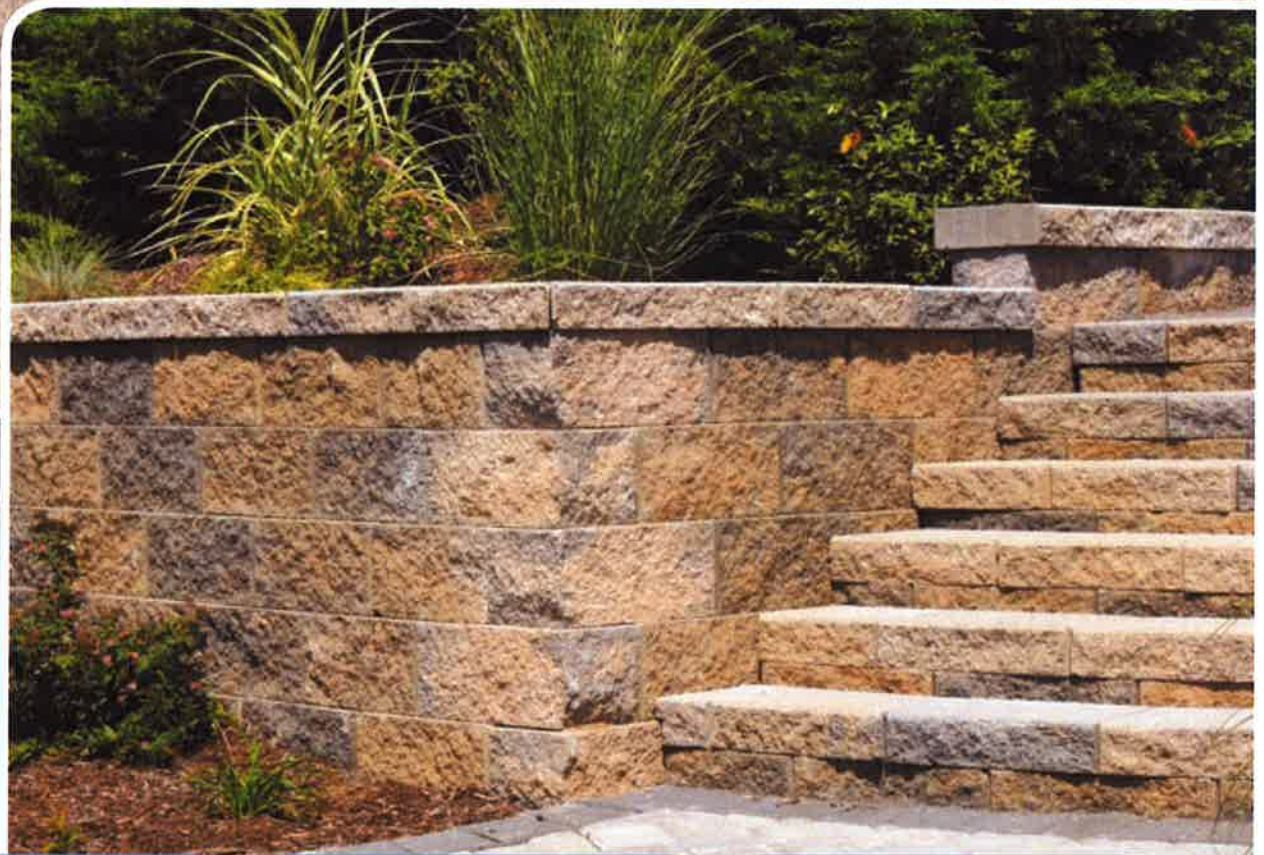
See [redi-rock.com](http://redi-rock.com)  
for additional  
products and  
accessories.



**CORNERSTONE**  
100



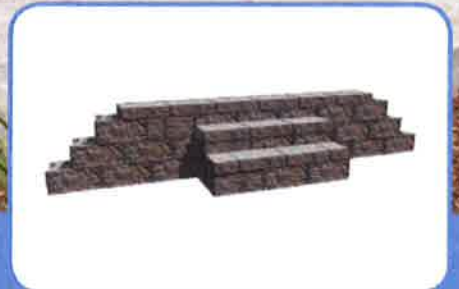
**CORNERSTONE**  
WALL SOLUTIONS, INC.  
[cornerstonewallsolutions.com](http://cornerstonewallsolutions.com)



STAIRS



BASE STEP-UP



WALL STEP-UP



INSIDE CORNER



OUTSIDE CURVE



INSIDE CURVE



## CORNERSTONE® 100 MARKETING MATERIALS

If you require more information on CornerStone® 100 please visit our website at [cornerstonewallsolutions.com](http://cornerstonewallsolutions.com).



CornerStone Website



Installation Guide



General Brochure



**CORNERSTONE**  
WALL SOLUTIONS INC.  
[cornerstonewallsolutions.com](http://cornerstonewallsolutions.com)

937 Fresno Pl., Coquitlam  
BC Canada V3J 6G5

TEL 604 939 7999  
FAX 604 939 4147

TOLL FREE 800 939 9193

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**Review Proposed Amendment Lot Line Adjustments**

**Subject:**

City Council Request to Review Proposed Amendment to Chapter 195 concerning Lot Line Adjustments

**Background:**

**ATTACHMENTS:**

Description	Type
Local Law Lot Line Adjustments	Local Law

DRAFT LOCAL LAW NO. \_\_\_\_ OF 2018

CITY COUNCIL  
CITY OF BEACON

PROPOSED LOCAL LAW TO AMEND  
CHAPTER 195 OF THE CODE OF THE  
CITY OF BEACON

A LOCAL LAW to amend Chapter 195 of the Code of the City of Beacon, concerning Lot Line Adjustments.

BE IT ENACTED by the City Council of the City of Beacon as follows:

**SECTION 1.** Chapter 195, Article I, of the Code of the City of Beacon is hereby amended as follows to create Section 3.1 entitled “Lot line adjustments”:

§ 195-3.1 Lot line adjustments.

A. Exemption. A lot line adjustment shall not be considered a subdivision and is therefore exempt from the procedural requirements otherwise imposed upon a subdivision. A lot line adjustment, however, must be determined to be exempt by the Building Inspector based upon the lot line adjustment criteria set forth herein.

B. Criteria for classification as a lot line adjustment.

- (1) No new lot is to be created; or
- (2) The action is intended to adjust, relocate or correct an existing lot line; or
- (3) The intended conveyance will involve a part of one lot being added to an adjoining lot; and
- (4) Neither of the lots involved will become nonconforming in any respect under Chapter 223, Zoning, as a result of the lot line adjustment.

C. Application process.

- (1) An application for a lot line adjustment exemption shall be submitted to the Building Department and shall be on a form approved by the Building Inspector.

- (2) The application shall be accompanied by the required application fee, payable to the City of Beacon, in the amount set forth in the City of Beacon Fee Schedule, which is on file in the City Clerk's Office.
- (3) The application shall contain:
- (a) The name, address and telephone number of each lot owner involved in the lot line adjustment.
  - (b) The address and Tax Map number of each lot involved.
  - (c) An explanation of the intended adjustment and the reason(s) therefor.
  - (d) A map, acceptable to the Building Inspector, drawn to scale depicting the existing lot line as well as the proposed new lot line.
  - (e) Any other documentation and/or information required by the Building Inspector.

D. In the event that the exemption is denied, the Building Inspector shall specify the reason(s) therefor in the written notice.

E. The Building Inspector may include in an approval of an application for lot line adjustment such terms and conditions as the Building Inspector deems necessary or appropriate to ensure the safety or further the purpose and intent of this Chapter or any other applicable law.

**SECTION 2.** The following definitions set forth in Chapter 195, Article II, Section 10 of the Code of the City of Beacon entitled "Definitions" are hereby amended or added as follows:

### **LOT LINE ADJUSTMENT**

Any conveyance of real property between adjacent landowners which does not result in additional buildable lot(s) nor create a zoning deficiency in either lot. A lot line adjustment is not considered a subdivision for purposes of this chapter.

### **RESUBDIVISION**

Any change in a subdivision plat or resubdivision in the of existing property lines or of property lines shown on a plat approved by the Planning Board and filed in the office of the Dutchess County Clerk, which change affects any street and/or lot layout shown on such plat or affects any area reserved thereon for public use or diminishes the size of any lot shown thereon.

### **SUBDIVISION**

The division of any parcel of land, regardless of use, into two or more lots, plots, blocks, sites or parcels, with or without the creation of new streets or private roads,

for the purpose, whether immediate or future, of transfer of ownership or building development, and shall include resubdivision as defined herein. Subdivision does not include lot line adjustments as defined in this chapter.

**SECTION 3.** Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 195 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

**SECTION 4.** Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**SECTION 5.** Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**Review Proposed Local Law Small Cell Wireless Facilities**

**Subject:**

City Council Request to Review Proposed Local Law to create Section 223-26.4 concerning Small Cell Wireless Facilities

**Background:**

**ATTACHMENTS:**

Description	Type
Local Law Small Cell Wireless	Local Law

**DRAFT LOCAL LAW NO. \_\_\_\_ OF 2018**

**CITY COUNCIL  
CITY OF BEACON**

**PROPOSED LOCAL LAW TO  
ADD SECTION 223-26.4 OF THE CODE OF THE  
CITY OF BEACON**

A LOCAL LAW to create Section 223-26.4 of Code of the City of Beacon, concerning Small Cell Wireless Facilities.

BE IT ENACTED by the City Council of the City of Beacon as follows:

Section 1. Section 223-26.4 of the Code of the City of Beacon entitled “Small Cell Wireless Telecommunications Facilities” is hereby created as follows:

A. Purpose. The purpose of this Section is to establish uniform policies and procedures for the deployment and installation of small cell wireless telecommunications facilities in the City of Beacon, which will provide a public health, safety, and welfare benefit consistent with the preservation of the integrity, safe usage, and visual qualities in the City.

B. Permit Required.

(1) No person shall install a small cell wireless telecommunications facility without first filing a small cell wireless telecommunications facility application and obtaining a small cell permit from the Planning Board.

(2) The Planning Board may issue a permit for the following:

(a) The modification of an existing tower or base station that does not incur a substantial change to the tower or base station or that otherwise qualifies as an Eligible Facilities Request.

(b) Collocation of a small cell wireless telecommunications facility or DAS Facility on an existing tower, utility pole or streetlight not exceeding 50 feet in height in the public right-of-way.

- (c) Collocation on existing buildings within the City of Beacon.
- (d) Replacement of a utility pole or street light that does not result in a change from the original dimensions.
- (e) Installation of a monopole or utility pole for small cell or DAS Facilities in the public right-of-way that does not exceed 50 feet in height.

C. Special Use Permit approval by the City Council is required under § 223-24.5 for the following uses:

- (1) A substantial change to an existing tower or base station.
- (2) Any other application for placement, installation or construction of transmission equipment that does not constitute an Eligible Facilities Request.
- (3) Installation of a new tower.
- (4) Placement of new antenna on an existing tower or base station that results in a substantial change to the tower or base station.
- (5) Installation of equipment located on sidewalk.
- (6) Installation of equipment located at an elevation less than ten feet from the ground.
- (7) Installation of a small cell facility on a pole located within 20 feet of a dwelling unit.

D. Permit Application.

- (1) All small cell wireless telecommunications facility applications for small cell permits filed pursuant to this Section shall be on a form provided by the City.
- (2) The small cell permit application shall be made by the wireless telecommunications provider or its duly authorized representative and shall contain the following:
  - (a) The applicant's name, address, telephone number, and e-mail address;
  - (b) The names, addresses, telephone numbers, and email address of all consultants, if any acting on behalf of the applicant with respect to the filing of the application.



- (c) A general description of the proposed work and the purpose of the work proposed.
  - (d) Identify and disclose the number and locations of any small cells that the applicant has installed or locations the applicant has considered in the past year for small cell infrastructure within the City and those submitted or anticipated to be submitted within a one year period.
  - (e) A description of the anticipated maintenance needs, including frequency of service, personnel needs and equipment needs, and the potential traffic safety and noise impact of such maintenance.
  - (f) Any amendment to information contained in a small cell permit application shall be submitted in writing to the City within 30 days after the change necessitating the amendment.
- (3) An application shall not be required for: (i) routine maintenance; and (ii) the replacement or upgrade of a previously permitted small cell wireless telecommunications facility with another small cell wireless telecommunications facility that is the same as or smaller in size, weight, and height at the same location.
  - (4) A wireless telecommunications provider authorized to install small cell wireless telecommunications facilities shall pay to the City an application fee and administrative fee as set forth in this section.
  - (5) A wireless telecommunications provider is authorized, after 30 days written notice to the City Building Inspector, to remove its facility at any time from the rights-of-way and cease paying the City the administrative fee.

#### E. Location

- (1) The following locational priorities shall apply in the order specified, consistent with the City's obligation to create the least amount of adverse aesthetic impact and to preserve the scenic values of the City:
  - (a) On the roof of any City owned or federal, state or local government owned buildings or structures.
  - (b) Location on privately-owned buildings
  - (c) Location on an existing City owned utility poles
  - (d) Location on City-owned infrastructure on private poles
  - (e) Location City-owned property, where there is no existing pole

(f) Location on privately-owned utility poles.

(2) If the proposed site is not the highest priority listed above, then a detailed explanation must be provided as to why a site of higher priority was not selected. The person seek such an exemption must satisfactorily demonstrate the reason or reasons why such a permit should be granted for the proposed site and the hardship that would be incurred by the applicant if the permit were not granted for the proposed use.

#### F. Right of Way Fees

- (1) In order to ensure that the limited private use of the public right of way authorized herein does not become an additional cost to the City, it is hereby determined by the City Council that the following fees shall be charged to applicants and permit holders seeking to use the public right of way pursuant to this Local Law.
- (2) Small Cell Permit Application Fee: shall be \$500.000 (non-refundable) due to the City Building Department upon submittal of a completed application for review.
- (3) Annual Small Permit Fee:
  - (a) For placement on Existing Private Utility Poles -\$1,000.00 per year
  - (b) For placement on Existing City-owned buildings, utility poles, infrastructure or property - \$1,500.00 per year
  - (c) For placement of new poles in the right of way \$2,000 per year
  - (d) Fee start date: The annual permit fee shall be payable January 2 of the year following installation. Failure to pay the annual permit fee shall result in the imposition of a 5% penalty fee, additional collection fees if necessary, and suspension or revocation of the permit.

#### G. City requirements as to aesthetics and neighborhood impact mitigation

- (1) In order to preserve the character and integrity of City neighborhoods the City Council finds that the following requirements are essential to protect the public health, safety and welfare.
  - (a) New small cell facilities shall not be located in the Historic District and Landmark Overlay Zone.
  - (b) Wherever possible, new small cell facilities shall include stealth technology designs.

- (c) All small cells placed on any roof shall be set back at least 15 from the edge of the roof along any street frontage.
  - (d) The Planning Board shall consider all impacts to site lines and aesthetic views.
  - (e) Except within the public right of way, all proposed poles, pole equipment and enclosures shall comply with the designated setback requirements.
  - (f) Up to three (3) small cells will be allowed per utility pole if technically feasible and if in the determination of the Planning Board there are no safety or aesthetic concerns. Small cells must be designed and placed in an aesthetically pleasing manner to the reasonable satisfaction of the approving agency.
  - (g) No small cell placement shall be allowed on ornamental street lighting poles as determined by the Building Inspector.
  - (h) No small cell facilities or associated equipment shall be placed on any sidewalk and shall not obstruct pedestrian or vehicular traffic in any way.
  - (i) In no event shall any utility pole or wireless telecommunication support structure as of January 1, 2018, installed in the public right of way, exceed 50 feet. A shorter pole may be required if the initial proposal is deemed out of character of with the neighborhood as determined by the Planning Board.
  - (j) Each new small cell wireless telecommunications facility, including antennas or other associated equipment, installed in the public right-of-way shall not exceed more than ten (10) feet above the existing utility pole or wireless telecommunications support structure on which it is being located.
- H. Duration. Construction pursuant to a small cell permit issued under this section must be commenced within twelve (12) months of issuance of the small cell permit and diligently pursued thereafter, or such small cell permit shall expire.
- I. Routine Maintenance and Replacement. An application shall not be required for: (i) routine maintenance; and (ii) the replacement or upgrade of a small cell wireless telecommunications facility with another small cell wireless telecommunications facility that is same as or smaller in size, weight and height at the same location.
- J. Information Updates. Any amendment to information contained in a small cell building/work permit application shall be submitted in writing to the City within thirty (30) days after the change necessitating the amendment. On an annual basis, the wireless telecommunication provider shall provide a list of existing small cell locations within the City.
- K. Removal, relocation or modification of Small cell Wireless Telecommunications Facility in the Public Right-of-Way

- (1) Notice. Within ninety (90) days following written notice from the City , the wireless provider shall, at its own expense, protect, support, temporarily or permanently disconnect, remove, relocate, change or alter the position of any small cell wireless telecommunications facilities within the public right-of-way whenever the City has determined that such removal, relocation, change or alteration, is necessary for the construction, repair, maintenance, or installation of any City improvement in or upon, or the operations of the City in or upon, the public right-of-way.
- (2) Emergency Removal or Relocation of Facilities. The City retains the right and privilege to cut or move any small cell wireless telecommunications facility located within the public right-of-way, as the City may determine to be necessary, appropriate or useful in response to any public health or safety emergency. If circumstances permit, the City shall notify the wireless telecommunications provider and provide the wireless telecommunications provider an opportunity to move its own facilities prior to cutting or removing a facility and shall notify the wireless telecommunications provider after cutting or removing a small cell wireless telecommunications facility.
- (3) Abandonment of Facilities. Upon abandonment of a small cell wireless telecommunications facility within the public rights-of-way of the City, the wireless provider shall notify the City within ninety (90) days. Following receipt of such notice the City may direct the wireless provider to remove all or any portion of the small cell wireless telecommunications facility if the City, or nay of its departments, determines that such removal will be in the best interest of the public health, safety and welfare.

## Section 2. Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon Code is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

## Section 3. Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

## Section 4. Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

DRAFT

**City of Beacon Planning Board**  
**6/12/2018**

**Title:**

**213 Main Street**

**Subject:**

Certificate of Appropriateness – 213 Main Street

**Background:**

**ATTACHMENTS:**

Description	Type
213 Main Application	Application
213 Main Elevations	Backup Material

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: May 29, 2018

Project Address: 213 Main Street

Project Architect/Engineer: Aryeh Siegel Architect

Owner/Builder: Barbara Sims

Approval Requested:  Certificate of Appropriateness  New Single Family House

Color/Materials:

Siding: N/A

Roofing: N/A

Windows: Color: See plans Type: Storefront / double hung

Trim: See plans

Garage Door: N/A

Stone/Brick: Brick

Barbara Sims

Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied \_\_\_\_\_  
(Date)

Plan Approved \_\_\_\_\_  
(Date)

Subject to the following:

\_\_\_\_\_  
\_\_\_\_\_

FEE: \$100.00



UPPER CORNICE: BENJAMIN MOORE COLOR HC-127

BRACKETS: BENJAMIN MOORE HC- 66

WALLS: BRICK - GLEN GARY COLOR MIX 56DD OR APPROVED EQUAL

LOWER CORNICE: BENJAMIN MOORE COLOR HC-127

METAL FLASHING AT ROOF - COLOR: COPPER GREEN

BODY AT STOREFRONT: COLOR: BENJAMIN MOORE HC- 66

DETAIL TRIM AT STOREFRONT: BENJAMIN MOORE COLOR HC-127

WINDOWS: ANDERSEN 400 SERIES CLAD WOOD DOUBLE HUNG WINDOWS OR APPROVED EQUAL. COLOR: BROWN

NOTE: SIGNAGE TO BE 12" HIGH CUT OUT ACRYLIC LETTERS: COLOR:RED (4" HIGH LETTERS AT SMALL TEXT). ALLOWABLE SIGN AREA = 1 SQUARE FOOT PER LINEAR FOOT OF FACADE. NOTE THAT SIGNAGE AREA IS BELOW THE MAXIMUM ALLOWABLE AREA. SIGNAGE TO BE LIT WITH BLACK GOOSENECK TYPE LED FIXTURES - SHIELDED FROM NEIGHBORING PROPERTIES, DARK SKY COMPLIANT

INTERIOR WINDOW MOUNTED SIGNAGE DOES NOT COUNT TOWARDS TOTAL SIGN AREA

## Architectural Review Board Application

Sheet 1

Owner:  
**Barbara Sims**  
213 Main Street  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

**BJ's Restaurant - 213 Main Street**

Beacon, New York  
Scale: AS NOTED  
May 29, 2018