

BEACON PLANNING BOARD
One Municipal Plaza - Courtroom
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026

The Planning Board will meet on **Tuesday, May 8, 2018** in the Municipal Center Courtroom. A work session will take place at 7:00 PM for a training workshop, discussion of agenda items and/or topics of interest to the Planning Board. The regular meeting will begin immediately thereafter, but not later than 7:30 p.m.

- **Regular Meeting**

1. Edgewater
Public hearing on application for Site Plan Approval, 7 residential buildings - 307 units, "Edgewater" submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place *(was adjourned to April 10, 2018 and May 8, 2018; and further adjourned to June 12, 2018 pending City Council action)*
2. 25 Townsend Street
Continue public hearing on the application for Subdivision Approval, 13-lot residential, 25 Townsend Street, submitted by AK Property Holding, LLC *(no new plans submitted)*
3. 1181 North Avenue
Public hearing for SEQRA Environmental Review on applications for Special Use Permit, Site Plan and Subdivision Approval, professional building expansion, 1181 North Avenue, submitted by Norm Schofield
4. 850 Wolcott Avenue
Continue review of applications for Subdivision Approval, Site Plan Approval, and Special Use Permit Approval, private school (Hudson Hills Academy), 850 Wolcott Avenue, submitted by St. Luke's Episcopal Church
5. Ferry Landing - Beekman Street
Continue review of application for Site Plan Approval, 6 Unit Residential "Ferry Landing at Beacon", Beekman Street, submitted by Ferry Landing at Beacon, Ltd.
6. 208 Main Street
Review application for Special Use Permit Approval, Retail/Residential, 208 Main Street, submitted by 206-208 Main Street, LLC
7. 38 St. Luke's Place
Review application for Subdivision Approval, three-lot residential, 38 St. Luke's Place, submitted by Beacon 226 Main Street, LLC
8. 31 Mountain Lane
Review application for Subdivision Approval, two-lot residential, 31 Mountain Lane, submitted by Penelope Hedges
9. 134 Main Street
Preliminary discussion of proposal, "Two Bank Square", Office/Residential, 134 Main Street, submitted by The Lindley Todd, LLC

- **Miscellaneous Business**

1. Zoning Board of Appeals
Zoning Board of Appeals – May Agenda
2. 17 Wilson Street
17 Wilson Street – Consider request for a 90-day extension of Subdivision Approval
3. 300 - 310 South Avenue
300-310 South Avenue – Consider request for 90 extension of Subdivision Approval

- **Architectural Review**

1. 183 Main Street
Certificate of Appropriateness – 183 Main Street; change façade colors
2. 177 Main Street
Certificate of Appropriateness – 177 Main Street; change brick siding (on addition)
3. Maple Street
Single Family House – Maple Street

City of Beacon Planning Board
5/8/2018

Title:

Edgewater

Subject:

Public hearing on application for Site Plan Approval, 7 residential buildings - 307 units, "Edgewater" submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place *(was adjourned to April 10, 2018 and May 8, 2018; and further adjourned to June 12, 2018 pending City Council action)*

Background:

ATTACHMENTS:

Description

Adjournment Request Letter

Type

Backup Material



300 Westage Business Center, Suite 380
Fishkill, New York 12524
T 845 896 2229
F 845 896 3672
cuddyfeder.com

tpalmer@cuddyfeder.com

VIA E-MAIL: egrogan@cityofbeacon.org

May 1, 2018

Chairman John Gunn
and Members of the Planning Board
City Hall
One Municipal Plaza
Beacon, New York 12508

Re: Edgewater – Request for Adjournment from Planning Board Agenda
Premises: 22 Edgewater Place, Beacon, New York

Dear Chairman Gunn and Members of the Planning Board:

On behalf of Scenic Beacon Developments, LLC, (the “Applicant”), we respectfully request that this matter be adjourned from the Planning Board’s meeting Agenda, which is scheduled for May 8, 2018, and that it be placed on the Planning Board’s June 12th meeting Agenda for the continued Site Plan Public Hearing.

As this Board is aware, the Beacon City Council closed the Public Hearing for the Applicant’s Special Permit application regarding the multi-family component of the proposed development at the City Council’s April 16th regular meeting.

Thank you for your consideration in this matter.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Taylor M. Palmer', is written over a horizontal line.

Taylor M. Palmer

cc: Etha Grogan, Planning Board and Zoning Board Secretary

City of Beacon Planning Board
5/8/2018

Title:

25 Townsend Street

Subject:

Continue public hearing on the application for Subdivision Approval, 13-lot residential, 25 Townsend Street, submitted by AK Property Holding, LLC (*no new plans submitted*)

Background:

ATTACHMENTS:

Description

25 Townsend - Cover Letter

Planner Review Letter

Type

Cover Memo/Letter

Consultant Comment



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

April 24, 2018

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: 25 Townsend Street Subdivision
Tax ID 6055-03-383149 (\pm 5.0 acres)
City of Beacon, New York

Dear Chairman Gunn and Members of the Planning Board:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) recently met with Lt. Timothy Dexter regarding the above referenced project, and we believe we have resolved the questions about provided lot width on the lots that were in question. Accordingly, we are not revising the plans at this time as we believe the project is now ready for consideration of granting Preliminary Subdivision approval at your next available Planning Board meeting.

We look forward to continuing our discussion regarding the design details of the proposed subdivision. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

Jon D. Bodendorf, P.E.
Principal

cc: Alla Bares
Taylor M. Palmer, Esq.
Michael A. Bodendorf, P.E. (HLD File)

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **25 Townsend Street Subdivision**

I have reviewed the April 24, 2018 response letter from Hudson Land Design and an 8-sheet Preliminary Subdivision Plan set with the latest revision date of March 27, 2018.

Proposal

The applicant is proposing to subdivide a 5-acre parcel in the R1-7.5 zoning district into 13 single-family house lots with an additional common lot for stormwater infiltration.

Comments and Recommendations

The applicant has submitted no new plans for this project and the Building Inspector has not yet issued an official opinion on the lot width question, so my comments will repeat the points from the previous April 5, 2018 memo to the Planning Board.

1. A number of recommendations from previous comment letters will need to be addressed in subsequent submissions, including:
 - The boundary measurements should be shown for each lot;
 - A low-maintenance landscaping plan should be specified for the central island; and
 - Street lighting should also be provided on the plan.
2. All existing major trees to be removed should be identified on the plat, not just the trees in the northeast corner near the Townsend Street entrance.
3. The Building Inspector should determine whether the 75-foot lots with tapered frontages meet the minimum lot width, based on the definition in Section 223-63. Section 223-12 H also requires that any dwelling must be erected in a part of the lot that meets the minimum lot width.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Jon D. Bodendorf, P.E., Hudson Land Design

City of Beacon Planning Board
5/8/2018

Title:

1181 North Avenue

Subject:

Public hearing for SEQRA Environmental Review on applications for Special Use Permit, Site Plan and Subdivision Approval, professional building expansion, 1181 North Avenue, submitted by Norm Schofield

Background:

ATTACHMENTS:

Description	Type
1181 North Avenue Architect Cover Letter	Cover Memo/Letter
1181 North Avenue Engineer Cover Letter	Cover Memo/Letter
1181 North Avenue Full EAF	EAF
1181 North Avenue I & I	Backup Material
1181 North Avenue LWRP Consistency	Backup Material
1181 North Avenue Sheet 1-Site Plan	Plans
1181 North Avenue Sheet 1-Subdivision Plat	Plans
1181 North Avenue Sheet 2-Existing Conditions	Plans
1181 North Avenue Sheet 3-Floor Plans-Rendering	Plans
1181 North Avenue Sheet 4-Grading & Utility	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment

ARYEH SIEGEL

ARCHITECT

John Gunn - Planning Board Chairman
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: 1181 North Avenue – Schofield Office
Special Use Permit Application – Comment Letters

April 24, 2018

Dear Mr. Gunn & Board Members,

Please find below the Applicant's response to John Clarke Planning & Design comments in his Memorandum dated April 5, 2018; and in Lanc & Tully's Memorandum dated April 5, 2018 regarding the 1181 North Avenue application. Hudson Land Design will provide a separate letter in response to Engineering comments.

John Clarke Planning & Design Comment Responses:

1. Comment acknowledged. The EAF has been updated.
2. The Subdivision Plat has been labeled "Preliminary". We are in the process of having the surveyor identify trees over 8" diameter.
3. The Planning Board determined that, although they have the ability to modify lot width requirements when certain conditions are met, they determined that the Applicant should apply for a variance to modify the lot width requirement. Once the SEQR determination has been made by the Planning Board, the Applicant will request a Zoning Variance from the Zoning Board of Appeals to allow the lot width to be less than 75 feet.
4. The survey has been corrected to show the total square foot area of the existing parcel.
5. An LWRP Consistency Report has been submitted.
6. For a total number of parking spaces between 1 and 25, one accessible parking space is required per Table 208.2 of the 2010 ADA Standards for Accessible Design. There are 23 parking spaces proposed. Therefore, the Applicant is providing one accessible parking space.
7. The Applicant contends that an additional sidewalk along Tompkins Avenue is not warranted. There is already a sidewalk on the south side of Tompkins Avenue, and a marked crosswalk at

the controlled intersection of Tompkins Avenue and North Avenue. The existing sidewalk along Route 9D provides direct pedestrian access to both the existing and the proposed building. Further, the majority of clients will drive to the site and utilize the internal parking lot and sidewalk system located on the site. Finally, it is our opinion that a sidewalk on the north side of Tompkins Avenue would not be extended to the west. The existing grades along the north curb of Tompkins Avenue rise in elevation sharply west of the property requiring grading and rock cut and potential disturbance to the access to the existing registered historic place to the west. The Applicant believes that a terminated sidewalk would lead to a potential mid-block crosswalk on Tompkins Avenue, which we do not feel would be sited in an appropriate or safe place.

8. The trees will be a minimum of 3" caliper. Our Landscape Designer responds as follows to the comments: *"The two trees flanking the Parking Lot grow to 50', not 15-30', as the comments state. They are Holly trees and work very well with the existing architecture of the house. Unlike other large evergreens, such as White Pine, Holly does not drop large limbs, which makes it a safer bet. Regarding the three trees outside the window of the existing house: With our changing global weather, I would never advise a client to plant three large shade trees so close to the structure, which is why I recommended ornamentals."*
9. The existing sign will be kept in its existing location. A second sign, matching the original existing sign in all details, is proposed to be installed near the existing sign in order to be able to accommodate all potential tenants. The sign will be the same except for the sign plaques that will reflect current tenants.
10. Comment acknowledged. The Applicant appeared before the City Council last year to present the idea of the project. The Council at that time was supportive of the project.

Lanc & Tully Comment Responses:

Site Plan (Sheet 1 of 5)

1. Sight distance information has been included on the plan in this submission.

Thank you. Please let me know if you have any questions.



Sincerely,
Aryeh Siegel

ARYEH SIEGEL

ARCHITECT

Aryeh Siegel, Architect



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

April 24, 2018

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: Schofield – Subdivision and Special Use Permit Applications
Tax Parcel ID: 5955-19-716048 (±0.70 acres)
City of Beacon, Dutchess County, NY

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the Subdivision Plan and Special Use Permit in response to Lanc & Tully's April 5, 2018 comment letter and John Clarke Planning and Design's April 5, 2018 comment letter. Below is a point-by-point response to the comments received. Please note that Project Architect Aryeh Siegel has addressed comments that are not included in this letter.

John Clarke's April 5, 2018 Comment Letter:

1. To supplement Aryeh Siegel's response, submittals were made through the CRIS system, and their letter of no impact is attached to the EAF.

Lanc & Tully's April 5, 2018 Comment Letter:

General Comments:

1. Attached is a revised I&I report. There were no illicit connections to the sanitary sewer system found.
2. So noted. This is typical of nearly all subdivisions in the City.
3. We agree. As evidenced from the discussion at its April 2018 meeting, we believe that the Planning Board agrees with the current layout; however, it is subject to ZBA granting of area variance. As such, the easements will be shown at such time if the ZBA grants the requested area variance.
4. See response to comment 3 above.

5. See response to comment 3 above.
6. The EAF has been revised to break down the water and sewer generation based on office floor square footage rates typically accepted by the Department of Health and includes the total from the entire site.

Subdivision Plat:

1. The Plat will show all easements following issuance of the requested area variance by the ZBA.

Sheet 4 of 5:

1. The proposed lot 1 sanitary sewer service profile has been updated to provide additional cover.
2. A cleanout has been added to the proposed lot 1 sanitary sewer service line.
2. The easement will be shown for the drainage system once the layout has been accepted.

Sheet 5 of 5:

1. The pavement restoration detail has been revised to show minimum 3.5-inch binder and to add the requested note.
2. Construction details for the proposed sidewalks will be included in future submissions. At this time, we are proposing asphalt sidewalk

Please find enclosed the following materials for the Planning Board's consideration at your next available regularly scheduled meeting:

- Revised Subdivision Plan Set – 5 Sheets (5 copies);
- Subdivision Plat Sheet (5 copies);
- Revised Full EAF (5 copies);
- LWRP Consistency Statement (5 copies);
- Revised I&I report (5 copies);
- CD with all the above documents.

Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in dark ink, appearing to read "Daniel G. Koehler", with a long horizontal flourish extending to the right.

Daniel G. Koehler, P.E.

cc: Norm Schofield (via email)
Aryeh Siegel (via email)
Michael A. Bodendorf, P.E. (HLD File)

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: 1181 North Avenue Professional Building Expansion Project		
Project Location (describe, and attach a general location map): The parcel ID is 5955-19-716048 - see maps		
Brief Description of Proposed Action (include purpose or need): The parcel has frontage on North Avenue (Route 9D) and on Tompkins Avenue in the City of Beacon's R1-7.5 Residential zoning district and the Historic Overlay Zone. There are two existing structures on the parcel, with the primary building being a professional office, and the secondary being a detached garage. The proposed action will call for a subdivision of the approximate 0.74 acre parcel into two separate lots and construction of a professional office building on the newly created lot.		
Name of Applicant/Sponsor: Norm Schofield	Telephone: 845-831-1225	
	E-Mail: dnormschofield@gmail.com	
Address: 1181 North Avenue		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Hudson Land Design Professional Engineering, P.C. c/o Daniel G. Koehler, P.E.	Telephone: 845-440-6926	
	E-Mail: DKoehler@HudsonLandDesign.com	
Address: 174 Main Street		
City/PO: Beacon	State: NY	Zip Code: 12508
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Special Use Permit	5/2018
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Special Use Permit and Site Plan Approval Subdivision Approval; Coastal Consistency	02/27/2018 02/27/2018
c. City Council, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Area Variance	5/2018
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐Yes ☒No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒Yes ☐No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐Yes ☒No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐Yes ☒No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐Yes ☒No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

R1-7.5 Residential Zoning District and the Historic Overlay District.

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?

City of Beacon Police Department

c. Which fire protection and emergency medical services serve the project site?

City of Beacon Fire Department

d. What parks serve the project site?

City of Beacon

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? 0.74 acres

b. Total acreage to be physically disturbed? 0.18 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.74 acres

c. Is the proposed action an expansion of an existing project or use? ☒ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 111% Units: 2,600 sqft floor area

d. Is the proposed action a subdivision, or does it include a subdivision? ☒ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Commercial

ii. Is a cluster/conservation layout proposed? ☐ Yes ☒ No

iii. Number of lots proposed? 2

iv. Minimum and maximum proposed lot sizes? Minimum 14,909 SF Maximum 17,485 SF

e. Will proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 12 months

ii. If Yes:

- Total number of phases anticipated _____

- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

- Anticipated completion date of final phase _____ month _____ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes,	
i. Total number of structures _____ 1	
ii. Dimensions (in feet) of largest proposed structure: _____ <35FT height; _____ 35 FT width; and _____ 50 FT length	
iii. Approximate extent of building space to be heated or cooled: _____ ~2,600 square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No
If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
If Yes:

i. Total anticipated water usage/demand per day: _____ 395 gallons/day (4,940 s.f. total @ 0.08 gpd/s.f.)

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
If Yes:

- Name of district or service area: City of Beacon
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ 395 gallons/day (4,940 s.f. total @ 0.08 gpd/s.f.)

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
If Yes:

- Name of wastewater treatment plant to be used: Beacon Wastewater Treatment Plant
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ _____ _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____ _____ _____</p>		
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____ _____</p>		
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (impervious surface)</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____ _____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>		
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____ N/A</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>Minimal increase anticipated</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): <u>Central Hudson</u></p> <p>iii. Will the proposed action require a new, or an upgrade to, an existing substation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 9am-5pm • Saturday: _____ 11am-5pm • Sunday: _____ • Holidays: _____ </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 9am-5pm • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 9am-5pm • Saturday: _____ 11am-5pm • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 9am-5pm • Saturday: _____ • Sunday: _____ • Holidays: _____
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p style="margin-left: 20px;"><u>Minor increases during construction</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>n.. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p style="margin-left: 20px;"><u>Typical building and parking area lighting - see plans</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ <1 tons per _____ construction duration (unit of time) • Operation : _____ <1 tons per _____ month (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: <u>recyclable materials will not be disposed of as solid waste</u> _____ • Operation: <u>Offices will be equipped with recycle containers</u> _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: <u>Royal Carting</u> _____ • Operation: <u>Royal Carting</u> _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site																																							
<p>a. Existing land uses.</p> <p>i. Check all uses that occur on, adjoining and near the project site.</p> <div style="display: flex; justify-content: space-between;"> <input type="checkbox"/> Urban <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Rural (non-farm) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ </div> <p>ii. If mix of uses, generally describe: _____</p>																																							
<p>b. Land uses and covertypes on the project site.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 40%;">Land use or Covertypes</th> <th style="width: 15%;">Current Acreage</th> <th style="width: 25%;">Acreage After Project Completion</th> <th style="width: 20%;">Change (Acres +/-)</th> </tr> </thead> <tbody> <tr> <td>• Roads, buildings, and other paved or impervious surfaces</td> <td>+/-0.23 Acres</td> <td>+/-0.30 Acres</td> <td>+0.07 Acres</td> </tr> <tr> <td>• Forested</td> <td></td> <td></td> <td></td> </tr> <tr> <td>• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)</td> <td>+/-0.51 Acres</td> <td>+/-0.44 Acres</td> <td>-0.07 Acres</td> </tr> <tr> <td>• Agricultural (includes active orchards, field, greenhouse etc.)</td> <td></td> <td></td> <td></td> </tr> <tr> <td>• Surface water features (lakes, ponds, streams, rivers, etc.)</td> <td></td> <td></td> <td></td> </tr> <tr> <td>• Wetlands (freshwater or tidal)</td> <td></td> <td></td> <td></td> </tr> <tr> <td>• Non-vegetated (bare rock, earth or fill)</td> <td></td> <td></td> <td></td> </tr> <tr> <td>• Other Describe: _____</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)	• Roads, buildings, and other paved or impervious surfaces	+/-0.23 Acres	+/-0.30 Acres	+0.07 Acres	• Forested				• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	+/-0.51 Acres	+/-0.44 Acres	-0.07 Acres	• Agricultural (includes active orchards, field, greenhouse etc.)				• Surface water features (lakes, ponds, streams, rivers, etc.)				• Wetlands (freshwater or tidal)				• Non-vegetated (bare rock, earth or fill)				• Other Describe: _____			
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<p>c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, i. Identify Facilities: _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>e. Does the project site contain an existing dam? If Yes: i. Dimensions of the dam and impoundment: <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet ii. Dam's existing hazard classification: _____ iii. Provide date and summarize results of last inspection: _____ _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____ _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____ _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <input type="checkbox"/> Yes – Spills Incidents database Provide DEC ID number(s): _____ <input type="checkbox"/> Yes – Environmental Site Remediation database Provide DEC ID number(s): _____ <input checked="" type="checkbox"/> Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: _____ _____ _____</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): V00293 , 314069 , 546031 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): <u>Please see the attached documents from the NYSDEC Remediation Database for descriptions of affected sites.</u> _____ _____</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <ul style="list-style-type: none"> If yes, DEC site ID number: _____ Describe the type of institutional control (e.g., deed restriction or easement): _____ Describe any use limitations: _____ Describe any engineering controls: _____ Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No Explain: _____ _____ 																							
E.2. Natural Resources On or Near Project Site																							
a. What is the average depth to bedrock on the project site? _____ >6 feet																							
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %																							
c. Predominant soil type(s) present on project site: <table style="width: 100%; border: none;"> <tr> <td style="border-bottom: 1px solid black; width: 60%;">DwB</td> <td style="border-bottom: 1px solid black; width: 40%; text-align: right;">100 %</td> </tr> <tr> <td style="border-bottom: 1px solid black;"></td> <td style="border-bottom: 1px solid black; text-align: right;">%</td> </tr> <tr> <td style="border-bottom: 1px solid black;"></td> <td style="border-bottom: 1px solid black; text-align: right;">%</td> </tr> </table>		DwB	100 %		%		%																
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d. What is the average depth to the water table on the project site? Average: _____ >6 feet																							
e. Drainage status of project site soils: <table style="width: 100%; border: none;"> <tr> <td style="width: 30px;"><input type="checkbox"/></td> <td style="width: 150px;">Well Drained:</td> <td style="width: 100px; text-align: right;">_____ % of site</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td>Moderately Well Drained:</td> <td style="text-align: right;">100 % of site</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Poorly Drained</td> <td style="text-align: right;">_____ % of site</td> </tr> </table>		<input type="checkbox"/>	Well Drained:	_____ % of site	<input checked="" type="checkbox"/>	Moderately Well Drained:	100 % of site	<input type="checkbox"/>	Poorly Drained	_____ % of site													
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f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border: none;"> <tr> <td style="width: 30px;"><input checked="" type="checkbox"/></td> <td style="width: 150px;">0-10%:</td> <td style="width: 100px; text-align: right;">100 % of site</td> </tr> <tr> <td><input type="checkbox"/></td> <td>10-15%:</td> <td style="text-align: right;">_____ % of site</td> </tr> <tr> <td><input type="checkbox"/></td> <td>15% or greater:</td> <td style="text-align: right;">_____ % of site</td> </tr> </table>		<input checked="" type="checkbox"/>	0-10%:	100 % of site	<input type="checkbox"/>	10-15%:	_____ % of site	<input type="checkbox"/>	15% or greater:	_____ % of site													
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<input type="checkbox"/>	15% or greater:	_____ % of site																					
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____ _____																							
h. Surface water features. <table style="width: 100%; border: none;"> <tr> <td style="width: 80%;">i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?</td> <td style="width: 20%; text-align: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> </tr> <tr> <td>ii. Do any wetlands or other waterbodies adjoin the project site?</td> <td style="text-align: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> </tr> </table> If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i. <table style="width: 100%; border: none;"> <tr> <td style="width: 80%;">iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?</td> <td style="width: 20%; text-align: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> </tr> </table> iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border: none;"> <tr> <td style="width: 10px;">•</td> <td style="width: 100px;">Streams:</td> <td style="width: 300px;">Name _____</td> <td style="width: 100px;">Classification _____</td> </tr> <tr> <td>•</td> <td>Lakes or Ponds:</td> <td>Name _____</td> <td>Classification _____</td> </tr> <tr> <td>•</td> <td>Wetlands:</td> <td>Name _____</td> <td>Approximate Size _____</td> </tr> <tr> <td>•</td> <td>Wetland No. (if regulated by DEC)</td> <td colspan="2">_____</td> </tr> </table>		i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	ii. Do any wetlands or other waterbodies adjoin the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	•	Streams:	Name _____	Classification _____	•	Lakes or Ponds:	Name _____	Classification _____	•	Wetlands:	Name _____	Approximate Size _____	•	Wetland No. (if regulated by DEC)	_____	
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v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____																							
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																							
j. Is the project site in the 100 year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																							
k. Is the project site in the 500 year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																							
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <table style="width: 100%; border: none;"> <tr> <td style="width: 10px;">i.</td> <td style="width: 90%;">Name of aquifer: _____</td> </tr> </table>		i.	Name of aquifer: _____																				
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<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>NA _____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Atlantic Sturgeon, Shortnose Sturgeon, Indiana Bat</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>The above noted species could be located within a mile of the site</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District	
ii. Name: <u>Bogardus--DeWindt House</u>	
iii. Brief description of attributes on which listing is based: <u>Historic house - Architecture</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

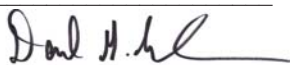
Attach any additional information which may be needed to clarify your project.

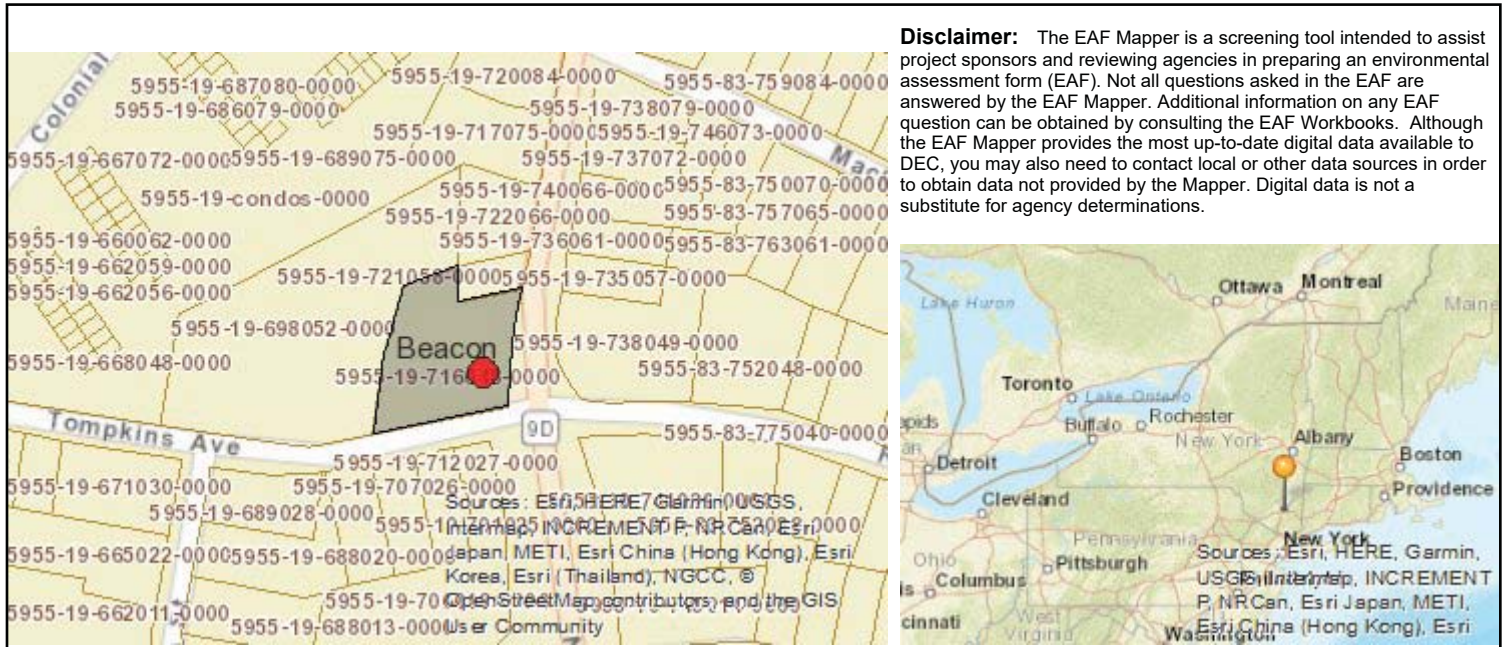
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Daniel G. Koehler, P.E. Date March 27, 2018, rev. April 24, 2018

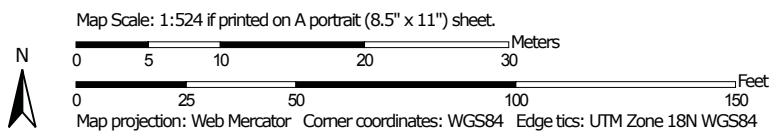
Signature  Title Applicant's Consulting Engineer



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	V00293 , 314069 , 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.o. [Endangered or Threatened Species - Name]	Atlantic Sturgeon, Shortnose Sturgeon, Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	Bogardus--DeWindt House
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Soil Map—Dutchess County, New York
(1181 North Avenue)



MAP LEGEND

Area of Interest (AOI)

Area of Interest (AOI)

Soils

Soil Map Unit Polygons

Soil Map Unit Lines

Soil Map Unit Points

Special Point Features

Blowout

Borrow Pit

Clay Spot

Closed Depression

Gravel Pit

Gravelly Spot

Landfill

Lava Flow

Marsh or swamp

Mine or Quarry

Miscellaneous Water

Perennial Water

Rock Outcrop

Saline Spot

Sandy Spot

Severely Eroded Spot

Sinkhole

Slide or Slip

Sodic Spot

Water Features

Streams and Canals

Transportation

Rails

Interstate Highways

US Routes

Major Roads

Local Roads

Background

Aerial Photography

Spoil Area

Stony Spot

Very Stony Spot

Wet Spot

Other

Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Dutchess County, New York
Survey Area Data: Version 14, Oct 8, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 7, 2013—Feb 26, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
DwB	Dutchess-Cardigan complex, undulating, rocky	0.8	96.5%
DxB	Dutchess-Cardigan-Urban land complex, undulating, rocky	0.0	3.5%
Totals for Area of Interest		0.9	100.0%

Dutchess County, New York

DwB—Dutchess-Cardigan complex, undulating, rocky

Map Unit Setting

National map unit symbol: 9rfn

Elevation: 50 to 1,000 feet

Mean annual precipitation: 41 to 47 inches

Mean annual air temperature: 45 to 50 degrees F

Frost-free period: 115 to 195 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Dutchess and similar soils: 40 percent

Cardigan and similar soils: 30 percent

Minor components: 30 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Dutchess

Setting

Landform: Ridges, hills

Landform position (two-dimensional): Summit

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Loamy till derived mainly from phyllite, slate, schist, and shale

Typical profile

H1 - 0 to 8 inches: silt loam

H2 - 8 to 28 inches: silt loam

H3 - 28 to 86 inches: channery silt loam

Properties and qualities

Slope: 1 to 6 percent

Depth to restrictive feature: More than 80 inches

Natural drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat):

Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water storage in profile: High (about 9.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: B

Hydric soil rating: No

Description of Cardigan

Setting

Landform: Ridges, hills

Landform position (two-dimensional): Summit

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Loamy till or colluvium derived from phyllite, slate, shale, and schist

Typical profile

H1 - 0 to 8 inches: channery silt loam

H2 - 8 to 20 inches: channery loam

H3 - 20 to 30 inches: channery silt loam

H4 - 30 to 34 inches: unweathered bedrock

Properties and qualities

Slope: 1 to 6 percent

Depth to restrictive feature: 20 to 40 inches to lithic bedrock

Natural drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat): Low to moderately low (0.00 to 0.06 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water storage in profile: Low (about 4.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: C

Hydric soil rating: No

Minor Components

Georgia

Percent of map unit: 10 percent

Hydric soil rating: No

Massena

Percent of map unit: 9 percent

Hydric soil rating: No

Nassau

Percent of map unit: 9 percent

Hydric soil rating: No

Rock outcrop

Percent of map unit: 1 percent

Hydric soil rating: Unranked

Sun

Percent of map unit: 1 percent

Landform: Depressions

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Dutchess County, New York

Survey Area Data: Version 14, Oct 8, 2017



Department of
Environmental
Conservation

Environmental Remediation Databases Details

Site Record

Administrative Information

Site Name: Beacon City Landfill (Inactive)

Site Code: 314024

Program: State Superfund Program

Classification: N *

EPA ID Number:

Location

DEC Region: 3

Address: Municipal Park adjacent to Railroad Station

City:Beacon **Zip:** 12508

County:Dutchess

Latitude: 41.508097033

Longitude: -73.986434406

Site Type:

Estimated Size: 5 Acres

Site Owner(s) and Operator(s)

Current Owner Name: CITY OF BEACON

Current Owner(s) Address: 1 MUNICIPAL PLAZA, SUITE 1
BEACON,NY, 12508

Owner(s) during disposal: CITY OF BEACON

Current On-Site Operator: CITY OF BEACON

Stated Operator(s) Address: 1 MUNICIPAL PLAZA, SUITE 1
BEACON,NY 12508

Current On-Site Operator: City of Beacon

Stated Operator(s) Address: 427 Main Street
Beacon,NY 12508

Site Description

This site received municipal, commercial and industrial wastes including wastes from a local dye works. The site has four feet of soil and vegetative cover over a plastic liner. Groundwater discharges to the Hudson River. A Phase I Investigation has been completed. A Phase II Investigation, completed in March of 1991, found no evidence of hazardous waste disposal. Analysis of surface water samples collected from the adjacent Hudson River, revealed no contamination attributable to the former land-

fill. The site is currently used as a public park and is located just north of the Beacon Metro Train station. The site will be referred to the Division of Solid Waste for their continued oversight.

Site Environmental Assessment

There is no evidence of leachate at the site. There is no evidence of surface water contamination attributable to the landfill. No environmental problems exist that can be associated with the disposal of hazardous waste. The site does not qualify for addition to the Registry of Inactive Hazardous Waste Disposal Sites

*** Class N Sites:** "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

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Department of
Environmental
Conservation

Environmental Remediation Databases Details

Site Record

Administrative Information

Site Name: CH - MGP - Beacon Street

Site Code: 314069

Program: State Superfund Program

Classification: N *

EPA ID Number:

Location

DEC Region: 3

Address: River Street

City:Beacon Zip: 12508

County:Dutchess

Latitude: 41.5062354

Longitude: -73.98241136

Site Type:

Estimated Size: 0 Acres

Site Owner(s) and Operator(s)

Current Owner Name: CITY OF BEACON

Current Owner(s) Address: 1 MUNICIPAL PLAZA, SUITE 1
BEACON,NY, 12508

Current Owner Name: GARY BLUM

Current Owner(s) Address: 418 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Gurmukh Singh

Current Owner(s) Address: 428 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Hassan Toy

Current Owner(s) Address: 422 RIVER STREET
BEACON,NY, 12508

Current Owner Name: JOSEPH HARNEY

Current Owner(s) Address: 416 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Jeffrey L. Boetign

Current Owner(s) Address: 424 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Jeffrey Staten

Current Owner(s) Address: 420 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Joseph Stezel

Current Owner(s) Address: 430 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Robert Harrington

Current Owner(s) Address: 426 RIVER STREET
BEACON,NY, 12508

Current On-Site Operator: 7-11

Stated Operator(s) Address:
,NY

Current On-Site Operator: CENTRAL HUDSON GAS & ELECTRIC CORP.

Stated Operator(s) Address: 284 SOUTH AVENUE
POUGHKEEPSIE,NY 126014874

Current On-Site Operator: Central Hudson Gas & Electric Corp.

Stated Operator(s) Address: 284 South Avenue
Poughkeepsie,NY 12601

Site Description

See V00293

Site Environmental Assessment

See V00293. The actual site of the MGP has been redeveloped, and no trace of the original plant or surrounding soils remains. A neighboring property across the street (Dorel Hat) was found to have been impacted by tar which had migrated from the MGP site, and was remediated under V00293.

*** Class N Sites:** "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

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Department of
Environmental
Conservation

Environmental Remediation Databases Details

Site Record

Administrative Information

Site Name: CH - Beacon MGP

Site Code: V00293

Program: Voluntary Cleanup Program

Classification: C

EPA ID Number:

Location

DEC Region: 3

Address: 416 & 418 & 420 & 422 & 424 & 426 &

City: Beacon Zip: 12508

County: Dutchess

Latitude: 41.50621157

Longitude: -73.98240676

Site Type:

Estimated Size: 4 Acres

Site Owner(s) and Operator(s)

Site Description

Site Location: The CHGE Beacon MGP Dorel Hat property is located in a suburban area in the City of Beacon, Dutchess County, N.Y. The site is approximately 4 acres in size, and is bounded by West Main St. to the north, River St. to the east, an open field owned by the Metropolitan Transportation Authority to the south and by Railroad Drive and the Beacon Railroad station to the west. **Site Features:** The main site features include: an approximately 32,000 square foot building surrounded by a grass covered area in the southern portion of the property and an asphalt paved parking lot in the northern half. **Current Zoning/Uses:** The site is currently used for storage and office space and is zoned commercial. The surrounding parcels are commercial and residential. The nearest residential area is comprised of townhouses located approximately 100 feet to the east on River St. **Past Uses of the Site:** The 1 Main Street site is adjacent to a former manufactured gas plant (MGP). The MGP, located on River Street, operated from 1871 to approximately 1946. **Operable Units (OU)** The site was divided into 2 Operable Units. An operable unit represents a portion of a remedial program for a site that for technical or administrative reasons can be addressed separately to investigate, eliminate or mitigate a release, threat of release or exposure pathway resulting from the site contamination

Operable Unit 1 (OU1) consists of the MGP site itself, which has since been redeveloped for residential use. It appears that all contaminated soils were removed prior to redevelopment. No significant amounts of MGP contamination were found to remain at the former MGP site, and it was determined that no further action was required. A release letter for the Beacon MGP was issued under the VCA on January 31, 2002. Operable Unit 2 (OU2) consists of the property across the street from the MGP, known as the Dorel Hat property. The majority of MGP contaminated soil was removed during an IRM conducted in 2007. On September 12, 2007 the Dorel Hat property was transferred to the Metropolitan Transportation Authority. On July 15, 2011 the Metropolitan Transportation Authority filed a Deed Restriction by which it is required to comply with the Department approved Site Management Plan. Site Geology/Hydrogeology: The site is underlain by unconsolidated sand and silt deposits to a depth of approximately 8 feet. Below these, a 4 foot thick clay layer lies above the slate bedrock. Groundwater on the site flows toward the Hudson River, to the west.

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

other

coal tar

Site Environmental Assessment

The primary contaminant is coal tar which contains PAHs and BTEX compounds. The majority of coal tar contaminated soil was removed during an IRM conducted in 2007. Due to the presence of the Dorel Hat building, a force sewer Main and a gas line on the site, some of the coal tar contaminated soil was not removed and remains in the subsurface under the building and to the east of the building. The coal tar is located at a depth of approximately 5 to 10 feet below the ground surface. Beneath the building, sub-slab soil vapor exceeds guidance values for indoor air. A sub-slab depressurization vapor mitigation system prevents sub-slab vapor from entering the building. Groundwater on the site exceeds Groundwater Quality Standards for VOCs, SVOC's, Metals and Pesticides. The area is supplied by a public water supply.

Site Health Assessment

Measures are in place to control the potential for coming in contact with sub-surface soil and groundwater contamination remaining at the site. People are not drinking the contaminated groundwater because the site is served by a public water supply that is not affected by this contamination. Volatile organic compounds in groundwater may move into the soil vapor (air spaces within the soil), which in turn may move into overlying buildings and affect the indoor air quality. This process, which is similar to the movement of radon gas from the subsurface into the indoor air of buildings is referred to as soil vapor intrusion. A sub slab depressurization system (systems that ventilate/remove the air beneath the building) has been installed in the on-site building to prevent the

indoor air quality from being affected by the contamination in soil vapor beneath the building. Sampling indicates soil vapor intrusion is not a concern for off-site buildings.

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Department of
Environmental
Conservation

Environmental Remediation Databases Details

Site Record

Administrative Information

Site Name: Beacon Salvage Property

Site Code: V00444

Program: Voluntary Cleanup Program

Classification: N *

EPA ID Number:

Location

DEC Region: 3

Address: Red Flynn Drive

City: Beacon **Zip:** 12508-

County: Dutchess

Latitude: 41.50846007

Longitude: -73.98644763

Site Type:

Estimated Size: 4.2 Acres

Site Owner(s) and Operator(s)

Current Owner Name: SCENIC HUDSON LAND TRUST, INC.

Current Owner(s) Address: 9 VASSAR STREET
POUGHKEEPSIE, NY, 12601

Site Description

This site along with Site #V0096 Ferry Road Waterfront Site have been combined into BCP Site #C314112 Long Dock Beacon Site.

Site Environmental Assessment

Site transitioned into BCP. See Long Dock Beacon Site, Site No. 314112.

* **Class N Sites:** "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of

unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

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ANDREW M. CUOMO
Governor

Parks, Recreation, and Historic Preservation

ROSE HARVEY
Commissioner

April 19, 2018

Mr. Clayton Bodendorf
Hudson Land Design
174 Main Street
Beacon, NY 12508

Re: SEQRA
Office Building - 1181 North Avenue
1181 North Ave, Beacon, NY 12508
18PR02218

Dear Mr. Bodendorf:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP) as part of your SEQRA process. These comments are those of OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

There are no known historic properties wholly or partially within, or substantially contiguous to the project area that are recommended for listing or listed in the State and/or National Registers of Historic Places (S/NRHP). Therefore, under SEQRA we have no comments regarding potential impacts to architectural or archaeological resources.

However, our review does not include potential impacts to architectural or archaeological resources that may be eligible for the registers. If the lead agency concludes that additional studies would be beneficial to identify and/or assess potential impacts to archeological and historic resources eligible for the registers, the OPRHP would be pleased to provide additional guidance.

If this project will involve state or federal permitting, funding or licensing, it may require a more rigorous review for potential impacts to architectural and archaeological resources, in accordance with Section 106 of the National Historic Preservation Act or Section 14.09 of NYS Parks Recreation and Historic Preservation Law.

Sincerely,

Michael F. Lynch, P.E., AIA
Director, Division for Historic Preservation

Cc: Etha Grogan, City of Beacon

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • www.nysparks.com



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

February 27, 2018
Revised April 24, 2018

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: Infiltration and Inflow Investigation
1181 North Avenue Professional Building Subdivision and Special Use Permit
1181 North Avenue
City of Beacon, New York
Tax ID: 5955-19-716048 (± 0.70 acres)

Dear Chairman Gunn,

Hudson Land Design (HLD) has completed an infiltration and inflow investigation at the above referenced parcel as required by the City of Beacon. The investigation was conducted on January 08, 2018 at the existing building located at 1181 North Avenue, which consists of a two-story framed building. Follow up investigations were performed on April 17 and 18, 2018.

The first phase of the study consisted of an exterior inspection of the building to determine the location of roof leader discharge points. The two-story building has a "Hip" roof consisting of multiple hips and ridges, as well as a covered front porch. There are multiple roof leaders discharging from the existing building.

From the January investigation, it was determined that the building has approximately ten (10) downspouts that collect and conveys the runoff to underground PVC piping. It was presumed that the PVC piping discharged into the two catch basins in the existing parking lot. The one gutter, not entering an underground pipe, discharges to the surface in the grassed area and flows towards an existing catch basin. The presumed discharge was not tested as weather did not permit.

The second phase of the January 2018 study consisted of interior inspection of the building in an attempt to determine if there are any illicit connections to the building sewer line from sump pumps, floor drains and the like. HLD personnel were able to

observe sections of interior sanitary sewer plumbing to the point where the piping was routed through the easterly foundation wall of the residence (located generally in the northeast corner of the building). The pipe reputedly collects the wastewater from the residence and then flows easterly towards the City of Beacon's North Avenue sanitary sewer collection system. At no point along the length of the visible portion of the line did HLD personnel observe any discharges other than from the standard plumbed fixtures.

There was one (1) sump pump observed in the basement. The sump pump was observed to pump collected water through the southern foundation wall towards into the same underground collection system for the roof drainage. No floor drains were observed at 1181 North Avenue.

The April 2018 investigation sought to corroborate the presumed discharge location of the PVC piping. Water was piped into the PVC piping at the roof downspout locations from a hose. Referring to the attached sketch, the downspout locations color coded in red were found to discharge into the existing catch basin also color coded in red. These were generally the downspouts on the north side of the building.

For the southern downspout locations, water was added but not directly observed entering into the onsite catch basins. HLD personnel then returned to the site on April 18, 2018 and added dye at the southern downspout locations and determined that those discharge directly into the existing storm pipe discharge from the southern onsite catch basin. These have been color coded blue on the attached sketch. The one roof discharge to the surface has been color coded green.

Based on the above, there were no illicit discharges from the existing building to the City's sanitary sewer system observed.

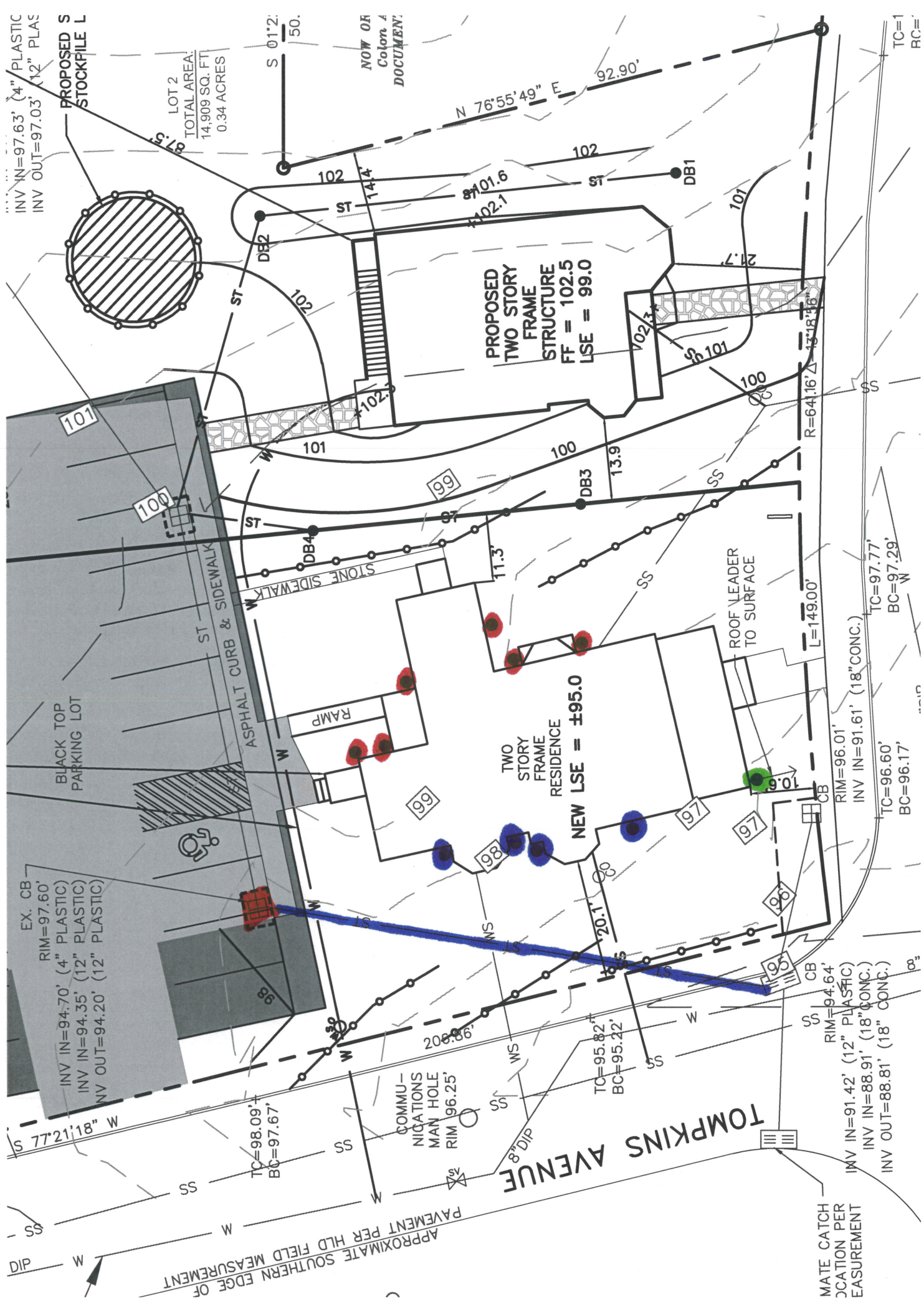
Should you have any questions, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel G. Koehler", with a long horizontal flourish extending to the right.

Daniel G. Koehler, P.E.
Principal

cc: Dr. Norm Schofield (via email)
Jon D. Bodendorf, P.E. (HLD file)



LWRP Consistency Statement

1181 North Avenue

The Property is located within the City of Beacon's Waterfront Revitalization Management Area. The City's Local Waterfront Revitalization Plan ("LWRP") does not specifically address the parcel under consideration for this application, however, the property is located in the historic district, and in proximity to listed viewsheds, although it is not specifically impacting a viewshed.



All reviewing agencies must ensure actions impacting this coastal area are consistent with the City's Local Waterfront Revitalization Plan ("LWRP").¹ Where coordinated review is undertaken, the Consistency determination is made by the Lead Agency.

C&F: 3491920.1

ARYEHSIEGEL

ARCHITECT

This report analyzes the manner in which the design of 1181 North Avenue is consistent with the LWRP Coastal policies affecting this application.

The below represents an overview image of the Property.



Policy 23 provides – “Protect, enhance and restore structures, districts, areas or sites that are of significance in the history, architecture, archeology or culture of the state, its communities or the nation.”

Policy 23 further explains that “Protection must include concern not just with specific sites but with areas of significance, and with the area around specific sites. Protection must include concern not just with specific sites but with areas of significance, and with the area around specific sites. The policy is not to be construed as a passive mandate but must include effective efforts when appropriate to restore or revitalize through adaptive reuse. While the program is concerned with the preservation of all such resources within the coastal boundary, it will actively promote the preservation of historic and cultural resources which have a coastal relationship.”

Policy 23 describes the suggestions for properties included in the historic district:

5. A local landmark, park, or locally designated historic district that is located within the boundary of an approved local waterfront revitalization program. All proposed actions within 500 feet of the perimeter of the property boundary of the historic, architectural, cultural, or archeological resource and all actions within an historic district that would be incompatible with

ARYEHSIEGEL

ARCHITECT

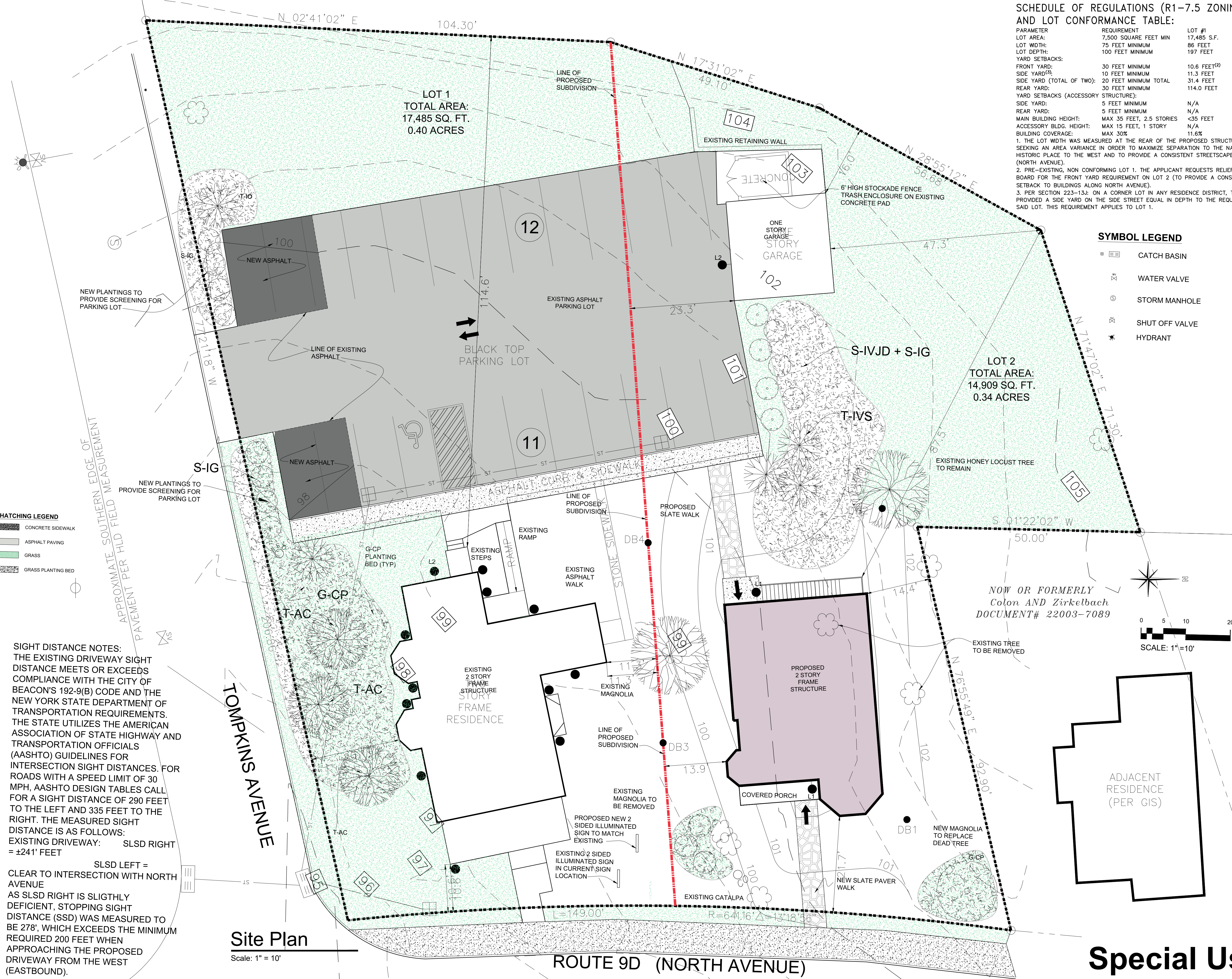
the objective of preserving the quality and integrity of the resource. Primary considerations to be used in making judgement about compatibility should focus on the visual and locational relationship between the proposed action and the special character of the historic, cultural, or archeological resource. Compatibility between the proposed action and the resource means that the general appearance of the resource should be reflected in the architectural style, design material, scale, proportion, composition, mass, line, color, texture, detail, setback, landscaping and related items of the proposed actions. Within historic districts this would include infrastructure improvements or changes, such as, street and sidewalk paving, street furniture and lighting.

The subject property falls within an established historic district. The applicant contends that the project enhances the historic district by adding a historically styled new building to a street wall that is currently missing a building in the proposed location. The new building fills in what appears to be a missing piece in the street wall, and screens views of the existing parking lot currently visible from the street.

Policy 25 provides – “Protect, restore, and enhance natural and manmade resources which are not identified as being of state-wide significance, but which contribute to the scenic quality of the coastal area”

The subject property does not specifically affect listed viewsheds, but it is nearby viewsheds overlooking the waterfront and river. The project does not negatively impact any viewsheds.

Based on a review of Policy 23 and Policy 25, the Project is consistent with the City of Beacon LWRP as it relates to the subject Property.



SIGHT DISTANCE NOTES:
THE EXISTING DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:
EXISTING DRIVEWAY: SLSD RIGHT = ±241' FEET
SLSD LEFT = CLEAR TO INTERSECTION WITH NORTH AVENUE
AS SLSD RIGHT IS SLIGHTLY DEFICIENT, STOPPING SIGHT DISTANCE (SSD) WAS MEASURED TO BE 278', WHICH EXCEEDS THE MINIMUM REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FROM THE WEST (EASTBOUND).

Site Plan
Scale: 1" = 10'

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	7,500 SQUARE FEET MIN	17,485 S.F.	14,909 S.F.
LOT WIDTH:	75 FEET MINIMUM	86 FEET	62 FEET ⁽¹⁾
LOT DEPTH:	100 FEET MINIMUM	197 FEET	181 FEET
YARD SETBACKS:			
FRONT YARD:	30 FEET MINIMUM	10.6 FEET ⁽²⁾	21.7 FEET ⁽²⁾
SIDE YARD ⁽³⁾ :	10 FEET MINIMUM	11.3 FEET	13.9 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	31.4 FEET	28.3 FEET
REAR YARD:	30 FEET MINIMUM	114.0 FEET	87.5 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	N/A	16.0 FEET
REAR YARD:	5 FEET MINIMUM	N/A	47.3 FEET
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15 FEET
BUILDING COVERAGE:	MAX 30%	11.6%	13.1%

1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. THE APPLICANT IS SEEKING AN AREA VARIANCE IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETSCAPE ALONG ROUTE 9D (NORTH AVENUE).
2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE).
3. PER SECTION 223-13J: ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1.

SYMBOL LEGEND

- CATCH BASIN
- WATER VALVE
- STORM MANHOLE
- SHUT OFF VALVE
- HYDRANT

Zoning Summary

Zoning District:	R1-7.5 (One Family)
Tax Map No.:	5955-19-716048
Existing Lot Area:	0.74 acres (32,394 sf)
Proposed Subdivided Lot Areas:	
Lot 1:	0.40 acres (17,485 sf)
Lot 2:	0.34 acres (14,909 sf)
Proposed Building Footprint:	1,300 Square Feet
Historical Overlay District:	Yes
Parking Overlay District:	No
Existing Use:	Office Building
Proposed Use:	Office Building
	Sub-divide property to create new office building on new lot

Parking & Loading

Parking Requirements	Area	Parking Requirement
Office / Professional Use		
Proposed Office Building		
1 space for each 200 square feet gross floor area per current Zoning Code requirements	2,600	13 Spaces
Existing Office Building to Remain		
Previously approved requirement of 1 space for each 250 square feet of gross floor area	2,340 SF	10 Spaces
Total Required Parking Spaces		23 Parking Spaces
Total Proposed Parking Spaces		23 Parking Spaces

Notes:

- The proposed Office use is allowed by Special Use Permit issued by the City Council.
- The siting of the proposed building on the newly created parcel fills a void in the continuous street frontage common along both sides of this block; and reinforces the historical nature of the original city plan along this length of North Avenue. The building screens the existing parking lot towards the rear of the property.
- The proposed and existing lots, after subdivision, will comply with bulk requirements for the R1-7.5 Zoning District, thereby making simpler a potential future conversion to residential use in either or both buildings.
- The proposed building complies with Zoning for setbacks and height.
- Office hours are 7:00am to 10:00 pm, Monday through Sunday, inclusive.
- The existing business identification sign is proposed to remain in it's current location between the new and existing buildings. The sign is proposed to be lit with a shielded, concealed light source 12 watt LED strip fixture.

DOCUMENT# 2

Index of Drawings

Sheet 1 of 5	Site Plan
Sheet 2 of 5	Existing Conditions Survey & Planting
Sheet 3 of 5	Floor Plans & Elevations
Sheet 4 of 5	Grading & Utility Plan
Sheet 5 of 5	Construction Details

REVISIONS:				
NO.	DATE	DESCRIPTION	BY	
1	03/27/18	REVISED PER PLANNING BOARD COMMENTS	AJS	
2	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS	

Special Use Permit Application
Sheet 1 of 5 - Site Plan

SURVEY NOTES:

1. THE PARCEL SHOWN HEREON ARE GENERALLY AS DESCRIBED IN LIBER 1884 PAGE 688 RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE.
2. SUBJECT TO ANY EASEMENTS AND/OR RIGHTS OF WAY THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
3. SURVEYED AS PER RECORD DEED, EXISTING MONUMENTATION, RECORDED AND UNRECORDED MAPS.
4. NEW YORK STATE DEPARTMENT OF TRANSPORTATION ONLY APPROPRIATED THAT LAND SHOWN AND DELINIATED ON MAP NO. 6, PARCEL 8, MAP NO. 6, PARCEL 56 IS A PERMANENT EASEMENT ENCUMBERING THE PROPERTY SHOWN HEREON AND WAS NOT ACQUIRED IN FEE. THIS MAP IS ON FILE AT THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REGIONAL OFFICE NO. 8 LOCATED IN POUGHKEEPSIE, NEW YORK.

MAP REFERENCE:

1. "SURVEY AS PREPARED FOR NORMINGTON J. SCHOFIELD" DATED MARCH 4, 2001 AS PREPARED BY DENNIS E. WALDEN, LAND SURVEYOR, N.Y.S. LICENSE NO. 49555.

TOTAL PARCEL AREA:

±32,394 S.F. OR ± 0.74 ACRE

TAX MAP REFERENCE:

CITY OF BEACON 5955-19-716048

VERTICAL DATUM:

ASSUMED

FLOOD BOUNDARY:

1. SUBJECT PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) PER PANEL 36027C0463E DATED MAY 2, 2012.

WETLAND NOTE:

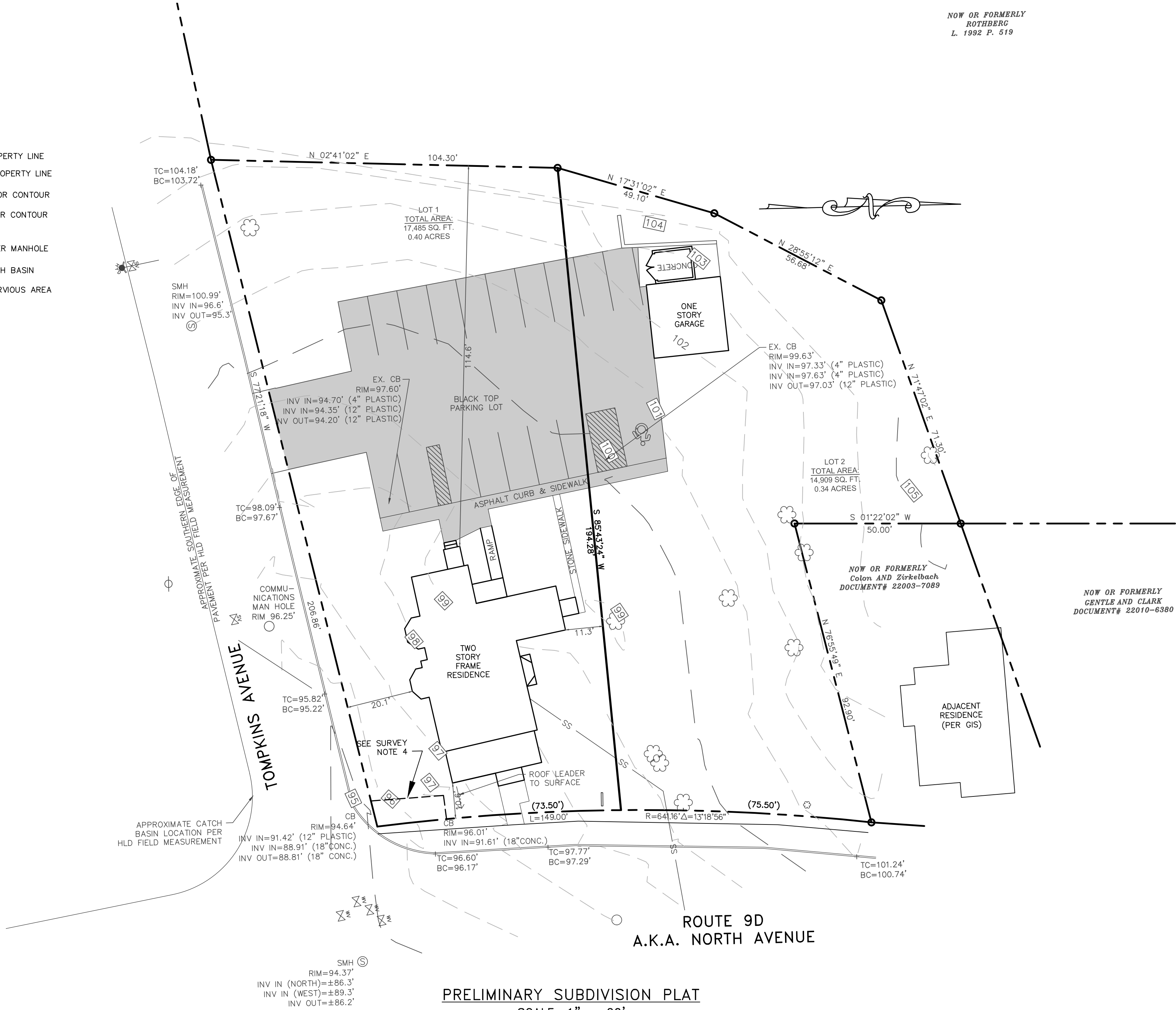
1. NO NYSDEC OR FEDERAL WETLANDS WERE FOUND ONSITE.

PROPOSED EASEMENT NOTE:

1. AN EASEMENT FOR THE BENEFIT OF LOT 2 THROUGH LOT 1 FOR THE PURPOSES OF PROVIDING ACCESS, PARKING AND WATER SERVICE WILL BE REQUIRED. THE EASEMENT WILL BE FINALIZED AS THE PLANNING PROCESS ADVANCES TO A POINT WHERE THE SERVICE LINE HAS BEEN GENERALLY ACCEPTED.

LEGEND

	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SEWER MANHOLE
	EXISTING CATCH BASIN
	EXISTING IMPERVIOUS AREA



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OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON DECEMBER 24, 2017.

By: John J. Post, Jr., L.L.S. N.Y. State Lic. no. 50643

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	3/27/2018	PER PLANNING BOARD COMMENTS	DGK
2	4/24/2018	NO CHANGES THIS SHEET	DGK

Owner:
North Avenue Properties, LLC
1181 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

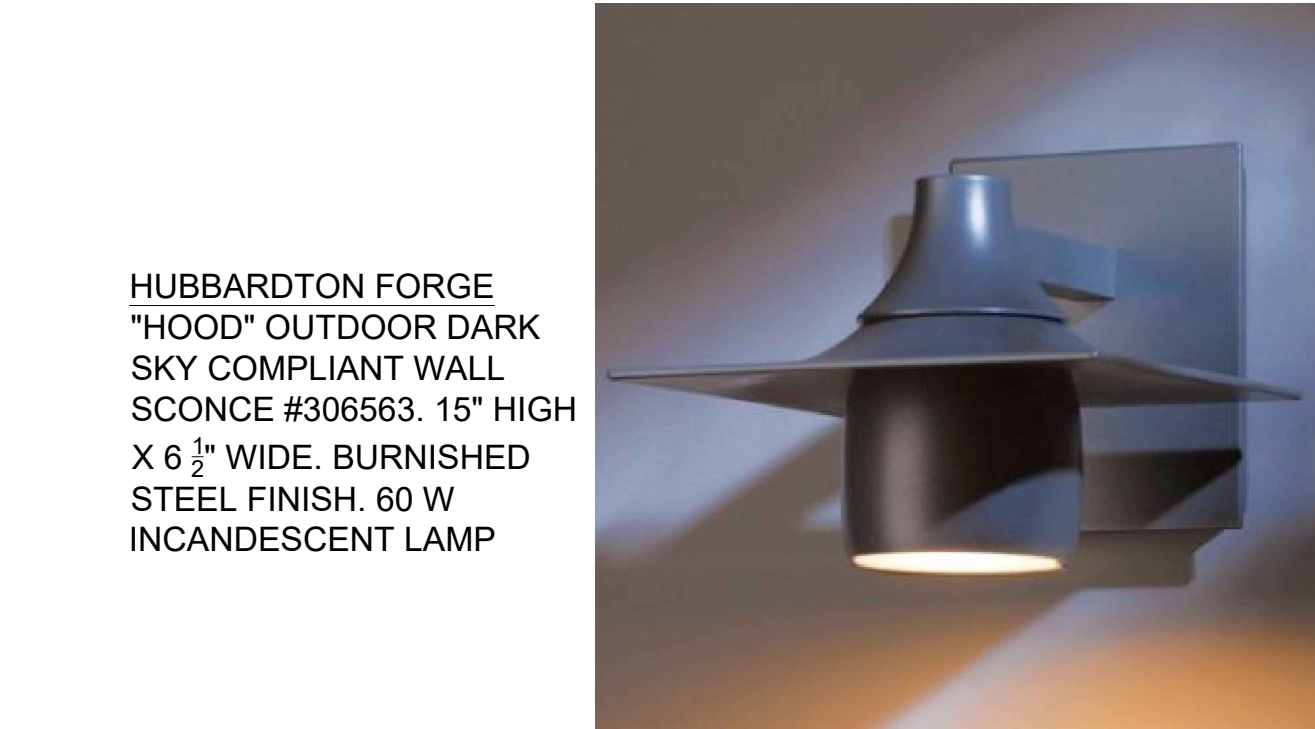
Surveyor:
John J. Post, Jr.
PO Box 827
Stone Ridge, New York 12484

Landscape Designer:
Landscape Restorations
P.O. Box 286
Beacon, New York 12508

Subdivision Application

Sheet 1 of 1 - Preliminary Subdivision Plat

Office Building - 1181 North Avenue
Beacon, New York
Scale: As Noted
February 27, 2018



HUBBARDTON FORGE
"HOOD" OUTDOOR DARK
SKY COMPLIANT WALL
SCONCE #306563. 15" HIGH
X 6 1/2" WIDE. BURNISHED
STEEL FINISH. 60 W
INCANDESCENT LAMP

L1: Wall Mounted

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

Lighting

Not to Scale



Norman Schofield Office Building 1181 North Ave Beacon NY

February 27 2018

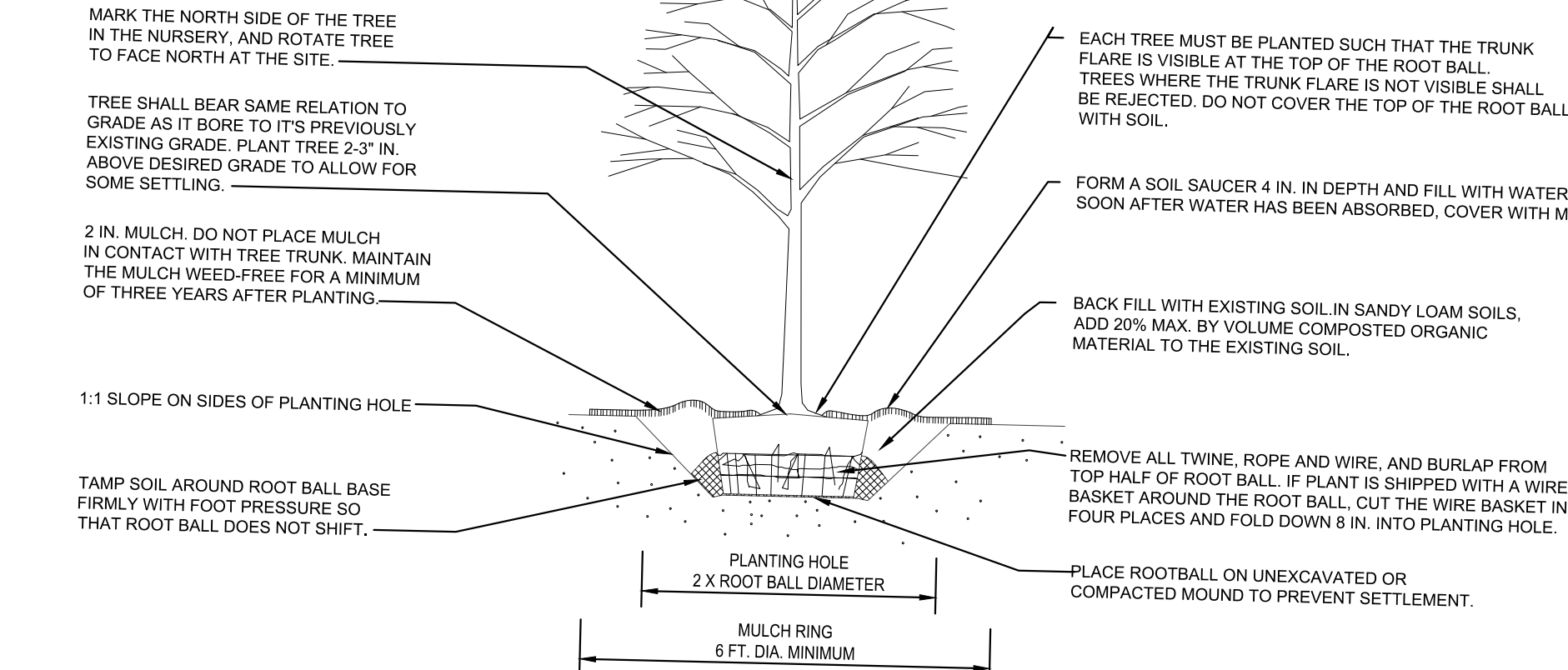
NURSERY: North Creek and Hardscrabble

Botanical Name	Common Name	Key	Type	Quantity	Size	Notes
<i>carex pensylvanica</i>	Oak Sedge	G-Cp	Grass	500	10 Tray	Plugs
<i>ilex glabra</i>	Inkberry	H-Ig	Shrub	11	7 gallon	
<i>ilex verticillata</i> "Jim Dandy"	male for Sparkleberry	S-ivD	Shrub	3	3 gallon	
<i>rhododendron maximum</i>	Rhododendron	S-Rm	Shrub	3	4-5'	Heavy Rootball
<i>amelanchier canadensis</i>	Serviceberry	T-Ac	Tree	3	5-7'	Balled and Burlap
<i>ilex opaca</i>	Holly	T-lo	Tree	2	6-7'	Balled and Burlap
<i>ilex verticillata</i> 'Sparkleberry'	Sparkleberry Tree	T-ivS	Tree	3	5'	
<i>magnolia virginiana</i>	American Magnolia	T-Mv	Tree	1	7'	Balled and Burlap

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

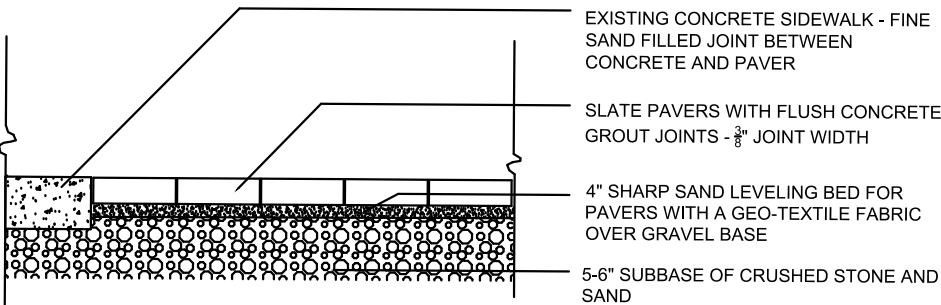
STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE DESIGNER.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE DESIGNER.



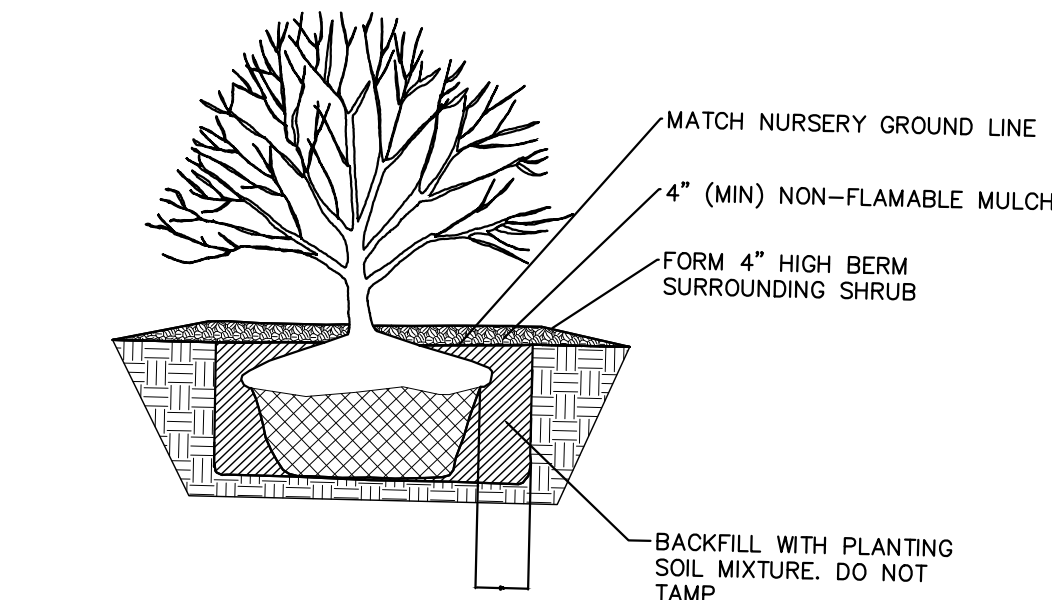
TREE PLANTING DETAIL

NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8 FT. SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.



Slate Paver Detail

Not to Scale



NOTE
1. WATER PER NURSERY SPECIFICATIONS IMMEDIATELY FOLLOWING PLANTING.
2. DETAIL IS FOR BOTH BALL & BURLAPPED OR CONTAINERED SHRUBS.

SHRUB PLANTING DETAIL

NOT TO SCALE

NOTES:

- The parcel shown hereon are generally as described in Liber 1884 Page 688 recorded in the Dutchess County Clerk's Office.
- Subject to any easements and/or rights of way that an accurate up to date abstract of title may show.
- Surveyed as per record deed, existing monumentation, recorded and unrecorded maps.
- New York State Department of Transportation only appropriated that land shown and delineated on Map No. 6, Parcel 8. Map No. 6, Parcel 56 is a permanent easement encumbering the property shown hereon and was not acquired in fee. This map is on file at the New York State Department of Transportation Regional Office No. 8 located in Poughkeepsie, New York.

MAP REFERENCE:

"Survey prepared for Normington J. Schofield" dated March 4, 2001 as prepared by Dennis E. Walden, Land Surveyor, N.Y.S. License No. 49555.

TAX MAP REFERENCE:

CITY OF BEACON 5955-19-716048

VERTICAL DATUM:

ASSUMED

Survey

Scale: 1" = 20'

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/27/18	NO CHANGE	AJS
2	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

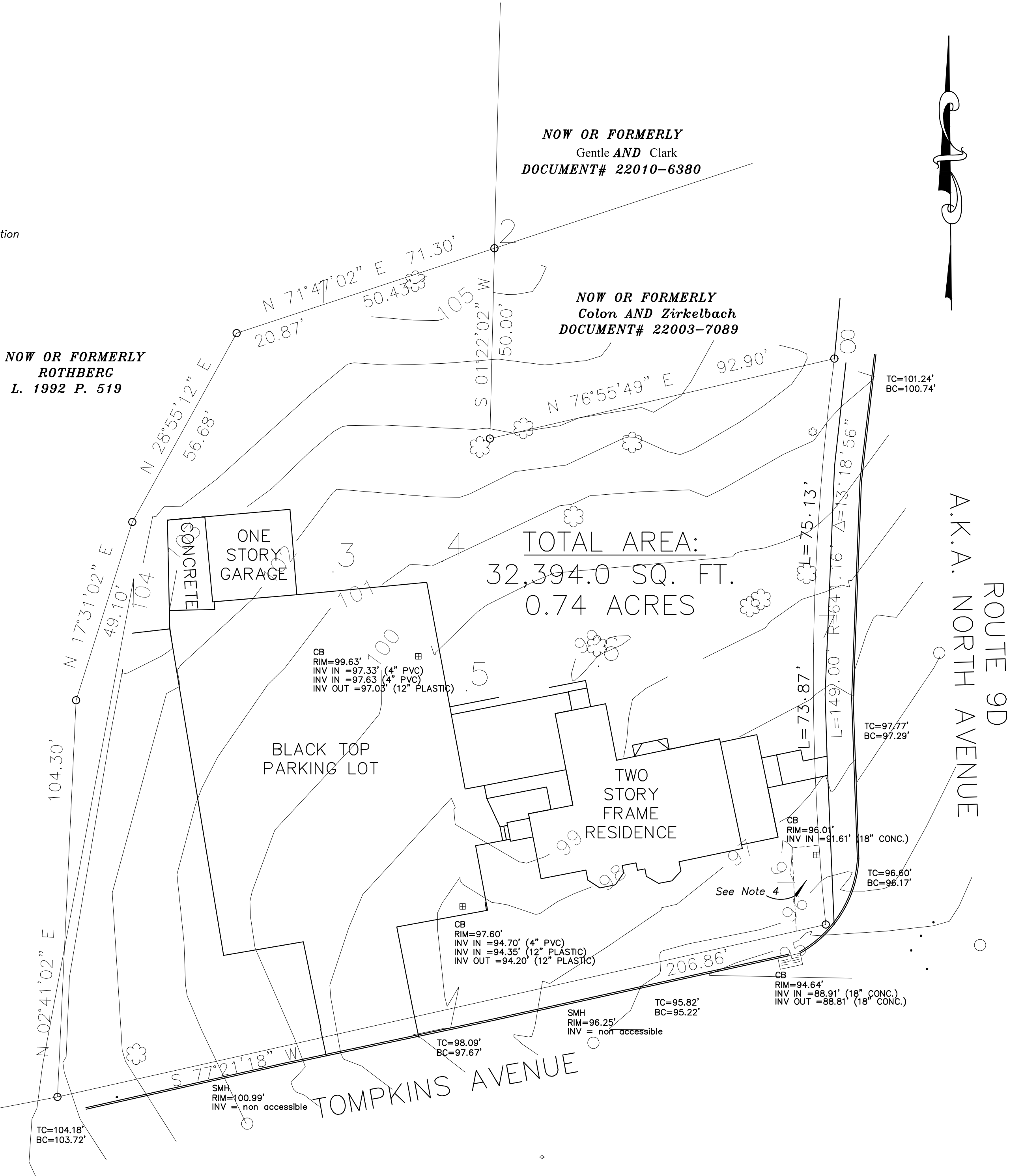
DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



Special Use Permit Application

Sheet 2 of 5 - Existing Conditions Survey Plan / Planting Schedule

Owner:
North Avenue Properties, LLC

1181 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect

514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design

174 Main Street
Beacon, New York 12508

Surveyor:
John J. Post, Jr.

P.O. Box 827
Stone Ridge, New York

Landscape Designer:
Landscape Restorations

P.O. Box 286
Beacon, New York 12508

Office Building - 1181 North Avenue

Beacon, New York
Scale: As Noted
February 27, 2018



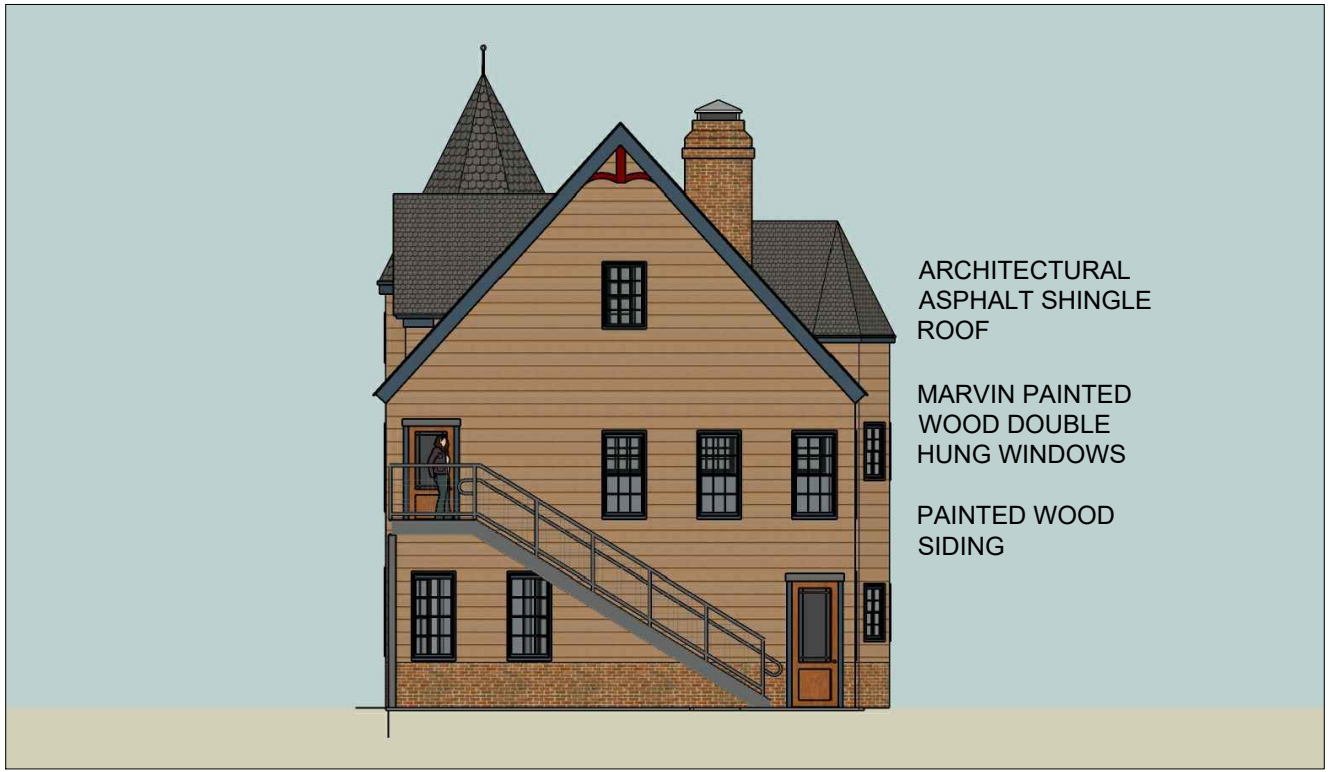
Elevation: East



Elevation: North



Elevation: South



Elevation: West

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/27/18	REVISED FLOOR PLANS ONLY	AJS
2	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS

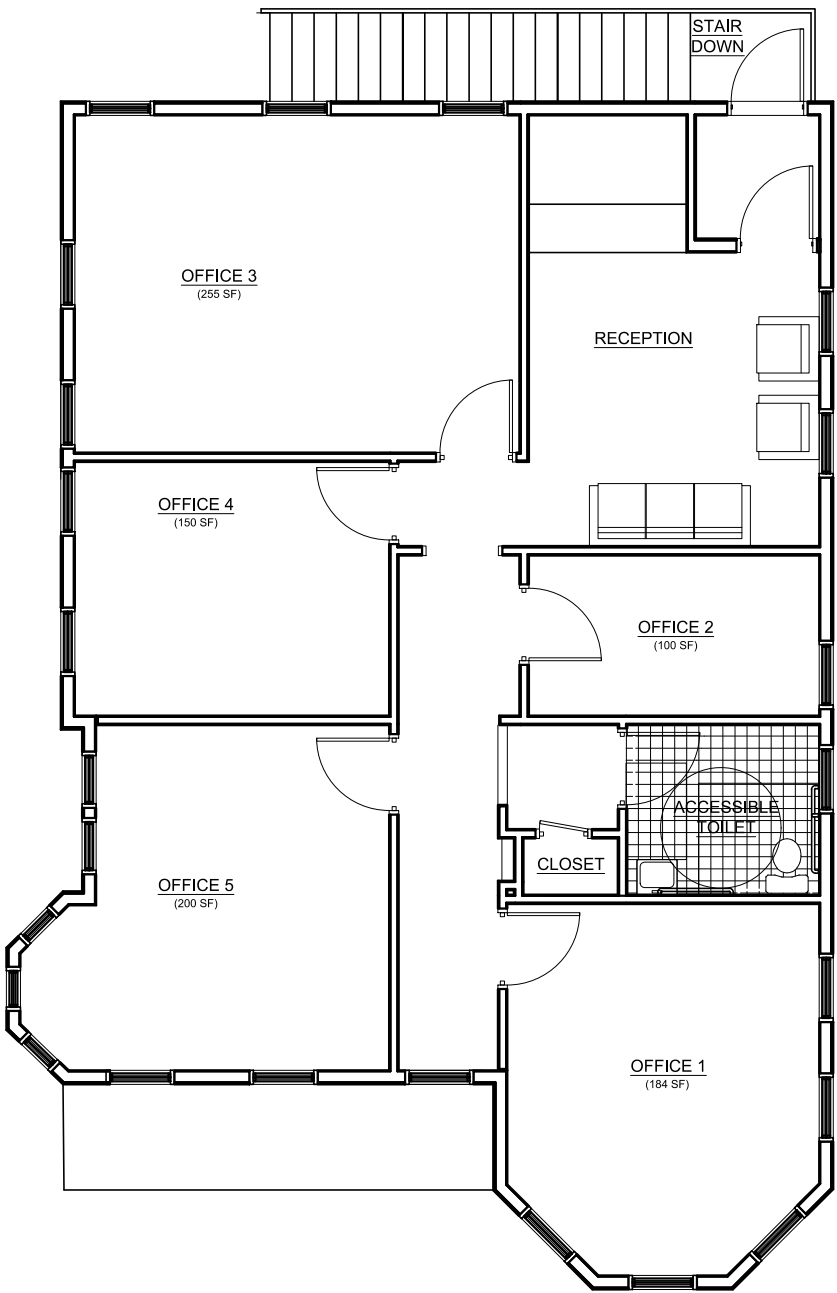
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

_____, CHAIRMAN

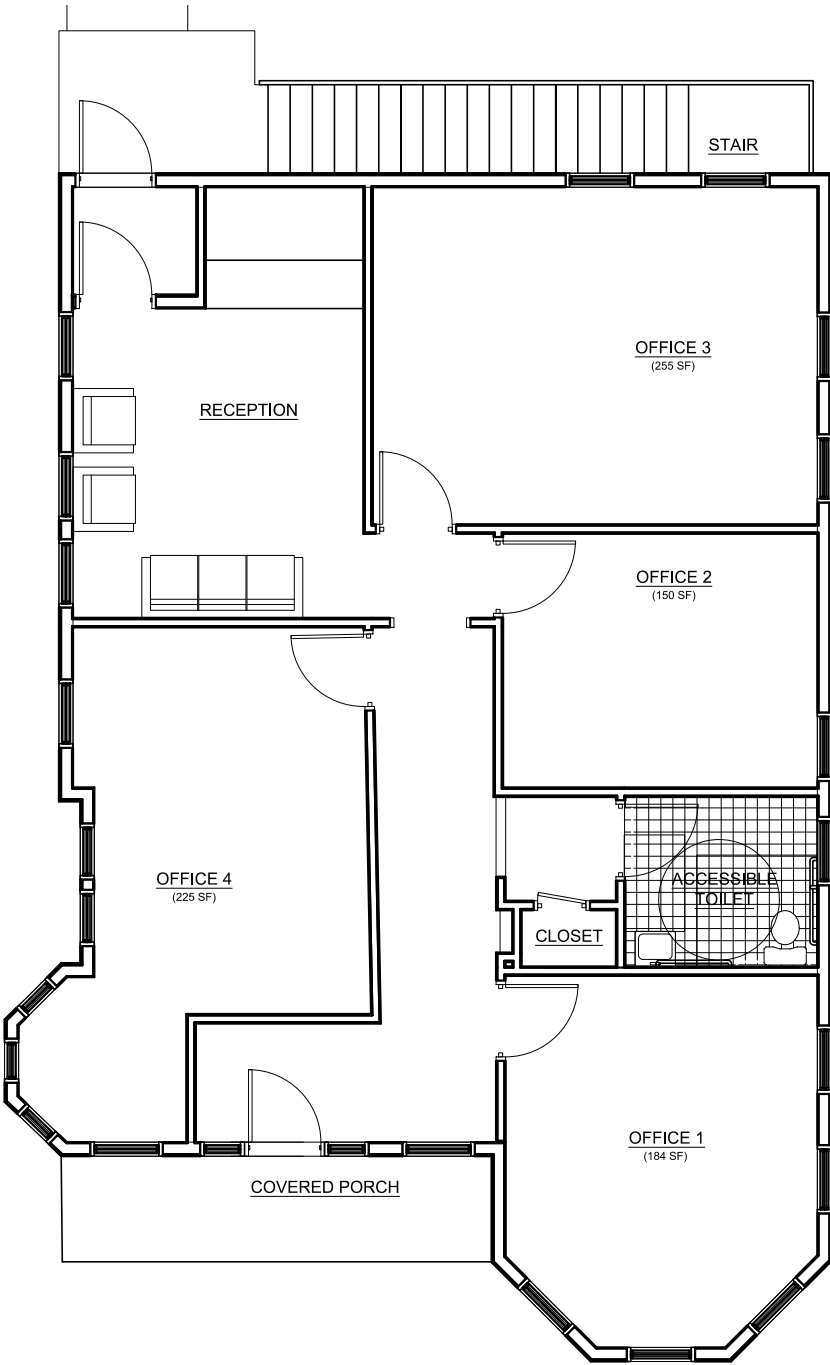
_____, SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



Proposed 2nd Floor Plan

Scale: 1/8" = 1'-0"



Proposed 1st Floor Plan

Scale: 1/8" = 1'-0"



View



View



View



View



View

Special Use Permit Application

Sheet 3 of 5 - Renderings

EROSION AND SEDIMENT CONTROL NOTES

1. THE PROJECT IS NOT SUBJECT TO PREPARATION OF A SWPPP DUE TO THE AMOUNT OF SOIL DISTURBANCE PROPOSED. HOWEVER, EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED TO LIMIT THE TRANSPORT OF SEDIMENT OFFSITE.
2. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
3. ALL STORMWATER MANAGEMENT STRUCTURES (E.G. SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
4. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. ANY PILE OF POTENTIALLY ERODIVE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
6. PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
7. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
8. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
9. THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
10. THE CITY MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
11. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
12. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED SUBJECT TO APPROVAL BY THE CITY.

INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

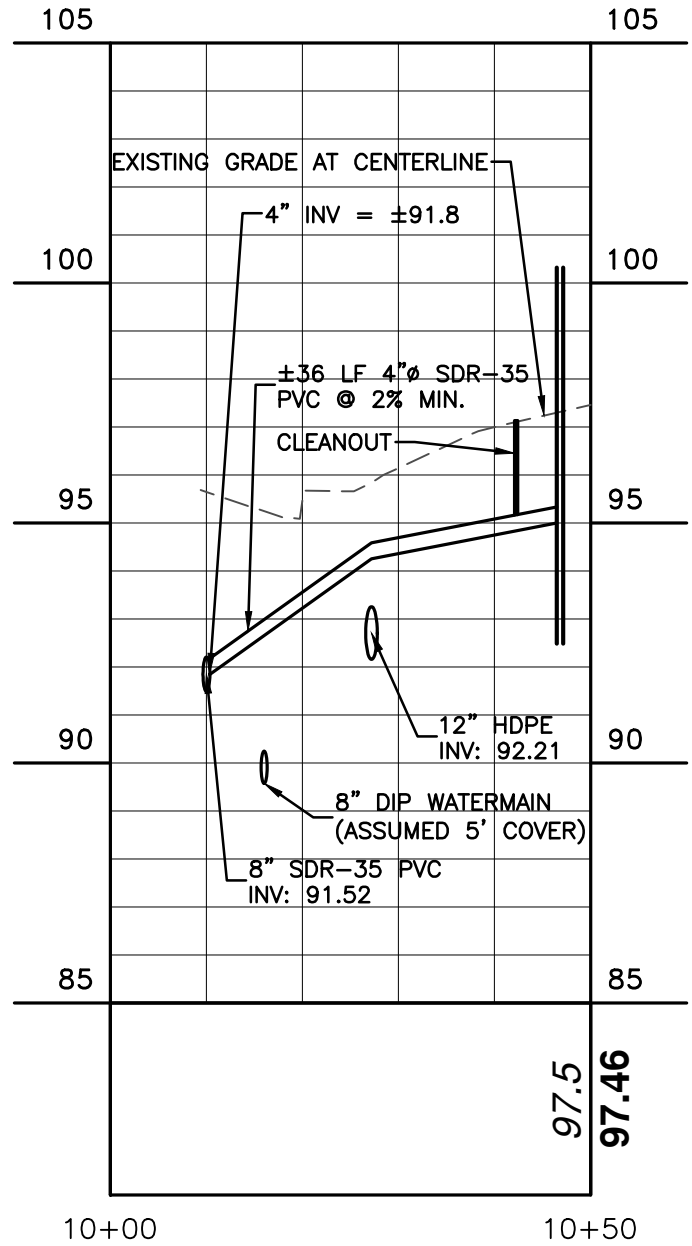
SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

DEWATERING PITS:
(IF REQUIRED) - INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DISMANTLED AND NEW PITS SHALL BE CONSTRUCTED AS NEEDED.

CATCH BASINS:
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. THE INLET PROTECTION SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED.

PUBLIC ROADWAYS:
IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. THIS SHALL BE DONE AS NEEDED DURING THE COURSE OF CONSTRUCTION, AND AT THE END OF EACH WORK DAY.



PROPOSED SANITARY SEWER SERVICE – LOT 1
1:4 VERTICAL
1:20 HORIZONTAL

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:				
PARAMETER	REQUIREMENT	LOT #1	LOT #2	
LOT AREA:	7,500 SQUARE FEET MIN	17,485 S.F.	14,909 S.F.	
LOT WIDTH:	75 FEET MINIMUM	86 FEET	62 FEET ⁽¹⁾	
LOT DEPTH:	100 FEET MINIMUM	197 FEET	181 FEET	
YARD SETBACKS:				
FRONT YARD:	30 FEET MINIMUM	10.6 FEET ⁽²⁾	21.7 FEET ⁽²⁾	
REAR YARD:	10 FEET MINIMUM	11.3 FEET	13.9 FEET	
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	31.4 FEET	28.3 FEET	
REAR YARD:	30 FEET MINIMUM	114.0 FEET	87.5 FEET	
YARD SETBACKS (ACCESSORY STRUCTURE):				
SIDE YARD:	5 FEET MINIMUM	N/A	16.0 FEET	
REAR YARD:	5 FEET MINIMUM	N/A	47.3 FEET	
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET	
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15 FEET	
BUILDING COVERAGE:	MAX 30%	11.6%	13.1%	
1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. THE APPLICANT IS SEEKING AN AREA VARIANCE IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETScape ALONG ROUTE 9D (NORTH AVENUE).				
2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE).				
3. PER SECTION 223-13J: ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1.				

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

NORM SCHOFIELD _____ DATE _____

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION; ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN _____ SECRETARY _____

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Owner:
North Avenue Properties, LLC
1181 North Avenue
Beacon, New York 12508

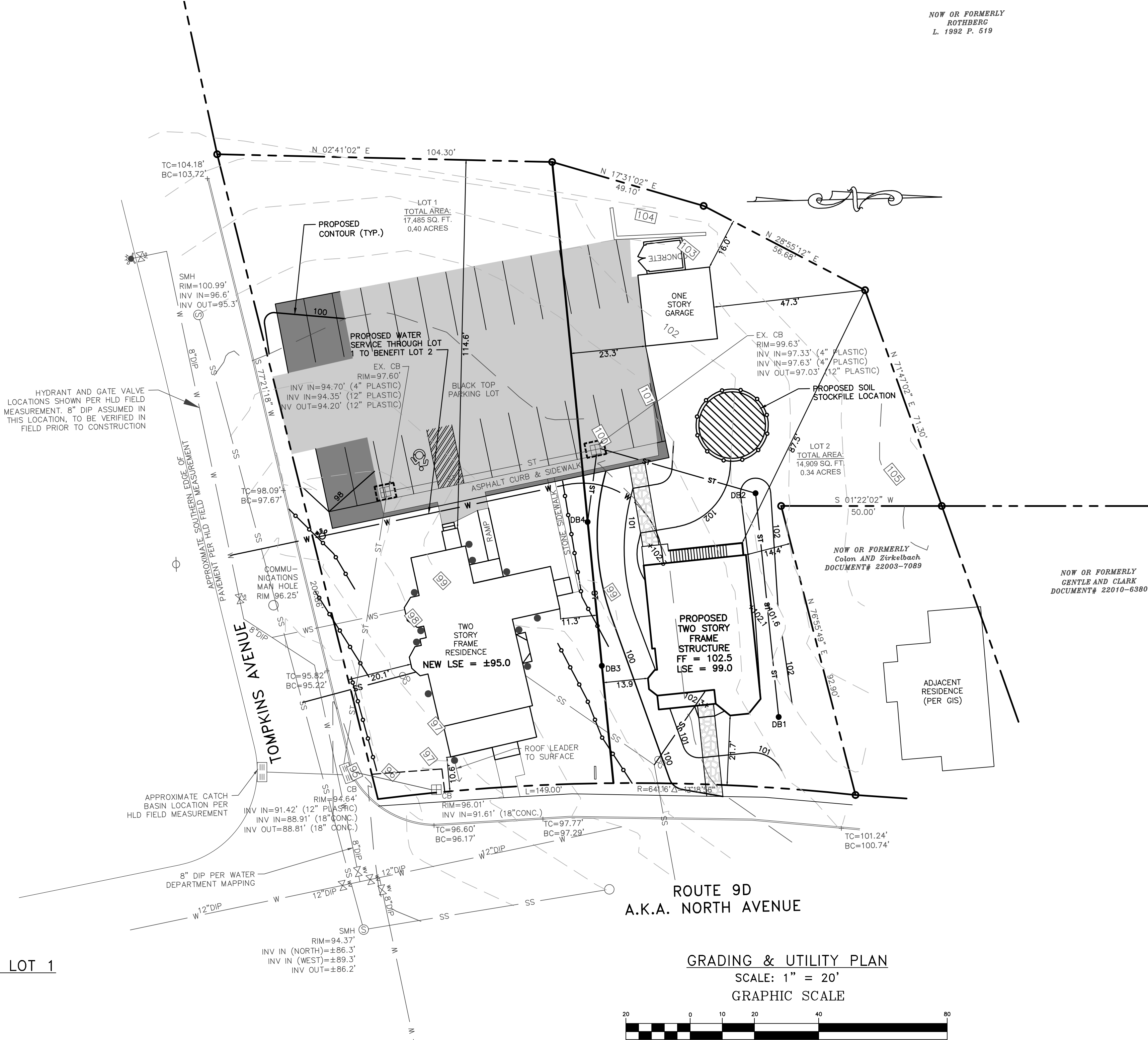
Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

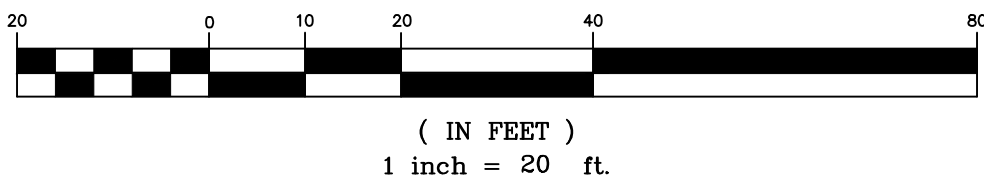
Surveyor:
John J. Post, Jr.
PO Box 827
Stone Ridge, New York 12484

Landscape Designer:
Landscape Restorations
P.O. Box 286
Beacon, New York 12508

Office Building - 1181 North Avenue
Beacon, New York
Scale: As Noted
February 27, 2018



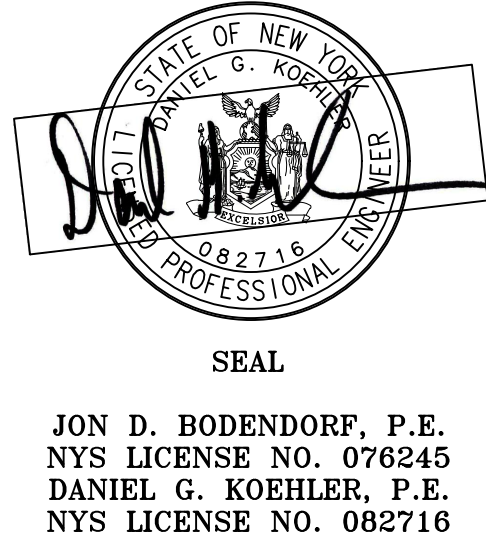
GRADING & UTILITY PLAN
SCALE: 1" = 20'
GRAPHIC SCALE



LEGEND

- 30 --- EXISTING PROPERTY LINE
- 100 --- EXISTING MAJOR CONTOUR
- 97 --- EXISTING MINOR CONTOUR
- W --- EXISTING WATER MAIN
- WS --- EXISTING WATER SHUTOFF VALVE
- SS --- EXISTING SEWER MANHOLE
- SS --- EXISTING SEWER MAIN
- SS --- EXISTING CATCH BASIN
- ST --- EXISTING STORMWATER LINE
- --- EXISTING DOWNSPOUT TO CLOSED SYSTEM BELOW GROUND
- --- EXISTING IMPERVIOUS AREA

- 100 --- PROPOSED PROPERTY LINE
- 100 --- PROPOSED MAJOR CONTOUR
- 97 --- PROPOSED MINOR CONTOUR
- WS --- WS --- PROPOSED WATER SERVICE 1"ø COPPER K
- WS --- WS --- PROPOSED WATER SHUTOFF VALVE
- SS --- SS --- PROPOSED SEWER CLEANOUT
- SS --- SS --- PROPOSED SANITARY SERVICE LATERAL 4"ø SDR-35 PVC
- SS --- SS --- PROPOSED INLET PROTECTION
- SS --- SS --- PROPOSED SILT FENCE
- --- PROPOSED IMPERVIOUS AREA
- --- PROPOSED DRAIN BASIN
- ST --- ST --- PROPOSED STORM PIPE



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	3/27/2018	PER PLANNING BOARD COMMENTS	DGK
2	4/24/2018	PER PLANNING BOARD COMMENTS	DGK

GENERAL UTILITY NOTES:

1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
2. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962.
3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. TO ACCOMPLISH THIS, THE CONTRACTOR SHALL POTHOLE ALL PROPOSED UTILITY CONNECTION AND CROSSING LOCATIONS TO EXPOSE THE UNDERGROUND UTILITY AND ASCERTAIN THE HORIZONTAL AND VERTICAL POSITION OF SAID UTILITIES, AND TO VERIFY UTILITY SIZE AND MATERIAL. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
4. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATERTIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

SANITARY SEWER NOTES:

1. THE EXISTING AND PROPOSED BUILDINGS ARE TO BE SERVED BY THE CITY OF BEACON MUNICIPAL SEWER SYSTEM. INSTALLATION OF ALL COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY CODE, CHAPTER 179.
2. SERVICE LATERALS SHALL BE 4" DIAMETER SDR-35 PVC WITH A MINIMUM SLOPE OF 2%, UNLESS OTHERWISE NOTED ON THE PLAN.
3. THE EXISTING BUILDING SHALL BE RE-PLUMBED INTERIOR TO PROVIDE FOR A NEW SEWER SERVICE IN THE LOCATION SHOWN.
4. THE PROPOSED BUILDING SHALL UTILIZE THE EXISTING SEWER LATERAL FROM THE EXISTING BUILDING. THE PORTION OF THE EXISTING SEWER LATERAL TO THE POINT OF NEW CONNECTION SHALL BE ABANDONED IN PLACE.

WATER NOTES:

1. THE PROPOSED BUILDINGS ARE TO BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER SYSTEM. INSTALLATION OF ALL COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY CODE, CHAPTER 219.
2. THE NEW SERVICE LINE SHALL BE 1" COPPER K.
3. AN EASEMENT FOR THE WATER SERVICE LINE THROUGH LOT 1 FOR THE BENEFIT OF LOT 2 SHALL BE FILED AS PART OF THE SUBDIVISION PORTION OF THE APPLICATION.

ROOF DRAINAGE NOTES:

1. FINAL DOWNSPOUT LOCATIONS TO BE DETERMINED BASED ON FINAL ARCHITECTURAL PLANS.
2. DOWNSPOUTS SHALL BE DIRECTED TO THE EXISTING STORMWATER CONVEYANCE SYSTEM.

INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES

CATCH BASINS AND PIPING:

ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

SIGHT DISTANCE NOTES:

THE EXISTING DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(b) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:

EXISTING DRIVEWAY: SLSD RIGHT = ±241' FEET
SLSD LEFT = CLEAR TO INTERSECTION WITH NORTH AVENUE

AS SLSD RIGHT IS SLIGHTLY DEFICIENT, STOPPING SIGHT DISTANCE (SSD) WAS MEASURED TO BE 278', WHICH EXCEEDS THE MINIMUM REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FROM THE WEST (EASTBOUND).

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **1181 North Avenue Subdivision and Special Permit**

I have reviewed the revised EAF Part 1, response letters from Aryeh Siegel and Hudson Land Design, Preliminary Subdivision Plat, and 5-sheet Special Permit Application, all dated April 24, 2018, and an undated Local Waterfront Revitalization Program (LWRP) Consistency Statement.

Proposal

The applicant is proposing to subdivide a 0.74-acre parcel with one existing office building into two lots for the construction of a new office building. The parcel is in the R1-7.5 district and the Historic District and Landmark Overlay Zone, which allows office uses by Special Permit from the City Council.

Comments and Recommendations

1. The Subdivision Plat should identify major trees over 8 inches diameter and include species.
2. The proposed building is located on a front section of Lot 2 that does not meet the minimum 75-foot lot width standard in Section 223-12 H. The applicant will request an area variance once the SEQR determination has been completed. The Board should issue a recommendation to the ZBA.
3. The front setback for the new building is 21.7 feet, less than the required 30 feet, but appropriate given the setbacks of the existing adjacent buildings. The Board should approve this reduced front setback without a variance, consistent with Section 223-13 K.
4. Since this parcel is in the Historic District and Landmark Overlay Zone and within the LWRP boundary, the Board will have to adopt a Certificate of Appropriateness consistent with Chapter 134, Historic Preservation, and a LWRP consistency statement. The applicant's LWRP justification addresses the most applicable Policy 23 on historic districts, maintaining that the proposed building enhances the historic district by filling a gap in the street wall and screening the rear parking lot. Once the initial plan issues have been addressed, the design could also be referred to the Architectural Review Subcommittee for compatibility with the adjacent historic buildings.
5. Although only one ADA space is required by law, the Board may want to request two ADA spaces for the two buildings, especially given the overflow street parking on Tompkins Avenue.
6. The Board could consider a new sidewalk along the Tompkins Avenue side of Lot 1, given that the existing office building has no accessible entrance from the front sidewalk.
7. The applicant should explain why the proposed sign for the new building on Lot 2 is located on Lot 1 behind the existing sign.

8. The L2 lighting fixtures are not included in the lighting details. The existing floodlights on the existing building and garage are not dark sky compliant or compatible with the historic structures and should be removed.
9. The property survey should be stamped and signed before approvals.
10. Professional offices with up to 10 employees are allowed in the Historic District and Landmark Overlay Zone by Special Permit from the City Council, although the standards seem targeted toward conversions of existing historic structures rather than separate new construction. Once the Board is in generally satisfied with the Site Plan, it should issue recommendations to the Council on the Special Permit.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Aryeh Siegel, Project Architect

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

April 30, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: Schofield – 1181 North Ave.
City of Beacon
Tax Map No. 5955-19-716048

Dear Mr. Gunn:

The owner of 1181 North Avenue is proposing to subdivide an existing 0.74± acre parcel into 2 lots. Our office has reviewed the application, Full EAF, and the following plans entitled "Office Building – 1181 North Avenue" submitted for the project as prepared by Aryeh Siegel, Architect; Hudson Land Design; and John Post, Jr., Land Surveyor:

- Sheet 1 of 1, entitled "Preliminary Subdivision Plat", with the latest revision date of April 24, 2018.
- Sheet 1 of 5, entitled "Site Plan", with the latest revision date of April 24, 2018.
- Sheet 2 of 5, entitled "Existing Conditions Survey Plan/Planting Schedule" with the latest revision date of April 24, 2018.
- Sheet 3 of 5, entitled "Renderings", with the latest revision date of April 24, 2018.
- Sheet 4 of 5, entitled "Grading & Utility Plan", with the latest revision date of April 24, 2018.
- Sheet 5 of 5, entitled "Construction Details", with the latest revision date of April 24, 2018.

Based upon our review of the above referenced submittals, we offer the following comments:

General Comments:

1. The front yard setback for the building proposed on Lot 2 is proposed at 21.7 feet, whereas the code requires 30 feet minimum. The applicant is requesting relief from the Planning Board in accordance with Section 223-13, Paragraph "K" of the City Code, which allows for an "Exception for existing alignment of buildings."
2. Easements for shared access and parking and the proposed water service that crosses Lot 1 to serve Lot 2 shall be developed and shown on the plans. The applicant should also consider an access easement for the existing garage that will eventually be located on Lot 2. All existing and proposed easements shall be shown on the plans.

3. A maintenance agreement for the shared access and parking should be prepared and submitted to the Planning Board Attorney for review.
4. A maintenance agreement for the drainage basins and associated piping running along the proposed common property line between the two lots should be prepared and submitted to the Planning Board Attorney for review.

Subdivision Plat:

1. All proposed easements along with their respective metes & bounds shall be provided on the plat, and the plat shall be signed and sealed by a licensed land surveyor in the State of New York.

Grading & Utility Plan (Sheet 4 of 5):

1. As previously noted, drainage basins 3 and 4, and the associated piping for these structures are being installed along the proposed common property line between both lots. This will require an easement and maintenance agreement between the lots for access and maintenance of these structures and the related piping. A copy of the easement and maintenance agreement shall be submitted to the Planning Board Attorney for review.

Construction Details (Sheet 5 of 5):

1. Construction details for the proposed sidewalks shall be included on the plan. *The applicant has noted that this detail will be provided on a later submission, and that they are currently proposing asphalt walks.*

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector

City of Beacon Planning Board
5/8/2018

Title:

850 Wolcott Avenue

Subject:

Continue review of applications for Subdivision Approval, Site Plan Approval, and Special Use Permit Approval, private school (Hudson Hills Academy), 850 Wolcott Avenue, submitted by St. Luke's Episcopal Church

Background:

ATTACHMENTS:

Description	Type
850 Wolcott Avenue Architect Cover Letter	Cover Memo/Letter
850 Wolcott Avenue Sheet 1 Site Plan	Plans
850 Wolcott Avenue Sheet 2 Existing Conditions Survey	Plans
850 Wolcott Avenue Sheet 3 Lighting and Landscaping Plan	Plans
850 Wolcott Avenue Sheet 4 Plans and Exterior Views	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment

ARYEH SIEGEL
ARCHITECT

John Gunn - Planning Board Chairman
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: 850 Wolcott Avenue – St. Lukes Church / Hudson Hills Academy
Special Use Permit Application – Comment Letters

April 24, 2018

Dear Mr. Gunn & Board Members,

Please find below the Applicant's response to John Clarke Planning & Design comments in his Memorandum dated April 5, 2018; and in Lanc & Tully's Memorandum dated April 5, 2018 regarding the St. Lukes Church / Hudson Hills Academy application. Hudson Land Design will provide a separate letter in response to Engineering comments.

John Clarke Planning & Design Comment Responses:

1. Comment acknowledged. The EAF has been updated.
2. The lot areas have been coordinated throughout the drawings and tables
3. The setbacks have been coordinated throughout the drawings
4. The Applicant request clarification about which chain link fence is referenced in this comment.
5. ADA parking spaces have been identified for each building
6. A 5' wide sidewalk between Rector Street and the school building entrance has been added.
7. One way driven have been identified
8. The plan now shows existing pole mounted lights for the parking areas
9. The large tree in front of the school will be evaluated by an arborist. The proposed landscaping along Rector Street has been shifted to be more in front of the playground area. The landscape table has been updated to reflect 11 arbor vitae instead of 8.
10. Comment acknowledged.

ARYEH SIEGEL
ARCHITECT

Lanc & Tully Comment Responses:

General Comments

1. Hudson Land Design has been retained to provide the requested Inflow & Infiltration Study. The plans will be updated per the report, and a note granting access to the building department will be shown on the plans as well.

Subdivision Plat

1. The City Attorney is currently reviewing the lease agreement between the Church and the School to determine if it is sufficient, or if easements are required.
2. The surveyor will update the plat to include the location of existing utilities. This will be submitted in the next submission.

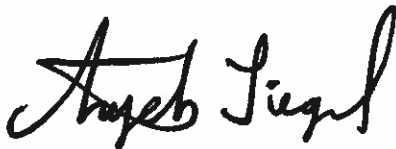
Site Plan (Sheet 1 of 4)

1. Sight distance information has been included on the plan in this submission.
2. The surveyor will update the plat to include the location of existing utilities. This will be submitted on the site plan drawing as well in the next submission.
3. Directional arrows are now shown on the site plan.
4. Handicapped parking spaces for both buildings are shown on the site plan
5. A sidewalk has been added to the plan.
6. Existing pole mounted light fixtures are now shown on the plan.
7. No additional site signage is proposed at this time.

Landscaping Plan (Sheet 3 of 4)

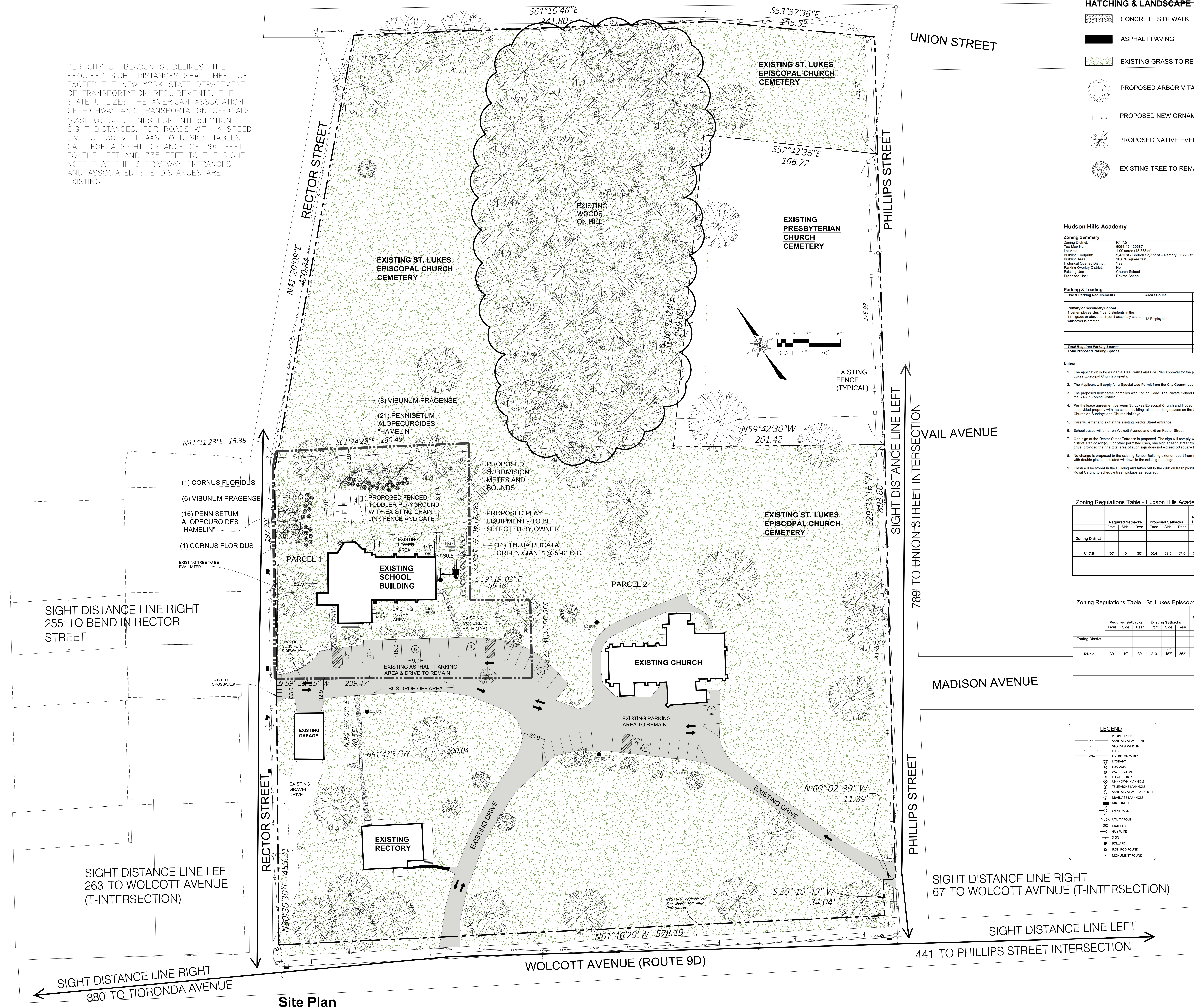
1. Construction details for the planting of trees and shrubs is now included on the plan.

Thank you. Please let me know if you have any questions.



Sincerely,
Aryeh Siegel
Aryeh Siegel, Architect

PER CITY OF BEACON GUIDELINES, THE REQUIRED SIGHT DISTANCES SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. NOTE THAT THE 3 DRIVEWAY ENTRANCES AND ASSOCIATED SITE DISTANCES ARE EXISTING



HATCHING & LANDSCAPE LEGEND

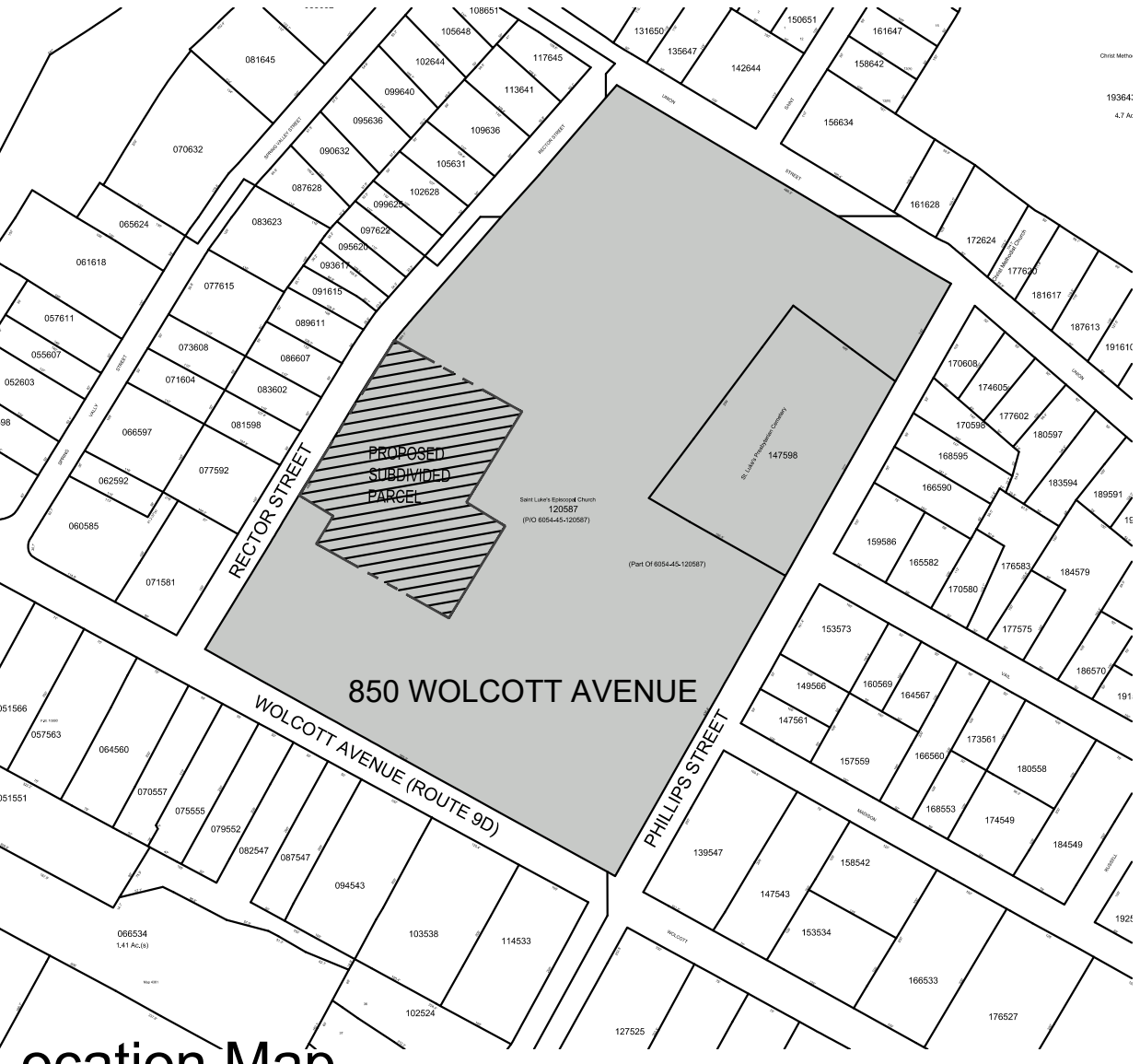
- CONCRETE SIDEWALK
- ASPHALT PAVING
- EXISTING GRASS TO REMAIN
- PROPOSED ARBOR VITAE EVERGREEN SHRUB
- PROPOSED NEW ORNAMENTAL NATIVE TREE
- PROPOSED NATIVE EVERGREEN
- EXISTING TREE TO REMAIN

Hudson Hills Academy

Zoning District:	R1-7.5
Tax Map No.:	8054-45-10587
Lot Area:	1.00 acre (43,563 sf)
Building Footprint:	5,435 sf - Church (2,272 sf - Rectory) 1,226 sf - Garage = 9,349 sf Total
Bulking Area:	10,870 square feet
Historical Overlay District:	Yes
Parking Overlay District:	No
Existing Use:	Church School
Proposed Use:	Private School

Use & Parking Requirements	Area / Count	Parking Requirement
Primary or Secondary School		
1 per employee plus 1 per 5 students in the 11th grade or above, or 1 per 4 assembly seats, whichever is greater	12 Employees	12 spaces
Total Required Parking Spaces		12 spaces
Total Proposed Parking Spaces		16 spaces (on subdivided parcel)

- Notes:
- The application is for a Special Use Permit and Site Plan approval for the parcel to be subdivided from the larger St. Lukes Episcopal Church property.
 - The Applicant will apply for a Special Use Permit from the City Council upon referral by the Planning Board.
 - The proposed new parcel complies with Zoning Code. The Private School use is allowed by Special Use Permit in the R1-7.5 Zoning District.
 - Per the lease agreement between St. Lukes Episcopal Church and Hudson Hills Academy, the lessee of the subdivided property with the school building, at the parking spaces on the School parcel will be available to the Church on Sundays and Church Holidays.
 - Cars will enter and exit at the existing Rector Street entrance.
 - School buses will enter on Wolcott Avenue and exit on Rector Street.
 - One sign at the Rector Street Entrance is proposed. The sign will comply with requirements for signs in a residential district. Per 225-15(c). For other permitted uses, one sign at each street frontage where the use has an access drive, provided that the total area of such sign does not exceed 50 square feet.
 - No change is proposed to the existing School Building exterior, apart from replacing existing single pane windows with double glazed insulated windows in the existing openings.
 - Trash will be stored in the Building and taken out to the curb on trash pickup days. The School will contract with Royal Caring to schedule trash pickups as required.



Location Map
Not to Scale

St. Lukes Episcopal Church

Zoning District:	R1-7.5
Tax Map No.:	8054-45-10587
Lot Area:	Existing Parcel: 9.88 acres (430,142 sf) Subdivided Parcel (889 sq ft) lease to Presbyterian Cemetery) 1.21 acres (52,780 sq ft) Proposed Subdivided Parcel: (To be leased to private school) 1.00 acres (43,538 sf) Church Parcel after subdivision: 9.88 acres (396,604 sf)
Building Footprint:	5,651 sf - Church (2,272 sf - Rectory) 1,226 sf - Garage = 9,349 sf Total
Building Area:	11,621 square feet
Historical Overlay District:	Yes
Parking Overlay District:	No
Existing Use:	Church and School
Proposed Use:	Church (School building to be subdivided off)

Use & Parking Requirements	Area / Count	Parking Requirement
Place of Worship		
1 space for each 4 seats or pew spaces (1964 requirement was 7 space for each 9 seats)	150 pew spaces	38 spaces (38 spaces in 1964)
Total Required Parking Spaces		38 spaces
Total Proposed Parking Spaces		40 spaces (See Notes 3,4)

- Notes:
- The application is to subdivide a portion of the property and lease it to a private school.
 - The Church parcel, after the subdivision, continues to comply with Zoning Code.
 - A total of 40 parking spaces exist on site: 38 surface plus 2 in the existing garage building. Per the lease agreement between St. Lukes Episcopal Church and Hudson Hills Academy, the lessee of the subdivided property with the school building, all the parking spaces will be available to the Church on Sundays and Church Holidays.
 - Per Beacon Zoning Code Section 225-23 (b)(1 & 2), no parking is required for structures and land uses in existence on April 20, 1964, unless the aforesaid additional required facilities amount to a cumulative total increase of at least 25% over the existing use as of said date. There is no increase in proposed use.
 - Church congregants arriving in cars currently enter and exit from the Wolcott Avenue entrance. No change is proposed following the subdivision.
 - No change is proposed to the existing Church building exterior.
 - No signage is proposed as part of this application.
 - There is no change to the existing trash storage and pickup.

Zoning Regulations Table - Hudson Hills Academy Parcel

Zoning District	Required Setbacks			Proposed Setbacks			Minimum Lot Area	Proposed Lot Area	Minimum Lot Width	Minimum Lot Depth	Proposed Lot Width	Proposed Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories
	Front	Side	Rear	Front	Side	Rear													
R1-7.5	30'	10'	30'	50.4'	38.5'	87.6'	7,500 sf	43,583.00	75'	100'	189'	220.75'	30%	10%	None	35'	Existing no change	2 1/2	2 no change

Zoning Regulations Table - St. Lukes Episcopal Church Parcel

Zoning District	Required Setbacks			Existing Setbacks			Minimum Lot Area	Actual Lot Area after subdivision	Minimum Lot Width	Minimum Lot Depth	Proposed Lot Width	Proposed Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories
	Front	Side	Rear	Front	Side	Rear													
R1-7.5	30'	10'	30'	210'	157'	882'	7,500 sf	386,604 sf	75'	100'	342'	862'	30%	2%	None	35'	Existing no change	2 1/2	1 no change

LEGEND	
—	PROPERTY LINE
—S—	SANITARY SEWER LINE
—W—	STORM SEWER LINE
—F—	FENCE
—O—	OVERHEAD WIRES
—H—	HYDRANT
—G—	GAS VALVE
—W—	WATER VALVE
—E—	ELECTRIC BOX
—U—	UNKNOWN MANHOLE
—S—	SANITARY SEWER MANHOLE
—D—	DRAINAGE MANHOLE
—D—	DROP INLET
—L—	LIGHT POLE
—U—	UTILITY POLE
—M—	MAIL BOX
—G—	GUY WIRE
—S—	SIGN
—B—	BOLLARD
—R—	IRON ROD FOUND
—M—	MONUMENT FOUND

Index of Drawings

- Subdivision Plat
- Site Plan
- Existing Conditions Survey
- Landscaping Plan - Hudson Hills
- Floor Plans & Elevations

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS

Sub-Division, Site Plan & Special Use Permit Application
Sheet 1 of 4 - Site Plan

850 Wolcott Avenue
St. Lukes Episcopal Church & Hudson Hills Academy
Beacon, New York
Scale: 1" = 30'
March 27, 2018

Owner / Applicant for Subdivision and Site Plan:
St. Lukes Episcopal Church
850 Wolcott Avenue
Beacon, NY 12508

Applicant / Lessee for Special Use Permit for School:
Hudson Hills Academy
12 Hanna Lane
Beacon, NY 12508

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Surveyor:
TEC Surveying
15C Tioronda Avenue
Beacon, New York 12508

SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83—NY East using NYSNET RTN GPS.
11. Historical mapping and deeds show property lines to centerline of adjoining streets. Other historical deeds describe street dedications. Street lines as per deeds with dedications are shown hereon based on public usage.

MAP REFERENCE

Survey shown hereon depicts lot(s) as shown on a map entitled "Property of Saint Lukes Church" prepared by G.R. Hustis dated December 31, 1956.

NYSDOT Map No. 55, Parcel 61 - Walcott Avenue Dated July 5 2002.

NYSDOT Map No. 56, Parcel 62 - Walcott Avenue Dated July 25, 2002.

NYSDOT Map No. 72, Parcel 78 - Walcott Avenue Dated July 25, 2002.

DEED REFERENCE

Doc. #02 2009 8998
Rectors Church Wardens & Vestryment
To
NYS Dept. of Transportation
October 30, 2003

Liber 136, Page 483
Walcott
To
Rector Church Wardens & Vestryment
May 15, 1866

TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York
130200-6054-45-120587 &
130200-6054-45-147598

AREA

Parcel 120587:
430,187 Square Feet
9.890 Acres

Parcel 147598:
52,810 Sq. Ft.
1.212 Acres

DATE OF SURVEY

Field Completion: January 25, 2017

SURVEYOR

Prepared by TEC Surveying
15c Tioronda Avenue
Beacon, NY 12508

LEGEND	
	PROPERTY LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	FENCE
	OVERHEAD WIRES
	HYDRANT
	GAS VALVE
	WATER VALVE
	ELECTRIC BOX
	UNKNOWN MANHOLE
	SANITARY SEWER MANHOLE
	DRAINAGE MANHOLE
	DRAINAGE MANHOLE
	CHOP PILE
	LIGHT POLE
	UTILITY POLE
	MAIL BOX
	GUY WIRE
	SPUR
	BOLLARD
	IRON ROD FOUND
	MONUMENT FOUND



Sub-Division, Site Plan & Special Use Permit Application
Sheet 2 of 4 - Existing Conditions Survey

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS

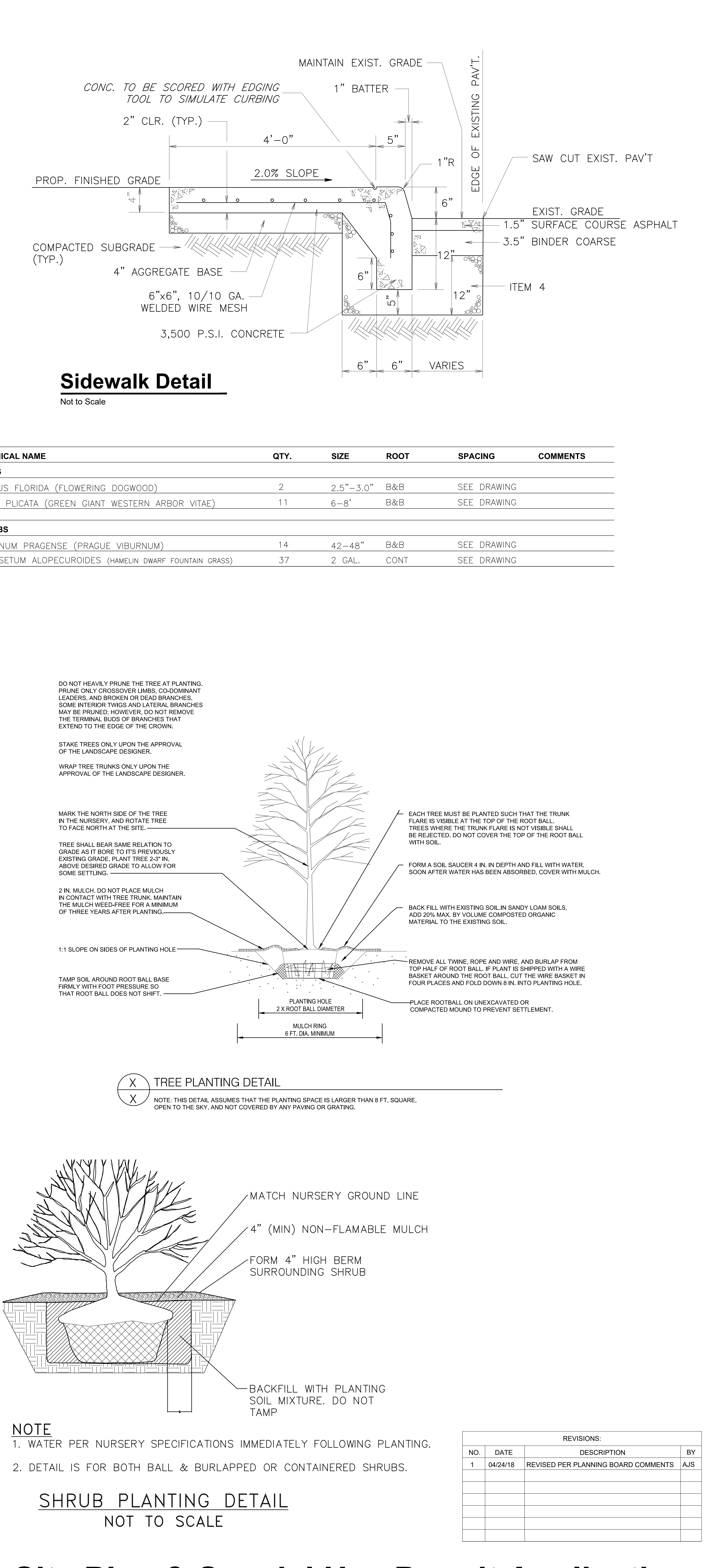
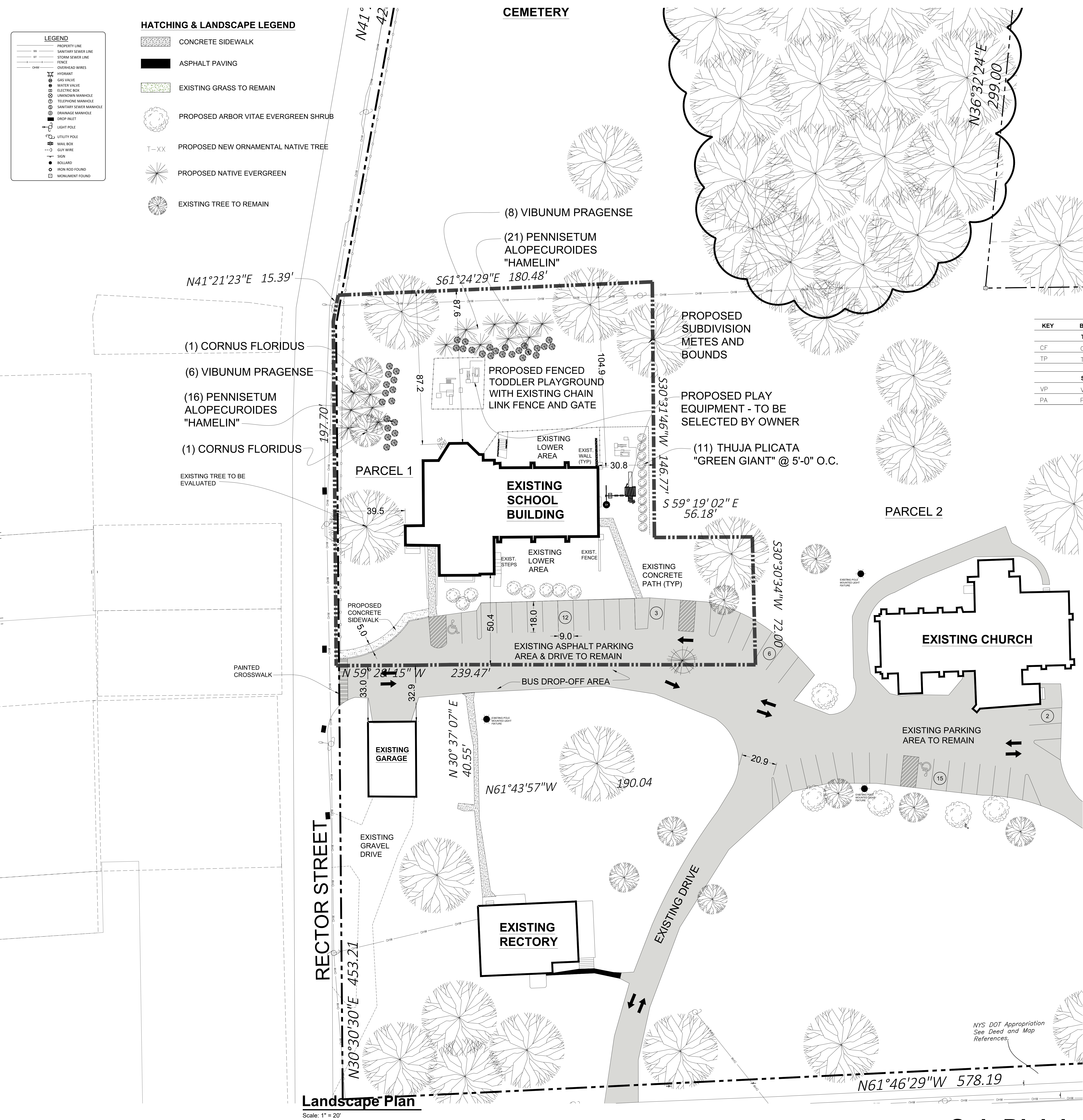
850 Wolcott Avenue
St. Lukes Episcopal Church & Hudson Hills Academy
Beacon, New York
Scale: 1" = 30'
March 27, 2018

Owner / Applicant for Subdivision and Site Plan:
St. Lukes Episcopal Church
850 Wolcott Avenue
Beacon, NY 12508

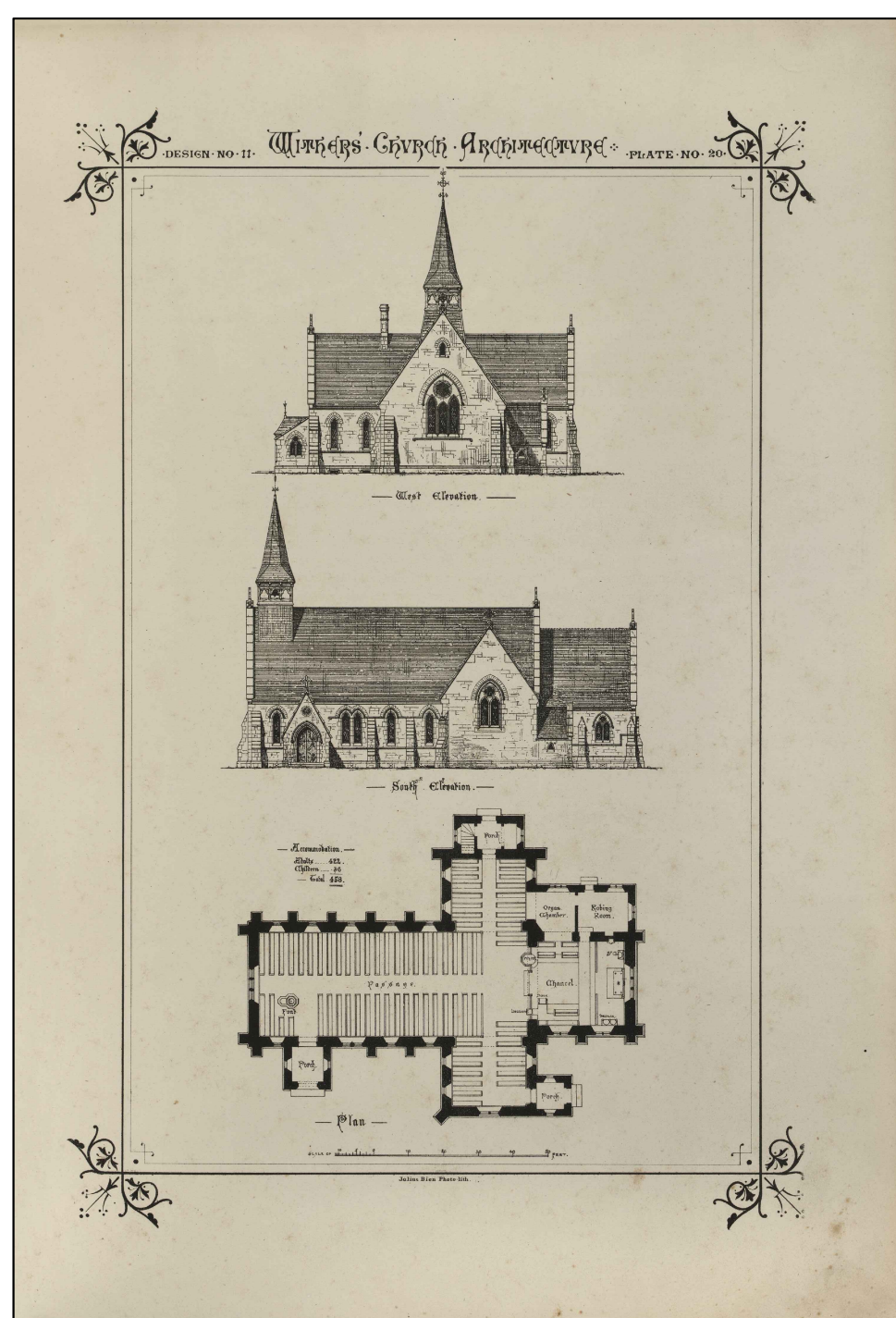
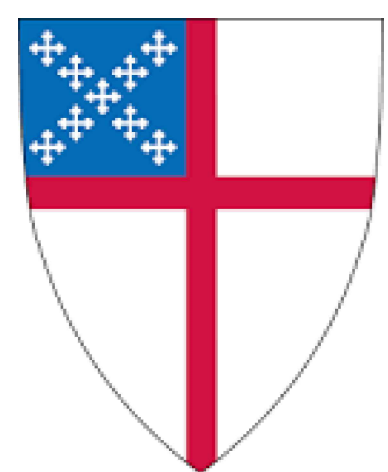
Applicant / Lessee for Special Use Permit for School:
Hudson Hills Academy
12 Hanna Lane
Beacon, NY 12508

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Surveyor:
TEC Surveying
15C Tioronda Avenue
Beacon, New York 12508

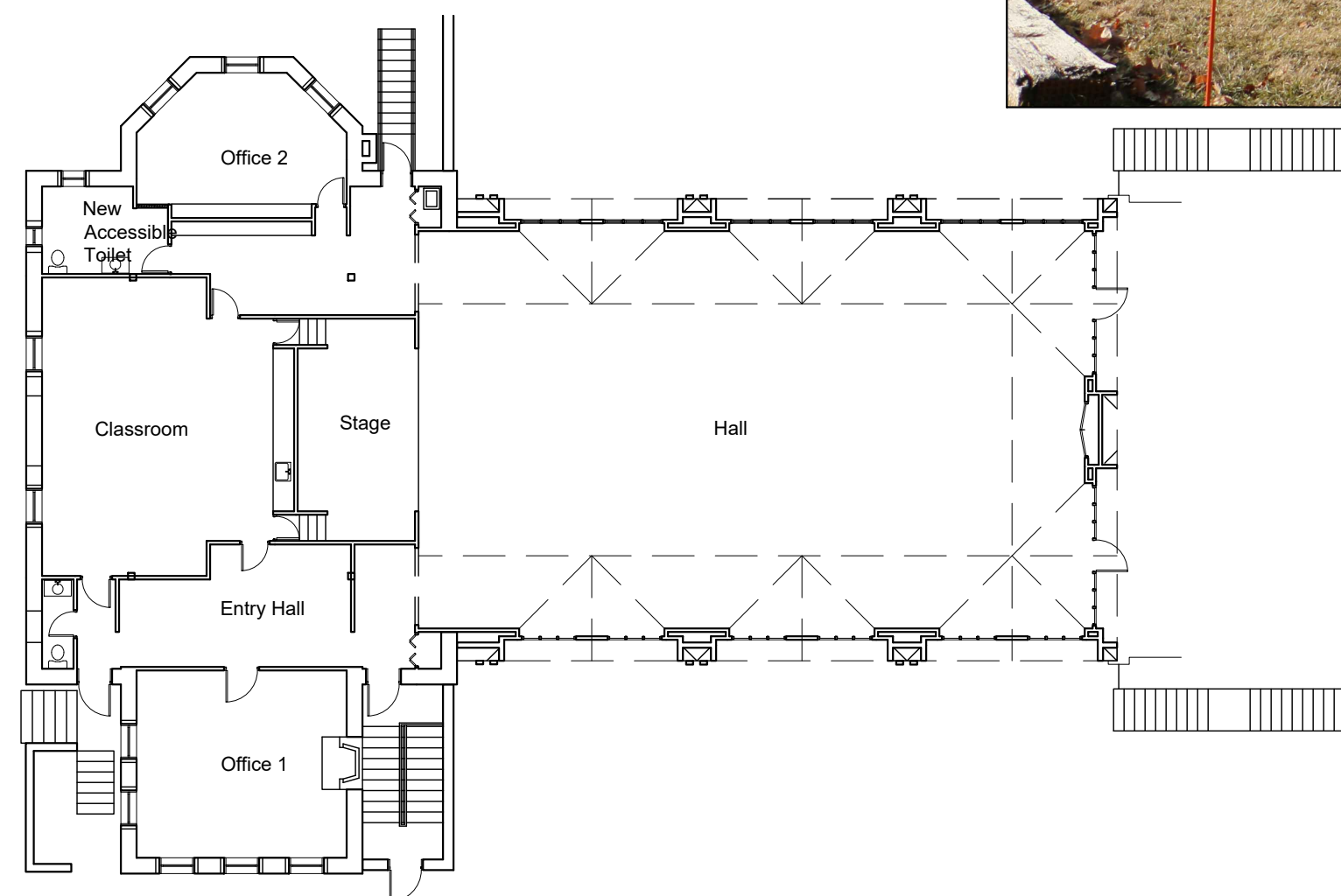


KEY	BOTANICAL NAME	QTY.	SIZE	ROOT	SPACING	COMMENTS
TREES						
CF	CORNUS FLORIDA (FLOWERING DOGWOOD)	2	2.5" - 3.0"	B&B	SEE DRAWING	
TP	THUJA PLICATA (GREEN GIANT WESTERN ARBOR VITAE)	11	6-8'	B&B	SEE DRAWING	
SHRUBS						
VP	VIBURNUM PRAGENSE (PRAGUE VIBURNUM)	14	42-48"	B&B	SEE DRAWING	
PA	PENNISETUM ALOPECUROIDES (HAMELIN DWARF FOUNTAIN GRASS)	37	2 GAL.	CONT	SEE DRAWING	



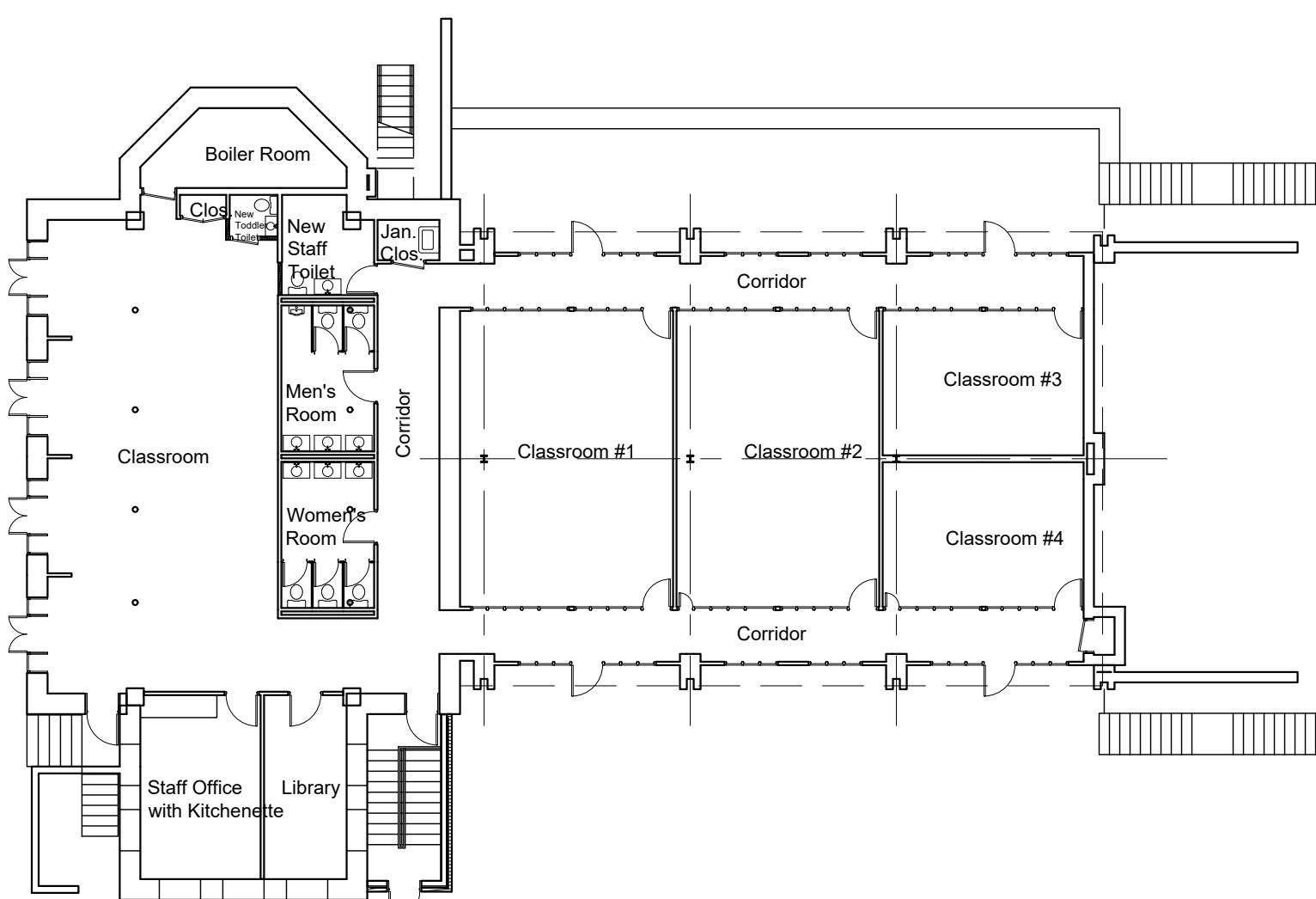
Church Plan

Scale: Not to Scale



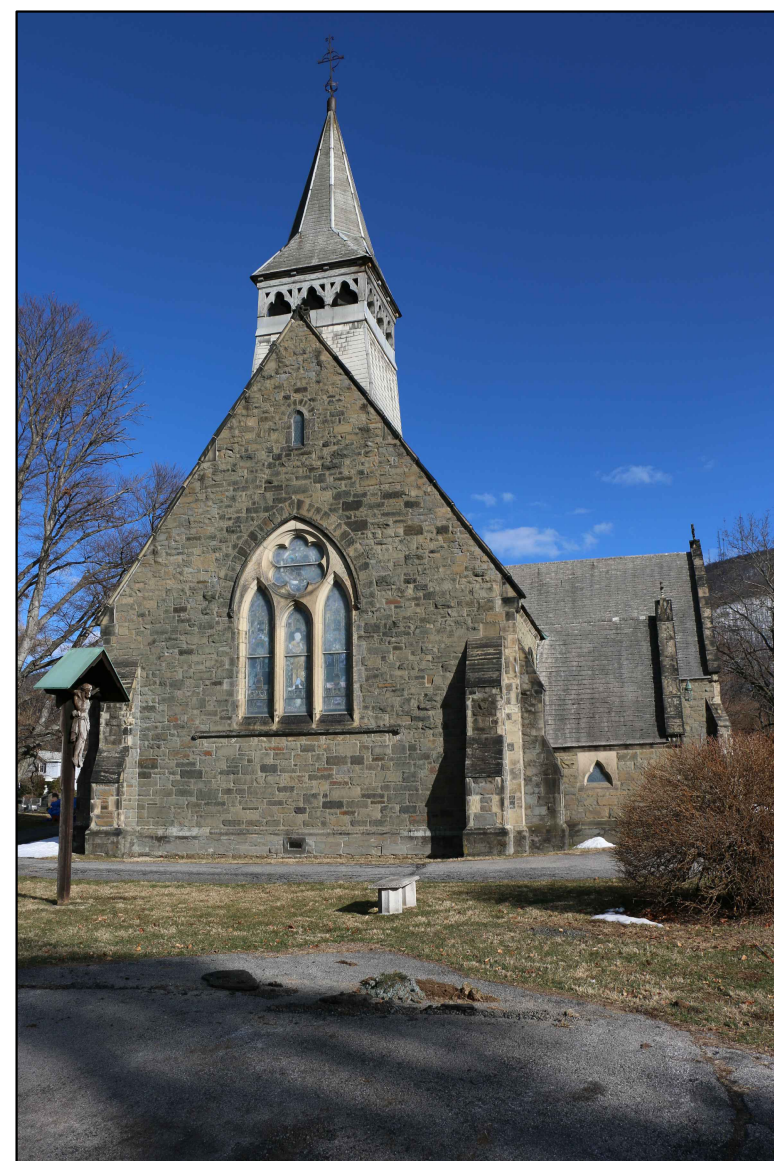
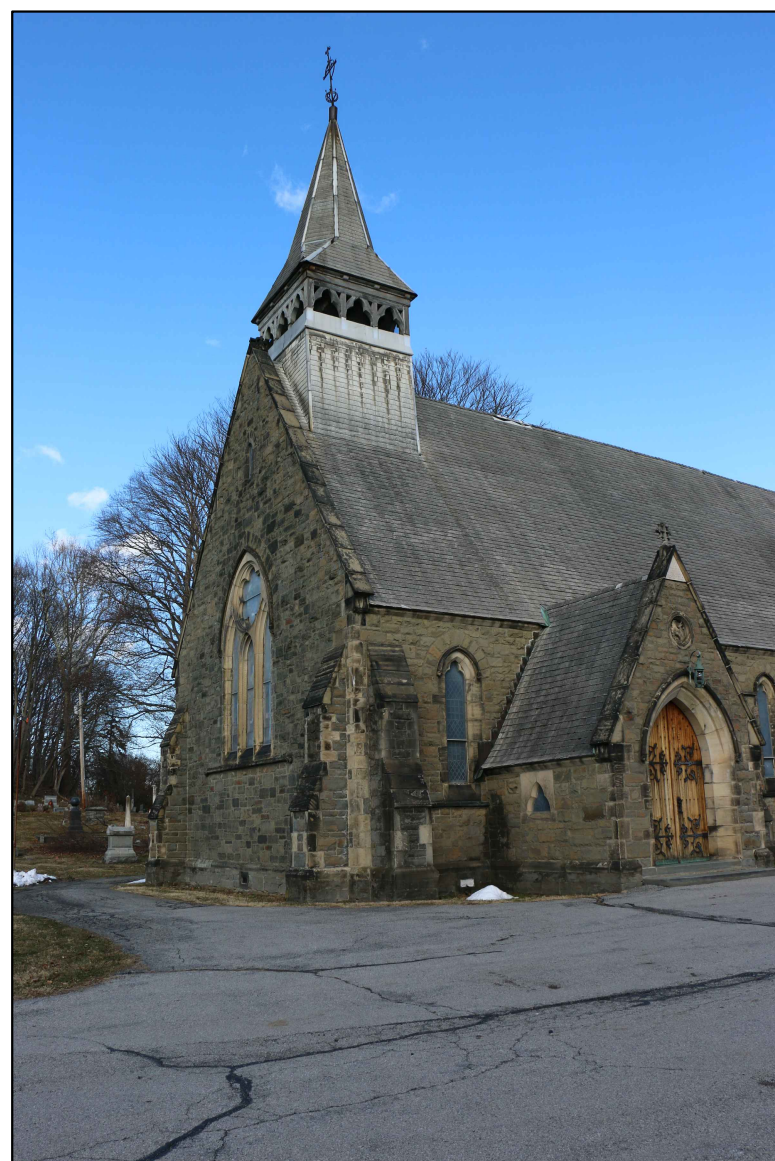
Upper Level Plan: School

Scale: $\frac{1}{16}'' = 1'-0''$



Lower Level Plan: School

Scale: $\frac{1}{16}'' = 1'-0''$



Sub-Division, Site Plan & Special Use Permit Application

Sheet 4 of 4 - Plans, Elevations, Images

Owner / Applicant for Subdivision and Site Plan:
St. Lukes Episcopal Church

850 Wolcott Avenue
Beacon, NY 12508

Applicant / Lessee for Special Use Permit for School:
Hudson Hills Academy

12 Hanna Lane
Beacon, NY 12508

Architect:
Aryeh Siegel, Architect

84 Mason Circle
Beacon, New York 12508

Surveyor:
TEC Surveying

15C Tioronda Avenue
Beacon, New York 12508

850 Wolcott Avenue
St. Lukes Episcopal Church & Hudson Hills Academy

Beacon, New York
Scale: 1" = 30'
March 27, 2018

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **850 Wolcott Avenue, St. Luke's Episcopal Church and Hudson Hills Academy
Subdivision, Site Plan, and Special Permit**

I have reviewed an April 24, 2018 response letter from Aryeh Siegel and a 4-sheet Subdivision, Site Plan, and Special Permit Application, all dated April 24, 2018.

Proposal

The applicant is proposing to subdivide a 9.88-acre parcel with an existing church and school building into two lots for use as a private school. The proposed parcel is in the R1-7.5 district and the Historic District and Landmark Overlay Zone.

Comments and Recommendations

1. The submitted materials did not include a revised Full EAF Part 1. The applicant should clarify whether the proposed private school will generate any additional water use or traffic generation compared to current conditions.
2. The Schedule of Regulations on the previously submitted Subdivision Plat does not entirely match the Zoning Regulations Table on Sheet 1.
3. The Sheet 1 boundaries and setbacks for Lot 1 are inconsistent with the boundaries and setbacks on Sheet 2. Also, the original parcel sizes indicated on Sheets 1 and 2 do not exactly match.
4. Since this parcel is in the Historic District and Landmark Overlay Zone, any exterior alteration to the buildings or property requires a Certificate of Appropriateness consistent with Chapter 134, Historic Preservation. The applicant should clarify which window panes are to be replaced, in particular whether they involve any part of the historic building. The existing chain link fence along Rector Street in front of the school on Lot 1 is not compatible with the frontage of a historic building and a replacement fence should be considered.
5. The Board should request a new crosswalk across Rector Street, connecting the existing sidewalk system to the proposed sidewalk and school entrance.
6. The Board and applicant should consider additional exterior lighting fixtures for the school parking area.
7. The lease and parking agreement between the church and school should also permit the school to use church parking for any school functions involving additional visitors.

Page 2, 850 Wolcott Avenue, May 2, 2018 memo

8. A private school is allowed in the R1-7.5 district by Special Permit from the City Council. Once the Board is in generally satisfied with the Subdivision and Site Plan, it should issue recommendations to the Council on the Special Permit.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
 Jennifer L. Gray, Esq., City Attorney
 Arthur R. Tully, P.E., City Engineer
 John Russo, P.E., City Engineer
 Aryeh Siegel, Project Architect

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lenc, P.E., L.S.
Arthur R. Tully, P.E.

April 30, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: St. Lukes & Hudson Hills Academy
850 Wolcott Avenue
City of Beacon
Tax Map No. 6054-45-120587

Dear Mr. Gunn:

The applicant is proposing to subdivide 9.88± acre parcel with an existing church and school building into two lots, so that the school building will be located on its own parcel. Our office has reviewed the following plans entitled "850 Wolcott Avenue – St. Luke's Episcopal Church & Hudson Hills Academy, submitted for the project as prepared by Aryeh Siegel, Architect, and TEC Land Surveying:

- Sheet 1 of 4, entitled "Site Plan", dated April 24, 2018
- Sheet 2 of 4, entitled "Existing Conditions Survey", dated April 24, 2018.
- Sheet 3 of 4, entitled "Landscaping Plan", dated April 24, 2018.
- Sheet 4 of 4, entitled "Plans, Elevations, Images" dated March 27, 2018.

Based upon our review of the above referenced submittals, we offer the following comments:

General Comments:

1. The applicant's consultant should conduct an Inflow & Infiltration study of the existing site and building, and provide certification to the City of Beacon that the site currently has no illegal cross-connections between the existing site and the City's sanitary sewer system. Possible cross-connections that should be looked at would be roof-leaders, sump pumps, existing site drains, etc. If any cross-connections are found, a report should be submitted as to the findings, the volume of I&I being introduced into the sanitary sewer collection system, and the proposed remediation for the cross-connection(s) found. The plans should also clearly show the proposed remediation as outlined in the report. A note should also be added to the plans granting the City of Beacon Building Department access to verify where the existing roof leaders and sump pump(s), if present, drain to. *The applicant's architect has noted that Hudson Land Design has been retained to perform an I&I study for the site.*

2. Updated applications and an EAF should be provided for the project showing that the parcels sizes now match those as noted on the plans.
3. Based upon the submitted plans, it appears that there will be shared parking and access across the two parcels. Easements and maintenance agreements for the access and parking should be developed and submitted to the Planning Board Attorney for review. *The City Attorney is currently reviewing the lease agreement between the Church and the School to determine if it is sufficient, or if easements are required.*

Subdivision Plat:

1. All proposed easements (parking, access, utilities, etc.), along with their respective metes & bounds, shall be provided on the plat.
2. The plat should show the location of the existing utilities (water, sewer, etc.) that service each of the buildings. *The applicant's consultant has noted that the plat will be updated to include the requested information and will be submitted with the next submission.*

Site Plan (Sheet 1 of 4):

1. The "Index of Drawings" on this sheet notes that there are to be a total of 8 sheets in the set. This should be corrected to note the actual number of sheets in a plan set.
2. The location of existing utilities (water, sewer, etc.) servicing each of the buildings should be shown on the plan.
3. As previously noted, traffic signs (stop, one-way, do not enter, etc.) should be provided on the plan to show the direction of traffic on the drives to avoid conflicts between vehicles. Construction details for any signs shall be provided on the plans.
4. Signage should be shown on the plan for the ADA compliant parking stalls and the access ramps associated with the stalls.
5. Proposed and/or existing lighting for the parking area and entrances to the school should be shown on the plans.

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector

City of Beacon Planning Board
5/8/2018

Title:

Ferry Landing - Beekman Street

Subject:

Continue review of application for Site Plan Approval, 6 Unit Residential "Ferry Landing at Beacon", Beekman Street, submitted by Ferry Landing at Beacon, Ltd.

Background:

ATTACHMENTS:

Description	Type
Ferry Landing Cover Letter	Cover Memo/Letter
Ferry Landing Drainage Easement	Backup Material
Ferry Landing Sheet Preliminary Plat	Plans
Ferry Landing Conceptual Site Plan (1)	Plans
Ferry Landing Sheet 1 Site Information Plan	Plans
Ferry Landing Sheet 2 Existing Site Plan	Plans
Ferry Landing Sheet 3 Site Development Plan	Plans
Ferry Landing Sheet 4 Site Grading Plan	Plans
Ferry Landing Sheet 5 Site Utility Plan	Plans
Ferry Landing Sheet 6 Utility Profile Plan	Plans
Ferry Landing Sheet 7 Sight Distance Plan	Plans
Ferry Landing Sheet 8 Site Details	Plans
Ferry Landing Sheet 9 Site Details	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment

FERRY LANDING AT BEACON, LTD.
DEVELOPERS - DESIGNERS - BUILDERS
POST OFFICE BOX 294
BEACON, NY 12508
845-464-0460

VIA HAND DELIVERY

April 2, 2018
Beacon City Planning Board
1 Municipal Center
Beacon, NY 12508

Re: Ferry Landing at Beacon
Beekman Street
Beacon, NY 12508
Parcel Grid # 5954-33-556840

Dear Members of the Beacon City Planning Board:

Enclosed please find the following documents:

- Five (5) folded paper copies of Site Plan drawing set (Pages 1 - 9)
- Five (5) folded paper copies of Preliminary Plat drawing (1 Page)
- One (1) folded paper copy of Survey drawing by John J. Post, Jr., LS dated November 25, 2017 (1 Page)
- One (1) paper draft copy of proposed drainage easement (5 Pages)
- One (1) paper copy of Conceptual Partial Site Plan dated March 30, 2018 (1 Page)
- One (1) electronic copy of the above items on CD

The above listed items are being submitted for the Planning Board's review and consideration at your next available regularly scheduled Planning Board meeting.

In regards to the comments received from the City of Beacon's consultants, please find the following response:

John Clark Planning and Design missive dated November 9, 2017:

1. A five foot planting strip has been provided between the curb line and sidewalk. Landscaping provided in the planting strip is low ground cover with taller landscaping behind the sidewalk along the building. All the townhouses have a front stoop in accordance with 223-41.21, Figure 21-8 and Figure 21-9.
2. The required parking of only one (1) space per unit is not practical. A two car garage is a preferable design. However, it has always been our intention to provide prospective purchasers with an option to convert the front garage area to finished living space. The driveway is now 22 feet wide.
3. The Site Development Plan (Page 3 of 9) of this submission indicates the limits of disturbance. The landscape plan now includes Hop Hornbeam deciduous native shade trees.
4. A rear building elevation will be provided in the next submission.
5. The lighting fixture drawing, poles, specifications, and lighting fixture locations are indicated on the Site Development Plan (Page 3 of 9) of this submission.
6. A survey by John J. Post, Jr., LS dated November 25, 2017 (1 Page) has been provided in this submission.
7. Comment noted.

Lanc & Tully Engineering and Surveying, P.C. missive dated November 10, 2017:

General Comments:

First Paragraph) The survey as provided in all the previous submissions is correct. The survey note on the Existing Site Plan (Page 2 of 9) of the previous submissions states "[survey information compiled from a map titled "Boundary & Topographical Survey of Lot No. 2 Map of Subdivision for Armand Ninnie Filed Map No. 8613" dated July 25, 2002 prepared by Peter R. Hustis, NYS LS No. 49205]". We have not cited the source of the survey to be the filed map. The survey dated 2002 is the basis of our submission, not the filed map of 1988. The boundary and topography of the site as presented in all the previous submissions is as depicted in this survey.

Second Paragraph) With regards to the 20' wide drainage easements referenced on the filed map, we offer the following response:

There are no easements of record in statutory form recorded or filed regarding these depicted easements. An examination of title indicates that this property was previously owned by the City of Beacon and subsequently transferred to the current owner of record with out any easements filed or recorded. In addition, it should be noted, a significant portion of the existing storm water drainage system located on this property is also located along the property line and on the property of the

adjoining owner (lands now or formally of D'Aprile) to the east. A title search of this adjoining property also indicates no easements of record filed or recorded regarding the storm drain system. The first and only reference to this easement is as indicated on the filed map. This would explain the 20' wide easement located entirely on the subject property rather than the usual 10' wide easement on each side of the pipe. Therefore, it would appear that the easements referenced on the filed map may have been proposed but never accomplished. To resolve the inconsistencies between the map, the recording of the easements, and the proposed building location we have provided a revised concept that provides an alternative location for the existing storm water drainage system located along the northerly property line of the site. The existing storm drain that is currently located in the north west corner of the property is to be relocated slightly to the north of the site in Ferry Street. The objective of this relocation is to modify the north west portion of the proposed drainage easement indicated on filed map no. 8613. This proposed relocation is indicated on the Site Utility Plan (Page 5 of 9) of this submission. In addition, the Site Development Plan (Page 3 of 9) and the revised survey by John J. Post, Jr., LS dated November 25, 2017 (1 Page) of this submission indicates the location and extent of the proposed easement. Additionally, the Preliminary Plat Plan (1 Page) of this submission provides bearings and distances for this proposed easement. We have also enclosed a draft copy of the proposed easement in recordable form so that the proposed Plat and the proposed easement can be filed and recorded simultaneously. This will provide a properly recorded easement with a corresponding Plat.

With regards to the possible proposed area of dedication to the City of Beacon of the small triangular area located in the north west corner of the property as indicated on filed map no. 8613 we offer the following response:

There is currently no record of conveyance in statutory form recorded or filed regarding this proposed area of dedication. An examination of title indicates that this property was previously owned by the City of Beacon and subsequently transferred to the current owner of record with out any indication of conveyance filed or recorded. The first and only reference to this dedication is as indicated on the filed map. Once again , it appears that the dedication referenced on the filed map may have been proposed but never accomplished. Apparently it has been thirty (30) years since this dedication was initially proposed. If the City of Beacon still has a need to acquire this small parcel please advise us and we will address the dedication in our next submission. We will revise the proposed Plat to reflect the dedication and we will provide a draft copy of the proposed deed in recordable form with a draft copy of the required NYS Transfer Tax Return and the NYS Real Property Transfer Report so that the proposed Plat and the proposed deed can be filed and recorded simultaneously. This will provide a properly recorded transfer of title with a corresponding Plat.

Proactively we have enclosed the revised survey provided in this submission by John J. Post, Jr., LS dated November 25, 2017 (1 Page) indicating this possible dedication. Additionally, the Conceptual Partial Site Plan (1 Page) of this submission denotes the location of proposed building relative to the area of possible dedication. As indicated, it should be noted that even if this proposed area is dedicated to the City the proposed building is not encroaching on this area. The dedication of this small property will have no impact on the project.

Third Paragraph) With regards to the updated and accurate boundary and topographic survey, we offer the following response:

The boundary and topographic survey as provided in all the previous submissions is correct. It should be

noted that the topography in the far south corner of the property was minimally changed since the last submission to improve sight distance (see item 1 immediately following this paragraph for a detailed explanation). This minor topography change is reflected in the revised survey provided in this submission by John J. Post, Jr., LS dated November 25, 2017 (1 Page). The survey note on the Existing Site Plan (Page 2 of 9) of this submission indicates this revision. This was the only change to the survey.

1. With regards to the proposed access to the project, we offer the following response:

a) Both existing and proposed site topography has been added to the Sight Distance Plan (Page 7 of 9) provided in this submission as requested.

b) In regards to the sight distance to the left, the proposed site topography indicated on the Sight Distance Plan (Page 7 of 9) provided in this submission denotes the extent of excavation proposed. In addition, the stack of the concrete barrier blocks previously located at the south west corner of the site have already been excavated and removed. The revised survey provided in this submission by John J. Post, Jr., LS dated November 25, 2017 (1 Page) reflects this minor topography change.

c) In regards to the sight distance to the right, the proposed building has been relocated slightly to the east. In addition, a Site Distance Easement has been provided for the purpose of providing unobstructed sight distance for vehicular egress from the proposed driveway across each lot and all common areas. Please see note 5 on the Sight Distance Plan (Page 7 of 9) of this submission, as well as note 6 on the Preliminary Plat Plan (1 Page) of this submission for reference to this easement.

d) Sight line distance profiles have been provided for the actual achieved sight line distances. Please see Sight Distance Plan (Page 7 of 9) of this submission for sight distance profiles.

e) We can discuss in detail the option of egress from the project site onto Ferry Street. However, for the purpose of this written response we will provide the following brief narrative pertaining to this option:

We have considered the viability of providing an egress driveway onto Ferry Street extensively prior to our initial application. There are a number of issues that cause this option to not be feasible. Any of these individual concerns were sufficient to discourage us from pursuing this as an option, but all of them collectively caused us to abandon this as an option early on. A short list of these issues are as follows:

- i) Inadequate sight distance from the proposed driveway to the right (east) since sight distance is obscured by the existing steep rock grade on the south side of Ferry Street.
- ii) Necessary grading to provide even marginal sight distance to the right (east) from the proposed driveway would require the relocation of the existing utility poles and extensive excavation and rock removal along the south side of Ferry Street. Some of this grading would encroach on the adjoining property to the east. This would involve obtaining the consent of the abutting property owner.
- iii) Inadequate spacing of the proposed driveway and the nearby intersection. The proposed driveway can not be located far enough to the east on Ferry Street and will provide undue interference with the adjacent intersection of Beekman and Ferry Street to the west.
- iv) Inadequate sight distance and reaction time to avoid collisions from north bound traffic on Beekman Street turning east onto Ferry Street with vehicles exiting from the proposed driveway.

- v) Ferry Street does not intersect perpendicular with Beekman Street, requiring a driver exiting the proposed driveway to look left (west) past ninety (90) degrees to see oncoming north bound traffic turning east onto Ferry Street.
- vi) The existing grade on Ferry Street is moderately steep, sloping from west to east. The super elevation of the proposed driveway would have meet this existing grade.
- vii) Inadequate maneuvering deficiencies since the proposed driveway can not be located far enough to the east on Ferry Street to provide sufficient turning distance when making a left turn onto Ferry Street from the proposed driveway. This limited maneuvering distance does not provide sufficient area for a vehicle to stop at the existing stop sign and stop bar on Ferry Street and remain parallel to the north curb on Ferry Street.

The current proposed driveway location on Beekman Street provides the most favorable sight distance as well as horizontal and vertical alignment in accordance with the requisite site distance requirements. The current proposed driveway location on Beekman Street also provides the maximum safety and convenience for vehicular egress without any undue interference with nearby intersections or abutting property owners.

2. The Grading Plan (Page 4 of 9) of this submission has been modified to provide a uniform slope across the driveway and parking area at the rear of the building.
3. The top 1' - 1.5' of exposed surface rock is weathered and has been exposed to water and multiple freeze/thaw cycles. This weathered rock can be removed with a large excavator with a rock bucket or a single shank ripper. The building foundation excavation for footings is limited to a 42" depth below the proposed grade. In any location that the building foundation excavation encounters solid rock at depths that are shallower than 42" the rock will be air pressure blasted clean and the building foundation footings will be drilled and pinned to the top of the exposed rock. This will minimize the amount of rock removal for the building foundation. Rock removal for the storm water drainage system and underground electric/cable/telephone utilities will be done mainly with the use of a Vermeer rock trencher. Rock removal for water and sewer utilities will be mainly located on the north west end of the site. Due to existing utilities already in this area any rock encountered in this location will be removed by a backhoe mounted hydraulic hammer. Existing utilities in this area also suggest that the rock encountered in this area is already loose, or is already partially removed. Minimal rock removal for water and sewer utilities in the south west portion of the site is anticipated. Rock that has been removed by rock trencher will be used on site for backfill. A portion of the rock removed in mass by excavator bucket or ripper will be used on site as structural fill. The balance will be disposed of off site by truck. All rock removed by hydraulic hammer will be disposed of off site by truck.
4. The existing and proposed site grading is now shown on the Site Utility Plan (Page 5 of 9) of this submission.
5. An additional vehicle maneuvering area as well as an area for snow storage has been provided.

Page 6 of 6 dated April 2, 2018

6. Note # 2 of the "Tree & Shrub Planting Detail" on the Site Details Plan (Page 8 of 9) of this submission has been modified to address how proposed landscaping will be accomplished where rock is at or close to the surface.

We look forward to discussing the proposed project with the you.

If you have any questions or if you require any additional information, please feel free to call me at 845-464-0460.

Thank you.

Sincerely,

Thomas Elias

DRAINAGE EASEMENT

THIS INDENTURE, made the ____ day of _____, 2018

Between

FERRY LANDING AT BEACON, LTD., a domestic corporation organized under the laws of the State of New York, with an office at 105 Catherine street, Beacon, New York 12508 and a mailing address of Post Office Box 294, Beacon, New York 12508, party of the first part, and

CITY OF BEACON, a municipal corporation organized under the laws of the State of New York, with an address of 1 Municipal Plaza, Beacon, NY 12508, party of the second part,

NOW THIS INDENTURE WITNESSETH, that the party of the first part, in consideration of TEN AND 00/100 DOLLARS (\$10.00) lawful money of the United States, and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain permanent easement and right of way for the purpose of access to use, maintain, repair, and or replace the existing storm drain on the property located at the south east corner of Beekman Street and Ferry Street. Said property is the premises described in a deed recorded in the Dutchess County Clerk's Office on April 25, 1986 in Liber 1704, Page 883 and is further identified with a parcel grid identification number of 5954-33-556840.

Said property is situated, lying and being in the City of Beacon, County of Dutchess, State of New York, and is shown on a map titled "Subdivision Plat for Ferry landing at Beacon" and filed in the Office of the Dutchess County Clerk on the ____ day of _____, 2017 as Filed Map # _____, said easement and right of way is indicated as "Proposed Drainage Easement Granted to City of Beacon" on said map, and is more particularly described as follows:

BEGINNING at a point on the north east corner of Bayview Avenue, said point also being the south corner of the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE north westerly along the division line between the parcel of land designated HOA Lot and the parcel of land designated Bayview Avenue on said map, North 59°49'50" West for a distance of 20.19' to a point on the division line between the parcel of land designated HOA Lot and the parcel of land designated Bayview Avenue on said map;

THENCE north easterly through the parcel of land designated HOA Lot, North 22°20'20" East for a distance of 77.23' to a point, said point being on the north division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE south easterly along the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map, South $21^{\circ}13'40''$ East for a distance of 29.02' to a point, said point being on the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE south westerly along the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map, South $22^{\circ}20'20''$ West for a distance of 58.95' to a point, said point being the point or place of beginning.

CONTAINING 0.03 acres of land more or less.

AND:

BEGINNING at a point on the south side of Ferry Street, said point also being the north corner of the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE south easterly along the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map, South $21^{\circ}13'40''$ East for a distance of 23.47' to a point, said point being on the division line between the parcel of land designated HOA Lot and the parcel of land designated now or formally lands of D'Aprile on said map;

THENCE north westerly through the parcel of land designated HOA Lot on said map, North $79^{\circ}40'40''$ West for a distance of 37.60' to a point;

THENCE north easterly through the parcel of land designated HOA Lot on said map, North $10^{\circ}19'20''$ East for a distance of 20.00' to a point, said point being on the division line between the parcel of land designated HOA Lot and the parcel of land designated Ferry Street on said map;

THENCE south easterly along the division line between the parcel of land designated HOA Lot and the parcel of land designated Ferry Street on said map, South $79^{\circ}40'40''$ East for a distance of 35.47 to a point, said point being the point or place of beginning.

CONTAINING 0.02 acres of land more or less.

TOGETHER with the following express conditions, reservations and restrictions which shall continue and will run with the land:

FIRST that the party of the second part shall, at its own cost and expense, repair, restore, replace, and maintain the surface of any land impairment occasioned by the party of the second part's use of said lands.

SECOND that the party of the second part does hereby waive any claims for damages from the use of the easement hereby offered.

THIRD that the party of the second part agrees to indemnify and save the party of the first part harmless from and against any and all claims, liability, loss, expense, suits, damages, judgments, demands, and cost, including reasonable legal fees and expenses from the use of the easement hereby offered.

FOURTH that the parties of the second part will not cause any impairment outside of said easement area occasioned by the party of the second part's use of said lands.

FIFTH that the parties of the first part will not erect or construct any permanent improvements within said easement without having first obtained written approval from the party of the second part.

SIXTH that the parties of the first part will not plant or place any tree or shrub within said easement without having first obtained written approval from the party of the second part.

TO HAVE AND TO HOLD the rights herein granted unto the party of the second part forever.

AND the party of the second part shall have the right to transfer, convey, and assign the rights herein granted to any and all additional parties at its sole discretion.

AND the party of the second part shall have the right to use the said premises, with the rights and privileges herein described and granted, for the purpose of access to use, maintain, repair, and or replace the existing storm drain on the property.

AND the party of the first part shall have the right to use the said premises, with the rights and privileges herein described and granted, provided that such use shall not interfere with the use, maintenance, repair, and or replacement of the existing storm drain on the property.

AND this easement shall be binding on the party of the first part and their respective distributees, successors, personal and legal representatives, successors and assigns forever.

The word "party" shall be construed as it if read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this easement the day and year first above written.

IN PRESENCE OF:

FERRY LANDING AT BEACON, LTD.

BY: _____
Thomas Elias, President

STATE OF NEW YORK)
) SS.:
COUNTY OF _____)

On the _____ day of _____, 2018 before me, the undersigned, a Notary Public in and for said state, personally appeared THOMAS ELIAS, President of ferry landing at Beacon, Ltd., known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is (are) subscribed to the within instrument and acknowledged to me that he executed the same in his capacity and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public

DRAINAGE EASEMENT

TITLE No.

FERRY LANDING AT BEACON, LTD.

TO

CITY OF BEACON

SECTION	5954
BLOCK	33
LOT	556840
COUNTY	DUTCHESS
CITY	BEACON

RETURN BY MAIL TO:

CITY OF BEACON
1 MUNICIPAL PLAZA
BEACON, NY 12508

1. THE CURRENT CONDITION OF THE PROPERTY IS VACANT LAND WITHOUT ANY MAPED EASEMENTS OF RECORD. ALL UTILITY EASEMENTS, LOT LINES, AND IMPROVEMENTS SUCH AS STRUCTURES, DRIVEWAYS, PARKING AREAS, AND SIDEWALKS INDICATED ON THIS PLAT ARE PROPOSED.
2. THE PROJECT SPONSOR WILL ORIGINATE AND ORGANIZE A NEW YORK STATE NOT FOR PROFIT CORPORATION NAMED "TERRY LANDING AT BECON HOMEOWNERS ASSOCIATION, INC." FOR THE ACQUISITION OF THE HOLDINGS OF THE PROJECT OTHER THAN THE PROPOSED LOTS AND THE SUBSEQUENT CONVEYANCE OF THE COMMON AREAS TO THE HOMEOWNERS ASSOCIATION.
3. EVERY PERSON OR ENTITY THAT BECOMES AN OWNER OF A FEE OR UNDIVIDED FEE INTEREST IN ANY PROPOSED LOT (INDICATE AS LOT #1 - LOT #6 ON THIS PLAT) SHALL AUTOMATICALLY BE DEEMED TO BE A MEMBER OF THE HOMEOWNERS ASSOCIATION AND IS SUBJECT TO THE COVENANTS OF RECORD AND TO ASSESSMENTS BY THE HOMEOWNERS ASSOCIATION.
4. THE TERM "COMMON AREAS" SHALL REFER TO ALL REAL PROPERTY OWNED BY THE HOMEOWNERS ASSOCIATION FOR THE COMMON USE AND ENJOYMENT OF THE MEMBERS OF THE HOMEOWNERS ASSOCIATION, OTHER THAN THE PROPOSED LOTS (INDICATE AS LOT #1 - LOT #6 ON THIS PLAT) THEMSELVES, AND INCLUDE BUT ARE NOT LIMITED TO LANDSCAPED AREAS, UNIMPROVED AND UNDEVELOPED AREAS, DRIVEWAYS, PARKING AREAS, AND SIDEWALKS.
5. THE PROJECT SPONSOR AND ALL MEMBERS OF THE HOMEOWNERS ASSOCIATION AND THEIR SUCCESSORS AND ASSIGNS SHALL HAVE THE RIGHT TO ACCESS AND EGRESS FROM AND TO THE COMMON AREAS THROUGH THE COMMON AREAS AND SHALL HAVE A RIGHT AND EASEMENT OF USE AND ENJOYMENT IN AND TO ALL COMMON AREAS IN ACCORDANCE WITH THE COVENANTS OF RECORD.
6. THE PROJECT SPONSOR, THE HOMEOWNERS ASSOCIATION, AND ALL MEMBERS OF THE HOMEOWNERS ASSOCIATION AND THEIR GUEST, LICENSEES AND INVITES SHALL HAVE A COMMON SIGHT DISTANCE EASEMENT FOR THE PURPOSE OF PROVIDING UNDISTURBED SIGHT DISTANCE FOR VEHICLES EGRESS FROM THE PROPOSED DRIVEWAY, IN COMMON WITH ONE ANOTHER OVER, UPON, AND ACROSS EACH LOT AND ALL COMMON AREAS IN ACCORDANCE WITH THE COVENANTS OF RECORD.
7. THE PROJECT SPONSOR, THE HOMEOWNERS ASSOCIATION, AND ALL MEMBERS OF THE HOMEOWNERS ASSOCIATION SHALL HAVE A COMMON UTILITY EASEMENT FOR THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT, AND REMOVAL OF UTILITIES, COMMON WITH ONE ANOTHER UNDER, UPON, AND ACROSS ALL LOTS AND COMMON AREAS IN ACCORDANCE WITH THE COVENANTS OF RECORD.
8. THE PROJECT SPONSOR, THE HOMEOWNERS ASSOCIATION, AND ALL MEMBERS OF THE HOMEOWNERS ASSOCIATION SHALL HAVE A COMMON MAINTENANCE EASEMENT FOR THE REASONABLE AND USUAL REPAIR, MAINTENANCE, AND SERVICE OF THE INDIVIDUAL TOWNHOMES, IN COMMON WITH ONE ANOTHER OVER, UPON, AND ACROSS ALL OTHER LOTS OR COMMON AREAS IN ACCORDANCE WITH THE COVENANTS OF RECORD.
9. THE PROJECT SPONSOR AND THE HOMEOWNERS ASSOCIATION SHALL HAVE A GENERAL ACCESS EASEMENT FOR LANDSCAPING, SNOW REMOVAL, GENERAL MAINTENANCE OF LOTS AND EXTENSIONS OF HOMES, OVER, UNDER, UPON, AND ACROSS ALL LOTS IN ACCORDANCE WITH THE COVENANTS OF RECORD.
10. OF THE PROPERTY, INCLUDING ALL LOTS AND COMMON AREAS SHALL BE SUBJECT TO ALL ADDITIONAL EASEMENTS OF RECORD AS ESTABLISHED BY THE PROJECT SPONSOR PRIOR TO THE CONVEYANCE OF THE COMMON AREA TO THE HOMEOWNERS ASSOCIATION AND IN ACCORDANCE WITH THE COVENANTS OF RECORD.
11. ALL EASEMENTS AND/OR OTHER RIGHTS GRANTED BY THE PROJECT SPONSOR SHALL BE PERMANENT, RUN WITH THE LAND, AND BE BINDING UPON AND FOR THE BENEFIT OF THE PROJECT SPONSOR, THE HOMEOWNERS ASSOCIATION, AND ALL MEMBERS OF THE HOMEOWNERS ASSOCIATION.

APPROVED BY RESOLUTION OF THE BEACON PLANNING BOARD
ON THE _____ DAY OF _____, 2017
SUBJECT TO ALL CONDITIONS AS STATED THEREIN

DATE _____

HIS PLAN DOES NOT CONSTITUTE A REALTY SUBDIVISION AS DEFINED BY ARTICLE XI, SECTION 1115 OF THE PUBLIC HEALTH LAW OF THE STATE OF NEW YORK, AND ARTICLE XI OF THE DUTCHES COUNTY SANITARY CODE. PERMISSION IS HEREBY GRANTED FOR THE FILING OF THIS MAP WITH THE CLERK OF DUTCHES COUNTY, APPROVAL FOR ARRANGEMENTS FOR WATER SUPPLY AND/OR SEWAGE DISPOSAL IS NEITHER SOUGHT NOR GRANTED.

DATE _____

Certified only to:

By: _____

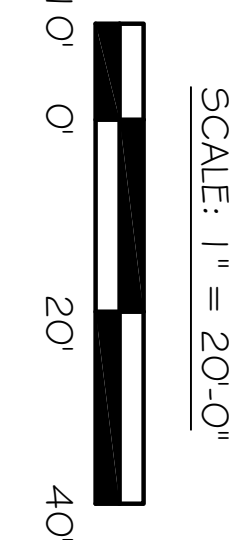
17D
PRELIMINARY
PLAT ONLY
NOT FOR FILING
17C Lic. No. 50046

The location of any subsurface easements, right of ways, encroachments and/or encumbrances if any, shall not be affected by the above.

All certifications hereon are void for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature

John J. Post, Jr., Land Surveyor
P.O. Box 827, Stone Ridge, N.Y. (845) 706-7528

**PRELIMINARY
PLAT ONLY
NOT FOR FILING**



**PRELIMINARY
PLAT ONLY
NOT FOR FILING**

**PRELIMINARY
PLAT ONLY
NOT FOR FILING**

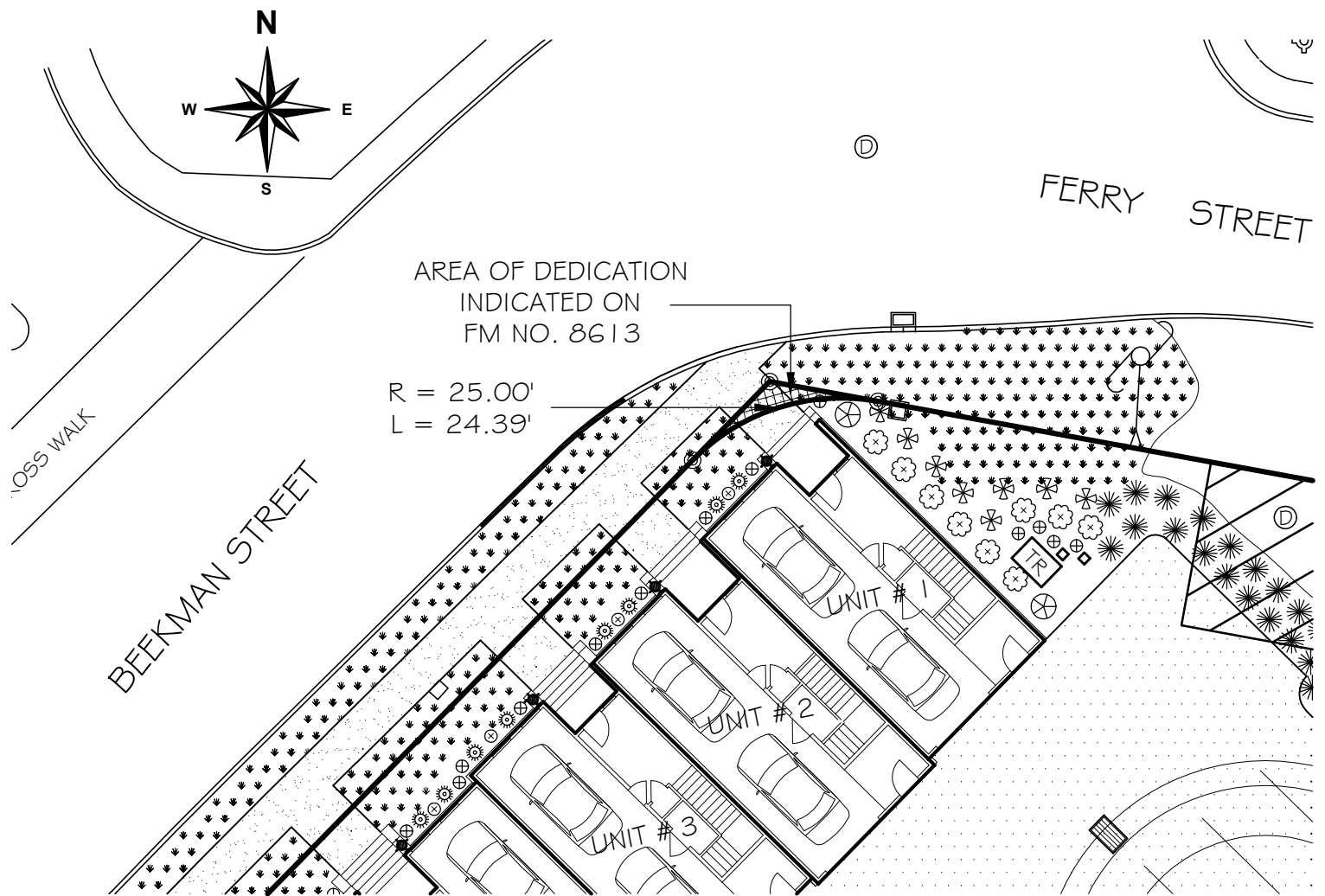
PRELIMINARY PLAT
FOR
FERRY LANDING AT BEACON
BEEKMAN AND FERRY STREET
BEACON, NY 12508

DATE: MARCH 30, 2018

SCALE: 1" = 20'-0"

DRAWING:

OF



CONCEPTUAL PARTIAL SITE PLAN (north west corner site)

SCALE: 1" = 20' - 0"
DATED MARCH 30, 2018

NARRATIVE:

1.) THE PURPOSE OF THIS CONCEPTUAL PLAN IS TO ADDRESSES THE POSSIBLE DEDICATION OF THE SMALL TRIANGULAR AREA LOCATED IN THE NORTHWEST CORNER OF THE PROPERTY AS INDICATED ON FILED MAP NO. 8613 TO THE CITY OF BEACON. THIS CONCEPTUAL SITE PLAN INDICATES THAT EVEN IF THIS AREA IS DEDICATED TO THE CITY OF BEACON THE PROPOSED BUILDING LOCATION IS NOT ENCROACHING ON THIS AREA. THE DEDICATION OF THIS PROPERTY WILL HAVE NO IMPACT ON THE PROJECT.

GENERAL PARCEL INFORMATION

PARCEL GRID IDENTIFICATION #

5954-33-556&40

PARCEL INFORMATION:

LIBER 1704 PAGE 08&3
AKA LOT # 2 ON FM # 8613

MUNICIPALITY:

BEACON

PARCEL LOCATION:

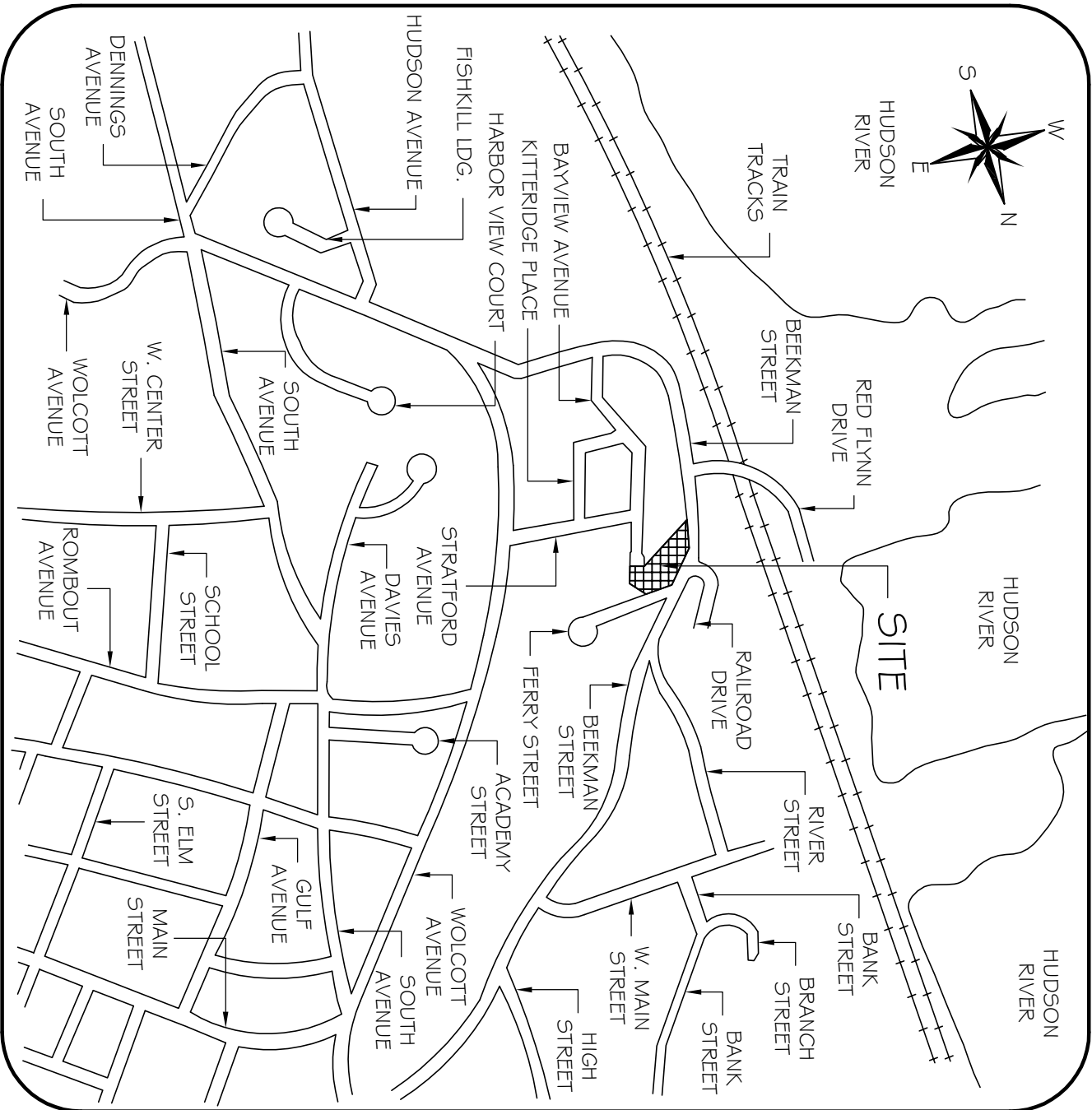
BECKMAN & FERRY STREET

CURRENT OWNER:

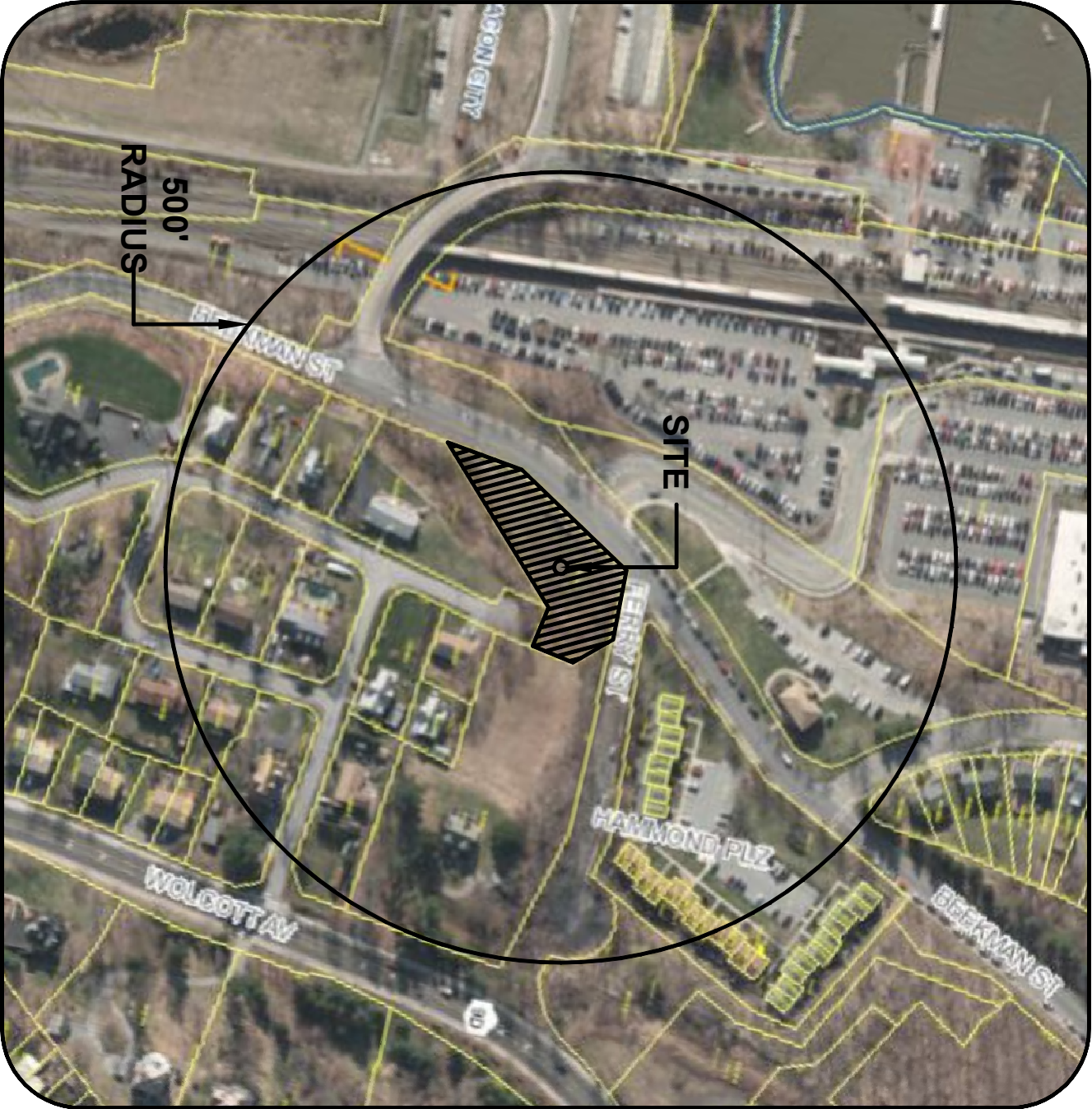
NINNIE, ARMAND
PO BOX 328
BEACON, NY 12508

PARCEL DETAILS:

SIZE: 0.56 ACRES = 24,491 SF
SCHOOL DISTRICT: BEACON CITY
LAND USE: VACANT
ZONING DISTRICT: LINKAGE DISTRICT (U)
FLOOD INFORMATION: NO PORTION OF THE PROPERTY IS SUBJECT TO FLOODING OR STORMWATER OVERFLOWS



LOCATION MAP
SCALE: 1" = 1200' ±



AERIAL OF SURROUNDING BUILDINGS
SCALE: 1" = 200' ±

GENERAL PROJECT INFORMATION

PROJECT APPLICANT:

FERRY LANDING AT BEACON, LTD.
POST OFFICE BOX 294
BEACON, NY 12508

PROPOSED USE:

ATTACHED DWELING UNITS IN ACCORDANCE WITH SECTION 223-41.21 A. (2)
OF THE CITY OF BEACON ZONING CODE

NUMBER OF UNITS:

SIX (6) SINGLE FAMILY RESIDENTIAL UNITS

FRONT SETBACK:

MINIMUM 0', MAXIMUM 20'

CORNER BUILDINGS:

ASSUME FRONTAGE ON BOTH STREETS & FRONT SETBACKS APPLY TO BOTH

SIDE SETBACKS:

MINIMUM 0', MAXIMUM 30'

REAR SETBACKS:

MINIMUM 25'

BUILDING HEIGHT:

4 STORIES

LOT AREA & LOT WIDTH:

NO MINIMUM

LOT DEPTH:

MINIMUM 75'

FLOOR AREA RATIO:

NO MINIMUM

LANDSCAPED AREA:

MINIMUM REQUIRED: 15% OF LOT AREA = 3,674 SF
LANDSCAPED AREA PROVIDED: 20% OF LOT AREA = 4,847 SF
ADDITIONAL LANDSCAPED AREA ADJOINING SITE = 1,852 SF
TOTAL AREA OF LANDSCAPING PROVIDED = 6,699 SF

OFF STREET PARKING:

MINIMUM REQUIRED: 6 SPACES
PARKING PROVIDED: 12 INTERIOR SPACES / 6 EXTERIOR SPACES

BUILDING FOOTPRINT:

0.11 ACRES = 4,770 SF

PAVEMENT AREA:

0.19 ACRES = 8,327 SF ON SITE
0.03 ACRES = 1,132 SF ADJOINING SITE
0.21 ACRES = 9,459 SF TOTAL AREA

AREA OF DISTURBANCE:

0.41 ACRES = 17,944 SF ON SITE
0.07 ACRES = 2,984 SF ADJOINING SITE
0.48 ACRES = 20,928 SF TOTAL AREA

DRAWING INDEX

DRAWING	DRAWING TITLE
1 of 9	SITE INFORMATION PLAN
2 of 9	EXISTING SITE PLAN
3 of 9	SITE DEVELOPMENT PLAN
4 of 9	SITE GRADING PLAN
5 of 9	SITE UTILITIES PLAN
6 of 9	UTILITY PROFILE PLAN
7 of 9	SIGHT DISTANCE PLAN
8 of 9	SITE DETAILS PLAN
9 of 9	SITE DETAILS PLAN

PLAN LEGEND	
	SITE PROPERTY LINE
	ADJOINING PROPERTY LINE
	EXISTING CONTOUR LINE
	EXISTING STREET LIGHT
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING DRAINAGE MANHOLE
	EXISTING STOP SIGN
	EXISTING NO OUTLET SIGN
	EXISTING STREET SIGN
	EXISTING PARKING SIGN
	EXISTING TRAIN SIGN
	EXISTING SEWER MAN HOLE
	EXISTING UTILITY POLE
	EXISTING OH WIRE
	PROPOSED POST LIGHT
	PROPOSED CONTOUR LINE
	PROPOSED LOW POINT SPOT ELEVATION
	PROPOSED 4' Ø SDR SEWER SERVICE
	PROPOSED DOWN SPOUT
	PROPOSED 1" Ø WATER SERVICE
	PROPOSED CURB VALVE
	PROPOSED SEWER / DRAIN CLEAN OUT
	PROPOSED 8" Ø SDR SEWER MAIN
	PROPOSED 8" Ø ROOF DRAIN MAIN
	PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED ELECTRIC SERVICE
	PROPOSED TELEPHONE SERVICE
	PROPOSED CABLE TV SERVICE
	PROPOSED DRAINAGE MANHOLE

APPROVED BY RESOLUTION OF THE BEACON PLANNING BOARD
ON THE DAY OF 2017
SUBJECT TO ALL CONDITIONS AS STATED THEREIN

CHAIRMAN, CITY PLANNING BOARD

DATE

REVISION & DATE

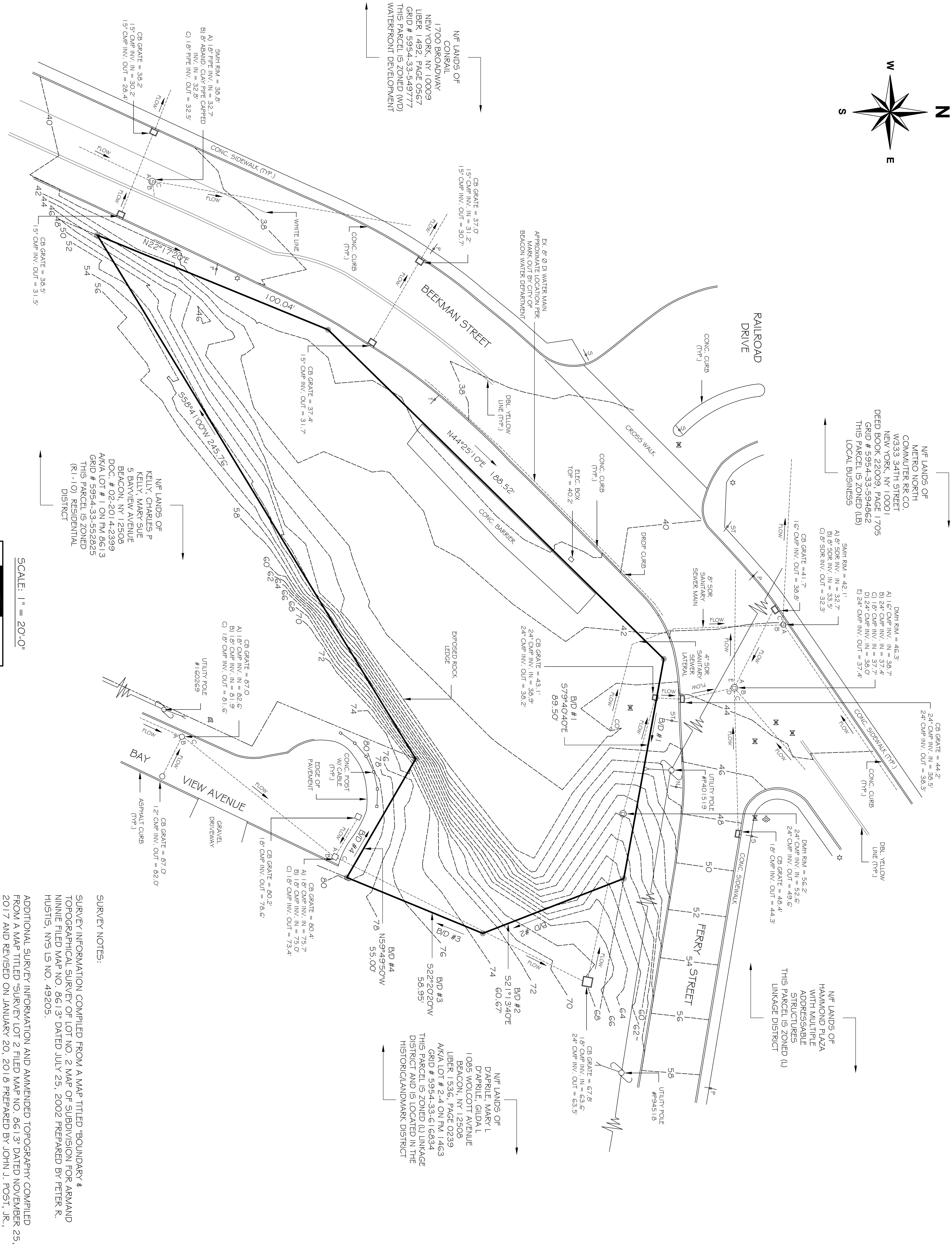
FERRY LANDING AT BEACON, LTD
DEVELOPERS · DESIGNERS · BUILDERS
POST OFFICE BOX 294
BEACON, NY 12508

SITE INFORMATION PLAN
FOR
FERRY LANDING AT BEACON
BEEKMAN AND FERRY STREET
BEACON, NY 12508

DATED: MARCH 30, 2018

SCALE: NONE

DRAWING:
1 of 9



LOT STANDARDS			
	MIN.	MAX.	PROPOSED
LOT AREA			24,491 SF
LOT WIDTH			VARIES
LOT DEPTH	75'		VARIES > 75'
F.A.R.			0.000
FRONT SETBACK	0'	20'	VARIES < 20'
SIDE SETBACK	0'	30'	VARIES < 30'
REAR SETBACK	25'		VARIES > 25'
LANDSCAPED AREA	15%		23 %
FRONTAGE OCCUPANCY			
PEDESTRIAN CLEARWAY	5'		5'

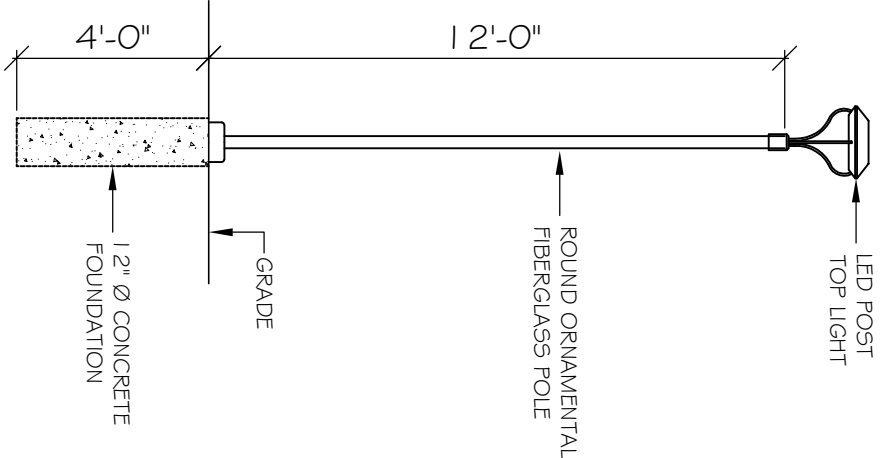
LOT STANDARDS			
	MIN.	MAX.	PROPOSED
LOT AREA			24,491 SF
LOT WIDTH			VARIES
LOT DEPTH	75'		VARIES > 75'
F.A.R.			0.000
FRONT SETBACK	0'	20'	VARIES < 20'
SIDE SETBACK	0'	30'	VARIES < 30'
REAR SETBACK	25'		VARIES > 25'
LANDSCAPED AREA	15%		23 %
FRONTAGE OCCUPANCY			
PEDESTRIAN CLEARWAY	5'		5'

BUILDING HEIGHTS			
	MIN.	MAX.	PROPOSED
# OF STORIES	2	4*	4*

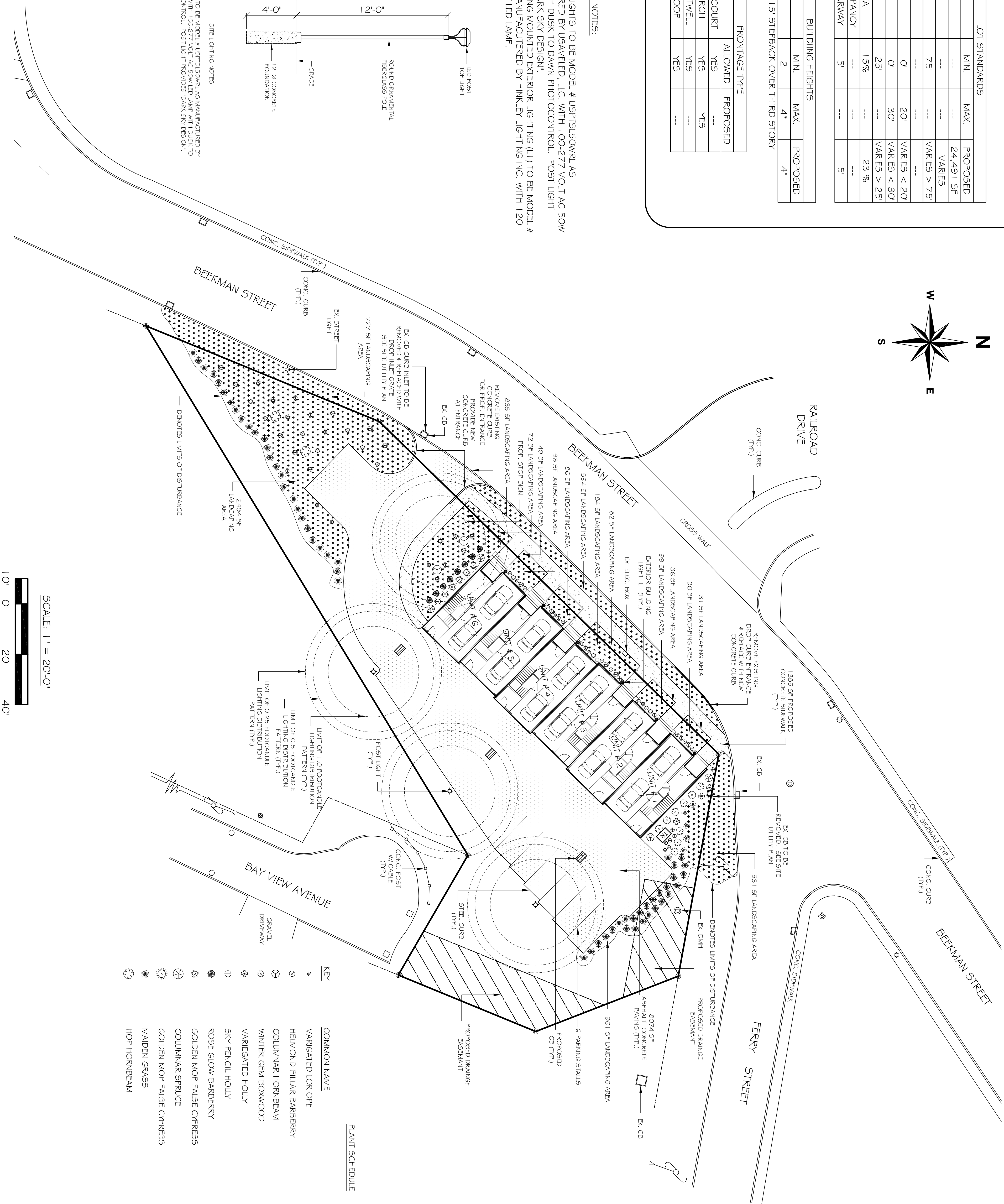
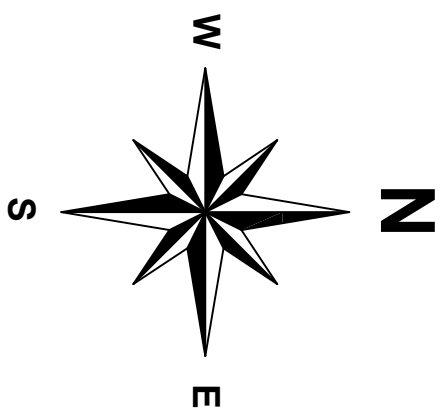
FRONTAGE TYPE	
	ALLOWED
FORECOURT	YES
PORCH	YES
LIGHTWELL	YES
STOOP	YES

1. ALL POSTLIGHTS TO BE MODEL # UPSFL50KAL AS MANUFACTURED BY USAVEILED, LLC, WITH 100-277 VOLT AC 50MA LED LAMP WITH PUSK TO DAWN PHOTOCONTROL. POST LIGHT PROVIDES "DARK SKY DESIGN".

2. ALL BUILDING MOUNTED EXTERIOR LIGHTING (L) TO BE MODEL # 1224AT AS MANUFACTURED BY HINKLEY LIGHTING INC., WITH 120 VOLT AC 35W LED LAMP.



ALL POST LIGHTS TO BE MODEL # USF515LOWRL AS MANUFACTURED BY USAVEILED, LLC. WITH 100-277 VOLT AC 50W LED LAMP WITH DUSK TO DAWN PHOTOCONTROL. POST LIGHT PROVIDES "DARK SKY DESIGN".



PLANT SCHEDULE			
KEY	COMMON NAME	SIZE	QUANTITY
✱	VARIATED LOROPF	1 GAL	1,352
⊗	HELMOLD PILLAR BARBERRY	3 GAL	6
⊗	COLUMNAR HORNEAM	8' HEIGHT B&B	2
⊗	WINTER GEM BOXWOOD	24'-30" B&B	9
✱	VARIATED HOLLY	3 GAL	8
⊕	SKY PENCIL HOLLY	7 GAL	16
⊗	ROSE GLOW BARBERRY	3 GAL	8
⊗	GOLDEN MOP FALSE CYPRRESS	5 GAL	42
⊗	COLUMNAR SPRUCE	8'-10' HEIGHT B&B	2
⊗	GOLDEN MOP FALSE CYPRRESS	24'-30" B&B	6
✱	MAIDEN GRASS	3 GAL	54
⊗	HOP HORNEAM	8' HEIGHT B&B	2

DEVELOPERS · DESIGNERS · BUILDERS
POST OFFICE BOX 294
BEACON, NY 12508

SITE DEVELOPMENT PLAN

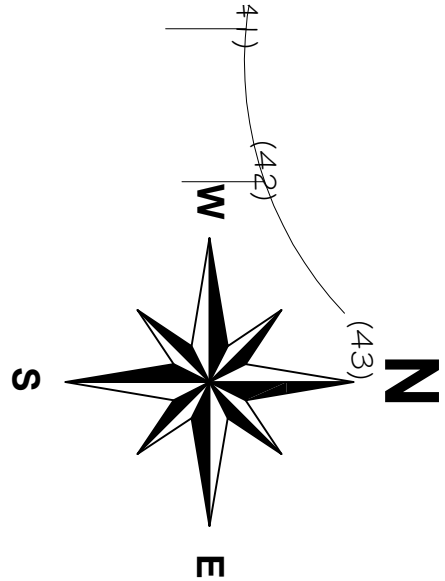
BEEKMAN AND FERRY STREET
BEACON, NY 12508

REVISION & DATE

DATED: MARCH 30, 2018

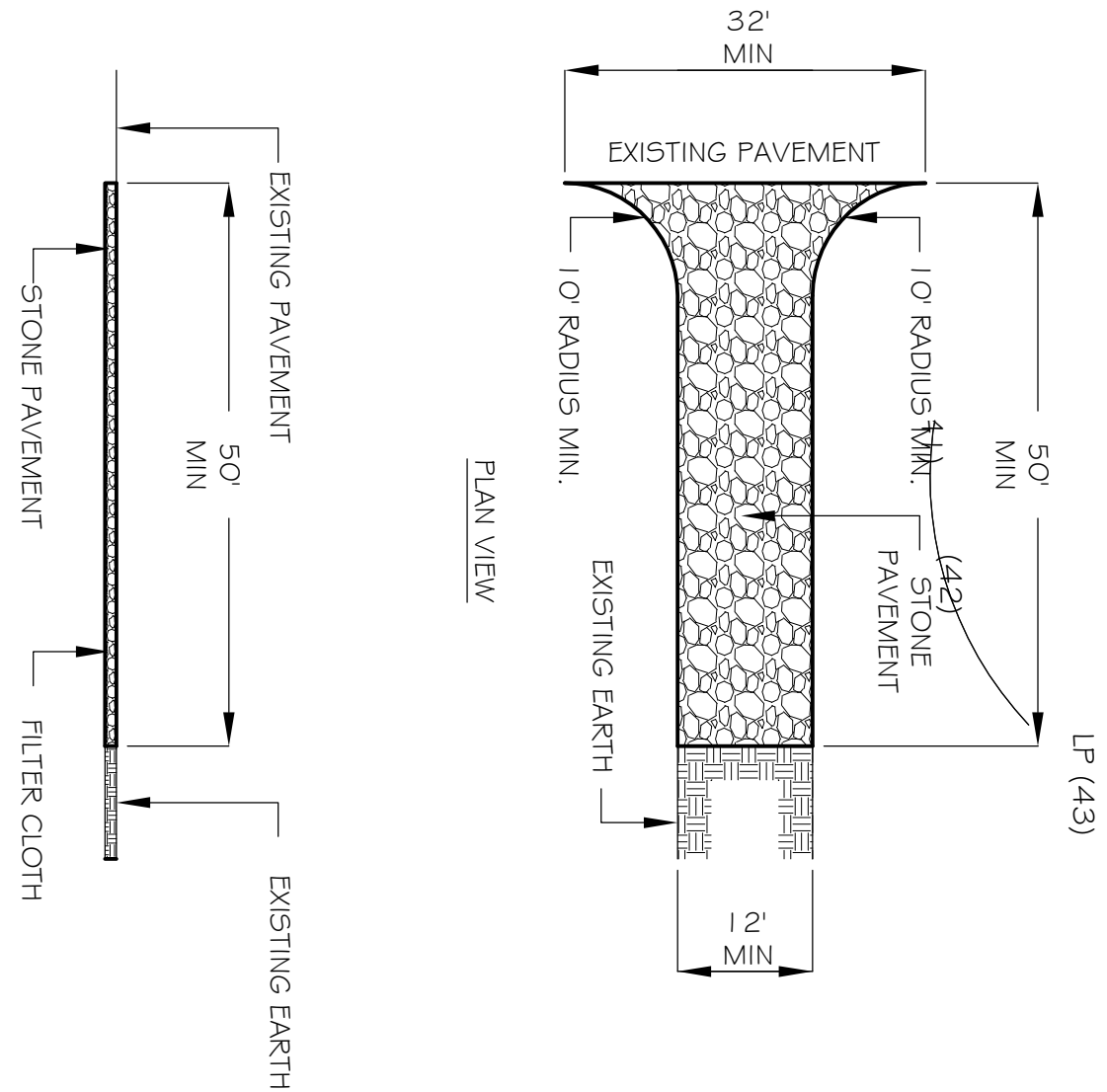
SCALE: 1" = 20'-0"

3 OF 6



SITE GRADING NOTES:

EARTHWORK COMPUTATION ESTIMATE: APPROXIMATELY 394 CY OF MATERIAL TO BE REMOVED FROM THE SITE.



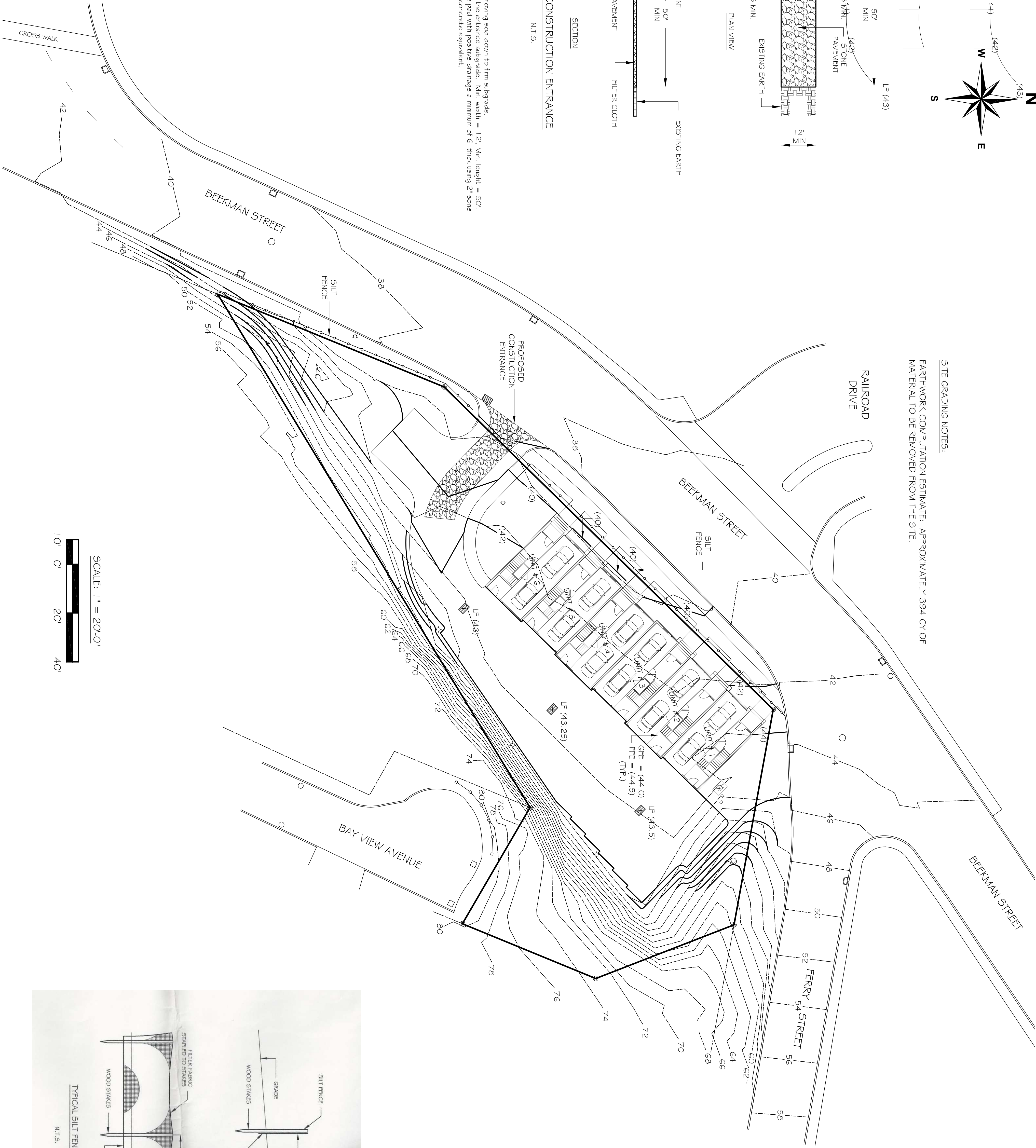
SECTION

STABILIZED CONSTRUCTION ENTRANCE

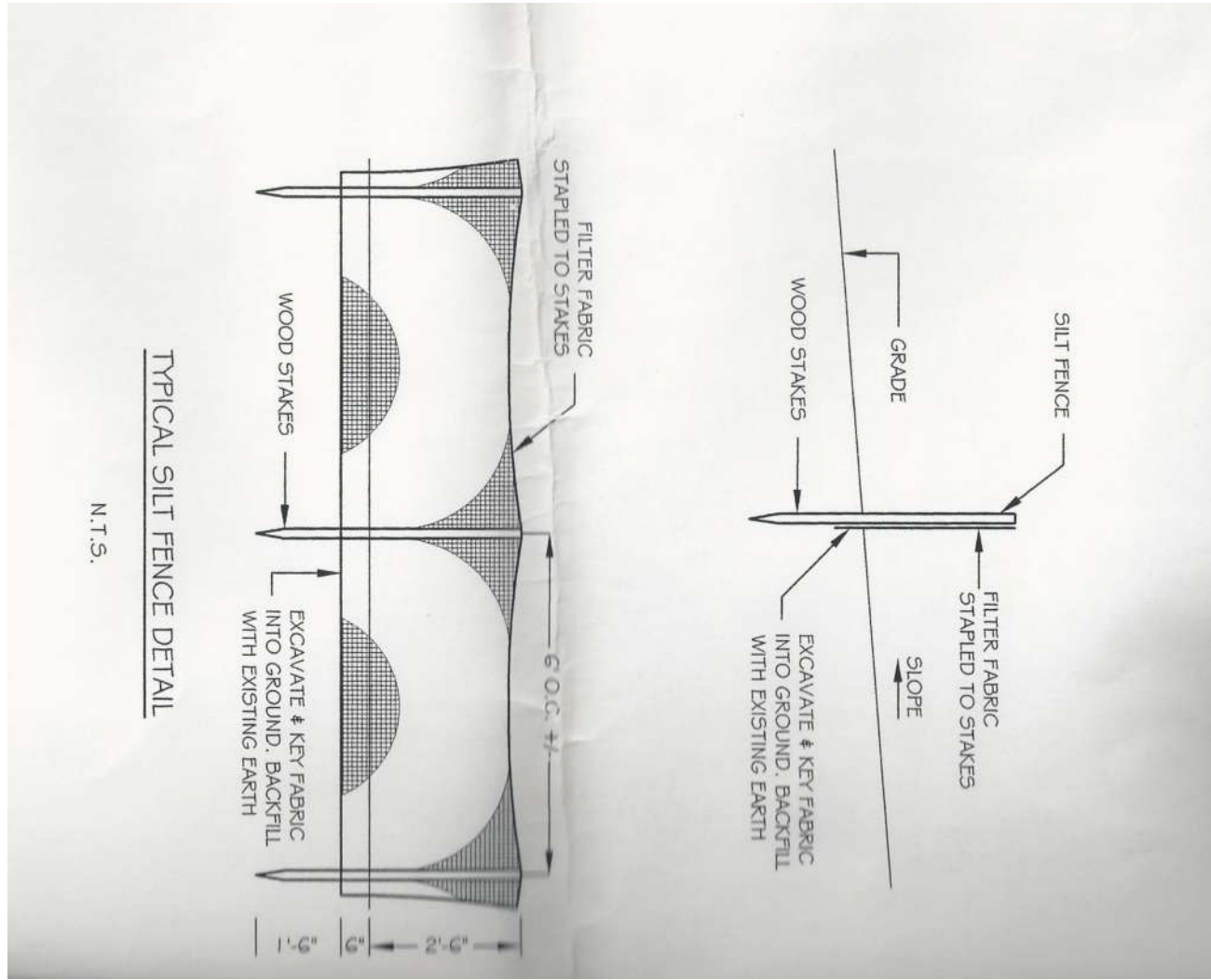
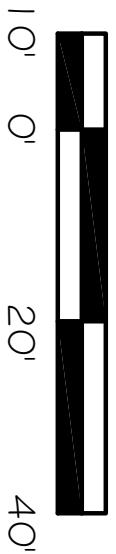
N.T.S.

Installation Details:

1. Grade entrance by removing sod down to firm subgrade.
2. Place filter cloth over the entrance subgrade. Min. width = 12'. Min. length = 50'.
3. Construct aggregate pad with positive drainage a minimum of 6" thick using 2" stone or reclaimed or recycled concrete equivalent.



SCALE: 1" = 20'-0"



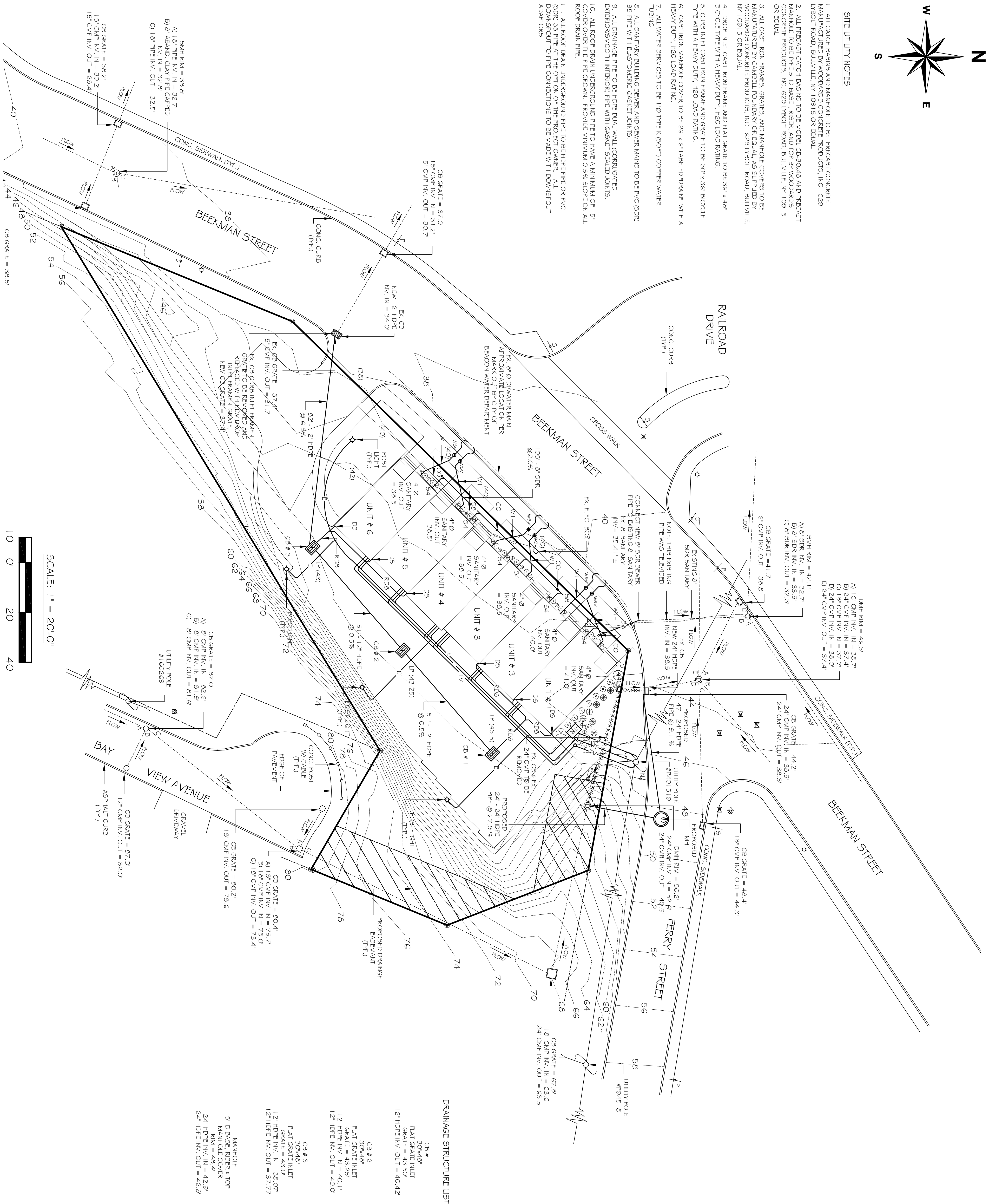
TYPICAL SILT FENCE DETAIL

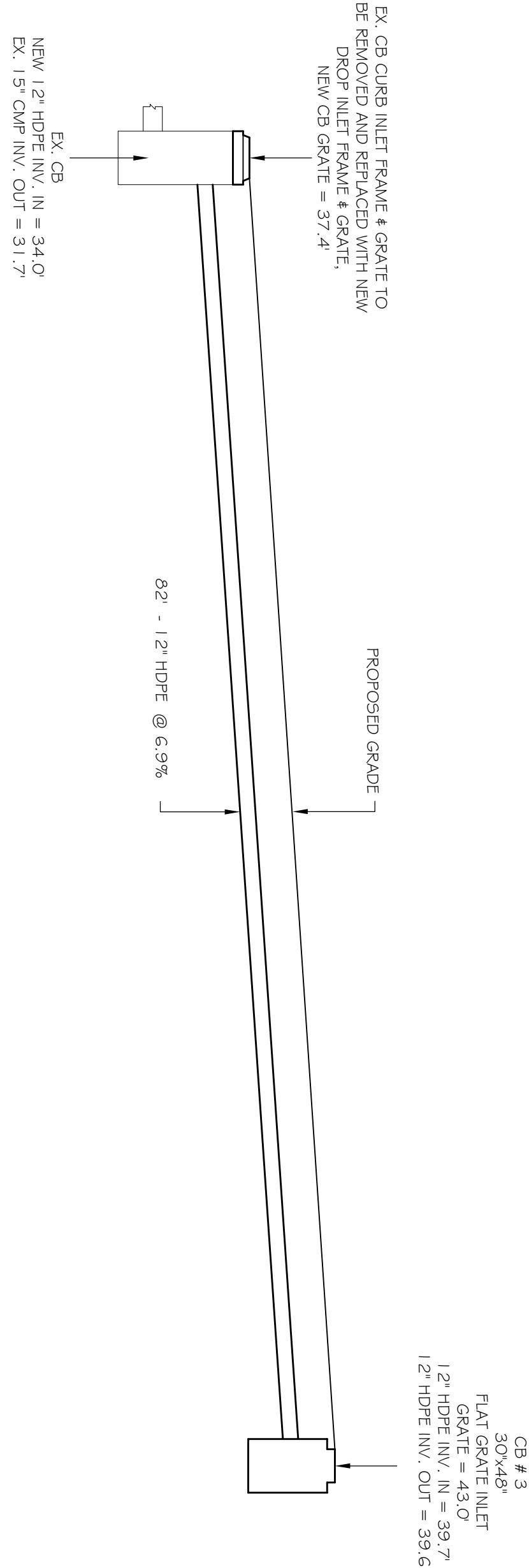
N.T.S.

SITE GRADING PLAN
FOR
FERRY LANDING AT BEACON
BEEKMAN AND FERRY STREET
BEACON, NY 12508

FERRY LANDING AT BEACON, LTD
DEVELOPERS · DESIGNERS · BUILDERS
POST OFFICE BOX 294
BEACON, NY 12508

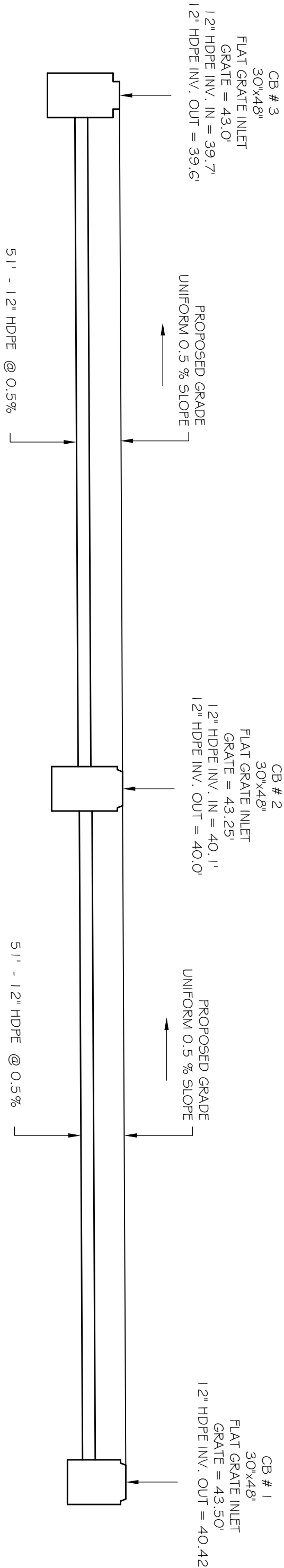
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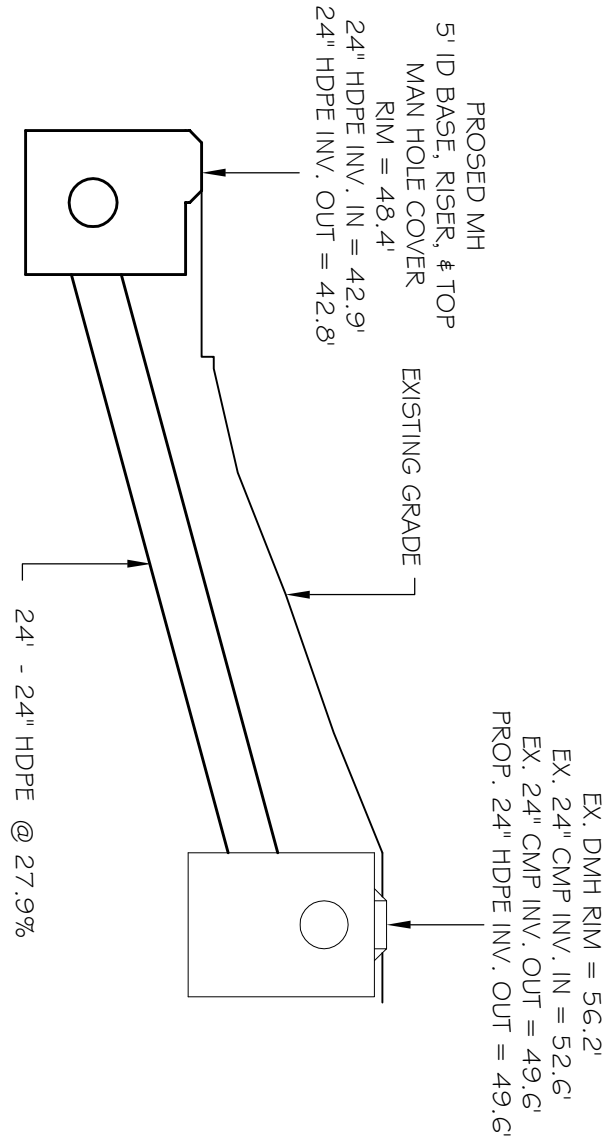
STORM DRAIN PROFILE AT CB#3 TO EX. CB

SCALE: 1/8" = 1'-0"



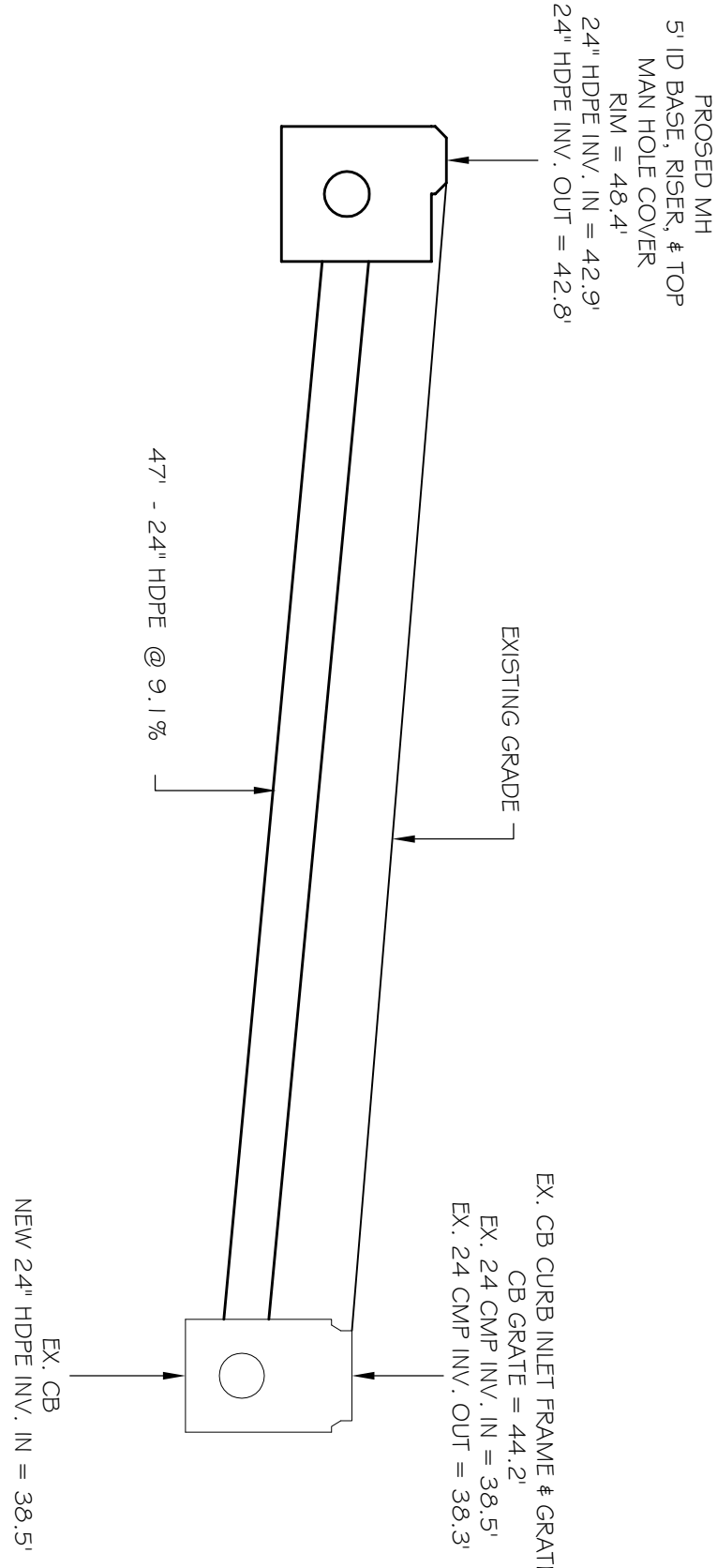
STORM DRAIN PROFILE AT CB# 1 TO CB#3

SCALE: 1/8" = 1'-0"



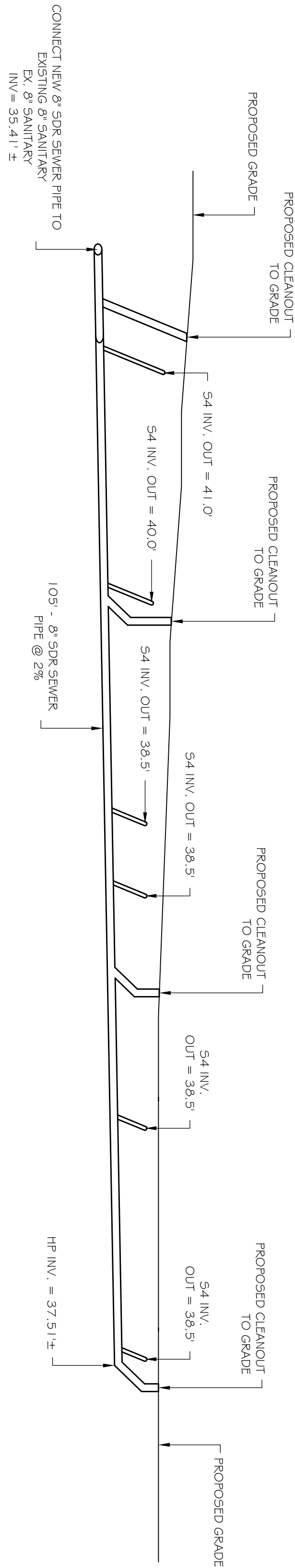
STORM DRAIN PROFILE AT PROP. MH TO EX. MH

SCALE: 1/8" = 1'-0"



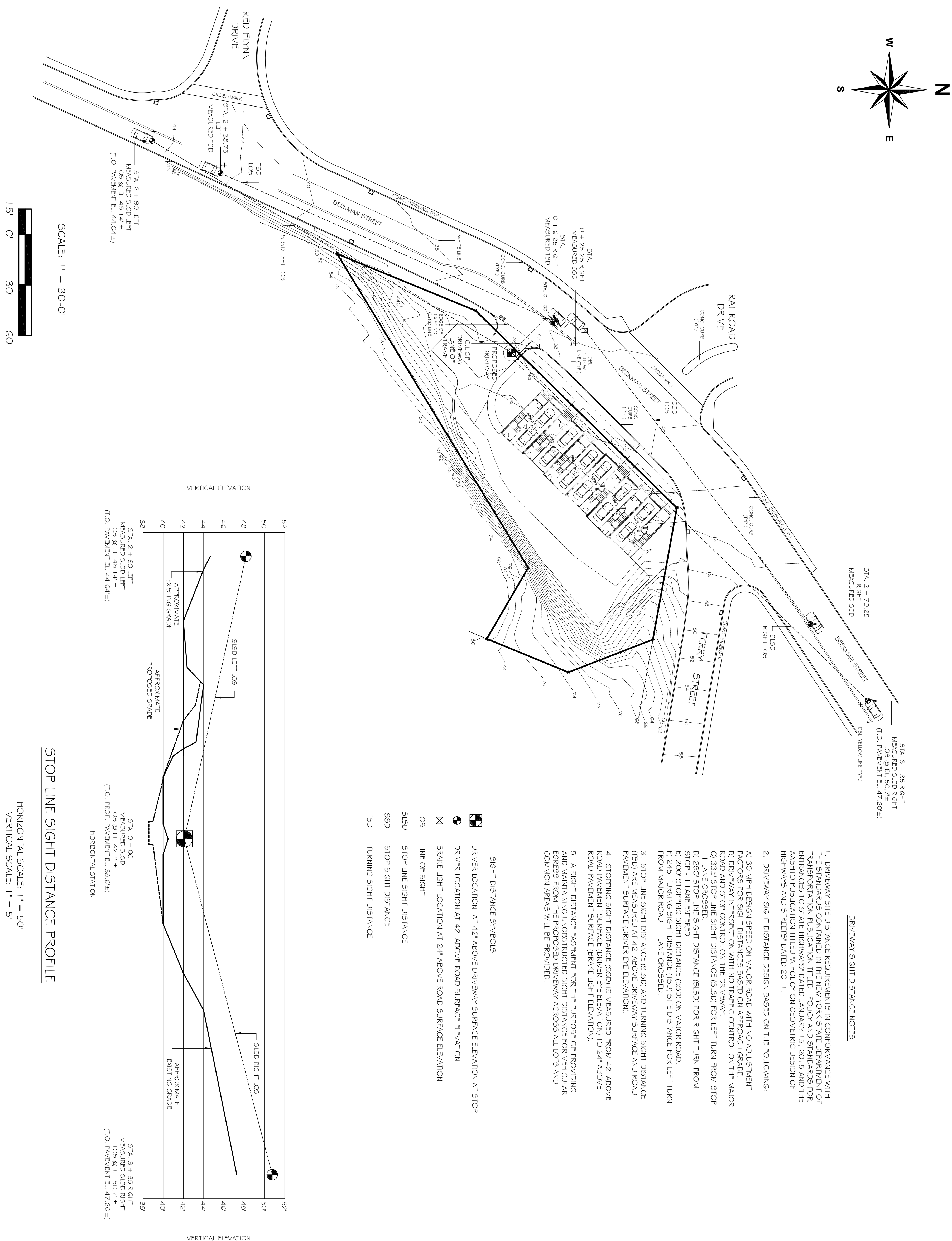
STORM DRAIN PROFILE AT PROP. MH TO EX. CB

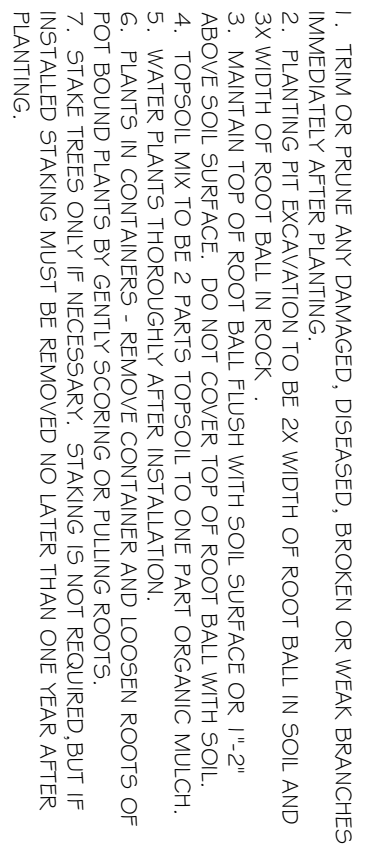
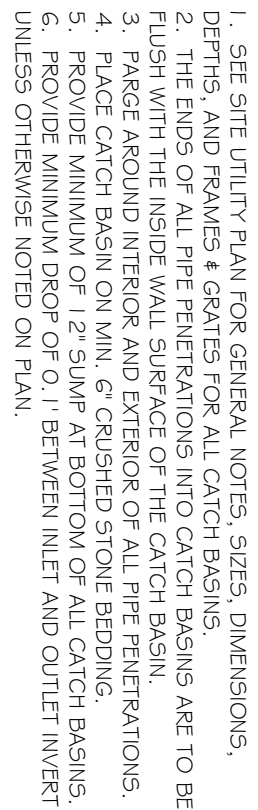
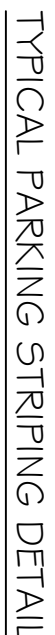
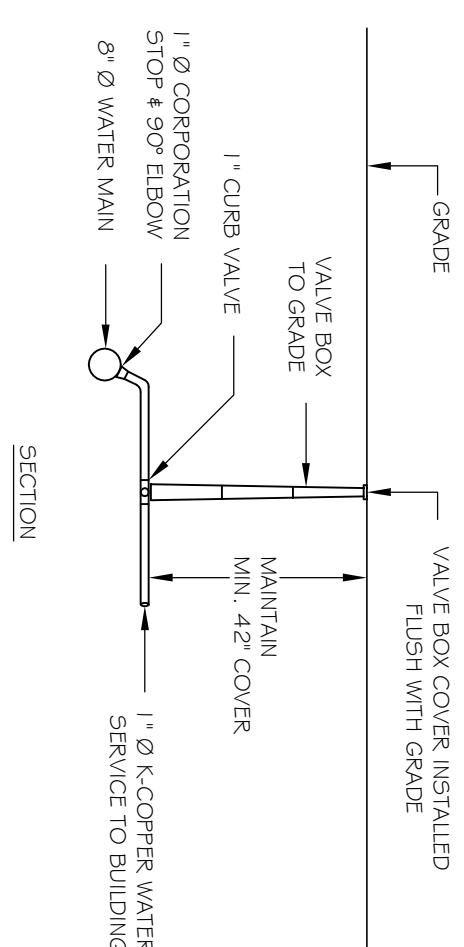
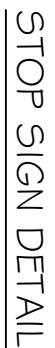
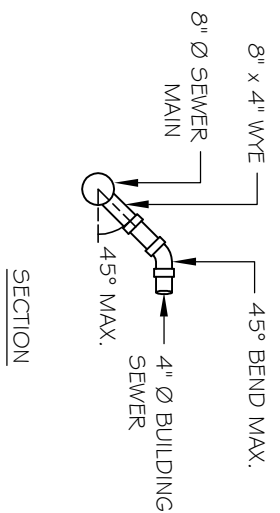
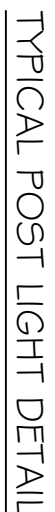
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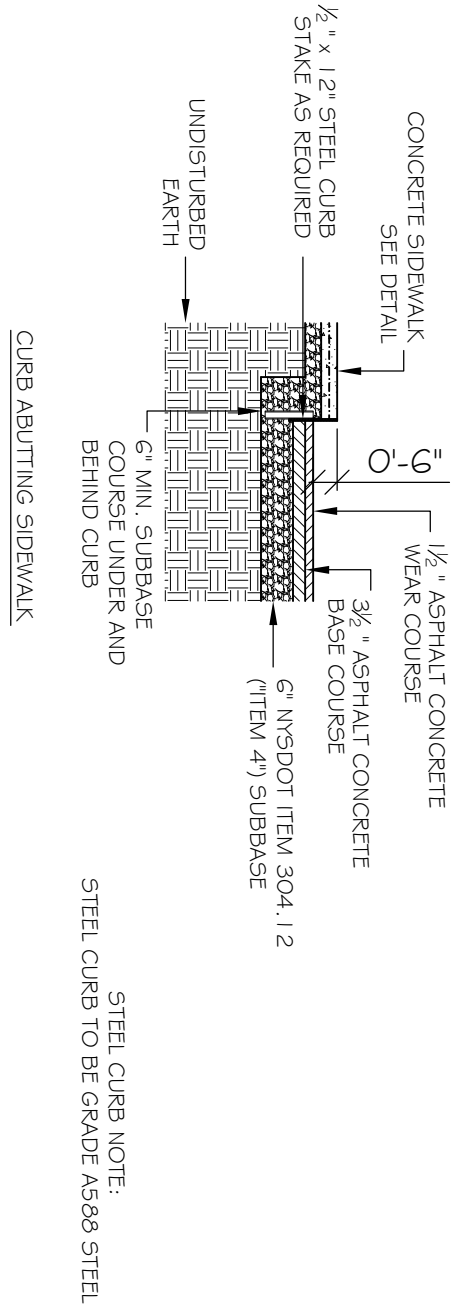


SANITARY SEWER PROFILE

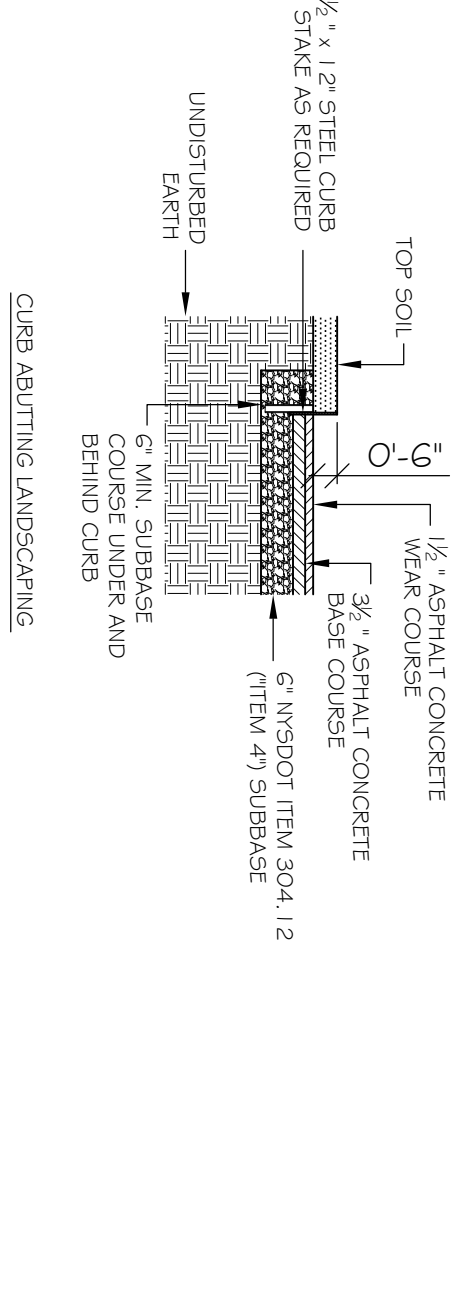
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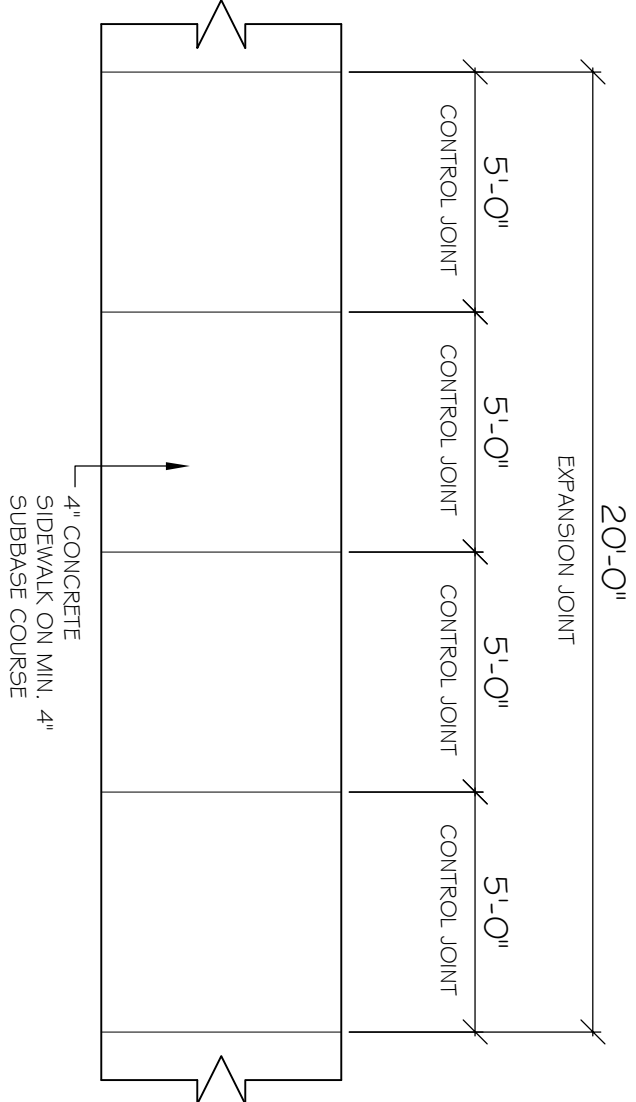
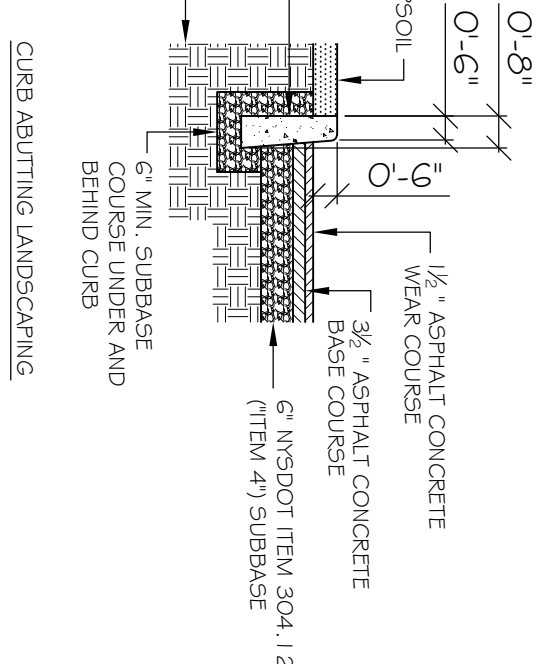
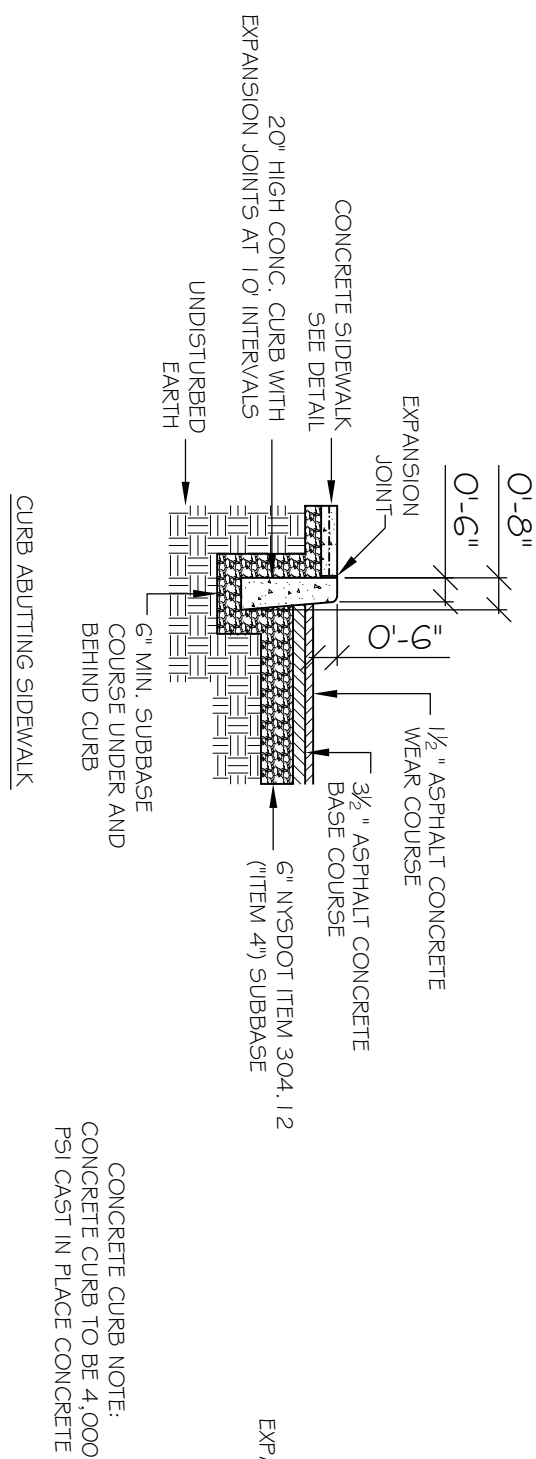




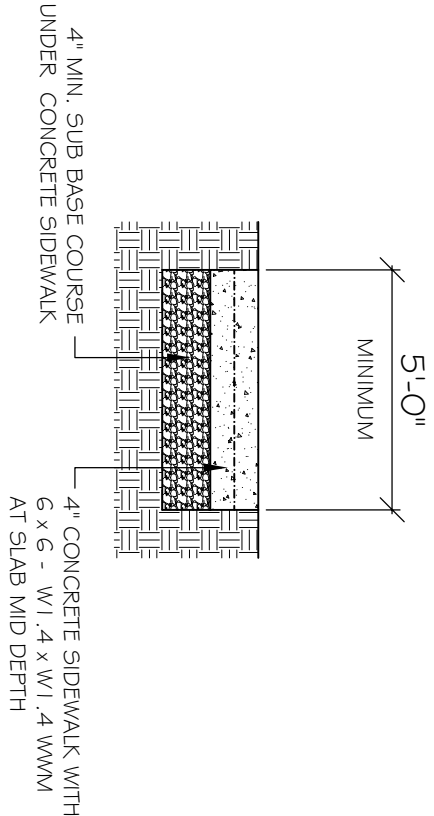
STEEL CURB DETAIL
NOT TO SCALE



CAST IN PLACE CONCRETE CURB DETAIL
NOT TO SCALE



TYPICAL CONCRETE SIDEWALK PLAN



TYPICAL CONCRETE SIDEWALK SECTION

CONCRETE SIDEWALK NOTES:

1. ALL CONCRETE SIDEWALKS TO BE 3,500 PSI CAST IN PLACE CONCRETE.
2. PROVIDE HAND TOoled TRANSVERSE CONTROL JOINTS @ 5'-0" O.C. MAX.
3. PROVIDE RE MOded EXPANSION JOINTS WITH HAND TOoled EDGES @ 20'-0" O.C. MAX.
4. ALL JOINTS TO BE FULL DEPTH AND FULL WIDTH UNLESS OTHERWISE NOTED AT SLAB MID DEPTH.
5. ALL DPOSED CONCRETE SURFACE TO HAVE BROOM TEXTURE FINISH.
6. JOINTS WILL NOT BE SAWCUT.
7. ALL DPOSED CONCRETE SURFACE TO BE TREATED WITH SUREBOND OR EQUIVA SIDWALK SEALER IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

TYPICAL CONCRETE SIDEWALK DETAIL
NOT TO SCALE

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **Ferry Landing at Beacon Site Plan**

I have reviewed an April 2, 2018 response letter from the applicant, March 30, 2018 Preliminary Plat, and a 9-sheet Site Plan package, dated March 30, 2018.

Proposal

The applicant is proposing to construct six single-family townhouses on 0.56 acres in the Linkage zoning district and the Coastal Management Zone.

Comments and Recommendations

1. The front sidewalk should extend around the Ferry Street corner, similar to the previous October 13, 2017 proposed Site Plan, allowing for a shorter crosswalk to be shown across Ferry Street.
2. To eliminate unnecessary asphalt, the back-up area behind the garages for units 3 to 6 needs to be only 24-25 feet wide, similar to the previous October 13, 2017 proposed Site Plan.
3. The landscape plan could feature a few more large trees. The previous site plan had 10 trees, while the latest proposed plan only has 6.
4. The application and building elevations should clarify whether the townhouse front entrances are porches, as indicated in the Sheet 3 table, or stoops, as stated in the applicant's response letter on page 2.
5. For the Architectural Review Subcommittee, revised elevations showing the covered stoops or porches and a rear building elevation should be provided with colors, materials, and height dimensions noted. Typical floor plans will help in understanding the relationship between rooms and wall openings, especially the opportunity for additional windows on the side elevations.
6. The plan calls for three times the required parking spaces in a district with good walkability and transit alternatives. The applicant's response letter states that a one-car garage option will be offered. That could be shown on the typical floor plans.
7. The lighting specifications for the fixtures attached to the building should be included on the Site Plan sheet.
8. The survey should be signed and stamped before final approval.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
 Jennifer L. Gray, Esq., City Attorney
 Arthur R. Tully, P.E., City Engineer
 John Russo, P.E., City Engineer
 Thomas Elias, Project Representative

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

May 3, 2018

Mr. John Gunn
Beacon Planning Board Chair
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: Ferry Landing at Beacon
Beekman Street
City of Beacon
Tax Map No. 5954-33-556840

Dear Mr. Gunn:

The applicant is proposing the development of 6 residential town house units on a 0.56 acre parcel located in the "Linkage District" zone at the intersection of Beekman Street and Ferry Street. We have reviewed the "Drainage Easement" description, "Preliminary Plat for Ferry Landing at Beacon", dated March 30, 2018, as prepared by John Post, L.S., along with the plan set entitled "Ferry Landing at Beacon" consisting of the following plans as prepared by Michael Wolfe, Architect:

- Sheet 1 of 9, entitled "Site Information Plan", dated March 30, 2018.
- Sheet 2 of 9, entitled "Existing Site Plan", dated March 30, 2018.
- Sheet 3 of 9, entitled "Site Development Plan", dated March 30, 2018.
- Sheet 4 of 9, entitled "Site Grading Plan", dated March 30, 2018.
- Sheet 5 of 9, entitled "Site Utility Plan", dated March 30, 2018.
- Sheet 6 of 9, entitled "Utility Profile Plan", dated March 30, 2018.
- Sheet 7 of 9, entitled "Sight Distance Plan", dated March 30, 2018.
- Sheet 8 of 9, entitled "Site Details Plan", dated March 30, 2018.
- Sheet 9 of 9, entitled "Site Details Plan", dated March 30, 2018.

Based upon our review of the above referenced plans, we offer the following comments:

General Comments:

1. The drainage easement description for the portion of the easement along Ferry Street should be revised to reflect a distance of 47.75 feet through the HOA parcel. The description currently notes a distance of 37.60 feet. The subdivision plat and description should be consistent.

2. A double check valve shall be installed on each water service. A construction detail shall be added to the plan for this, and the double check valve shall be approved by the City of Beacon.
3. Construction details for the proposed "Steel Curbing", as called out on Sheet 3 shall be provided on the detail sheets.

Sheet 2 of 9 (Existing Site Plan):

1. The existing $\frac{3}{4}$ " water service that enters the site from Beekman Street, near the intersection of Ferry Street, shall be noted as to be abandoned. Abandonment of the service shall be done in accordance with City of Beacon Water Dept. requirements.
2. The limits of exposed rock shall be clearly delineated on the plan. At present, there is a call out for exposed rock that points to a topographic line.

Sheet 3 of 9 (Site Development Plan):

1. The proposed lighting shall be shield so that there is not light spillage on to the neighboring parcels.
2. We would recommend that the sidewalk proposed along the front of the project site on Beekman Street be run directly behind the curb line so as to be consistent with the other sidewalks along the road.
3. The plan should note the installation of ADA compliant ramps at either end of the sidewalk along the front of the project site.

Sheet 4 of 9 (Site Grading Plan):

1. Additional spot elevations should be provided through the parking lot to show how drainage is directed towards the 3 catch basins located with the drive.
2. Silt fencing should be installed along a portion of Ferry Street due to the grading proposed in this area.
3. The "Stabilized Construction Entrance" detail in the top left corner has additional lines above the detail that should be removed, as they do not appear to be associated with the detail.

Sheet 5 of 9 (Site Utility Plan):

1. It is recommended that an additional catch basin be added to the south side of the entrance along the curb line to catch water from the site, and to also catch water running along the south edge of Beekman Street towards the entrance.

2. ADA compliant ramps should be called out on either end of the sidewalk proposed along the front of the project site.
3. There is currently an existing 8" sewer line that extends into the site from the sewer manhole located on the north side of Beekman Street, to service this parcel only. It should be noted on the plan that this line is a private line and shall be owned and maintained by the HOA.
4. The sewer line that enters the site should be extend straight to a point between Units 1 and 2, and then a bend put on the line to redirect the line along the front of the building.
5. Unit #2 should be labeled as such.
6. We would recommend that a catch basin be installed along the curb line on Ferry Street, instead of a drainage manhole. This will allow for the collection of storm water running down along the edge of Ferry Street.

Sheet 7 of 9 (Sight Distance Plan):

1. The sight distance should be labeled on the lines.
2. We would recommend a table be provided on the plan noting the required sight distances and the proposed sight distances.
3. The sight distance measurement should be for the actual sight distance that can be achieved, not just to show meeting the minimum required.

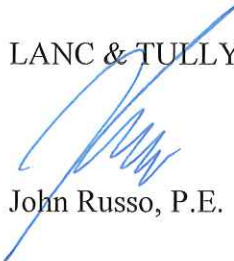
Sheet 8 of 9 (Site Details Plan):

1. "Typical Sewer Service Detail" should be modified to note the use of SDR 35 PVC pipe.
2. All trench details shall be modified to note the use of NYSDOT Item No. 304.12 for backfill within the City's road right-of-way. Material shall be backfilled in 8" maximum lifts and tamped to at least 95% proctor.
3. "Typical Water Service Detail" should be modified to note the corporations and curb valves to be manufactured by Mueller and shall be of the compression type.
4. The concrete sidewalk and curb details shall be modified to meet the requirements of the City's specifications. The details shall also note the strength of concrete to be 4,000psi.

This completes our review at this time. Further comments may be forthcoming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector

City of Beacon Planning Board
5/8/2018

Title:

208 Main Street

Subject:

Review application for Special Use Permit Approval, Retail/Residential, 208 Main Street, submitted by 206-208 Main Street, LLC

Background:


ATTACHMENTS:

Description	Type
208 Main Street Application	Application
208 Main Street Full EAF	EAF
208 Main Street Sheet 1 Site Plan	Plans
208 Main Street Sheet 2 Survey Existing Conditions	Plans
208 Main Street Sheet 3 Building Plans Elevations	Plans
208 Main Street Sheet 4 Utility Plan	Plans
208 Main Street Sheet 5 Details	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment

APPLICATION FOR SPECIAL USE PERMIT

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

IDENTIFICATION OF APPLICANT

Name: 206-208 Main Street, LLC
Address: 59 River Glen Road Wallkill NY 12589
Signature: 
Date: April 24, 2018
Phone: (646) 552-4060

(For Official Use Only)

Application & Fee Rec'd
Initial Review

Date Initials

4-24-18 AS
5-8-18

PB Public Hearing

Sent to City Council

City Council Workshop

City Council Public Hearing

City Council Approve/Disapprove

IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL

Name: Aryeh Siegel Architect
Address: 84 Mason Circle
Beacon, NY 12508

Phone: 845-838-2490

Fax: 845-838-2657

Email address: ajs@ajsarch.com

IDENTIFICATION OF SUBJECT PROPERTY:

Property Address: 208 Main Street
Tax Map Designation: Section 5954 Block 27 Lot(s) 842935
Land Area: 0.109 acres Zoning District(s) CMS

DESCRIPTION OF PROPOSED DEVELOPMENT:

Proposed Use: Multi-family residential and retail
Gross Non-Residential Floor Space: Existing 2,652 sf Proposed 0
TOTAL: 2,652 sf
Dwelling Units (by type): Existing 5 Proposed 3
TOTAL: 8

ITEMS TO ACCOMPANY THIS APPLICATION

- a. Five (5) **folded** copies and One (1) digital copy of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. Five (5) **folded** copies and One (1) digital copy of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. Five (5) **folded** copies and One (1) digital copy of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board
on the _____ day of _____, 20_____
subject to all conditions as stated therein**

Chairman, City Planning Board

Date

APPLICATION PROCESSING RESTRICTION LAW
Affidavit of Property Owner

Property Owner: 206-208 Main Street, LLC

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 59 River Glen Road Walkill NY 12589

Project Address: 208 Main Street

Project Tax Grid # 5954-27-842935

Type of Application Special Use Permit

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Lendita Mavraj, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current

<input checked="" type="checkbox"/>
<input type="checkbox"/>
<input checked="" type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input checked="" type="checkbox"/>

Signature of Owner

MEMBER

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

NO	YES	Initial
<u>X</u>	<u>—</u>	<u>LB</u>
<u>—</u>	<u>X</u>	<u>CM</u>
<u>—</u>	<u>✓</u>	<u>AM</u>

FOR OFFICE USE ONLY

Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

ENTITY DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.**IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:**

Name of Entity <i>206-208 HATH ST, LLC</i>	Address of Entity <i>59 RIVER GLEN ROAD WALLKILL NY 12589</i>
Place where such business entity was created <i>ULSTER COUNTY, NY</i>	Official Registrar's or Clerk's office where the documents and papers creating entity were filed <i>ALBANY, NY</i>
Date such business entity or partnership was created <i>November 2017</i>	Telephone Contact Information <i>846 552 4060</i>

IF AFFIANT IS A CORPORATION:

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and date of incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed

SECTION B. List all persons, officers, limited or general partners, directors, members, shareholders, managers, and any others with any interest in or with the above referenced Entity. List all persons to whom corporate stock has been pledged, mortgaged or encumbered and with whom any agreement has been made to pledge, mortgage or encumber said stock. Use a supplemental sheet to list additional persons.

Name	Resident Address	Resident Telephone Number	Nature and Extent of Interest
LENDITA HAVANA	59 RIVER GLEN RD WALLINGFORD NY 12589	646 552 4060	MEMBER SDI
PAUL HAVANA	59 RIVER GLEN RD WALLINGFORD NY 12589	347 386 9643	MEMBER SDI

SECTION C. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
LENDITH d/w FADIL MAURA	59 ROCK Glen Road Methville NY	646 552 4060 347 386 9643	2LC 11/2017	
				Albany NY

SECTION D. Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?



YES



NO

Name	Employer	Position
SAME as above		

SECTION E. Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐ YES ☒ NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION F. Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

☐ YES ☒ NO

Current Name	Other Names

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address
TAMIR GECAR	

SECTION H. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION I. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, LENDITA MAURIN being first duly sworn, according to law, deposes and says that I am (Title) MEMBER, an active and qualified member of the 205-208 North St, LLC, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) LENDITA MAURIN

(Signature) [Signature]

**CITY OF BEACON
SITE PLAN SPECIFICATION FORM**

Name of Application: 208 Main Street

PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.

	YES	NO
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
LEGAL DATA		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.		
NATURAL FEATURES		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
EXISTING STRUCTURES, UTILITIES, ETC.		
Outlines of all structures and the location of all uses not requiring structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PROPOSED DEVELOPMENT	YES	NO
The location, use and design of proposed buildings or structural improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed division of buildings into units of separate occupancy.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, direction, power, and time of use for any proposed outdoor lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and plans for any outdoor signs.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	<input type="checkbox"/>	<input type="checkbox"/>
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any contemplated public improvements on or adjoining the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Elevations of all proposed principal or accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed fences or retaining walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MISCELLANEOUS		
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erosion and sedimentation control measures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An indication of proposed hours of operation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

Signature:

Date: April 24, 2018

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: 208 Main Street		
Project Location (describe, and attach a general location map): 208 Main Street, Beacon, NY 12508		
Brief Description of Proposed Action (include purpose or need): Addition and renovation to existing mixed use building. 2 retail spaces on 1st floor. 8 apartments total on 2nd and 3rd floors. 3 parking spaces		
Name of Applicant/Sponsor: 206-208 Main Street, LLC		Telephone: (646) 552-4060
		E-Mail:
Address: 59 River Glen Road Wallkill NY 12589		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role): Same as Sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Same as Sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	City Council - Special Use Permit	April, 2018
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board - Site Plan Approval	April, 2018
c. City Council, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals	Zoning Board - Parking Variance	May, 2018
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
<p>i. Coastal Resources.</p> <p>i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

Central Main Street (CMS) Zoning District

- b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

- c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No
If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

- a. In what school district is the project site located? Beacon City School District

- b. What police or other public protection forces serve the project site?

City of Beacon

- c. Which fire protection and emergency medical services serve the project site?

City of Beacon

- d. What parks serve the project site?

Memorial Park

D. Project Details

D.1. Proposed and Potential Development

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial and Residential

b. a. Total acreage of the site of the proposed action? 0.109 acres

b. Total acreage to be physically disturbed? 0 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.109 acres

- c. Is the proposed action an expansion of an existing project or use? ☒ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: 3 additional apartments

- d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No

If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

- e. Will proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	5 Existing
At completion of all phases	_____	_____	_____	8 Total

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Total number of structures _____	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No
If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
If Yes:

i. Total anticipated water usage/demand per day: _____ 1,040 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
If Yes:

- Name of district or service area: City of Beacon
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
If Yes:

- Name of wastewater treatment plant to be used: City of Beacon
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? • Will line extension within an existing district be necessary to serve the project? <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):</p> <p>_____</p> <p>_____</p>		
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>_____</p> <p>_____</p>		
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p>_____ Square feet or _____ acres (impervious surface)</p> <p>_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?</p> <p>_____</p> <p>_____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ <p>_____</p> <ul style="list-style-type: none"> • Will stormwater runoff flow to adjacent properties? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)</p> <p>_____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)</p> <p>_____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)</p> <p>_____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 		<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐ Yes ☐ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐ Yes ☐ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☐ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☐ No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐ Yes ☒ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? ☐ Yes ☐ No

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	8am - 5pm	• Monday - Friday:	8am - 12am
• Saturday:	8am - 5pm	• Saturday:	8am - 12am
• Sunday:	N/A	• Sunday:	8am - 12am
• Holidays:	N/A	• Holidays:	8am - 12am

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: <u>Exterior lighting at doors, pole mounted light at parking area - all lighting to be screened from spill onto neighboring properties</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☒ Urban ☐ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

Main Street commercial, with residential uses on side streets

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.109	0.109	0
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? ☐ Yes ☒ No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No
If Yes:
i. Has the facility been formally closed? ☐ Yes ☐ No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☒ No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☐ No
☐ Yes – Spills Incidents database Provide DEC ID number(s): _____
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
☐ Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☒ Yes ☐ No
If yes, provide DEC ID number(s): B00130
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No													
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 													
E.2. Natural Resources On or Near Project Site													
a. What is the average depth to bedrock on the project site? _____ 8 feet													
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %													
c. Predominant soil type(s) present on project site: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-bottom: 1px solid black; width: 70%;">Knickerbocker-Urban Land</td> <td style="width: 30%; text-align: right;">100 %</td> </tr> <tr> <td style="border-bottom: 1px solid black;"></td> <td style="text-align: right;">%</td> </tr> <tr> <td style="border-bottom: 1px solid black;"></td> <td style="text-align: right;">%</td> </tr> </table>		Knickerbocker-Urban Land	100 %		%		%						
Knickerbocker-Urban Land	100 %												
	%												
	%												
d. What is the average depth to the water table on the project site? Average: _____ 7 feet													
e. Drainage status of project site soils: <table style="width: 100%; border-collapse: collapse;"> <tr> <td><input checked="" type="checkbox"/> Well Drained:</td> <td style="text-align: right;">100 % of site</td> </tr> <tr> <td><input type="checkbox"/> Moderately Well Drained:</td> <td style="text-align: right;">% of site</td> </tr> <tr> <td><input type="checkbox"/> Poorly Drained</td> <td style="text-align: right;">% of site</td> </tr> </table>		<input checked="" type="checkbox"/> Well Drained:	100 % of site	<input type="checkbox"/> Moderately Well Drained:	% of site	<input type="checkbox"/> Poorly Drained	% of site						
<input checked="" type="checkbox"/> Well Drained:	100 % of site												
<input type="checkbox"/> Moderately Well Drained:	% of site												
<input type="checkbox"/> Poorly Drained	% of site												
f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td><input checked="" type="checkbox"/> 0-10%:</td> <td style="text-align: right;">100 % of site</td> </tr> <tr> <td><input type="checkbox"/> 10-15%:</td> <td style="text-align: right;">% of site</td> </tr> <tr> <td><input type="checkbox"/> 15% or greater:</td> <td style="text-align: right;">% of site</td> </tr> </table>		<input checked="" type="checkbox"/> 0-10%:	100 % of site	<input type="checkbox"/> 10-15%:	% of site	<input type="checkbox"/> 15% or greater:	% of site						
<input checked="" type="checkbox"/> 0-10%:	100 % of site												
<input type="checkbox"/> 10-15%:	% of site												
<input type="checkbox"/> 15% or greater:	% of site												
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____													
h. Surface water features.													
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.													
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">• Streams:</td> <td style="width: 40%;">Name _____</td> <td style="width: 10%;">Classification _____</td> </tr> <tr> <td>• Lakes or Ponds:</td> <td>Name _____</td> <td>Classification _____</td> </tr> <tr> <td>• Wetlands:</td> <td>Name _____</td> <td>Approximate Size _____</td> </tr> <tr> <td>• Wetland No. (if regulated by DEC)</td> <td colspan="2">_____</td> </tr> </table>		• Streams:	Name _____	Classification _____	• Lakes or Ponds:	Name _____	Classification _____	• Wetlands:	Name _____	Approximate Size _____	• Wetland No. (if regulated by DEC)	_____	
• Streams:	Name _____	Classification _____											
• Lakes or Ponds:	Name _____	Classification _____											
• Wetlands:	Name _____	Approximate Size _____											
• Wetland No. (if regulated by DEC)	_____												
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____													
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
j. Is the project site in the 100 year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
k. Is the project site in the 500 year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <ul style="list-style-type: none"> i. Name of aquifer: _____ 													

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>_____</p> <p>_____</p>
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Indiana Bat</p>
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>
<p>E.3. Designated Public Resources On or Near Project Site</p>
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District	
ii. Name: Lower Main Street Historic District, Trinity Methodist Church	
iii. Brief description of attributes on which listing is based:	
Site is adjacent, but not included in Historic District. Trinity Methodist Church is one block north of the project site	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe possible resource(s):	
ii. Basis for identification:	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource:	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.):	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation:	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

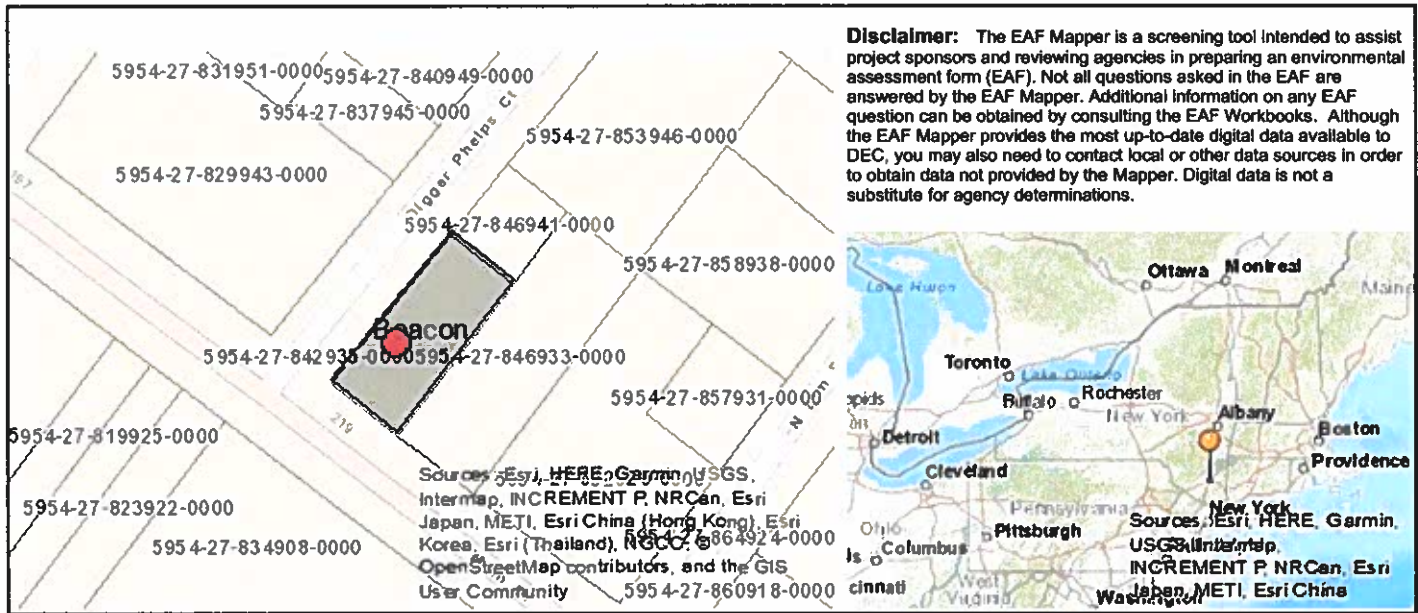
G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name 206-208 MAIN STREET LLC Date April 24, 2018

Signature [Signature] Title MEMBER

PRINT FORM



B.1.i [Coastal or Waterfront Area]	No
B.1.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	B00130
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

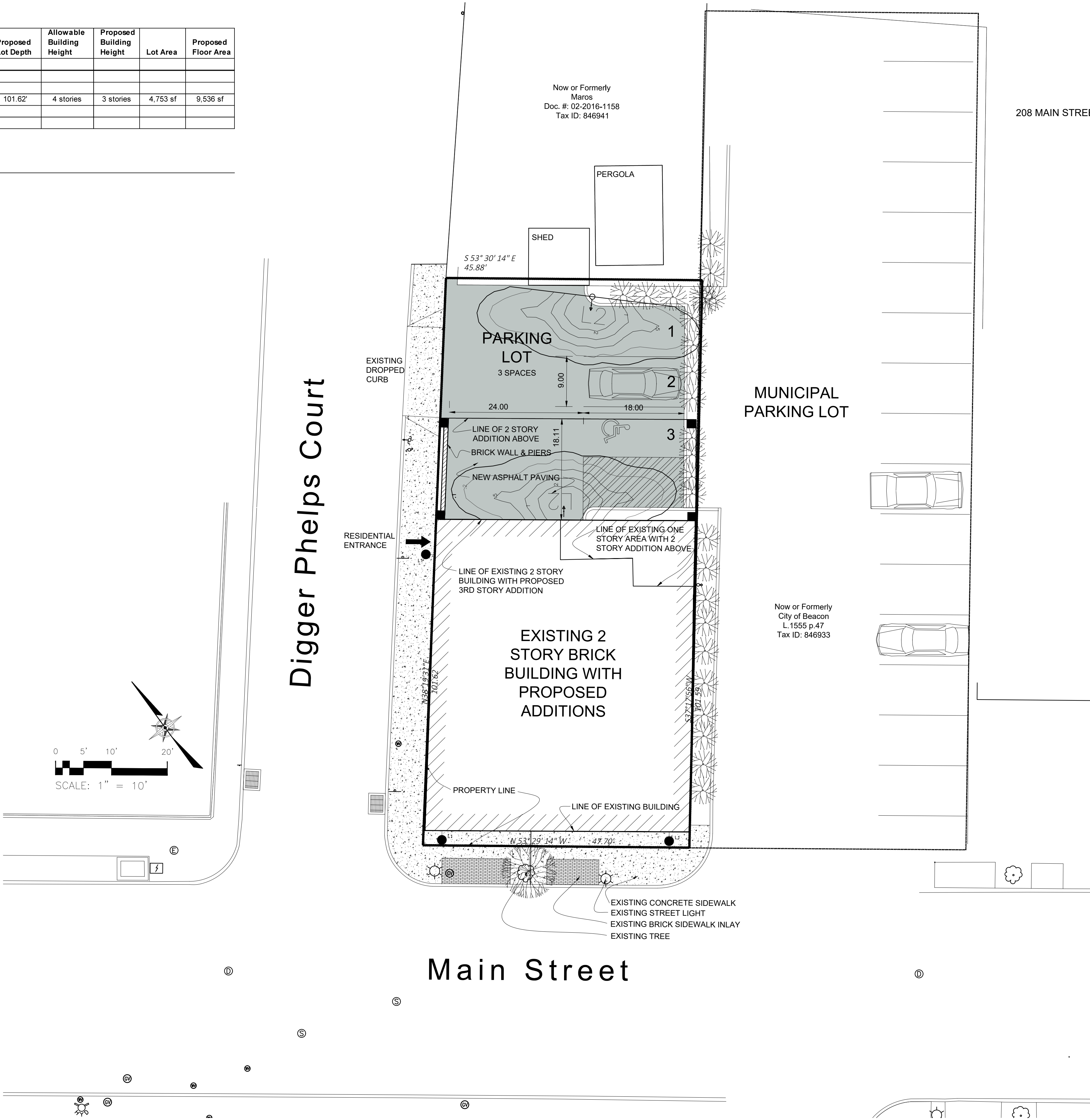
E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	Lower Main Street Historic District, Trinity Methodist Church
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

[illegible]

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

NOTE: AS AN ALTERNATE, THE OWNER MAY INSTALL EQUIVALENT WATTAGE LED FIXTURES IN PLACE OF THE INCANDESCENT FIXTURES SHOWN. LED LIGHTING WILL MEET THE SAME SPECIFICATIONS FOR LOW GLARE CUT OFF CONTROLS, EITHER BY SHIELDING OR INTERNAL CONTROLS.

Not to Scale



Scale: 1" = 10'

Survey Date: February 6, 2018
TEC Land Surveying
15c Toironda Ave.
Beacon, New York 12508

Site Plan & Special Use Permit Application

Sheet 1 of 5 - Site Plan



Not to Scale

Zoning District:	CMS (Central Main Street)
Tax Map No.:	5954-27-842935
Lot Area:	0.109 Acres (4,753 sf)
Building Footprint:	2,571 square feet
Historical Overlay District:	Yes
Parking Overlay District:	Yes
Existing Use:	Retail / Multi-Family Residential
Proposed Use:	Retail / Multi-Family Residential

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
Residential				
1964 - 1 1/2 spaces per dwelling unit	4 apartments	6 parking spaces		
Present - 1 space per dwelling unit			8 apartments	8 parking spaces
Retail				
1964 - 1 space per 200 sf gross area excluding basement and utility areas	2,571 sf	13 parking spaces		
Present - 3 spaces per 1,000 sf of floor area			2,100 sf	7 parking spaces
Total Required Parking Spaces		19 Parking Spaces		15 Parking Spaces
Total Proposed Parking Spaces				3 Parking Spaces (Note 1)

Notes:

1. Parking is not required per Beacon Zoning Code Section 223-26 (B.2): The building was in existence on April 20, 1964. The new use is less than 25% greater intensity than the use existing in 1964. 19 parking spaces would have been required in 1964 for the uses in existence at that time. 15 parking spaces are required for the current proposed uses.

Whenever a building or structure erected prior to or after April 20, 1964, or any land use shall undergo any increase in intensity of use in the number of dwelling units, floor area, seating capacity, number of employees or other unit of measurement hereinafter provided for insured parking facilities, or from other causes, and further when said increase would result in a requirement for additional parking facilities through application of the Schedule of Off-Street Parking Requirements (Subsection I), additional parking facilities shall be provided accordingly, except that no such increase shall be required for any building or structure or any land use which was in existence on or before the additional required facilities amount to a cumulative total increase of at least 25% over the existing use as of said date, in which case parking spaces shall be provided on the basis of the total units of measurements of the new use or of the alteration or expansion of the existing use.

The existing use in 1964 was retail at the 1st floor, and 4 apartments on the 2nd, the 1964 Beacon Directory.

There are public parking lots within 800' of the property.

- a. Pleasant Ridge Plaza
- b. Dutchess County Motor Vehicles

Retail hours of operation: 7am – 10pm, Monday through Sunday, inclusive

No signage is proposed as part of this application. Retail tenants will apply separately to the Planning Board for their own signage

Sheet 1 of 5	Site Plan
Sheet 2 of 5	Existing Conditions Survey
Sheet 3 of 5	Floor Plans & Elevations
Sheet 4 of 5	Grading, Utility and Erosion & Sediment Control Plans
Sheet 5 of 5	Construction Details

[illegible]

Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

208 Main Street
Beacon, New York
Scale: 1" = 10'
April 24, 2018

SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.

FILED MAP REFERENCE

Map entitled "Map of Survey of 208-210 Main Street" prepared by Gary R. LaTour, LS and dated April 30, 2002.

Map entitled "Map of Survey for Ji Hui Chen" prepared by Gary R. LaTour, LS and dated February 28, 2001.

DEED REFERENCE

Doc. #: 02-2002-07601
Joseph Guarneri D/B/A J.C Realty
To
Tahir Gecaj
July 19, 2002

TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York
130200-5954-27-842935-0000

DATE OF SURVEY

Field Completion: February 6, 2018

AREA

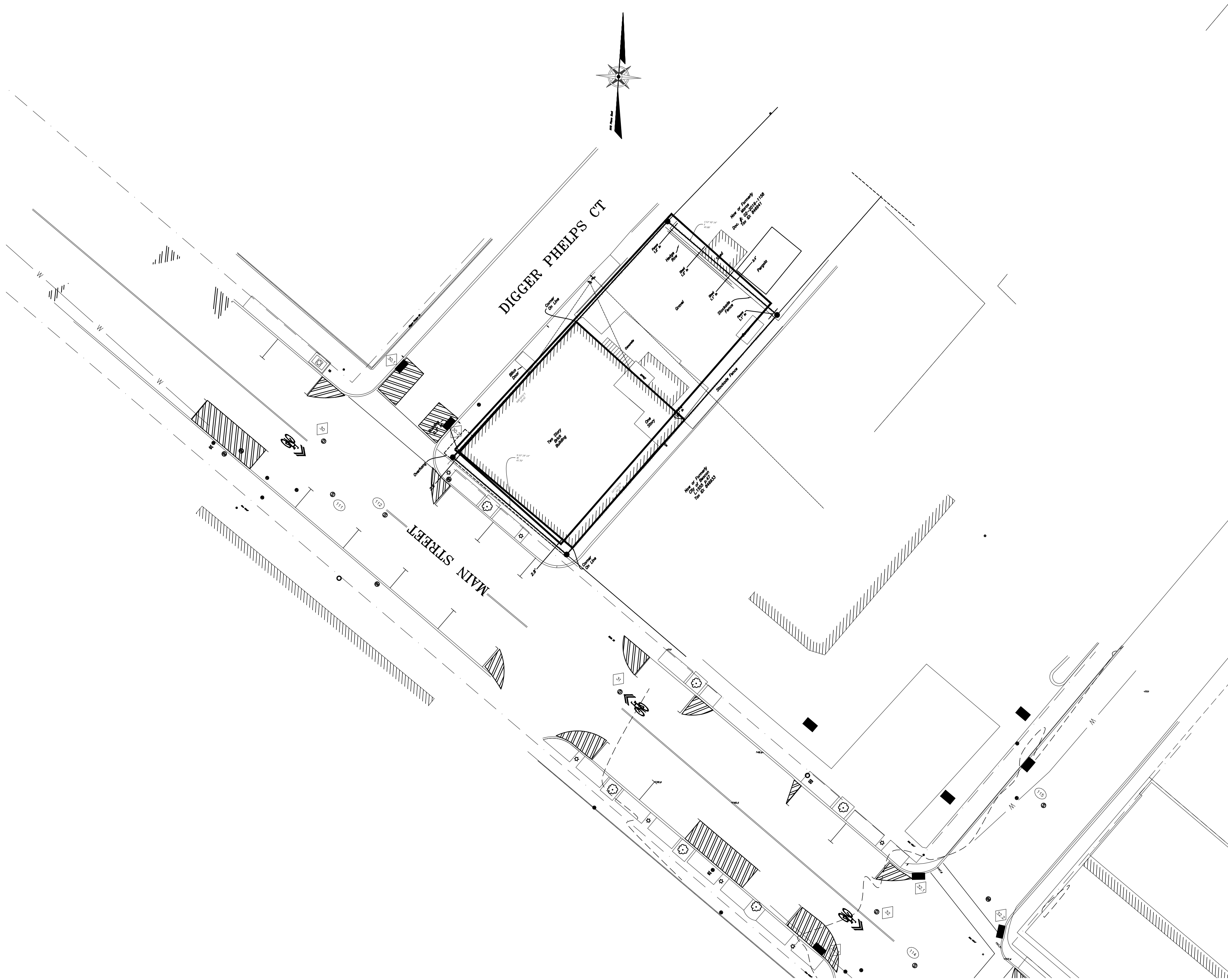
4,753 Square Feet
0.109 Acres

CERTIFICATIONS

206-208 Main St. LLC

SURVEYOR

TEC Surveying
15C Tioronda Avenue
Beacon, New York 12508



LEGEND	
	PROPERTY LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	FENCE
	OVERHEAD WIRES
	HYDRANT
	GAS VALVE
	WATER VALVE
	ELECTRIC BOX
	UNKNOWN MANHOLE
	TELEPHONE MANHOLE
	SANITARY SEWER MANHOLE
	DRAINAGE MANHOLE
	DROP INLET
	LIGHT POLE
	UTILITY POLE
	MAIL BOX
	GUY WIRE
	SIGN
	BOLLARD
	IRON ROD FOUND
	MONUMENT FOUND

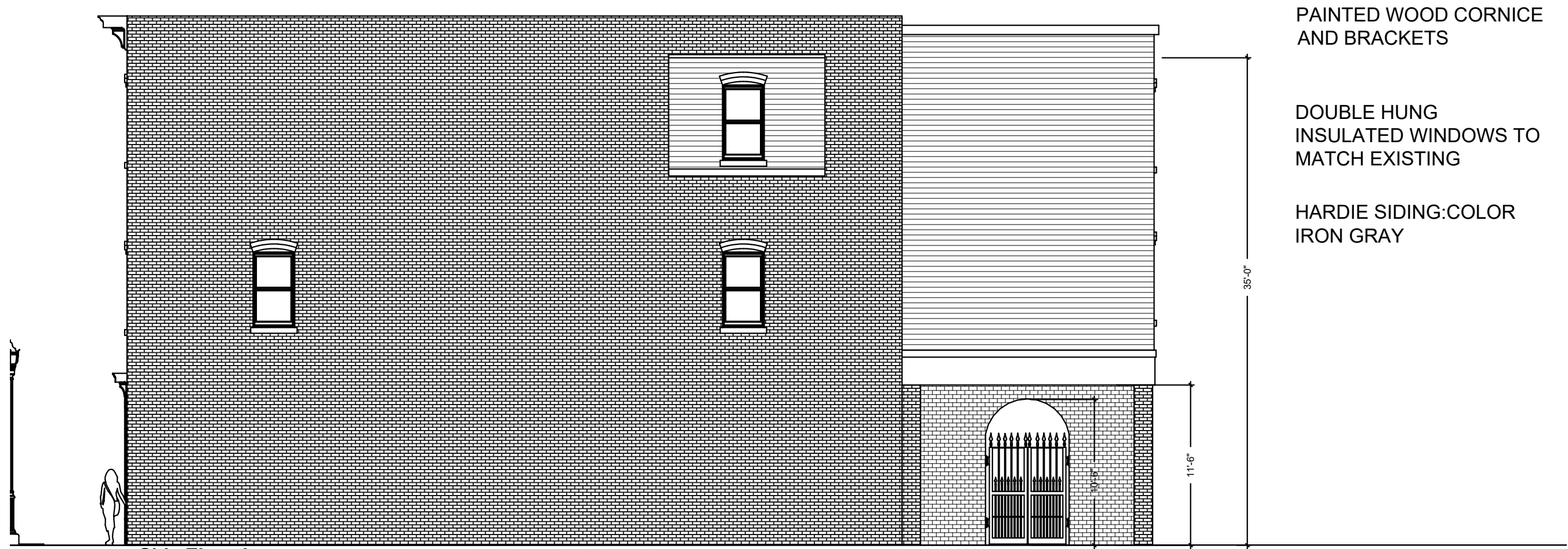
REVISIONS:			
NO.	DATE	DESCRIPTION	BY

Site Plan & Special Use Permit Application
Sheet 2 of 5 - Survey & Existing Conditions



Front Elevation

Scale: 1/8" = 1'-0"



Side Elevation

Scale: 1/8" = 1'-0"



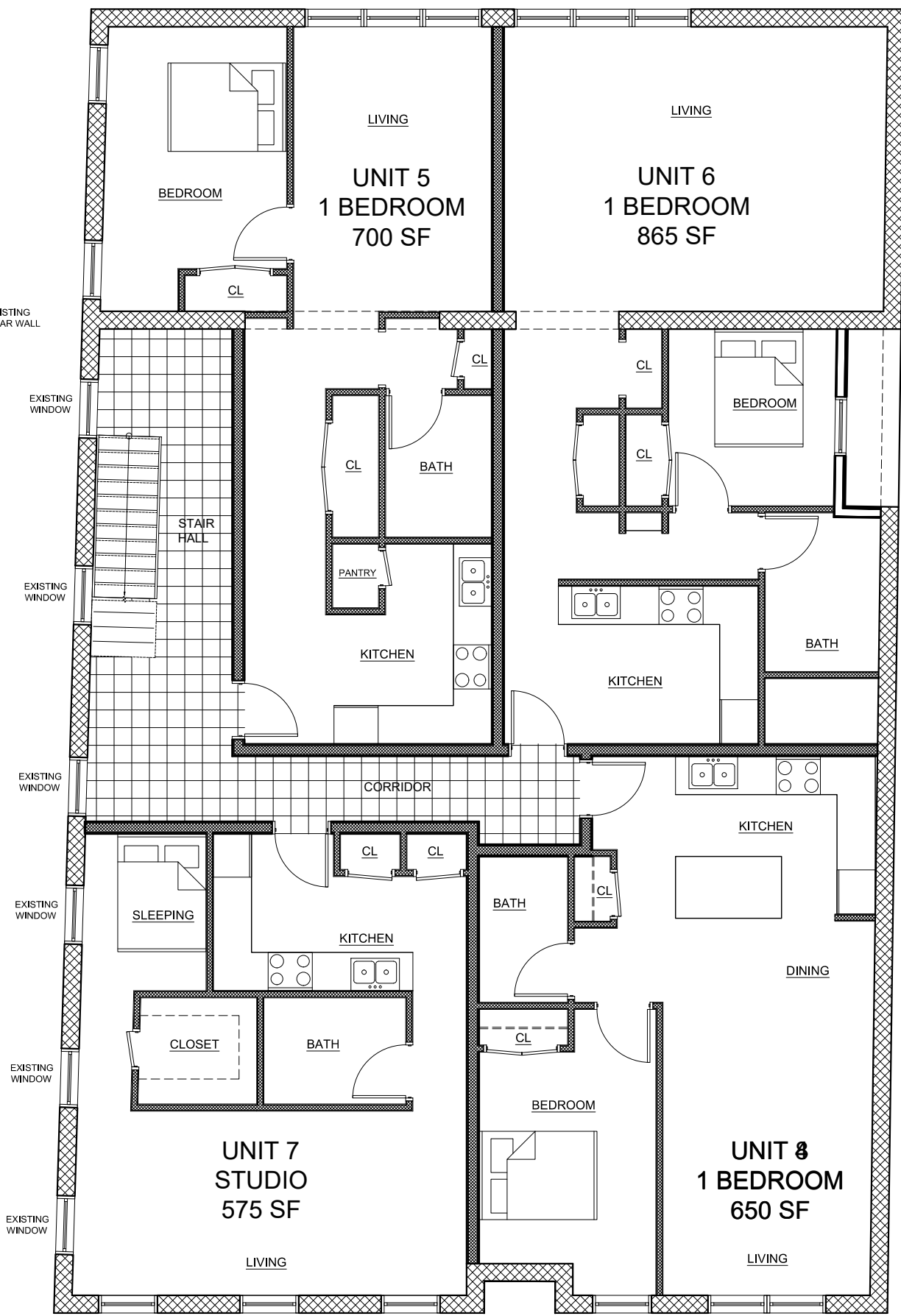
Rear Elevation

Scale: 1/8" = 1'-0"



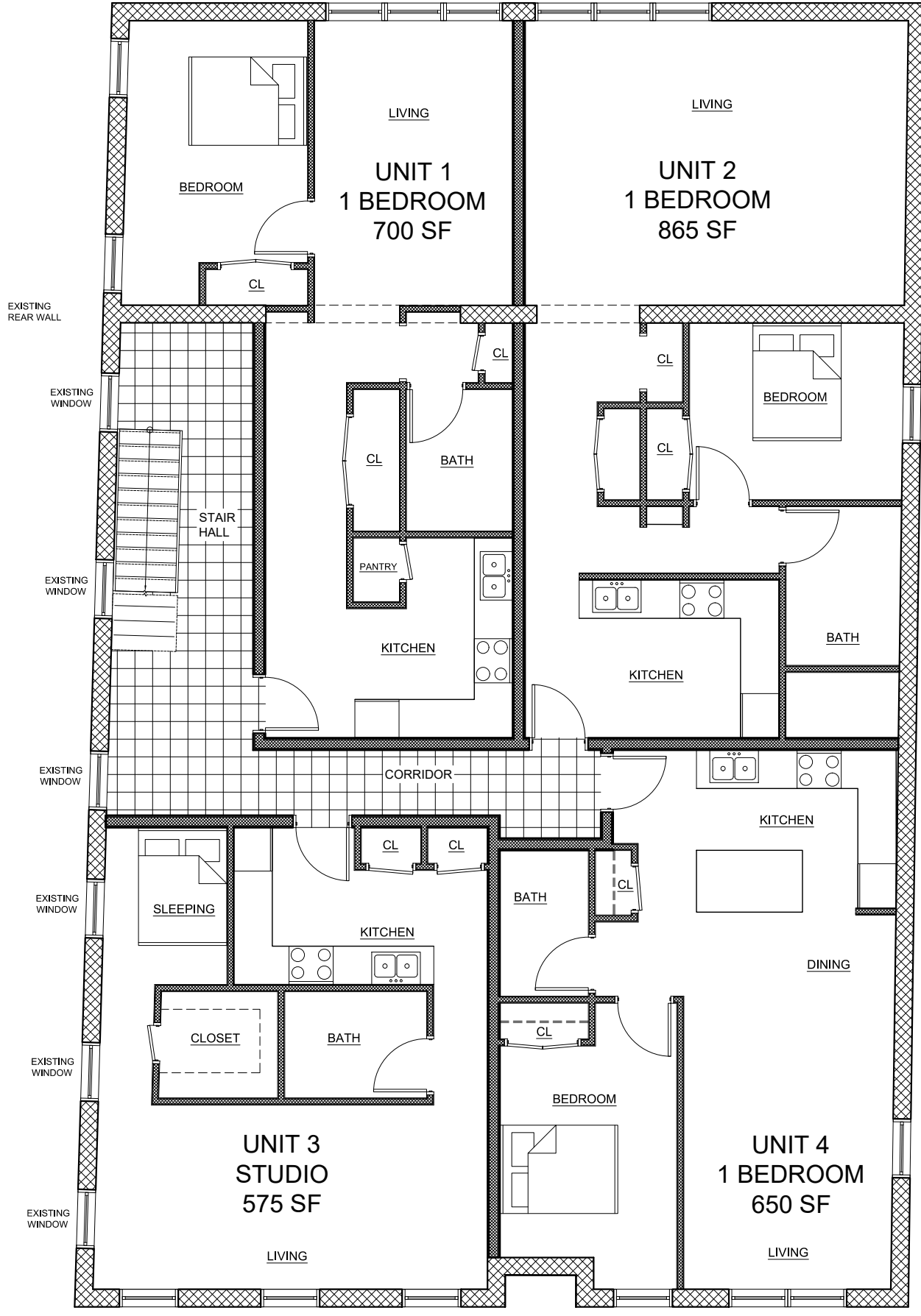
Side Elevation (Digger Phelps Court)

Scale: 1/8" = 1'-0"



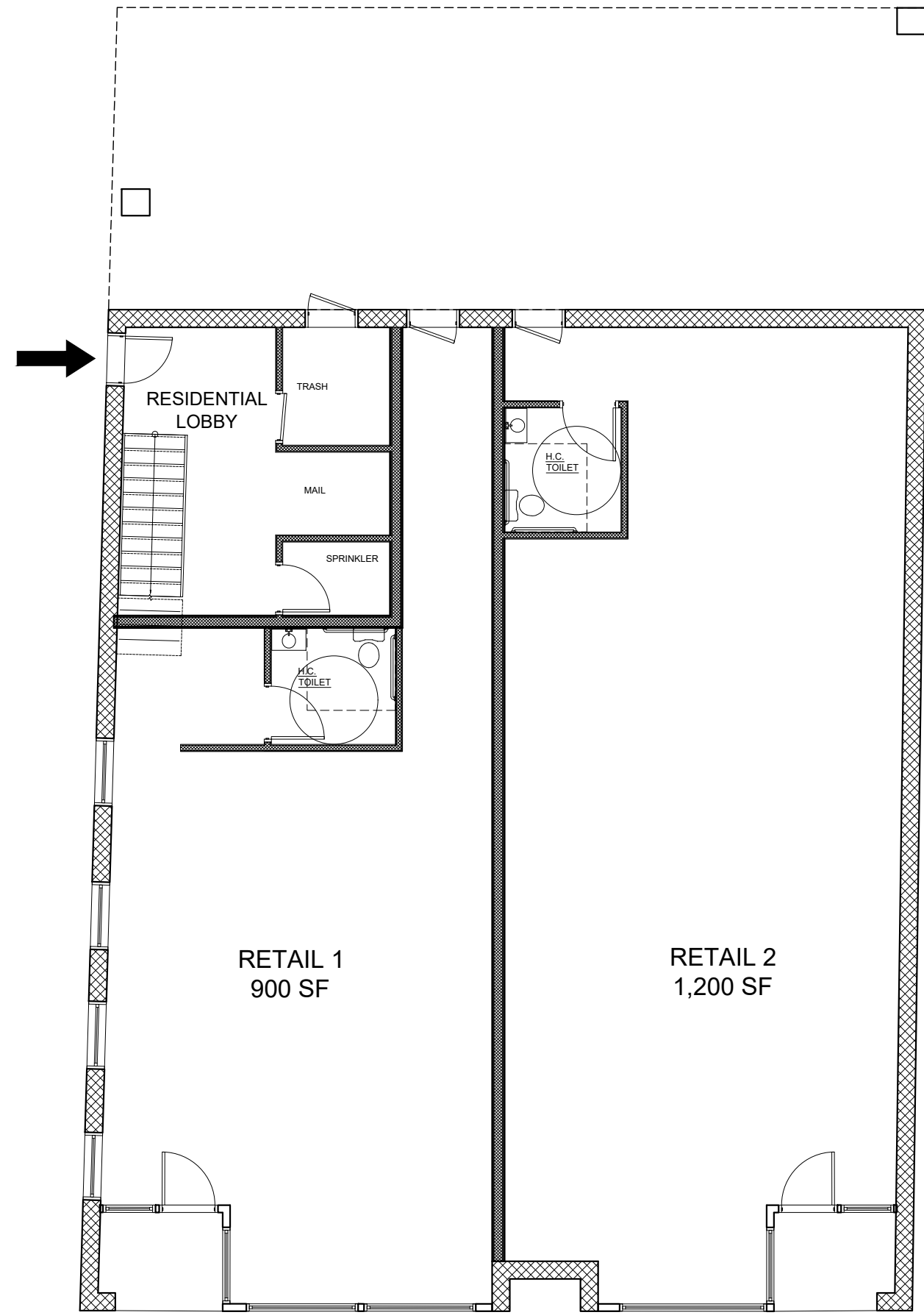
3rd Floor Plan

Scale: 1/8" = 1'-0"



2nd Floor Plan

Scale: 1/8" = 1'-0"



1st Floor Plan

Scale: 1/8" = 1'-0"



REVISIONS:			
NO.	DATE	DESCRIPTION	BY

Site Plan & Special Use Permit Application

Sheet 3 of 5 - Building Plans & Elevations

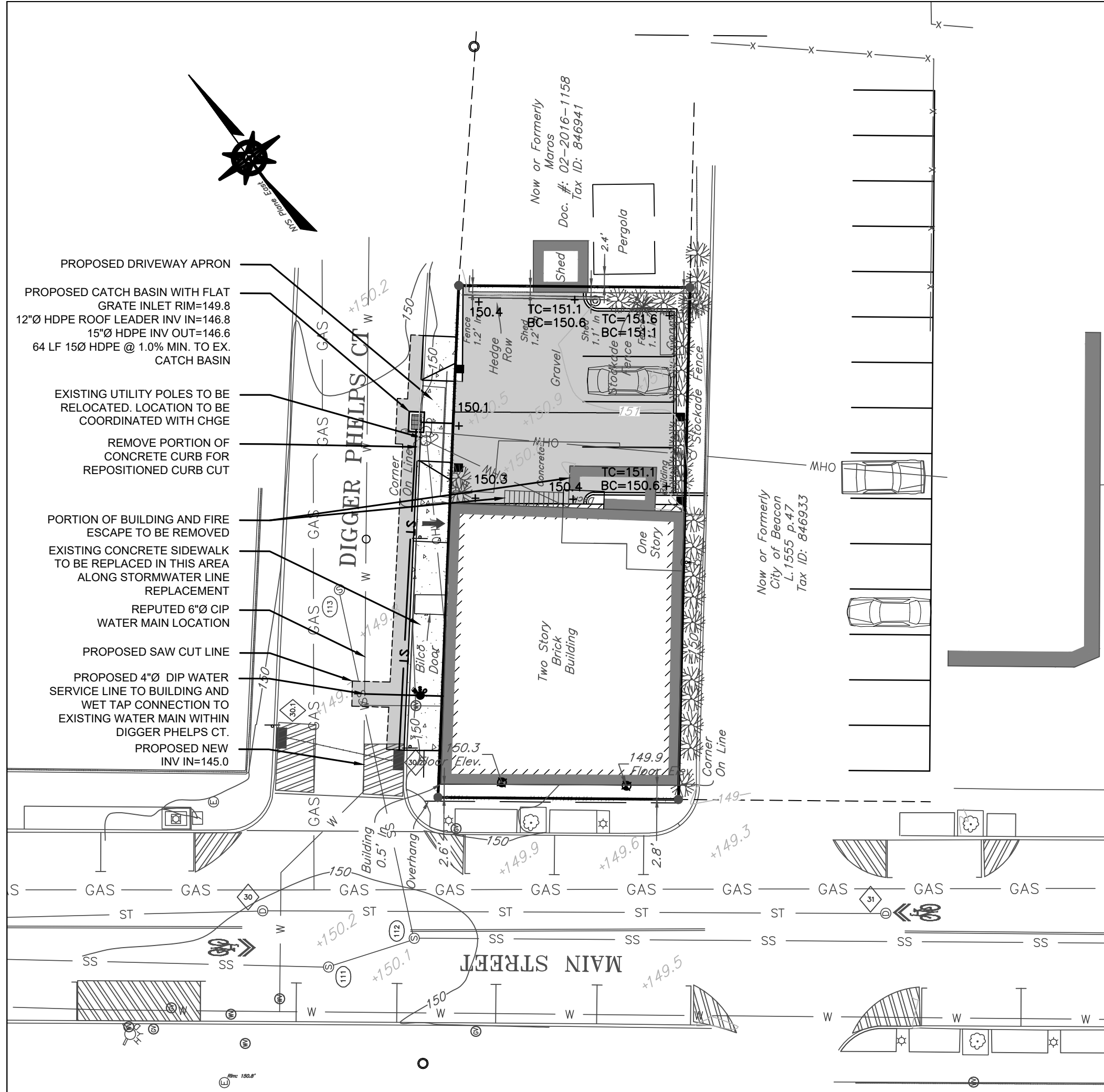
Owner
Lendita & Fadil Mavraj
59 River Glen Road
Wallkill NY 12589

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

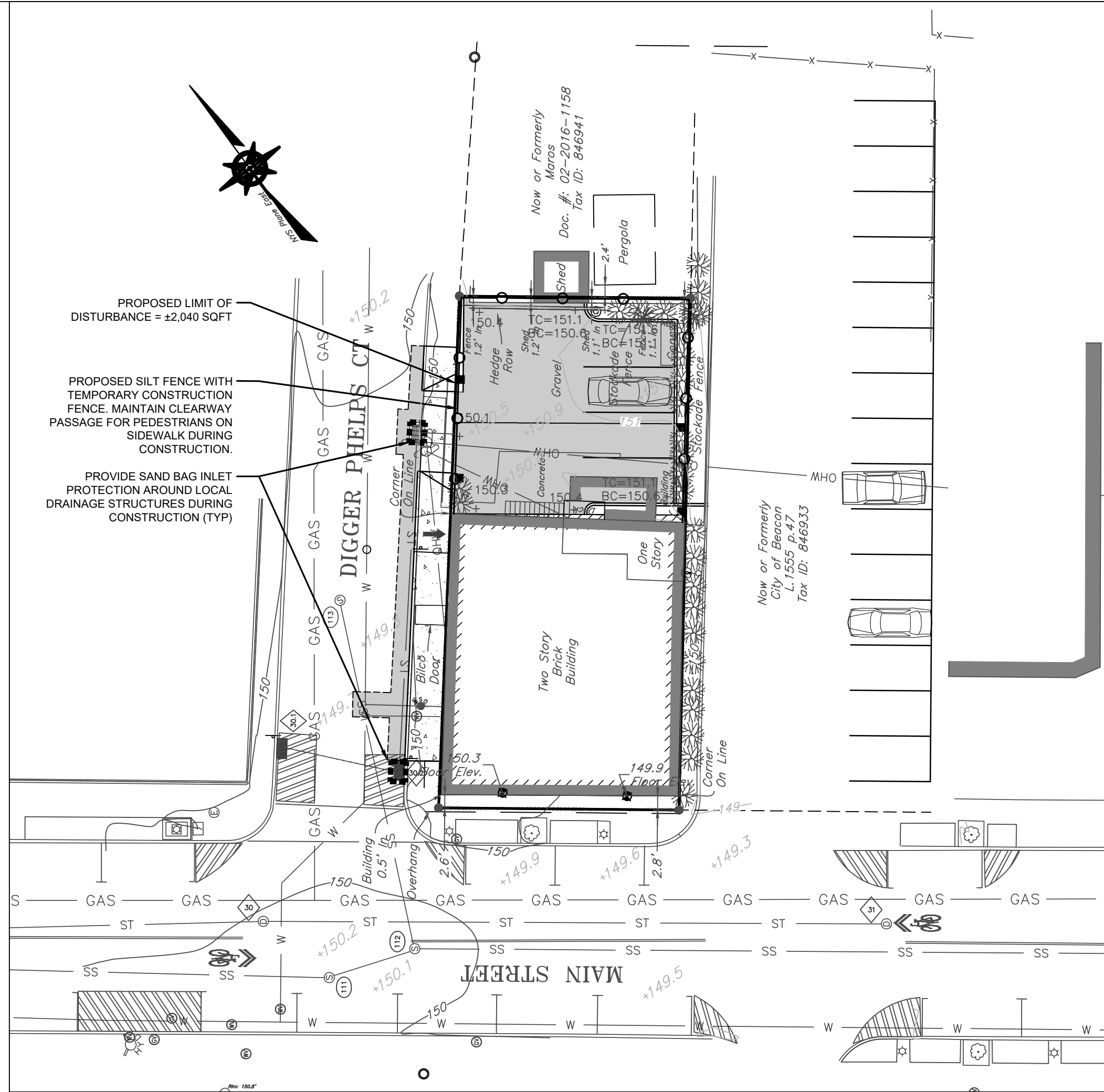
Surveyor:
TEC Surveying
15C Tioronda Avenue
Beacon, New York 12508

Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

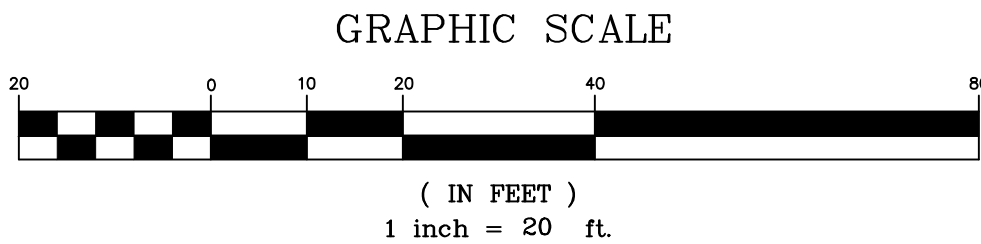
208 Main Street
Beacon, New York
Scale: 1" = 10'
April 24, 2018



GRADING & UTILITY PLAN
SCALE: 1" = 20'



EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 20'



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING ADJOINER LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING GAS MAIN
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED WATER SERVICE LINE
---	PROPOSED STORM SEWER LINE
---	PROPOSED ROOF LEADER LINE
---	PROPOSED WATER SHUT-OFF VALVE
---	PROPOSED CLEAN OUT
---	PROPOSED SILT FENCE

SITE SPECIFIC NOTES:

1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPFO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS, WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL DRAINAGE, SANITARY SEWER, WATER AND GAS LINES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT.
3. THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES. AS SUCH, THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
4. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
5. THE WATER SERVICE LINE SHALL BE 6" DIP.
6. THE SEWER SERVICE FOR THE BUILDING ADDITION SHALL TIE INTO EXISTING PLUMBING WITHIN THE BUILDING. IF IT IS DETERMINED THAT A NEW SEWER LINE IS REQUIRED, THE PIPE SHALL BE 6" SDR-35 PVC PIPE WITH A MINIMUM OF 1/4" PER FOOT TO THE CITY SEWER MAIN.
7. STREET CLOSURE FOR WATER, SEWER AND GAS SERVICE CONNECTIONS AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS. A PLAN SHALL BE IN PLACE FOR MAINTENANCE AND PROTECTION OF TRAFFIC.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. MAIN STREET DIGGER PHELPS COURT SHALL BE KEPT CLEAN AND SWEEPED DURING CONSTRUCTION.
9. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, AS REQUIRED. THE TYPES OF PUMPS AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
10. THE TOTAL DISTURBANCE ASSOCIATED WITH THE PROJECT HAS BEEN ESTIMATED TO BE 2,040 SQUARE FEET (±0.05 ACRE).
11. THE BUILDING DEPARTMENT SHALL INSPECT THE EXISTING BUILDING TO CONFIRM THAT THERE ARE NOT EXISTING STORMWATER CONNECTIONS TO THE CITY'S SANITARY SEWER SYSTEM PRIOR TO THE MAP BEING SIGNED.
12. THE EXISTING WATER SERVICE LINE SHALL BE CUT, CAPPED AND ABANDONED IN-PLACE.
13. THE EXISTING SEWER SERVICE LATERAL SHALL BE REMOVED AND PLUGGED TO PREVENT ANY GROUNDWATER INFLOW INTO THE CITY SEWER SYSTEM.

Sanitary Sewer Information

⑩	Top of Structure	Invert	Invert	Invert	Invert
⑪	150.1'	139.5' 10" PVC	139.5' 10" PVC		
⑫	150.1'	139.8' 10" PVC	139.5' 8" PVC	139.4' 10" PVC	
⑬	149.9'	140.6' 10" PVC	140.5' 10" PVC		

Storm Sewer Information

④	Top of Structure	Invert	Invert	Invert	Invert
⑤	150.0'	143.5' 24" RCP	143.9' 18" RCP	143.6' 24" RCP	
⑥	149.5'	144.7' 18" RCP	144.9' 18" RCP		
⑦	149.5'	144.8' 18" RCP			

EXISTING UNDERGROUND UTILITY NOTES:

1. CONTRACTOR SHALL DIG TEST PITS TO VERIFY LOCATION, SIZE AND PIPE MATERIAL OF EXISTING UNDERGROUND UTILITIES. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES

CATCH BASINS AND PIPING:

ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

GENERAL CONSTRUCTION NOTES:

1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
2. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPFO @ 1-800-962-7962.
3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
4. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATERTIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
2. ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
3. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
4. ANY PILE OF POTENTIALLY EROSION MATERIAL, TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
5. PERMANENT SEEDS AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THIS SHEET.
6. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
7. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
8. THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
9. THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
10. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
11. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
12. STORMWATER SUMPS SHALL BE PROPERLY MAINTAINED BY WEEDING AND TRIMMING THE DROUGHT TOLERANT SPECIES TWICE A YEAR. MULCH SHALL BE REPLACED WHEN SEDIMENT BUILDUP OBSERVED AND THE INFILTRATIVE CAPACITY OF THE SUMP IS DIMINISHED.
13. STORMWATER SUMP OVERFLOW WEIR SHALL BE INSPECTED ANNUALLY, OR AFTER ANY LARGE STORM EVENT. SEDIMENT ACCUMULATION SHALL BE MONITORED AND REMOVED FROM RIP RAP AS REQUIRED. DEBRIS SHALL BE REMOVED WHEN BUILD-UP HAS ACCUMULATED TO APPROXIMATELY 10% TO 20% OF WEIR CAPACITY.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Dig Safely.
New York
800-962-7962
www.digsafelynewyork.org

- ☐ Call Before You Dig
- ☐ Wait The Required Time
- ☐ Confirm Utility Response
- ☐ Respect the Marks
- ☐ Dig With Care

DRAWN BY: CMB CHECKED BY: MAB JOB NO.: 2018-013

REVISIONS:			
NO.	DATE	DESCRIPTION	BY

GRADING, UTILITY AND EROSION & SEDIMENT CONTROL PLAN

208 MAIN STREET

208 MAIN STREET

CITY OF BEACON

DUTCHESS COUNTY, NEW YORK

TAX ID: 6054-39-349638

SCALE: AS NOTED

APRIL 24, 2018

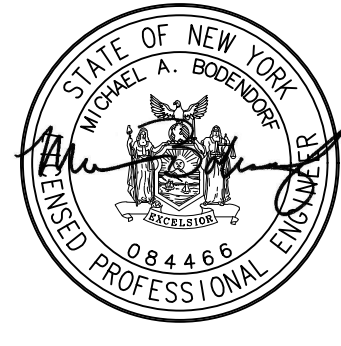
HUDSON
LAND DESIGN

PROFESSIONAL ENGINEERING P.C.

174 MAIN STREET

BEACON, NEW YORK 12508

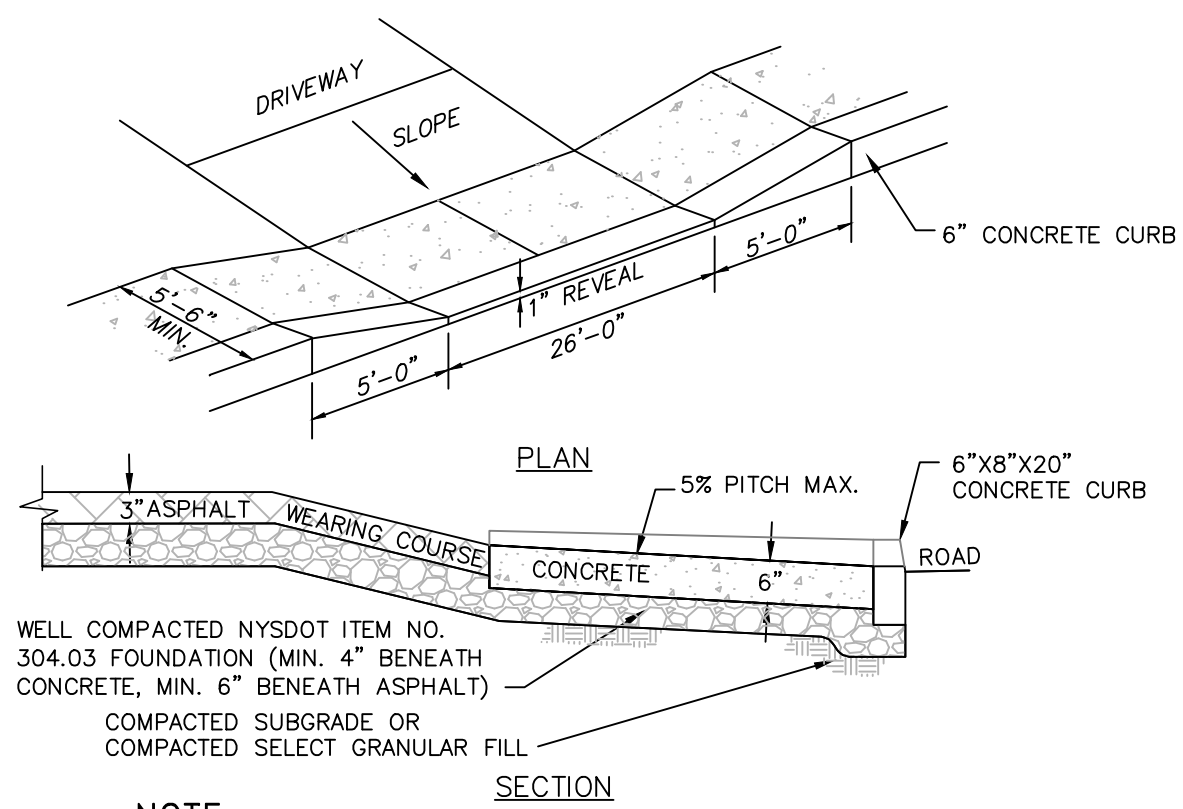
PH: 845-440-6926 F: 845-440-6637



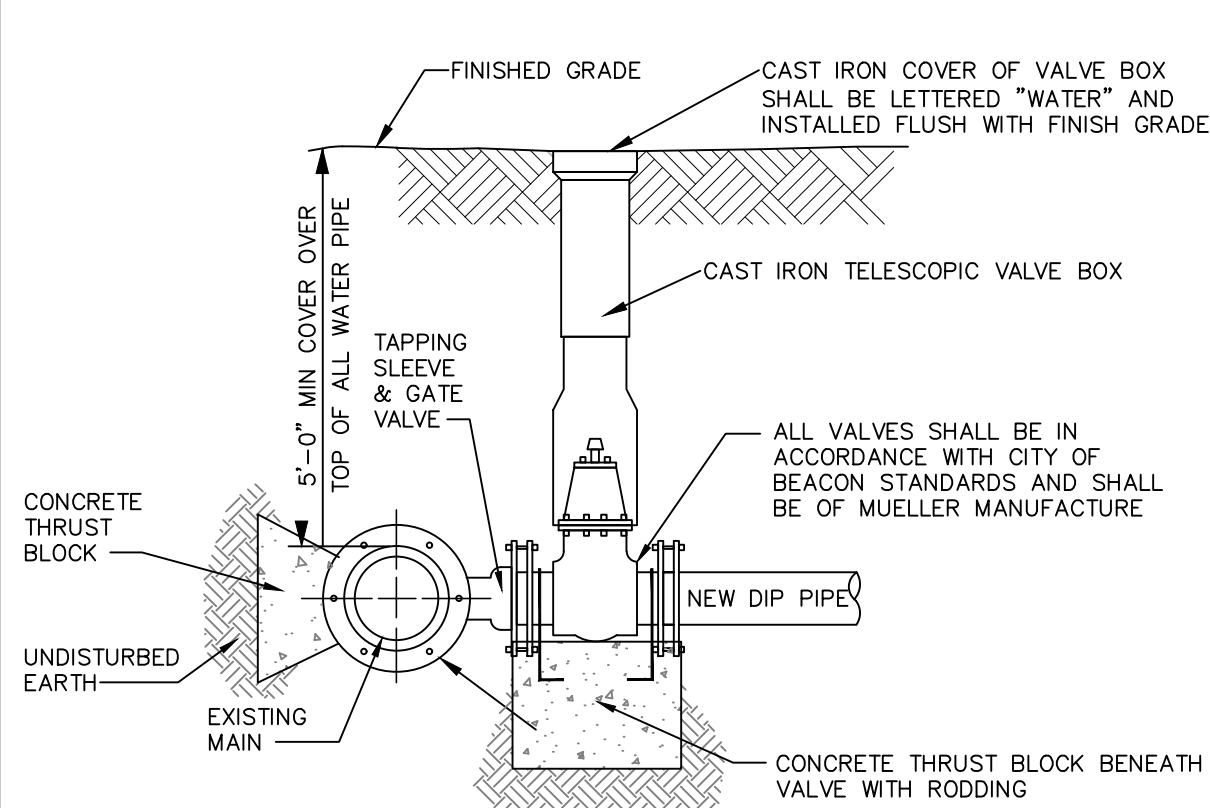
SEAL

JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

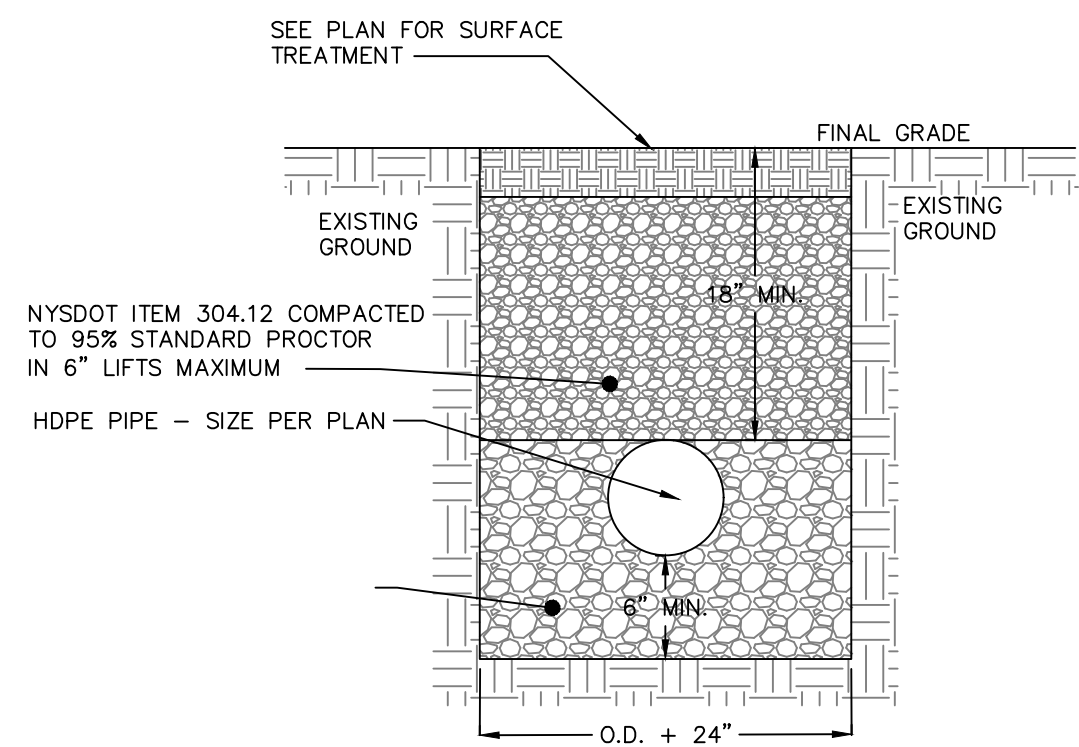
SHEET: 4 OF 5



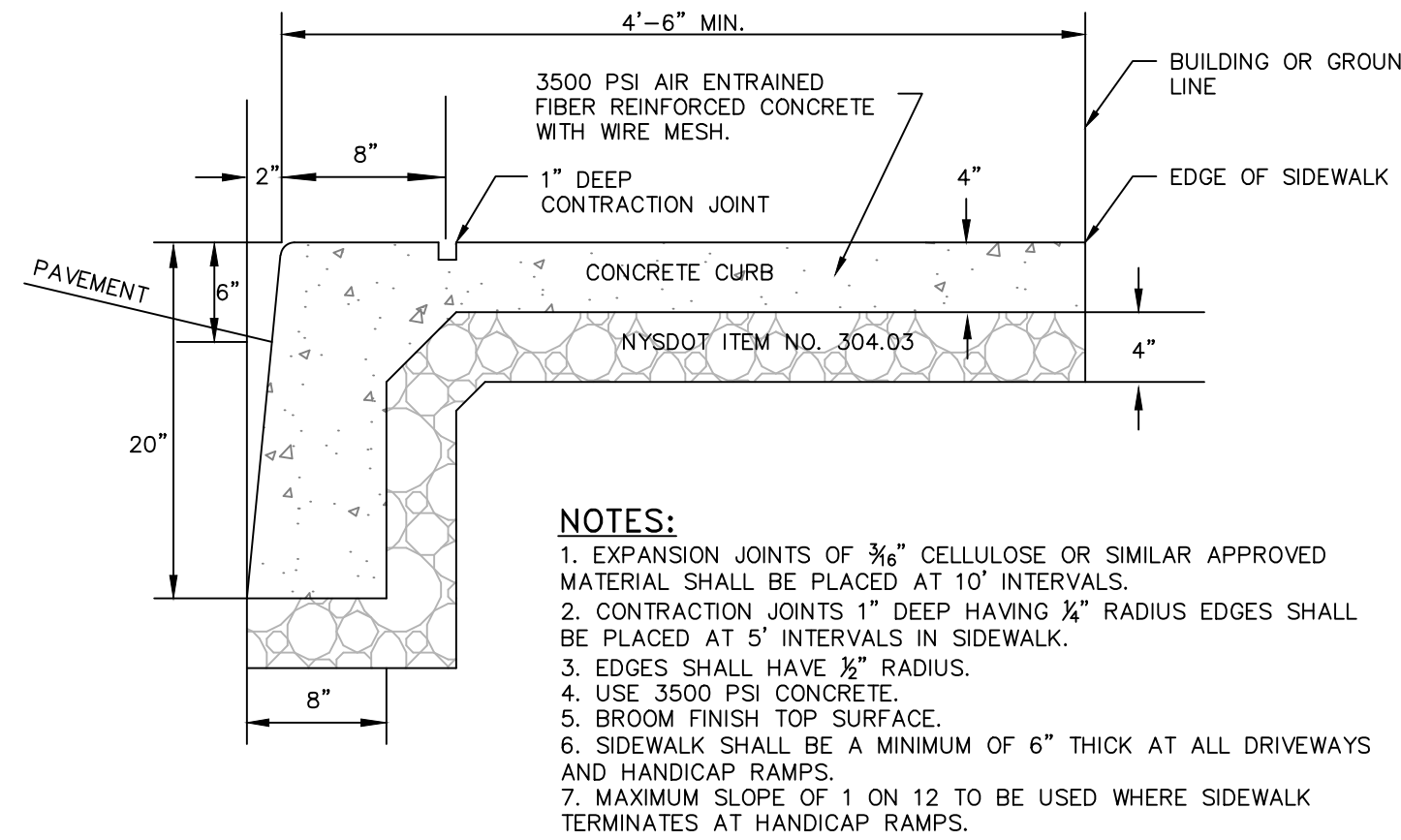
DRIVEWAY ENTRANCE DETAIL
NOT TO SCALE



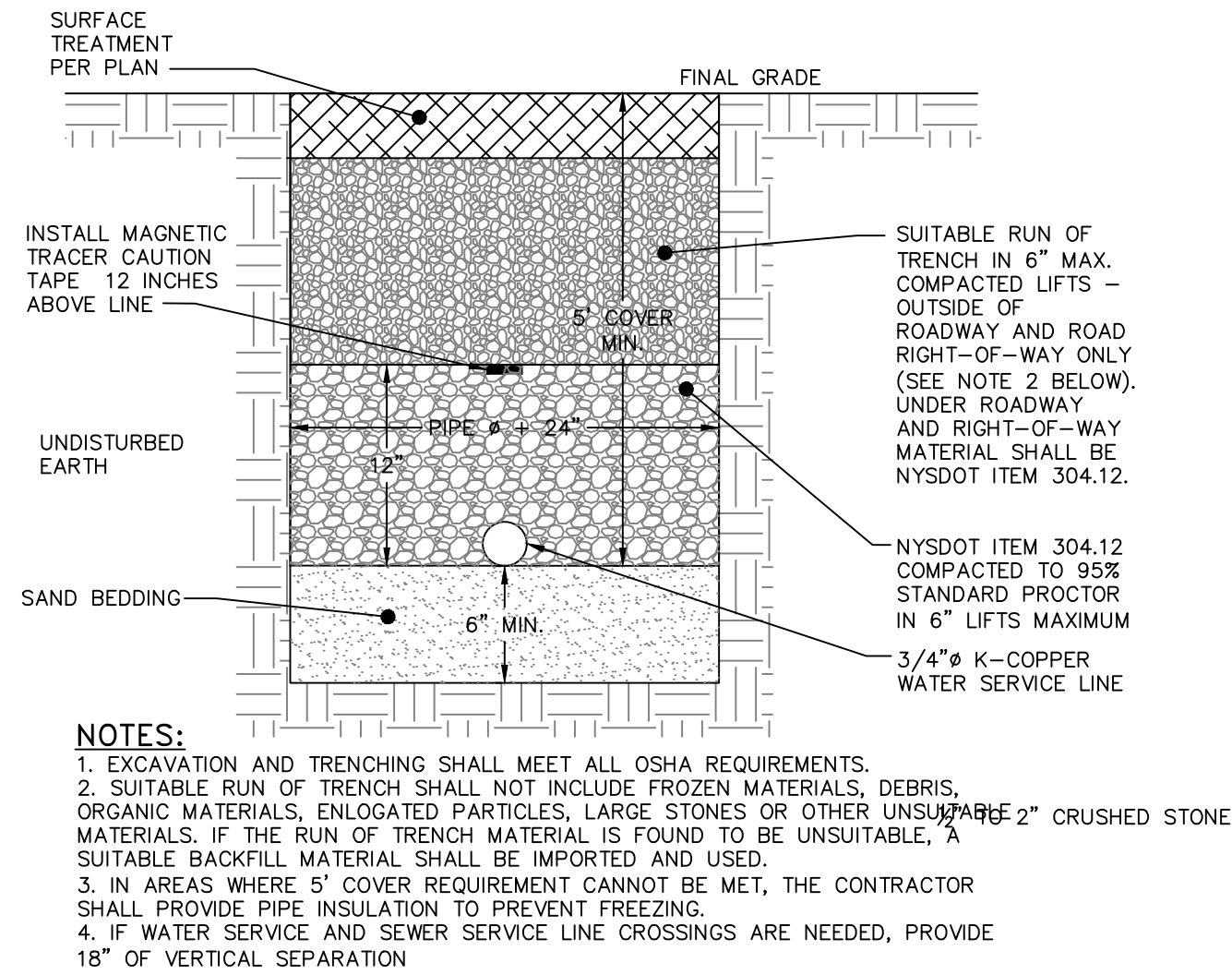
TAPPING SLEEVE DETAIL
NOT TO SCALE



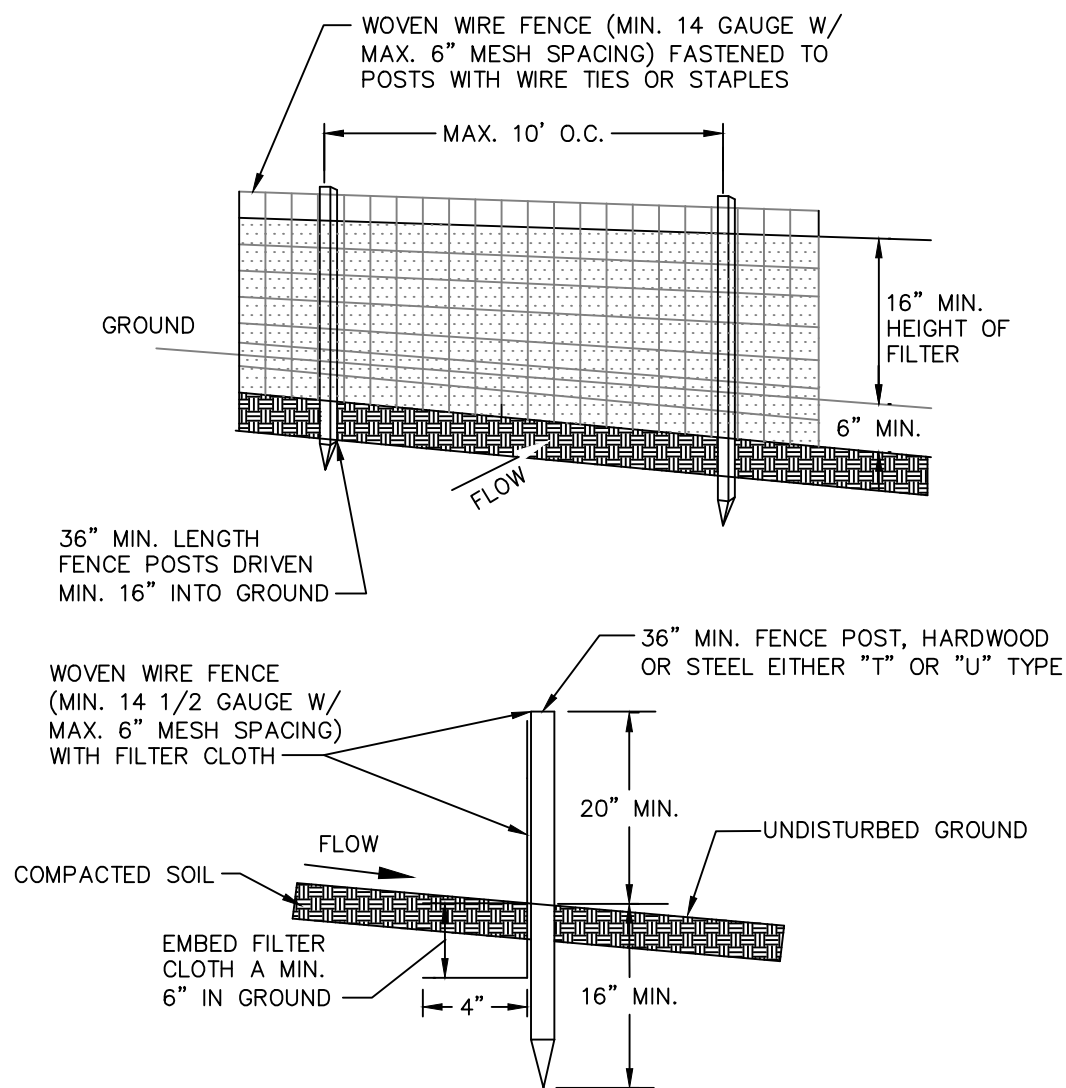
STORMWATER PIPE IN TRENCH DETAIL
NOT TO SCALE



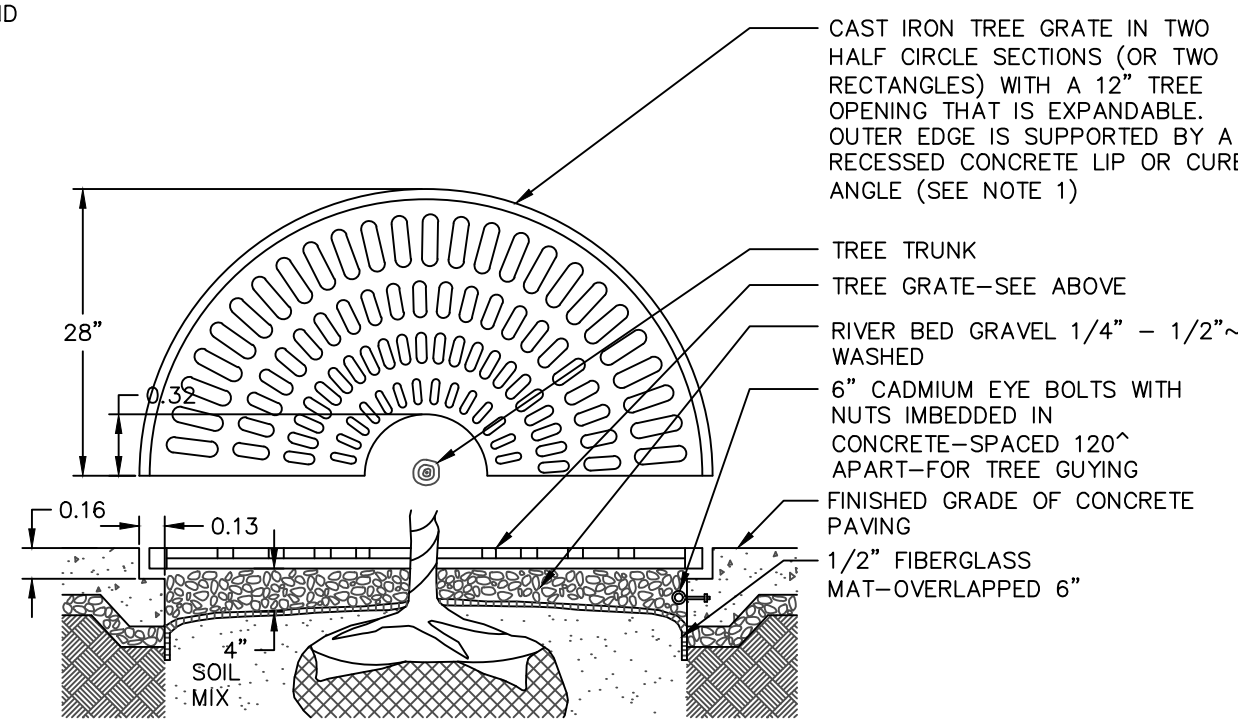
MONOLITHIC CURB AND SIDEWALK DETAIL
NOT TO SCALE



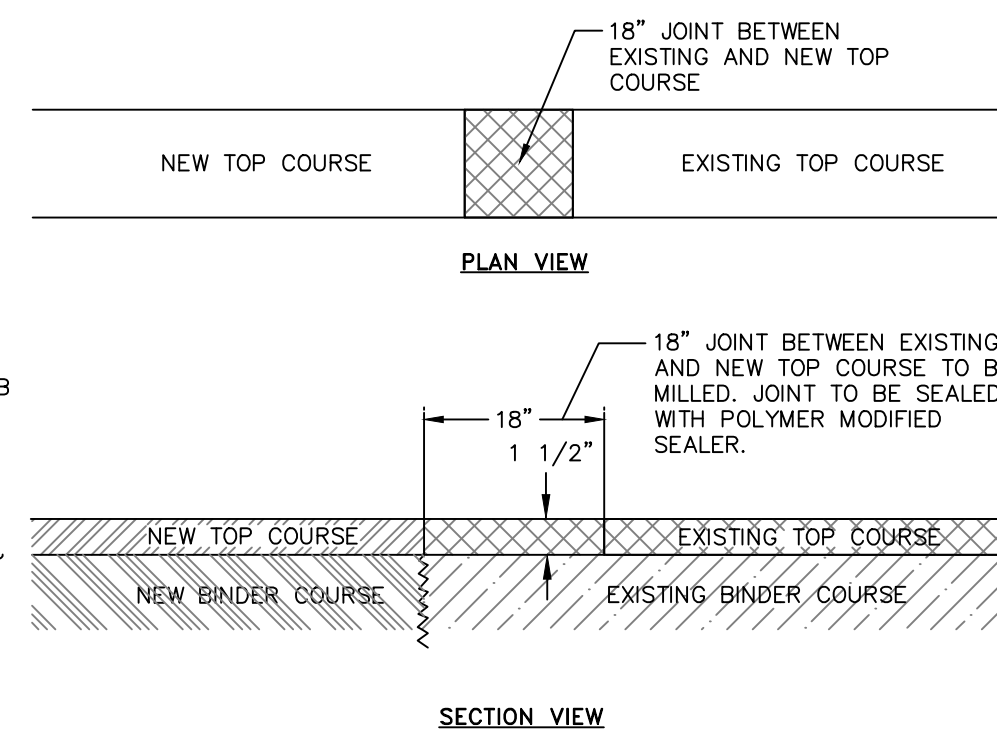
WATER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



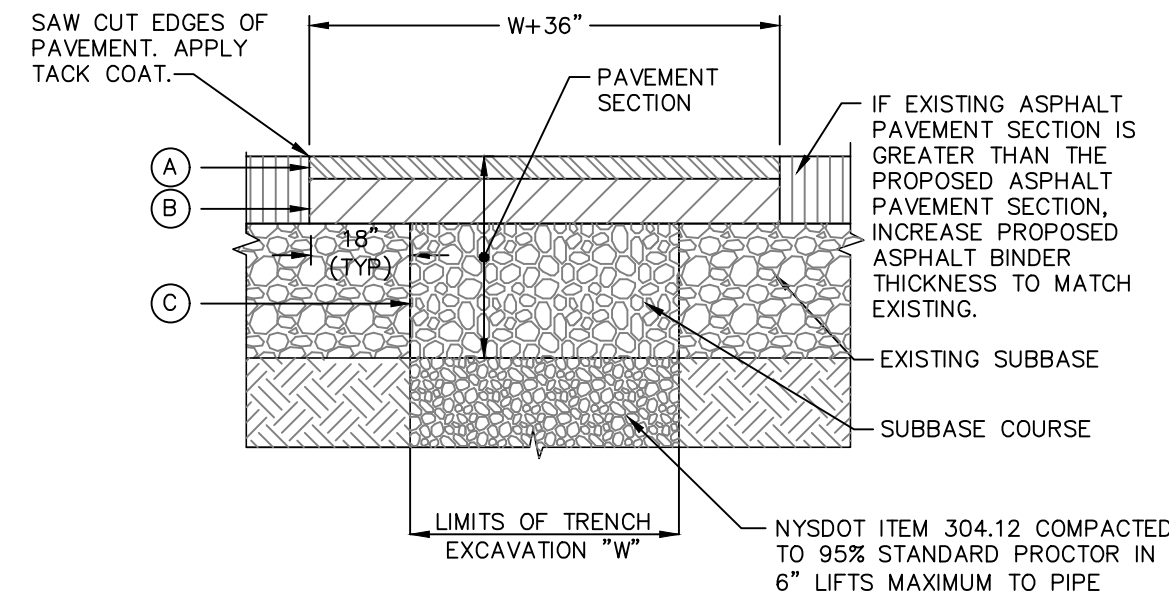
SILT FENCE DETAIL
NOT TO SCALE



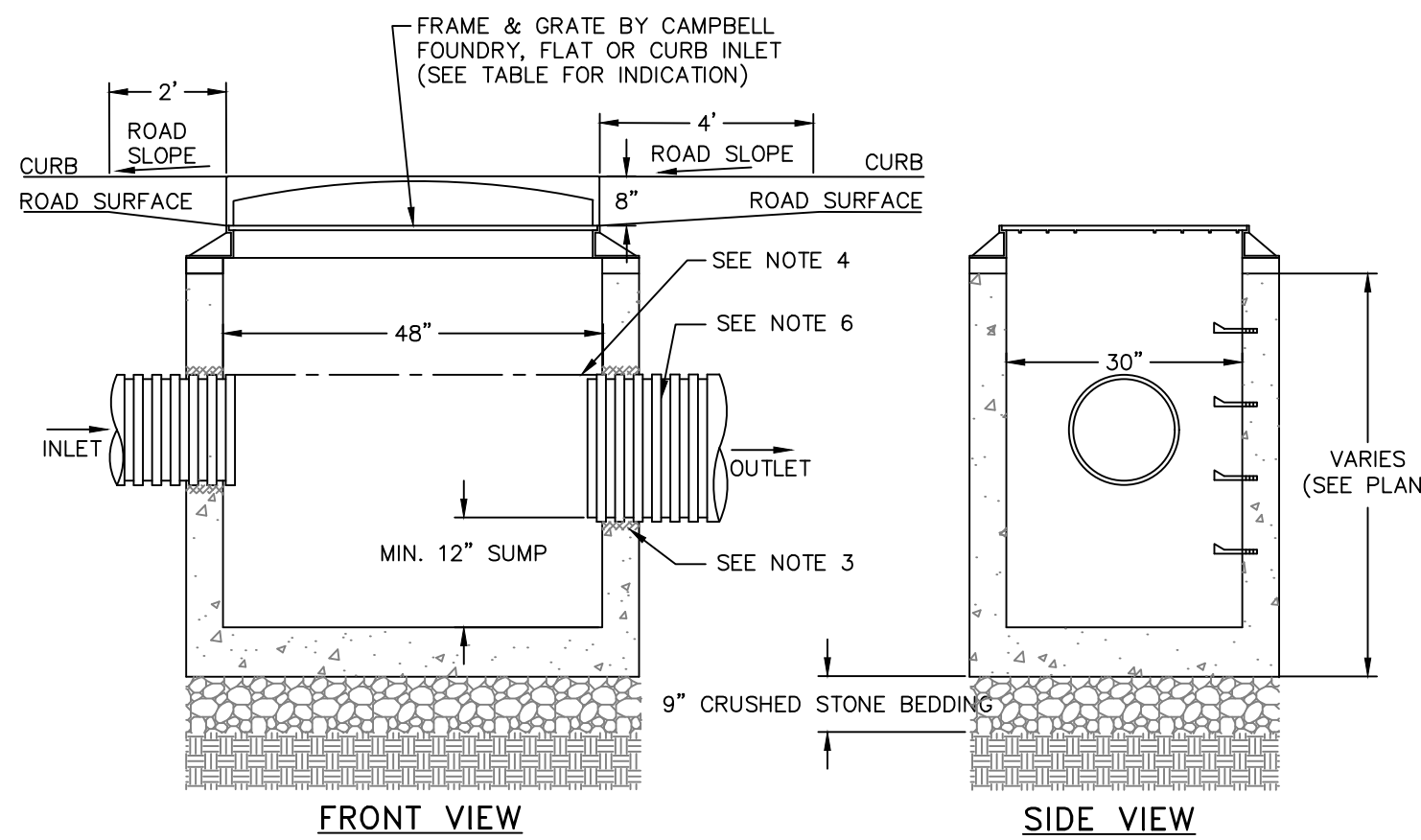
TREE GRATE PLANTING DETAIL
NOT TO SCALE



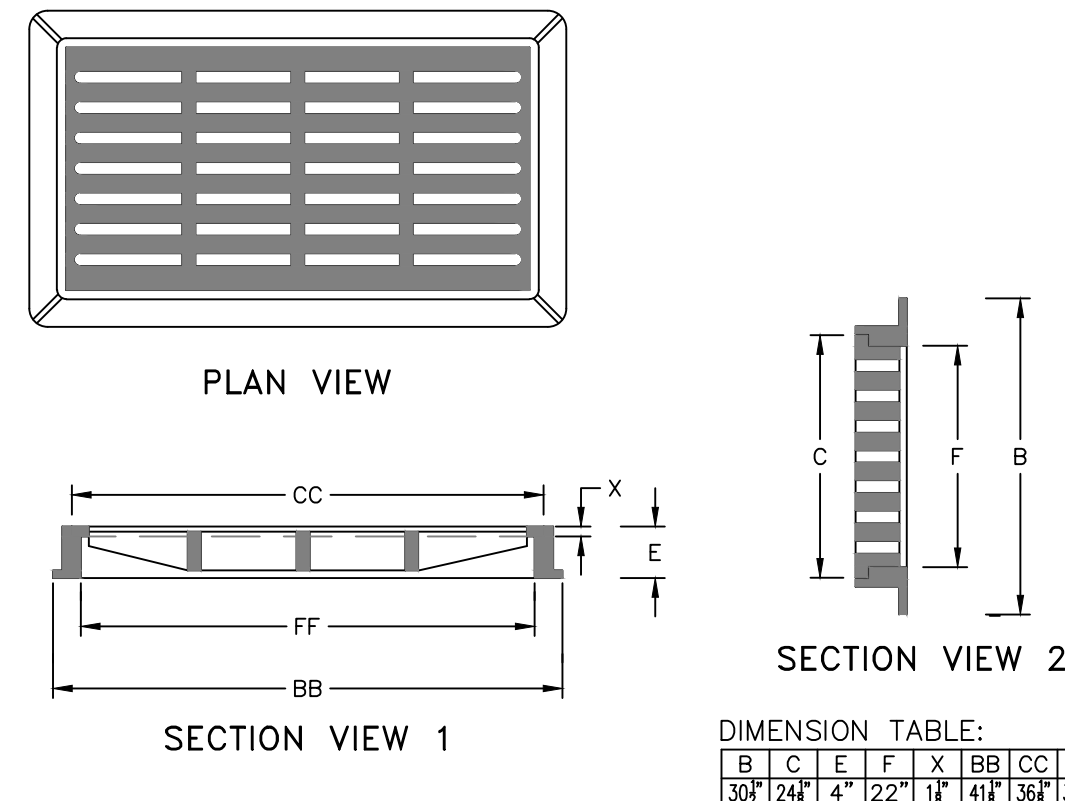
MILLED KEYWAY DETAIL
NOT TO SCALE



PAVEMENT RESTORATION DETAIL
NOT TO SCALE



CATCH BASIN DETAIL
NOT TO SCALE



CAST IRON STORMWATER FLAT INLET GRATE DETAIL
NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

NO.	DATE	DESCRIPTION	BY

CONSTRUCTION DETAILS 208 MAIN STREET

208 MAIN STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6054-39-349638
SCALE: AS NOTED
APRIL 24, 2018

**HUDSON
LAND DESIGN**

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **208 Main Street Site Plan and Special Permit**

I have reviewed a cover letter from Aryeh Siegel, Special Permit Application, Full EAF Part 1, and a 5-sheet Site Plan and Special Permit Application, all dated April 24, 2018.

Proposal

The applicant is proposing to renovate an existing building, including a new third story and rear addition, to create two storefronts and eight apartments. The proposed parcel is in the CMS district.

Comments and Recommendations

1. The applicant will need to resolve the shed and fence encroachment along the north property boundary. The Sheet 2 survey has difficult to understand overlapping lines.
2. In the Sheet 1 Bulk Table the front setback in the CMS district is 0 to 10 feet, so the existing setback is conforming. The frontage required is 80 percent. The minimum landscaped area is 10 percent, which should be represented in the table.
3. In the Sheet 1 Zoning Summary the parcel is not in the Historic Overlay District.
4. The Building Inspector should confirm the 1964 parking exemption analysis. If additional parking is not required, the EAF Section B reference to a ZBA parking variance should be removed.
5. The proposed parking layout would require difficult back-up maneuvers, perhaps encouraging cars to back out into the street. If the three spaces were instead tucked under the rear building overhang, the parked cars would be covered, the back-up space would be more efficient, and additional green space would be available towards the 10 percent requirement.
6. The L-2 lighting specifications should show a pole detail for the rear freestanding fixture.
7. I have no objection to adding a new third story, but does that make a second stairway and elevator necessary?
8. The Unit 4 and 8 floor plans do not match the window patterns on the front elevations. Since the renovation proposes substantial changes to the existing building, the design should be referred to the Architectural Review Subcommittee.

If you have any questions or need additional information, please feel free to contact me.

Page 2, 208 Main Street, May 2, 2018 Memo

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Aryeh Siegel, Project Architect

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lanc, P.E., L.S.
Arthur R. Tully, P.E.

May 2, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: 208 Main Street
Site Plan and Special Use Permit
Tax Lot No. 5954-27-842935

Dear Mr. Gunn:

My office has reviewed the following in regards to the above subdivision application:

- Application for Special Use Permit dated April 24, 2018
- Environmental Assessment Form dated April 24, 2018
- Five (5) Sheet Site Plan Set for 208 main Street dated April 24, 2018

Based on our review of the above, we would like to offer the following comments:

1. There are encroachments regarding the shed and fence which exist along the north side of the property. The applicant should advise the Planning Board as to how these are to be resolved.
2. A basement Bilco door exists on the west side of the building in the sidewalk of Digger Phelps Court which should be shown on the plan.
3. The plan should be revised to show only one utility pole in the sidewalk of Digger Phelps Court.
4. Existing location of water and sewer services should be shown on the plan.
5. Sight distances for the existing driveway entrance should be shown on the plan.

This completes our review at this time. Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

cc: Jennifer Gray, Esq.
Tim Dexter, Building Inspector
John Clarke, City Planner

City of Beacon Planning Board
5/8/2018

Title:

38 St. Luke's Place

Subject:

Review application for Subdivision Approval, three-lot residential, 38 St. Luke's Place, submitted by Beacon 226 Main Street, LLC

Background:

ATTACHMENTS:

Description	Type
38 St. Lukes Place Subdivision Application	Application
38 St. Lukes Place Full EAF	EAF
38 St. Lukes Place Sheet 1 Subdivision Plat	Plans
38 St. Lukes Place Sheet 2 Subdivision Plan 2	Plans
38 St. Lukes Place Sheet 3 ESC Plan	Plans
38 St. Lukes Place Sheet 4 Details	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment

APPLICATION FOR SUBDIVISION APPROVAL

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

IDENTIFICATION OF APPLICANT

(For Official Use Only)

Date Initials

Preliminary Application Rec'd

4-24-10 EB

Application Fee:

Public Hearing

Preliminary Plat Approved:

Final Plat Approved:

Recreation Fee:

Performance Bond:

Name: Beacon 226 Main Street, LLC

Address: 1 E. Main Street, Suite 101,
Beacon, NY 12508

Signature: _____

Date: _____

Phone: 845-416-1808

IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL

Name: Hudson Land Design, PC

Phone: 845-440-6926

Address: 174 Main Street

Fax: 845-440-6637

Beacon, NY 12508

Email address: agasparrre@hudsonlanddesign.com

IDENTIFICATION OF SUBJECT PROPERTY:

Subdivision name or identifying title:

38 St. Luke's Place Subdivision

Street which property abuts: Union Street & St. Luke's Place

Current Tax Map Designation: Section 6054 Block 38 Lot(s) 156634

Property ~~(does)~~ (does not) connect directly into a (State) (County) highway.

Land in subdivision ~~(is)~~ (is not) within 500 feet of a Municipal boundary.

Total area of property is 0.405 acre

ITEMS TO ACCOMPANY THIS APPLICATION

- One electronic and five (5) **folded** copies of a subdivision plat showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: Beacon 226 Main Street, LLC

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.
Gary Joseph, Tim Owen

List all properties in the City of Beacon that you hold a 5% interest in:

226 Main Street, 38 St. Luke's Place

Applicant Address: 1 E. Main Street, Suite 101, Beacon, NY 12508

Project Address: 38 St. Luke's Place, Beacon NY 12508

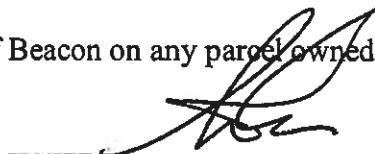
Project Tax Grid # 6054-38-156634

Type of Application Subdivision

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Gary Joseph, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon ✓
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current ✓
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current ✓



Signature of Owner

MEMBER

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

NO	YES	Initial
<u> </u>	<u> </u>	<u> </u>
<u>✓</u>	<u>✓</u>	<u>KM</u>
<u> </u>	<u> </u>	<u>Km</u>

Paid

4-16-18
eb

38 St. Lukes
Subdivision

FOR OFFICE USE ONLY
Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

ENTITY DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person or entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.

IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:

Name of Entity <i>Beacon 226 main ST LLC</i>	Address of Entity
Place where such business entity was created <i>Dutchess county</i>	Official Registrar's or Clerk's office where the documents and papers creating entity were filed
Date such business entity or partnership was created <i>2/6/18</i>	Telephone Contact Information <i>845 416 1808</i>

IF AFFIANT IS A CORPORATION:

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and date of incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed

SECTION C. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Gary Joseph Tim Owen	1 East main st unit 101 Beacon 50 Redstarhaze Rd Fishkill	845-416 1808 845 224 8312		4/ 18 4/ 18

SECTION D. Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

☐

YES

☒

NO

Name	Employer	Position

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address
Gary Joseph	1 E. main st unit 101 Beacon
Tim Owen	50 Potschaulhouse Rd Fishkill

SECTION H. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION I. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, Gary Joseph being first duly sworn, according to law, eposes and says that I am (Title) owner, an active and qualified member of the Beacon 226 main, ST LLC, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Signature)

[Signature]

(Print)

Gary Joseph

Sworn to and subscribed in my presence

This 25 day of April, 2018.

LYNN LYONS
Lic. #5072238
Notary Public-State of New York
Qualified in Dutchess County
My Commission Expires MARCH 22, 2019

[Signature]
(Notary Public)

**CITY OF BEACON
PRELIMINARY SUBDIVISION PLAT
AND CONSTRUCTION PLANS SPECIFICATION FORM**

Name of Application: 38 St. Luke's Place Subdivision

PRELIMINARY SUBDIVISION PLAT	YES	NO
The preliminary plat shall be clearly marked "Preliminary Plat", shall be drawn to a convenient scale but not less than 1" = 100', and shall contain the following information:	X	
Proposed subdivision name or identifying title, name, and address of property owner and subdivider (if other than owner), name and address of the surveyor and/or engineer preparing the plan, scale, approximate true North point, and date.	X	
The approximate location and dimensions of all property lines, the total acreage of the proposed subdivision, the location of any zoning, special district or municipal boundary lines affecting the subdivision, and the names of owners of record of properties adjoining and directly across the street from proposed subdivision.	X	
The location of all existing structures and pertinent features, including railroads, water bodies, water courses, wetlands, rock outcroppings, wooded areas, major trees, and stone walls, that may influence the design of the subdivision, plus accurate topography at a vertical contour interval of not more than two (2) feet. The topographic data shall be determined by field survey unless the Planning Board specifically waives this requirement and/or permits the substitution of topographic information obtained from other sources determined satisfactory for the particular case.	X	
The location and status of existing streets or private roads, easements and rights-of-way (if any), proposals for the layout of new streets or private roads (including widths and approximate curve radii) and any proposed easements, rights-of-way and/or reservations.	X	
The names of existing streets or private roads and proposed names for new streets or private roads.	X	
The proposed arrangement of lots, including identifying numbers and approximate area and dimensions of each.	X	
Location, size and nature of any area proposed to be reserved for park purposes.	NA	
A site location sketch, at a scale of one inch equals 400 feet, showing the general situation within 1,000 feet of the applicant's property with respect to surrounding properties, streets and private roads.	X	
Where the preliminary plat includes only a portion of an applicant's contiguous holding, the applicant shall also indicate, on a sketch at a scale of not less than one inch equals 200 feet, the probable future street or private road system, lot arrangement and location of park and other reservations for the remaining portion of the tract. Such sketch shall be for the purpose of guiding the Planning Board in reviewing the proposed preliminary plat and shall include topographic data with a vertical contour interval of not more than five feet plus any other information determined necessary by the Planning Board.	NA	
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.	X	

PRELIMINARY CONSTRUCTION PLANS	YES	NO
The preliminary construction plans shall be drawn at the same scale as the preliminary plat and shall include the following information:	x	
Location and sizes of any existing water, sewer storm drainage and other utility lines and structures within and nearby the proposed subdivision.	x	
The proposed system for the provision of water supply and fire protection facilities, sewage disposal, stormwater drainage, and other utility services.	x	
Proposed street or private road profiles and cross-sections showing the approximate grade of proposed streets or private roads, the relationship of existing to proposed grades, and the proposed grades, and the proposed vertical curvature along the center line of all new streets or private roads.	NA	
Location of all existing and proposed monuments and other subdivision improvements.	x	
Such additional information as may be required by this chapter, the Zoning chapter, or the Planning Board.	x	

**CITY OF BEACON
FINAL SUBDIVISION PLAT
AND CONSTRUCTION PLANS SPECIFICATION FORM**

Name of Application: 38 St. Luke's Place Subdivision

FINAL SUBDIVISION PLAT	YES	NO
The final subdivision plat shall be drawn clearly and legibly on transparent tracing cloth with black waterproof ink, at a scale no smaller than one inch equals 100 feet but preferably at a scale of one inch equals 50 feet. The sheet size shall not exceed 36 inches by 48 inches. If the size of proposed subdivision required a drawing larger than this, two or more sheets may be submitted, with match lines clearly indicated, and an index map shall be prepared on the same size sheet.	X	
The final plat shall contain the following information:		
Proposed subdivision name or identifying title, name, and address of owner of record and of subdivider (if other than owner), certification and seal of the registered engineer or licensed land surveyor who prepared the plat, names of the owners of record of adjoining properties and of properties directly across the street or private road, graphic scale, approximate true North point, and date.	X	
The location and dimensions of all boundary lines of the proposed subdivision, and all existing and proposed streets, private roads, lot lines, easements and rights-of-way, with sufficient data to readily determine the location, bearing and length of all such lines and to reproduce such lines upon the ground.	X	
The names of all existing and proposed streets and private roads.	NA	
The locations of all water bodies and watercourses.	NA	
The location of all existing buildings, including identification of all buildings to be removed as a condition of plat approval.	X	
The total acreage included in the entire subdivision, and the identification number and acreage of all lots and land reservations within the proposed subdivision.	X	
Location of all existing and proposed monuments.	NA	
A site location map, at a scale of one inch equals 400 feet, showing the location of the subject property with respect to neighboring properties, streets and private roads.	X	
Notations explaining any drainage, sight slope, street widening, park area or other reservations or easements, including any self-imposed restrictions or covenants.	X	
Endorsement of approval by the Dutchess County Health Department.	X	
Plan for the provisional delivery of mail, as approved by the local postmaster.	X	
Endorsement of the owner as follows: <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;"> <p>“Approved for filing:</p> <p>_____</p> <p>Owner</p> </div> <div style="text-align: center;"> <p>_____”</p> <p>Date</p> </div> </div>	X	


FINAL SUBDIVISION PLAT (continued)	YES	NO
<p>Form for endorsement by Planning Board Chairman as follows:</p> <p>“Approved by Resolution of the Planning Board of the City of Beacon, New York, on the _____ day of _____, 20_____, subject to All requirements and conditions of said Resolution. Any change, erasure, modification or revision of this plat, as approved, shall void this approval.</p> <p>Signed this _____ day of _____, 20_____, by _____, Chairman _____, Secretary</p> <p>In absence of the Chairman or Secretary, the Acting Chairman or Acting Secretary Respectively may sign in this place.</p>	X	
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.	X	
Stormwater pollution prevention plan. A stormwater pollution prevention plan consistent with the requirements of Chapter 190 and with the terms of preliminary plan approval shall be required for final subdivision plat approval. The SWPPP shall meet the performance and design criteria and standards in Chapter 190, Article II. The approved final subdivision plat shall be consistent with the provisions of Chapter 190.	NA	

FINAL CONSTRUCTION PLANS	YES	NO
Final construction plans and profiles shall be prepared for all proposed streets, private roads and other required improvements. Plans shall be drawn at the same scale as the final plat and on the same size sheets, but not on the same sheets. The following information shall be shown:	X	
Plans and profiles showing the location and a typical cross-section of street and/or private road pavements including curbs and gutters, sidewalks, manholes and catch basins; the location of street or private road trees, lighting and signs; the location, size and invert elevations of existing and proposed sanitary sewers, stormwater drains and fire hydrants; the location and size of all water, gas or other underground utilities or structures; and the location and design of any other required improvements.	X	
Profiles showing existing and proposed elevations along the center line of all streets and private roads. Where a proposed street or private road intersects an existing street or private road, the elevation along the center line of the existing street or private road within 100 feet of intersection, shall be shown. All elevations must be referred to established U.S. Government of approved local benchmarks, where they exist within ½ mile of the boundary of the subdivision.	NA	
The Planning Board may require, where steep slopes exist, cross-sections showing existing and proposed elevations of all new streets and private roads every 100 feet at five points on a line at right angles to the center line of the street or private road, said elevation points to be at the center line of the street or private road, each property line, and points 30 feet inside each property line.	NA	
Location, size, elevation and other appropriate description of any existing facilities which will be connected to proposed facilities and utilities within the subdivision.	X	

FINAL CONSTRUCTION PLANS (continued)		
Where the design of the subdivision requires the regarding of land, the regarding of land, the regraded contours shall be shown along with estimates of the quantity of material to be added or removed and the proposed measures to be implemented by the subdivider to rehabilitate the disturbed area or areas.	NA	
Title of all sheets, name, address, signature and seal of licensed engineer preparing the construction plans, the date prepared, including revisions dates if any, approximate true North point, scale, and consecutive numbering as sheet _____ of _____.	X	
A notation of approval, on all sheets as follows <div style="margin-left: 40px;"> “Approved by: Owner _____ Date _____ and Planning Board Chairman _____ Date” </div>	X	
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.	X	

For all items marked “NO” above, please explain below why the required information has not been provided:

Applicant/Sponsor Name: Beacon 226 Main Street, LLC / ^{Tim Owen} Gary Joseph (member)

Signature:  MEMBER

Date: April 24, 2018

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: 38 St. Luke's Place Subdivision		
Project Location (describe, and attach a general location map): 38 St. Luke's Place		
Brief Description of Proposed Action (include purpose or need): The owner/applicant wishes to subdivide the parcel into three residential lots - one to serve the existing house, and the remaining two to serve as new building lots. Access to the houses will be through public street frontage. Water will be supplied via existing City infrastructure, and sanitary sewer will be disposed of via discharge to existing city infrastructure.		
Name of Applicant/Sponsor: Beacon 226 Main Street, LLC		Telephone: 845-416-1808
		E-Mail: garyjoseph625@gmail.com
Address: 1 E. Main Street, Suite 101		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board - Subdivision	4/24/2018
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. ii. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No iv. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, identify the plan(s): _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, identify the plan(s): _____ _____ _____	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No

If Yes, what is the zoning classification(s) including any applicable overlay district?

R1-5 Zoning District

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? City of Beacon

b. What police or other public protection forces serve the project site?

City of Beacon

c. Which fire protection and emergency medical services serve the project site?

City of Beacon

d. What parks serve the project site?

Green Street Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? 0.405 acres

b. Total acreage to be physically disturbed? 0.26 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.405 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☒ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Residential

ii. Is a cluster/conservation layout proposed? ☐ Yes ☒ No

iii. Number of lots proposed? 3

iv. Minimum and maximum proposed lot sizes? Minimum 5,226 SF Maximum 6,608 SF

e. Will proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 6 months

ii. If Yes:

- Total number of phases anticipated _____

- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

- Anticipated completion date of final phase _____ month _____ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	3			
At completion of all phases	3			

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Total number of structures _____	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: <u>Stormwater Management - Drywells and Rain Gardens</u>	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify: <u>Surface runoff</u>	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>Drywells - underground, Rain Gardens - earthen berm</u>	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
• Volume (specify tons or cubic yards): _____	
• Over what duration of time? _____	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments?

☐ Yes ☐ No

If Yes, describe:

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?

☐ Yes ☐ No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water?

☒ Yes ☐ No

If Yes:

i. Total anticipated water usage/demand per day: 990 (9 bedrooms at 110 gpd/br) gallons/day (note: existing 3 BR, adding 6 BR)

ii. Will the proposed action obtain water from an existing public water supply?

☒ Yes ☐ No

If Yes:

- Name of district or service area: City of Beacon
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project?

☐ Yes ☒ No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site?

☐ Yes ☒ No

If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

not applicable

vi. If water supply will be from wells (public or private), maximum pumping capacity: N/A gallons/minute.

d. Will the proposed action generate liquid wastes?

☒ Yes ☐ No

If Yes:

i. Total anticipated liquid waste generation per day: 990 (9 bedrooms) gallons/day (note: existing 3 BR, adding 6 BR)

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?

☒ Yes ☐ No

If Yes:

- Name of wastewater treatment plant to be used: Beacon Wastewater Treatment Plant
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____</p> <p>Not applicable _____</p>		
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>Not applicable _____</p>		
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p>_____ Square feet or _____ acres (impervious surface)</p> <p>_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____</p> <p>_____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>		
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____</p> <p>ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p>			
<p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input type="checkbox"/> No (residential - not applicable)</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade to, an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 8 AM to 5 PM • Saturday: _____ 10 AM to 5 PM • Sunday: _____ • Holidays: _____ </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 8 AM to 5 PM • Saturday: _____ 10 AM to 5 PM • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 8 AM to 5 PM • Saturday: _____ 10 AM to 5 PM • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration: <u>Minor increases during the course of construction</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: <u>Typical household lighting</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No (residential - not applicable)</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s): _____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No (residential - not applicable)</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- ☒ Urban ☐ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)
- ☐ Forest ☐ Agriculture ☐ Aquatic ☒ Other (specify): cemetery / church (located south of site)

ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.061	0.156	+0.095
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.343	0.248	-0.095
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)	0.001	0.001	0
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? ☐ Yes ☒ No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No
If Yes:
i. Has the facility been formally closed? ☐ Yes ☐ No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☒ No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☐ No
☐ Yes – Spills Incidents database Provide DEC ID number(s): _____
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
☐ Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☒ Yes ☐ No
If yes, provide DEC ID number(s): 314044, C314118, 546031
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
Site 314044: Tuck Industries - Classification C (completed); Site C314118: Churchill Mills - Classification N (no further action at this time)
Site 546031: Hudson River PCB Sediments - Classification 2 (site listed in the "Registry of Inactive Hazardous Waste Disposal Sites")

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site?	>6.7 feet feet (per soils maps >80")
b. Are there bedrock outcroppings on the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, what proportion of the site is comprised of bedrock outcroppings? 0.05 %	
c. Predominant soil type(s) present on project site:	Knickerbocker - Urban 100 % _____ % _____ %
d. What is the average depth to the water table on the project site? Average:	>6.7 feet feet (per soils maps >80")
e. Drainage status of project site soils: <input checked="" type="checkbox"/> Well Drained: 100 % of site	
<input type="checkbox"/> Moderately Well Drained: % of site	
<input type="checkbox"/> Poorly Drained % of site	
f. Approximate proportion of proposed action site with slopes: <input checked="" type="checkbox"/> 0-10%: 65 % of site	
<input type="checkbox"/> 10-15%: % of site	
<input checked="" type="checkbox"/> 15% or greater: 35 % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, describe: _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes to either i or ii, continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
• Streams: Name _____	Classification _____
• Lakes or Ponds: Name _____	Classification _____
• Wetlands: Name _____	Approximate Size _____
• Wetland No. (if regulated by DEC) _____	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
j. Is the project site in the 100 year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
k. Is the project site in the 500 year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
i. Name of aquifer: Principal Aquifer	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>Birds _____ Squirrels _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>ii. Source(s) of description or evaluation: _____</p> <p>iii. Extent of community/habitat: _____</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>i. If Yes: acreage(s) on project site? _____</p> <p>ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. CEA name: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District </div>	
ii. Name: <u>St. Luke's Episcopal Church Complex</u>	
iii. Brief description of attributes on which listing is based: <u>Architecture / Engineering - Gothic Revival by Architect Frederick C. Withers</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <div style="margin-top: 5px;"> i. Describe possible resource(s): _____ ii. Basis for identification: _____ </div>	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <div style="margin-top: 5px;"> i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles. </div>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <div style="margin-top: 5px;"> i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? </div>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

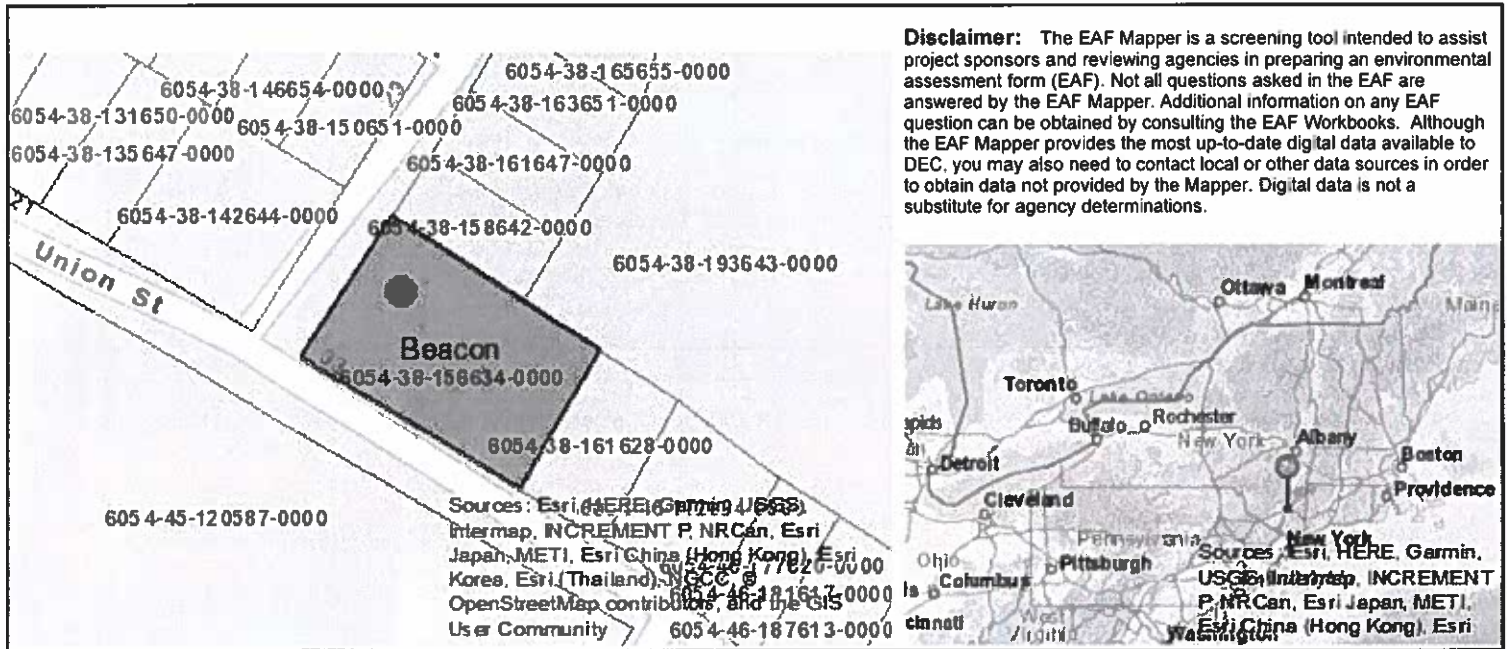
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Beacon 226 Main Street LLC Date April 24, 2018

Signature  Title Member

EAF Mapper Summary Report

Monday, April 16, 2018 4:15 PM



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	314044 , C314118, 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	St. Luke's Episcopal Church Complex
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



**Department of
Environmental
Conservation**

Environmental Site Remediation Database Search Details

Site Record

Administrative Information

Site Name: Tuck Industries

Site Code: 314044

Program: State Superfund Program

Classification: C

EPA ID Number:

Location

DEC Region: 3

Address: Tioronda Avenue

City: Beacon **Zip:** 12508

County: Dutchess

Latitude: 41.49339515

Longitude: -73.96898125

Site Type: DUMP

Estimated Size: 8 Acres

Site Owner(s) and Operator(s)

Current Owner Name: Joseph Rendeiro

Current Owner(s) Address: 425 Beverbrook Road
Lincoln Park, NJ, 07035

Current Owner Name: TESA TUCK, INC.

Current Owner(s) Address: LINCOLN PARK AIRPORT
LINCOLN PARK, NJ, 07035

Owner(s) during disposal: TESA TUCK, INC.

Current On-Site Operator: Tesa Tuck, Incorporated

Stated Operator(s) Address: TIORONDA AVENUE
BEACON, NY 12508

Hazardous Waste Disposal Period

From: unknown **To:** 1989

Site Description

Location Description: This 10 acre site lies between a railroad line to its west and Fishkill Creek, which flows into the Hudson River, to its east. **Predominant Site Features:** There are numerous buildings and structures that are vacant.

Current Use: The site is currently inactive, but between 1960 and 1989, Tuck Tape, Inc. manufactured adhesive tape at the facility. **Surrounding Uses:** It is in a suburban residential neighborhood. **Historical Sources of Contamination:** Tuck

Tape stored chemicals used in the production of adhesive tape and those recovered from the solvent recovery system in drums and storage tanks. Leaks from these drums and tanks caused soil contamination. Soil samples collected in 1993, for example, revealed maximum concentrations of toluene at 47,000 ppm and heptane at 110 ppm. **Completed**

Investigations/Actions: Investigations at the site include a Phase I in 1987 and a Phase II in 1993. All storage tanks and drums have been removed from the site. An IRM for treating the 14,000 cubic yards of contaminated soil by bioventing was performed from September 1995 to July 1997. The IRM has been successful in reducing the contamination levels to

guidance values. Based on the IRM and study of groundwater quality over a two year period, the site was delisted in May 2003. February 25, 2008: The NYSDEC has neither sought nor received any additional information on this site since it was delisted in May 2003. No changes to the Site Description in the above paragraphs are planned.

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

toluene

heptane

Site Environmental Assessment

Contaminant of Concern: Contaminants of concern were principally toluene and heptane and to lesser degrees benzene, xylenes and ethylbenzene. Impacted Media: Soil and to a lesser extent groundwater. Known SCG exceedences: Concentrations of toluene and heptane had exceeded the SCGS. Special Resources impacted/threatened: Except for the groundwater at the site, impacts/threat to the natural resources were minimal. The IRMs have eliminated any long term threat to the groundwater. Significant threat: None to Fishkill Creek, the only major surface water body near the site.

Site Health Assessment

The remediation of contaminated soils has eliminated the chance that trespassers or workers could be exposed to contaminants in soils. The population in the general vicinity of the site is served by public water, so exposures to contaminated groundwater are not expected.

For more Information: E-mail Us

Refine This Search



**Department of
Environmental
Conservation**

Environmental Site Remediation Database Search Details

Site Record

Administrative Information

Site Name: Hudson River PCB Sediments

Site Code: 546031

Program: State Superfund Program

Classification: 02

EPA ID Number:

Location

DEC Region: 5

Address: Hudson River, Hudson Falls-NYC Battery

City: Zip: 12180

County: Saratoga

Latitude: 43.286475666

Longitude: -73.595363441

Site Type:

Estimated Size: 0 Acres

Site Owner(s) and Operator(s)

Current Owner Name: New York State

Current Owner(s) Address:

,ZZ,

Current Owner Name: STATE OF NEW YORK

Current Owner(s) Address:

,ZZ,

Owner(s) during disposal: STATE OF NEW YORK

Current On-Site Operator: NYS Department of Transportation

Stated Operator(s) Address: State Campus - Building 5
Albany, NY 12233

Hazardous Waste Disposal Period

From: 1946 **To:** present

Site Description

Site Location: This site includes the nearly 200-mile stretch of the Hudson River that extends from Hudson Falls in Washington County to the Battery in New York City. The river is part of the Champlain Canal between Fort Edward and Waterford. **Site Features:** The site includes the main stem of the Hudson River, as well as the associated flood plains, river banks, riverine fringing wetlands, and backwater areas. **Current zoning / uses:** The river is currently used for recreation, transportation, and as a source of water for drinking and other purposes. The river floodplain areas include all types of land uses, from passive / recreational to residential to commercial / industrial. **Historical uses:** The General Electric Company (GE) discharged PCBs into the river from two capacitor manufacturing plants located in Hudson Falls and Fort Edward starting sometime in 1946. Previous investigations identified 40 areas or 'hot spots' in the upper Hudson that had sediments contaminated with greater than 50 ppm of PCBs. Also included in the definition of this site are five Remnant Deposits or river sediment areas that were exposed when the level of the river was lowered when the

Fort Edward Dam was removed in 1973. EPA issued a Record of Decision (ROD) for this National Priorities List site on September 25, 1984 which included: in-place containment of the Remnant Deposits; evaluation of downstream domestic water quality at Waterford, New York; and interim ☐ No Action ☐ as to the PCB-contaminated river sediment. The 1984 ROD indicated that both the No Action decision for the river sediments and the containment remedy for the Remnant Deposits might be reexamined by EPA in the future. The containment remedy for the Remnant Deposits was performed by GE under a 1990 Consent Decree with EPA. In addition, in 1990, NYSDEC completed the evaluation of downstream domestic water quality at Waterford, New York, which concluded that PCB concentrations were below analytical detection limits after treatment and met standards applicable to public water supplies. In December 1989, EPA announced its decision to initiate a detailed Reassessment Remedial Investigation/Feasibility Study (RI/FS) of the September 1984 decision concerning the PCB contaminated Hudson River sediments. The Reassessment culminated with EPA's issuance of a second ROD for the site in February 2002 which included the dredging of an estimated 2.65 million cubic yards of PCB contaminated sediments from the Upper Hudson River (between Fort Edward and Troy), which was estimated in the ROD to contain about 66,300 kilograms of total PCBs (approximately 65% of the total PCB mass estimated to be present within the Upper Hudson River). The ROD also identified further evaluation of PCB contamination in the flood plains concurrent with the design phase of the project. EPA issued a series of Orders to GE for performance of the engineering design for the project. Project design has been completed for Phase 1 (the first year) of the dredging program, and is ongoing for the remainder of the project. Phase 1 dredging commenced in May 2009, and was completed in October 2009. After completion of Phase 1, EPA reviewed the environmental monitoring and operational data to determine the changes to the project standards and to project design specifications for Phase 2. The changes to the project for Phase 2 were provided to GE in December 2010. GE, in accordance with the Consent Decree for the site, opted to implement Phase 2 of the remedy on 12/31/10. Construction work for Phase 2 of the remedial project started in 2011, and was completed in 2016. Dredging was completed in fall 2015; habitat reconstruction was completed in 2016. Facility decommissioning was performed in 2016. For more information on the Hudson River Fish advisory, copy and paste this link into a web browser:
https://www.health.ny.gov/environmental/outdoors/fish/hudson_river/advisory_outreach_project/

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

polychlorinated biphenyls (PCB)

PCB aroclor 1254

cadmium

lead

PCB aroclor 1242

PCB aroclor 1016

Site Environmental Assessment

Nature and extent of contamination: Contaminants: The primary constituent of concern is PCBs, discharged from two GE capacitor plants in Hudson Falls and Fort Edward. The upstream extent of contamination is the portion of the river immediately above the Bakers Falls Dam at the GE Hudson Falls plant site. The downstream extent of contamination is the Atlantic Ocean. The commercial mixtures of PCBs discharged from the two GE plant sites changed over time; initially aroclor 1254, changing to aroclor 1242 and then to aroclor 1016. Contaminant Concentrations: PCBs have been found in excess of standards, criteria and guidance concentrations (SCGs) in sediments, surface water, biota, air, and soils at the Hudson River PCBs site. The primary sources at the plant sites have been almost completely abated through remedial work at the plant sites; as a result, the primary source of PCB to the surface water and biota of the river are the contaminated sediments in the river south of the plant sites. Prior to remediation from 2009 to 2016, PCB concentrations in sediment range from non-detect to greater than one percent PCB (> 10,000 parts per million). In surface water

typically concentrations range from 2 nanograms per liter (ng/l or parts per trillion) to 100 ng/l, except at times of high flow when scour-driven remobilization of contaminated sediments can cause much higher concentrations in excess of 1 microgram per liter (1 ug/l or part per billion). Investigations are underway to determine the extent of floodplain impacts. To date, PCB concentrations in excess of 500 milligrams per kilogram (mg/kg or part per million) have been found in limited areas. The nature and extent of floodplain soil contamination has not yet been established. Significant threat: PCB contamination in the Hudson River sediments continue to pose a significant threat to human health and/or the environment. Concentrations in PCBs in biota directly attributable to the waste disposal at the site have led the Department of Health to recommend that human consumption of biota be limited over a substantial portion of the Hudson River between Hudson Falls and the Battery in New York City. In the upper Hudson, the fishery is catch and release only, and the NYSDOH advisory is to eat none. To see the fish consumption advisories, go to: <https://www.health.ny.gov/publications/2794.pdf> and https://www.health.ny.gov/environmental/outdoors/fish/hudson_river/advisory_outreach_project/ The disposal of PCB into the Hudson River has also led to significant environmental damage as defined in 6 NYCRR Part 375. This site has been included in the Federal National Priorities List (NPL).

Site Health Assessment

Consumption of fish is the major potential route of human exposure to PCBs from this site. Because of site impacts, most fish from the Hudson River downstream of Hudson Falls have elevated PCB levels, particularly near the GE Fort Edward Plant site and the GE Hudson Falls site. Fishing is restricted to catch and release from Hudson Falls to Troy. In addition, there are advisories ("eat none" or "eat no more than 1 meal per month") on consumption of several fish species caught from the Hudson River below the Troy Dam to New York Harbor. There are two downstream public drinking water supply intakes within the Upper Hudson River located in Halfmoon and in Waterford. Plans to protect these public water supplies during dredging are under development. In addition, GE under USEPA oversight will take actions at several properties along the Hudson River in 2007 to address PCB contaminated floodplain soils. These actions vary from deploying signs to installing various covers and are intended to reduce exposures to PCBs in floodplain soils until a permanent remedy is developed. Additionally, plans for further floodplain soil investigations in the Upper Hudson River Floodplain are under development.

For more Information: E-mail Us

[Refine This Search](#)



**Department of
Environmental
Conservation**

Environmental Site Remediation Database Search Details

Site Record

Administrative Information

Site Name: Churchill Mills
Site Code: C314118
Program: Brownfield Cleanup Program
Classification: N *
EPA ID Number:

Location

DEC Region: 3
Address: 1 East Main Street
City:Beacon **Zip:** 12508
County:Dutchess
Latitude: 41.502233333
Longitude: -73.9628
Site Type:
Estimated Size: 3.36 Acres

Site Owner(s) and Operator(s)

Current Owner Name: EAST MAIN MILLS, LLC
Current Owner(s) Address: 18 EAST 22ND STREET
NEW YORK, NY, 10010

Site Document Repository

Name: HOWLAND PUBLIC LIBRARY
Address: 313 MAIN STREET
BEACON, NY 12508

Site Description

The Church Hill Mills Site is +/- 3.36 acres, made up of 4 parcels and is located in the City of Beacon, Dutchess County. The site is bounded by Tioranda Avenue to the northeast, East Main Street to the north, the Fishkill Creek to the east and south, and Churchill Street to the southwest. The site is currently vacant and has previously been utilized in part for various industrial uses including hat manufacturing, aluminum anodizing, woodworking and auto parts salvaging. Contaminants which are known or suspected to affect the soil, groundwater, sediment and/or soil gases include petroleum, SVOCs, metals and PCBs. The BCP application was approved in 2007. The remedial investigation work plan was approved in December 2007. After two schedule extensions, the Volunteer has terminated the BCA without implementing the investigation work plan.

Site Environmental Assessment

Contaminants which are known or suspected to affect the soil, groundwater, sediment and/or soil gases are petroleum, SVOCs, metals and PCBs.

*** Class N Sites:** "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

For more Information: E-mail Us

Refine This Search

Soil Map—Dutchess County, New York
(38 St. Luke's Place Subdivision)



Soil Map may not be valid at this scale.

Map Scale: 1:483 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84




Natural Resources
Conservation Service


Web Soil Survey
National Cooperative Soil Survey


MAP LEGEND


MAP INFORMATION

- Area of Interest (AOI)


Area of Interest (AOI)
- Soils


Soil Map Unit Polygons


Soil Map Unit Lines


Soil Map Unit Points
- Special Point Features


Blowout


Borrow Pit

Clay Spot

Closed Depression


Gravel Pit


Gravelly Spot


Landfill


Lava Flow


Marsh or swamp


Mine or Quarry


Miscellaneous Water

Perennial Water


Rock Outcrop

Saline Spot


Sandy Spot

Severely Eroded Spot

Sinkhole

Slide or Slip

Sodic Spot

- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features

Water Features

Streams and Canals

Transportation

Rails

Interstate Highways

US Routes

Major Roads

Local Roads

Background

Aerial Photography

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Dutchess County, New York
Survey Area Data: Version 14, Oct 8, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 7, 2013—Feb 26, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
KuA	Knickerbocker-Urban land complex, nearly level	0.5	100.0%
Totals for Area of Interest		0.5	100.0%

Dutchess County, New York

KuA—Knickerbocker-Urban land complex, nearly level

Map Unit Setting

National map unit symbol: 9rh4

Elevation: 100 to 800 feet

Mean annual precipitation: 41 to 47 inches

Mean annual air temperature: 45 to 50 degrees F

Frost-free period: 115 to 195 days

Farmland classification: Not prime farmland

Map Unit Composition

Knickerbocker and similar soils: 40 percent

Urban land: 35 percent

Minor components: 25 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Knickerbocker

Setting

Landform: Terraces, deltas

Landform position (two-dimensional): Summit

Landform position (three-dimensional): Tread

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Sandy glaciofluvial deposits or deltaic deposits

Typical profile

H1 - 0 to 10 inches: fine sandy loam

H2 - 10 to 19 inches: sandy loam

H3 - 19 to 30 inches: loamy sand

H4 - 30 to 72 inches: loamy sand

Properties and qualities

Slope: 0 to 3 percent

Depth to restrictive feature: More than 80 inches

Natural drainage class: Somewhat excessively drained

Capacity of the most limiting layer to transmit water (Ksat): High
(1.98 to 5.95 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water storage in profile: Low (about 5.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2s

Hydrologic Soil Group: A

Hydric soil rating: No

Description of Urban Land

Typical profile

H1 - 0 to 6 inches: variable

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8s

Hydric soil rating: Unranked

Minor Components

Udorthents

Percent of map unit: 10 percent

Hydric soil rating: No

Haven

Percent of map unit: 5 percent

Hydric soil rating: No

Hoosic

Percent of map unit: 5 percent

Hydric soil rating: No

Fredon

Percent of map unit: 4 percent

Landform: Depressions

Hydric soil rating: Yes

Halsey

Percent of map unit: 1 percent

Landform: Depressions

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Dutchess County, New York

Survey Area Data: Version 14, Oct 8, 2017

ASSET METADATA

Title:

St. Luke's Episcopal Church Complex

National Register Information System ID:

08000517

Applicable Criteria:

ARCHITECTURE/ENGINEERING

Architectural Styles:

GOTHIC REVIVAL

Architects:

Withers, Frederick C.
et al.

Areas Of Significance:

ARCHITECTURE

ART

Periods Of Significance:

1850-1874

1875-1899

1900-1924

Significant Years:

1869

1887

1893

Resource Type:

BUILDING

Related Collections:

National Register of Historic Places Collection

Resource Format:

pdf

File Size (bytes):

22151

Date Published:

5/30/2008

Parks:

National Register of Historic Places

Locations:

State: New York

County: Dutchess County

Beacon ; Wolcott Ave. & Rector St.

Rating:**Categories:**

Historic

Asset ID:

b0335096-e183-4475-aa5b-8eccdb6c227d

HIDE METADATA

Copyright

SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 2209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.
11. Contour interval is one foot. Elevations shown hereon are referenced to NAVD 88 using NYSNET RTN GPS.

FILED MAP REFERENCE

Map entitled "Map of Lots at Matteawan, N.Y. - Property of Mrs. Maria Robinson" prepared by S. Scofield, C.E. and filed with the Dutchess County Clerk's office on July 7, 1897 as Map No. 514.

Map entitled "Map of Lands Belonging to Caroline R. Clark and Ors." prepared by W.R. Scofield and filed with the Dutchess County Clerk's office on November 15, 1916 as Map No. 1491.

DEED REFERENCE

Liber 1001 Page 311
Clarence E. Wood
Conveyed To
Leroy Steinhart & Beryl Steinhart
On July 15, 1959

Liber 535 Page 414
Thomas B. Finney & Theresa Finney
Conveyed To
Clarence Edward Wood & Florence May Wood
On December 13, 1933

TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York
130200-6054-38-156634-0000

AREA

Total
17,635 ft²
0.3405 Acres

CERTIFICATIONS

Beacon 226 Main Street LLC

ZONING

Property shown hereon is located within the R1-S (5,000 ft²/dwelling) Residential District as shown on map entitled "Zoning" prepared by Frederick P. Clark Associates, Inc. and dated 6/7/1996, revised on 7/29/2014.

FLOOD ZONE

Property shown hereon is located within the Zone "x"
Unshaded region and is determined to be outside the 0.2% annual chance floodplain as shown on Flood Insurance Rate Map (FIRM) No. 36027C0577E (Effective Date: 05/02/2012).

OWNERS & APPLICANTS

Beacon 226 Main Street LLC

PLANNING BOARD

Approved by resolution of the Planning Board of the City of Beacon, New York, on the _____ day, of year _____. Subject to all requirements and conditions of said resolution. Any change, erasure, modification or revision of the plat as approved shall void the approval. Signed this _____ day, of year _____.

By: _____ Chairman

DCDOH STANDARD NOTE

FOR PERMISSION TO FILE
This plan does not constitute a realty subdivision as defined by Article XI, Title II, Section 1115 of the Public Health Law of the State of New York, and Article XI, of the Dutchess County Sanitary Code. Permission is hereby granted for the filing of this map with the Clerk of Dutchess County. Approval for arrangements for water supply and/or sewage disposal is neither sought nor granted.

Authorized Representative of the Commissioner of Health _____ Date _____

OWNER'S CONSENT

The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated herein.

Date _____

SURVEY NOTES

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Authorized Representative of the Commissioner of Health _____ Date _____

OWNER'S CONSENT

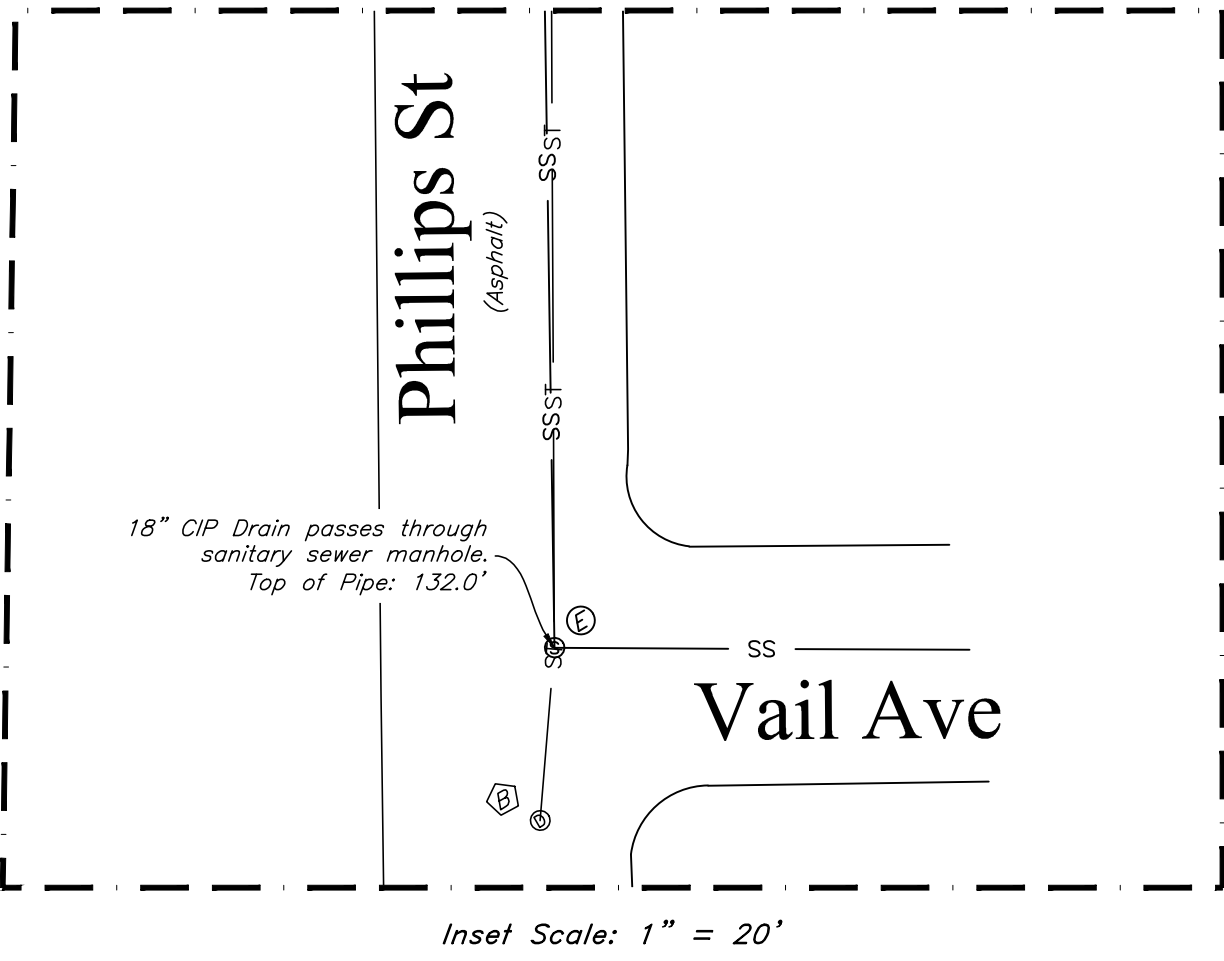
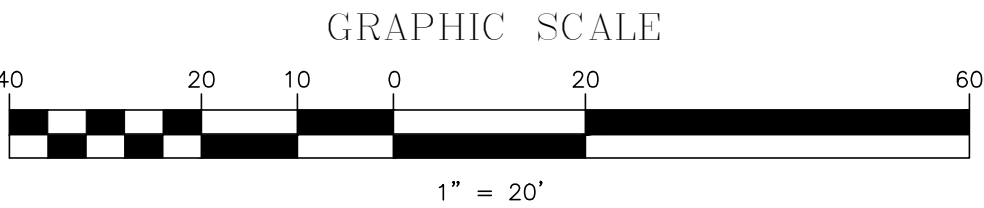
The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated herein.

Date _____

TEC

LAND SURVEYING

150 TIORONDA AVE. BEACON, NY 12508
PH: 845.445.6590 FX: 845.445.6591



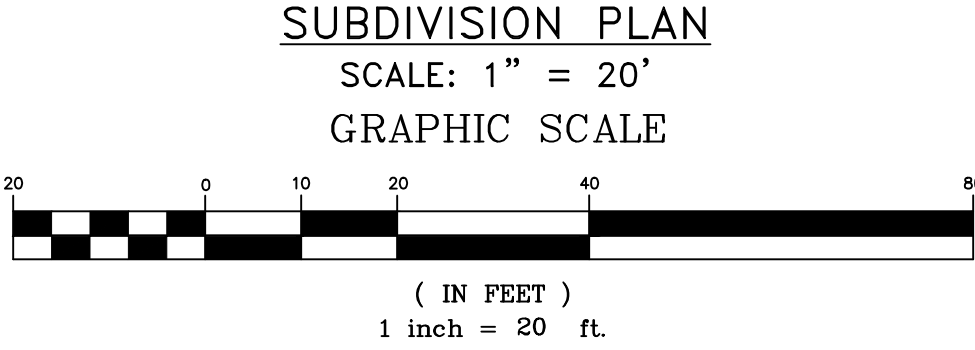
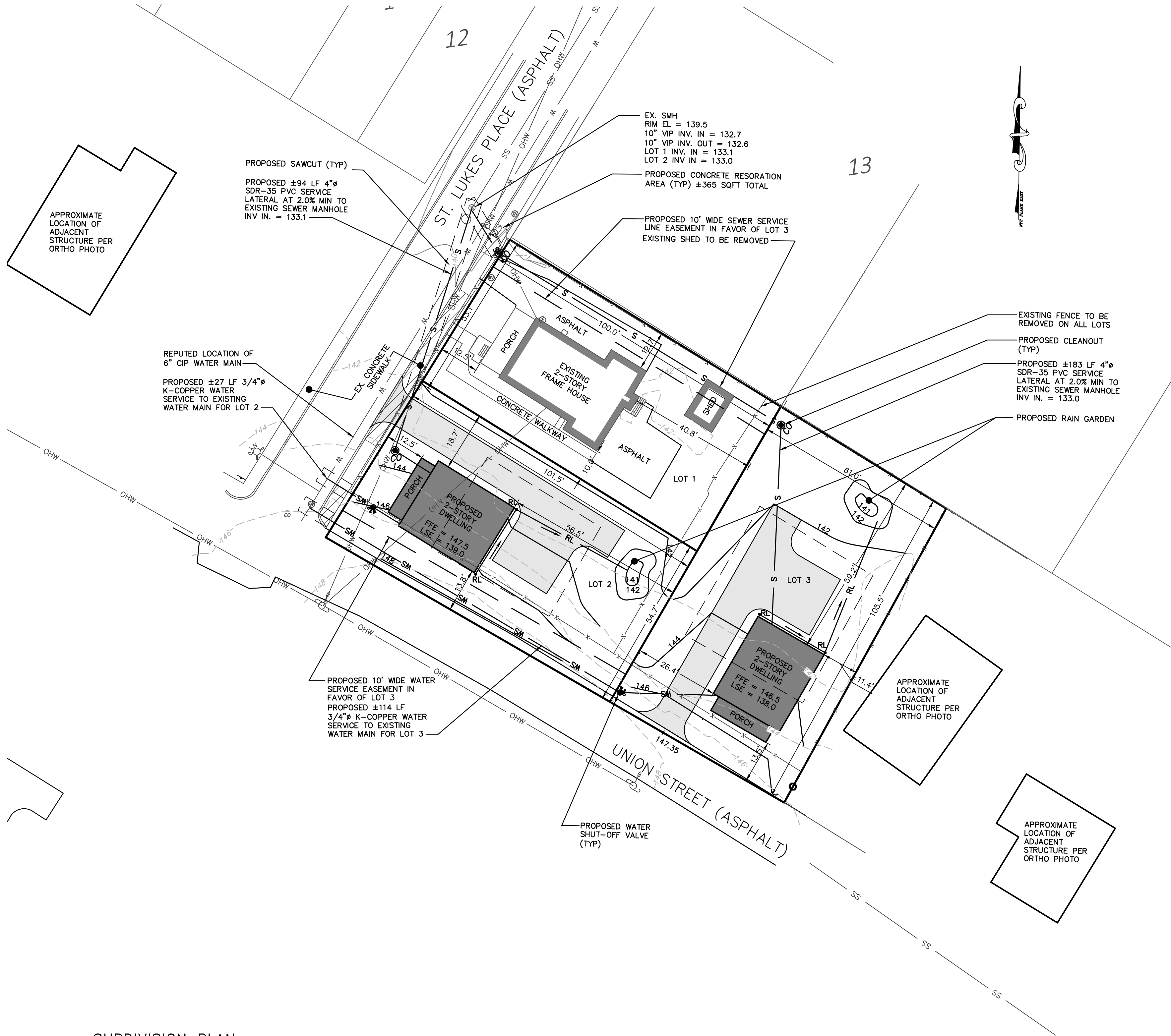
THOMAS E. GERCHIARA, P.L.S.
P.L.S. No. 50732

38 ST LUKES PLACE

SUBDIVISION PLAT
PREPARED FOR
BEACON 226 MAIN STREET LLC

CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id	6054-38-156634
address	38 ST LUKES PLACE
date	04/20/2018
scale	1" = 20'
project no.	18-040
project name	38 ST LUKES PLACE
sheet	1 OF 4



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON OCTOBER 6, 2017.

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

GARY JOSEPH OR TIM OWEN DATE THOMAS CERCHIARA P.L.S. SEAL

SCHEDULE OF REGULATIONS (R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2	LOT #3
LOT AREA:	5,000 SQUARE FEET MIN	5,270 S.F.	5,757 S.F.	6,608 S.F.
LOT WIDTH:	50 FEET MINIMUM	52.2 FEET	54.7 FEET	61.0 FEET
LOT DEPTH:	100 FEET MINIMUM	100.0 FEET	101.5 FEET	105.5 FEET
YARD SETBACKS (RESIDENTIAL USE):				
FRONT YARD:	30 FEET MINIMUM	12.5 FEET*	12.5 FEET**(1)	13.5 FEET**
SIDE YARD:	10 FEET MINIMUM	10.0 FEET	13.8 FEET	11.4 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	22.7 FEET	32.5 FEET	37.8 FEET
REAR YARD:	30 FEET MINIMUM	40.8 FEET	56.5 FEET	59.2 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):				
SIDE YARD:	5 FEET MINIMUM	STRUCTURE TBR	N/A	N/A
REAR YARD:	5 FEET MINIMUM	STRUCTURE TBR	N/A	N/A
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	±27 FEET	<35 FEET	<35 FEET
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	±27 FEET	>12 FEET	>12 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	STRUCTURE TBR	N/A	N/A
BUILDING COVERAGE:	MAX 25%	21.1%	13.5%	11.5%
DWELLING UNITS PER LOT:	MAX 1	1	1	1

* EXISTING, NON-CONFORMING LOT
** THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT #2 AND LOT #3 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO HOUSES ALONG ST. LUKES PLACE AND UNION STREET, RESPECTIVELY).
(1) ASSUMES FULL FRONT YARD FROM ST. LUKES PLACE, WITH FRONT YARD ALONG UNION STREET REDUCED TO 0.25 X 50' = 12.5' (PER SECTION 223-13J ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT, OR, IF THE LOT IS OCCUPIED BY A ONE-FAMILY HOME, SUCH SIDE YARD MAY BE REDUCED TO 25% OF THE ACTUAL LOT WIDTH).

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	BUILDING SETBACK LINE
---	EXISTING ADJOINER LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING UTILITY POLE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXISTING SEWER MAIN
---	PROPOSED SEWER SERVICE LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER SERVICE LINE
---	PROPOSED WATER SHUT-OFF VALVE
---	PROPOSED SEWER CLEAN OUT
---	PROPOSED ROOF LEADER

PROJECT INFORMATION:

PARCEL OWNERS:	226 MAIN STREET INC.
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	38 ST. LUKES PLACE, BEACON NY, 12508
TAX PARCEL IDS:	6054-38-156634 (±0.11AC)
PARCEL AREA:	±0.40 ACRES
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

MAP REFERENCES:

1. EXISTING FEATURES AS SHOWN ON THIS SUBDIVISION PLAN PROVIDED BY MAPPING OBTAINED FROM TEC LAND SURVEYORS, PS, LLC.

SURVEY NOTES:

1. SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.

SITE SPECIFIC NOTES:

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
- THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
- THE WATER SERVICE LINE SHALL BE 3/4" K-COPPER.
- THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
- A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER AND SEWER SERVICES FOR THE NEW LOT. STREET CLOSURE FOR WATER AND SEWER SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
- ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
- SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
- THE DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLE CALLS FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:
LOT 2: SLSD RIGHT = ±35 FEET (TO INTERSECTION OF ST. LUKES PLACE AND UNION STREET)
SLSD LEFT = ±342 FEET
LOT 3: SLSD RIGHT = ±215 FEET
SLSD LEFT = ±690' (TO INTERSECTION OF UNION STREET AND RUSSELL AVE)

AS SLSD RIGHT FOR LOT 3 IS SLIGHTLY DEFICIENT, STOPPING SIGHT DISTANCE (SSD) WAS MEASURED TO BE 215', WHICH EXCEEDS THE MINIMUM REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FROM THE NORTH (SOUTHBOUND).
STOPPING SIGHT DISTANCE (SSD) WAS OBSERVED TO BE IN EXCESS OF THE REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FOR BOTH LOT 2 AND LOT 3 FROM THE LEFT AND RIGHT.
12. INSTALLATION AND DESIGN OF SANITARY SEWER LINE IS SUBJECT TO VERIFICATION OF THE CITY OF BEACON MUNICIPAL SEWER SYSTEM.
13. ALL SITE GRADING THAT IS COMMON TO BOTH LOT 1 AND LOT 2 SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR EITHER LOT 1 OR LOT 2.
14. GRAVEL AREA IN FRONT OF LOT 1 SHALL BE REMOVED, SEEDED AND LANDSCAPED.
15. RETAINING WALL SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK AND SUBMITTED TO THE CITY OF BEACON BUILDING DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.

INDIANA BAT PROTECTION NOTES:

- TREE CLEARING SHALL BE RESTRICTED TO THE PERIOD BETWEEN OCTOBER 1 AND MARCH 31.
- THE LIMITS OF DISTURBANCE SHALL BE DEMARCATED BY INSTALLING ORANGE CONSTRUCTION FENCE FOR THE GENERAL IMPROVEMENT AND INFRASTRUCTURE CONSTRUCTION ACTIVITIES AND FOR THE INDIVIDUAL LOT CONSTRUCTION. THESE LIMITS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- DUST CONTROL DURING CONSTRUCTION SHALL BE IMPLEMENTED. THIS INCLUDES USE OF CONSTRUCTION ENTRANCES, APPLYING LIGHT WATER, AND ESTABLISHING VEGETATION.
- STREET LIGHTS ARE NOT PERMITTED. RESIDENTIAL LIGHTING SHALL BE DIRECTED DOWNWARD TO REDUCE IMPACTS TO BATS FORAGING FOR FOOD.
- NO CHEMICALS SHALL BE USED IN THE STORMWATER PONDS THAT MIGHT ADVERSELY IMPACT BATS OR THE INSECT POPULATION. THIS INCLUDES THE USE OF COPPER SULFATE.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF 20, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS DAY OF 20, BY

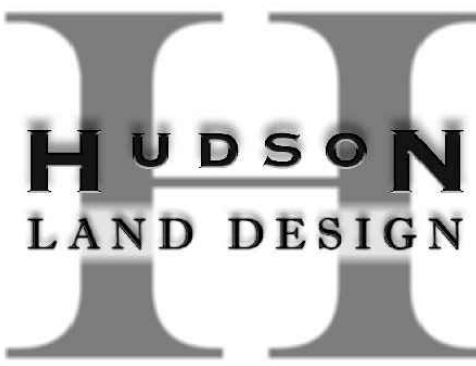
CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

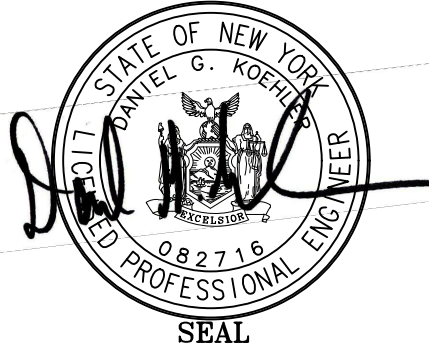
SUBDIVISION PLAN
38 ST. LUKES SUBDIVISION

38 ST. LUKES PLACE
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6054-38-156634
SCALE: 1" = 20'
APRIL 24, 2018



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.

174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637

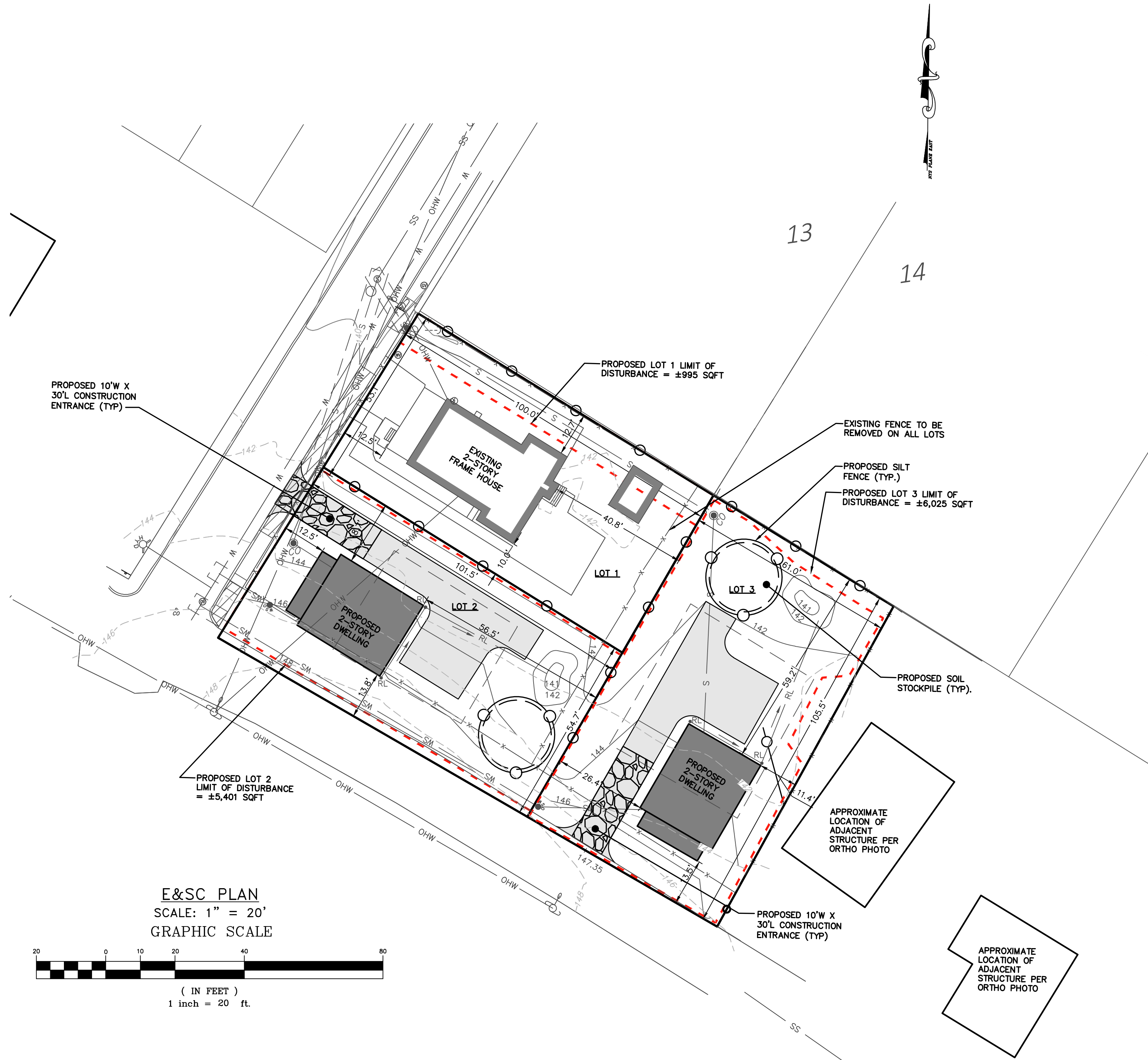


JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

SHEET: 2 OF 4



DRAWN BY: AG		CHECKED BY: DGK	JOB NO.: 2018-012
REVISIONS:			
NO.	DATE	DESCRIPTION	BY

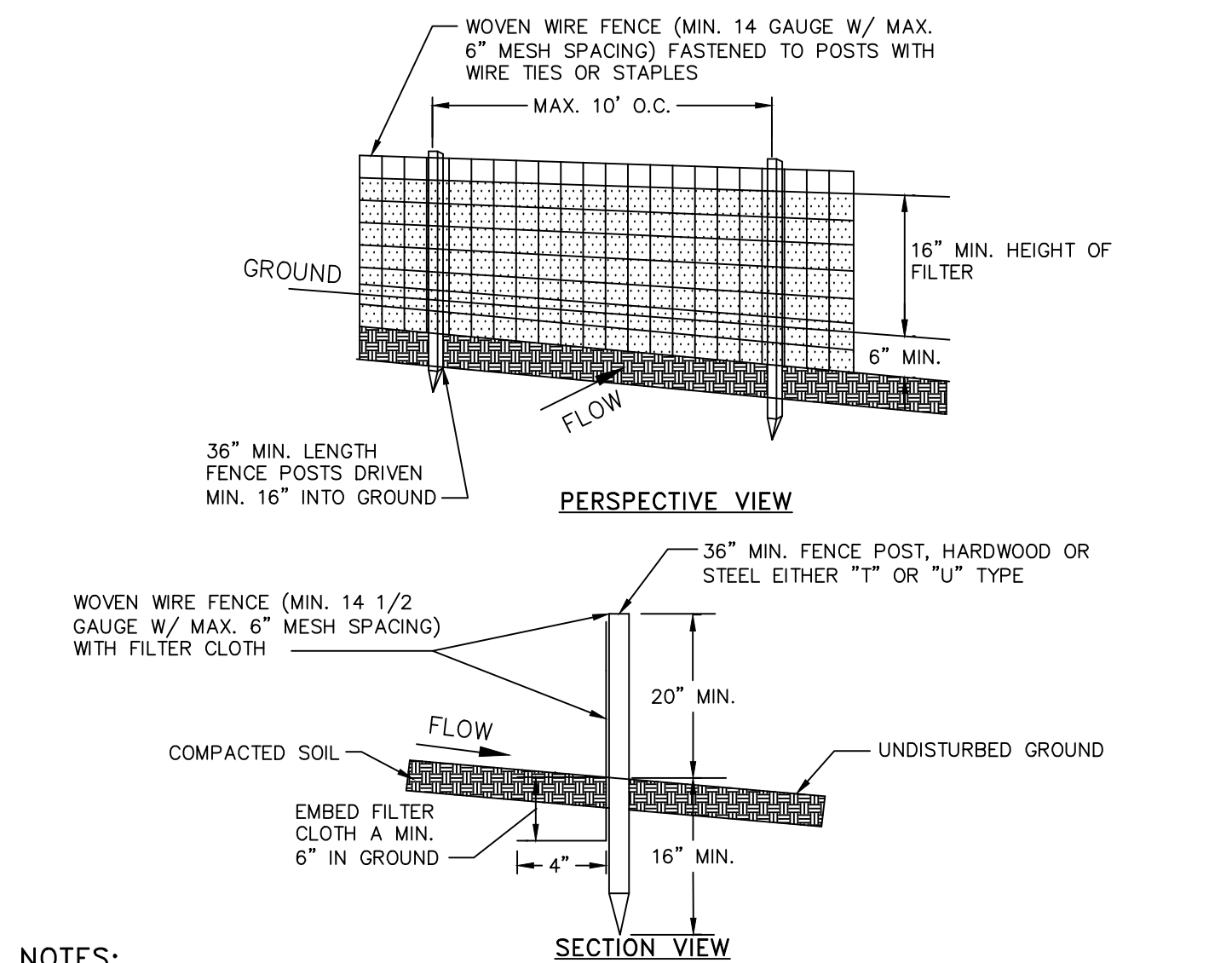


- LEGEND**
- EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING UTILITY POLE
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED SILT FENCE
 - PROPOSED LIMIT OF DISTURBANCE
 - PROPOSED SOIL STOCKPILE BOUNDARY

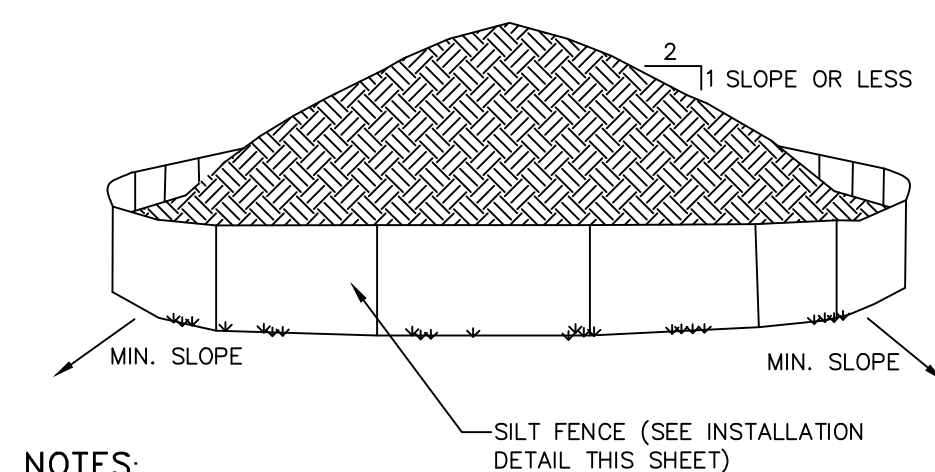
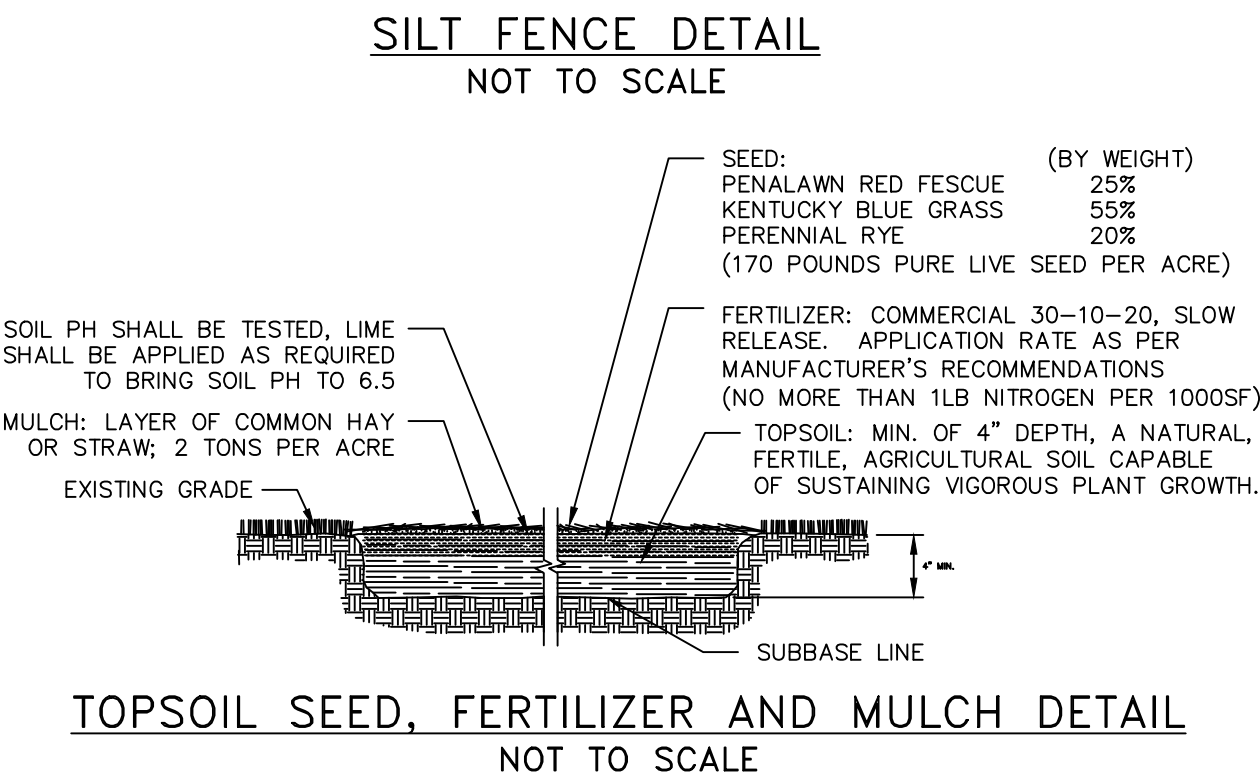
OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

GARY JOSEPH OR TIM OWEN DATE

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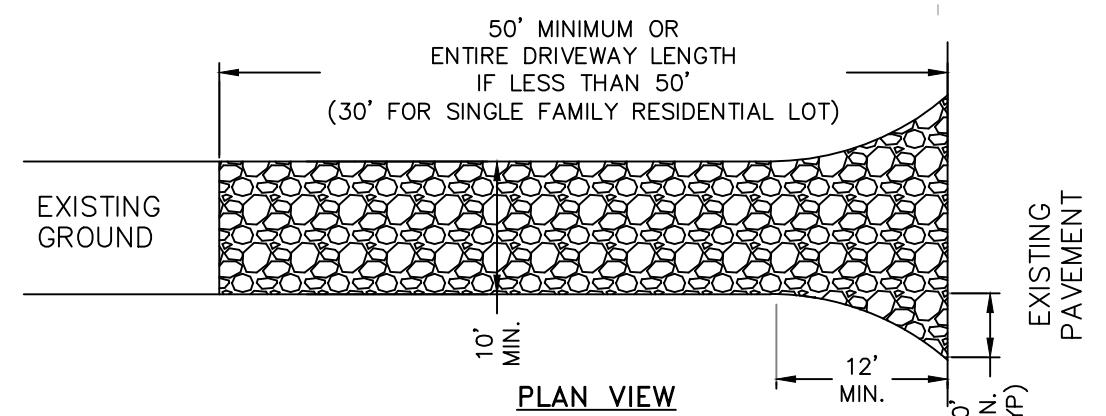


- NOTES:**
1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
 3. PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE OR APPROVED EQUAL.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE



- NOTES:**
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 3. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO LARGE COMMERCIAL OR RESIDENTIAL SITE.
 4. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

- SURVEY NOTES:**
1. SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.
- EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
2. ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
3. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
4. ANY PILE OF POTENTIALLY TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
5. PERMANENT SEEDING AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THIS SHEET.
6. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
7. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
8. THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
9. THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL, AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
10. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
11. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
12. STORMWATER SUMPS SHALL BE PROPERLY MAINTAINED BY WEEDING AND TRIMMING THE DROUGHT TOLERANT SPECIES TWICE A YEAR. MULCH SHALL BE REPLACED WHEN SEDIMENT BUILDUP OBSERVED AND THE INFILTRATIVE CAPACITY OF THE SUMP IS DIMINISHED.
13. STORMWATER SUMP OVERFLOW WEIR SHALL BE INSPECTED ANNUALLY, OR AFTER ANY LARGE STORM EVENTS. SEDIMENT ACCUMULATION SHALL BE MONITORED AND REMOVED FROM RIP RAP AS REQUIRED. DEBRIS SHALL BE REMOVED WHEN BUILD-UP HAS ACCUMULATED TO APPROXIMATELY 10% TO 20% OF WEIR CAPACITY.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY

CHAIRMAN

SECRETARY

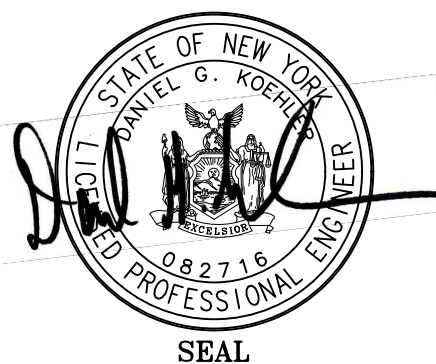
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

EROSION & SEDIMENT CONTROL PLAN 38 ST. LUKES SUBDIVISION

38 ST. LUKES PLACE
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6054-38-156634
SCALE: 1" = 20'
APRIL 24, 2018

HUDSON LAND DESIGN

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

SHEET: 3 OF 4

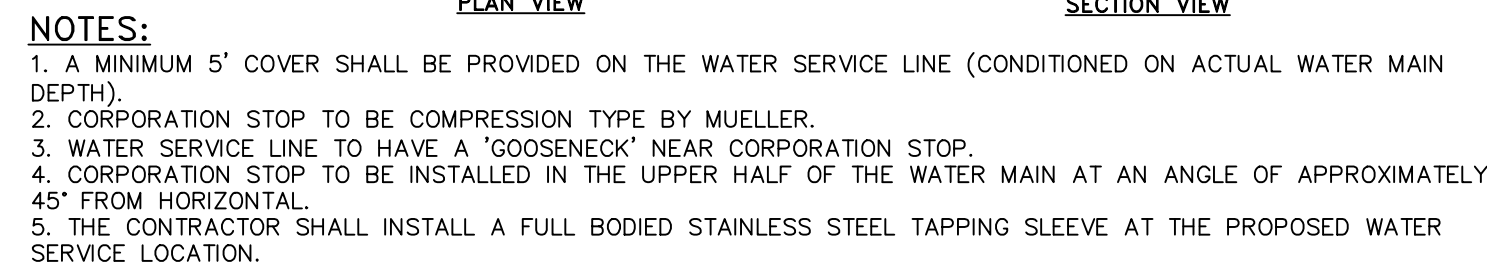


Diagram illustrating the cross-section of a trench installation, labeled "NOT TO SCALE". The diagram shows the following layers and components from top to bottom:

- SURFACE TREATMENT PER PLAN**: Indicated by a line pointing to the top surface.
- FINAL GRADE**: The ground level above the trench.
- SUITABLE RUN OF TRENCH IN 6" MAX. COMPACTED LIFTS - OUTSIDE OF ROADWAY AND ROAD RIGHT-OF-WAY ONLY (SEE NOTE 2 BELOW). UNDER ROADWAY AND RIGHT-OF-WAY MATERIAL SHALL BE NYSDOT ITEM 304.12.**: A note pointing to the compacted lifts above the pipe.
- VARIES**: A vertical dimension line indicating the variable depth of the compacted lifts above the pipe.
- PIPE $\phi = 24"$** : The main trench pipe.
- UNDISTURBED EARTH**: The area to the left of the trench.
- 12"**: A vertical dimension line indicating the depth of the undisturbed earth above the pipe.
- NYSDOT ITEM 304.12 COMPACTED TO 95% STANDARD PROCTOR IN 6" LIFTS MAXIMUM**: A note pointing to the compacted lifts below the pipe.
- 6" MIN.**: A vertical dimension line indicating the minimum depth of the compacted lifts below the pipe.
- SAND BEDDING**: The layer at the bottom of the trench.
- 4" SCH 40 4" PVC SANITARY SEWER LINE $\phi \frac{1}{2}"$ PER FT MINIMUM SLOPE**: A note pointing to the 4-inch sanitary sewer line at the bottom of the trench.

- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

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 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF MATERIAL TRENCHING SHALL BE FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
 3. IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.
 4. IF WATER SERVICE AND SEWER SERVICE LINE CROSSINGS ARE NEEDED, PROVIDE 18" OF VERTICAL SEPARATION.

The drawing consists of two parts: a **PLAN** view and a **SECTION** view.

PLAN View: Shows a top-down perspective of the road layout. Key features include:

- A **10' WIDE ASPHALT DRIVEWAY** on the left, sloping down to the right.
- A **GRASS CHANNEL BEHIND** the driveway, with a width of **2'-0" MIN.**
- The main road surface with a **14'-0"** width and a **1" REVEAL** on the right side.
- A **3" LANDSCAPED AREA (TYP)** on the far right.
- A **6" CONCRETE CURB** on the right side of the road.
- Slopes are indicated with arrows and labels: **SLOPE**, **2'-0" SLOPE**, and **14'-0"**.

SECTION View: Shows a cross-section of the road structure. Key features include:

- The **ROAD** surface on the right, bordered by a **6" CONCRETE CURB**.
- The **WEARING COURSE** and **3" ASPHALT** layers below the road surface.
- The **WELL COMPACTED NYSDOT ITEM NO. 304.12 FOUNDATION (MIN. 12" BENEATH ASPHALT)** below the asphalt layers.
- The **COMPACTED SUBGRADE** at the base of the structure.

- NOTE:** 1. RESEED AND STABILIZE GRASS AREAS AFTER ASPHALT INSTALLATION.

NOT TO SCALE

10' WIDE ASPHALT DRIVEWAY

SLOPE

6" CONCRETE CURB

1" REVEAL

5'-0"

14'-0"

5'-0"

PLAN

WELL COMPACTED NYSDOT ITEM NO. 304.12 FOUNDATION (MIN. 12" BENEATH ASPHALT)

3" ASPHALT

WEARING COURSE

6" CONCRETE CURB

ROAD

SECTION

COMPACTED SUBGRADE

- NOTE:** 1. RESEED AND STABILIZE GRASS AREAS AFTER ASPHALT INSTALLATION.

NOT TO SCALE

6" MAX PONDED WATER DEPTH

6" MULCH LAYER (DRAINAGE LAYER)

GRASS BUFFER

SHEET FLOW

GRASS BUFFER

SHEET FLOW

1.0'

EXISTING GROUND (TYP.)

6" LAYER OF 3/4" WASHED STONE

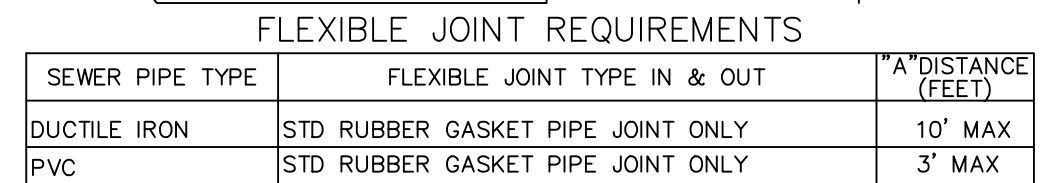
PLANTING SOIL

FILTER FABRIC

- NOTES**
1. RAIN GARDEN TO HAVE A MINIMUM FOOTPRINT OF 60 SQUARE FEET WITH 10:1 SIDE SLOPES AT 0.5' DEEP; 1.0' SOIL MEDIA DEPTH; 0.5' DRAINAGE LAYER DEPTH; AND 0.5' PONDING DEPTH.
 2. DIRECT ROOF LEADER DISCHARGE TO RAIN GARDEN.
 3. PLANTS SHALL BE PLACED IN AREA SHOWN ON THE PLAN.

2. DIRECT ROOF LEADER DISCHARGE TO RAIN GARDEN.
3. PLANTS SHALL BE PLACED IN AREA SHOWN ON THE PLAN.

TYPICAL RAIN GARDEN DETAIL
NOT TO SCALE



- NOTE:**
REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

NOT TO SCALE

4" Ø SCH 40 PVC SANITARY SEWER SERVICE LINE @ 1/4" PER FT MINIMUM SLOPE

PLAN VIEW

REDUCING WYE BRANCH

FLOW

45° BEND OR AS REQUIRED

PROFILE VIEW

EXISTING 8" Ø SEWER MAIN

- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
 3. THE TAPPING SADDLE FOR CONNECTION OF THE PROPOSED SERVICE LINE TO THE EXISTING SEWER MAIN TO BE A 4" PREDCO HUB TAP SADDLE - MODEL #HTS4/E.

SEWER OR CONNECTION DETAIL
NOT TO SCALE

1 1/2" RADIUS

5"

6" REVEAL

FINISHED GRADE 1" BELOW TOP OF CURB IN ALL LANDSCAPED AREAS.

CONSOLIDATED BACKFILL

20"

6"

8"

SEE PAVEMENT SECTION

UNDISTURBED EARTH

NYSDOT ITEM NO. 304.12

SEE PAVEMENT SECTION

UNDISTURBED EARTH

NYSDOT ITEM NO. 304.12

ABUTTING GRASS OR LANDSCAPE

- NOTES:**
1. CONCRETE CURB SHALL BE 4,000 PSI CAST-IN-PLACE, AND IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
 2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS.
 3. FOR MOUNTABLE CURBS ABUTTING SIDEWALK OR OTHER HARDSCAPE, REFER TO "ABUTTING SIDEWALK" DETAIL.
 4. CONCRETE SHALL BE SEALED WITH A SALT RESISTANT SEALER.

3. FOR MOUNTABLE CURBS ABUTTING SIDEWALK OR OTHER HARDSCAPE, REFER TO "ABUTTING SIDEWALK" DETAIL.
 4. CONCRETE SHALL BE SEALED WITH A SALT RESISTANT SEALER.

CAST-IN-PLACE CONCRETE CURB DETAIL
 NOT TO SCALE

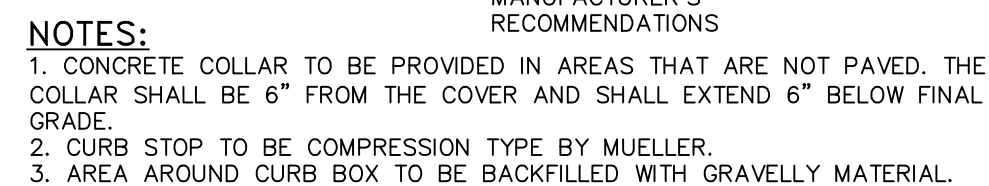


Diagram illustrating a trench excavation cross-section. The diagram shows a trench with a width of 36 inches (W=36"). The pavement section is shown above the trench, and the subgrade is shown below. The trench is labeled "LIMITS OF TRENCH EXCAVATION 'W'". The subgrade is labeled "EXISTING BASE COURSE" and "EXISTING SUBBASE". The trench is labeled "LIMITS OF TRENCH EXCAVATION 'W'". The subgrade is labeled "EXISTING BASE COURSE" and "EXISTING SUBBASE". The trench is labeled "LIMITS OF TRENCH EXCAVATION 'W'". The subgrade is labeled "EXISTING BASE COURSE" and "EXISTING SUBBASE".

Labels and dimensions include:

- SAW CUT EDGES OF PAVEMENT, APPLY TACK COAT.
- W=36"
- PAVEMENT SECTION
- 18" (17")
- EXISTING BASE COURSE
- EXISTING SUBBASE
- 10" SUBBASE COURSE NYSDOT ITEM 304.12
- NYSDOT ITEM 304.12 COMPACTED TO 95% STANDARD PROCTOR IN 6" LAYERS MAXIMUM TO PIPE
- LIMITS OF TRENCH EXCAVATION "W"

NOT TO SCALE

- LEGEND** 6" LIFTS MAXIMUM
- (A) 1.5" ASPHALT CONCRETE TOP COURSE-- NYSDOT TYPE F1
- (B) 3.0" ASPHALT CONCRETE BINDER COURSE-- NYSDOT TYPE F9
- (C) 3.0" ASPHALT BASE COURSE-- NYSDOT TYPE F9

- NOTES:**
1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED. JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.
 2. FURNISH, PLACE, AND COMPACT SUBBASE.
 3. TACK COAT IN ACCORDANCE WITH NYSDOT STANDARD SPEC.
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

1 1/2" RADIUS

1/2"

5"

1/4"R (TYP.)

EXPANSION JOINT MATERIAL

CONCRETE SIDEWALK

6" REVEAL

20"

SUBBASE

PER SIDEWALK SECTION

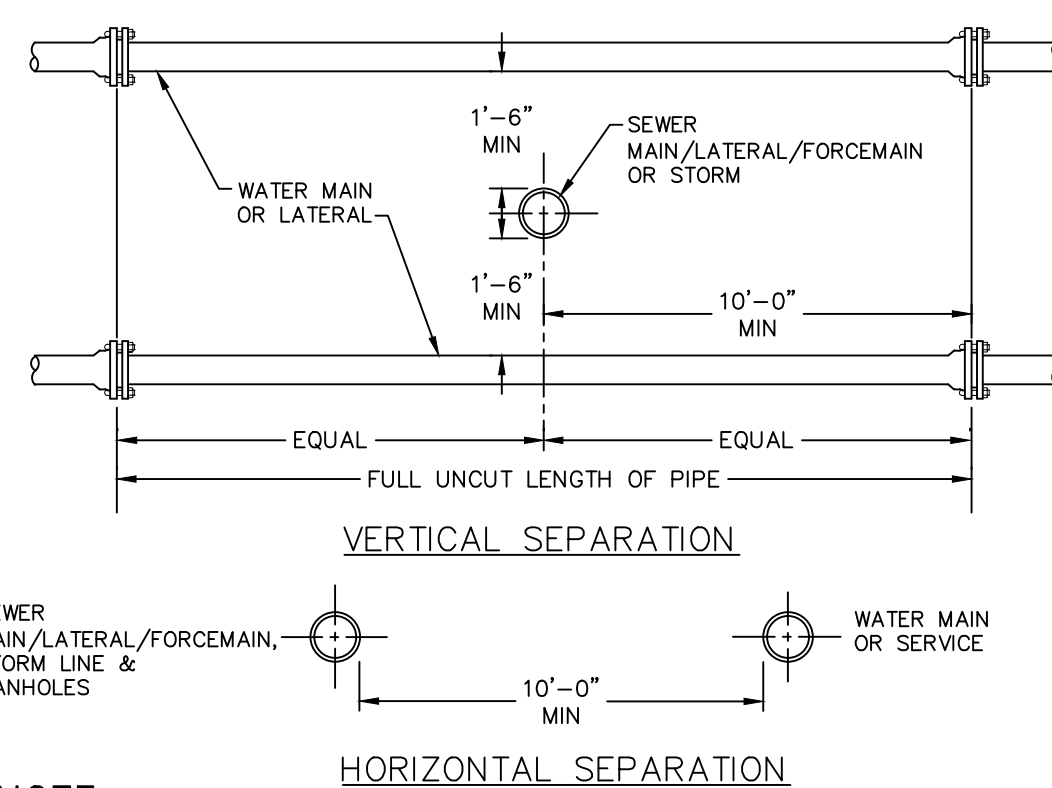
6"

6"

6"

38

ABUTTING SIDEWALK



- NOTE:
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASEMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

The diagram illustrates a cross-section of a concrete collar and floor box frame assembly. A concrete collar, labeled "CLASS 'A' CONCRETE COLLAR (SEE NOTE 1)", is shown with a height that "VARIES". The collar is 24" square and has a 6" thick top. It is set into a concrete slab. Above the collar is a "FINISHED GRADE" line, and below it is a "FINAL TREATMENT" line. The collar is connected to a "NEENAH R-7506-E SERIES FLOOR BOX FRAME AND LID OR EQUAL WITH LOCKING CAP, H-20 RATED". The frame has a 12" height and a 16" width. The frame is connected to a "45° ELBOW" which is 6" wide. The elbow is connected to a "WYE" which is 6" wide. The wye is connected to a "WATER LINE" which is 6" in diameter. The wye is set into a concrete slab. The diagram also shows a "WATER LINE" running horizontally through the slab, with a "WYE" connecting it to a vertical line. The wye is 6" in diameter. The diagram is labeled "NOT TO SCALE".

CLASS "A"
CONCRETE
COLLAR
(SEE NOTE 1)

24" SQUARE

FINISHED GRADE
(SEE PLAN FOR
FINAL TREATMENT)

VARIES

6"

12"

16"

NEENAH R-7506-E SERIES
FLOOR BOX FRAME AND LID
OR EQUAL WITH LOCKING
CAP, H-20 RATED

45° ELBOW

WYE

WATER LINE

NOT TO SCALE

NOTES:
1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT
PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL
EXTEND 6" BELOW FINAL GRADE.

- NOTES:
1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT
PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL
EXTEND 6" BELOW FINAL GRADE.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

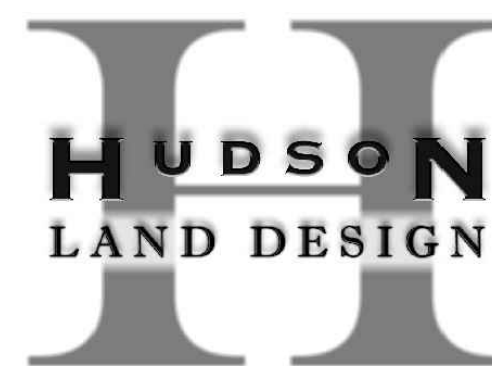
SIGNED THIS _____ DAY OF _____, 20____, BY

_____ CHAIRMAN

_____ SECRETARY

38 ST. LUKES SUBDIVISION

38 ST. LUKES PLACE
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6054-38-156634
SCALE: NTS
APRIL 24, 2018



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.

174 MAIN STREET
BEACON, NEW YORK 12508
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SHEET: 4 OF 4

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- ☐ Wait The Required Time
- ☐ Confirm Utility Response
- ☐ Respect the Marks
- ☐ Dig With Care

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **38 St. Lukes Subdivision**

I have reviewed the April 24, 2018 cover letter from Hudson Land Design, April 24, 2018 Subdivision Application, April 24, 2018 Full EAF Part 1, and a 4-sheet Subdivision Plan, with the Sheet 1 Plat dated April 20, 2018 and the other three sheets dated April 24, 2018.

Proposal

The applicant is proposing to subdivide a 0.405-acre parcel with one existing house into three lots for the construction of two new houses. The parcel is in the R1-5 zoning district.

Comments and Recommendations

1. The Subdivision Plat should be labeled Preliminary at this point. The survey will need to be stamped and signed before final approval.
2. The Sheet 1 area information should list the parcel size at 0.405 acres to conform with the square footage.
3. The Sheet 2 Project Information list should delete the reference to 0.11 acres.
4. The front setbacks for the new houses are 12.5 - 13.5 feet, less than the required 30 feet, but appropriate given the setbacks of the existing buildings along the adjacent streets. The Board can approve these reduced front setbacks without a variance, under Section 223-13 K.
5. The existing chain link fence around the perimeter of the parcel should be marked on the plans for removal.
6. There are existing sidewalks along St. Lukes Place and along Union Street on the block to the west. Since Union Street is so narrow, only 18 feet wide, the Board should consider an extension of the sidewalk across lots 2 and 3.
7. There are no trees or landscaping on the existing parcel. The Board should request street trees as part of the subdivision approval.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Hudson Land Design, Project Consultants

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

May 2, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: 38 St. Lukes Subdivision
Tax Lot No. 6054-38-156634

Dear Mr. Gunn:

My office has reviewed the following in regards to the above subdivision application:

- Application for Subdivision Approval – unsigned and undated
- Environmental Assessment Form – dated April 24, 2018
- Four (4) Sheet Plan Set of Preliminary Subdivision Plat for 38 St. Luke's Subdivision dated April 24, 2018

Based on our review of the above, we would like to offer the following comments:

1. The survey for this property shows the property line being located in the pavement of Union Street along the property's entire length along Union Street. The establishment of the Union Street right-of-way needs to be resolved as this issue concerns the proposed lots compliance with zoning.
2. Front yard setbacks need to be established for both lots. Zoning requires a 30' minimum setback and also conformity with adjacent existing buildings. It appears that the existing homes along Union Street are set further back than the two (2) proposed homes.
3. Sight distances for proposed driveways must be provided in conformance with City of Beacon code. A driveway profile for Lot 2 should also be provided.
4. The area to the rear of Lot 2 appears to be low lying and one which collects stormwater during rain events. Additional topography should be provided in this area as well as on the neighboring parcels, and the proposed plans should show how stormwater from this area will drain.
5. An enlargement of the area on the northwest corner of Lot 1 should be provided to show better detail of the proposed construction.

This completes our review at this time. Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.


John Russo, P.E.

cc: Jennifer Gray, Esq.
Tim Dexter, Building Inspector
John Clarke, City Planner

City of Beacon Planning Board
5/8/2018

Title:

31 Mountain Lane

Subject:

Review application for Subdivision Approval, two-lot residential, 31 Mountain Lane, submitted by Penelope Hedges

Background:

ATTACHMENTS:

Description	Type
31 Mountain Lane Application	Application
31 Mountain Lane EAF	EAF
31 Mountain Lane Sheet 1 Subdivision	Plans
31 Mountain Lane Sheet 2 Details	Plans
31 Mountain Lane Sheet 3 Details	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment

APPLICATION FOR SUBDIVISION APPROVAL

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

IDENTIFICATION OF APPLICANT

Name: Penelope Hedges
Address: 31 Mountain Lane
Beacon, NY 12508
Signature: *Penelope Hedges*
Date: 4/23/18
Phone: 914-727-0773

(For Official Use Only)

Preliminary Application Rec'd

Application Fee:

Public Hearing

Preliminary Plat Approved:

Final Plat Approved:

Recreation Fee:

Performance Bond:

Date Initials

4-24-18 EH

IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL

Name: Badey & Watson, P.C.
Address: 3063 U.S. Route 9
Cold Spring NY 10516

Phone: 845.265.9217

Fax:

Email address: gwatson@badey-watson.com

IDENTIFICATION OF SUBJECT PROPERTY:

Subdivision name or identifying title:

Penelope Hedges Subdivision

Street which property abuts: 31 Mountain Lane

Current Tax Map Designation: Section 6054 Block 02 Lot(s) 535593

Property ~~(does)~~ (does not) connect directly into a (State) (County) highway.

Land in subdivision (is) ~~(is not)~~ within 500 feet of a Municipal boundary.

Total area of property is 5.527 AC

ITEMS TO ACCOMPANY THIS APPLICATION

- One electronic and five (5) **folded** copies of a subdivision plat showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: Penelope Hedges

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

75 Mountain Lane Beacon NY 12508

31 Mountain Lane Beacon NY 12508

Applicant Address: 31 Mountain Lane Beacon NY 12508

Project Address: 31 Mountain Lane Beacon NY 12508

Project Tax Grid # 6054-02-535593

Type of Application Subdivision

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Penelope Hedges, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon X
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current X
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current X

Penelope Hedges

Signature of Owner

Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	<u>X</u>	<u> </u>	<u>PH</u>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	<u> </u>	<u>/</u>	<u>KM</u>
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	<u> </u>	<u>/</u>	<u>KM</u>

FOR OFFICE USE ONLY

Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

ENTITY DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.**IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:**

Name of Entity PENELOPE HEDGES TRUST	Address of Entity 31 MOUNTAIN LANE Beacon, NY 12508
Place where such business entity was created N/A	Official Registrar's or Clerk's office where the documents and papers creating entity were filed N/A
Date such business entity or partnership was created N/A	Telephone Contact Information 845-677-8582

IF AFFIANT IS A CORPORATION:

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and date of incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed

SECTION B. List all persons, officers, limited or general partners, directors, members, shareholders, managers, and any others with any interest in or with the above referenced Entity. List all persons to whom corporate stock has been pledged, mortgaged or encumbered and with whom any agreement has been made to pledge, mortgage or encumber said stock. Use a supplemental sheet to list additional persons.

[illegible]

☐ YES ☒ NO

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

☐ YES ☒ NO

[illegible]

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address
PENELOPE HEDGES TRUST	31 Mountain Lane Beacon, NY 12508
PENELOPE HEDGES	31 Mountain Lane Beacon, NY 12508

SECTION H. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION I. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐ YES

☒ NO

I, PENELOPE HEDGES being first duly sworn, according to law, deposes and says that I am (Title) TRUSTEE, an active and qualified member of the PENELOPE HEDGES TRUST, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) PENELOPE HEDGES

(Signature) Penelope Hedges

**CITY OF BEACON
PRELIMINARY SUBDIVISION PLAT
AND CONSTRUCTION PLANS SPECIFICATION FORM**

Name of Application: Penelope Hedge Subdivision

PRELIMINARY SUBDIVISION PLAT	YES	NO
The preliminary plat shall be clearly marked "Preliminary Plat", shall be drawn to a convenient scale but not less than 1" = 100', and shall contain the following information:	x	
Proposed subdivision name or identifying title, name, and address of property owner and subdivider (if other than owner), name and address of the surveyor and/or engineer preparing the plan, scale, approximate true North point, and date.	x	
The approximate location and dimensions of all property lines, the total acreage of the proposed subdivision, the location of any zoning, special district or municipal boundary lines affecting the subdivision, and the names of owners of record of properties adjoining and directly across the street from proposed subdivision.	x	
The location of all existing structures and pertinent features, including railroads, water bodies, water courses, wetlands, rock outcroppings, wooded areas, major trees, and stone walls, that may influence the design of the subdivision, plus accurate topography at a vertical contour interval of not more than two (2) feet. The topographic data shall be determined by field survey unless the Planning Board specifically waives this requirement and/or permits the substitution of topographic information obtained from other sources determined satisfactory for the particular case.	x	
The location and status of existing streets or private roads, easements and rights-of-way (if any), proposals for the layout of new streets or private roads (including widths and approximate curve radii) and any proposed easements, rights-of-way and/or reservations.	x	
The names of existing streets or private roads and proposed names for new streets or private roads.	x	
The proposed arrangement of lots, including identifying numbers and approximate area and dimensions of each.	x	
Location, size and nature of any area proposed to be reserved for park purposes.	n.a.	
A site location sketch, at a scale of one inch equals 400 feet, showing the general situation within 1,000 feet of the applicant's property with respect to surrounding properties, streets and private roads.	x	
Where the preliminary plat includes only a portion of an applicant's contiguous holding, the applicant shall also indicate, on a sketch at a scale of not less than one inch equals 200 feet, the probable future street or private road system, lot arrangement and location of park and other reservations for the remaining portion of the tract. Such sketch shall be for the purpose of guiding the Planning Board in reviewing the proposed preliminary plat and shall include topographic data with a vertical contour interval of not more than five feet plus any other information determined necessary by the Planning Board.	n.a.	
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.		

PRELIMINARY CONSTRUCTION PLANS	YES	NO
The preliminary construction plans shall be drawn at the same scale as the preliminary plat and shall include the following information:	x	
Location and sizes of any existing water, sewer storm drainage and other utility lines and structures within and nearby the proposed subdivision.	x	
The proposed system for the provision of water supply and fire protection facilities, sewage disposal, stormwater drainage, and other utility services.	x	
Proposed street or private road profiles and cross-sections showing the approximate grade of proposed streets or private roads, the relationship of existing to proposed grades, and the proposed grades, and the proposed vertical curvature along the center line of all new streets or private roads.	x	
Location of all existing and proposed monuments and other subdivision improvements.	x	
Such additional information as may be required by this chapter, the Zoning chapter, or the Planning Board.		

**CITY OF BEACON
FINAL SUBDIVISION PLAT
AND CONSTRUCTION PLANS SPECIFICATION FORM**

Name of Application: _____

FINAL SUBDIVISION PLAT	YES	NO
The final subdivision plat shall be drawn clearly and legibly on transparent tracing cloth with black waterproof ink, at a scale no smaller than one inch equals 100 feet but preferably at a scale of one inch equals 50 feet. The sheet size shall not exceed 36 inches by 48 inches. If the size of proposed subdivision required a drawing larger than this, two or more sheets may be submitted, with match lines clearly indicated, and an index map shall be prepared on the same size sheet.		
The final plat shall contain the following information:		
Proposed subdivision name or identifying title, name, and address of owner of record and of subdivider (if other than owner), certification and seal of the registered engineer or licensed land surveyor who prepared the plat, names of the owners of record of adjoining properties and of properties directly across the street or private road, graphic scale, approximate true North point, and date.		
The location and dimensions of all boundary lines of the proposed subdivision, and all existing and proposed streets, private roads, lot lines, easements and rights-of-way, with sufficient data to readily determine the location, bearing and length of all such lines and to reproduce such lines upon the ground.		
The names of all existing and proposed streets and private roads.		
The locations of all water bodies and watercourses.		
The location of all existing buildings, including identification of all buildings to be removed as a condition of plat approval.		
The total acreage included in the entire subdivision, and the identification number and acreage of all lots and land reservations within the proposed subdivision.		
Location of all existing and proposed monuments.		
A site location map, at a scale of one inch equals 400 feet, showing the location of the subject property with respect to neighboring properties, streets and private roads.		
Notations explaining any drainage, sight slope, street widening, park area or other reservations or easements, including any self-imposed restrictions or covenants.		
Endorsement of approval by the Dutchess County Health Department.		
Plan for the provisional delivery of mail, as approved by the local postmaster.		
Endorsement of the owner as follows: <div style="text-align: center;"> "Approved for filing: _____" <div style="display: flex; justify-content: space-around;"> <div>Owner _____</div> <div>Date _____</div> </div> </div>		

FINAL SUBDIVISION PLAT (continued)	YES	NO
<p>Form for endorsement by Planning Board Chairman as follows:</p> <p>“Approved by Resolution of the Planning Board of the City of Beacon, New York, on the _____ day of _____, 20_____, subject to All requirements and conditions of said Resolution. Any change, erasure, modification or revision of this plat, as approved, shall void this approval.</p> <p>Signed this _____ day of _____, 20_____, by _____, Chairman _____, Secretary</p> <p>In absence of the Chairman or Secretary, the Acting Chairman or Acting Secretary Respectively may sign in this place.</p>		
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.		
Stormwater pollution prevention plan. A stormwater pollution prevention plan consistent with the requirements of Chapter 190 and with the terms of preliminary plan approval shall be required for final subdivision plat approval. The SWPPP shall meet the performance and design criteria and standards in Chapter 190, Article II. The approved final subdivision plat shall be consistent with the provisions of Chapter 190.		

FINAL CONSTRUCTION PLANS	YES	NO
Final construction plans and profiles shall be prepared for all proposed streets, private roads and other required improvements. Plans shall be drawn at the same scale as the final plat and on the same size sheets, but not on the same sheets. The following information shall be shown:		
Plans and profiles showing the location and a typical cross-section of street and/or private road pavements including curbs and gutters, sidewalks, manholes and catch basins; the location of street or private road trees, lighting and signs; the location, size and invert elevations of existing and proposed sanitary sewers, stormwater drains and fire hydrants; the location and size of all water, gas or other underground utilities or structures; and the location and design of any other required improvements.		
Profiles showing existing and proposed elevations along the center line of all streets and private roads. Where a proposed street or private road intersects an existing street or private road, the elevation along the center line of the existing street or private road within 100 feet of intersection, shall be shown. All elevations must be referred to established U.S. Government of approved local benchmarks, where they exist within ½ mile of the boundary of the subdivision.		
The Planning Board may require, where steep slopes exist, cross-sections showing existing and proposed elevations of all new streets and private roads every 100 feet at five points on a line at right angles to the center line of the street or private road, said elevation points to be at the center line of the street or private road, each property line, and points 30 feet inside each property line.		
Location, size, elevation and other appropriate description of any existing facilities which will be connected to proposed facilities and utilities within the subdivision.		

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

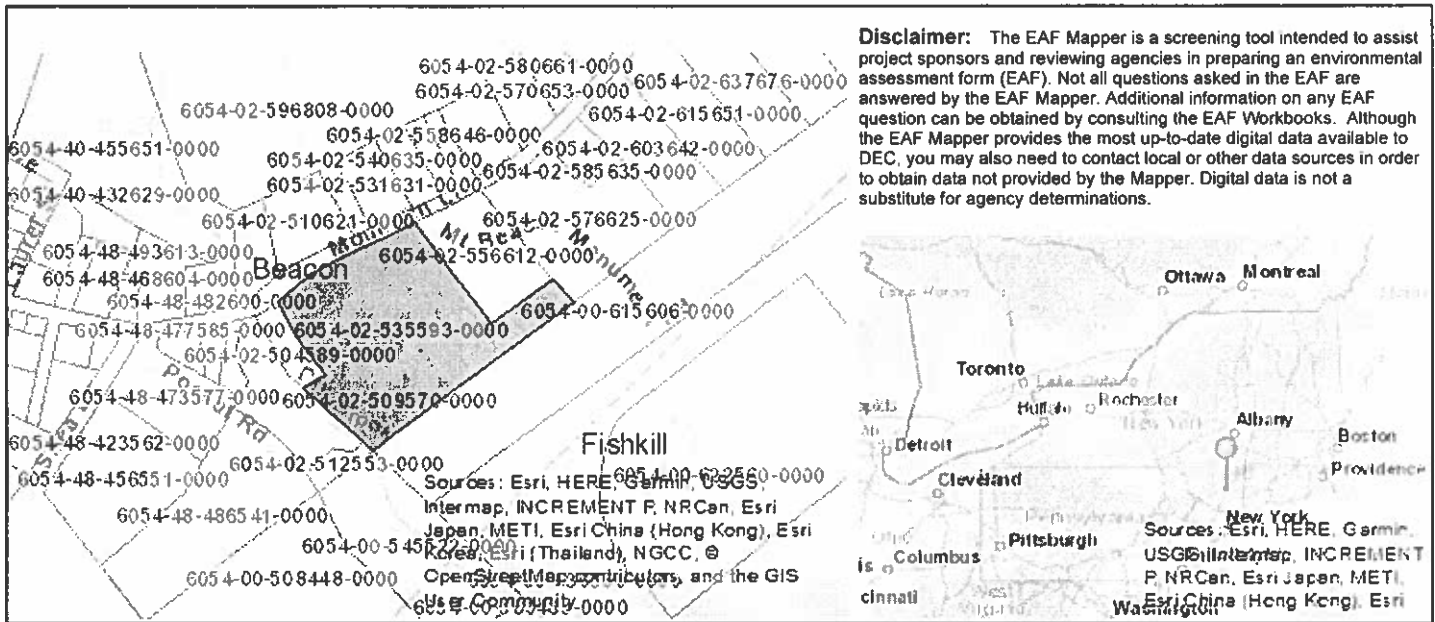
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

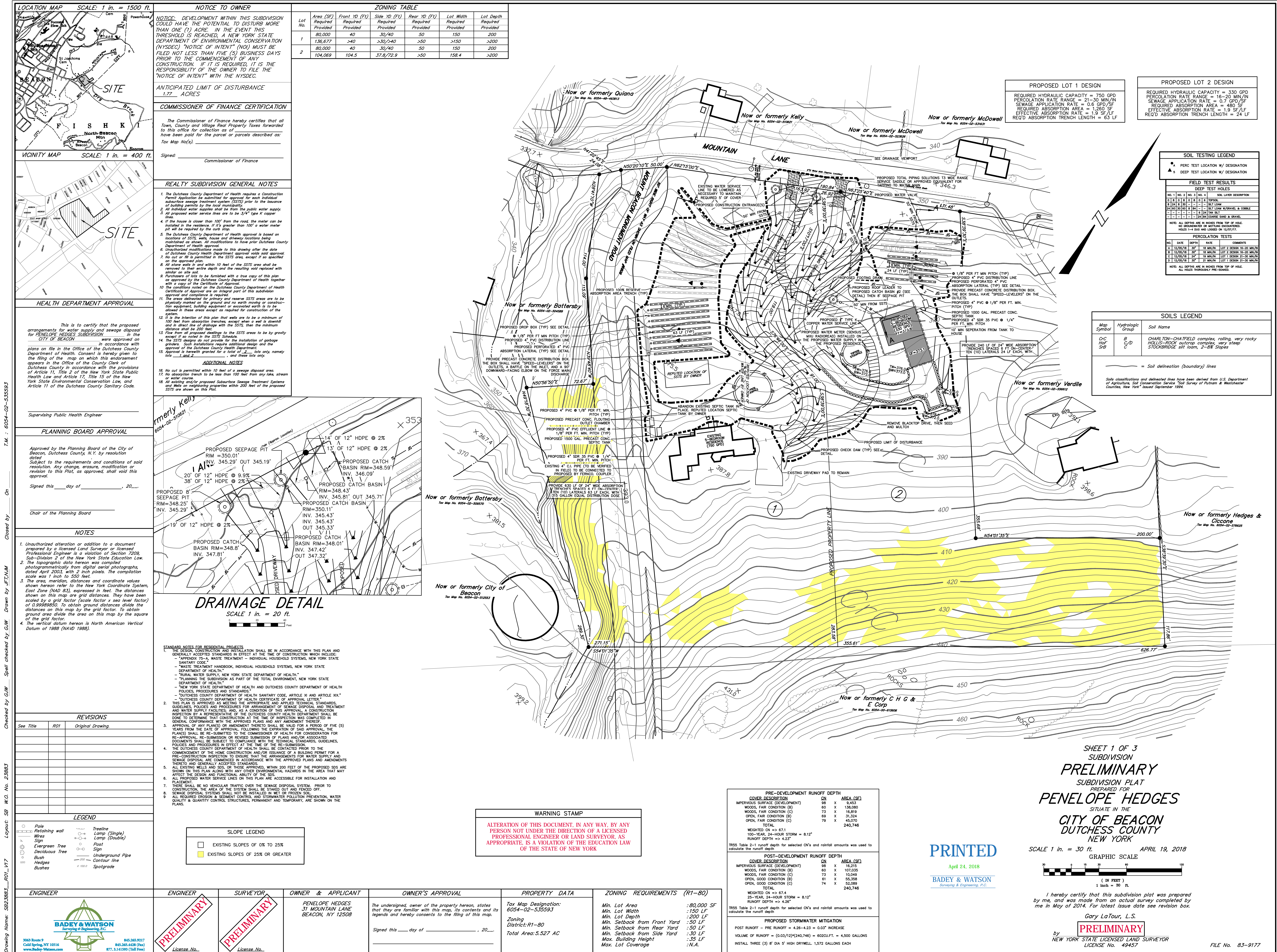
Part 1 - Project and Sponsor Information			
Name of Action or Project: Penelope Hedges Subdivision			
Project Location (describe, and attach a location map): 31 Mountain Lane (see map attached)			
Brief Description of Proposed Action: 2 Lot Subdivision of property			
Name of Applicant or Sponsor: Penelope Hedges		Telephone: 845-677-8582	
		E-Mail: centime114@aol.com	
Address: 75 Mountain Lane			
City/PO: Beacon		State: NY	Zip Code: 12508
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City Driveway Permit			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		5.527 acres	
b. Total acreage to be physically disturbed?		1.77 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		8.587 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

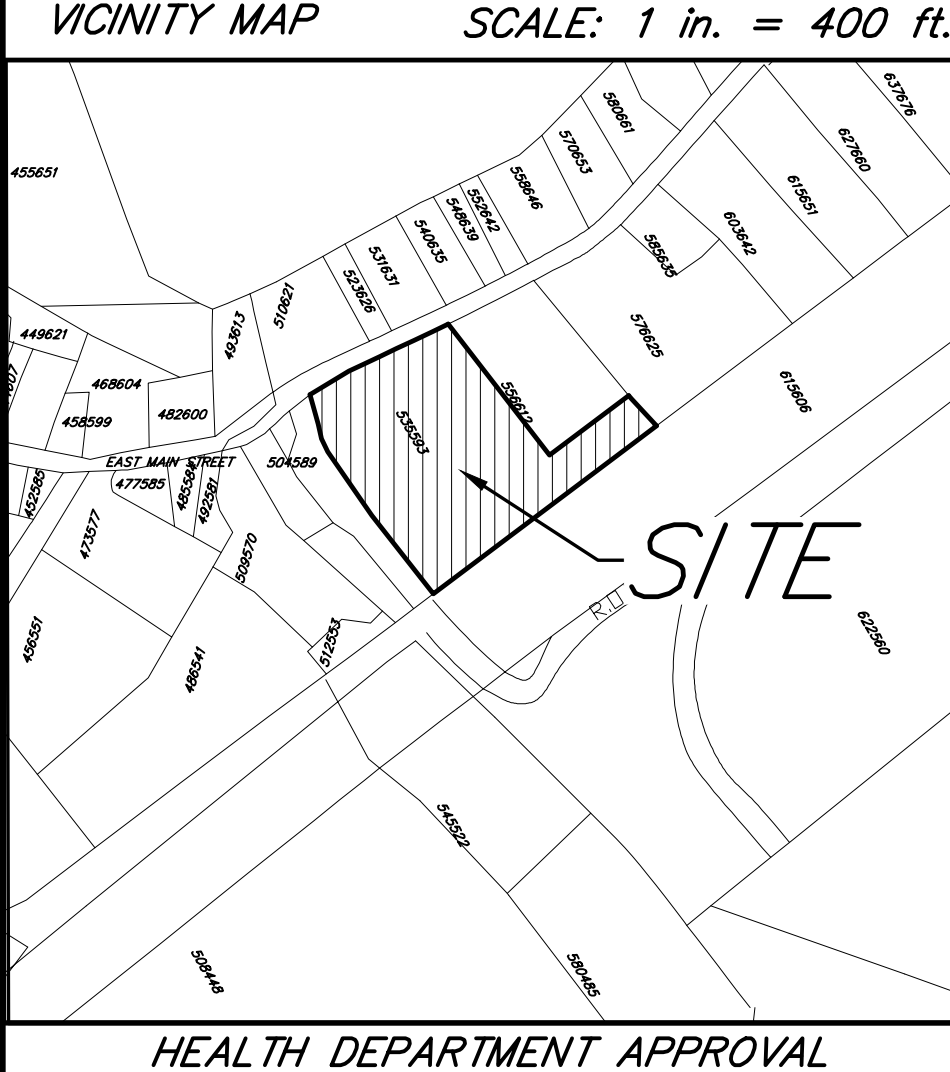
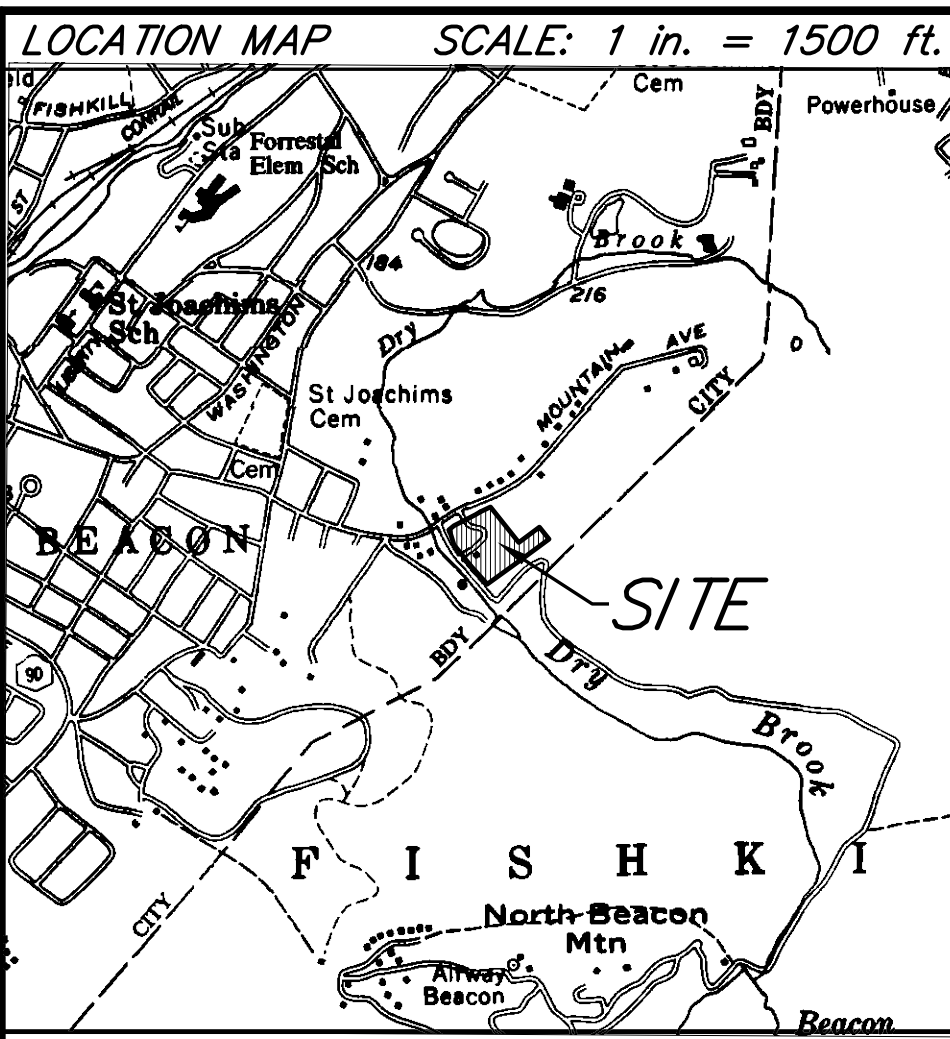
5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ on-site septic system	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ Storm-water presently is captured by catch basin in mountain road and will continue to after construction. Any increase in peak runoff will be infiltrated on site.	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Margaret McMANOS / SADEY F. WATSON</u> Date: <u>4-24-2018</u> Signature: <u>Margaret McManos</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No





This is to certify that the proposed arrangements for water supply and sewage disposal for PENELOPE HEDGES SUBDIVISION in the CITY OF BEACON in accordance with plans on file in the Office of the Dutchess County Department of Health, Consent is hereby given to the filing of the map on which this endorsement appears in the Office of the County Clerk of Dutchess County in accordance with the provisions of Article 11, Title 2 of the New York State Public Health Law and Article 17, Title 15 of the New York State Environmental Conservation Law, and Article 11 of the Dutchess County Sanitary Code.

Supervising Public Health Engineer

PLANNING BOARD APPROVAL

Approved by the Planning Board of the City of Beacon, Dutchess County, N.Y. by resolution dated _____.

Signed this _____ day of _____, 20____.

Chair of the Planning Board

NOTES

- Unauthorized alteration or addition to a document prepared by a licensed Land Surveyor or licensed Professional Engineer is a violation of Section 2209, Sub-Division 2 of the New York State Education Law.
- The topographic data hereon was compiled photographically from digital aerial photographs, dated April 2003, with 2 inch pixels. The compilation scale was 1 inch to 550 feet.
- The area, meridian, distances and coordinate values shown hereon refer to the New York Coordinate System, East Zone (NAD 83), expressed in feet. The distances shown on this map are grid distances. They have been scaled by a grid factor (scale factor x sea level factor) of 0.998952. To obtain ground distances divide the distances on this map by the grid factor. To obtain ground area divide the area on this map by the square of the grid factor.
- The vertical datum hereon is North American Vertical Datum of 1988 (NAVD 1988).

LEGEND

ENGINEER

ENGINEER

SURVEYOR

OWNER & APPLICANT

OWNER'S APPROVAL

PROPERTY DATA

STONE CHECK DAM

NOT TO SCALE

NOT TO SCALE

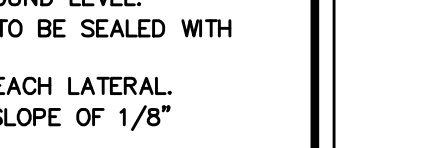
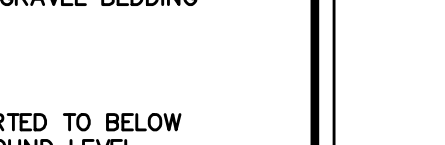
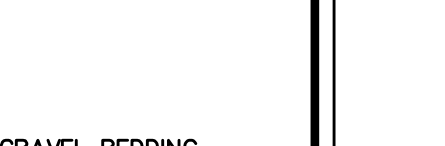
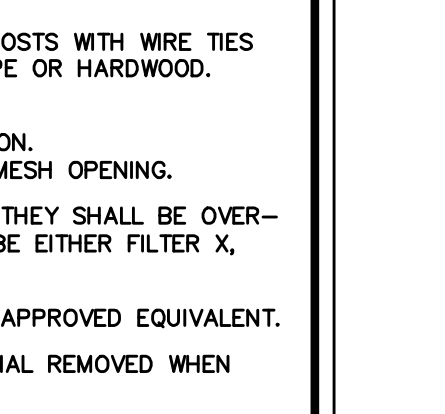
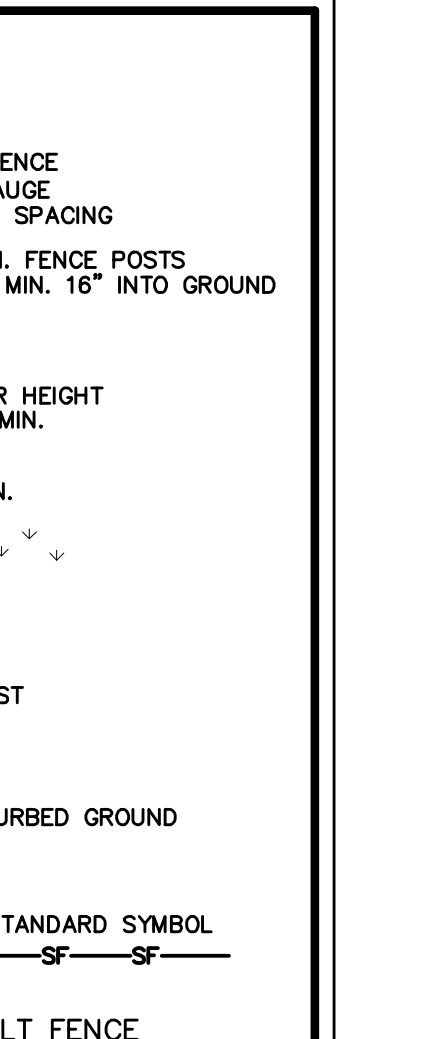
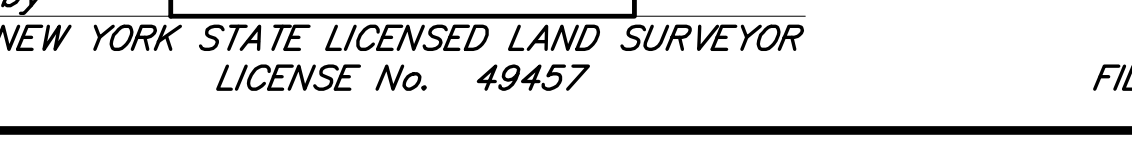
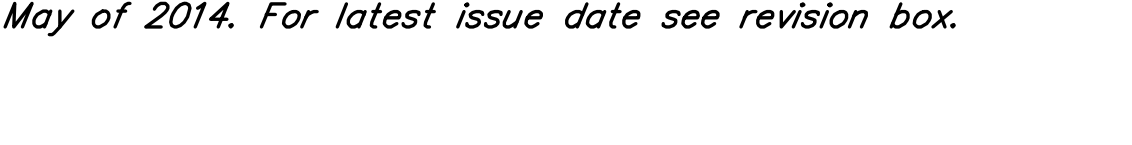
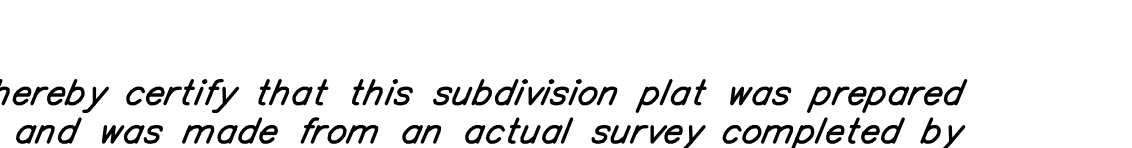
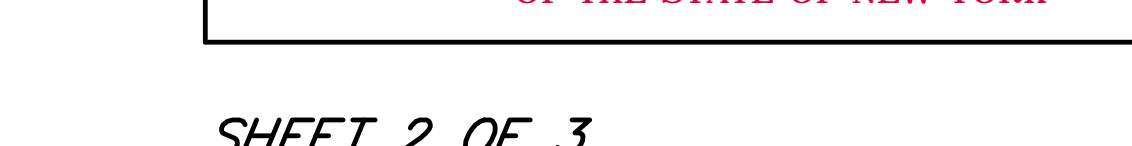
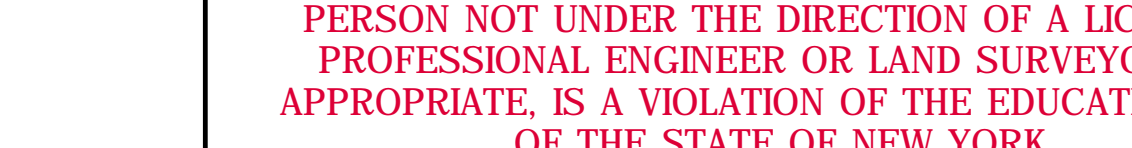
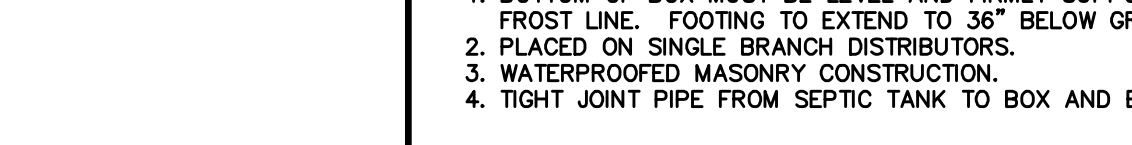
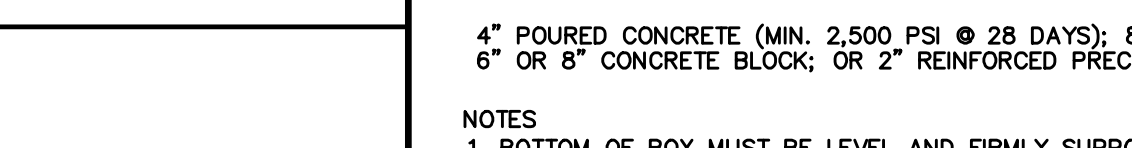
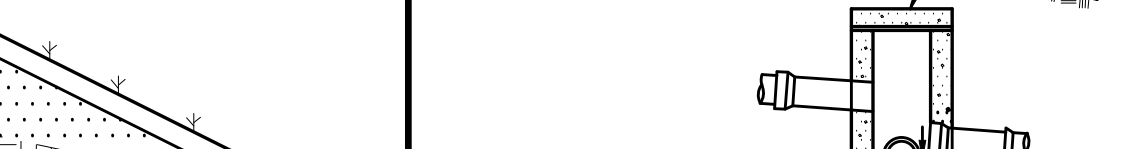
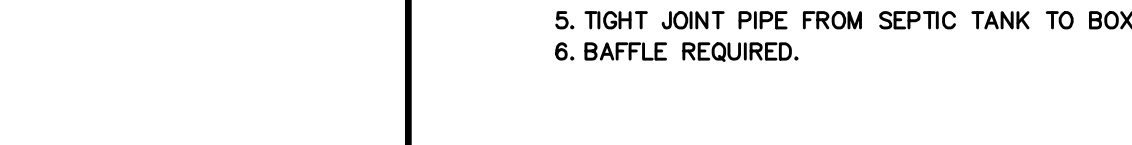
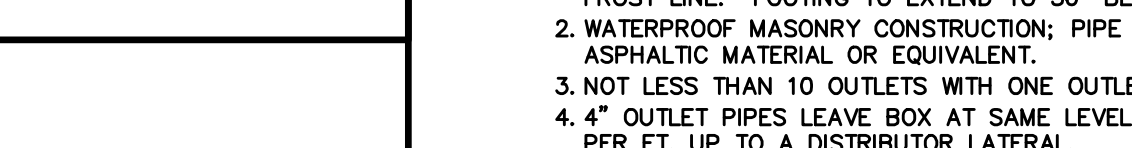
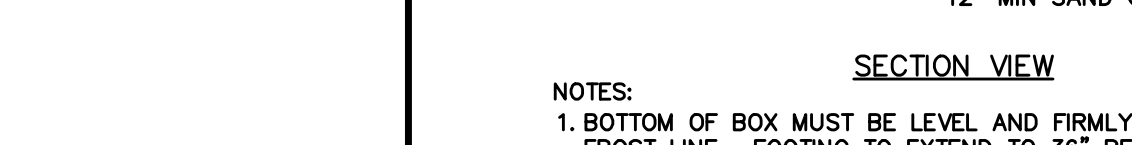
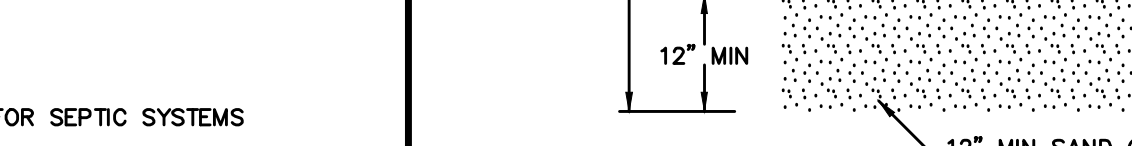
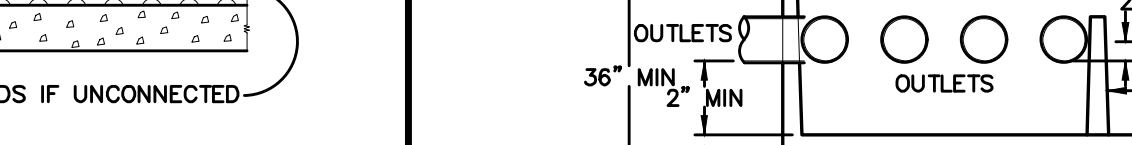
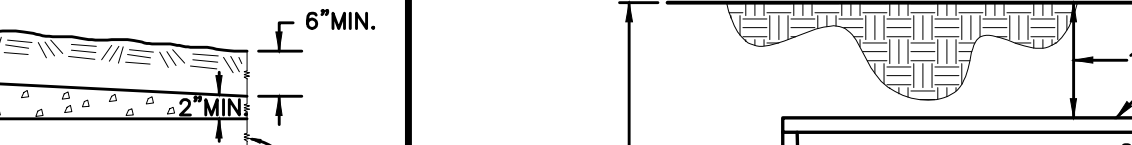
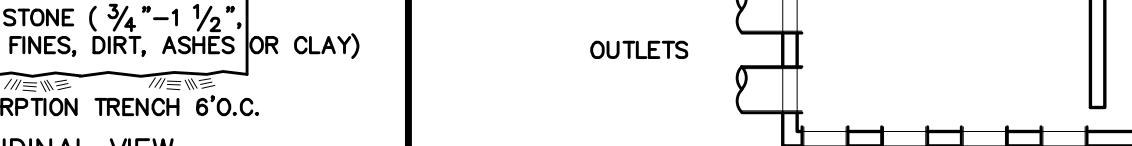
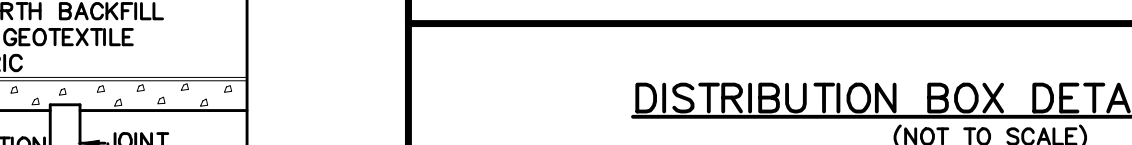
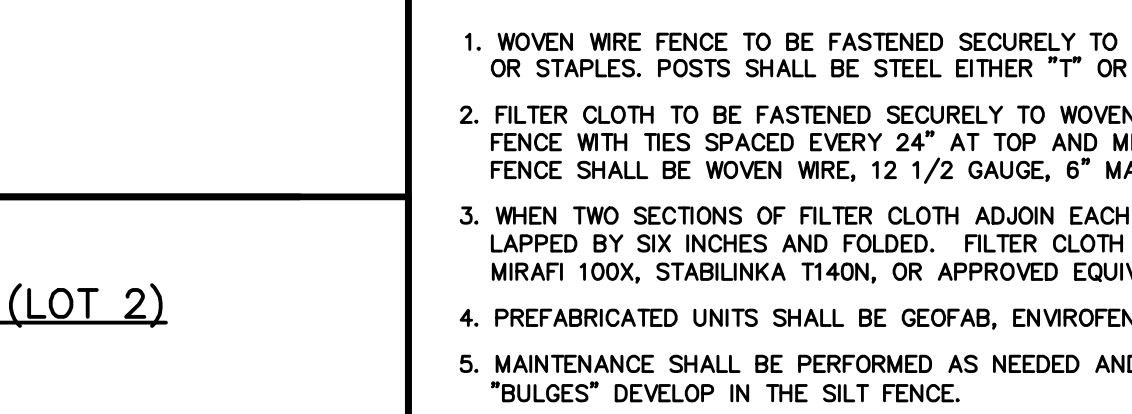
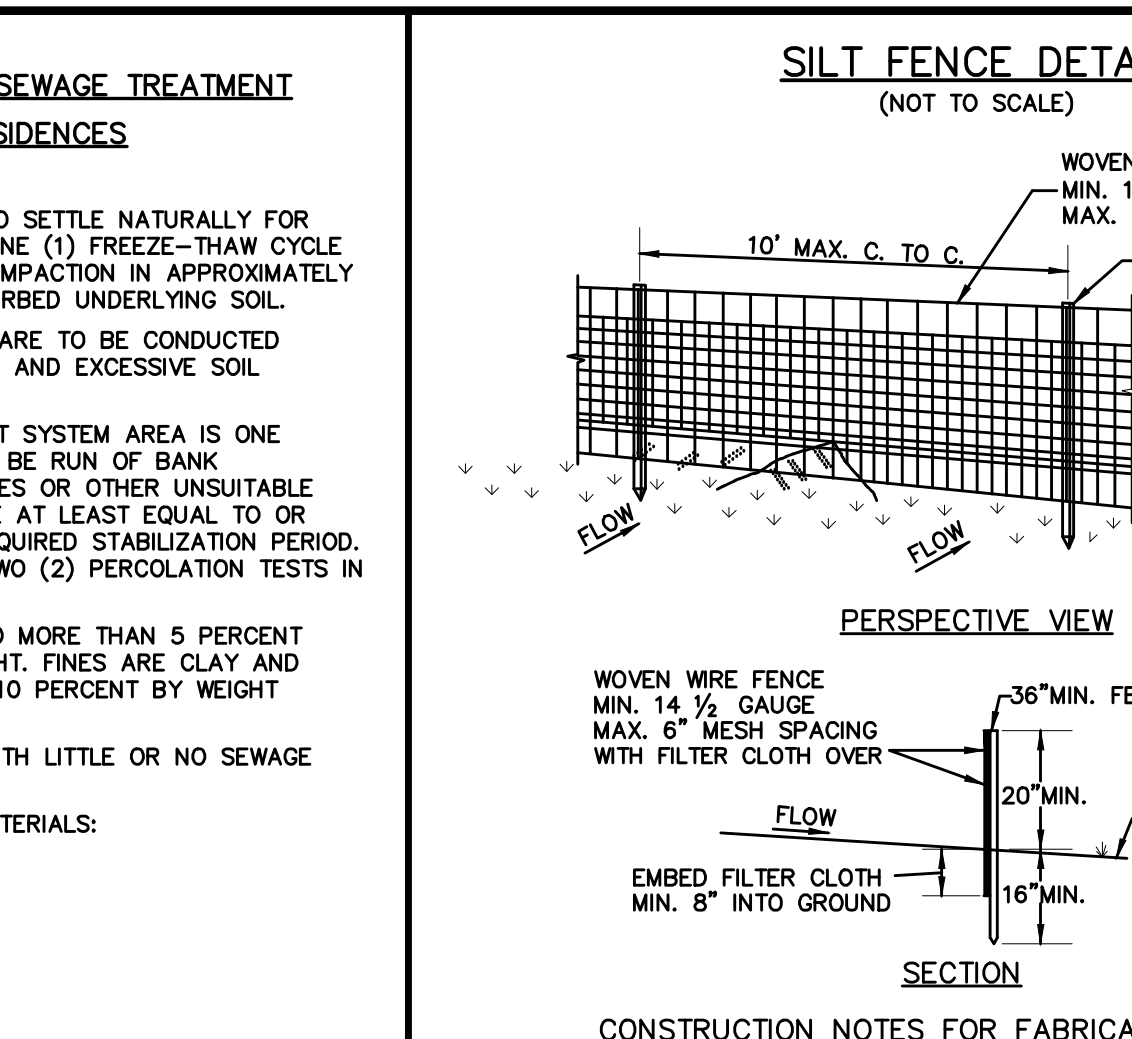
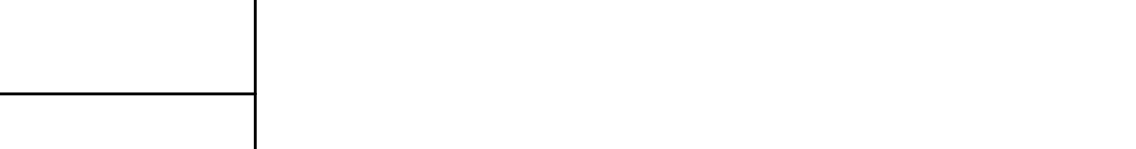
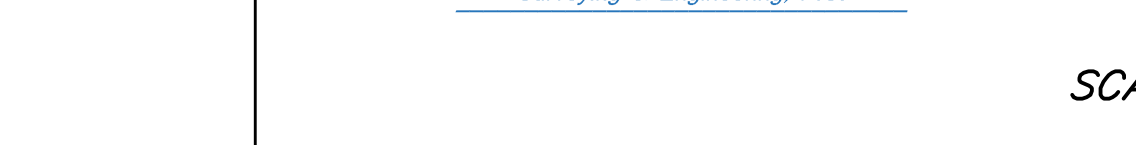
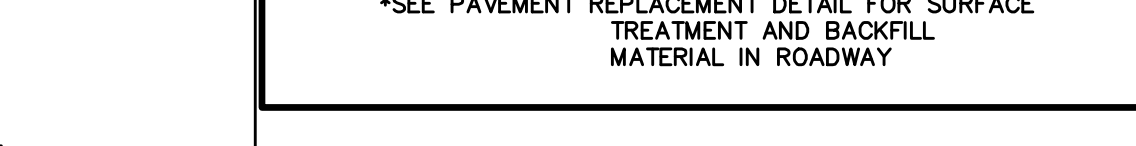
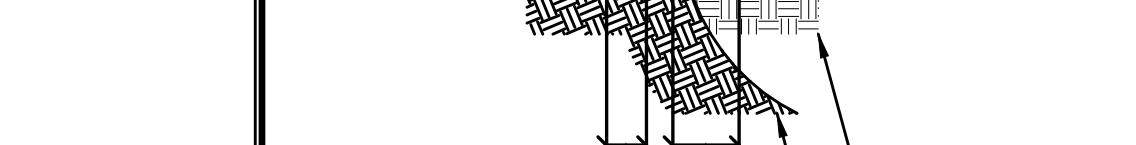
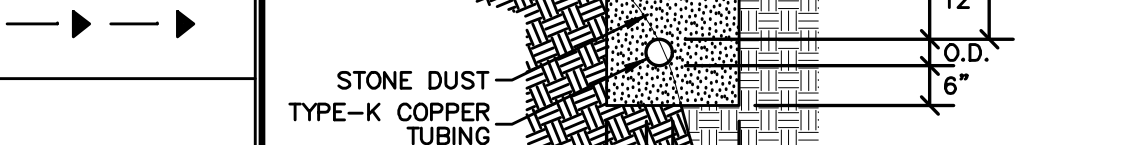
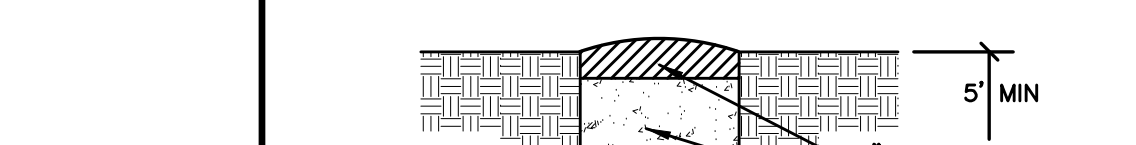
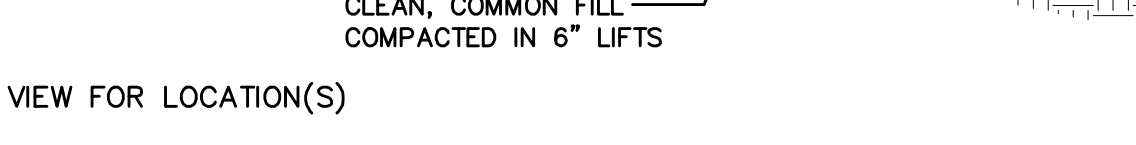
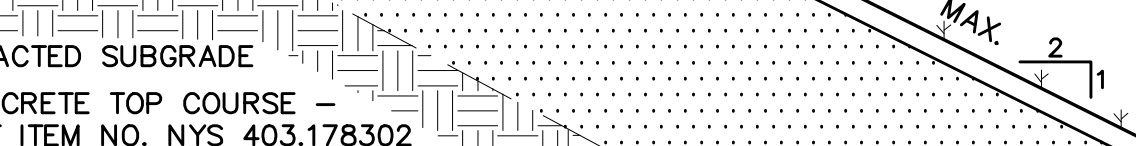
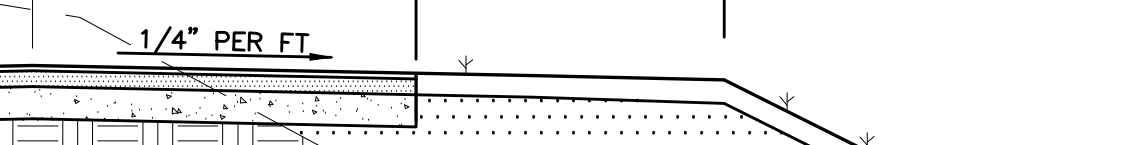
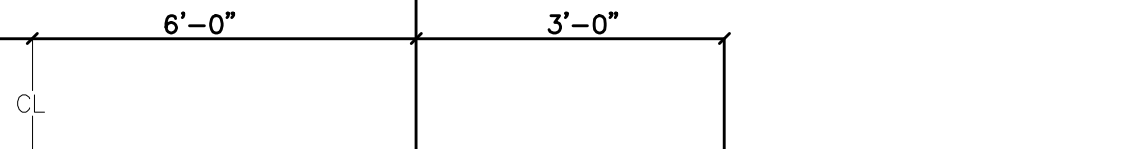
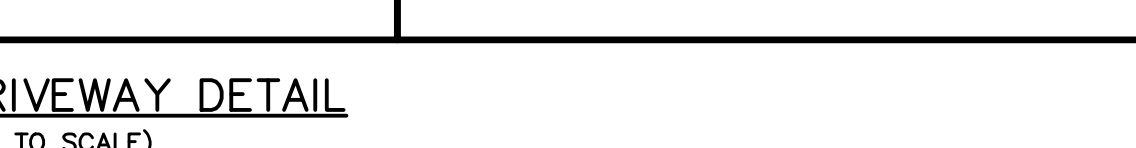
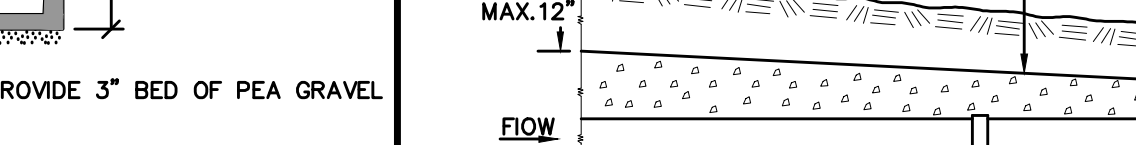
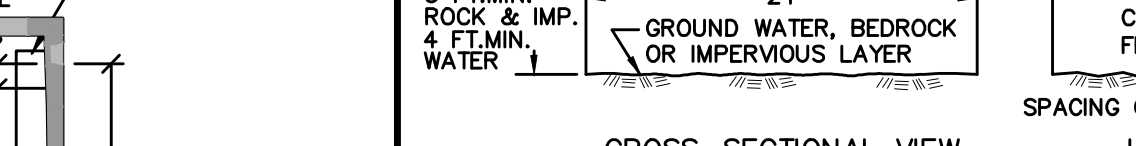
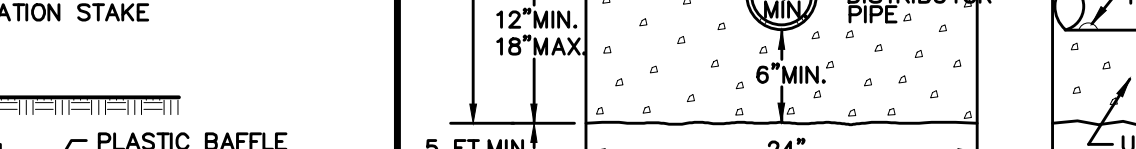
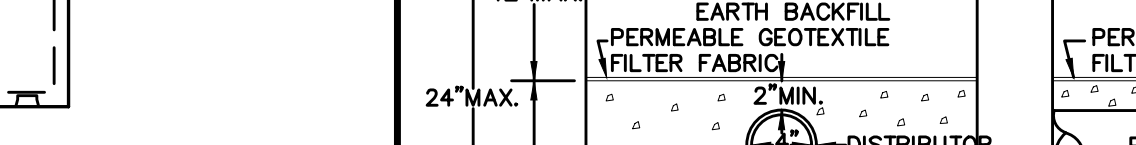
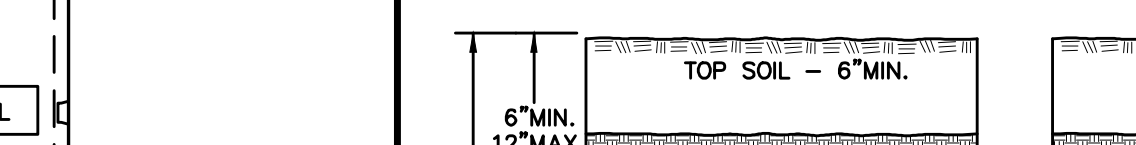
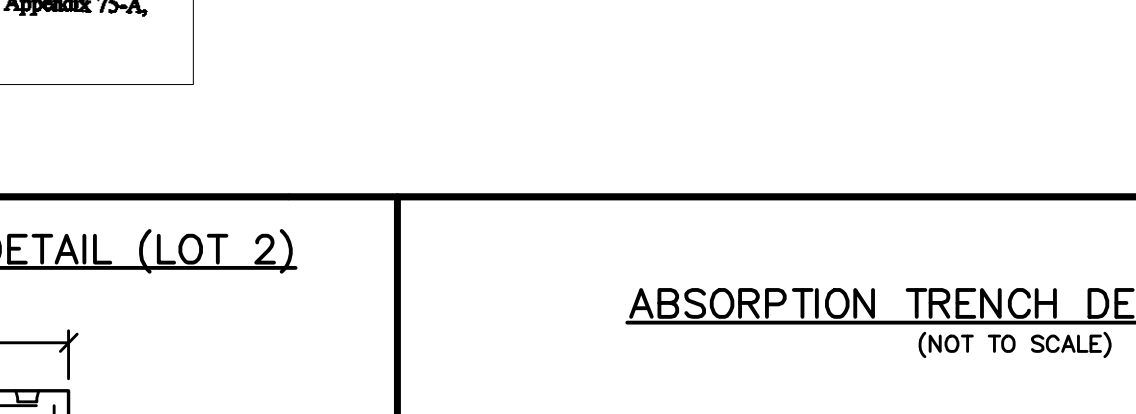
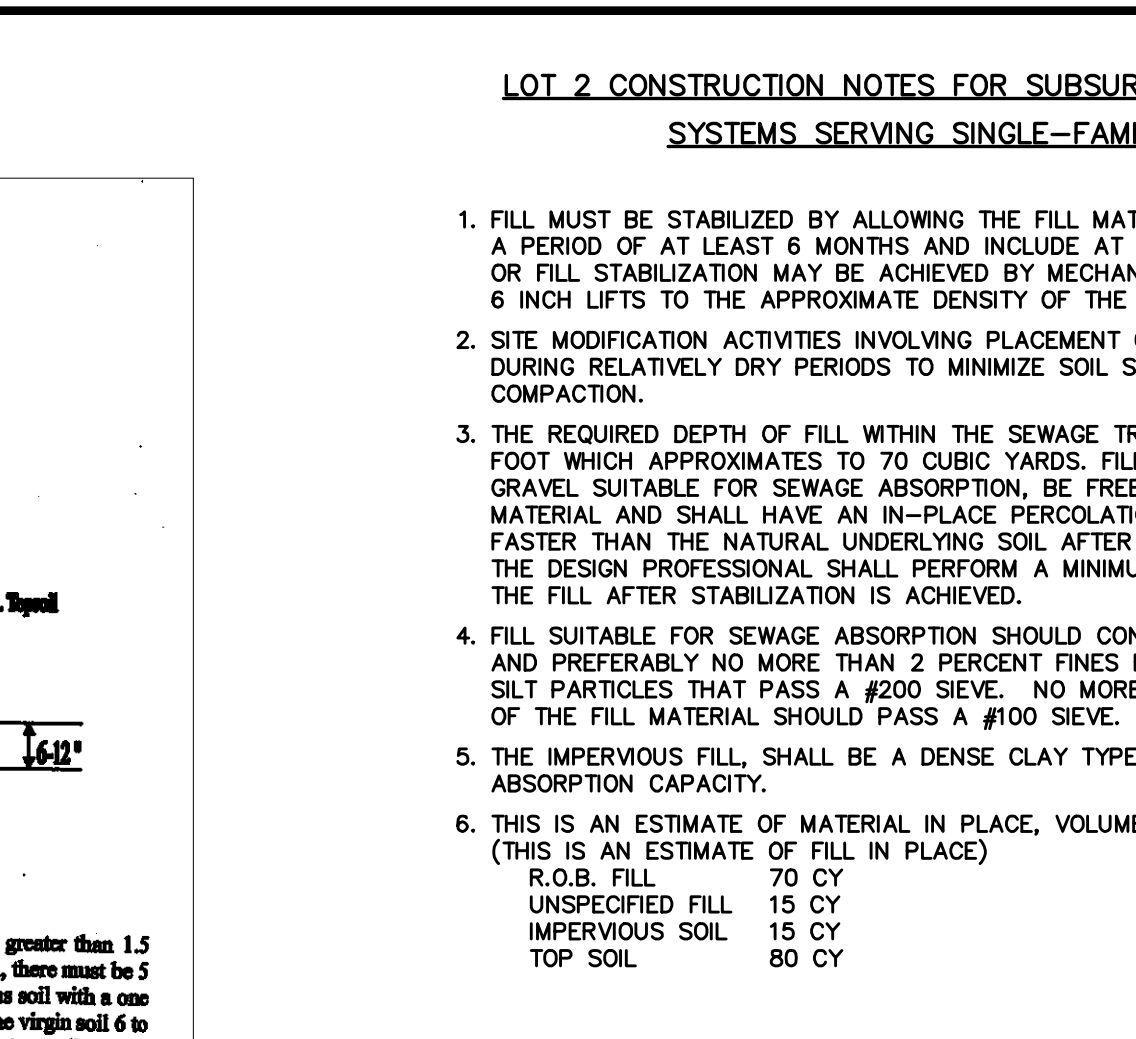
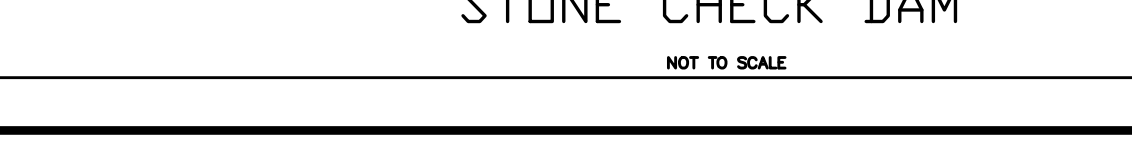
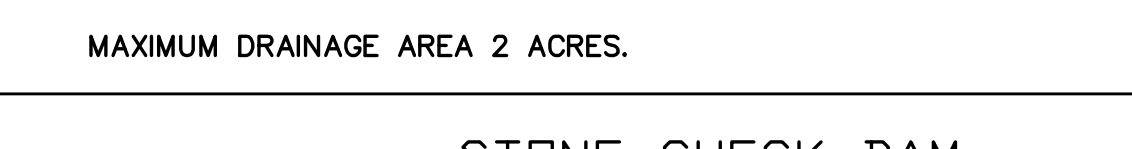
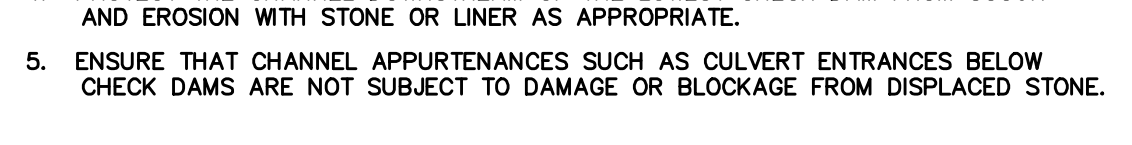
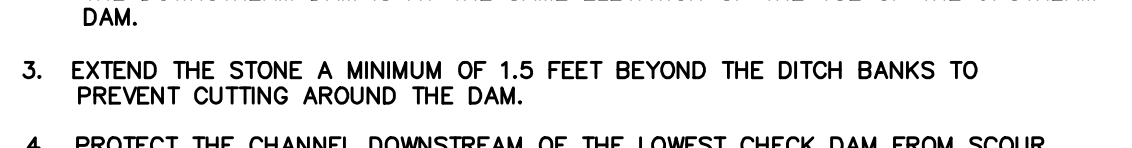
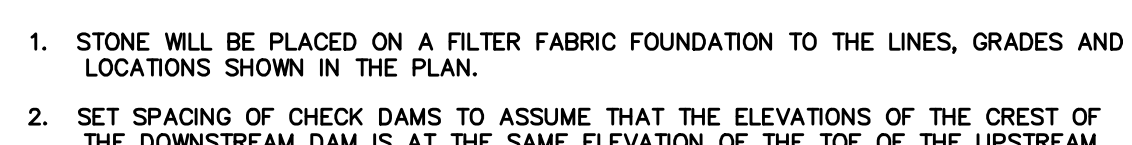
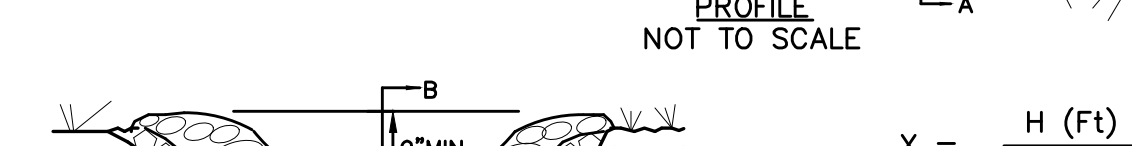
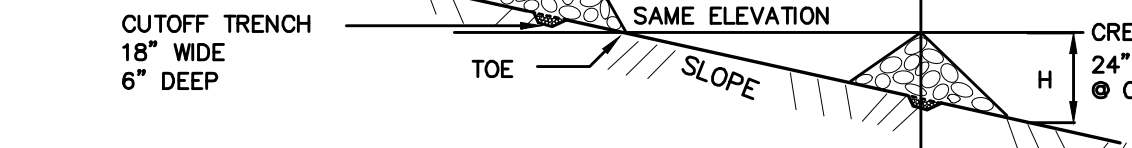
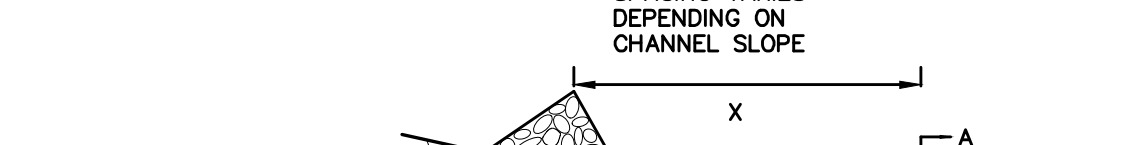
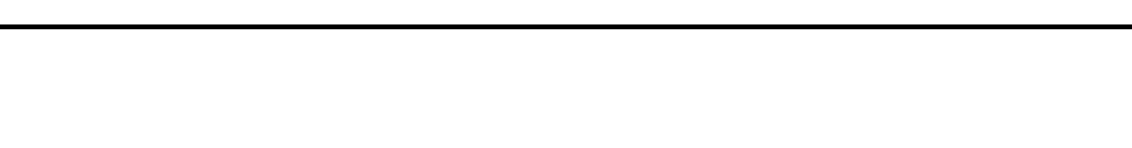
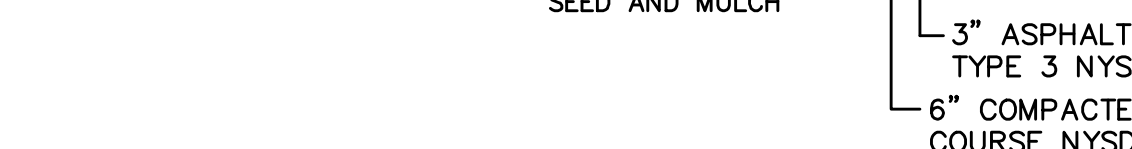
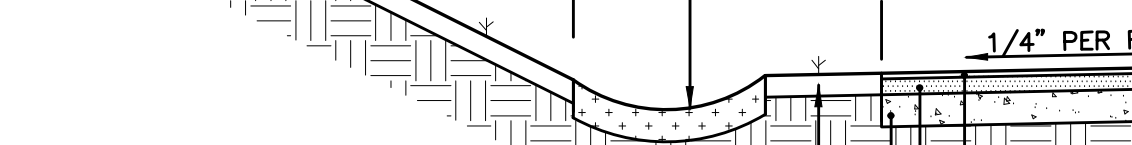
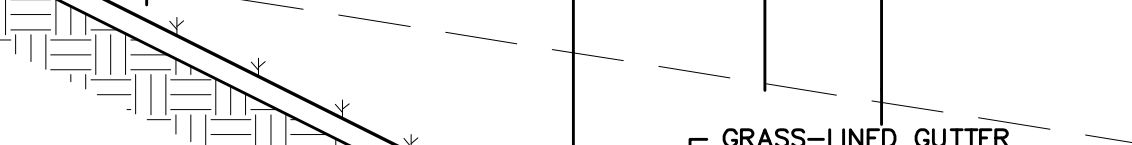
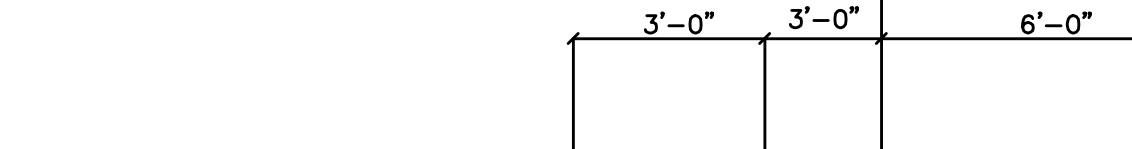
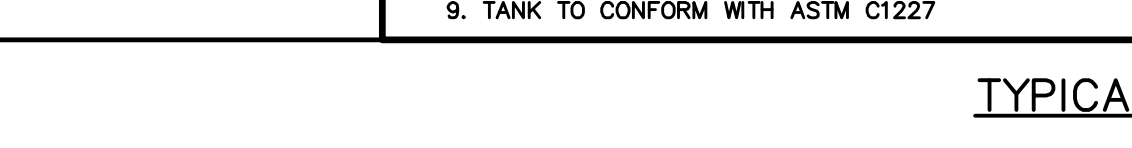
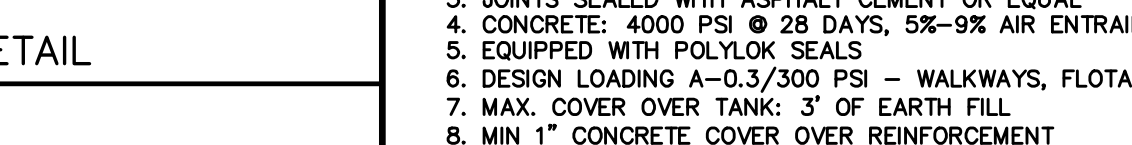
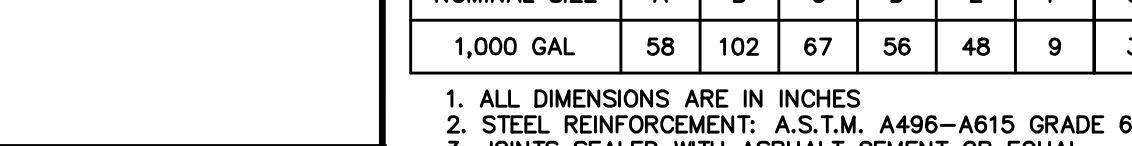
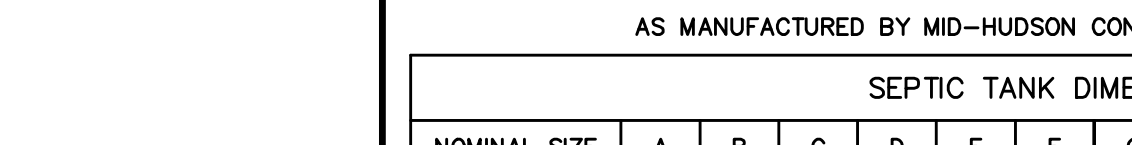
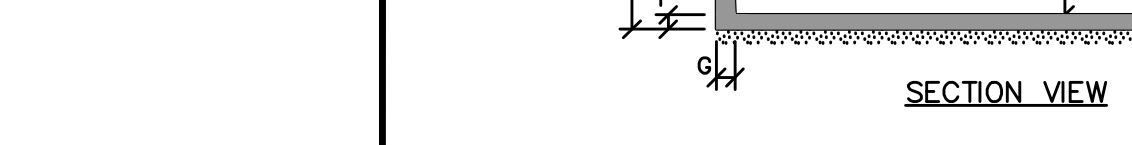
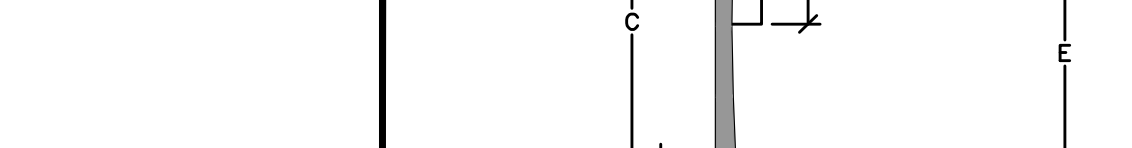
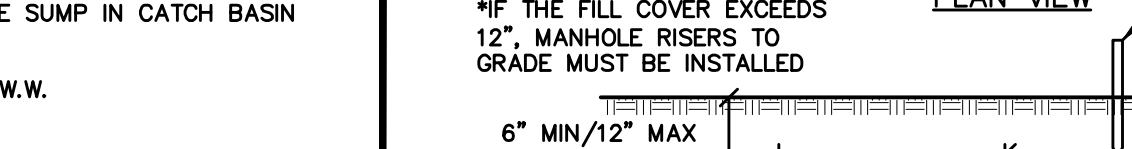
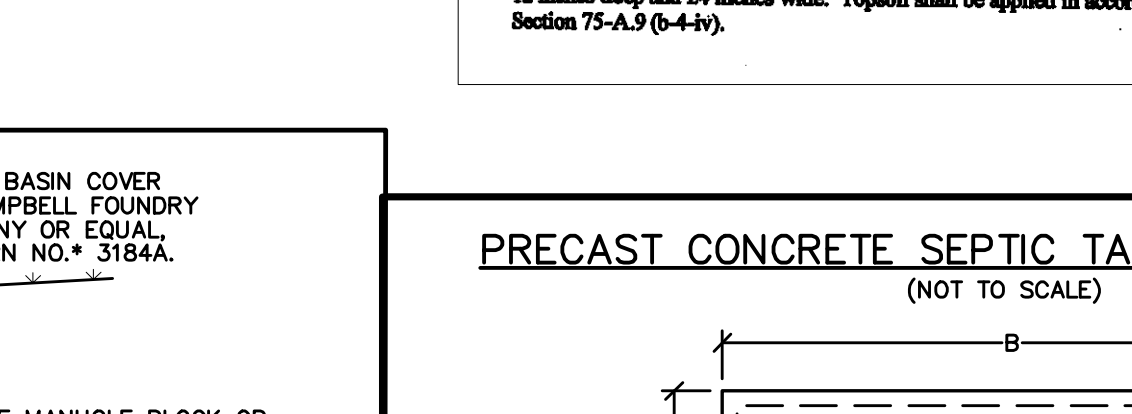
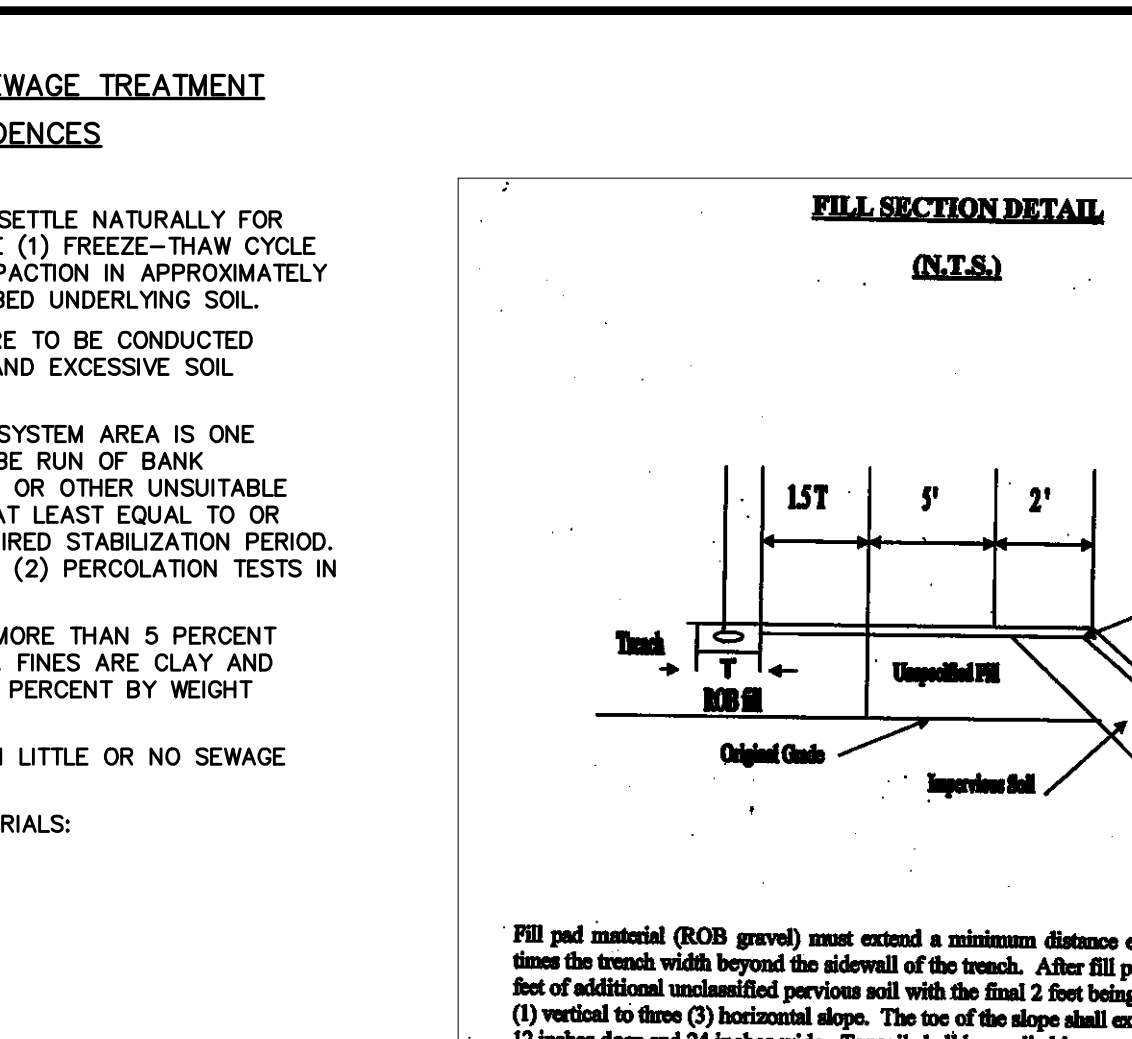
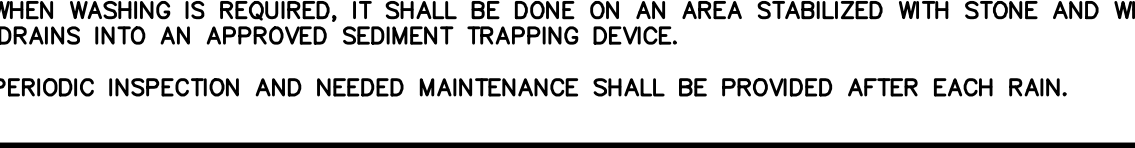
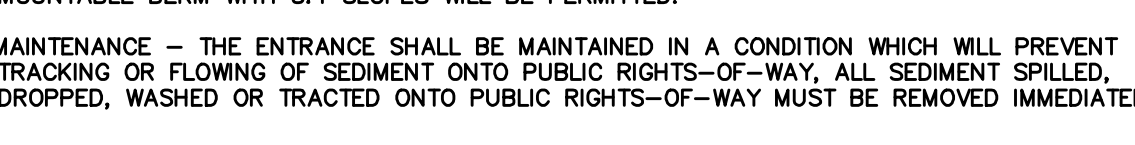
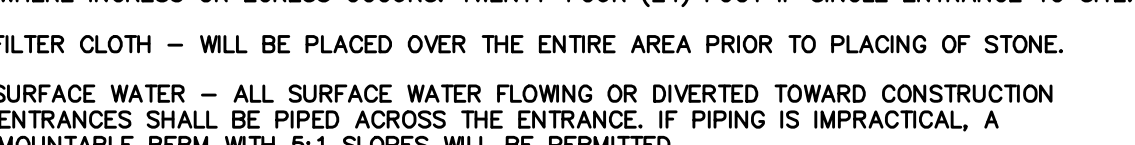
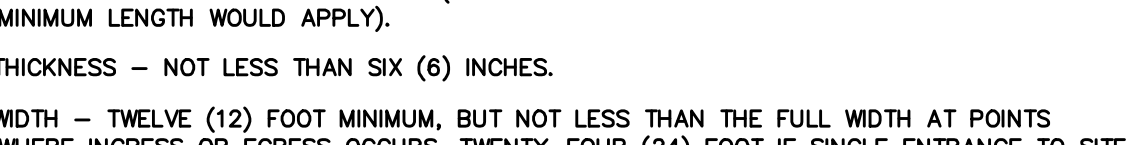
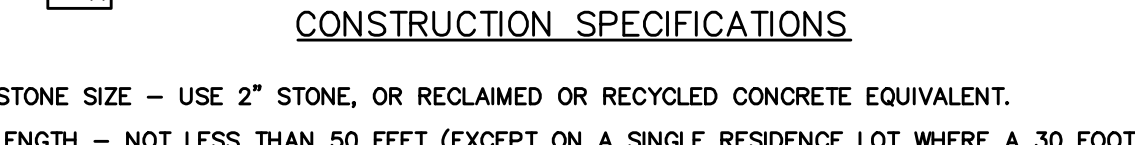
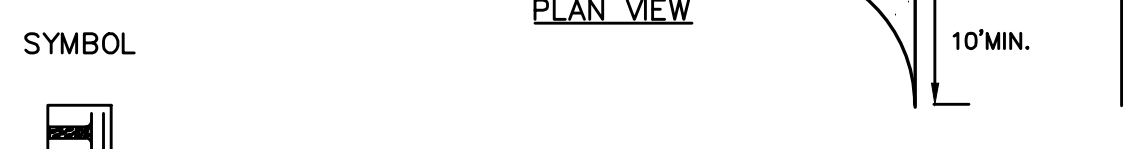
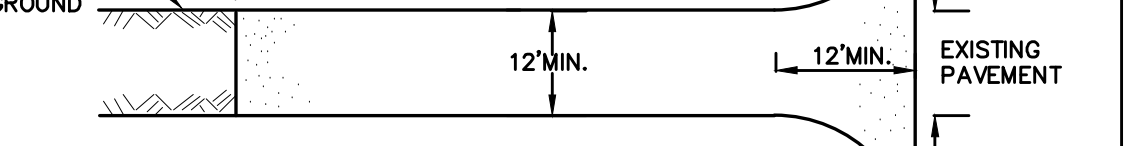
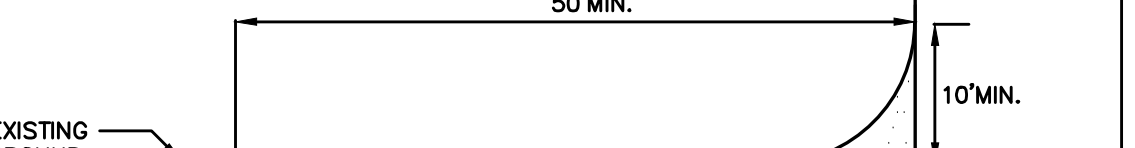
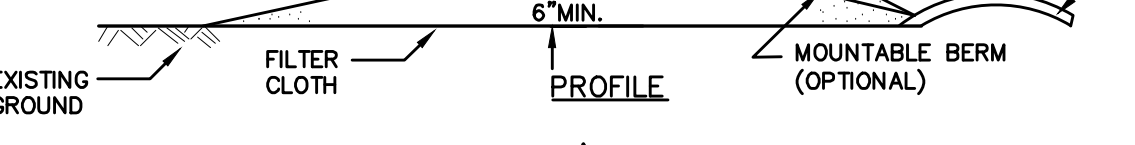
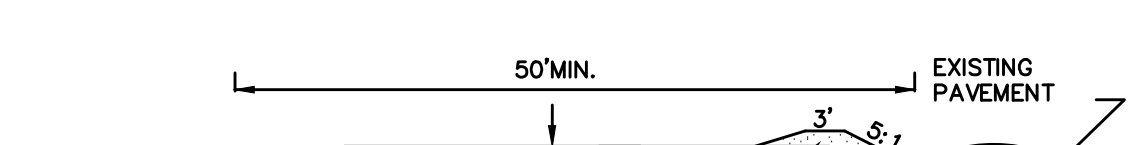
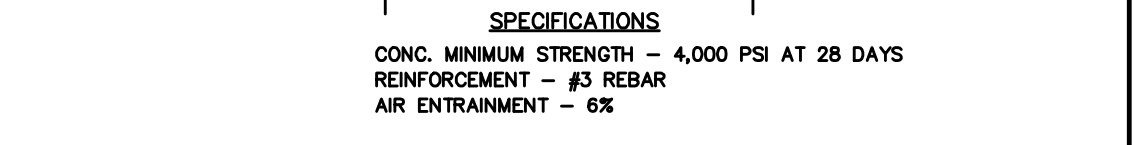
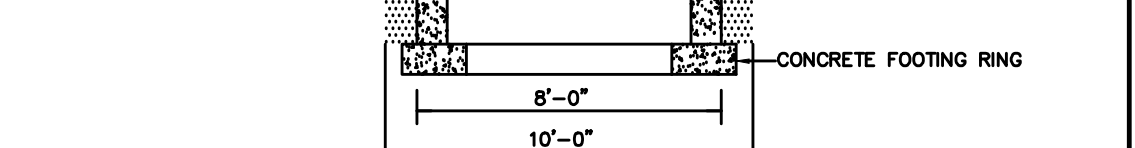
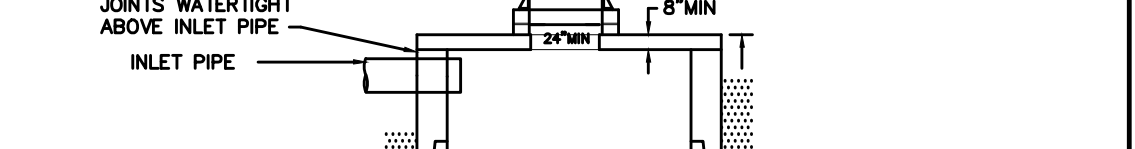
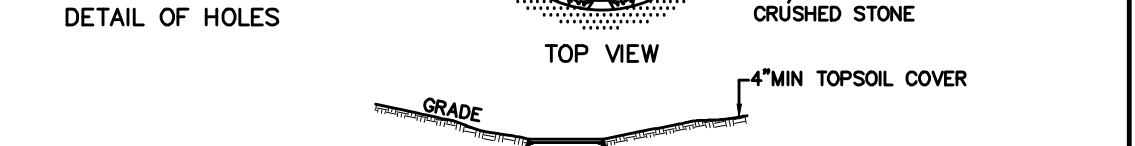
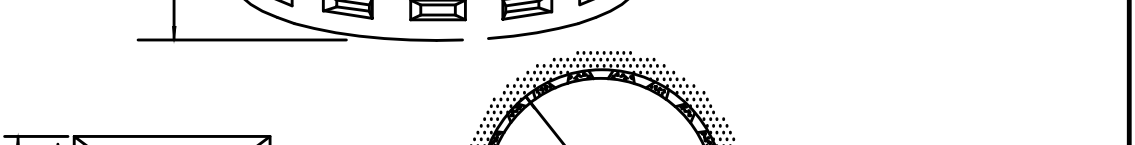
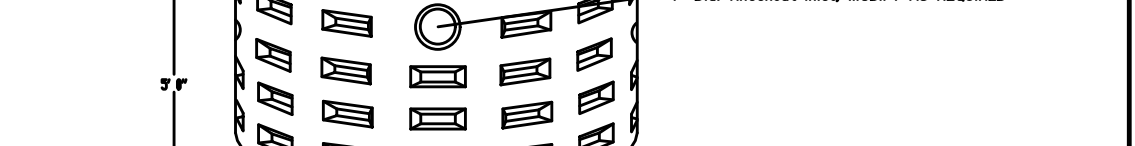
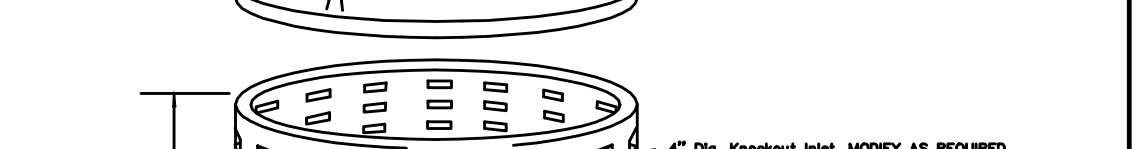
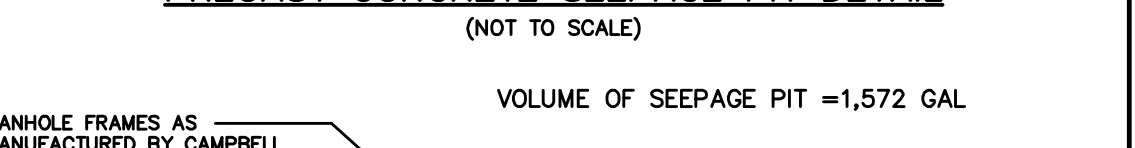
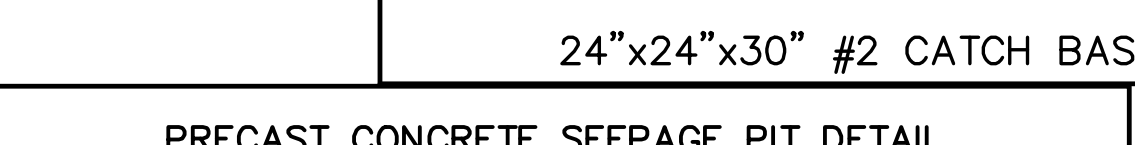
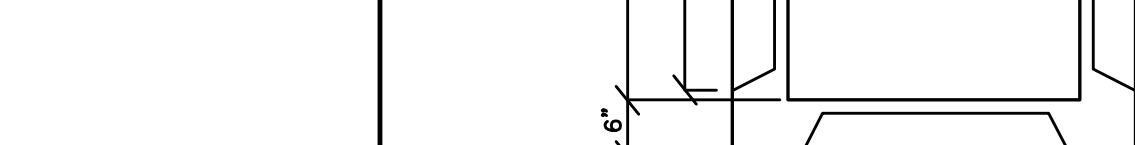
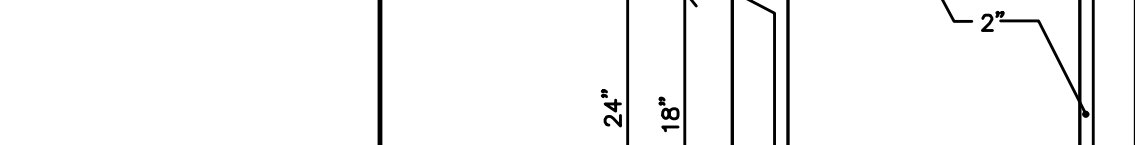
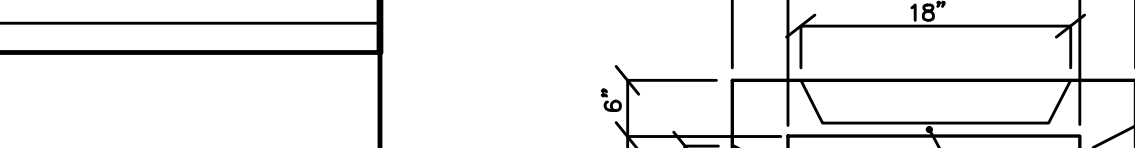
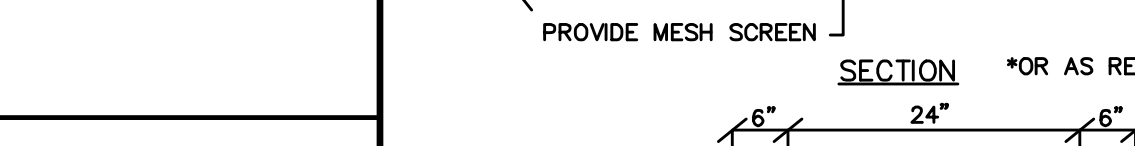
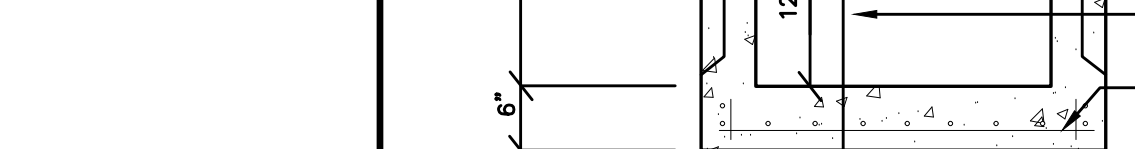
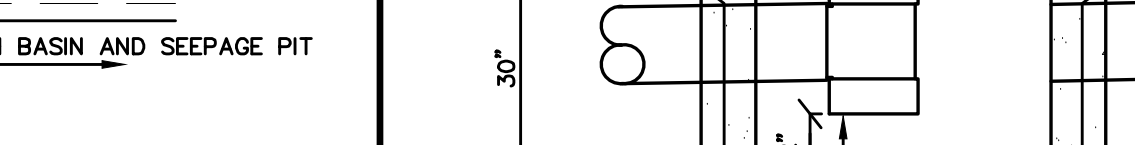
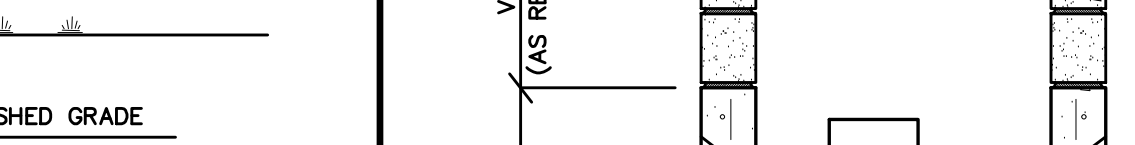
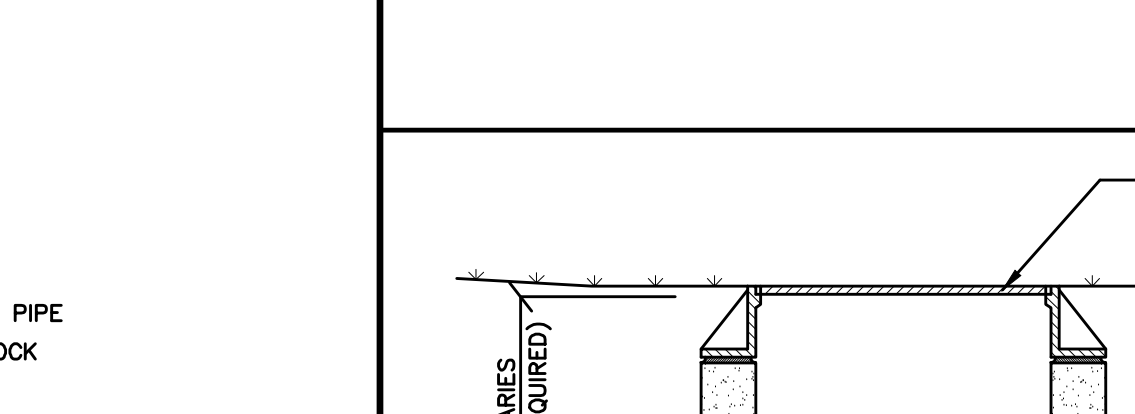
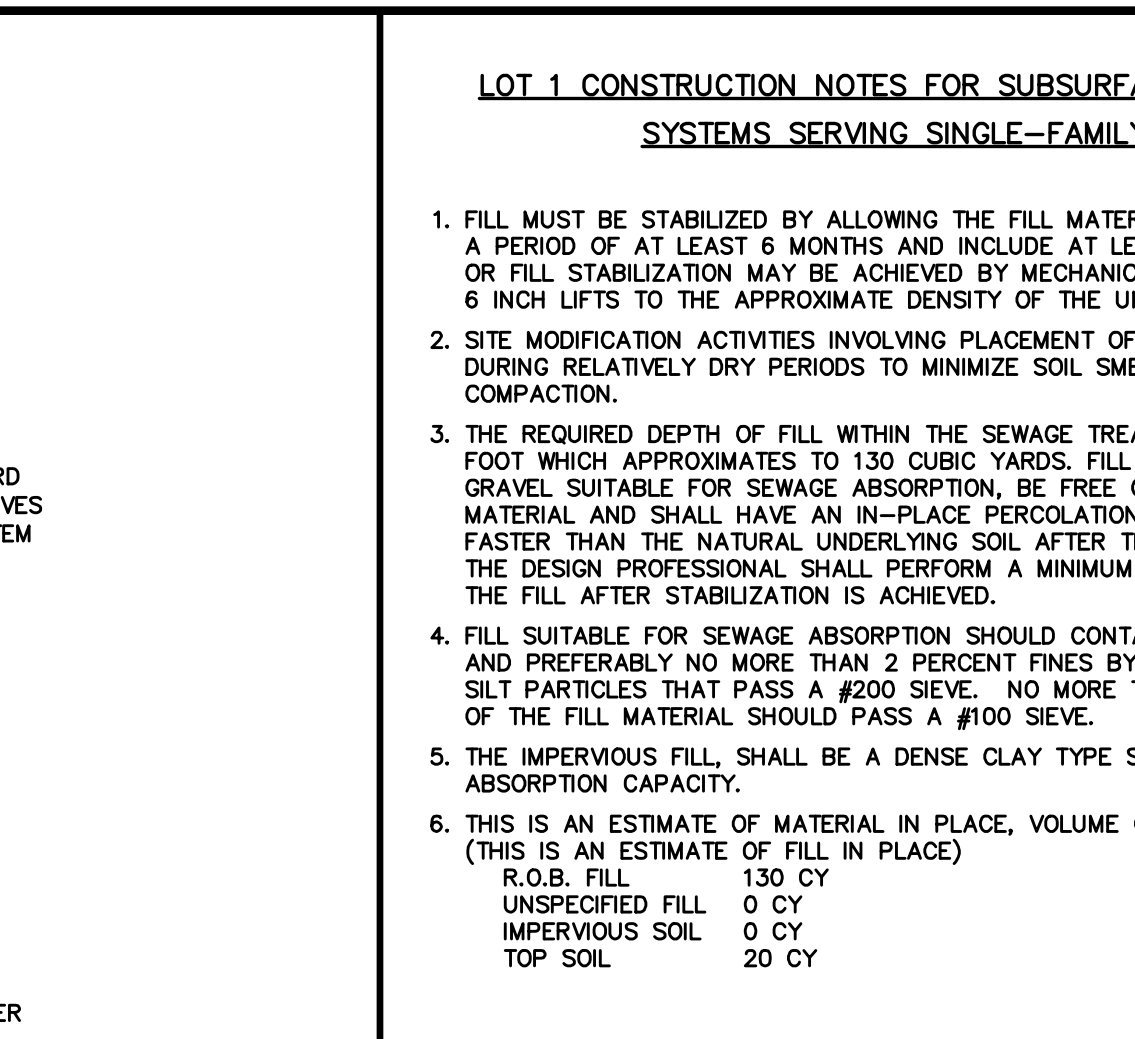
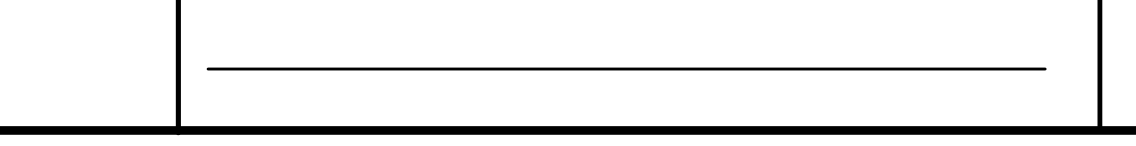
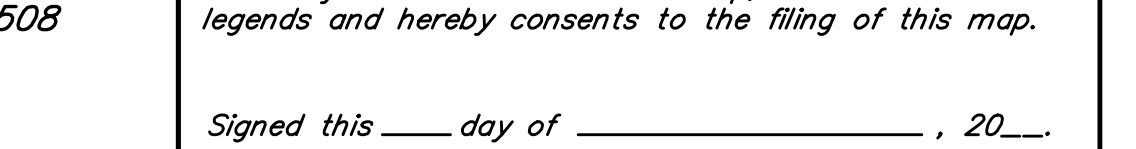
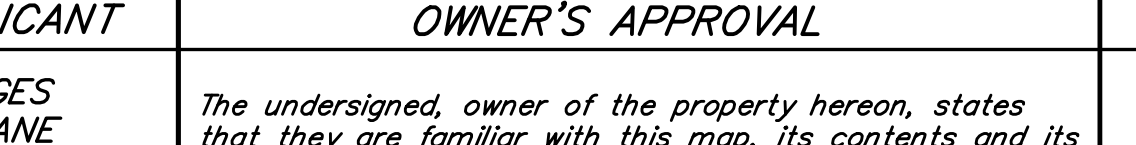
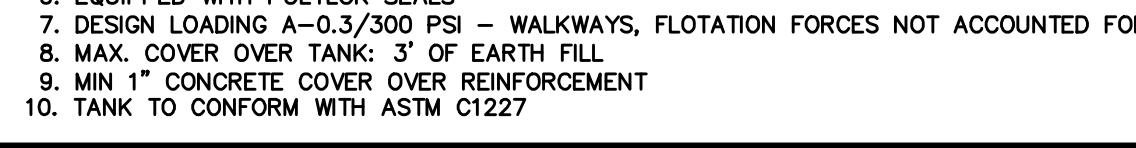
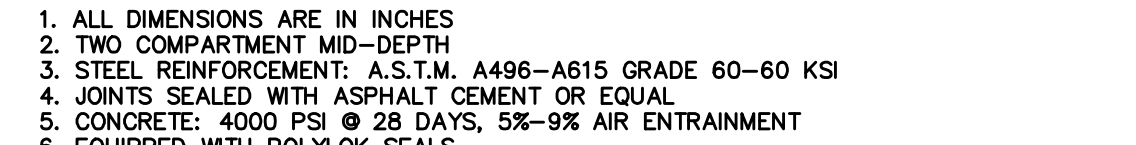
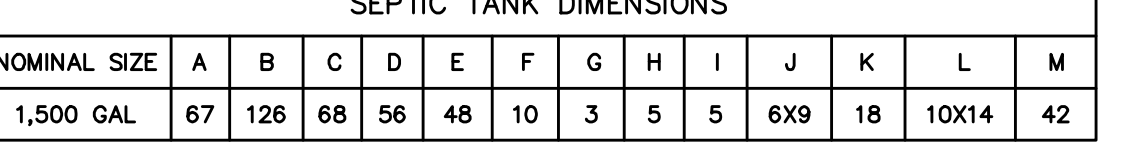
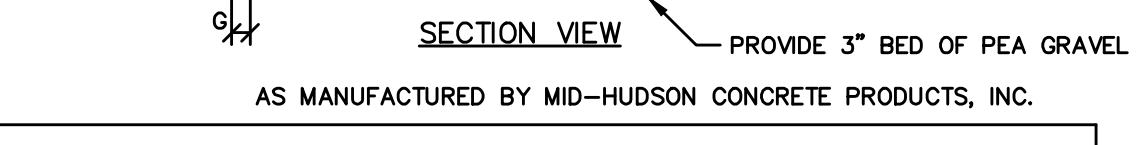
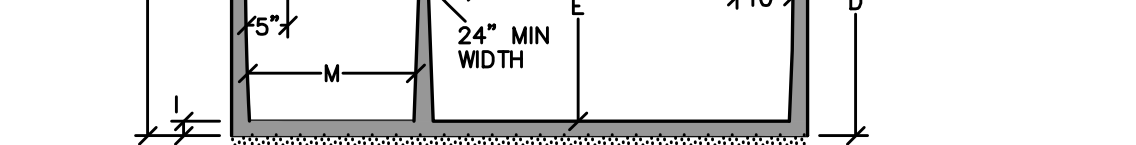
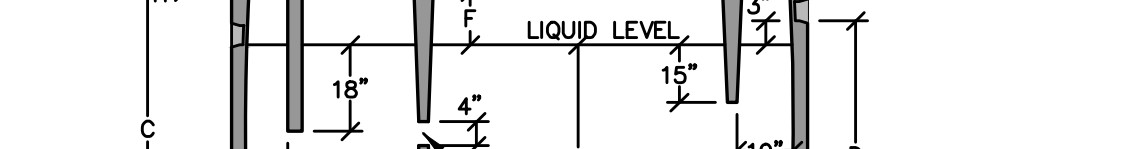
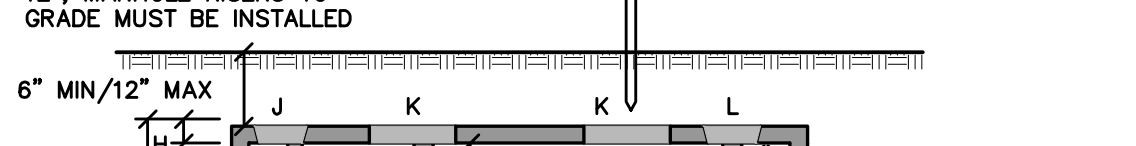
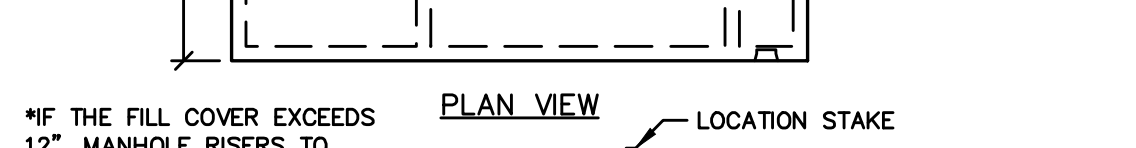
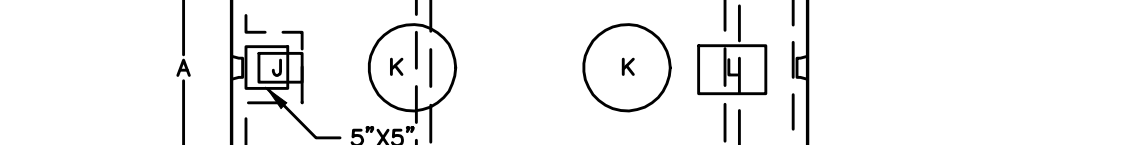
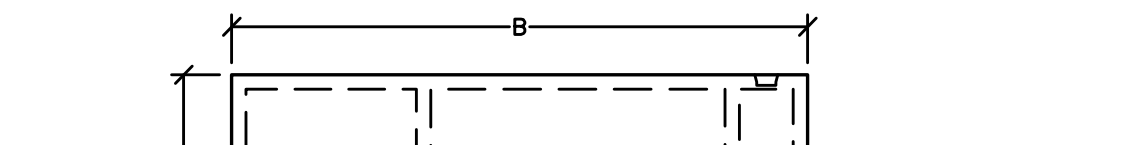
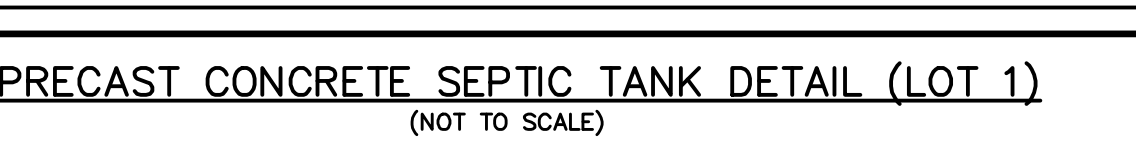
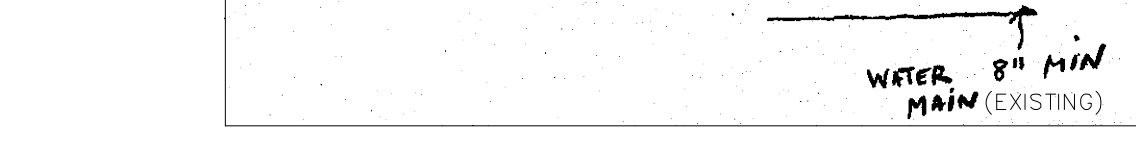
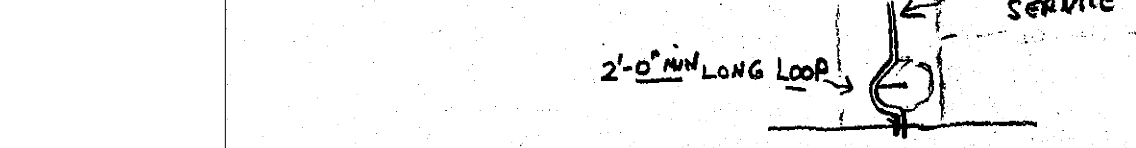
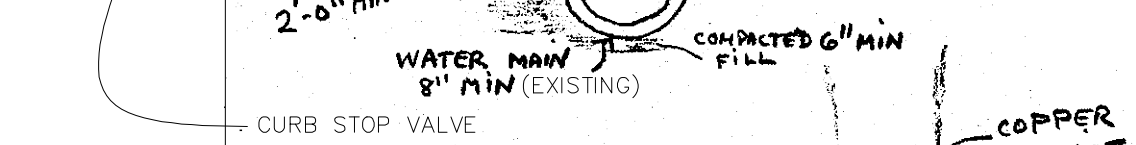
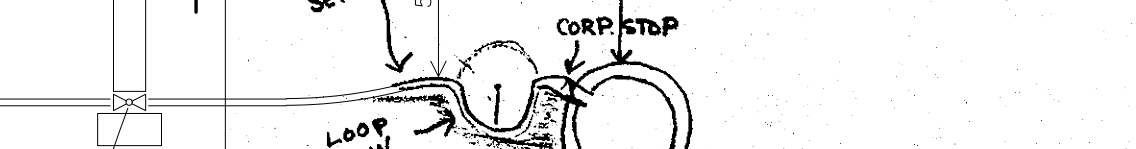
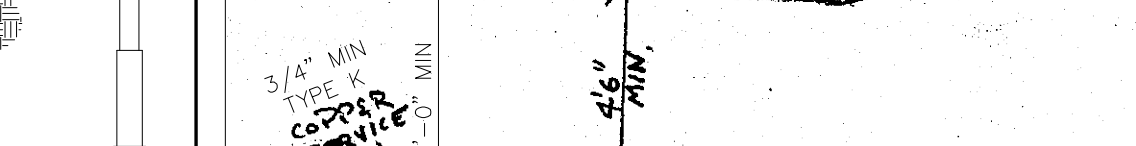
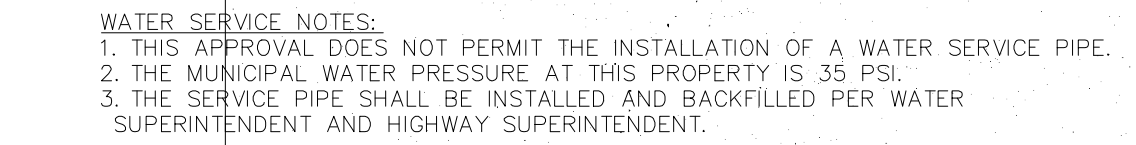
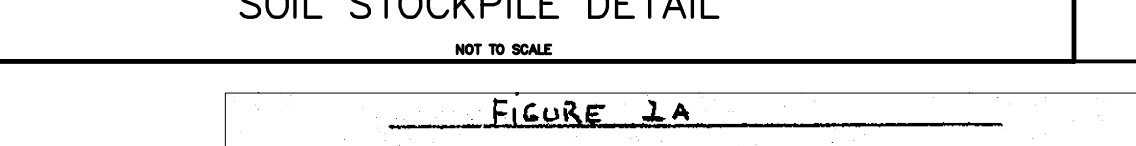
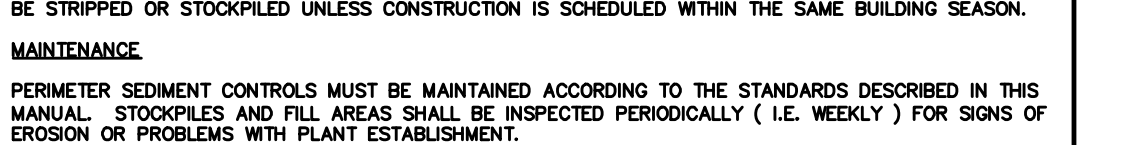
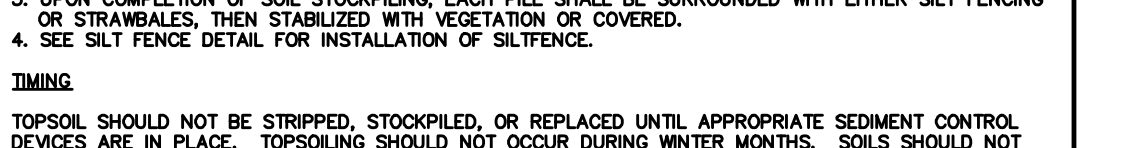
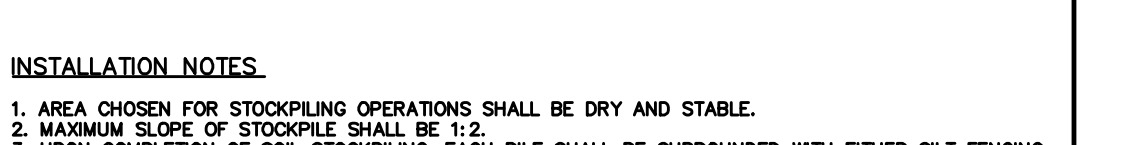
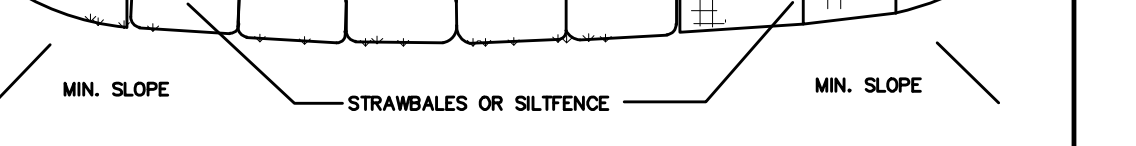
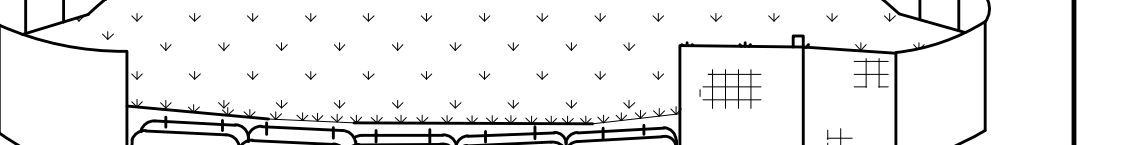
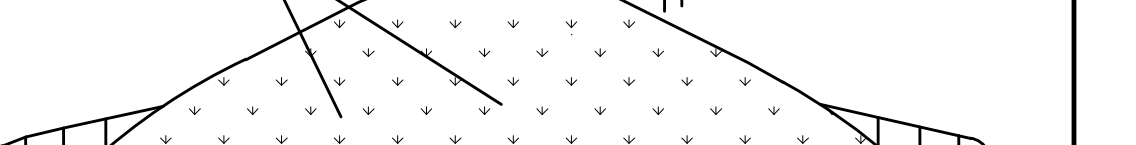
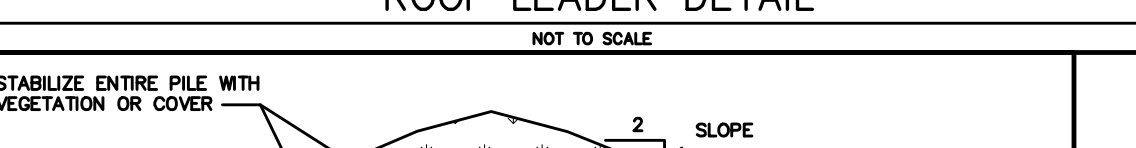
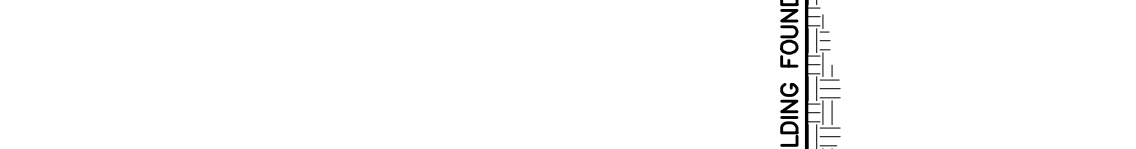
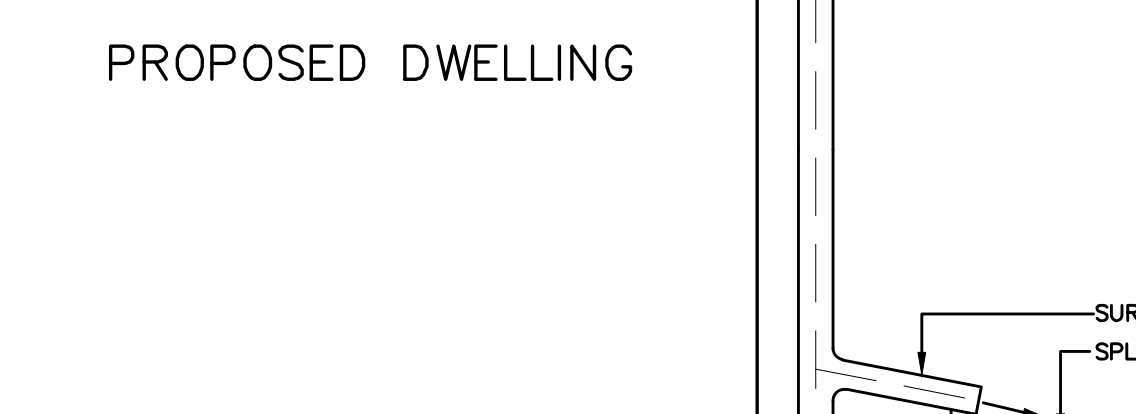
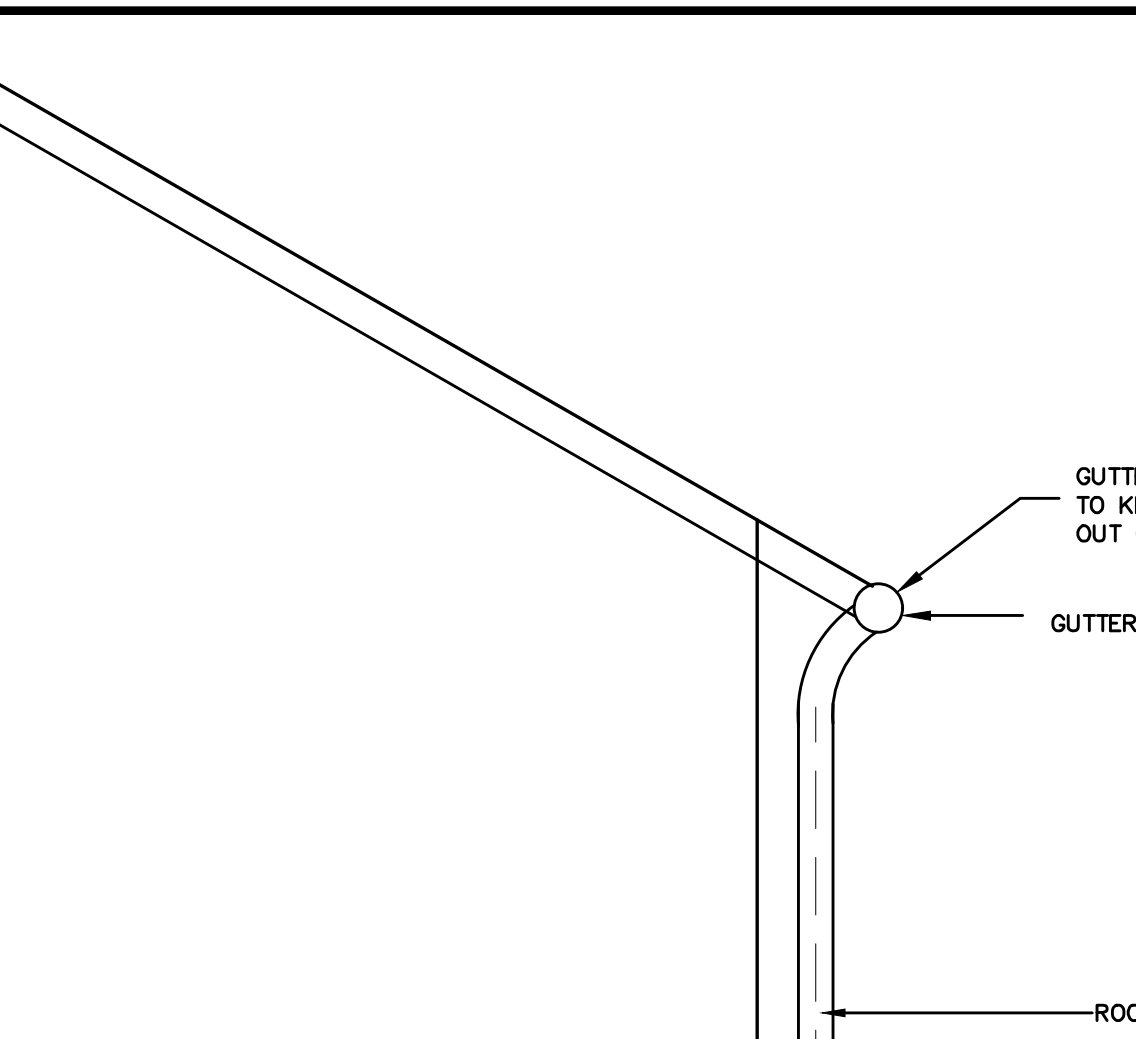
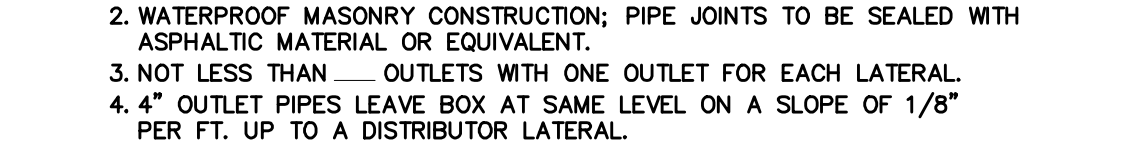
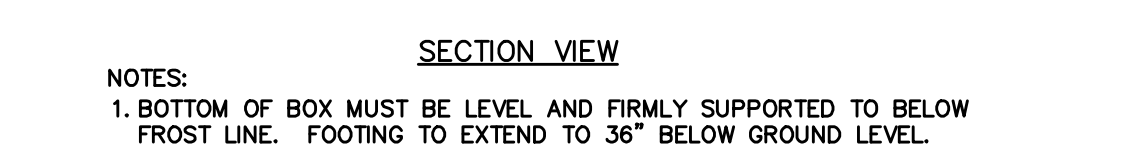
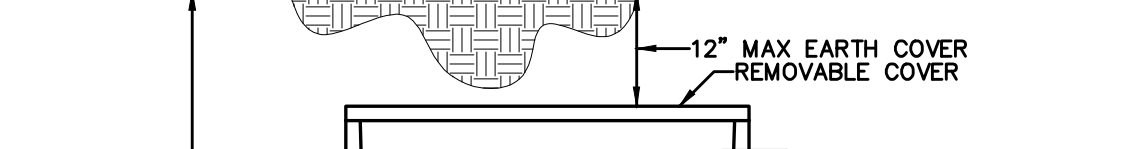
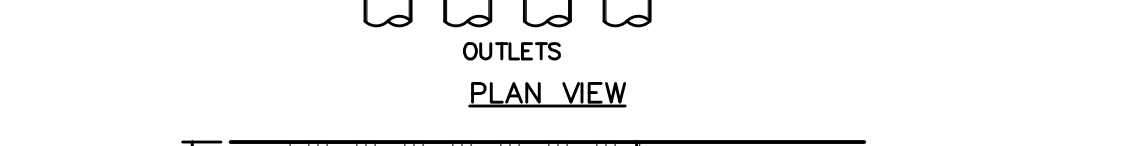
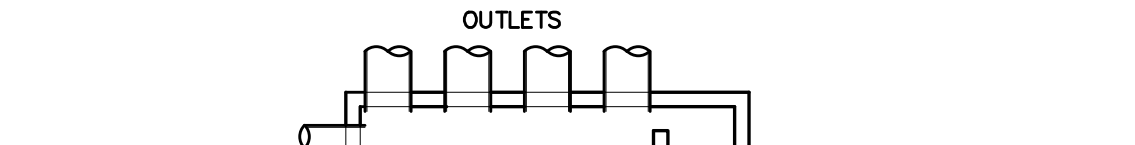
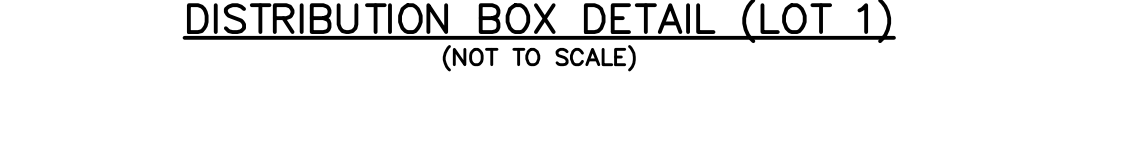
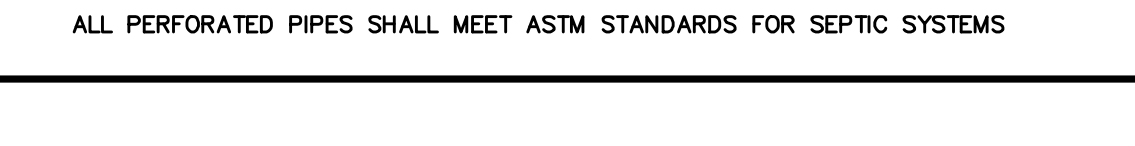
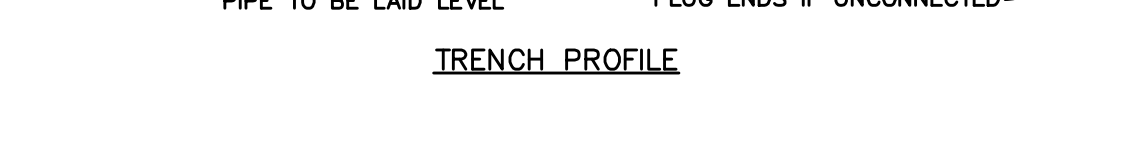
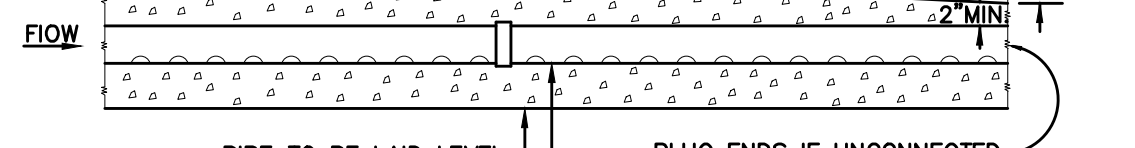
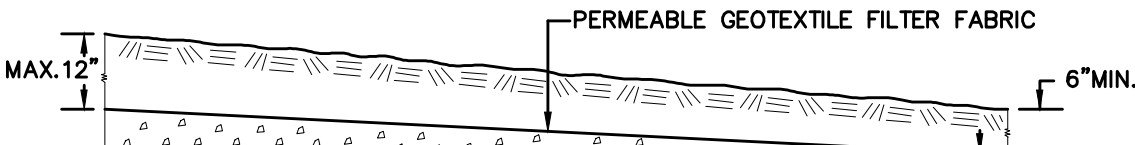
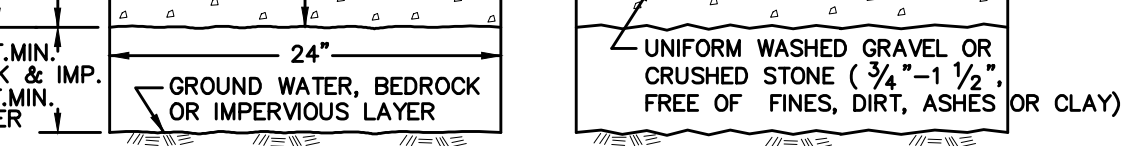
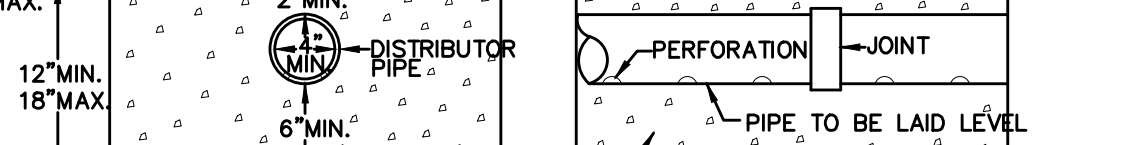
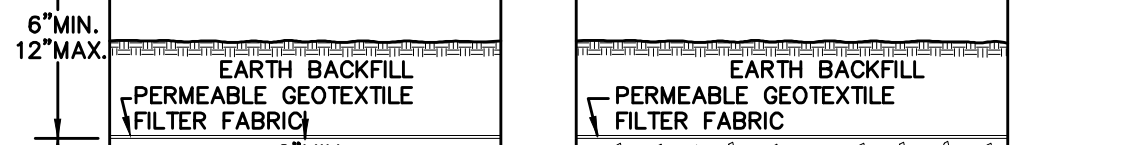
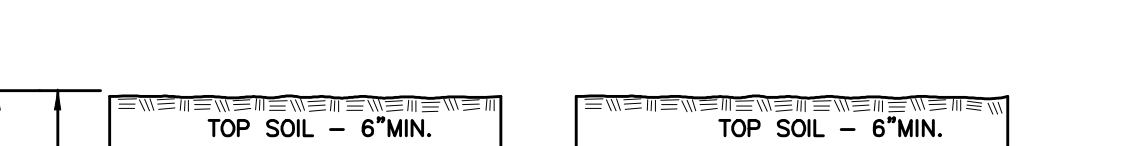
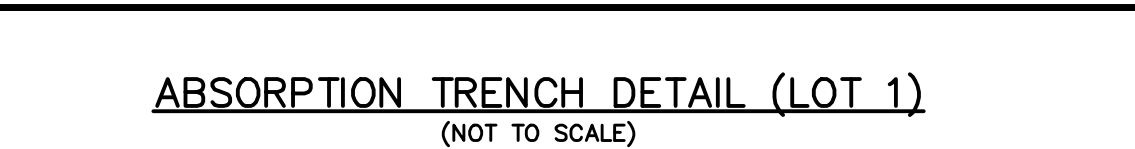
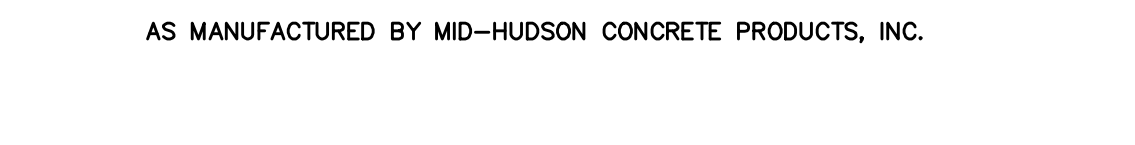
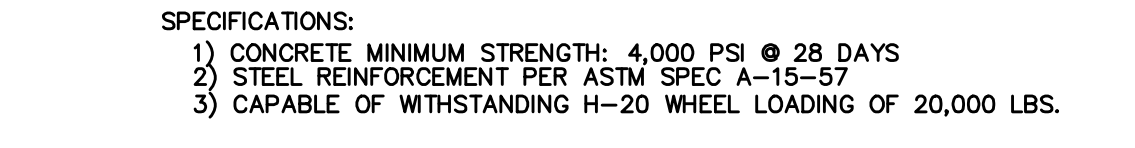
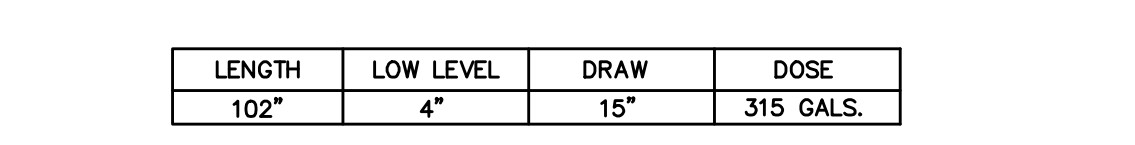
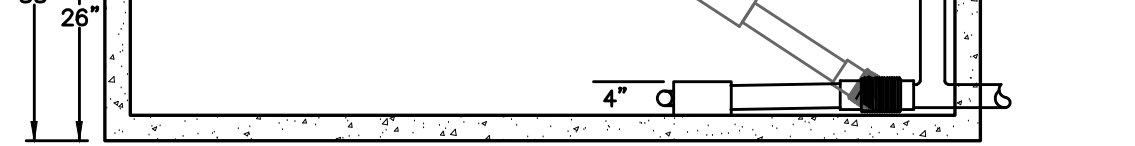
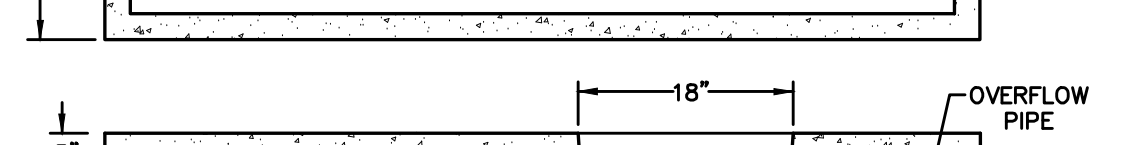
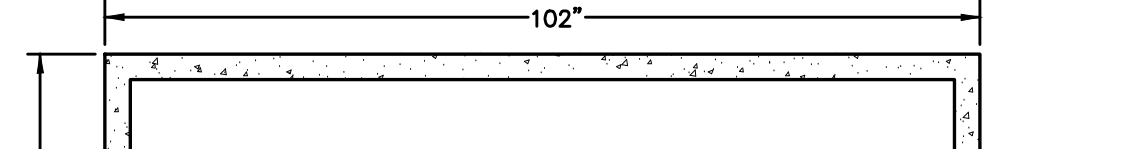
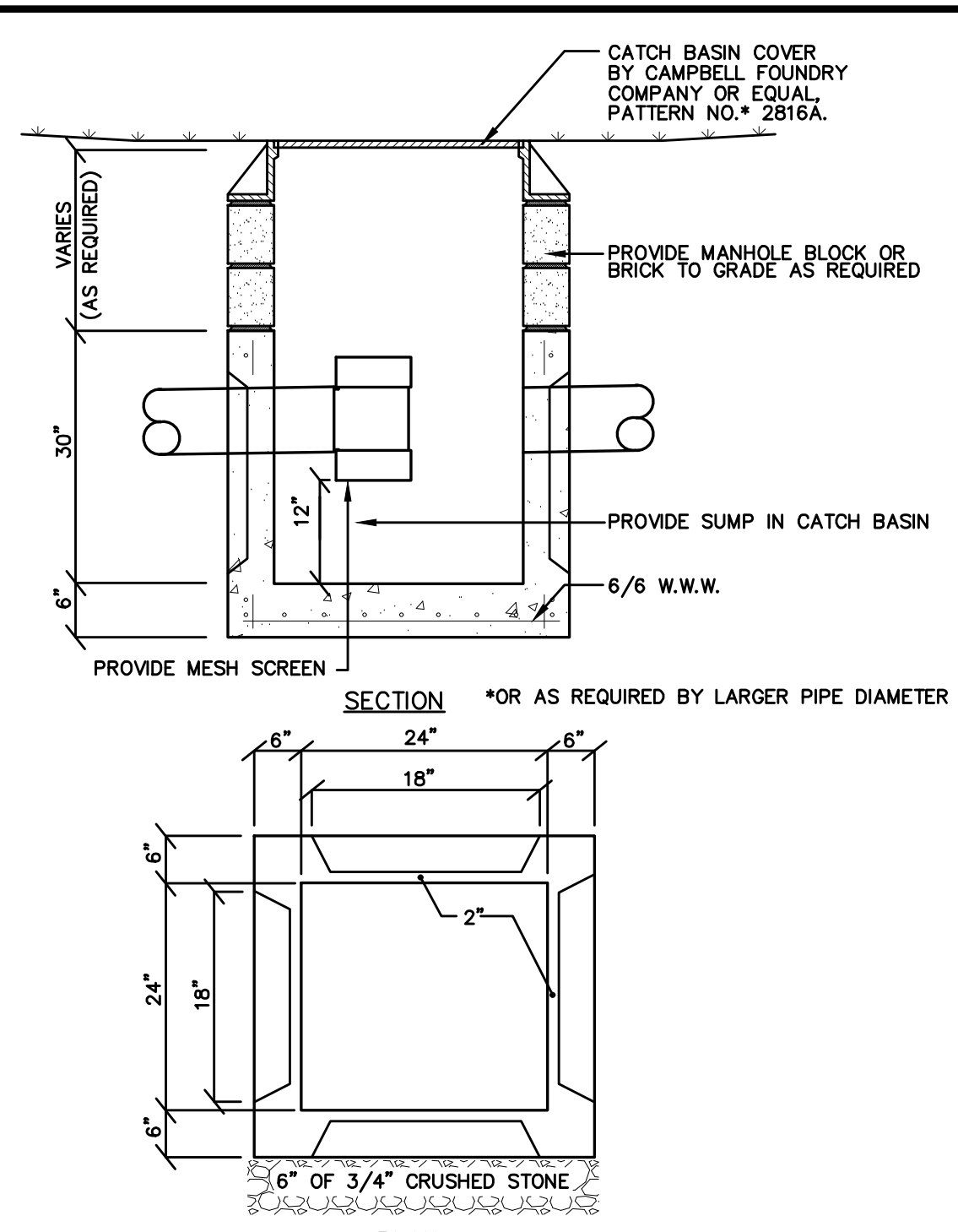
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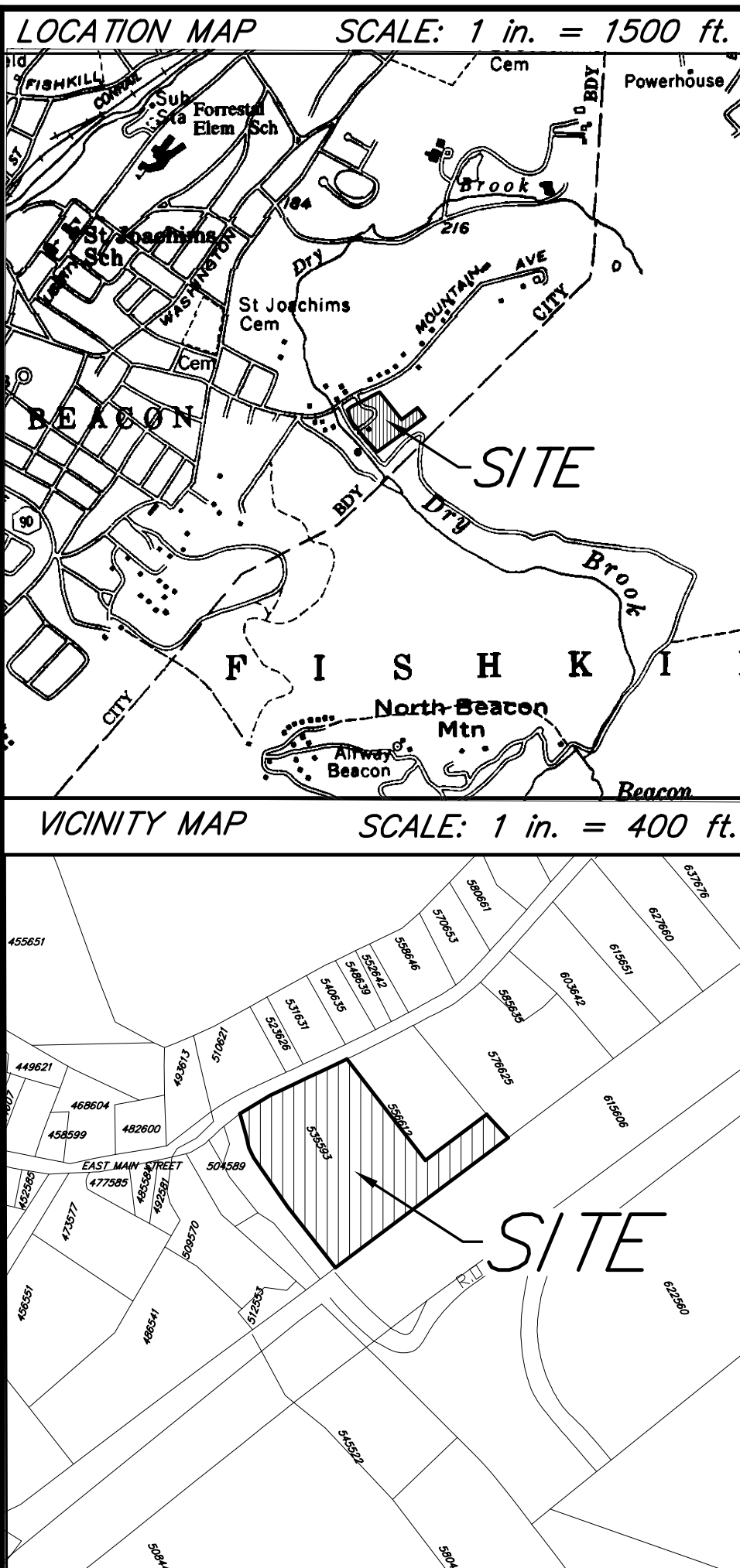
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HEALTH DEPARTMENT APPROVAL

This is to certify that the proposed arrangements for water supply and sewage disposal for PENELOPE HEDGES SUBDIVISION in the CITY OF BEACON were approved on _____ in accordance with plans on file in the Office of the Dutchess County Department of Health. Consent is hereby given to the filing of the map on which this endorsement appears in the Office of the County Clerk of Dutchess County in accordance with the provisions of Article 11, Title 2 of the New York State Public Health Law and Article 17, Title 15 of the New York State Environmental Conservation Law, and Article 11 of the Dutchess County Sanitary Code.

Supervising Public Health Engineer

PLANNING BOARD APPROVAL

Approved by the Planning Board of the City of Beacon, Dutchess County, N.Y. by resolution dated _____ Subject to the requirements and conditions of said resolution. Any change, erasure, modification or revision to this Plan, as approved, shall void this approval.

Signed this _____ day of _____, 20____

Chair of the Planning Board

NOTES

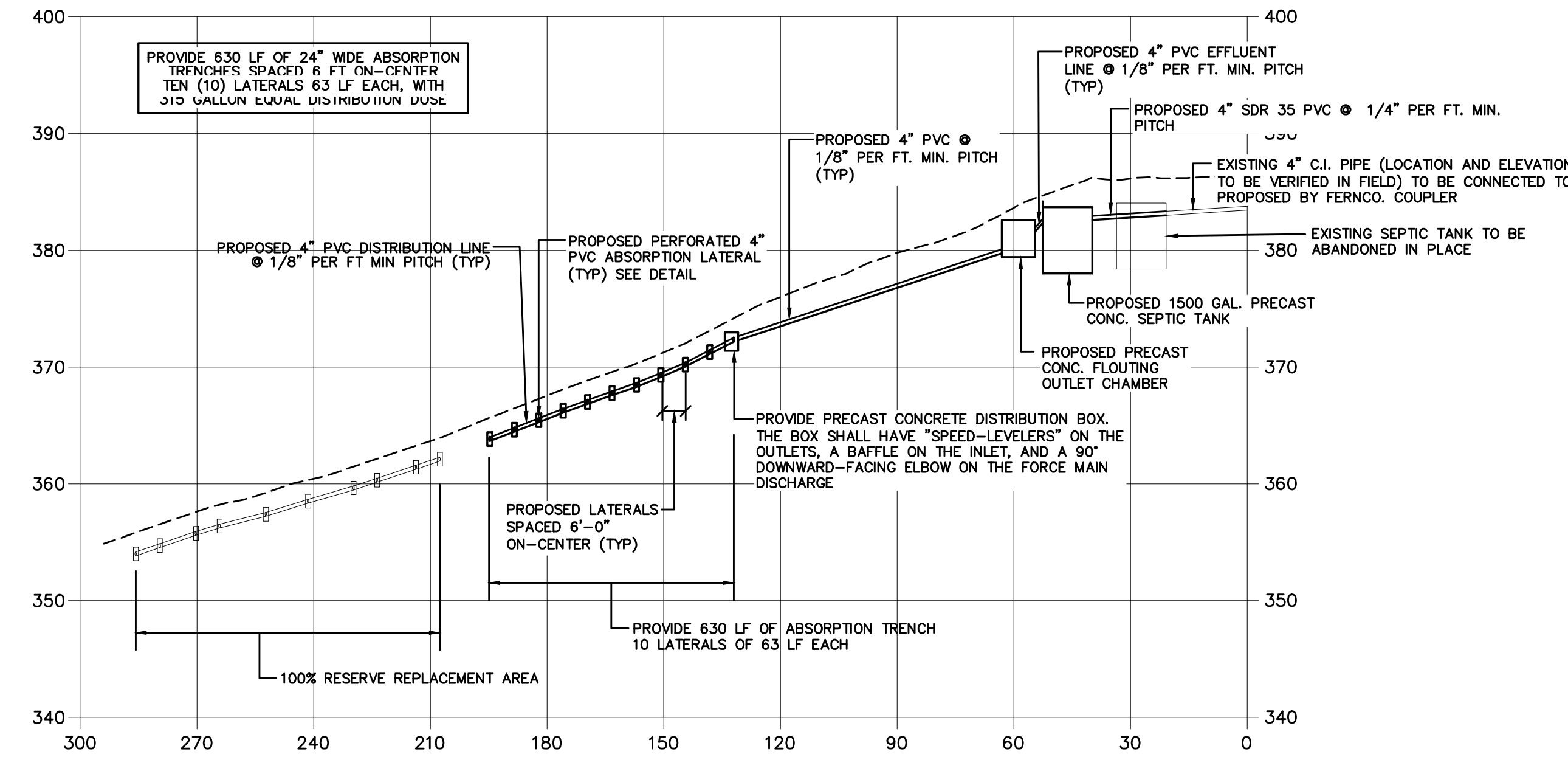
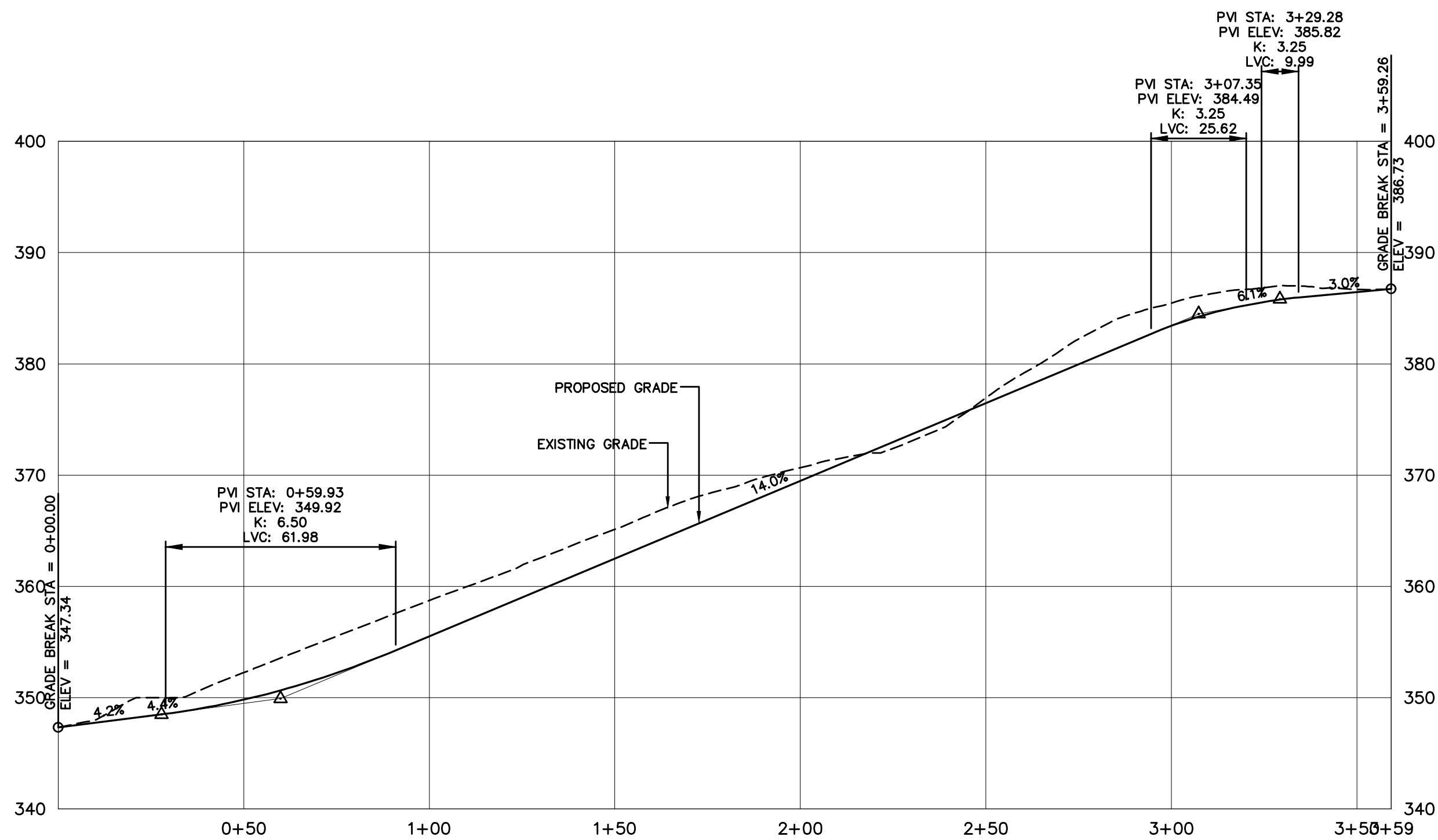
- Unauthorized alteration or addition to a document prepared by a licensed Land Surveyor or licensed Professional Engineer is a violation of Section 2209, Sub-Division 2 of the New York State Education Law.
- The topographic data hereon was compiled photographically from digital aerial photographs, dated April 2003, with 2 inch pixels. The compilation scale was 1 inch to 550 feet.
- The area, meridian, distances and coordinate values shown hereon refer to the New York Coordinate System, East Zone (NAD 83), expressed in feet. The distances shown on this map are grid distances. They have been scaled by a grid factor (scale factor x sea level factor) of 0.9999992. To obtain ground distances divide the distances on this map by the grid factor. To obtain ground area divide the area on this map by the square of the grid factor.
- The vertical datum hereon is North American Vertical Datum of 1988 (NAVD 1988).

REVISIONS

See Title	ROI	Original Drawing

LEGEND

- Pole
- Retaining wall
- Wells
- Sign
- Evergreen Tree
- Deciduous Tree
- Bush
- Hedges
- Bushes
- Treeline
- Lamp (Single)
- Lamp (Double)
- Post
- Sign
- Underground Pipe
- Contour line
- Spotgrade



STANDARD PLAN NOTATIONS

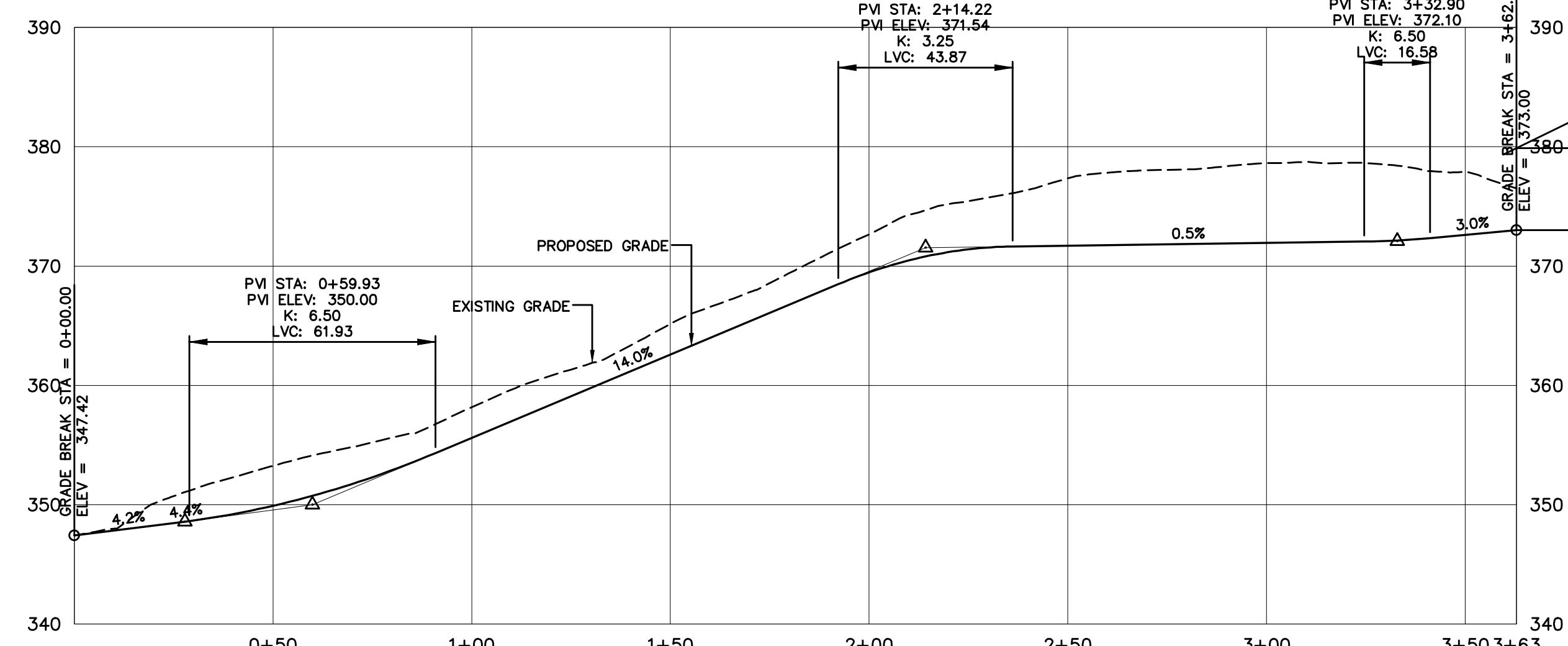
- ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
- ALL EXISTING TREES TO BE SAVED SHALL BE PRESERVED AND SHOWN FENCE IS TO BE ERECTED AROUND TREES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- PRIOR TO THE INITIATION OF CONSTRUCTION THE APPLICANT OR HIS REPRESENTATIVE MUST MEET WITH THE TOWN ENGINEER, HIGHWAY SUPERINTENDENT, BUILDING INSPECTOR, SITE CONTRACTOR, AND/OR ANY ADDITIONAL OUTSIDE AGENCIES THAT MAY HAVE JURISDICTION FOR A PRE-CONSTRUCTION CONFERENCE TO REVIEW ALL FACETS OF CONSTRUCTION AND REQUIRED INSPECTIONS.
- ALL EROSION CONTROLS ARE TO BE SET IN PLACE PRIOR TO ANY LAND DISTURBANCES ON THE SITE.
- DURING THE COURSE OF CONSTRUCTION, WHATEVER THE TOWN HIGHWAY SUPERINTENDENT AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL DRAINAGE FACILITIES ARE REQUIRED TO PROVIDE POSITIVE DRAINAGE WITHIN THE RIGHT-OF-WAY OR ADJACENT PROPERTY, THEY SHALL BE INSTALLED BY THE DEVELOPER AT NO COST TO THE TOWN.
- PER NEW YORK STATE LAW, THE CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (UFO) AT 1-800-962-7962 TWO (2) FULL DAYS PRIOR TO PERFORMING ANY EXCAVATION WORK.
- ALL EMBANKMENTS ARE TO BE GRADED AND SEEDING IMMEDIATELY UPON BEING Laid BACK.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL DRIVEWAY ENTRANCES AND SHALL CONFORM TO NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- STONE WALLS SHALL BE PRESERVED WHEREVER POSSIBLE.
- NO MECHANICAL EQUIPMENT SHALL BE MOUNTED ON THE ROOF IF VISIBLE FROM THE STREET.
- ALL WALL MOUNTED LIGHTING FIXTURES SHALL BE SHIELDED OR DIRECTED DOWNWARD TO PREVENT LIGHT SOURCE FROM BEING VISIBLE FROM ADJACENT AREAS.
- ALL AREAS SHOWN BY LIMITS OF DISTURBANCE SHALL BE FLAGGED AND SUITABLE BARRIERS ERECTED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- TRAILERS SHALL NOT BE PERMITTED AS OUTDOOR STORAGE AREAS. ANY TRAILER WHICH HAS REMAINED SUBSTANTIALLY ON THE SITE FOR A PERIOD OF THIRTY DAYS SHALL BE CONSIDERED OUTDOOR STORAGE.
- PRIOR TO COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION IN CONNECTION WITH THE PROPOSED CONSTRUCTION ACTIVITY, THE OWNER OF RECORD SHALL FILE A "NOTICE OF INTENT" WITH THE NYS DEC AND THE TOWN OF _____ WHEN ALL CONSTRUCTION HAS BEEN COMPLETED AND THE SITE HAS REACHED FINAL STABILIZATION THE OWNER SHALL SUBMIT A "NOTICE OF TERMINATION" TO THE NYS DEC AND THE TOWN OF _____.
- NO SUBSTITUTIONS, ALTERATIONS, DEVIATIONS OR OTHER CHANGES TO ANY OF THE IMPROVEMENTS SHOWN ON THE APPROVED SITE PLAN SHALL BE MADE DURING CONSTRUCTION, OR SHALL BE ACCEPTED BY THE TOWN OF _____ UNLESS PRIOR WRITING HAS BEEN RECEIVED BY THE PROJECT OWNER OR HIS ASSIGNED REPRESENTATIVE.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY THE PROJECT OWNER SHALL DELIVER TO THE PLANNING DEPARTMENT AN AS-BUILT SURVEY SHOWING THE LOCATION OF ANY BUILDINGS, AND THE LOCATION AND ELEVATION OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDING OUTLET CONTROL STRUCTURES, WEIR WALLS, OUTLET PIPES AND OVERFLOW SPILLWAYS.

EROSION & SEDIMENT CONTROL NOTES

- PRIOR TO THE START OF CONSTRUCTION ACTIVITY, THE TEMPORARY STRUCTURAL SEDIMENT CONTROLS (SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, ETC.) FOR THE ANTICIPATED WORK MUST BE INSTALLED.
- THE LIMITS OF LAND DISTURBANCE MUST BE PHYSICALLY MARKED ON-SITE WITH ORANGE CONSTRUCTION FENCE. SILT FENCE MUST BE INSTALLED ON-CONTOUR AND SHALL NOT BE USED TO DELINEATE THE LIMIT OF CONTRACT, OR PROPERTY LINE.
- MASS CLEARINGS AND GRADING MUST BE AVOIDED. CLEAR AND GRUB ONLY WHAT IS REQUIRED FOR IMMEDIATE CONSTRUCTION ACTIVITY.
- EXPOSED SOILS ANTICIPATED TO REMAIN IDLE FOR MORE THAN FOURTEEN (14) DAYS SHALL BE IMMEDIATELY STABILIZED WITH TEMPORARY SEED AND MULCH.
- WHEREVER POSSIBLE, NATURAL VEGETATION IS TO BE PROTECTED BY LIMITING THE CLEARING AND GRUBBING OPERATION, AS WELL AS RESTRICTING CONSTRUCTION EQUIPMENT TO THE WORK AREA.
- WHERE FEASIBLE, LARGE TREES TO BE PRESERVED SHALL BE FENCED OFF SO THAT THE ROOT SYSTEM AND OVERHANGING BRANCHES ARE PROTECTED FROM CONSTRUCTION EQUIPMENT.
- OFF-SITE RUNOFF SHOULD BE DIVERTED FROM HIGHLY ERODIBLE SOILS AND STEEP SLOPES TO STABLE AREAS WITH TEMPORARY DIKES AND/OR SWALES.
- PERMANENT SEEDING SHOULD OPTIMALLY BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM SEPTEMBER TO OCTOBER 15. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER, PROVIDING AN ADEQUATE WATERING SCHEDULE IS MAINTAINED.
- DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS OTHERWISE FOUND TO BE IMPRACTICABLE, AN APPROPRIATE TEMPORARY MULCH SHALL BE APPLIED. TEMPORARY SEEDING WITH RYE CAN BE UTILIZED THROUGH NOVEMBER.
- MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM SHALL NOT BE DISTURBED.
- AREAS WHERE PERMANENT VEGETATION IS TO BE ESTABLISHED SHALL BE DRESSED WITH A MINIMUM OF 4 INCHES OF TOPSOIL. COMPACTED SUB-SOILS SHALL BE DISED OR TILLED PRIOR TO PLACEMENT OF TOPSOIL. SURFACE SHALL BE RAKED SMOOTH, REMOVING STICKS, FOREIGN MATTER, AND STONES OVER 1" IN DIAMETER.
- TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20%. IT SHALL HAVE NOT LESS THAN 20% OF MATERIAL PASSING THE NO. 200 SIEVE, AND NOT MORE THAN 15% CLAY. IT SHALL BE RELATIVELY FREE OF STONES OVER 1-1/2" INCHES IN DIAMETER, TRASH, AND FOREIGN MEDIA, AND SHALL HAVE LESS THAN 10% GRAVEL.
- SEEDING FOR TEMPORARY STABILIZATION OR IN PREPARATION OF WINTER SHUTDOWN SHALL BE APPLIED AT THE FOLLOWING RATE AND SCHEDULE: SPRING OR SUMMER OR EARLY FALL, USE RYEGRASS AT 30 LBS PER ACRE. LATE FALL OR EARLY WINTER, USE WINTER RYE AT 100 LBS PER ACRE.
- PERMANENT SEEDING FOR FINAL STABILIZATION SHOULD BE APPLIED EITHER FROM SPRING-THRU TO MID-MAY OR MID-AUGUST TO EARLY OCTOBER WITH A 65/20/15 MIX OF KENTUCKY BLUEGRASS/PERENNIAL RYEGRASS/FINE FESCUE AT 160 LBS. PER ACRE. IF SEEDING IS DONE BETWEEN MID-MAY AND MID-AUGUST, IRRIGATION MAY BE REQUIRED TO ACHIEVE FINAL STABILIZATION.
- HAY OR STRAW MULCH SHALL BE APPLIED TO ALL SEEDED AREAS, TEMPORARY OR PERMANENT, AT A RATE OF 2 TONS PER ACRE (OR 3 BALES PER 1,000 SQ FT).
- WHEN SPECIFIED, ROLLED EROSION CONTROL BLANKET SHALL BE STRAW BIODEGRADABLE DOUBLE-NET BLANKET (EDX-SZ-NN) AS MANUFACTURED BY CARTRIDGE MILLS. SHALL BE PROVIDED ON ALL FINAL GRADES STEEPER THAN 1 VERTICAL OVER 3 HORIZONTAL (UP TO 2H:1V).
- WHEN SPECIFIED, INLET PROTECTION SHALL BE INSTALLED CONCURRENTLY WITH CATCH BASIN INSTALLATION. IN THE SAME MANNER, ROCK OUTLET PROTECTION SHALL BE INSTALLED CONCURRENTLY WITH PIPE DISCHARGE INSTALLATION.
- EROSION AND SEDIMENT CONTROL PRACTICES WITHIN THE ACTIVE WORK AREA SHALL BE INSPECTED DAILY TO ENSURE THAT THEY ARE BEING MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CLEARED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN FOURTEEN (14) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED.
- DISCHARGES FROM DEWATERING ACTIVITIES, INCLUDING DISCHARGES FROM DEWATERING OF TRENCHES AND EXCAVATIONS, MUST BE MANAGED BY APPROPRIATE CONTROL MEASURES.
- STABILIZED CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED SO AS TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE. SEDIMENT TRACKED ONTO PAVED RIGHTS-OF-WAY SHALL BE SWEEPED CLEAN AT THE END OF EACH WORK DAY.
- SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT BECOMES 6" DEEP AT THE FABRIC. SILT FENCE SHALL BE REPLACED WHEN FABRIC BECOMES RIPPED OR FRAYED.
- SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPPING DEVICES WHEN ACCOMMODATION REACHES 50% OF DESIGN CAPACITY. STONE SHALL BE CLEANED OR REPLACED WHEN SEDIMENT POOL NO LONGER DRAINS PROPERLY.

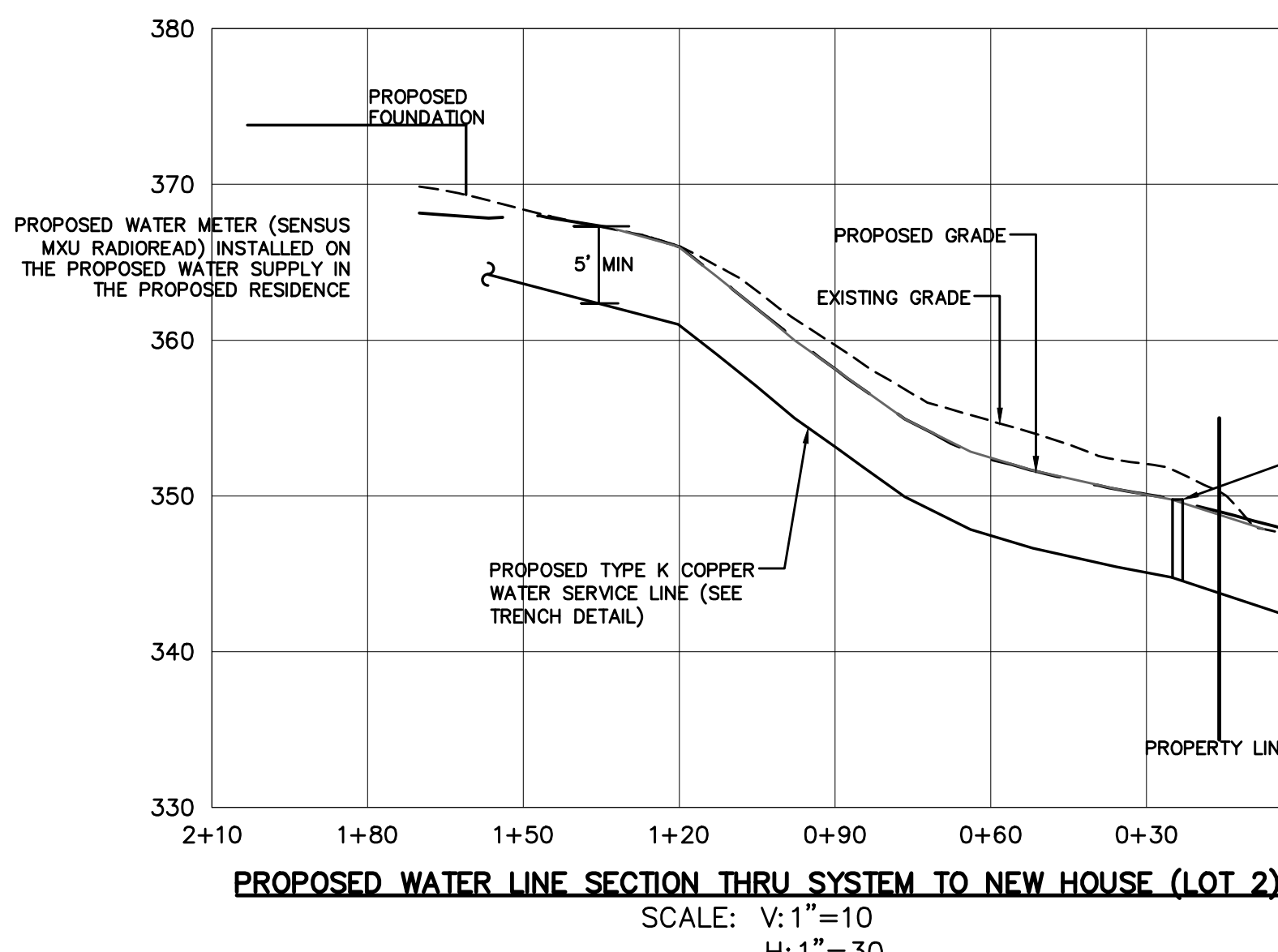
GOOD HOUSEKEEPING

- ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER SUPPLIED BY A WASTE HANDLER THAT IS A LICENSED SOLID WASTE MANAGEMENT COMPANY. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER(S). THE DUMPSTER SHALL BE EMPTIED ON AN AS-NEEDED BASIS AND THE TRASH WILL BE HAULED TO AN APPROVED LANDFILL. NO CONSTRUCTION MATERIALS WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.
- ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF TWO TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
- GOOD HOUSEKEEPING AND SPILL CONTROL PRACTICES WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE STORMWATER CONTAMINATION FROM PETROLEUM PRODUCTS, FERTILIZERS, PAINTS, AND CONCRETE. TO PREVENT STORMWATER CONTAMINATION FROM THE SITE, GOOD HOUSEKEEPING PRACTICES ARE LISTED BELOW:
 - FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER, UNLESS SPECIFIED OTHERWISE BY THE ENGINEER AND WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER.
 - FERTILIZERS WILL BE STORED IN A COVERED SHED AND PARTIALLY USED BAGS WILL BE TRANSFERRED TO A SEALABLE BIN TO AVOID SPILLS.
 - A COVERED DUMPSTER WILL BE USED FOR ALL WASTE MATERIALS.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP WILL BE KEPT IN THE TEMPORARY MATERIAL STORAGE TRAILER ON-SITE. EQUIPMENT WILL INCLUDE BUT NOT BE LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, FAST ABSORBENT MATERIAL, SAND, SAW DUST, AND PLASTIC AND METAL TRASH CONTAINERS.
 - CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.
 - WHEN TESTING/RELEASING OF WATER SUPPLY LINES, THE DISCHARGE FROM THE TESTED PIPE WILL BE COLLECTED AND CONVEYED TO A COMPLETED STORMWATER COLLECTION SYSTEM.
 - A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENT.
 - DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN.
 - ALL RUTS CAUSED BY EQUIPMENT USED FOR SITE CLEARING AND GRADING WILL BE ELIMINATED BY RE-GRADING.
- VEHICLE MAINTENANCE - ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. ANY VEHICLE LEAKING FUEL OR HYDRAULIC FUEL WILL BE IMMEDIATELY SCHEDULED FOR REPAIRS AND USE WILL BE DISCONTINUED UNTIL REPAIRS ARE MADE.
- SPILL PREVENTION AND RESPONSE - THE FOLLOWING CONTROLS AND PROCEDURES SHALL BE USED TO MINIMIZE THE POTENTIAL FOR LEAKS, SPILLS AND OTHER RELEASES:
 - PERSONNEL WILL BE MADE AWARE OF EMERGENCY TELEPHONE NUMBERS.
 - THE OWNER/OPERATOR AND/OR CONTRACTOR SHALL IMMEDIATELY CONTACT NYSDEC IN THE EVENT OF A SPILL, AND SHALL TAKE ALL APPROPRIATE STEPS TO CONTAIN THE SPILL, INCLUDING CONSTRUCTION OF A DIKE AROUND THE SPILL AND PLACING ABSORBENT MATERIAL OVER THE SPILL.
 - THE OWNER/OPERATOR AND/OR CONTRACTOR SHALL INSTRUCT PERSONNEL THAT SPILLAGE OF FUELS, OILS, AND SIMILAR CHEMICALS MUST BE AVOIDED.
 - OILS AND CHEMICALS WILL BE STORED IN APPROPRIATE AND TIGHTLY CAPPED CONTAINERS. CONTAINERS SHALL NOT BE DISPOSED OF ON THE PROJECT SITE.
 - OILS, CHEMICALS, MATERIAL, EQUIPMENT, AND SANITARY FACILITIES WILL BE STORED/LOCATED AWAY FROM TREES AND AT LEAST 100 FEET FROM STREAMS, WELLS, WET AREAS, AND OTHER ENVIRONMENTALLY SENSITIVE SITES.
 - DISPOSE OF CHEMICAL CONTAINERS AND SURPLUS CHEMICALS OFF THE PROJECT SITE IN ACCORDANCE WITH LABEL DIRECTIONS AND LEGAL REQUIREMENTS.
 - USE TIGHT CONNECTIONS AND HOSES WITH APPROPRIATE NOZZLES IN ALL OPERATIONS INVOLVING FUELS.
 - USE FUNNELS WHEN POURING FUELS, LUBRICATING MATERIALS OR CHEMICALS.
 - REFUELING OF CONSTRUCTION EQUIPMENT WILL TAKE PLACE IN PARKING AREAS TO PROVIDE RAPID RESPONSE TO EMERGENCY SITUATIONS.
 - PETROLEUM SPILLS AND MOST HAZARDOUS MATERIALS SPILLS MUST BE REPORTED TO THE NYS DEC HOTLINE (1-800-457-7362), UNLESS THEY MEET ALL OF THE FOLLOWING CRITERIA:
 - THE SPILL IS KNOWN TO BE LESS THAN 5 GALLONS; AND
 - THE SPILL IS CONTAINED AND UNDER THE CONTROL OF THE SPILLER; AND
 - THE SPILL HAS NOT AND WILL NOT REACH THE STATE'S WATER OR AIR LAND; AND
 - THE SPILL IS CLEANED UP WITHIN 2 HOURS OF DISCOVERY.
 - SPILLS SHALL ALSO BE REPORTED TO THE LOCAL AUTHORITIES, IF REQUIRED. FOR SPILLS NOT DEEMED REPORTABLE, THE FACTS CONCERNING THE INCIDENT SHALL BE DOCUMENTED BY THE SPILLER, AND A RECORD MAINTAINED FOR ONE YEAR.

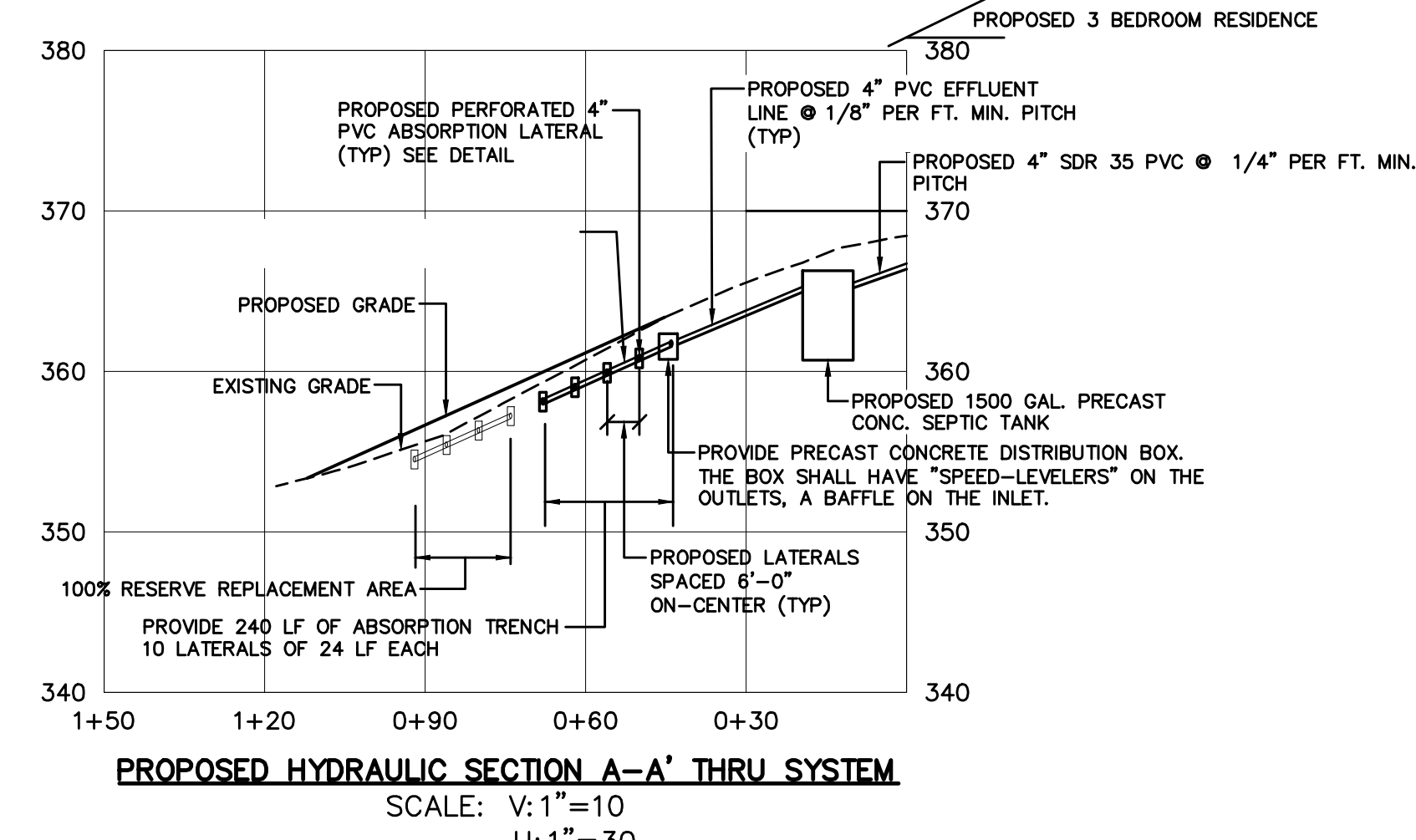


PRO-DRIVE TO NEW HOUSE

SCALE: V:1"=10
H:1"=30



PROVIDE 240 LF OF 24" WIDE ABSORPTION TRENCH SPACED 6'-0" ON-CENTER (TYP) WITH TEN (10) LATERALS 24 LF EACH, WITH



COVERAGE UNDER THE GENERAL STORMWATER PERMIT

- BASED ON THE PROPOSED AREA OF SOIL DISTURBANCE SHOWN HEREON, THIS PROJECT REQUIRES COVERAGE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION'S S.D.P.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (PERMIT NO. GP-0-15-002).
- A NOTICE OF INTENT (NOI) MUST BE FILED WITH THE NYSDEC AT THE ADDRESS ON THE NOI FORM TEN (10) BUSINESS DAYS BEFORE CONSTRUCTION ACTIVITIES TAKE PLACE, WHICH INCLUDES ANY CLEARING, GRADING, EXCAVATION, FILLING, DEMOLITION OR STOCKPILING ACTIVITIES THAT RESULT IN SOIL DISTURBANCE.
- THIS PLAN, OR SET OF PLANS, SHALL CONSTITUTE AS THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND HAS BEEN PREPARED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE PERMIT. IN THE CASE OF PROJECTS WHICH REQUIRE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES (STORMWATER MITIGATION), THIS PLAN OR SET OF PLANS, MAY BE ACCOMPANIED BY A REPORT AND/OR OTHER DOCUMENTATION.
- THE OWNER MUST HAVE THE SWPPP REVIEWED AND APPROVED BY THE REGULATED TRADITIONAL LAND USE CONTROL MS4 (TOWN), PRIOR TO SUBMITTING THE NOI TO THE NYSDEC.
- THE OWNER SHALL ALSO HAVE THE TOWN SIGN THE "MS4 ACCEPTANCE FORM", WHICH IS SUBMITTED WITH THE NOI.
- THE OWNER SHALL MAINTAIN A COPY OF THE PERMIT, NOI, NO ACKNOWLEDGMENT LETTER, SWPPP, MS4 ACCEPTANCE FORM, INSPECTION REPORTS, AND ALL DOCUMENTATION NECESSARY TO DEMONSTRATE ELIGIBILITY WITH THE PERMIT AT THE CONSTRUCTION SITE UNTIL ALL DISTURBED AREAS HAVE ACHIEVED FINAL STABILIZATION AND THE NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE NYSDEC. THE DOCUMENTS MUST BE MAINTAINED IN A SECURE LOCATION ON-SITE, AND MUST BE ACCESSIBLE DURING NORMAL BUSINESS HOURS TO AN INDIVIDUAL PERFORMING A COMPLIANCE INSPECTION.
- THE NOT CANNOT BE SUBMITTED UNTIL THE SITE HAS ACHIEVED FINAL STABILIZATION. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PREVIOUS SURFACE HAS BEEN ESTABLISHED, OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY THE OWNER MUST IDENTIFY THE CONTRACTOR(S) AND/OR SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR INSTALLING, CONSTRUCTING, REPAIRING, REPLACING, INSPECTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL PRACTICES INCLUDED IN THE SWPPP, AND IN THE CASE OF PROJECTS WHICH REQUIRE STORMWATER MITIGATION, THE CONTRACTOR(S) AND/OR SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR CONSTRUCTION OF THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. EACH CONTRACTOR SHALL BE KNOWN AS THE TRAINED CONTRACTOR.
- THE TRAINED CONTRACTOR(S) MUST SIGN A CERTIFICATION STATEMENT(S) FOR THE STATE, AND IN MOST CASES THE TOWN OR VILLAGE, MUST HAVE A CURRENT 4-HOUR NYSDEC ENDORSED TRAINING COURSE, AND MUST BE ON-SITE ANY TIME THERE IS SOIL DISTURBING ACTIVITIES TAKING PLACE.
- THE OWNER MUST ENSURE THAT ALL EROSION AND SEDIMENT CONTROL PRACTICES, AND IN THE CASE OF PROJECTS WHICH REQUIRE STORMWATER MITIGATION, THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES, ARE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE PERMIT.
- THE OWNER SHALL HAVE THE TRAINED CONTRACTOR INSPECT THE EROSION AND SEDIMENT CONTROLS, AND IN THE CASE OF PROJECTS WITH STORMWATER MITIGATION, THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES, WITHIN THE ACTIVE WORK AREA DAILY TO ENSURE THAT THEY ARE BEING MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES.
- THE SCOPE OF THE PROJECT MAY ALSO REQUIRE THE OWNER TO HAVE A QUALIFIED INSPECTOR CONDUCT SITE INSPECTIONS AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. GENERALLY, THE QUALIFIED INSPECTOR IS THE PREPARER OF THE SWPPP.
- ONCE THE SITE HAS ACHIEVED FINAL STABILIZATION, AND IN THE CASE OF PROJECTS THAT REQUIRE STORMWATER MITIGATION, ALL POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES HAVE BEEN CONSTRUCTED, THE PERMIT MUST BE TERMINATED.
- IF PART OF THE SWPPP, THE OWNER MUST IDENTIFY THE ENTITY, AND HAVE A MECHANISM IN-PLACE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE(S).
- THESE NOTES ARE NOT COMPREHENSIVE OF THE REQUIREMENTS OF THE SUBJECT PERMIT.

WARNING STAMP

ALTERATION OF THIS DOCUMENT, IN ANY WAY, BY ANY PERSON NOT UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, AS APPROPRIATE, IS A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK

SHEET 3 OF 3

PROFILES & NOTES

PRELIMINARY

SUBDIVISION PLAT

PENELOPE HEDGES

SITUATE IN THE

CITY OF BEACON

DUTCHESS COUNTY

NEW YORK

SCALE AS NOTED

APRIL 19, 2018

I hereby certify that this subdivision plat was prepared by me, and was made from an actual survey completed by me in May of 2014. For latest issue date see revision box.

Gary LaTour, L.S.

PRELIMINARY

by
NEW YORK STATE LICENSED LAND SURVEYOR
LICENSE NO. 49457

FILE NO. 83-9177

ENGINEER	ENGINEER	SURVEYOR	OWNER & APPLICANT	OWNER'S APPROVAL	PROPERTY DATA
 3563 Route 9 Cold Spring, NY 10516 www.Badey-Watson.com 845.265.9317 845.265.4438 (Fax) 877.3141591 (Toll Free)	 License No. _____	 License No. _____	PENELOPE HEDGES 31 MOUNTAIN LANE BEACON, NY 12508	The undersigned, owner of the property hereon, states that they are familiar with this map, its contents and its legends and hereby consents to the filing of this map. Signed this _____ day of _____, 20____	Tax Map Designation: 6054-02-53593 Zoning District: R1-80 Total Area: 5.527 AC

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **31 Mountain Lane Subdivision**

I have reviewed the April 23, 2018 Subdivision Application, April 24, 2018 Short EAF Part 1, and a 3-sheet Preliminary Subdivision Plan, dated April 19, 2018.

Proposal

The applicant is proposing to subdivide a 5.527-acre parcel with one existing house into two lots for the construction of an additional house. The parcel is in the R1-80 zoning district.

Comments and Recommendations

1. The survey will need to be stamped and signed before final approval. The Plat should show any existing trees over 8 inches in the area disturbance and indicate any major trees that will be removed.
2. In the Sheet 1 Zoning Table the required front yard is 50 feet.
3. The Zoning Table should also list the required and proposed building heights and building coverages.
4. The Plans should indicate the site distances in both directions from the two driveways.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Badey & Watson, Project Engineers

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lenc, P.E., L.S.
Arthur R. Tully, P.E.

May 2, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: Penelope Hedges Subdivision
Tax Map: 6054-02-535593
31 Mountain Lane

Dear Mr. Gunn:

My office has reviewed the following in regards to the above subdivision application:

The proposal is to subdivide the property into two (2) lots with the existing residence on one lot and a proposed residence on the newly created lot. The existing driveway is proposed to be abandoned and two (2) new driveways are proposed to be constructed. Two (2) new septic systems are proposed to be installed as is a new waterline to the proposed house.

- Application for Subdivision Approval dated April 23, 2018
- Short Environmental Assessment Form dated April 24, 2018
- Three (3) Sheet Plan Set of Preliminary Subdivision Plat for Penelope Hedges dated April 19, 2018

Based on our review of the above, we would like to offer the following comments:

1. According to the application, the property currently is used for a single family residence, however, it appears that the existing house may be a B&B facility. If this is the case, the applicant should amend the application to reflect this and discuss with the Planning Board.
2. Driveways are to be designed in accordance with Chapter 195 of the City's subdivision regulations. Sight distances should be provided for both driveways as required by the City Code as well as a negative grade away from Mountain Lane as per 195-24-H(1).
3. Due to the amount of disturbance proposed, the applicant is required to file a Notice of Intent with the NYS Department of Environmental Conservation. Additionally, a drainage study should be provided regarding the soil conditions that impact design and sizing of the proposed dry wells, their proposed required maintenance for the shared system and any easements that may be required. It should also describe how the system will function in the event that the dry wells are surcharged. The EAF states that there will be no stormwater discharges to adjacent properties and that stormwater discharges will be directed to established conveyance systems. The report should clarify how this will occur.

4. The site is extensively wooded. A tree survey should be provided which locates and describes all trees larger than 6" in diameter which will be removed.
5. Design of all proposed retaining walls will need to be done by a NYS licensed Professional Engineer.
6. The design of proposed subsurface sewage disposal systems shall be reviewed and approved by Dutchess County Department of health.
7. Existing stone walls along Mountain Avenue and existing shed on site should be shown on the plan.

This completes our review at this time. Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.


John Russo, P.E.

cc: Jennifer Gray, Esq.
Tim Dexter, Building Inspector
John Clarke, City Planner

City of Beacon Planning Board
5/8/2018

Title:

134 Main Street

Subject:

Preliminary discussion of proposal, "Two Bank Square", Office/Residential, 134 Main Street, submitted by The Lindley Todd, LLC

Background:

ATTACHMENTS:

Description

Two Bank Square Presentation

Planner Review Letter

Type

Backup Material

Consultant Comment

TWO BANK SQUARE, BEACON NY CONCEPT DESIGN STUDY

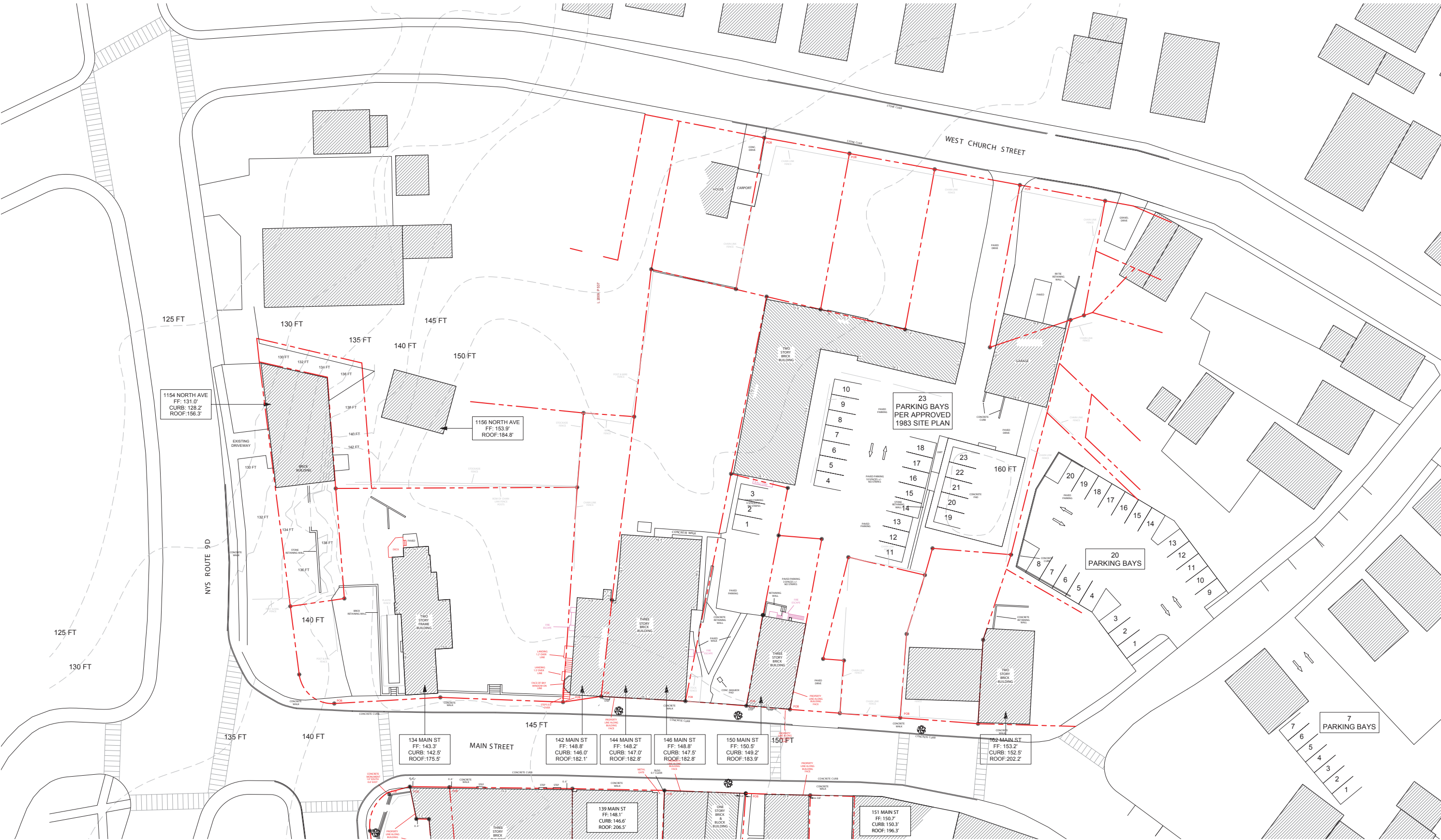
APRIL 24, 2018

TWO BANK SQUARE Aerial

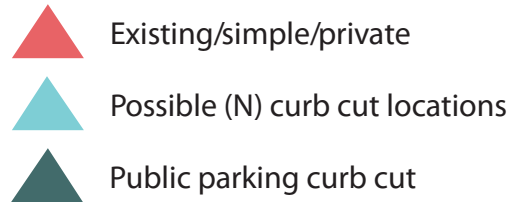


TWO BANK SQUARE

Existing Condition



Proposed Condition

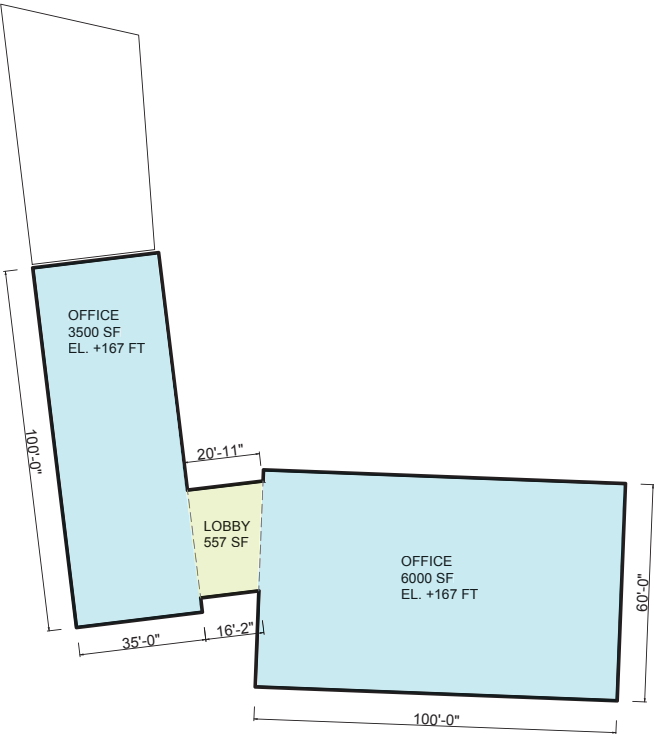


The site plan illustrates a proposed development along Main Street, bounded by 1154 North Ave to the north and 150 Main St to the south. The plan includes the following details:

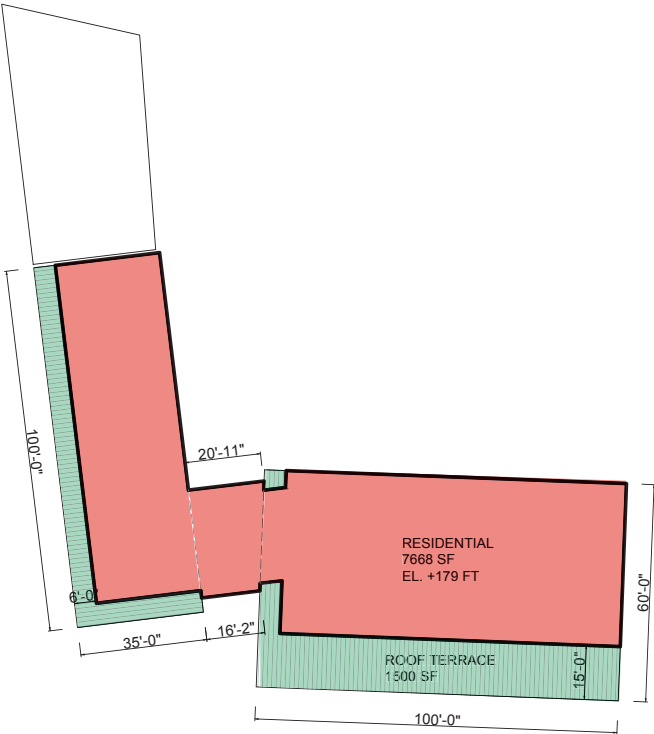
- Existing Buildings:**
 - Office building (1,975 SF) and Office building (3,500 SF, EL. +141 FT) along 1154 North Ave.
 - Office building (2,500 SF, EL. +141 FT) and Retail building (3,500 SF, EL. +141 FT) along 1156 North Ave.
 - Three-story brick building and Two-story brick building along 150 Main St.
- Proposed Buildings:**
 - Office building (2,500 SF, EL. +141 FT) and Retail building (3,500 SF, EL. +141 FT) along 1154 North Ave.
 - Three-story brick building and Two-story brick building along 150 Main St.
- Parking and Driveways:**
 - Paved parking areas with 10 spaces (4 ft wide) and 3 spaces (4 ft wide) are shown.
 - Driveways are indicated for the proposed buildings.
- Streets and Dimensions:**
 - 1154 North Ave: FF: 131.0', CURB: 128.2', ROOF: 156.3'
 - 1156 North Ave: FF: 153.9', ROOF: 184.8'
 - 142 Main St: FF: 148.8', CURB: 146.0', ROOF: 182.1'
 - 144 Main St: FF: 148.2', CURB: 147.0', ROOF: 182.8'
 - 146 Main St: FF: 148.8', CURB: 147.5', ROOF: 182.8'
 - 150 Main St: FF: 150.5', CURB: 149.2', ROOF: 183.9'
- Other Features:**
 - Concrete walkways, concrete curbs, and concrete retaining walls are shown.
 - Property lines and building footprints are clearly delineated.

TWO BANK SQUARE Blocking Plans

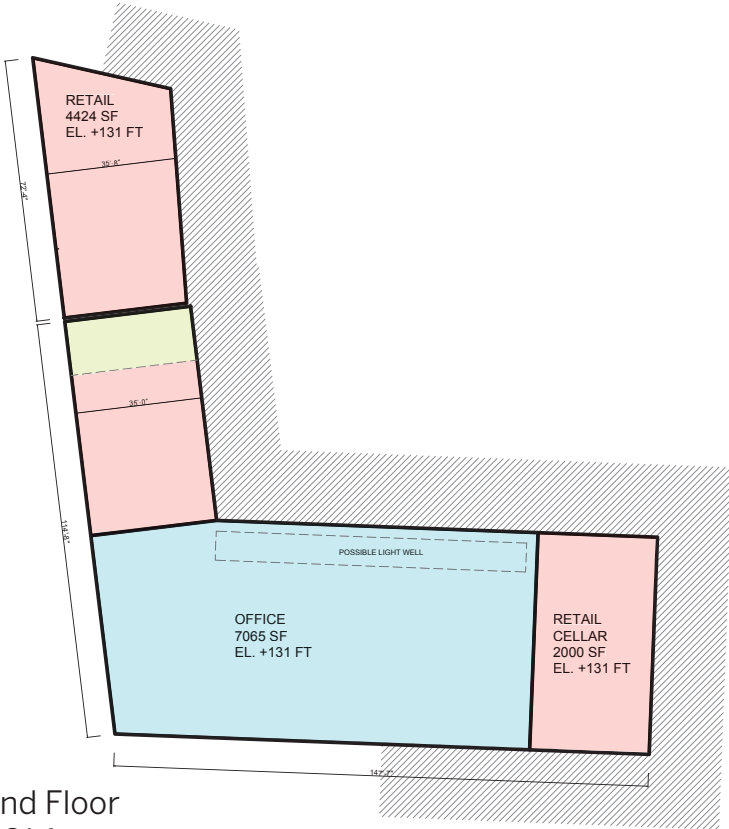
- Office
- Residential
- Retail
- Circulation
- Roof Terrace



Third Floor
El. +167 ft



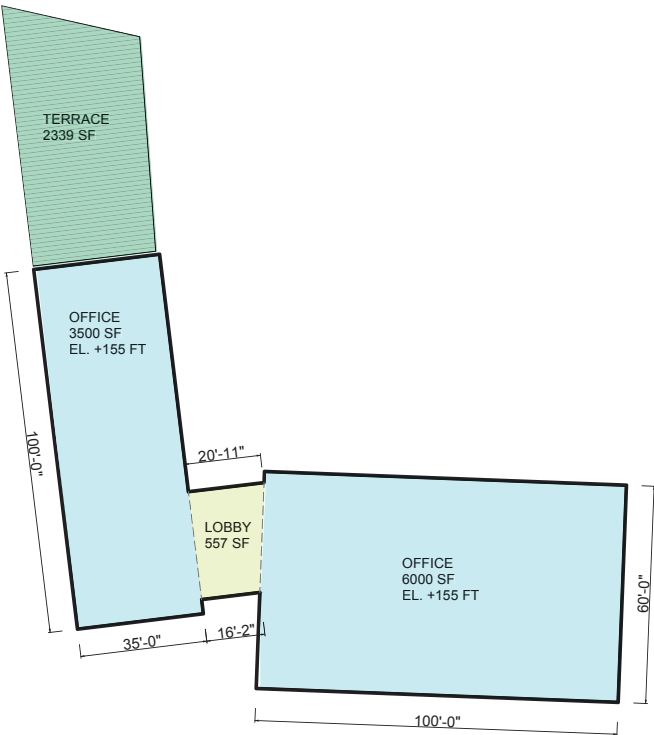
Fourth Floor
El. +179 ft



Ground Floor
El. +131 ft

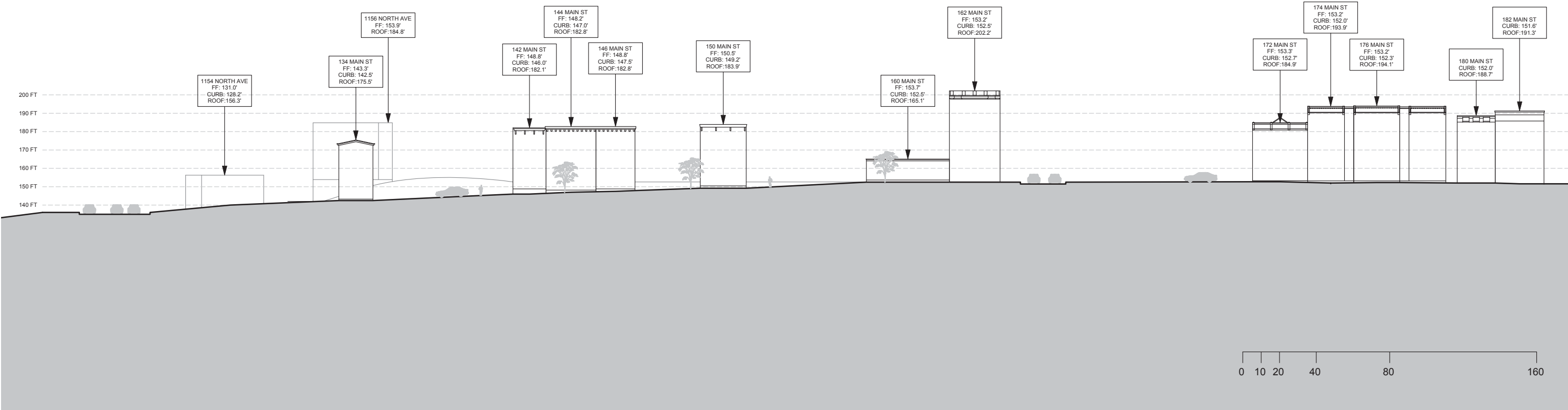
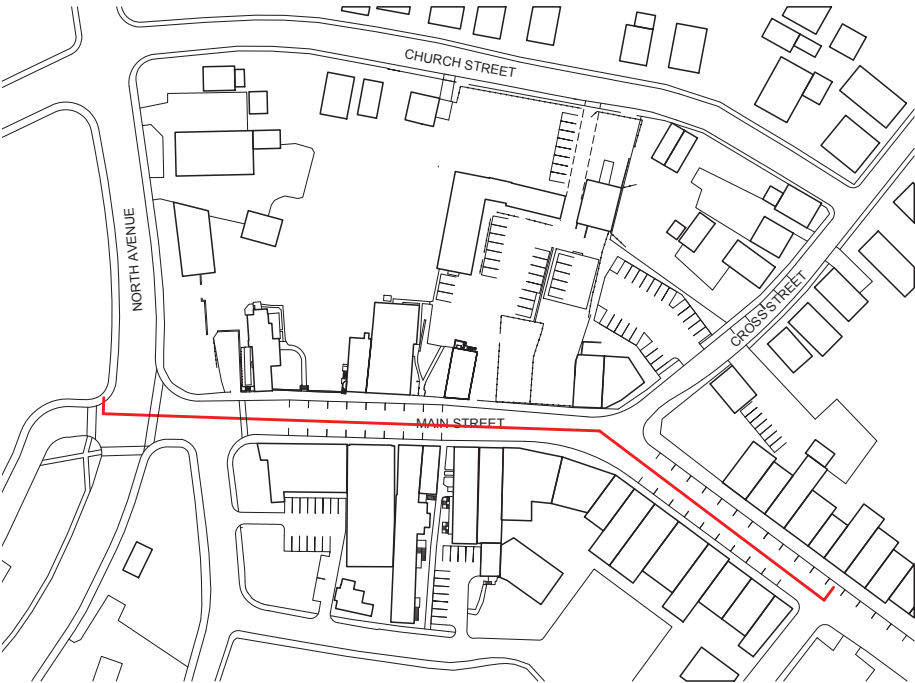


First Floor
El. +143 ft

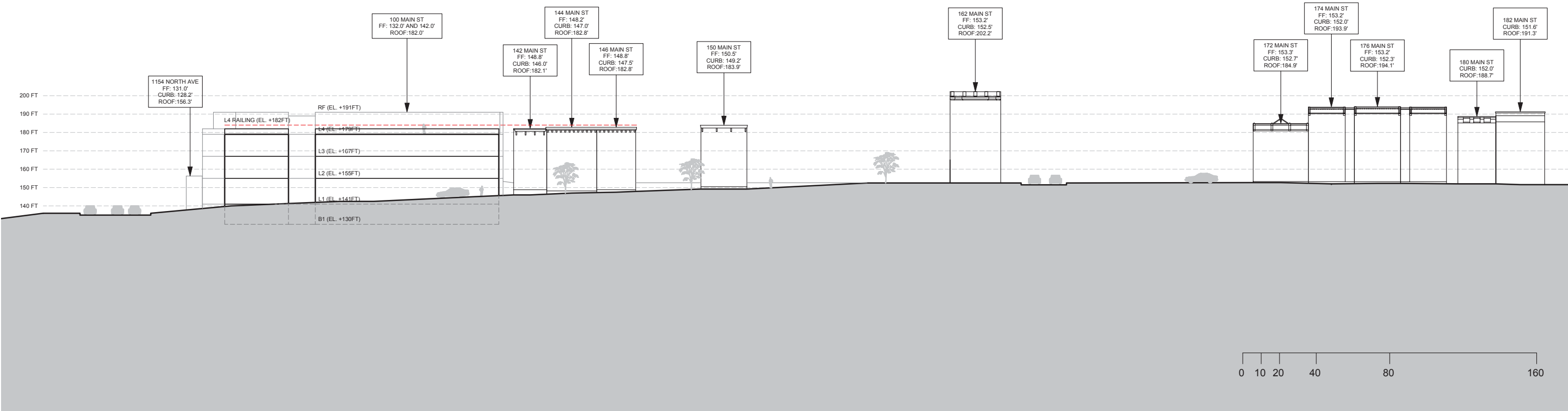
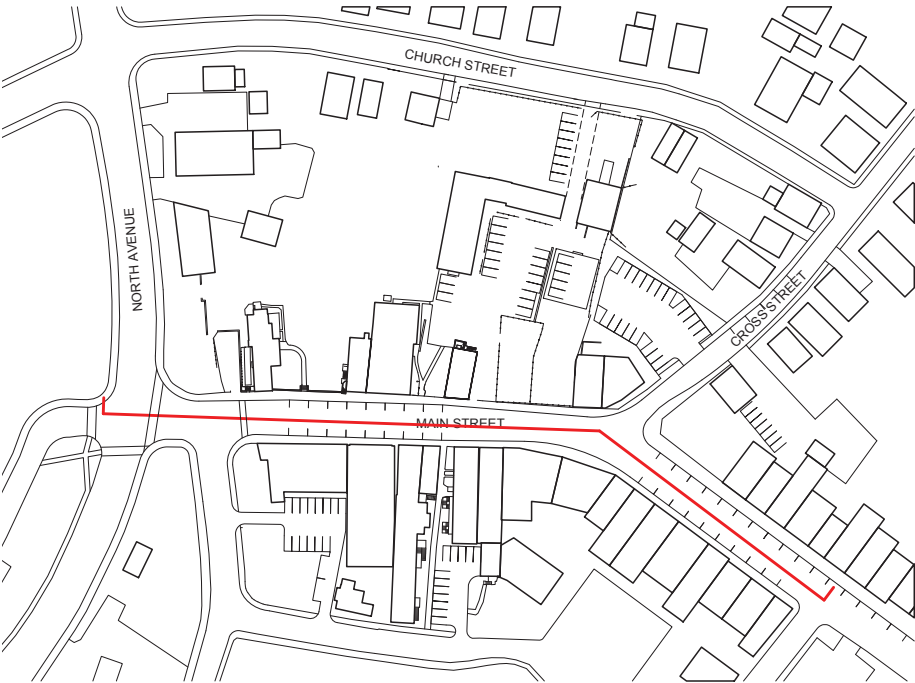


Second Floor
El. +155 ft

TWO BANK SQUARE Existing Elevation



TWO BANK SQUARE Proposed Elevation



TWO BANK SQUARE Proposed Elevation



View from North Avenue - Existing Condition



View from North Avenue

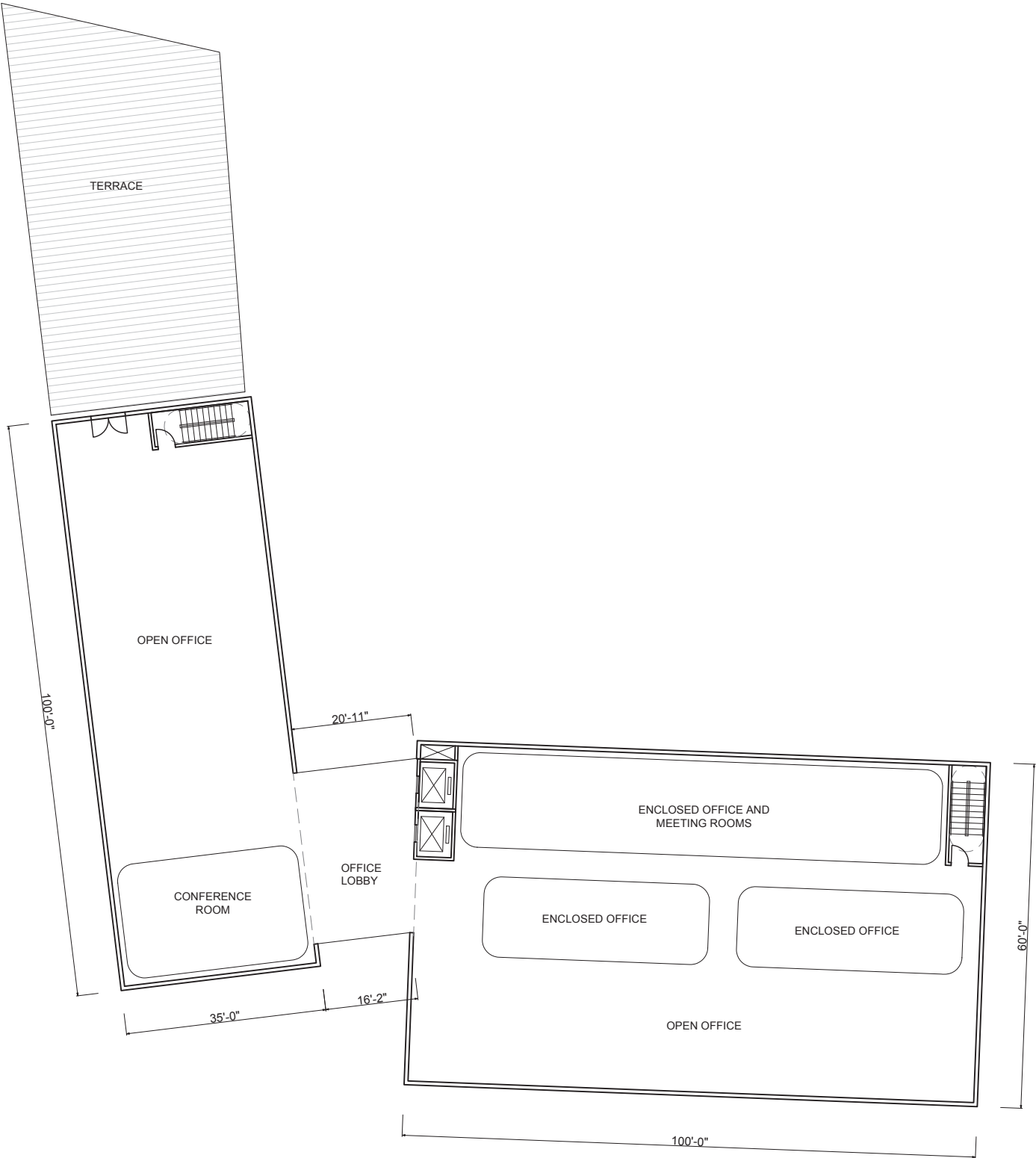


TWO BANK SQUARE, BEACON NY
CONCEPT DESIGN STUDY

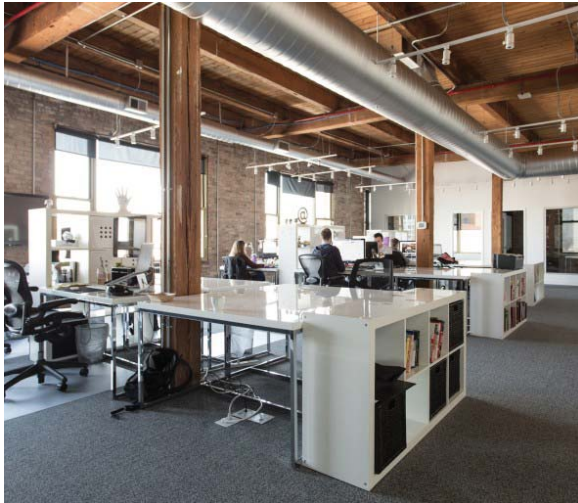
View from Main Street



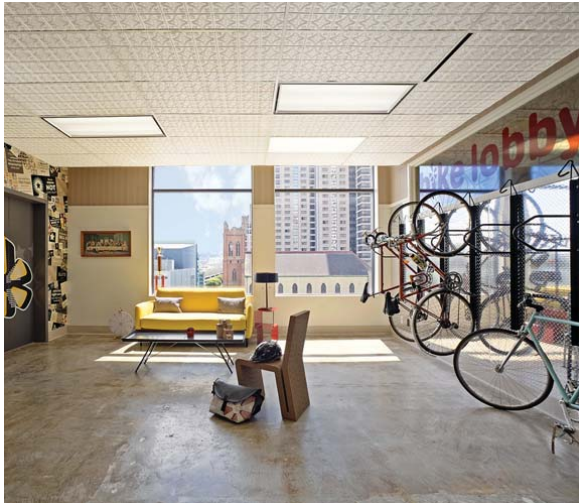
TWO BANK SQUARE Typical Office Floor Layout



TWO BANK SQUARE Loft Office References



TWO BANK SQUARE Tech Office References



TWO BANK SQUARE Roof Terrace References



TWO BANK SQUARE

SURVERY OF FIRST FLOOR, CURB, AND ROOF ELEVATIONS

SURVEY NOTES

1. Elevations shown hereon are referenced to NAVD 88 using NYSNET RTN GPS.



TEC Land
Surveying

15c TIORONDA AVE. Beacon, NY 12508
Ph: 845.445.6590 Fx: 845.445.6591

THOMAS E. CERCHIARA, P.L.S.
P.L.S. No. 50732

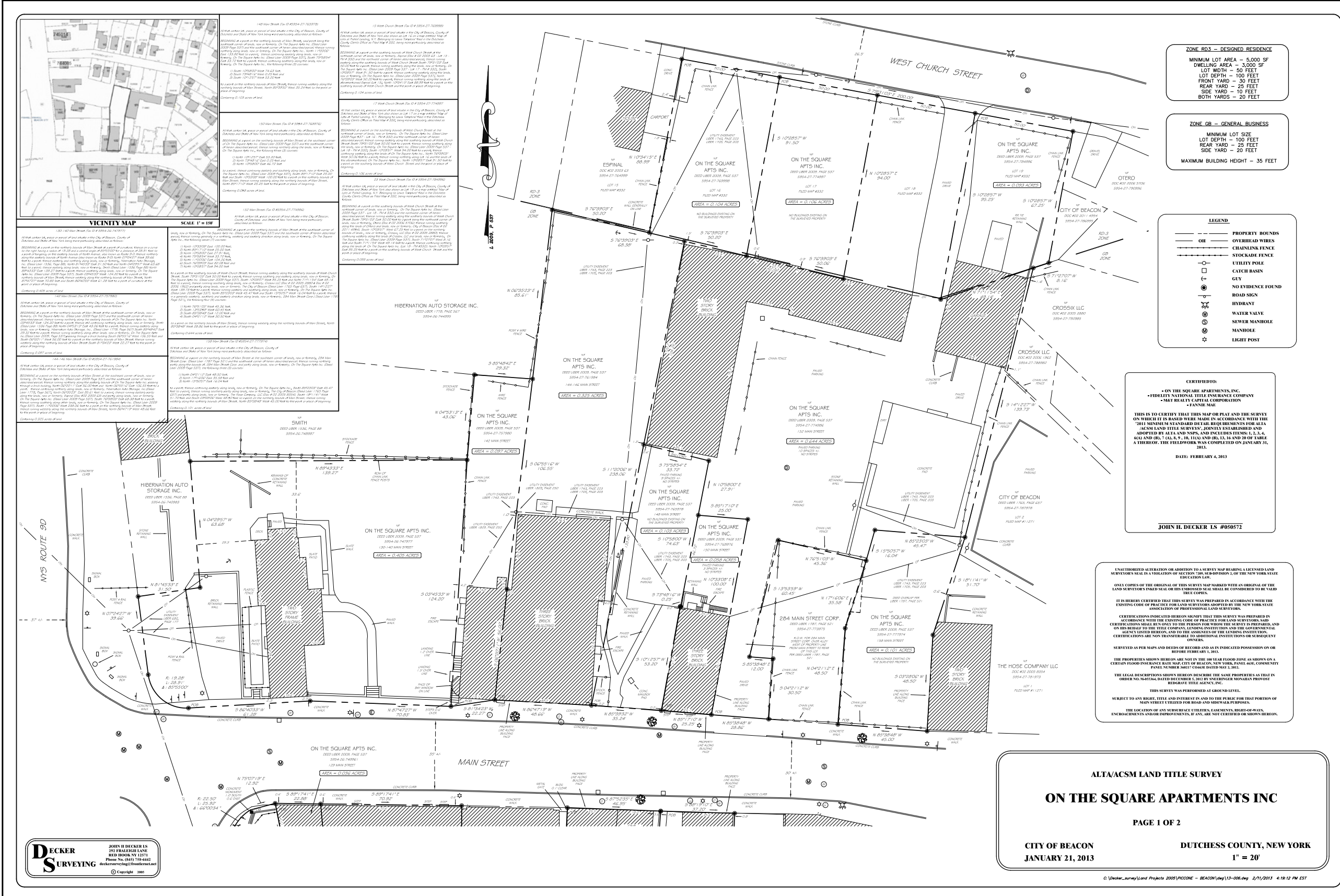
MAIN STREET BEACON ROOF TOPS

MAP SHOWING
ROOF AND FIRST FLOOR ELEVATIONS
OF MAIN STREET

CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id	N/A
address	Main Street
date	01/10/2018
drawn	JR
scale	1" = 60'
checked	TEC
project no.	17-132
project name	Main Street Beacon Roof Tops
sheet	1 OF 1

TWO BANK SQUARE SURVEY MAP INCLUDING PROPOSED SITE



To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **Two Bank Square Concept Plan**

I have reviewed the Concept Design Study, dated October 29, 2016, and appreciate the opportunity to give feedback on the conceptual plans early in the process. This is an exciting opportunity to fill a major gap in the streetscape and provide jobs and commercial activities at the base of Main Street.

Proposal

The applicant is proposing a new mixed-use building, including retail and office uses with a potential fourth floor for residential. The property is located at the corner of Main Street and Route 9D in the CB Zoning District.

Initial Comments

1. The City Council is considering eliminating the existing CB district and including this area in an expanded and updated Central Main Street (CMS) District. The applicant should be aware of how the draft zoning changes may affect the current proposal.
2. A fourth floor is not permitted in the CB district, but if rezoned to CMS, the fourth floor may be allowed by Special Permit.
3. This is a very prominent corner, adjacent to the Historic Overlay Zone and National Register Historic District, so architectural compatibility with the existing streetscape and historic district will be a major issue. Repetitive or bulky architecture should be avoided. If adopted, the CMS district has specific standards that will need to be incorporated into the design.
4. The existing building at 134 Main Street is not in the Historic Overlay District, but demolishing it will need some justification. The applicant should be prepared to address the history and viability of that building.
5. It is not clear from the First Floor Plan on page 6 if the existing sidewalk along the street is maintained. Any changes to the sidewalk would need to be ADA-compliant.
6. Parking is a continuing challenge along Main Street. Any application should include a complete parking count for all the proposed uses. Cross-easements may be necessary for separate parcels.
7. Having all or most of the vehicular access off West Church Street through a residential district will likely be a problem. Any parking areas adjacent to West Church Street should be designated for residential uses.

Page 2, May 2, 2018 Two Bank Square Memo

If you have any questions or need more information, please feel free to contact me.

John Clarke, Beacon City Planning Consultant

c: Tim Dexter, Building Inspector
 Jennifer L. Gray, Esq., City Attorney
 Arthur R. Tully, P.E., City Engineer
 John Russo, P.E., City Engineer

City of Beacon Planning Board
5/8/2018

Title:

Zoning Board of Appeals

Subject:

Zoning Board of Appeals – May Agenda

Background:

ATTACHMENTS:

Description
ZBA May Agenda

Type
Backup Material

CITY OF BEACON
ONE MUNICIPAL PLAZA - SUITE 1
BEACON, NEW YORK 12508

Phone (845) 838-5002 Fax (845) 838-5026

The Zoning Board of Appeals will meet on **Tuesday, May 15, 2018** in the Municipal Center courtroom, located at One Municipal Plaza, Beacon, New York. A training work session will take place at 7:00 PM and the regular meeting will begin immediately thereafter, but not later than 7:30 PM.

1. Application submitted by Coulter Young, 100 Rombout Avenue, Tax Grid No. 30-5954-35-772842-00, R1-5 Zoning District, seeking relief from Section 223-17(C) to construct a two-story rear addition with the following:
 - 1) Addition with 9.6 ft. and 7.67 ft. side yard setbacks (*10 ft. required*)
 - 2) New Bilco door enclosure with 3.33 ft. side yard setback (*10 ft. required*)
 - 3) Overall lot coverage of 27.9% (*20% maximum permitted*)

City of Beacon Planning Board
5/8/2018

Title:

17 Wilson Street

Subject:

17 Wilson Street – Consider request for a 90-day extension of Subdivision Approval

Background:

ATTACHMENTS:

Description

Wilson Street Request for Extension

Type

Cover Memo/Letter



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

April 24, 2018

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: 17 Wilson Street Subdivision
Tax ID 6054-24-469931 (± 1.73 acres)
City of Beacon, New York

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) respectfully requests that this project be placed on the next available agenda for consideration of granting a 90-day extension of conditional Final Approval. The project was granted final approval with certain conditions at the November 22, 2017 planning board meeting.

Along with the Applicant, we are currently addressing all conditions of approval and anticipate having them all addressed within the next 90 days.

We look forward to discussing the request with you and your Board members. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

Jon D. Bodendorf, P.E.
Principal

cc: Jon Moss, Applicant
Michael A. Bodendorf, P.E. (HLD File)

City of Beacon Planning Board
5/8/2018

Title:

300 - 310 South Avenue

Subject:

300-310 South Avenue – Consider request for 90 extension of Subdivision Approval

Background:

ATTACHMENTS:

Description

300-310 South Avenue Extension Request

Type

Cover Memo/Letter



300 Westage Business Center, Suite 380
Fishkill, New York 12524
T 845 896 2229
F 845 896 3672
cuddyfeder.com

Jennifer L. Van Tuyl
JVanTuyl@cuddyfeder.com

April 24, 2018

BY E-MAIL

Hon. James C. Sheers, Chairman
And Planning Board Members
City of Beacon Planning Board
City Hall
1 Municipal Square
Beacon, New York 12508

Re: Lee/Gowan lot line realignment: Request for a 90-day extension
Final Subdivision Plat Approval
Premises: 300 and 310 South Avenue, Beacon, New York

Dear Chairman Sheers and Planning Board Members:

I am writing to request a 90-day extension of the above Final Subdivision Plat approval. The approval was originally granted on December 13, 2016 and has been subsequently extended to June 9th, 2018. The Approval Resolution provided that 90-day extensions could be granted, without limitation as to number.

We have been informed by Mike Bodendorf that the plat is being submitted in the next day or so for final review and signature. Accordingly, a further extension should not be necessary.

However in the interest of caution, the applicant hereby requests an additional 90-day extension to insure that there is no lapse in the approval and ask that the matter be placed on the next available Planning Board agenda to consider this request, which would extend to September 7th, 2018 the date by which all items in Condition A of the Resolution of Approval must be certified as completed and the Final Subdivision Plat submitted for endorsement by the Planning Board Chair.



April 24, 2017
Page 2

If you should have any questions, please do not hesitate to contact me. Thank you in advance for your consideration in this matter.

Very truly yours,

A handwritten signature in blue ink, appearing to read "J. Van Tuyl".

Jennifer L. Van Tuyl

Enclosure

cc: Jennifer Gray, Esq., Attorney to the Planning Board
John Russo, P.E.
John Clarke, Planner
Michael A. Bodendorf, P.E., Hudson Land Design
Thomas E. Cerchiara, P.L.S., TEC Land Surveying
Kenneth M. Stenger, Esq.
Ken Jurist, Esq.

City of Beacon Planning Board
5/8/2018

Title:

183 Main Street

Subject:

Certificate of Appropriateness – 183 Main Street; change façade colors

Background:

ATTACHMENTS:

Description

183 Main Street Elevations

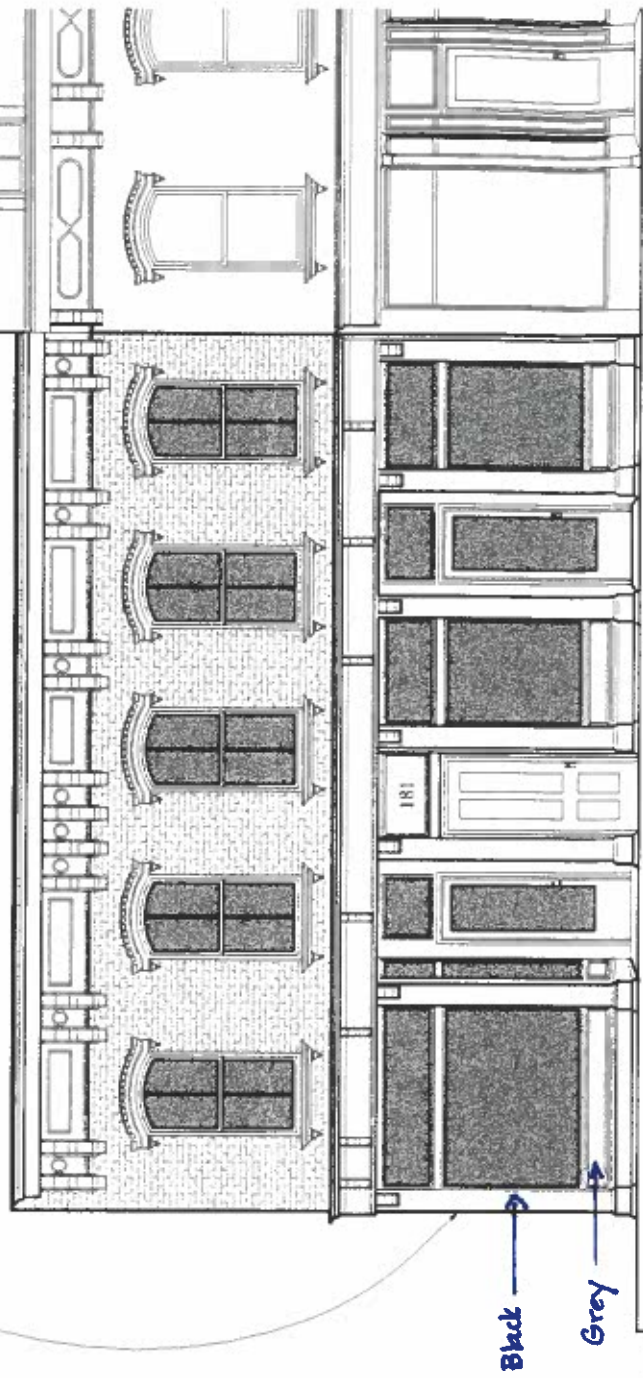
183 Main Street Application

Type

Backup Material

Application

PROPOSED FACADE SHOWN FOR
INFORMATION ONLY PER
PREVIOUSLY ISSUED CERTIFICATE
OF APPROPRIATENESS. NO
ADDITIONAL WORK PROPOSED



Elevation: 181 - 183 Main Street

Scale: $\frac{1}{8}" = 1'-0"$

INSTALL 36" WIDE GATE IN

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: March 27, 2018

Project Address: 183 Main Street

Project Architect/Engineer: Laurie Riehle

Owner/Builder: Same

Contact Phone No.: 838-2020

Approval Requested: ☒ Certificate of Appropriateness ☐ New Single Family House

Color/Materials: Change facade color

Siding: Black to replace brown

Roofing: N/A

Windows: Color: _____ Type: _____

Trim: Gray (lower pockets)

Garage Door: _____

Stone/Brick: _____



Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied

(Date)

Plan Approved

(Date)

Subject to the following:

FEE: \$100.00

City of Beacon Planning Board
5/8/2018

Title:

177 Main Street

Subject:

Certificate of Appropriateness – 177 Main Street; change brick siding (on addition)

Background:

ATTACHMENTS:

Description

177 Main Street Application

177 Main Street Elevations

Type

Application

Backup Material

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: April 2, 2018

Project Address: 177 Main Street

Project Architect/Engineer: Aryeh Siegel Architect

Owner/Builder: Frog Leap, Inc.

Approval Requested: ☒ Certificate of Appropriateness ☐ New Single Family House

Color/Materials:

Siding: Change brick siding at addition to Hardie Board

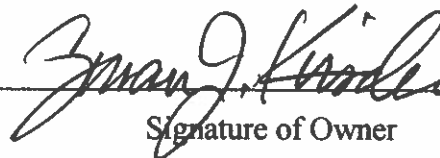
Roofing: N/A

Windows: Color: N/A Type: N/A

Trim: N/A

Garage Door: N/A

Stone/Brick: N/A


Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied _____
(Date)

Plan Approved _____
(Date)

Subject to the following:

FEE: \$100.00

City of Beacon Planning Board
5/8/2018

Title:

Maple Street

Subject:

Single Family House – Maple Street

Background:

ATTACHMENTS:

Description

Maple Street Application

Maple Street Elevations

Maple Street Location Map

Type

Application

Backup Material

Backup Material

ARCHITECTURAL REVIEW BOARD APPLICATION

6055-77-054013

Date: 4/24/18

Project Address: MAPLE STREET BEACON

Project Architect/Engineer: BAR DOWN STUDIO

Owner/Builder: 1198 North, LLC LOUISE JULIER

Contact Phone No.: 646 647 9587

Approval Requested: ☐ Certificate of Appropriateness ☒ New Single Family House

Color/Materials:

Siding: HARDIE BATTEN BOARD ARTIC WHITE

Roofing: METAL SALES 5V CRIMP CHARCOAL

Windows: Color: BLACK Type: DOUBLE HUNG

Trim: ARTIC WHITE

Garage Door: NONE

Stone/Brick: NONE

Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied _____
(Date)

Plan Approved _____
(Date)

Subject to the following:

FEE: \$100.00

ELEVATION NOTES

- ROOF FINISH MATERIAL:
• 5V CRIMP METAL ROOF,
CHARCOAL GREY
- EXTERIOR WALL MATERIAL:
• HARDIE BOARD AND BATTEN
SIDING, ARCTIC WHITE
- WINDOWS AND EXTERIOR DOORS:
• EXTERIOR MATTE BLACK
VINYL CLAD
- BARN DOOR:
• ARCTIC WHITE WITH MATTE
BLACK METAL TRIM AND
HARDWARE

Consultant

LOUISE JULIER
MAPLE STREET
BEACON, NY

Project Title

4/24/2018 2:12:40 PM
PROGRESS PRINT NOT
FOR CONSTRUCTION

#	Date	Revision	By
1			
2			
3			
4			

Drawn By: HF
Checked By: DBH
BDS Proj. #: 18-02
Date: 4/17/2018

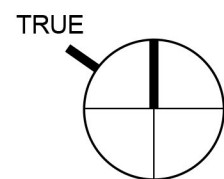
Sheet Title

EXTERIOR
ELEVATIONS

Sheet No.

A3.0

ISSUE FOR ARB REVIEW



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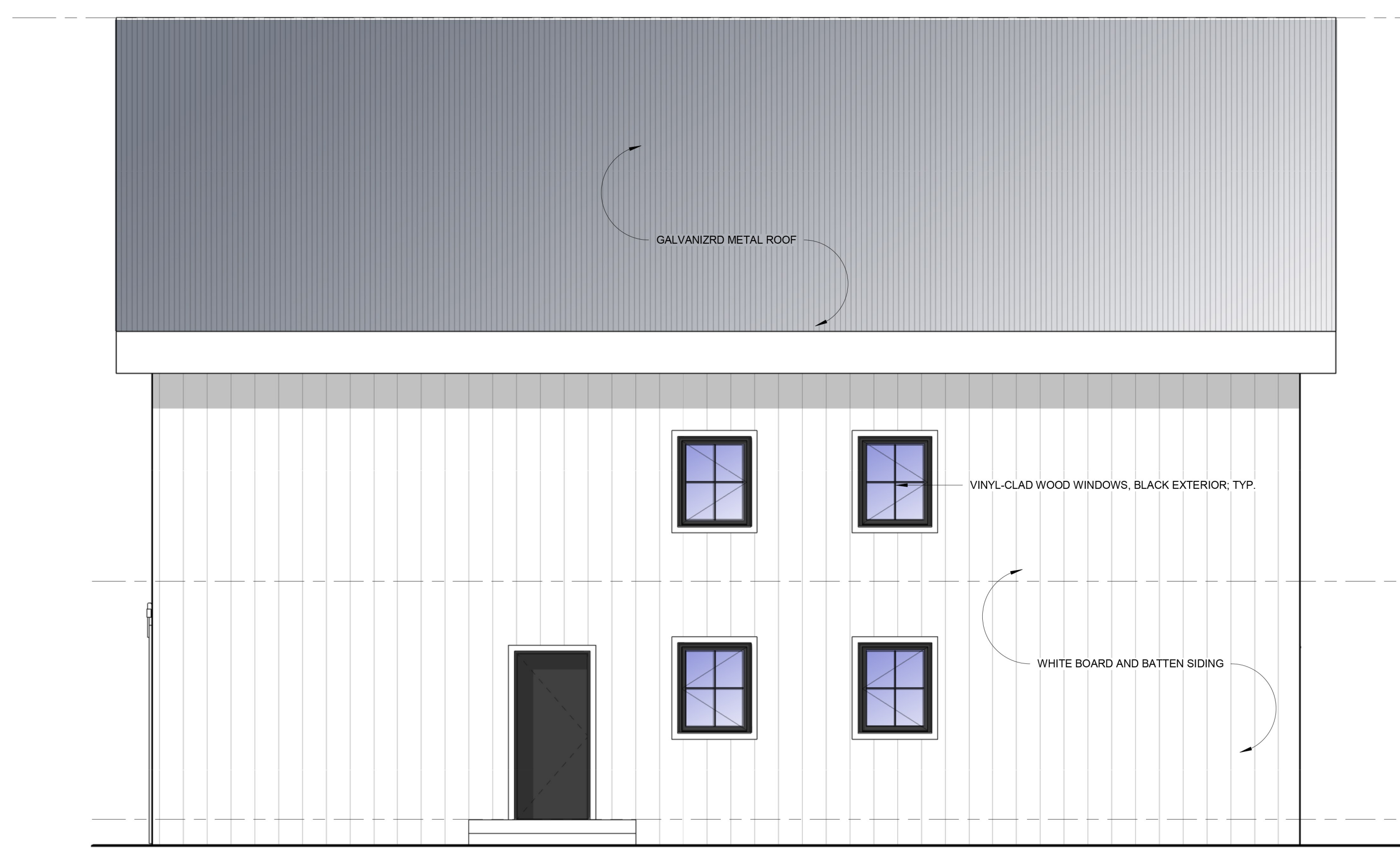
2 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



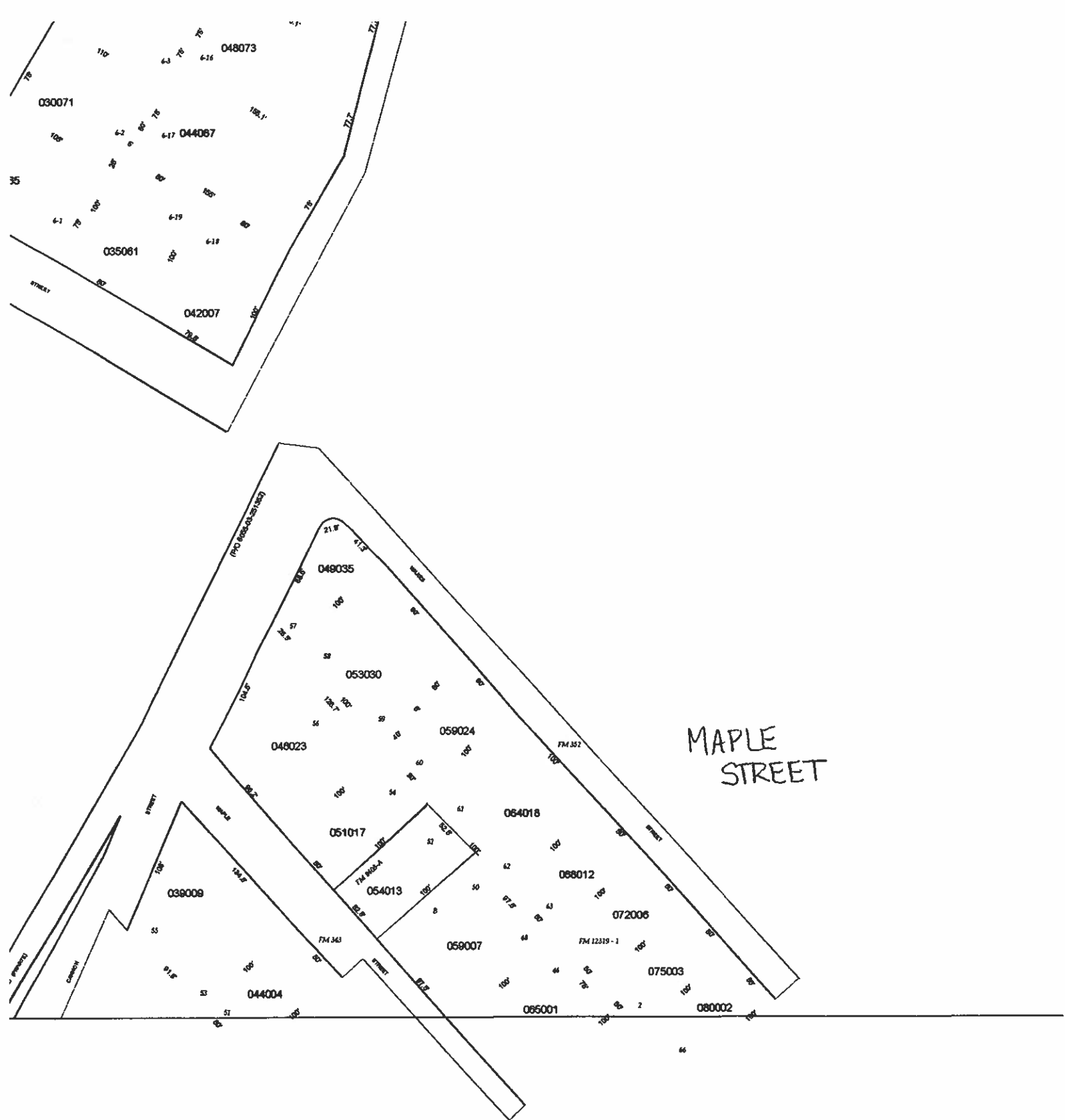
4 EAST ELEVATION

SCALE: 1/4" = 1'-0"



3 WEST ELEVATION

SCALE: 1/4" = 1'-0"



SPECIAL DISTRICTS

LEGEND

Side Name District Code Name School 130200 Beacon City SD	SPECIAL DISTRICTS AMBULANCE ---A--- PARK ---P--- DRAINAGE ---D--- ROAD ---R--- FIRE ---F--- SEWER ---S--- HYDRANT ---H--- SCHOOL ---SCH--- LIBRARY ---LB--- WATER ---W--- LIGHT ---L---	LEGEND PROPERTY LINE MUNICIPAL BOUNDARY ROAD OR RAILROAD ROW EASEMENT ROW DATUM LINE (MAPSHEET LINE) WATER	TAX MAP PARCEL NUMBER 500900 ACREAGE (FROM DEED) 10 Ac (d) ACREAGE (CALCULATED) 10 Ac (c) ACREAGE (FROM SURVEY) 10 Ac (s) DIMENSION (DEED OR SURVEY) 10 S DIMENSION (SCALED) 88 0 (S) STREET OR TOWN ROAD BY NAME	U S HIGHWAY INTERSTATE HIGHWAY NEW YORK STATE HWY COUNTY HIGHWAY LAND HOOK F.M. 0000 FILED MAP NUMBER
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