

*BEACON PLANNING BOARD
One Municipal Plaza - Courtroom
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026*

The Planning Board will meet on **Tuesday, April 10, 2018** in the Municipal Center Courtroom. A work session will take place at 7:00 PM for a training workshop, discussion of agenda items and/or topics of interest to the Planning Board. The regular meeting will begin immediately thereafter, but not later than 7:30 p.m.

- **Regular Meeting**

1. Edgewater
Public hearing on application for Site Plan Approval, 7 residential buildings - 307 units, "Edgewater" submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place (*was adjourned to April 10, 2018; and further adjourned to May 8, 2018 pending City Council action*)
2. Townsend Street
Continue public hearing on the application for Subdivision Approval, 13-lot residential, 25 Townsend Street, submitted by AK Property Holding, LLC
3. Washington Avenue - Fairview Subdivision
Continue review of application for Subdivision Approval and Lot Line Realignment, 2 residential lots into 3 residential lots, submitted by Lori Joseph Builders, Inc. & Rina Shuman, 446 Washington Avenue
4. 1181 North Avenue
Continue review of applications for Special Use Permit and Subdivision Approval, professional building expansion, 1181 North Avenue, submitted by Norm Schofield
5. St. Lukes - Wolcott Avenue
Review applications for Subdivision Approval, Site Plan Approval, and Special Use Permit Approval, private school (Hudson Hills Academy), 850 Wolcott Avenue, submitted by St. Luke's Episcopal Church

- **Miscellaneous Business**

1. Zoning Board of Appeals
Zoning Board of Appeals – April Agenda
2. 130 South Avenue - Roseneth Lot #2
Review building setback change for Lot #2 of Roseneth Estates Subdivision, 130 South Avenue, submitted by Hudson Land Design
3. West End Lofts - Wolcott Avenue
Review of West End Lofts retaining wall and public pathway signage
4. Review Local Law
City Council request to review proposed Local law to amend Chapter 223 concerning calculation of Lot Area per Dwelling Unit – R1, RD, and FCDD Districts

- **Architectural Review**

1. 183 Main Street
Certificate of Appropriateness – 183 Main Street; change façade colors
2. Wilson Street
Single Family House – 17 Wilson Street

City of Beacon Planning Board
4/10/2018

Title:

Edgewater

Subject:

Public hearing on application for Site Plan Approval, 7 residential buildings - 307 units, "Edgewater" submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place *(was adjourned to April 10, 2018; and further adjourned to May 8, 2018 pending City Council action)*

Background:

ATTACHMENTS:

Description	Type
Edgewater Request for Adjournment	Cover Memo/Letter



300 Westage Business Center, Suite 380
Fishkill, New York 12524
T 845 896 2229
F 845 896 3672
cuddyfeder.com

tpalmer@cuddyfeder.com

**VIA FEDERAL EXPRESS
AND E-MAIL**

March 27, 2018

Chairman John Gunn
and Members of the Planning Board
City Hall
One Municipal Plaza
Beacon, New York 12508

Re: Edgewater – Request for Adjournment from Planning Board Agenda
Premises: 22 Edgewater Place, Beacon, New York

Dear Chairman Gunn and Members of the Planning Board:

On behalf of Scenic Beacon Developments, LLC, (the “Applicant”), we respectfully request that this matter be adjourned from the Planning Board’s meeting Agenda, which is scheduled for April 10, 2018, and that it be placed on the Planning Board’s May 8th meeting Agenda for the continued Site Plan Public Hearing.

As this Board is aware, the Beacon City Council has scheduled a Public Hearing for the Applicant’s Special Permit application regarding the multi-family component of the proposed development, which Special Permit Public Hearing is scheduled to be before the City Council at its April 16, 2018 meeting.¹

Thank you for your consideration in this matter.

Very truly yours,

A handwritten signature in black ink, appearing to read "Taylor M. Palmer", is written over a horizontal line.

Taylor M. Palmer

cc: Etha Grogan, Planning Board and Zoning Board Secretary
Lt. Timothy P. Dexter, Building Inspector
Jennifer L. Gray, Esq., Planning Board Attorney

¹ Note: The Applicant submitted its complete Special Permit Application to the Planning Board as agent for the City Council on January 30th, and last appeared at the Planning Board’s February 14th meeting Agenda at which time the Site Plan Public Hearing was adjourned until the Planning Board’s April 10th meeting Agenda. Provided the Planning Board’s February 20th Report to the City Council, the Applicant has appeared at the City Council’s March 12th and March 26th Work Sessions regarding the Special Permit Application. The Applicant will appear again at the City Council’s April 9th Work Session in advance of the April 16th Public Hearing.

City of Beacon Planning Board
4/10/2018

Title:

Townsend Street

Subject:

Continue public hearing on the application for Subdivision Approval, 13-lot residential, 25 Townsend Street, submitted by AK Property Holding, LLC

Background:

ATTACHMENTS:

Description	Type
Townsend Cover Letter	Cover Memo/Letter
Townsend Sheet 1 Existing Conditions	Plans
Townsend Sheet 2 Subdivision Plat	Plans
Townsend Sheet 3 Utility Plan	Plans
Townsend Sheet 4 Profiles	Plans
Townsend Sheet 5 Erosion & Sediment Control	Plans
Townsend Sheet 6 Details	Plans
Townsend Sheet 7 Details	Plans
Townsend Sheet 8 Details	Plans
Townsend Sediment Trap	Backup Material
Planner Review Letter	Consultant Comment
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

March 27, 2018

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: 25 Townsend Street Subdivision
Tax ID 6055-03-383149 (±5.0 acres)
City of Beacon, New York

Dear Chairman Gunn and Members of the Planning Board:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has enclosed five (5) revised plan sets, and one (1) electronic version of the full plan set (along with this response letter) based on comments received from the Planning Board and its consultants. We offer the following responses to each comment from your consultants:

Lanc & Tully letter dated March 8, 2018

1. A final SWPPP will be provided with the final subdivision plans. Because we are considering this a redevelopment project, we are adding another hydrodynamic device near Townsend Street to meet the redevelopment requirements for water quality per the NYSDEC design manual.
2. The test results of the soil testing that was performed on August 23, 2017 will be made part of the final SWPPP.
3. Comment noted – plans and a report are being submitted to the Health Department in advance of the next Planning Board meeting.
4. Comment noted – the client's attorney will work with the City's attorney regarding all required legal agreements related to the project.
5. Metes and bounds of the lots, easements and road right-of-way will be provided on the final subdivision plans.
6. Comment noted – the client's attorney will work with the City's attorney regarding all required legal agreements related to the project.

7. Additional grading has been provided in the rear of Lots 1 through 8 to assure that stormwater runoff is directed away from the proposed dwellings.
8. The locations of all roof leader and footing drain discharge points are now shown on the plans.
9. The size of the water main is called out on the plan (8" DIP), and the profile has been updated to show the proposed water main.
10. Stationing is now provided to allow for correlation of grading and utilities shown on the profiles.
11. The road profile has been extended as requested using GIS 5' contour intervals. Based on the new profile, we do not believe the design should change, as it appears that the road grade will not exceed what is already shown. Please note that the 11.7% grade is an existing condition that the road extension has to tie into.
12. Site specific note 13 has been added to the plans to address the cross-lot grading.
13. Based on field meeting with your office on March 23, 2018, we are now showing all the large evergreens that exist along the southeaster property line and adjacent to the Giavatto residence as to be removed per their request at the March Planning Board meeting. Additional screening is now shown in this area. A planting plan for the central island of the proposed road will be provided on the final subdivision plan. We expect that the planting plan and layout will mimic what was done for the Victor Road extension.
14. The "Local Street Cross-Section Detail" has been revised to reflect the use of NYSDOT Item No. 304.12. If an alternate detail is available for the desired road/sidewalk layout, we will add it to the plans.
15. Grading for the diversion berm around the north side of the subdivision is now shown on the plans.
16. Sizing information for the temporary sediment trap is attached and a construction detail is now included on the plans.

John Clarke Planning and Design Memo dated March 8, 2018

1. Comment noted – see responses below:
 - All metes and bounds information will be provided on the final subdivision plat. All proposed setback dimensions are depicted for each lot.
 - All existing major trees are shown on the plat, including those to be removed.
 - A planting plan for the central island of the proposed road will be provided on the final subdivision plan. We expect that the planting plan and layout will mimic what was done for the Victor Road extension.
 - Street lighting will be provided on the final subdivision plan.
2. The driveways and house layouts have been revised so that the turnarounds are no longer located in front of the proposed houses.

3. Sidewalks are now shown on both sides of the road. Based on a field meeting with the City Engineer, we have shown where the sidewalk should terminate on the southeast side of the road and have added a proposed crosswalk in that location. Please note that the alternate road/sidewalk layout desired pushes the sidewalk outside of the required road right-of-way around the entire circular portion of the cul-de-sac.

We look forward to continuing our discussion regarding the design details of the proposed subdivision. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jon D. Bodendorf', written in a cursive style.

Jon D. Bodendorf, P.E.
Principal

cc: Alla Bares
Taylor M. Palmer, Esq.
Michael A. Bodendorf, P.E. (HLD File)

PROJECT INFORMATION:	
PARCEL OWNER:	AK PROPERTY HOLDING LLC, 730 COLUMBUS AVE - APT 3D NY, NY 10025
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	25 TOWNSEND STREET, BEACON NY
TAX PARCEL ID:	6055-03-383149
PARCEL AREA:	±5.0-ACRES
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

MAP REFERENCES:

- EXISTING FEATURES AS SHOWN ON THIS PLAN PER MAP ENTITLED "SURVEY OF PROPERTY PREPARED FOR ALLA BARES", DATED 7-7-15, AND PREPARED BY THOMAS E. CERCHIARA, L.S.
- OFF-SITE 5' CONTOURS AND ROAD EDGE DATA PER AVAILABLE GIS DATA.

DEMOLITION NOTE:

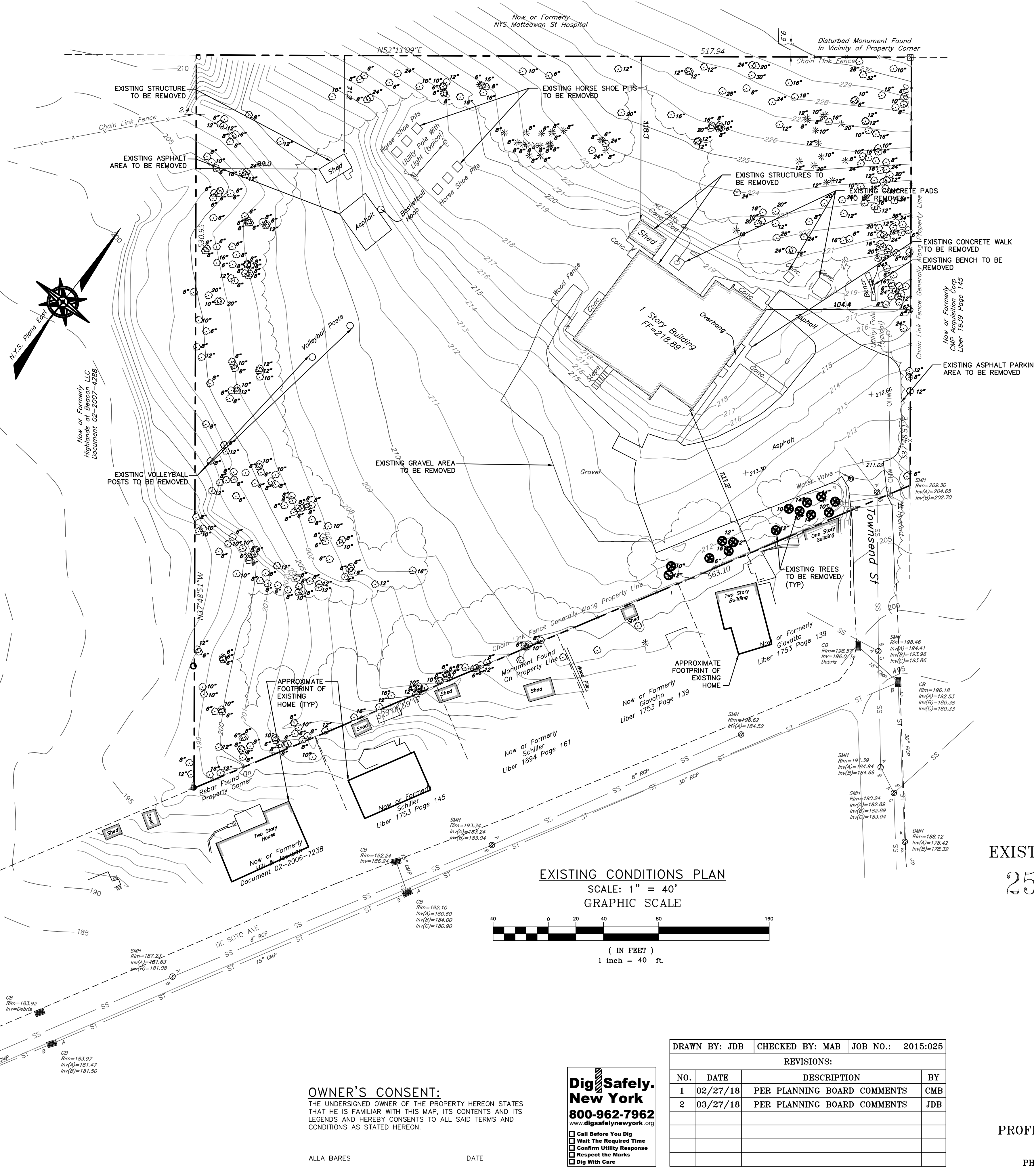
- EXISTING STRUCTURES TO BE REMOVED AS PART OF INITIAL CLEARING AND GRUBBING ACTIVITIES.

SITE CLEARING NOTES:

- SITE SHALL OCCUR BETWEEN OCTOBER 1ST THROUGH MARCH 31ST IN ACCORDANCE WITH NYSDEC REGULATIONS.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ADJOINER LINE
- EXISTING TREE
- 30' --- EXISTING MAJOR CONTOUR
- --- EXISTING MINOR CONTOUR
- --- EXISTING OVERHEAD WIRE
- X --- EXISTING FENCE
- W --- EXISTING WATER MAIN
- WS --- WS --- EXISTING WATER SERVICE LINE
- --- EXISTING TREE LINE



SITE LOCATION MAP SCALE: 1" = 400'

ADJOINING OWNERS:

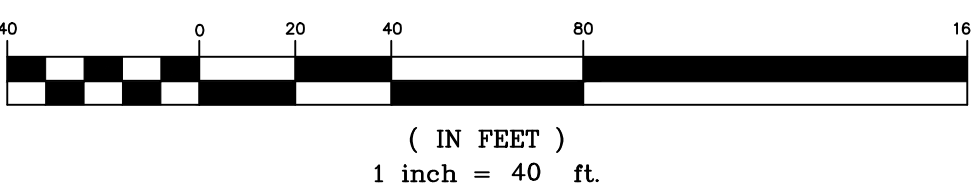
PARCEL	OWNER & MAILING ADDRESS
1:	NYS MATTEAWAN HOSPITAL, 36 DEER RUN, BEACON NY 12508
2:	CMP ACQUISITION CORP, 483 FISHKILL AVE, BEACON NY 12508
3:	NUNZIO GIAVATTO, 19 TOWNSEND STREET, BEACON NY 12508
4:	NUNZIO GIAVATTO, 19 TOWNSEND STREET, BEACON NY 12508
5:	DONALD & GIOVANNA SCHILLER, 35 DESOTO AVENUE, BEACON NY 12508
6:	DONALD & GIOVANNA SCHILLER, 35 DESOTO AVENUE, BEACON NY 12508
7:	CHRISTOPHER HILL & CHRISTINE JACKSON, 23 DESOTO AVENUE, BEACON NY 12508
8:	HIGHLANDS AT BEACON LLC, 2847 CHURCH STREET, PINE PLAINS NY 12567

REVISION NOTES:

- THIS PLAN SET HAS BEEN SUBMITTED TO THE PLANNING BOARD ON NOVEMBER 19, 2015 AND HAS BEEN REVISED ON MAY 31, 2016; MARCH 28, 2017; APRIL 24, 2017; JULY 25, 2017; AUGUST 29, 2017; NOVEMBER 28, 2017; AND FEBRUARY 27, 2018. IT IS NOTED ON THE PLANS AS REVISION DATE 1.

EXISTING CONDITIONS PLAN

SCALE: 1" = 40'
GRAPHIC SCALE



OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES _____ DATE _____

Dig Safely. New York
800-962-7962
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

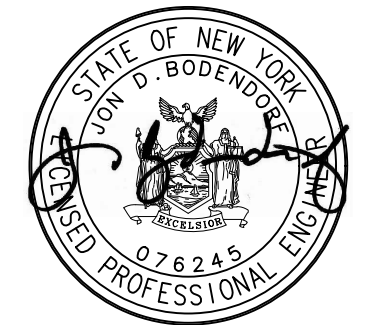
DRAWN BY:	JDB	CHECKED BY:	MAB	JOB NO.:	2015-025
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB		
2	03/27/18	PER PLANNING BOARD COMMENTS	JDB		

EXISTING CONDITIONS AND DEMO PLAN
25 TOWNSEND STREET

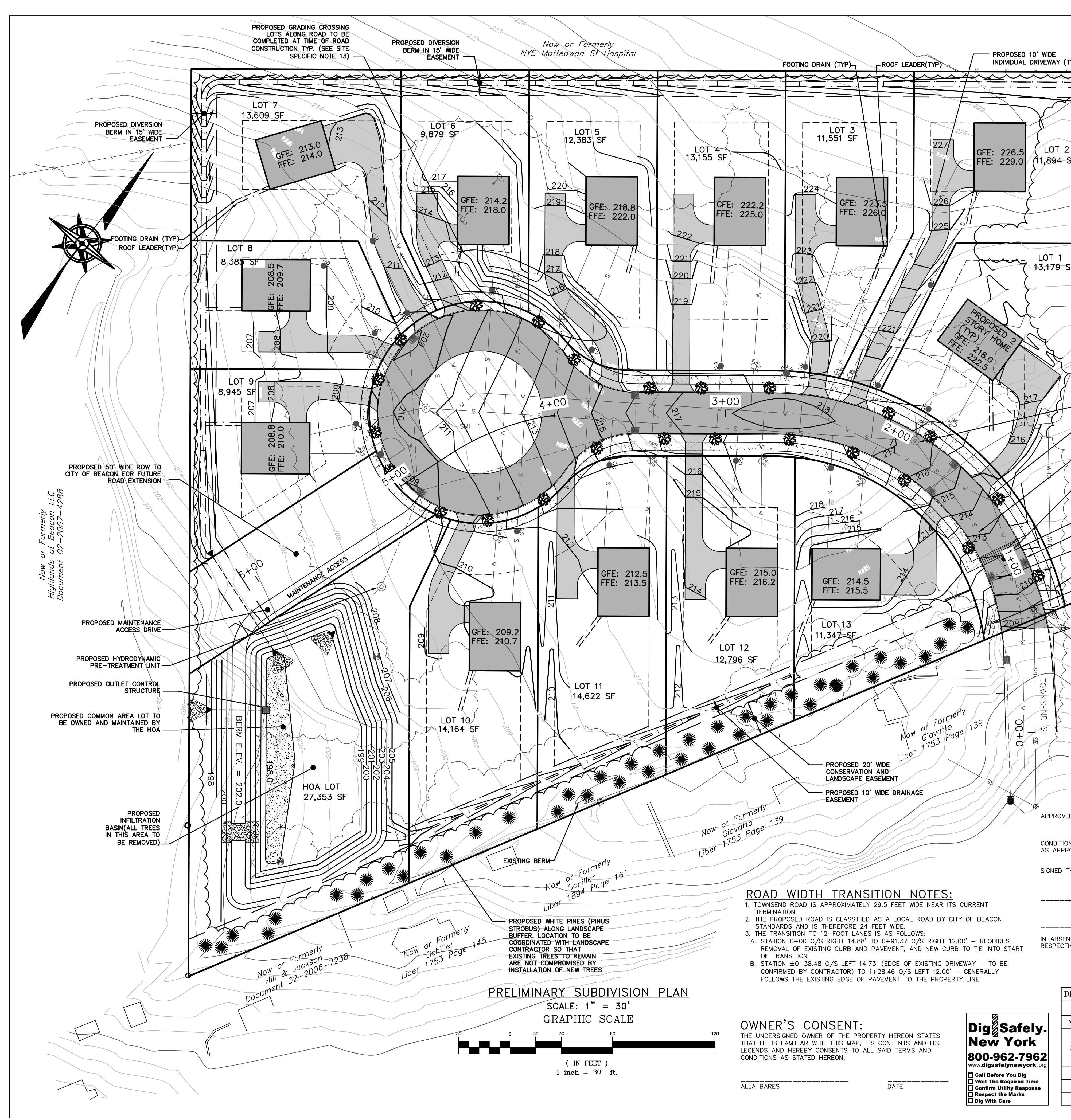
25 TOWNSEND STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6055-03-383149
SCALE: 1" = 40'
NOVEMBER 19, 2015



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOHLER, P.E.
NYS LICENSE NO. 082716



- SITE SPECIFIC NOTES:**
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
 - THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
 - THE PROPOSED LOTS SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
 - THE WATER SERVICE LINES AND METERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
 - THE WATER SERVICE LINES SHALL BE 1" K-COPPER.
 - THE SEWER SERVICE LINES SHALL BE 4" SDR 35 PVC PIPE WITH FITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/2" PER FOOT SHALL BE MAINTAINED).
 - A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE EXTENSION OF THE PROPOSED WATER AND SEWER MAINS TO SERVICE THE NEW LOTS. STREET CLOSURE FOR WATER AND SEWER CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
 - ROOF LEADER AND FOOTING DRAIN CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 0.5% MIN.
 - SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
 - A HOMEOWNER'S ASSOCIATION (HOA) WILL BE FORMED AND WILL OWN AND MAINTAIN THE HOA LOT, INCLUDING THE STORMWATER MANAGEMENT FACILITY AND ALL PIPES, SWALES AND STRUCTURES THAT CONVEY STORMWATER THROUGH THE SITE.
 - THE HOA WILL BE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF THE PLANTED ISLAND WITHIN THE CUL-DE-SAC.
 - ALL LOT CROSS GRADING SHALL BE COMPLETED AT THE TIME OF ROAD CONSTRUCTION, AND PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

- GENERAL CONSTRUCTION NOTES:**
- ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
 - THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962.
 - THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
 - PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATERTIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

- POST CONSTRUCTION NOTES:**
- UPON COMPLETION OF CONSTRUCTION OF THE STORMWATER FACILITIES, AS-BUILT DRAWINGS OF ALL STORMWATER PRACTICES AND AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON.

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6
LOT AREA:	7,500 SQUARE FEET MIN	13,179 SF	11,894 SF	11,551 SF	13,155 SF	12,383 SF	9,879 SF
LOT WIDTH:	75 FEET MINIMUM	103 FT	96 FT	75 FT	75 FT	75 FT	75 FT
LOT DEPTH:	100 FEET MINIMUM	131 FT	100 FT	179 FT	175 FT	170 FT	135 FT
YARD SETBACKS (RESIDENTIAL USE):							
FRONT YARD:	30 FEET MINIMUM	37 FT	30 FT	75 FT	73 FT	50 FT	34 FT
SIDE YARD:	*10 FEET MINIMUM	16 FT	30 FT	10 FT	12 FT	12 FT	12 FT
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	47 FT	65 FT	39 FT	45 FT	45 FT	45 FT
REAR YARD:	*30 FEET MINIMUM	32 FT	30 FT	62 FT	62 FT	62 FT	62 FT
BUILDING COVERAGE:	MAX 30%	9%	11%	10%	9%	9.6%	12%
DWELLING UNITS PER LOT:	MAX 1	1	1	1	1	1	1

PARAMETER	REQUIREMENT	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13
LOT AREA:	7,500 SQUARE FEET MIN	13,609 SF	8,385 SF	8,945 SF	14,164 SF	14,622 SF	12,796 SF	11,347 SF
LOT WIDTH:	75 FEET MINIMUM	104 FT	75 FT	83 FT	104 FT	75 FT	75 FT	100 FT
LOT DEPTH:	100 FEET MINIMUM	122 FT	123 FT	104 FT	195 FT	200 FT	170 FT	144 FT
YARD SETBACKS (RESIDENTIAL USE):								
FRONT YARD:	30 FEET MINIMUM	38 FT	50 FT	35 FT	46 FT	40 FT	54 FT	30 FT
SIDE YARD:	*10 FEET MINIMUM	30 FT	11 FT	10 FT	10 FT	10 FT	10 FT	10 FT
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	60 FT	45 FT	41 FT	45 FT	45 FT	45 FT	40 FT
REAR YARD:	*30 FEET MINIMUM	37 FT	30 FT	30 FT	93 FT	91 FT	61 FT	45 FT
BUILDING COVERAGE:	MAX 30%	8.8%	14%	13.4%	8.4%	8%	9%	10.5%
DWELLING UNITS PER LOT:	MAX 1	1	1	1	1	1	1	1

* 5' MINIMUM FOR ACCESSORY BUILDINGS

LEGEND

---	EXISTING PROPERTY LINE	30	PROPOSED MAJOR CONTOUR
---	PROPOSED PROPERTY LINE	28	PROPOSED MINOR CONTOUR
---	EXISTING ADJOINER LINE	S	PROPOSED SEWER MAIN
○	EXISTING TREE	○	PROPOSED SILT FENCE
---	EXISTING MAJOR CONTOUR	---	EXISTING OVERHEAD WIRE
---	EXISTING MINOR CONTOUR	x	EXISTING FENCE
---	EXISTING WATER MAIN	---	EXISTING DRAINAGE LINE
WS	EXISTING WATER SERVICE LINE	⊗	PROPOSED HYDRANT
---	PROPOSED WATER MAIN	⊗	PROPOSED SEWER MANHOLE
---	PROPOSED WATER SHUT-OFF VALVE	⊗	PROPOSED CATCH BASIN
---	PROPOSED ROOF LEADER	---	
---	PROPOSED FOOTING DRAIN	---	

ROAD WIDTH TRANSITION NOTES:

- TOWNSEND ROAD IS APPROXIMATELY 29.5 FEET WIDE NEAR ITS CURRENT TERMINATION.
- THE PROPOSED ROAD IS CLASSIFIED AS A LOCAL ROAD BY CITY OF BEACON STANDARDS AND IS THEREFORE 24 FEET WIDE.
- THE TRANSITION TO 12-FOOT LANES IS AS FOLLOWS:
 - STATION 0+00 O/S RIGHT 14.88' TO 0+91.37 O/S RIGHT 12.00' - REQUIRES REMOVAL OF EXISTING CURB AND PAVEMENT, AND NEW CURB TO TIE INTO START OF TRANSITION
 - STATION ±0+38.48 O/S LEFT 14.73' (EDGE OF EXISTING DRIVEWAY - TO BE CONFIRMED BY CONTRACTOR) TO 1+28.46 O/S LEFT 12.00' - GENERALLY FOLLOWS THE EXISTING EDGE OF PAVEMENT TO THE PROPERTY LINE

OWNER'S CONSENT:
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES _____ DATE _____

Dig Safely. New York
 800-962-7962
 www.digsafelynewyork.org

Call Before You Dig
 Wait The Required Time
 Confirm Utility Response
 Respect the Marks
 Dig With Care

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____ CHAIRMAN

_____ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

NO.	DATE	DESCRIPTION	BY
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB
2	03/27/18	PER PLANNING BOARD COMMENTS	CMB

PRELIMINARY SUBDIVISION PLAN
25 TOWNSEND STREET

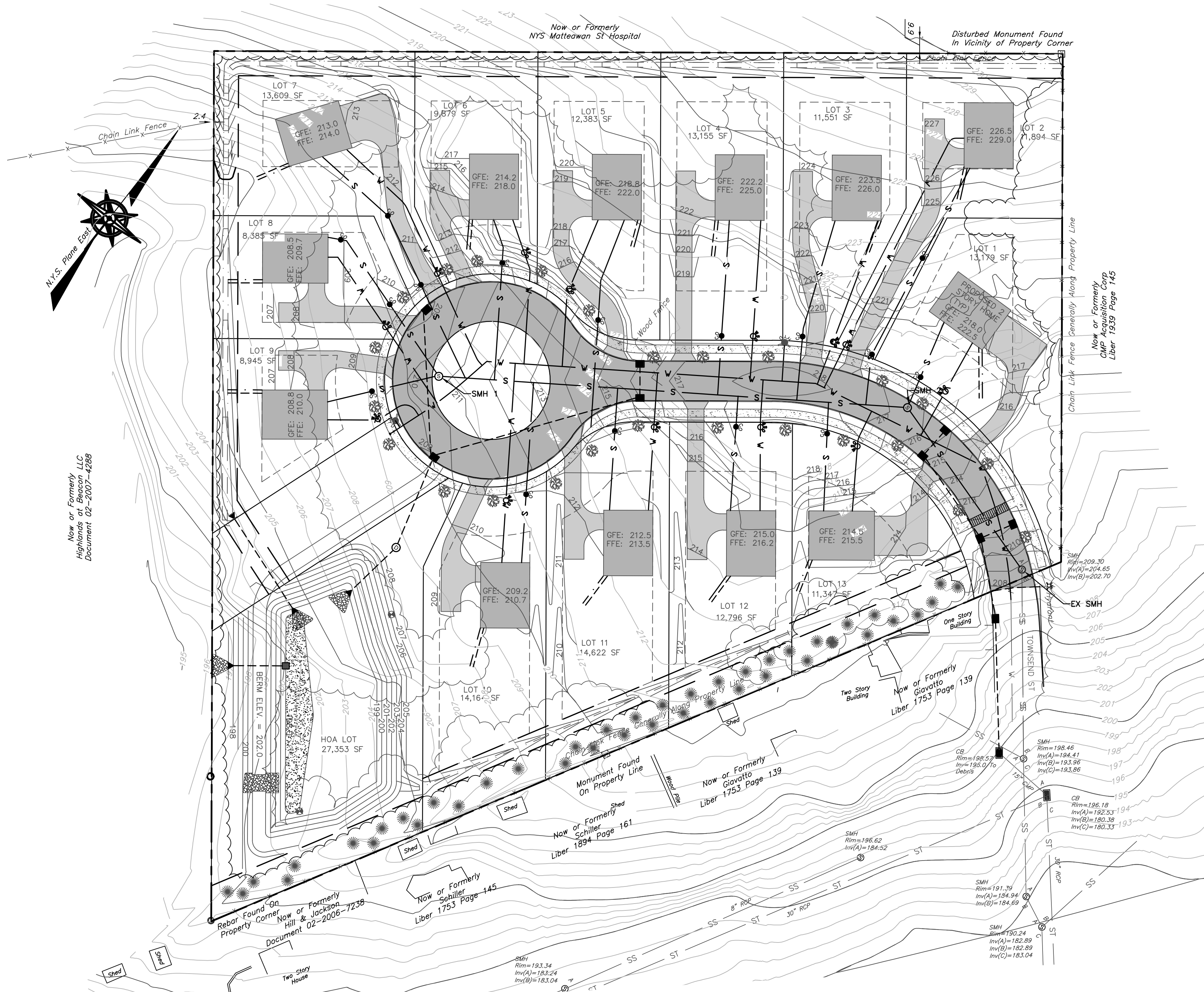
25 TOWNSEND STREET
 CITY OF BEACON
 DUTCHESS COUNTY, NEW YORK
 TAX ID: 6055-03-383149
 SCALE: 1" = 30'
 DECEMBER 7, 2015



HUDSON LAND DESIGN
 PROFESSIONAL ENGINEERING P.C.
 174 MAIN STREET
 BEACON, NEW YORK 12508
 PH: 845-440-6926 F: 845-440-6637



SEAL
 JON D. BODENDORF, P.E.
 NYS LICENSE NO. 076245
 DANIEL G. KOHLER, P.E.
 NYS LICENSE NO. 082716



LEGEND

	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	EXISTING ADJOINER LINE
	EXISTING TREE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SEWER MAIN
	PROPOSED SILT FENCE
	EXISTING OVERHEAD WIRE
	EXISTING FENCE
	EXISTING WATER MAIN
	EXISTING WATER SERVICE LINE
	PROPOSED DRAINAGE LINE
	PROPOSED WATER MAIN
	PROPOSED WATER SHUT-OFF VALVE
	PROPOSED HYDRANT
	PROPOSED SEWER MANHOLE
	PROPOSED CATCH BASIN

INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES

CATCH BASINS AND PIPING:
 ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

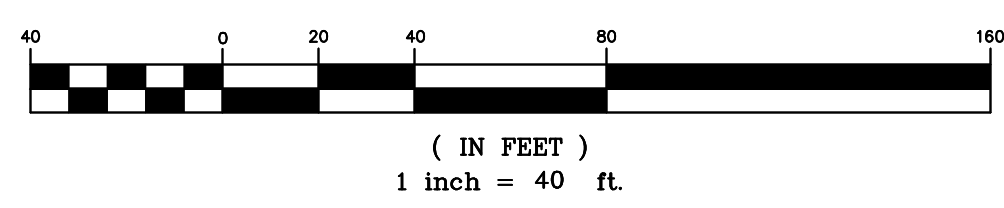
HYDRODYNAMIC DEVICES:
 THE VORTEX UNITS SHALL BE INSPECTED QUARTERLY DURING THE FIRST YEAR OF OPERATION. THE MANUFACTURER RECOMMENDS THAT THE CDS UNITS BE INSPECTED BI-ANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL). THE STRUCTURE SHALL BE VISUALLY INSPECTED FOR BLOCKAGES OR OBSTRUCTIONS IN THE INLET OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO QUANTIFY ACCUMULATION OF HYDROCARBONS, SEDIMENT AND TRASH WITHIN THE SYSTEM. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK ONCE A YEAR (EXCEPT FOR THE FIRST YEAR WHERE MORE FREQUENT CLEANINGS MAY BE REQUIRED).

INFILTRATION BASIN:
 THE INFILTRATION BASIN SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED FOR SEDIMENT AND DEBRIS MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY. PLANTINGS SHALL BE INSPECTED MONTHLY FOR HEIGHT, FERTILIZER, QUANTITY AND UNAUTHORIZED INVASIVE OR INAPPROPRIATE SPECIES. AFTER STORM EVENTS, THE INFILTRATION BASIN DEWATERING DURATION SHOULD ALSO BE MONITORED. THE BASIN FLOOR SHALL BE MOWED AS REQUIRED; HOWEVER, THE GRASS HEIGHT SHALL NOT EXCEED 18". SEDIMENT SHALL BE CLEANED OUT OF THE INFILTRATION BASIN ANNUALLY.

Now or Formerly Hillside of Farmville, LLC
 Document 02-2007-4288

Now or Formerly
 Corp Acquisition Corp
 Liber 1929 Page 145

UTILITY PLAN
 SCALE: 1" = 40'
 GRAPHIC SCALE



UTILITY PLAN & PROFILE
25 TOWNSEND STREET

25 TOWNSEND STREET
 CITY OF BEACON
 DUTCHESS COUNTY, NEW YORK
 TAX ID: 6055-03-383149
 SCALE: 1" = 40'
 DECEMBER 7, 2015

HUDSON LAND DESIGN
 HUDSON LAND DESIGN
 PROFESSIONAL ENGINEERING P.C.
 174 MAIN STREET
 BEACON, NEW YORK 12508
 PH: 845-440-6926 F: 845-440-6637



SEAL
 JON D. BODENDORF, P.E.
 NYS LICENSE NO. 076245
 DANIEL G. KOHLER, P.E.
 NYS LICENSE NO. 082716

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

_____ CHAIRMAN

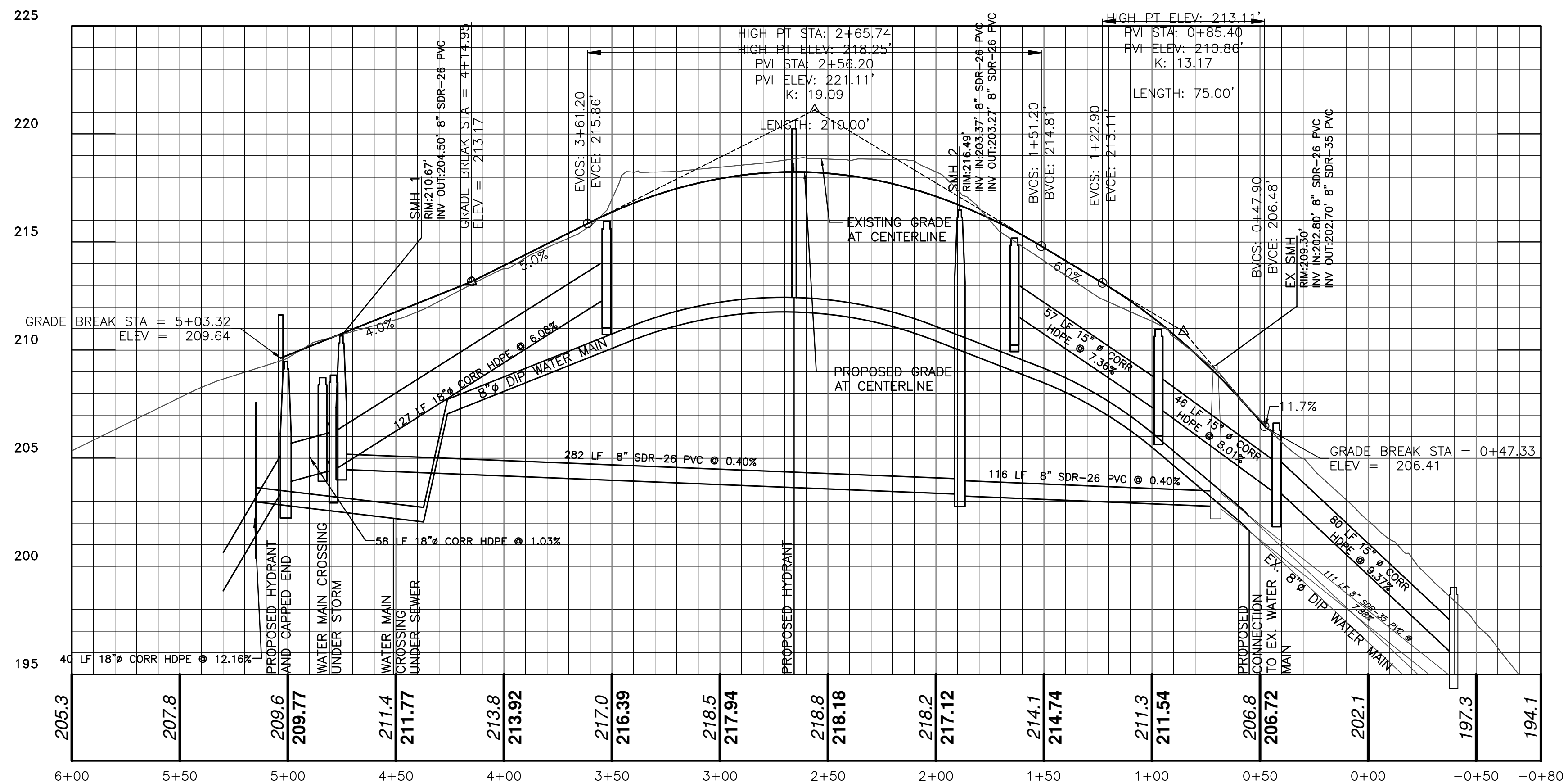
_____ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Dig Safely. New York
 800-962-7962
 www.digsafelynewyork.org

Call Before You Dig
 Wait The Required Time
 Confirm Utility Response
 Respect The Marks
 Dig With Care

NO.	DATE	DESCRIPTION	BY
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB
2	03/27/18	PER PLANNING BOARD COMMENTS	CMB



ROAD EXTENSION PROFILE
 SCALE: 1" = 4' V
 1" = 40' H

STRUCTURE	STRUCTURE DETAILS
CB 5	RIM = 206.62 SUMP = 202.50 PIPE 4-5 INV IN = 203.60 PIPE 5-EX INV OUT = 203.50
CB 1	RIM = 215.18 SUMP = 210.90 PIPE 1-2 INV IN = 211.90
CB 2	RIM = 215.18 SUMP = 210.60 PIPE 1-2 INV IN = 211.70 PIPE 2-4 INV OUT = 211.60
CB 3	RIM = 210.97 SUMP = 206.70 PIPE 3-4 INV OUT = 207.70
CB 4	RIM = 210.97 SUMP = 206.30 PIPE 2-4 INV IN = 207.40 PIPE 3-4 INV IN = 207.40 PIPE 4-5 INV OUT = 207.30
CB 7	RIM = 215.95 SUMP = 211.70 PIPE 7-8 INV OUT = 212.70
CB 8	RIM = 215.95 SUMP = 211.40 PIPE 7-8 INV IN = 212.50 PIPE 8-10 INV OUT = 212.40
CB 9	RIM = 208.73 SUMP = 204.60 PIPE 9-10 INV OUT = 205.60
CB 10	RIM = 208.85 SUMP = 203.60 PIPE 8-10 INV IN = 204.70 PIPE 9-10 INV IN = 204.70 PIPE 10-11 INV OUT = 204.60
DMH 11	RIM = 209.47 SUMP = 202.90 PIPE 10-11 INV IN = 204.00 PIPE 11-12 INV OUT = 203.90

STRUCTURE	STRUCTURE DETAILS
FES 12	PIPE 11-12 INV IN = 199.00

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
PIPE 1-2	20 LF	15" Ø CORR HDPE	0.98%
PIPE 2-4	57 LF	15" Ø CORR HDPE	7.36%
PIPE 3-4	25 LF	15" Ø CORR HDPE	1.20%
PIPE 4-5	46 LF	15" Ø CORR HDPE	8.01%
PIPE 5-EX	80 LF	15" Ø CORR HDPE	9.37%
PIPE 7-8	17 LF	18" Ø CORR HDPE	1.19%
PIPE 8-10	127 LF	18" Ø CORR HDPE	6.08%
PIPE 9-10	87 LF	18" Ø CORR HDPE	1.03%
PIPE 10-11	58 LF	18" Ø CORR HDPE	1.03%
PIPE 11-12	40 LF	18" Ø CORR HDPE	12.16%

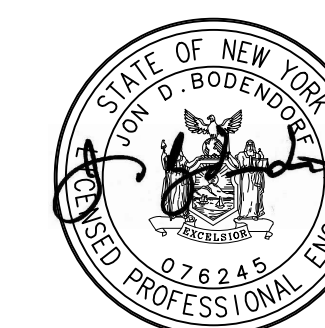
STRUCTURE	STRUCTURE DETAILS
EX SMH	RIM = 209.30 SUMP = 202.70 PIPE 2-EX INV IN = 202.80 EX. PIPE INV OUT = 202.70
SMH 1	RIM = 210.67 SUMP = 204.50 PIPE 1-2 INV OUT = 204.50
SMH 2	RIM = 216.49 SUMP = 203.27 PIPE 1-2 INV IN = 203.37 PIPE 2-EX INV OUT = 203.27

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
PIPE 1-2	282 LF	8" SDR-26 PVC	0.40%
PIPE 2-EX	116 LF	8" SDR-26 PVC	0.40%
EX. PIPE	111 LF	8" SDR-35 PVC	7.88%

UTILITY PLAN & PROFILE 25 TOWNSEND STREET

25 TOWNSEND STREET
 CITY OF BEACON
 DUTCHESS COUNTY, NEW YORK
 TAX ID: 6055-03-383149
 SCALE: 1" = 40'
 DECEMBER 7, 2015

HUDSON
 LAND DESIGN
 HUDSON LAND DESIGN
 PROFESSIONAL ENGINEERING P.C.
 174 MAIN STREET
 BEACON, NEW YORK 12508
 PH: 845-440-6926 F: 845-440-6637



SEAL
 JON D. BODENDORF, P.E.
 NYS LICENSE NO. 076245
 DANIEL G. KOHLER, P.E.
 NYS LICENSE NO. 082716

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____

_____ CHAIRMAN

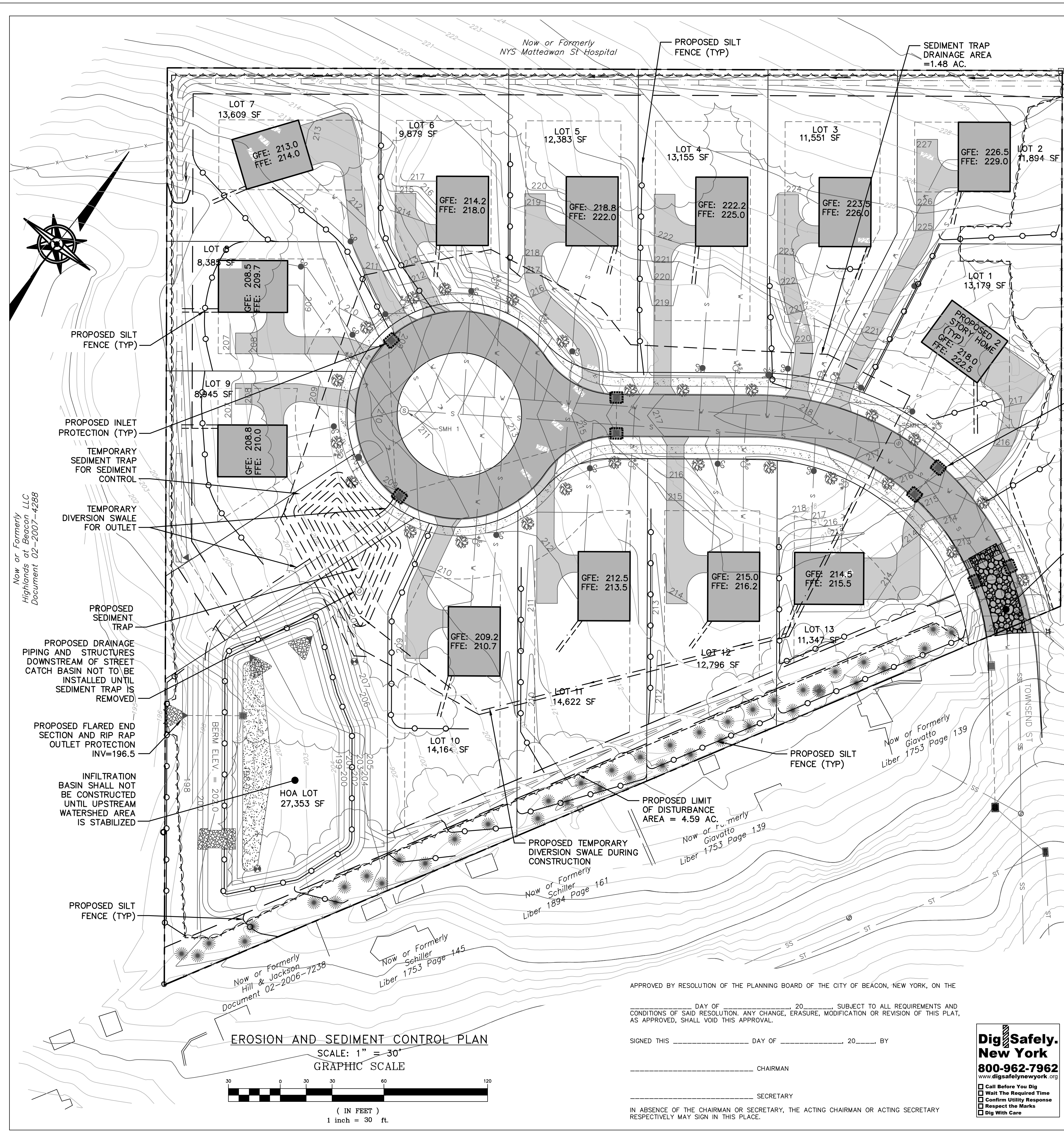
_____ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

NO.	DATE	DESCRIPTION	BY
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB
2	03/27/18	PER PLANNING BOARD COMMENTS	CMB



CONSTRUCTION SEQUENCING NOTES:

- SCHEDULE A PRE-CONSTRUCTION MEETING WHICH SHALL INCLUDE THE CITY ENGINEER, OWNER OR OWNER'S REPRESENTATIVE, PROJECT ENGINEER, CONTRACTOR AND SUBCONTRACTORS (IF NECESSARY) WHO ARE TO PERFORM THE CONSTRUCTION.
- ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED ROAD AND STORMWATER MANAGEMENT AREA.
- INSTALL PERIMETER SILT FENCE AS DEPICTED ON THIS PLAN.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
- PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
- INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
- BEGIN SITE DEMOLITION WITHIN AS SHOWN ON THE DEMOLITION PLAN.
- CONSTRUCT UTILITY CONNECTIONS WITHIN TOWNSEND STREET.
- BEGIN MASS GRADING FOR PROPOSED ROAD, ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN TO 2 FEET ABOVE FINISHED GRADE.
- INSTALL SITE UTILITIES AND STUB SERVICE CONNECTIONS INTO EACH LOT.
- CONSTRUCT SEDIMENT TRAP AS SITE CONDITIONS WARRANT.
- SEED AND MULCH LANDSCAPED AREAS THAT WILL NOT BE DISTURBED DURING OTHER PHASES.
- PAVE NEW ROAD AND INSTALL SIDEWALK, CURBING AND PROPOSED CROSSWALK.
- REMOVE SEDIMENT TRAP AND CONSTRUCT INFILTRATION BASIN.
- CONSTRUCT INDIVIDUAL LOTS.
- REMOVE EROSION AND SEDIMENT CONTROLS WHEN CONTRIBUTING DRAINAGE AREAS HAVE BECOME STABILIZED.

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING ADJOINER LINE
- EXISTING TREE
- 30 --- EXISTING MAJOR CONTOUR
- 30 --- EXISTING MINOR CONTOUR
- 28 --- PROPOSED MAJOR CONTOUR
- 28 --- PROPOSED MINOR CONTOUR
- S --- PROPOSED SEWER MAIN
- O --- PROPOSED SILT FENCE
- --- EXISTING OVERHEAD WIRE
- X --- EXISTING FENCE
- W --- EXISTING WATER MAIN
- WS --- WS --- EXISTING WATER SERVICE LINE
- --- PROPOSED DRAINAGE LINE
- V --- PROPOSED WATER MAIN
- --- PROPOSED WATER SHUT-OFF VALVE
- --- PROPOSED HYDRANT
- --- PROPOSED SEWER MANHOLE
- --- PROPOSED CATCH BASIN

GENERAL NOTE: EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES AND BASED ON THE MAINTENANCE SCHEDULE. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED AS NECESSARY IN ORDER TO PROTECT ADJACENT PARCELS AND WATERS.

INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

PERMANENT AND TEMPORARY VEGETATION:
 INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE:
 INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.

SILT FENCE:
 INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE:
 INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
 SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

CHECK DAM:
 INSPECT CHECK DAMS EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. IF SIGNIFICANT EROSION OCCURS BETWEEN STRUCTURES, A LINER OF STONE OR OTHER SUITABLE MATERIAL SHOULD BE INSTALLED IN THAT PORTION OF THE CHANNEL. REMOVE SEDIMENT ACCUMULATED BEHIND THE DAM AS NEEDED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. REPLACE STONES AS NEEDED TO MAINTAIN THE DESIGN CROSS SECTION OF THE STRUCTURES. REMOVE CHECK DAMS AS PER APPROVAL OF THE PROJECT ENGINEER.

EROSION CONTROL BLANKET:
 INSPECT THE BLANKET EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. REPLACE WIRE STAPLES AS REQUIRED. REPAIR AND RESEED WHERE CRACKS AND DAMAGED VEGETATION IS EVIDENT. WHEN DAMAGED BEYOND REPAIR OR NO LONGER FUNCTIONING, THE BLANKET SHALL BE REPLACED.

SEDIMENT TRAP:
 SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO THE ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF OF THE DESIGN DEPTH OF THE TRAP. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN A PROTECTED AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.

CATCH BASINS:
 ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. THE INLET PROTECTION SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED.

Now or Formerly
 Highlands at Beacon, LLC
 Document 02-2007-4288

Now or Formerly
 CMP Acquisition Corp.
 Liber 1939 Page 145

Now or Formerly
 Giovatto
 Liber 1753 Page 139

Now or Formerly
 Schiller
 Liber 1894 Page 161

Now or Formerly
 Hill & Jackson
 Document 02-2006-7238

Now or Formerly
 Schiller
 Liber 1753 Page 145

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____

 CHAIRMAN

 SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Dig Safely. New York
 800-962-7962
 www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

DRAWN BY: JDB CHECKED BY: MAB JOB NO.: 2015-025

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB
2	03/27/18	PER PLANNING BOARD COMMENTS	CMB

EROSION AND SEDIMENT CONTROL PLAN
 SCALE: 1" = 30'
 GRAPHIC SCALE

(IN FEET)
 1 inch = 30 ft.

EROSION & SEDIMENT CONTROL PLAN
25 TOWNSEND STREET

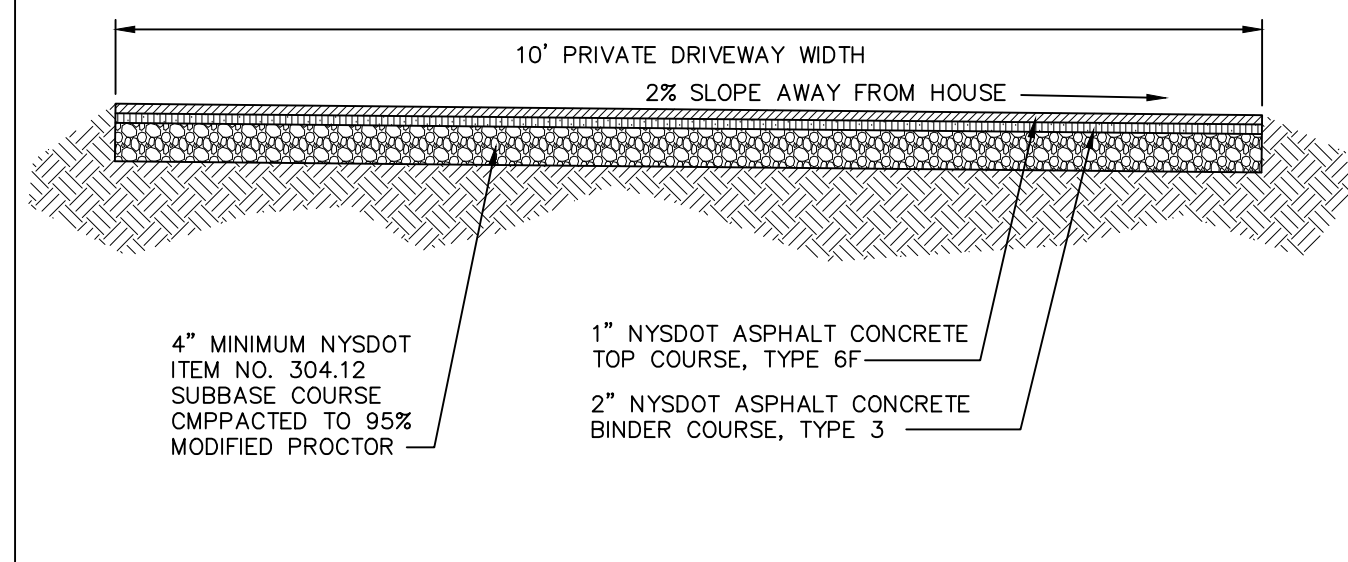
25 TOWNSEND STREET
 CITY OF BEACON
 DUTCHESS COUNTY, NEW YORK
 TAX ID: 6055-03-383149
 SCALE: 1" = 30'
 DECEMBER 7, 2015



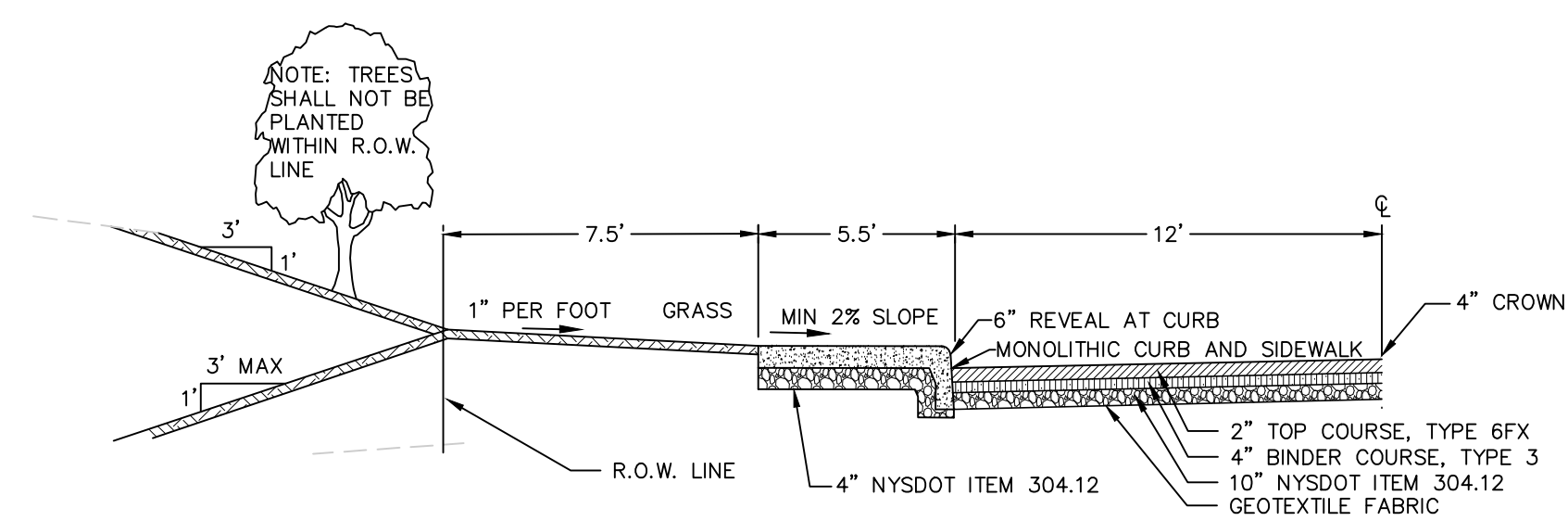
HUDSON LAND DESIGN
 PROFESSIONAL ENGINEERING P.C.
 174 MAIN STREET
 BEACON, NEW YORK 12508
 PH: 845-440-6926 F: 845-440-6637



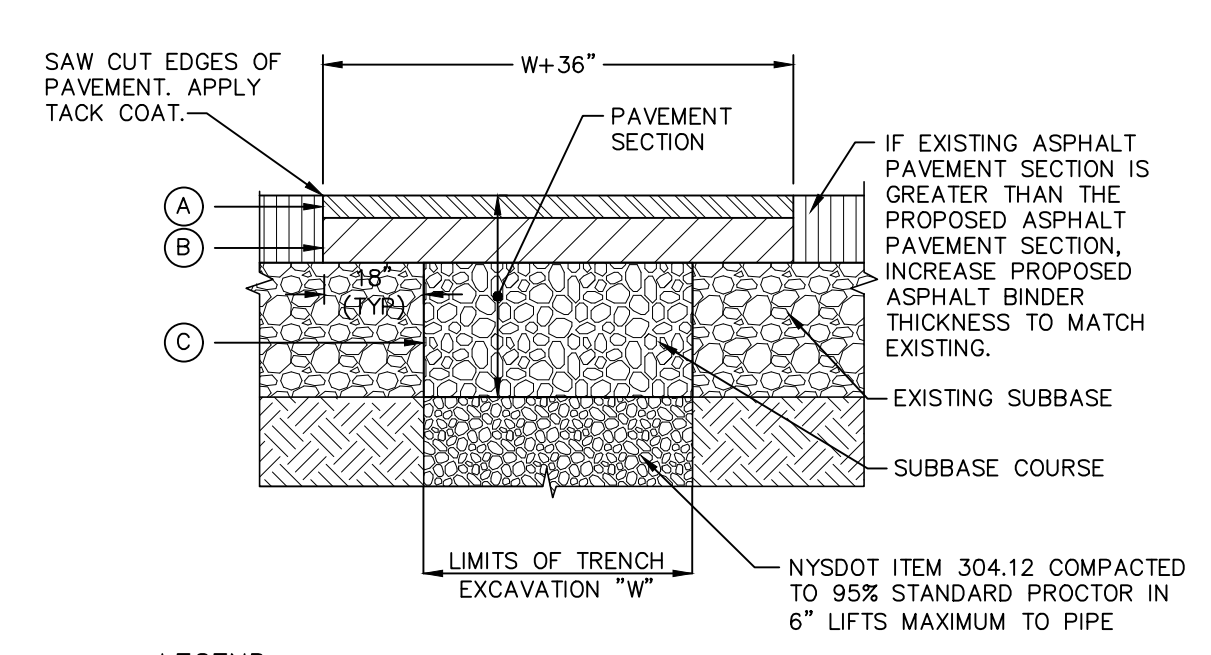
SEAL
 JON D. BODENDORF, P.E.
 NYS LICENSE NO. 076245
 DANIEL G. KOHLER, P.E.
 NYS LICENSE NO. 082716



PAVED DRIVEWAY SECTION DETAIL
NOT TO SCALE

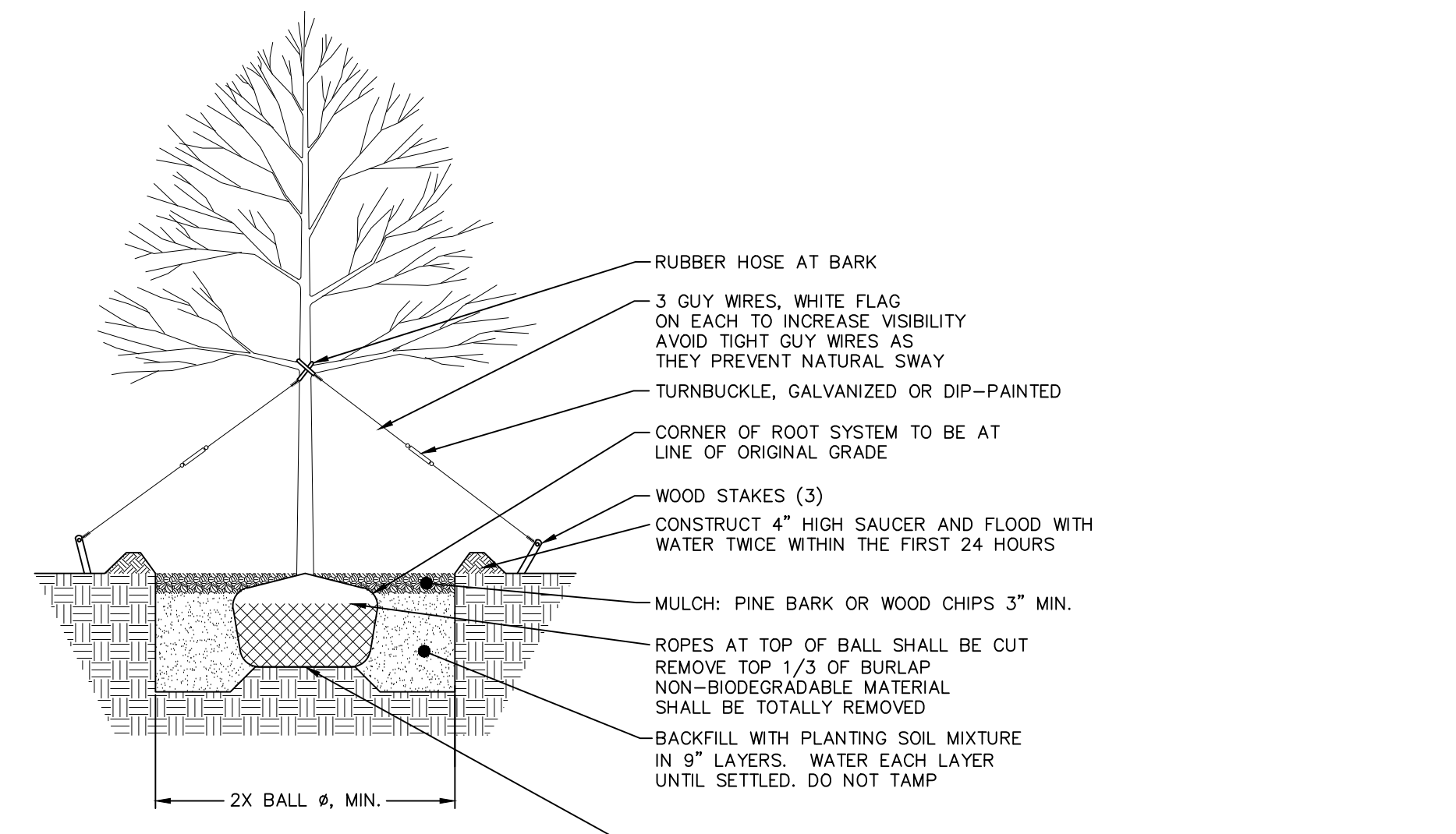


LOCAL STREET CROSS SECTION DETAIL
NOT TO SCALE



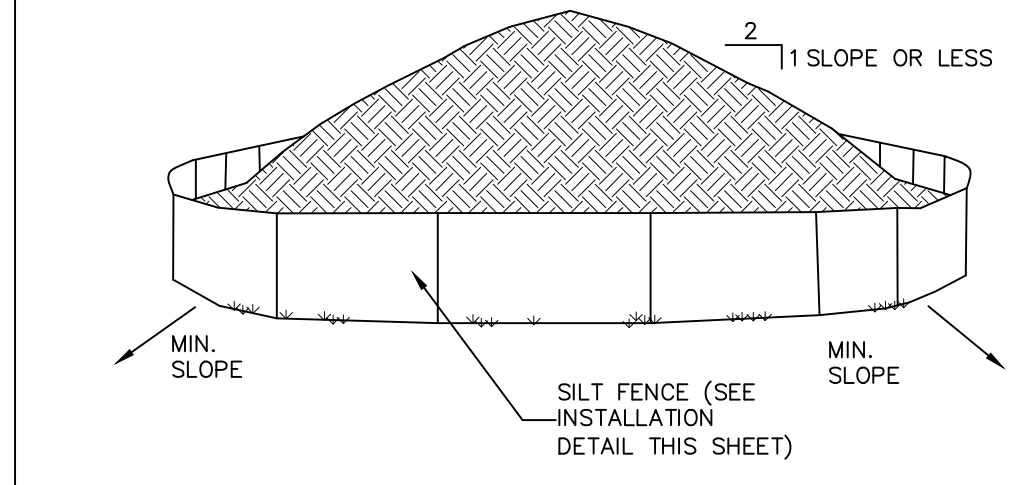
PAVEMENT RESTORATION DETAIL
NOT TO SCALE

- LEGEND**
- (A) 1-1/2" ASPHALT CONCRETE TOP COURSE- NYS DOT TYPE 6F
 - (B) 3" ASPHALT CONCRETE BINDER COURSE- NYS DOT TYPE 3
 - (C) 10" GRANULAR SUBBASE COURSE- NYS DOT ITEM 304.14
- NOTES:**
1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED. JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.
 2. FURNISH, PLACE, AND COMPACT SUBBASE.
 3. TACK COAT IN ACCORDANCE WITH NYS DOT STANDARD SPEC.
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.



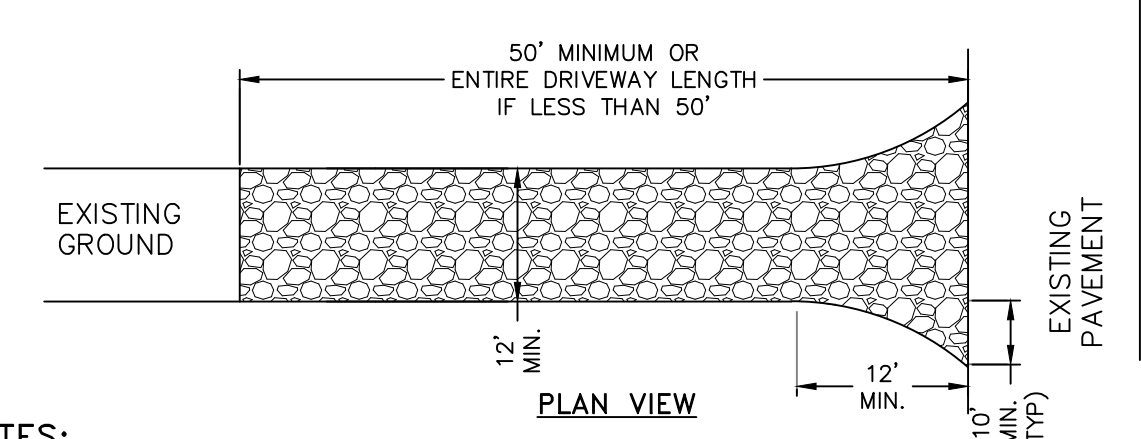
TREE DETAIL
NOT TO SCALE

- NOTES:**
1. REFER TO SHEET 2 PLANS FOR LOCATIONS.



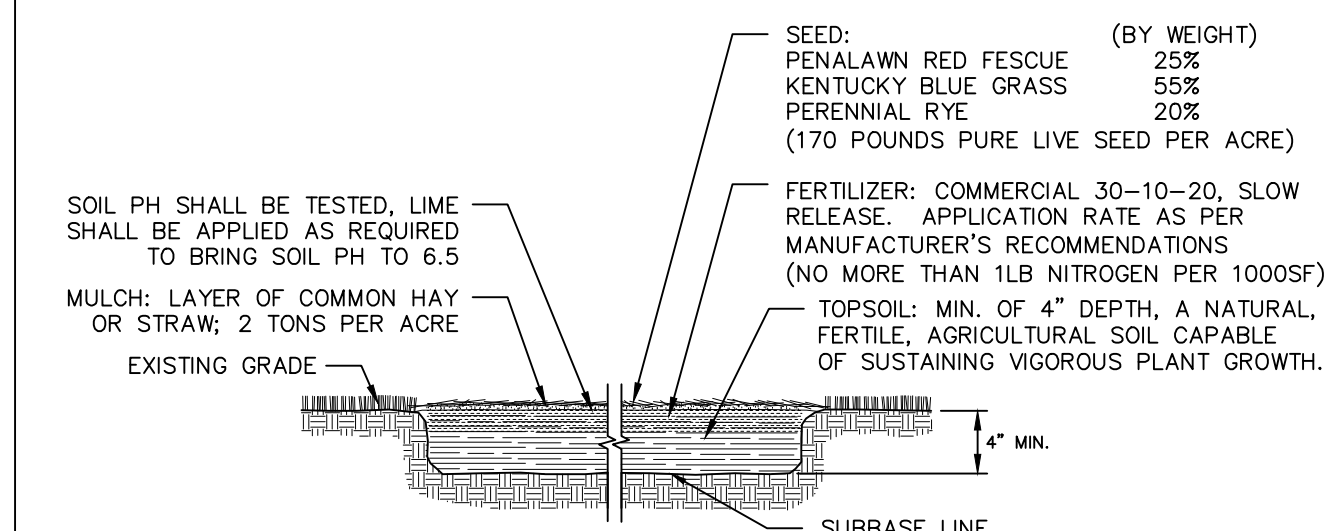
TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE

- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.



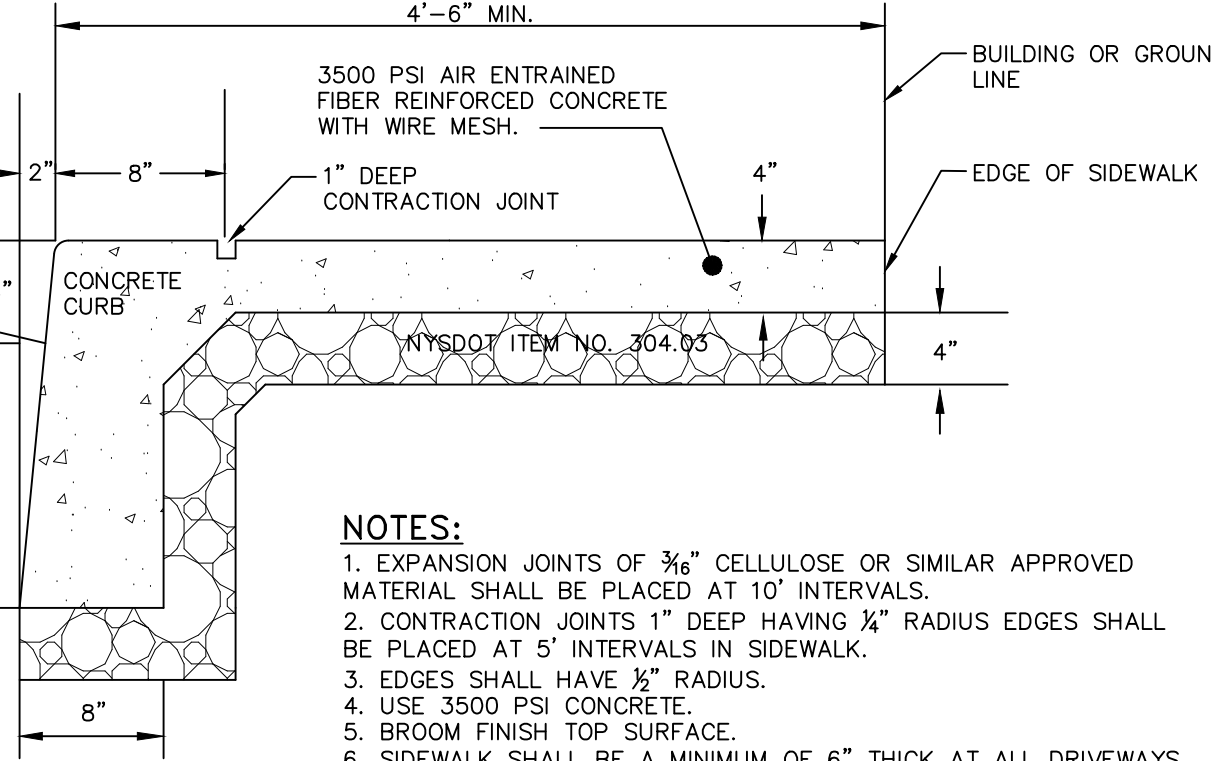
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

- NOTES:**
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 3. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 4. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



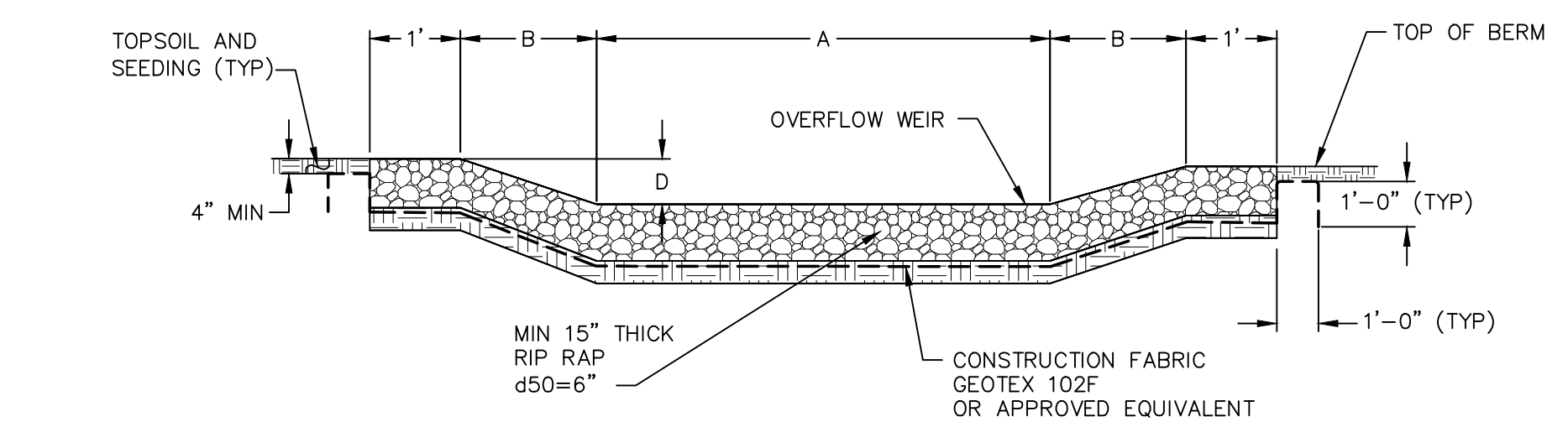
TOPSOIL SEED, FERTILIZER AND MULCH DETAIL
NOT TO SCALE

- SEED: (BY WEIGHT)**
- PENALAWN RED FESCUE 25%
 - KENTUCKY BLUE GRASS 55%
 - PERENNIAL RYE 20%
- (170 POUNDS PURE LIVE SEED PER ACRE)
- FERTILIZER: COMMERCIAL 30-10-20, SLOW RELEASE. APPLICATION RATE AS PER MANUFACTURER'S RECOMMENDATIONS (NO MORE THAN 1LB NITROGEN PER 1000SF)**
- MULCH: LAYER OF COMMON HAY OR STRAW, 2 TONS PER ACRE**
- TOPSOIL: MIN. OF 4" DEPTH, A NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.**



MONOLITHIC CURB AND SIDEWALK DETAIL
NOT TO SCALE

- NOTES:**
1. EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 2. CONTRACTION JOINTS 1" DEEP HAVING 1/4" RADIUS EDGES SHALL BE PLACED AT 5' INTERVALS IN SIDEWALK.
 3. EDGES SHALL HAVE 1/2" RADIUS.
 4. USE 3500 PSI CONCRETE.
 5. BROOM FINISH TOP SURFACE.
 6. SIDEWALK SHALL BE A MINIMUM OF 6" THICK AT ALL DRIVEWAYS AND HANDICAP RAMPS.
 7. MAXIMUM SLOPE OF 1 ON 12 TO BE USED WHERE SIDEWALK TERMINATES AT HANDICAP RAMPS.

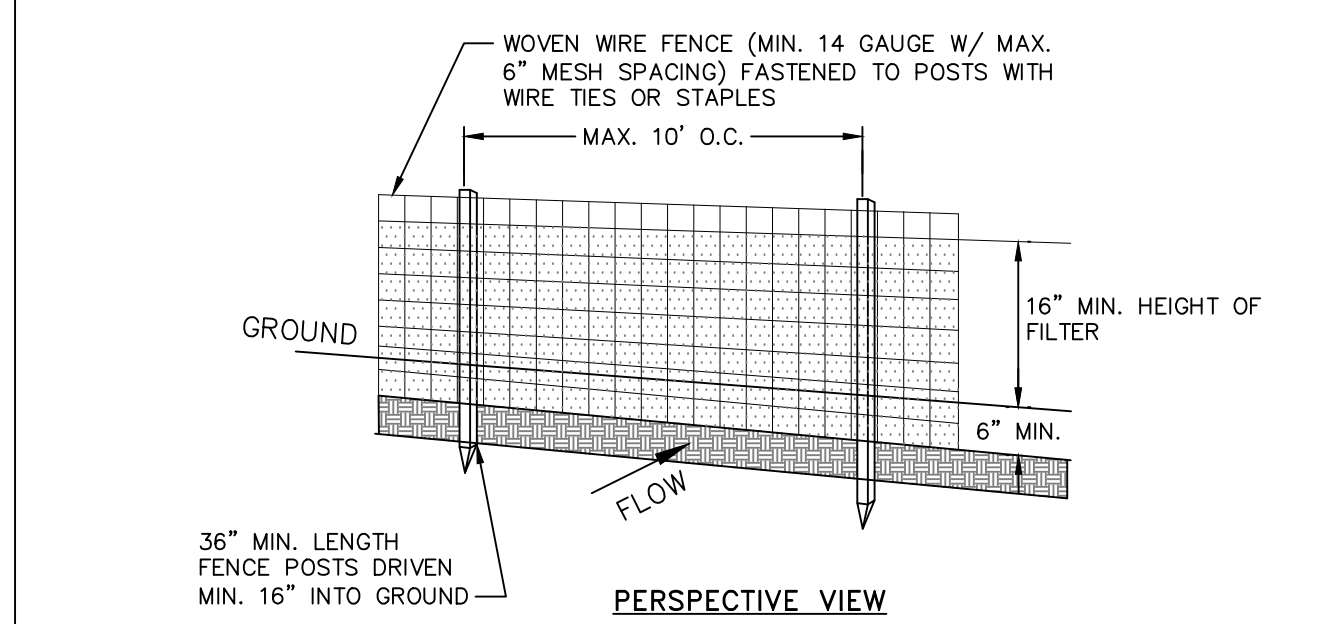


EMERGENCY OVERFLOW WEIR TABLE

SWM ID	OVERFLOW WEIR ELEVATION (FT)	DIMENSION A (FT)	DIMENSION B (FT)	DIMENSION D (IN)
INFILTRATION BASIN	201.0	10	3	12

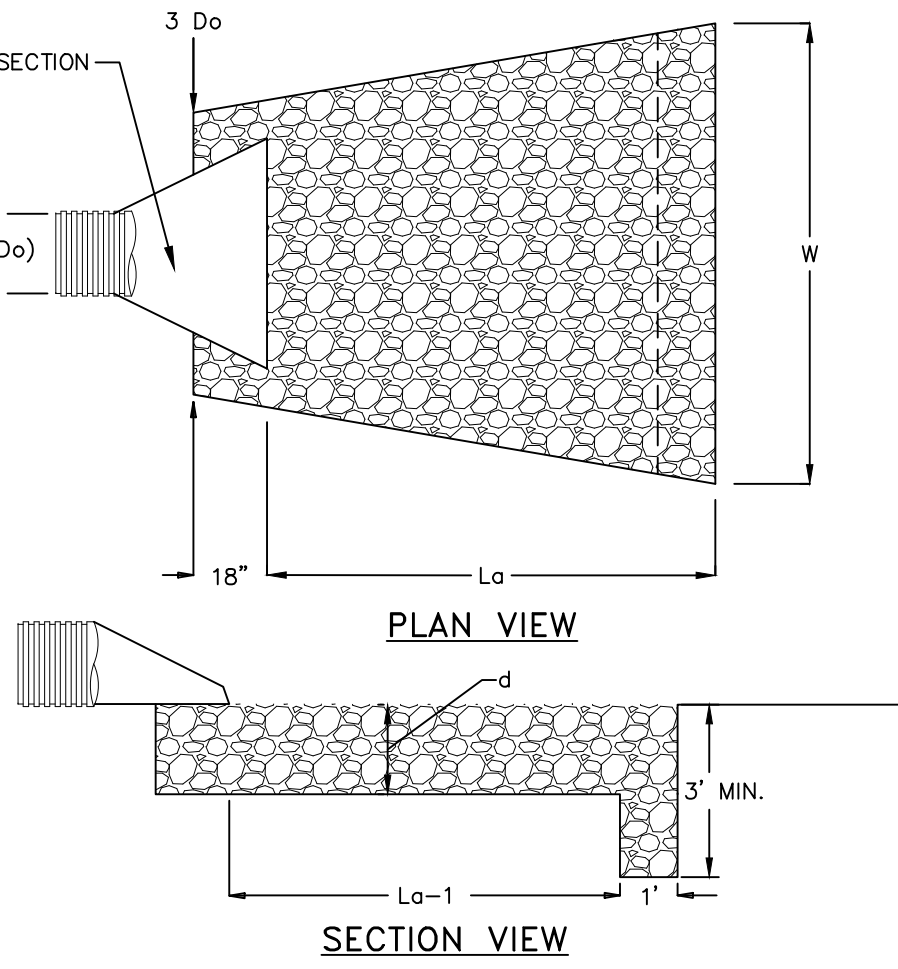
- NOTES:**
1. RIP RAP OUTLET PROTECTION SHALL BE 15" OF LIGHT STONE FILLING. STONE FILLING SIZE 450=6". RIVER ROCK MAY BE SUBSTITUTED FOR ANGULAR STONE.

EMERGENCY OVERFLOW WEIR DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE

- NOTES:**
1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
 3. PREFABRICATED UNITS SHALL BE GEOTABS, ENVIROFENCE OR APPROVED EQUAL.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



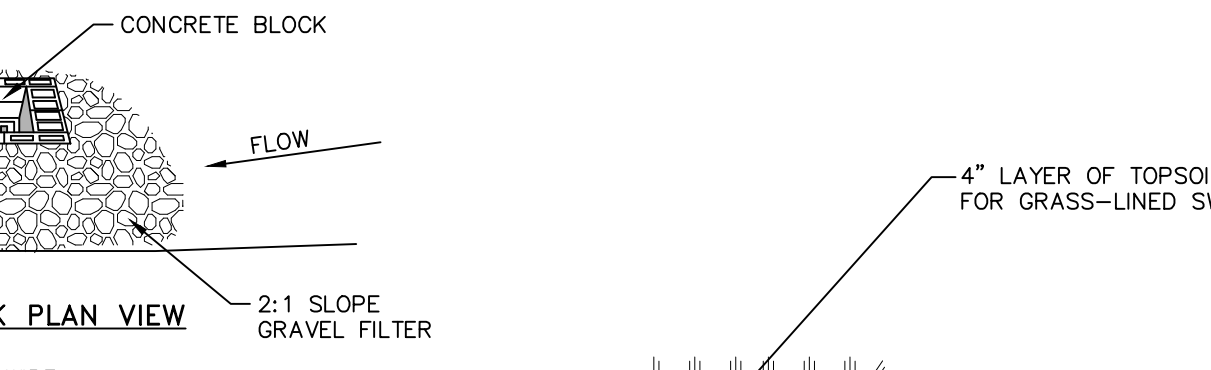
ROCK OUTLET PROTECTION DETAIL
NOT TO SCALE

- NOTES:**
1. SIZING INFORMATION TAKEN FROM FIGURE 5B.12 (PAGE 5B.25) AND/OR FIGURE 5B.13 (PAGE 5B.26) OF THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" 2016 EDITION.
 2. RIPRAP SHALL BE COMPOSED OF A WELL-GRADED MIXTURE OF STONE SIZE SO THAT 50% OF THE PIECES SHALL BE LARGER, BY WEIGHT, THAN THE SPECIFIED #50. THE LARGEST STONE SIZE SHALL BE 1.5 TIMES #50.
 3. THE MINIMUM THICKNESS OF THE RIPRAP LAYER SHALL BE 1.5 TIMES THE MAXIMUM STONE DIAMETER FOR #50 OF 15 INCHES OR LESS, AND 1.2 TIMES THE MAXIMUM STONE SIZE FOR #50 GREATER THAN 15 INCHES.
 4. A LAYER OF FILTER FABRIC (THICKNESS 20-60 MILS, GRAB STRENGTH 90-120 LBS, SHALL CONFORM TO ASTM D-1777 AND ASTM D-1682) SHALL BE PLACED BETWEEN THE RIPRAP AND THE UNDERLYING SOIL SURFACE. FILTER FABRIC SHALL HAVE A MINIMUM 1' OVERLAP AT ALL SEAMS.

ROCK OUTLET PROTECTION TABLE
NOT TO SCALE

OUTLET PIPE ID	PIPE #	30#	W	L _a	d	#50 RIPRAP SIZE
FES 12	18 INCHES	4.5 FEET	18.5 FEET	14 FEET	14 INCHES	6 INCHES
FES 13	24 INCHES	6 FEET	18.5 FEET	12.5 FEET	14 INCHES	6 INCHES
FES 14	18 INCHES	4.5 FEET	16.5 FEET	12.0 FEET	14 INCHES	6 INCHES

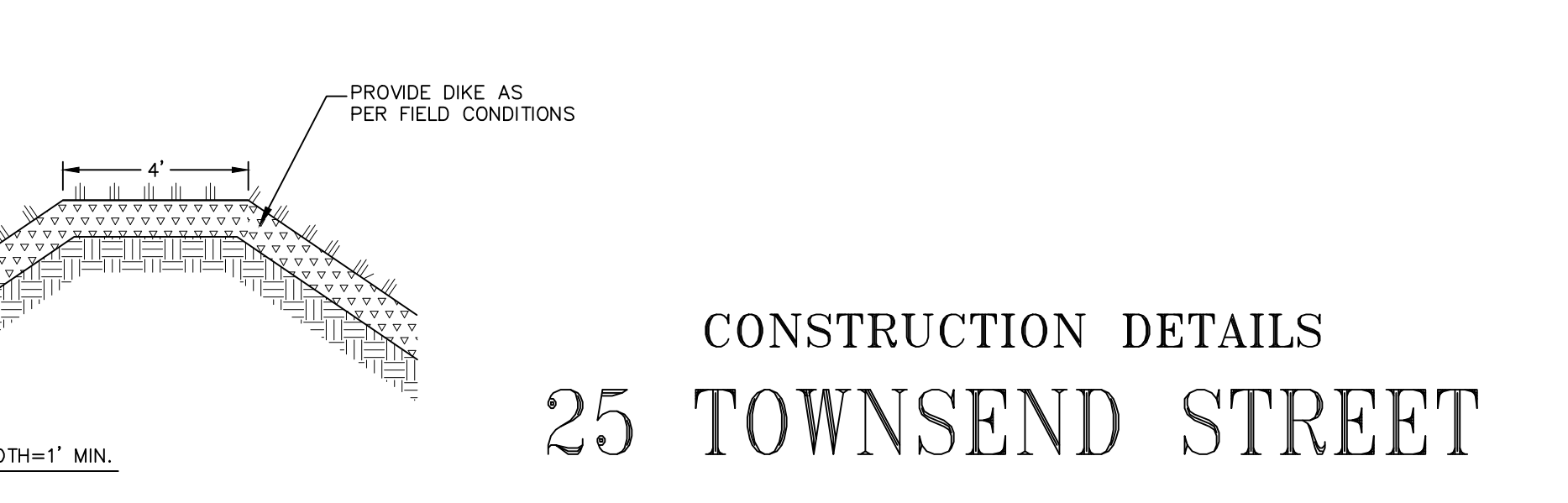
ROCK OUTLET PROTECTION TABLE
NOT TO SCALE



CATCH BASIN INLET PROTECTION DETAIL
NOT TO SCALE

- NOTES:**
1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
 3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
 4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

CATCH BASIN INLET PROTECTION DETAIL
NOT TO SCALE



PERMANENT GRASS LINED SWALE/DIKE DETAIL
NOT TO SCALE

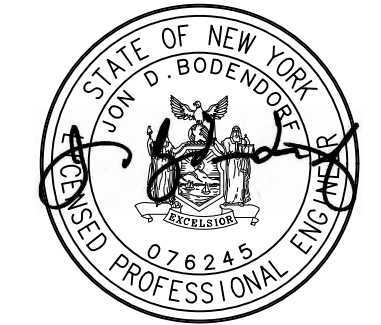
- NOTES:**
1. MINIMUM 1' DEPTH AND 1' WIDTH FOR ALL SWALES.
 2. SWALE SHALL BE SEED WITH FAST GERMINATING RYE 15 TO 25 POUNDS PER 1,000 SQUARE FEET AND MULCHED.

CONSTRUCTION DETAILS
25 TOWNSEND STREET

25 TOWNSEND STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6055-03-383149
SCALE: AS SHOWN
DECEMBER 7, 2015

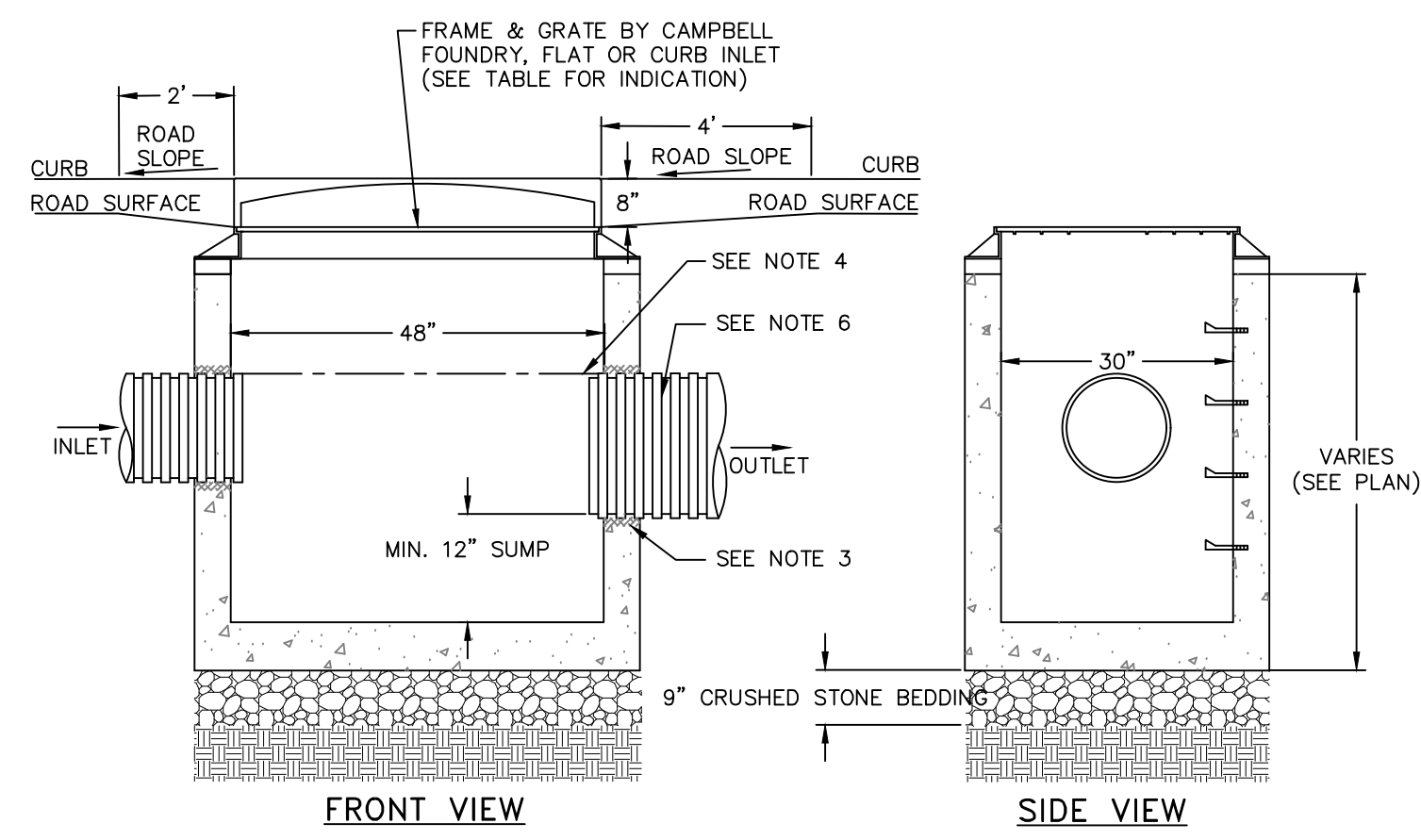


HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOHLER, P.E.
NYS LICENSE NO. 082716

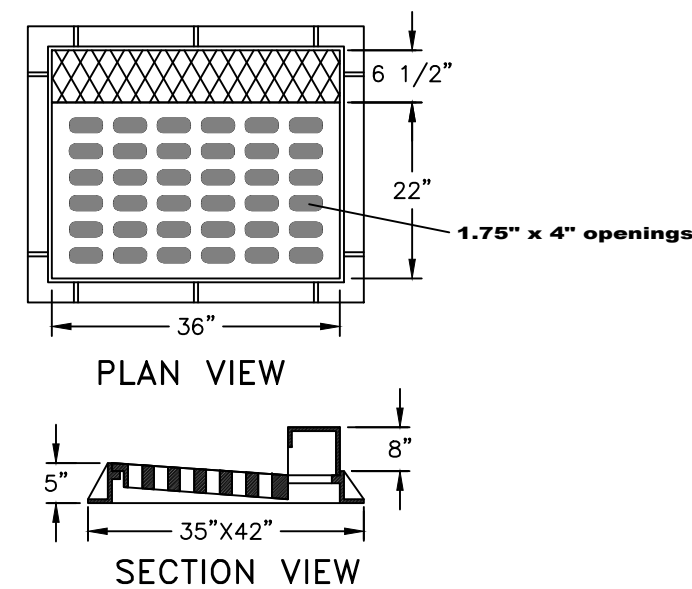
DRAWN BY: JDB		CHECKED BY: MAB		JOB NO.: 2015-025	
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB		
2	03/27/18	PER PLANNING BOARD COMMENTS	CMB		



NOTES:

1. PRECAST CONCRETE CATCH BASIN WITH CONCRETE STRENGTH OF 4,000 PSI @ 28 DAYS.
2. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN AND PARGED AROUND.
3. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE. CONNECTIONS MADE WITHIN 10 FEET OF A WATER MAIN (OR SERVICE LINE) OR A SEWER MAIN (OR SERVICE LATERAL) SHALL BE MADE WATER TIGHT.
4. PROVIDE A MINIMUM 0.1" DROP BETWEEN INLET AND OUTLET INVERTS (MATCH CROWNS FOR PIPES WITH DIFFERENT SIZE) UNLESS OTHERWISE NOTED ON THE PLAN.
5. CATCH BASINS WITH AN INTERIOR DEPTH OF 4' AND GREATER SHALL BE FURNISHED WITH STEEL REINFORCED POLYPROPYLENE PLASTIC STEPS AT 12" INTERVALS.
6. HOPE PIPE SHALL BE PROVIDED WITH WATER TIGHT CONNECTIONS. ADS MODEL N12 WT IB OR APPROVED EQUAL.

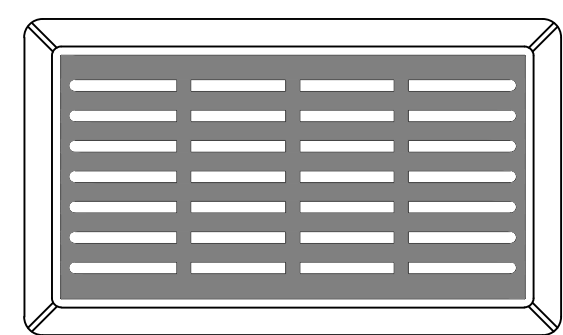
CATCH BASIN DETAIL
NOT TO SCALE



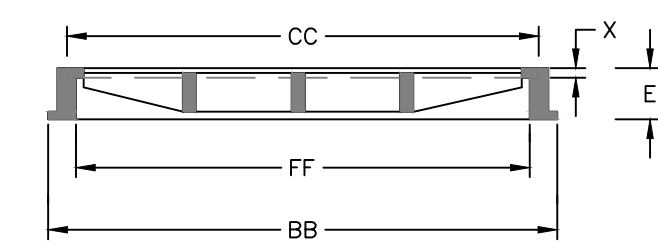
NOTES:

1. HEAVY DUTY RECTANGULAR STORMWATER INLET GRATE TO BE CAMPBELL FOUNDRY MODEL 2541, OR APPROVED EQUAL.
2. CATCH BASINS TO RECEIVE CURB INLETS ARE: CB 1 THROUGH CB 10.

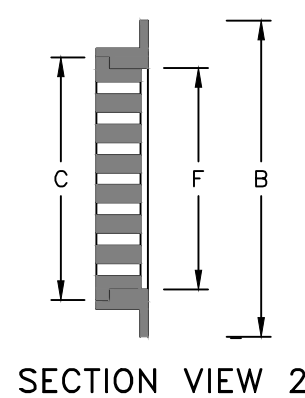
CAST IRON STORMWATER CURB INLET GRATE DETAIL
NOT TO SCALE



PLAN VIEW



SECTION VIEW 1



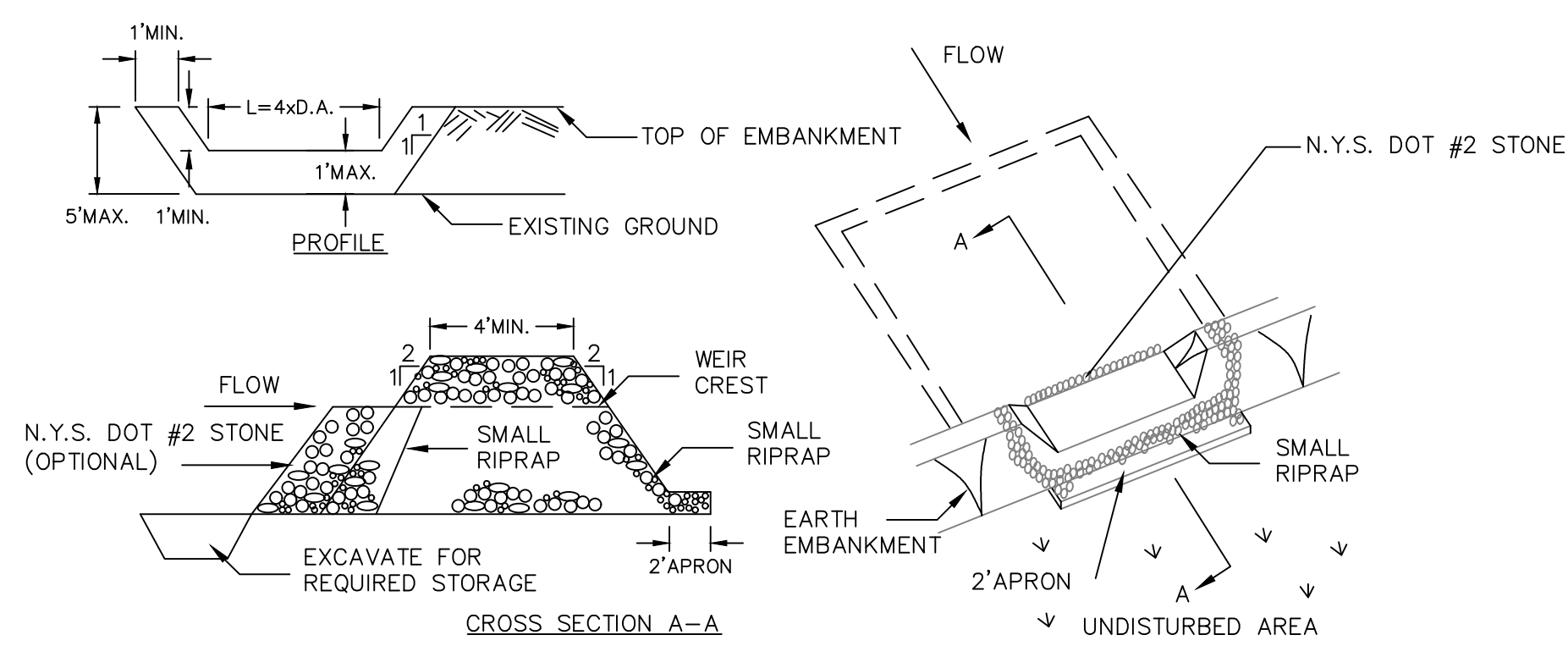
DIMENSION TABLE:

B	C	E	F	X	BB	CC	FF
30"	24"	4"	22"	1"	4 1/2"	36"	34"

NOTES:

1. HEAVY DUTY RECTANGULAR STORMWATER INLET GRATE TO BE CAMPBELL FOUNDRY MODEL 3433, OR APPROVED EQUAL.
2. DMH 11 RECEIVES A SOLID CAST IRON COVER.

CAST IRON STORMWATER FLAT INLET GRATE DETAIL
NOT TO SCALE

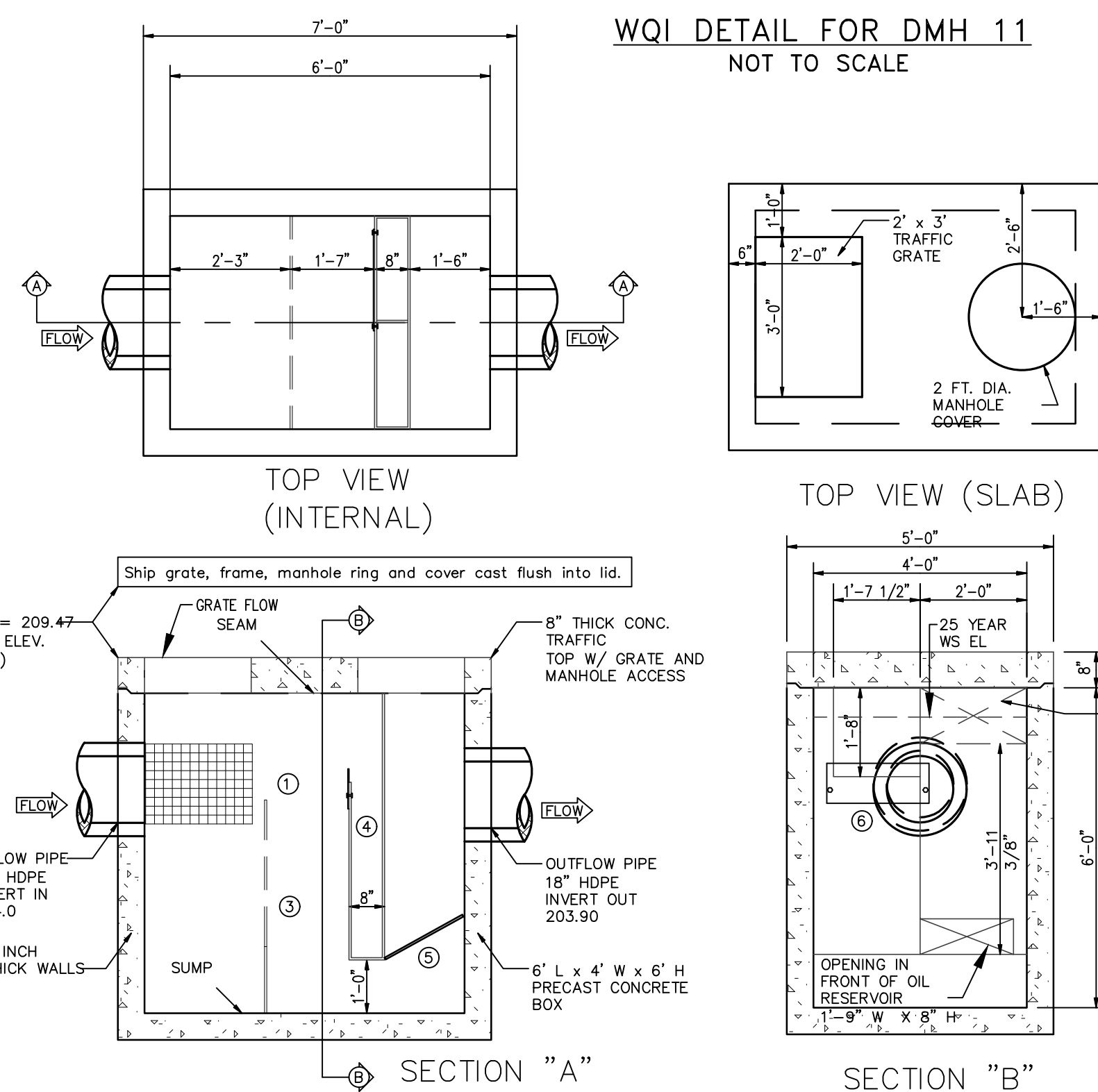


OPTION: A ONE FOOT LAYER OF N.Y.S. DOT #2 STONE MAY BE PLACED ON THE UPSTREAM SIDE OF THE RIPRAP IN PLACE OF THE EMBEDDED FILTER CLOTH.

CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. IT SHALL BE PLACED ON SITE AND STABILIZED.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

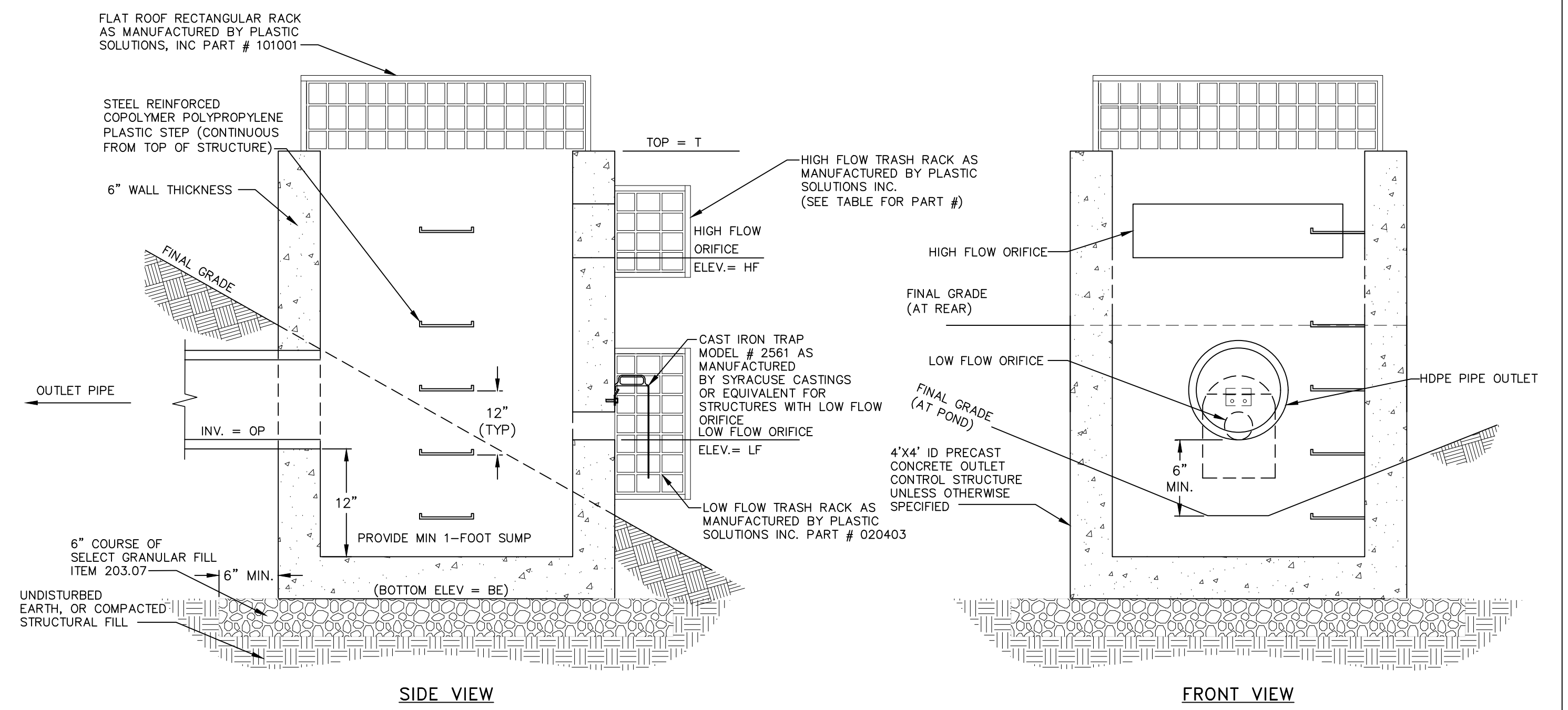
STONE OUTLET SEDIMENT TRAP DETAIL
NOT TO SCALE



NOTES:

1. WATER QUALITY INLET SHOWN IS "CRYSTAL CLEAN" MODEL # 646 IB BY CRYSTAL STREAM TECHNOLOGIES, INC. OF LAWRENCEVILLE, GA., 1-800-648-6945.
2. ALL PIPES SHALL BE CONSTRUCTED TO BE FLUSH WITH THE INSIDE WALLS.
3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PIPES AND STRUCTURES BETWEEN AND AROUND THE WATER QUALITY VAULTS.
4. ALL VAULT LIFTING CONNECTIONS SHALL BE LOCATED ON THE OUTSIDE OF THE VAULT WALLS.
5. CONCRETE VAULT PRE-CASTER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONCRETE VAULTS. WALL AND SLAB THICKNESSES SHALL BE ALTERED ACCORDINGLY.

HYDRODYNAMIC DEVICE DETAIL
NOT TO SCALE



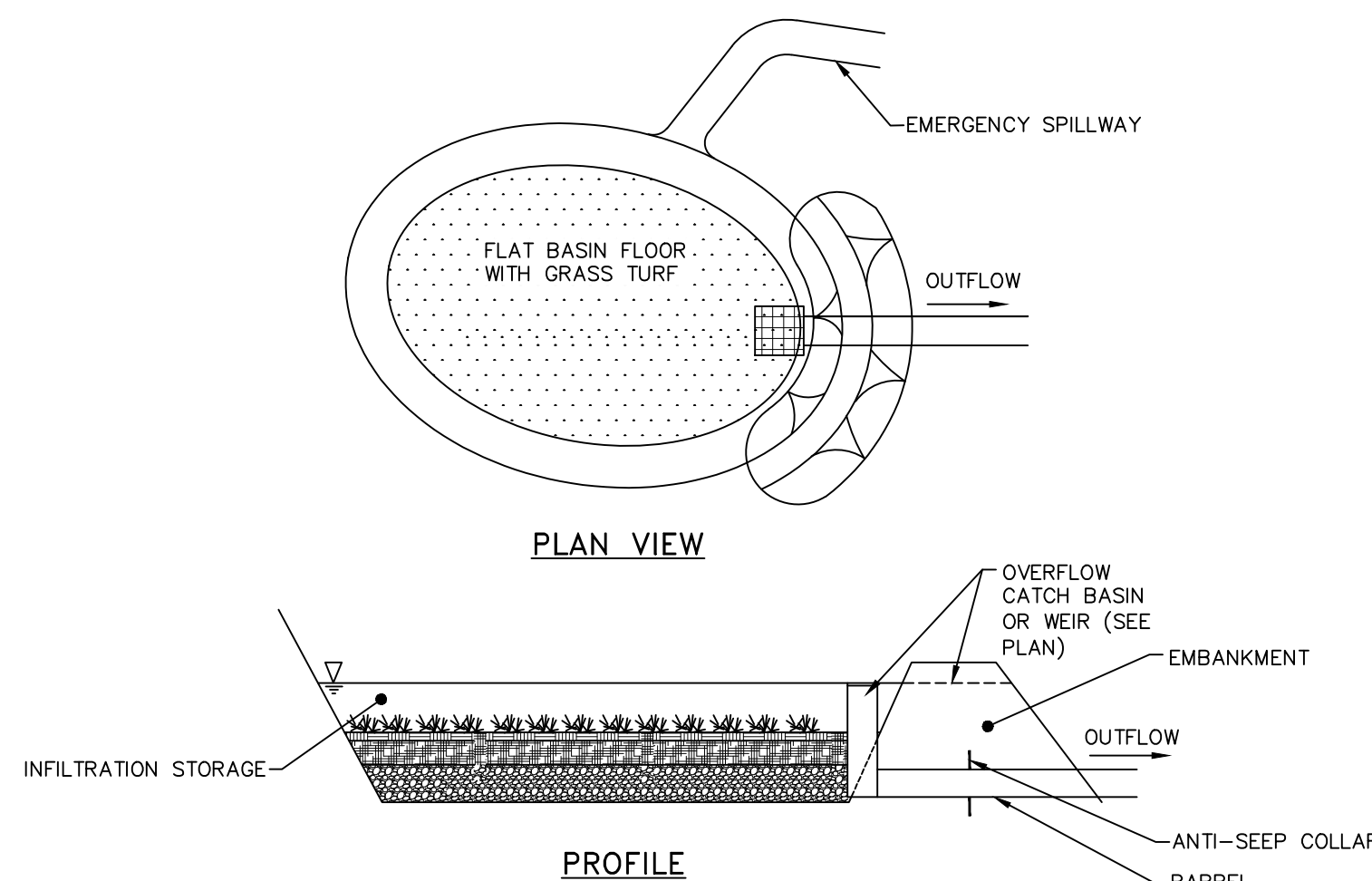
OUTLET CONTROL STRUCTURE DATA

OCS ID	STRUCTURE DIMENSIONS	LOW FLOW ORIFICE DIM. (IN)	"LF" (FT)	HIGH FLOW ORIFICE DIM	# OF HIGH FLOW INLETS	"HF" (FT)	"I" (FT)	OUTLET PIPE Ø (IN)	"Op" (FT)	HIGH FLOW ORIFICE TRASH RACK PART #
15	4'x4' I.D.	6"Ø	198.5	6" X 36"	1	199.1	200.0	18	197.00	O20601

NOTES:

1. ALL TRASH RACKS SHALL HAVE UV PROTECTION MEETING OR EXCEEDING THE REQUIREMENTS OF ASTM D2565-99.
2. TRASH RACKS SHALL BE SECURED PER THE MANUFACTURER'S RECOMMENDATIONS.
3. WHERE HIGH FLOW ORIFICE EXTENDS TO TOP OF STRUCTURE, THE MAXIMUM ALLOWABLE GAP BETWEEN THE TRASH RACKS SHALL BE 4".

INFILTRATION OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE



LEGEND

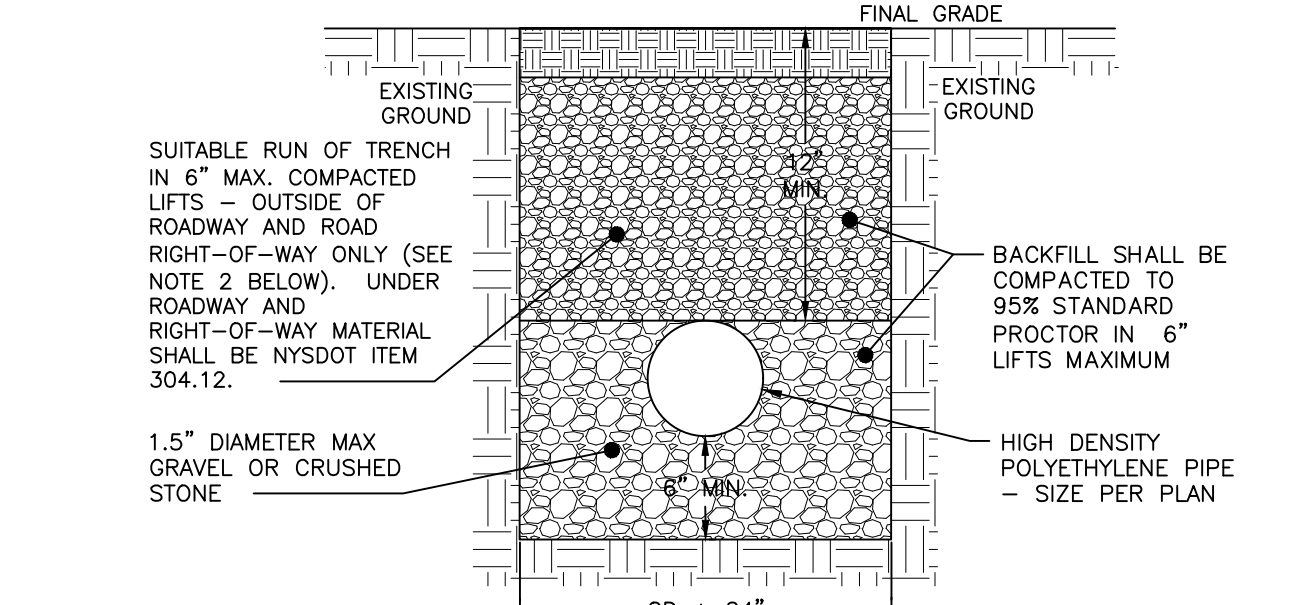
1. EXPANDED ALUMINUM BASKET W/ 1/4" MESH LINING, 1'-6" H x 2'-0" L x 4'-0" W, UPFR 3'-6 3/4" FROM SUMP
2. 2ND INTERNAL BAFFLE W/ 1" HOLES DRILLED AT 1 1/4" O.C., 4'-0" H.
3. SPILL PROTECTION RESERVOIR 5'-0" H. WITH A 1'-8" FRONT CUT.
4. 3/4" COCONUT FIBER FILTER IN ALUMINUM FRAME 1'-8" LONG.
5. 1/4" ALUMINUM PLATE, 9" H., 1'-11" WIDE.

NOTES:

1. THE INFILTRATION BASIN SHALL NOT SERVE AS A SEDIMENT TRAP DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
2. RELATIVELY LIGHT TRACKED EQUIPMENT IS RECOMMENDED FOR CONSTRUCTION PURPOSES TO AVOID COMPACTION OF THE BASIN FLOOR.
3. A HIGHLY POROUS SURFACE TEXTURE SHALL BE RETAINED ALONG THE BASIN FLOOR, ESPECIALLY WITHIN THE AREA IDENTIFIED AS BEING USED FOR INFILTRATION.
4. ESTABLISH DENSE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR TO PREVENT EROSION AND SLOUGHING AND TO PROVIDE A NATURAL MEANS OF MAINTAINING RELATIVELY HIGH INFILTRATION RATES. GRASSES OF THE FESCUE FAMILY (ALTAI FESCUE OR RED FESCUE) ARE SPECIFIED ON THIS PLAN, PRIMARILY DUE TO THEIR ADAPTABILITY TO DRY SANDY SOILS, DROUGHT RESISTANCE, HARDINESS, AND ABILITY TO WITHSTAND BRIEF INUNDATIONS. FESCUE WILL ALSO ALLOW FOR LONG INTERVALS BETWEEN MOWINGS, WHICH SHALL OCCUR TWICE PER YEAR MINIMUM, TYPICALLY IN JUNE AND SEPTEMBER IS SATISFACTORY.
5. THE BERMS SHALL BE SUFFICIENTLY COMPACTED AND OF SUCH MATERIAL TO PREVENT SEEPAGE.

TYPICAL INFILTRATION BASIN DETAIL
NOT TO SCALE

DRAWN BY: JDB CHECKED BY: MAB JOB NO.: 2015-025			
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB
2	03/27/18	PER PLANNING BOARD COMMENTS	JDB



NOTES:

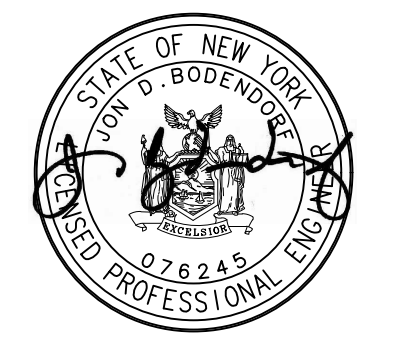
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

STORM LINE TRENCH DETAIL
NOT TO SCALE

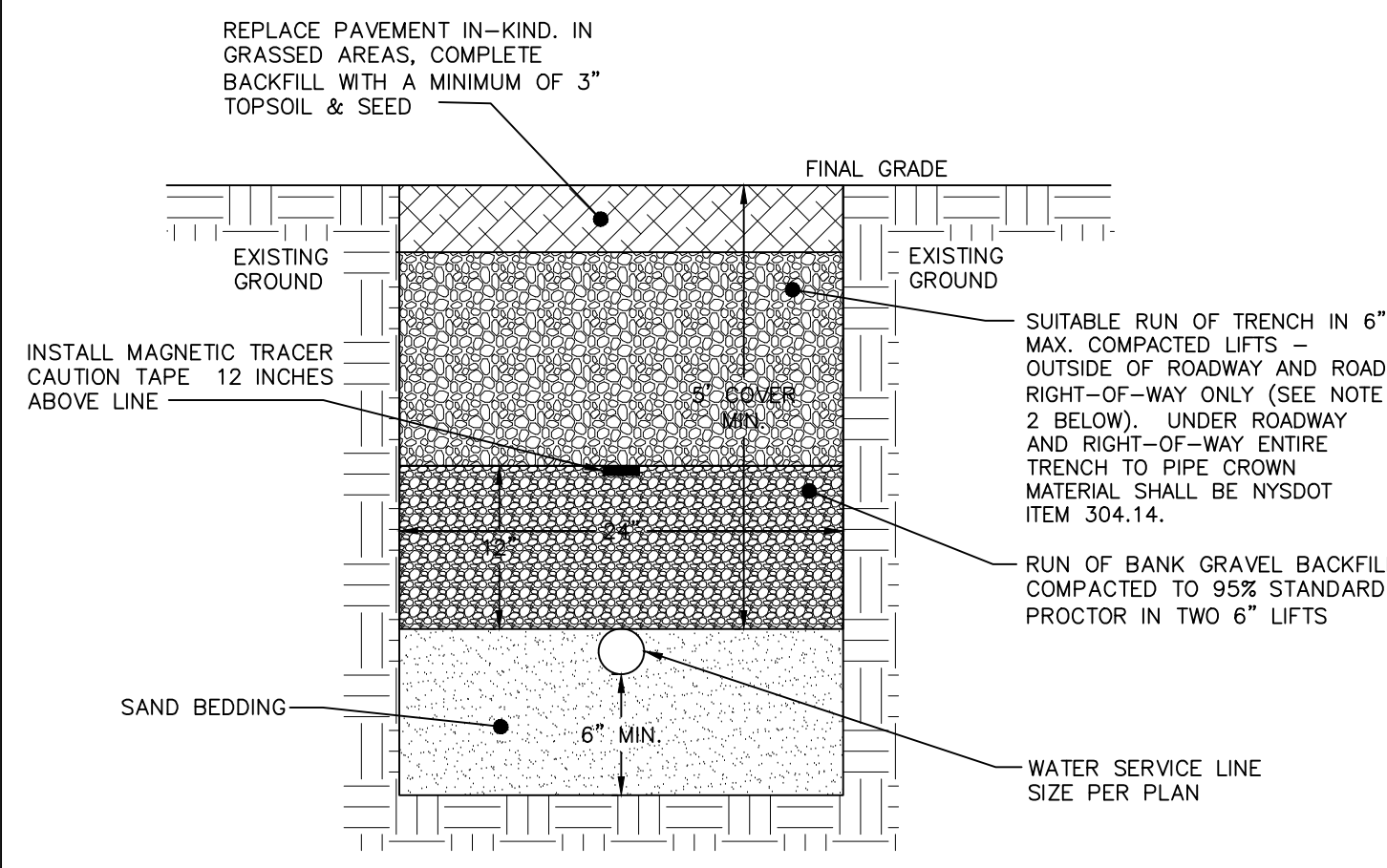
CONSTRUCTION DETAILS
25 TOWNSEND STREET

25 TOWNSEND STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6055-03-383149
SCALE: AS SHOWN
DECEMBER 7, 2015

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637

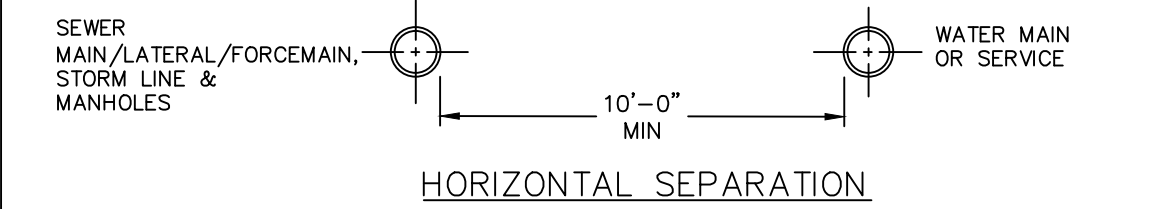
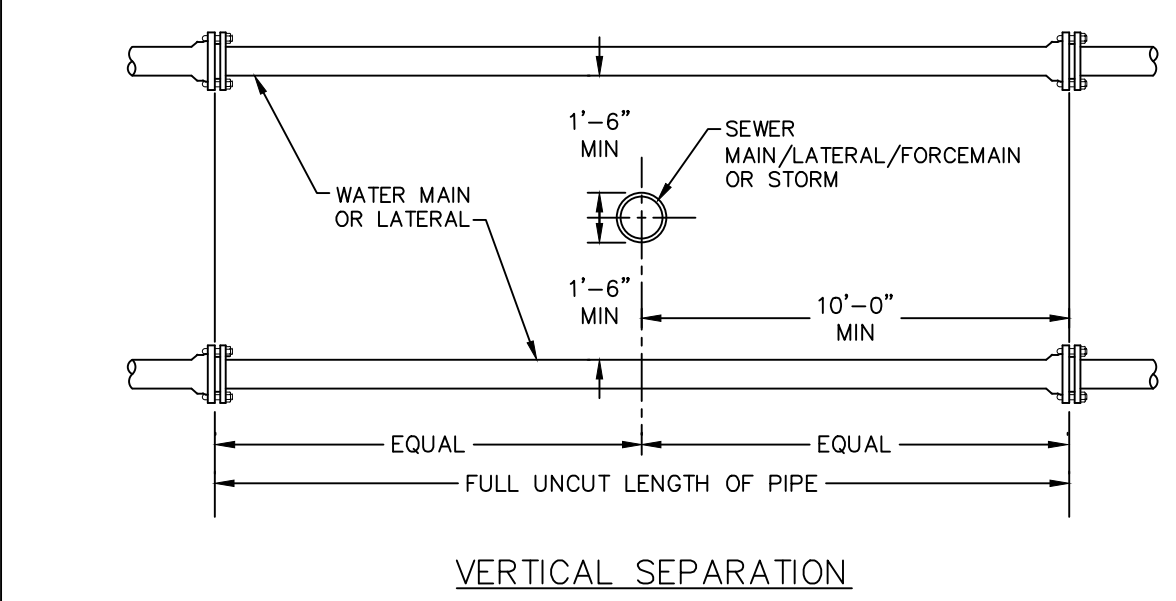


JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOHLER, P.E.
NYS LICENSE NO. 082716



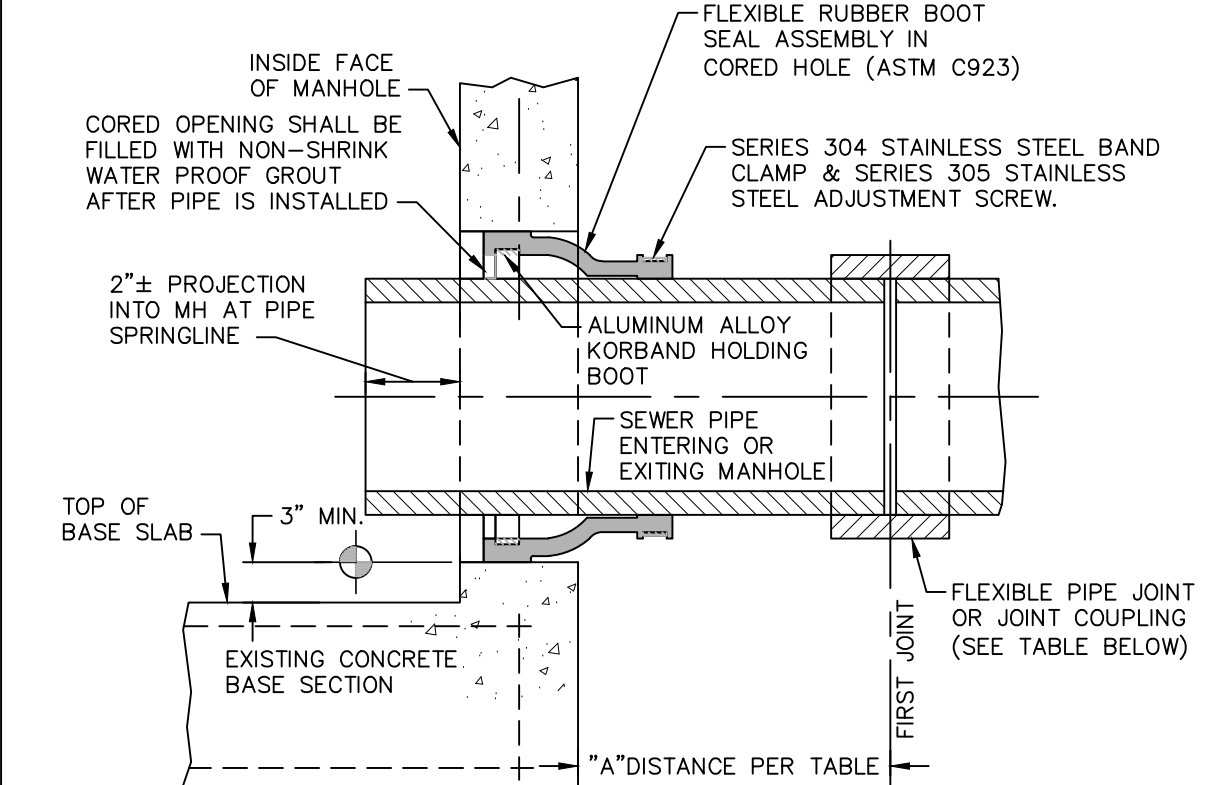
- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
 - IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.

WATER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



- NOTE:**
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

WATER LINE SEPARATION DETAIL
NOT TO SCALE



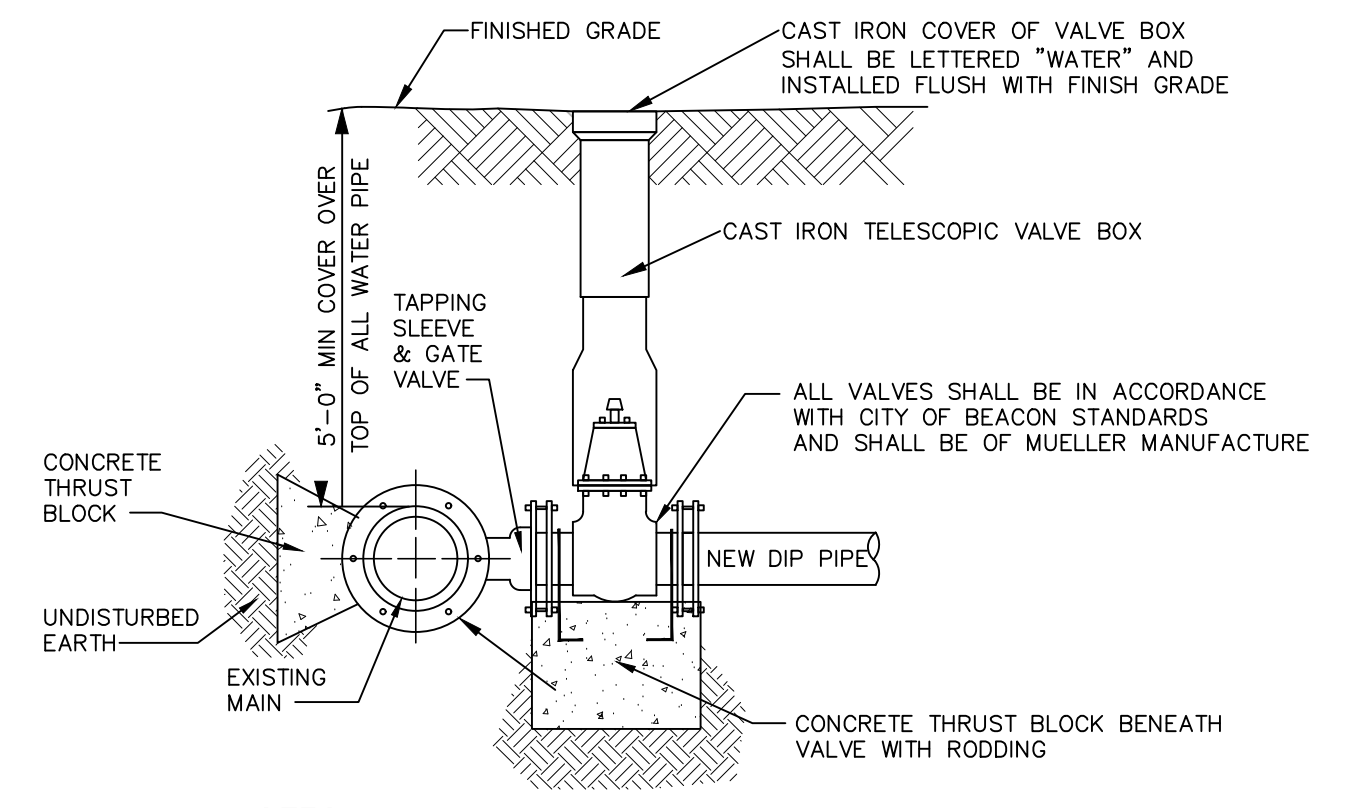
FLEXIBLE JOINT REQUIREMENTS

SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	"A" DISTANCE (FEET)
DUCTILE IRON	STD RUBBER GASKET PIPE JOINT ONLY	10' MAX
PVC	STD RUBBER GASKET PIPE JOINT ONLY	3' MAX

NOTE:

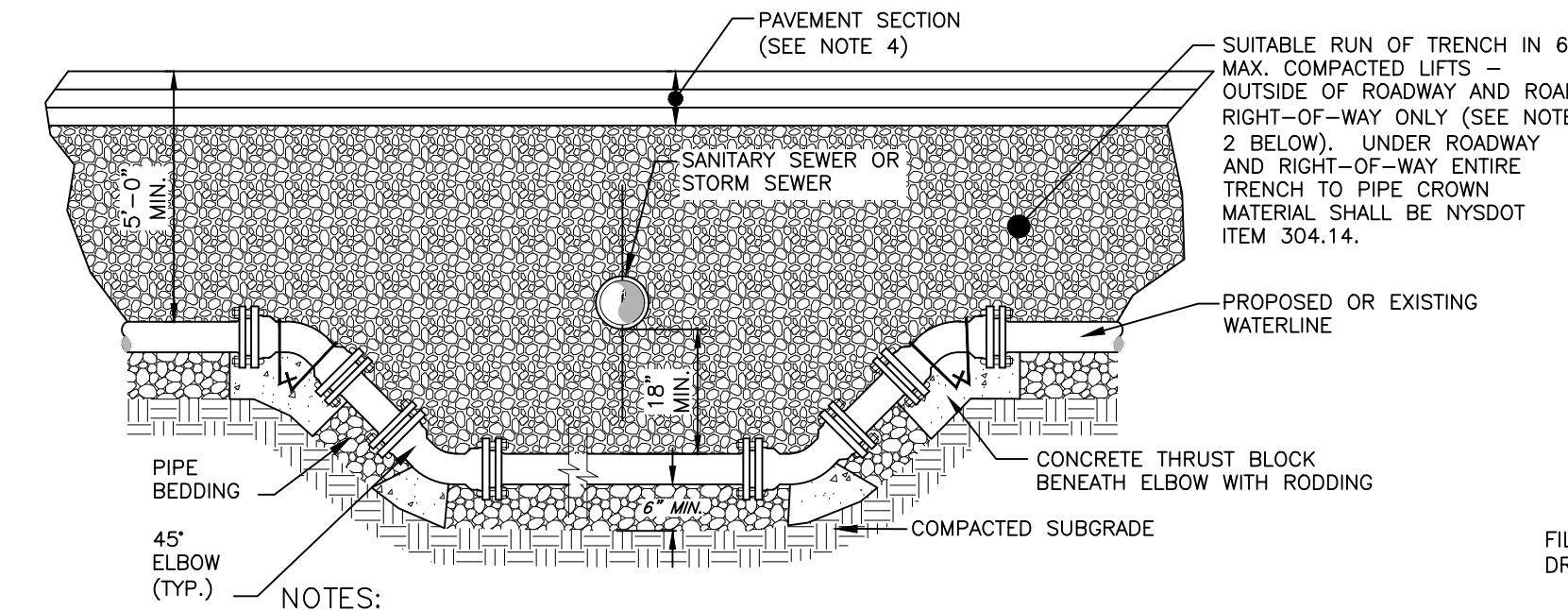
REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

CORED HOLE AND INSERTED BOOT DETAIL
NOT TO SCALE



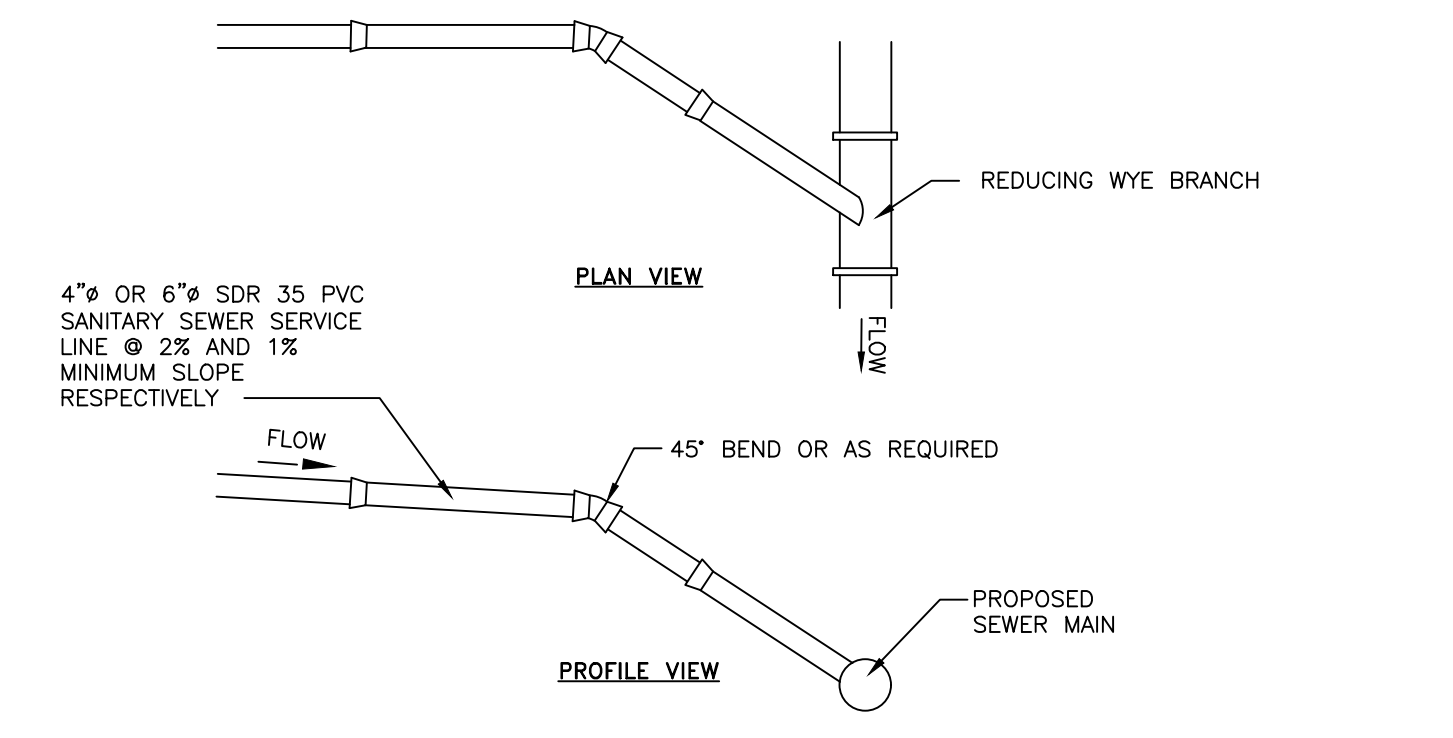
- NOTES:**
- ALL VALVES SHALL OPEN BY TURNING LEFT (COUNTERCLOCKWISE) AND HAVE A 2-INCH SQUARE-OPERATING NUT PAINTED RED.
 - ALL VALVES SHALL BE M.J. RESILIENT WEDGE TYPE WITH "O" RING PACKING, DESIGNED FOR A WORKING PRESSURE OF 150 PSI AND BE IN FULL CONFORMANCE WITH AWWA C500.
 - TAPPING SLEEVE AND GATE VALVE SHOWN ARE MUELLER H-615, AND T-2630 RESPECTIVELY.

TAPPING SLEEVE DETAIL
NOT TO SCALE



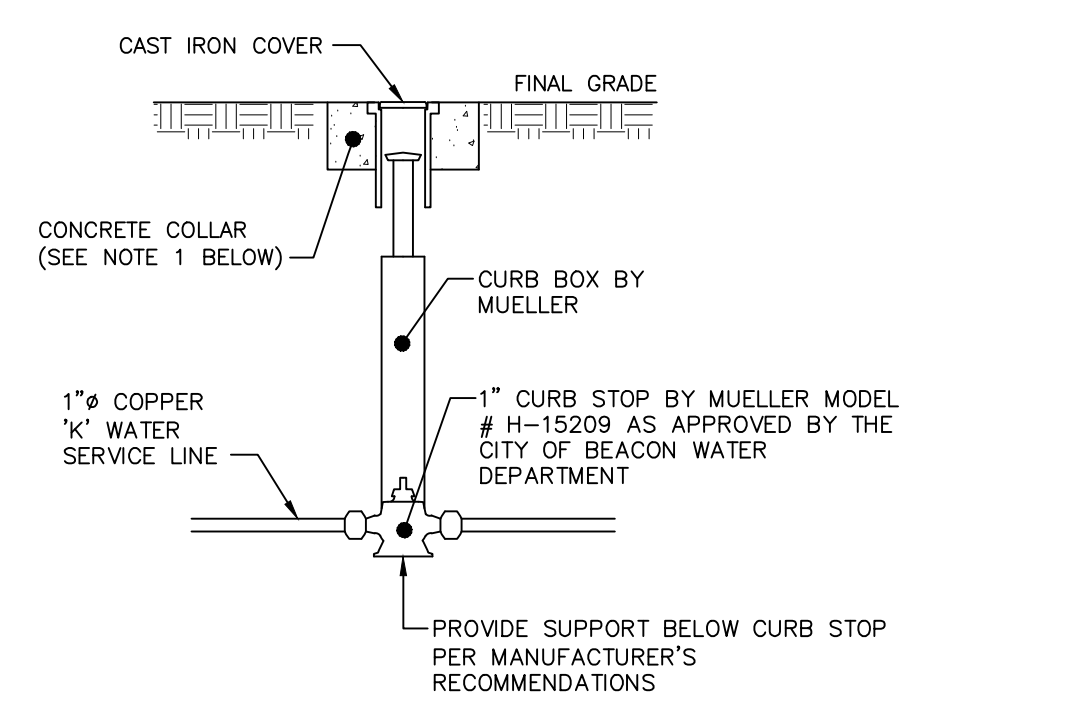
- NOTES:**
- WHEN THE ELEVATION OF THE SANITARY OR STORM SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER SERVICE LINE OR MAIN SHALL BE RELOCATED TO PROVIDE THIS REQUIRED SEPARATION OR RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATERMAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AWAY FROM THE SEWER AS POSSIBLE.
 - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
 - THE RELOCATED WATER MAIN/SERVICE LINE SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA, NYS DOH AND DCOH STANDARDS.
 - PAVEMENT RESTORATION SHALL BE IN ACCORDANCE WITH THE PAVEMENT RESTORATION DETAIL.
 - ALL REPLACED WATERMAIN SHALL BE 12" CLASS 52 DUCTILE IRON.

WATER LINE OFFSET DETAIL
NOT TO SCALE



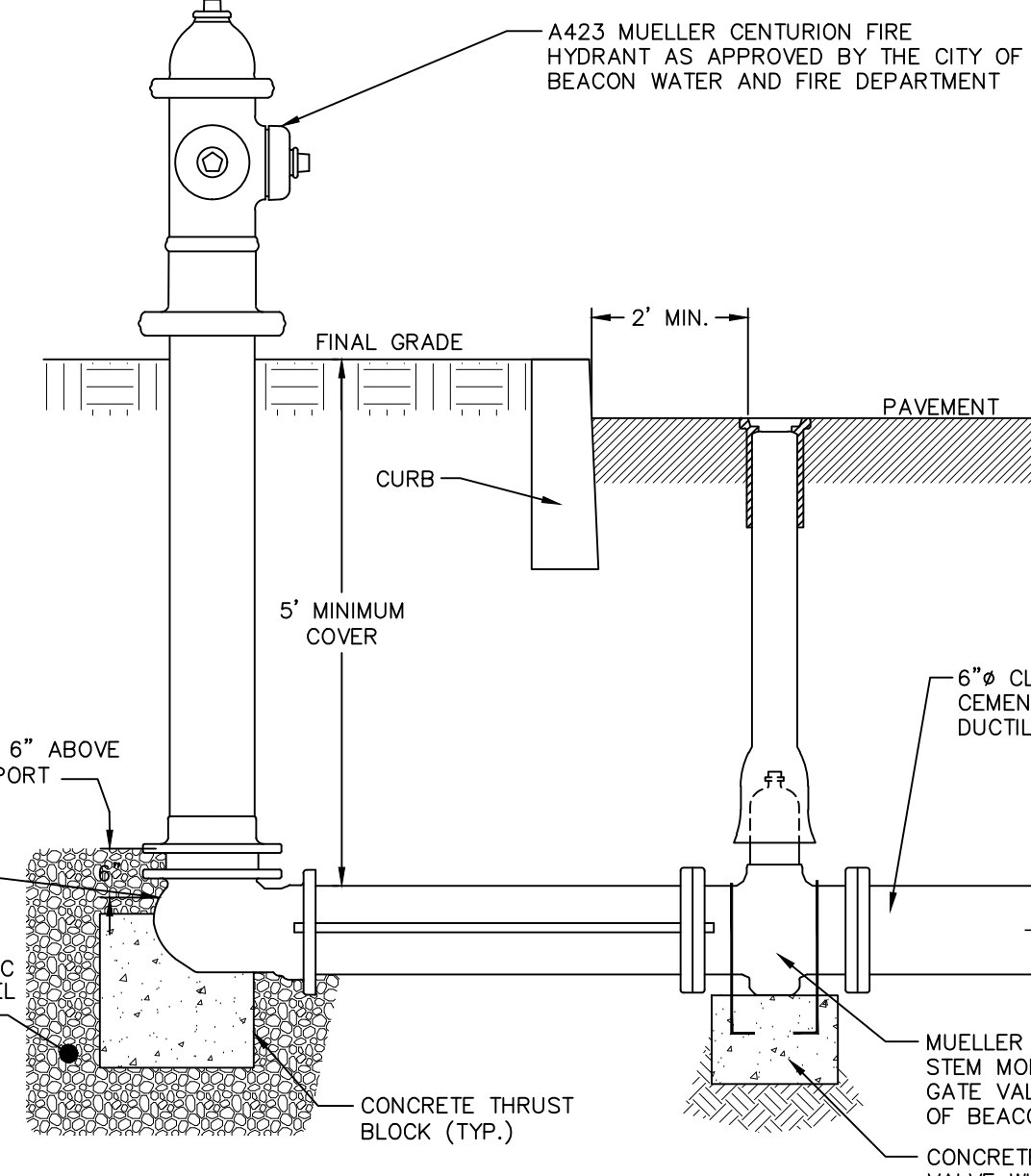
- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE



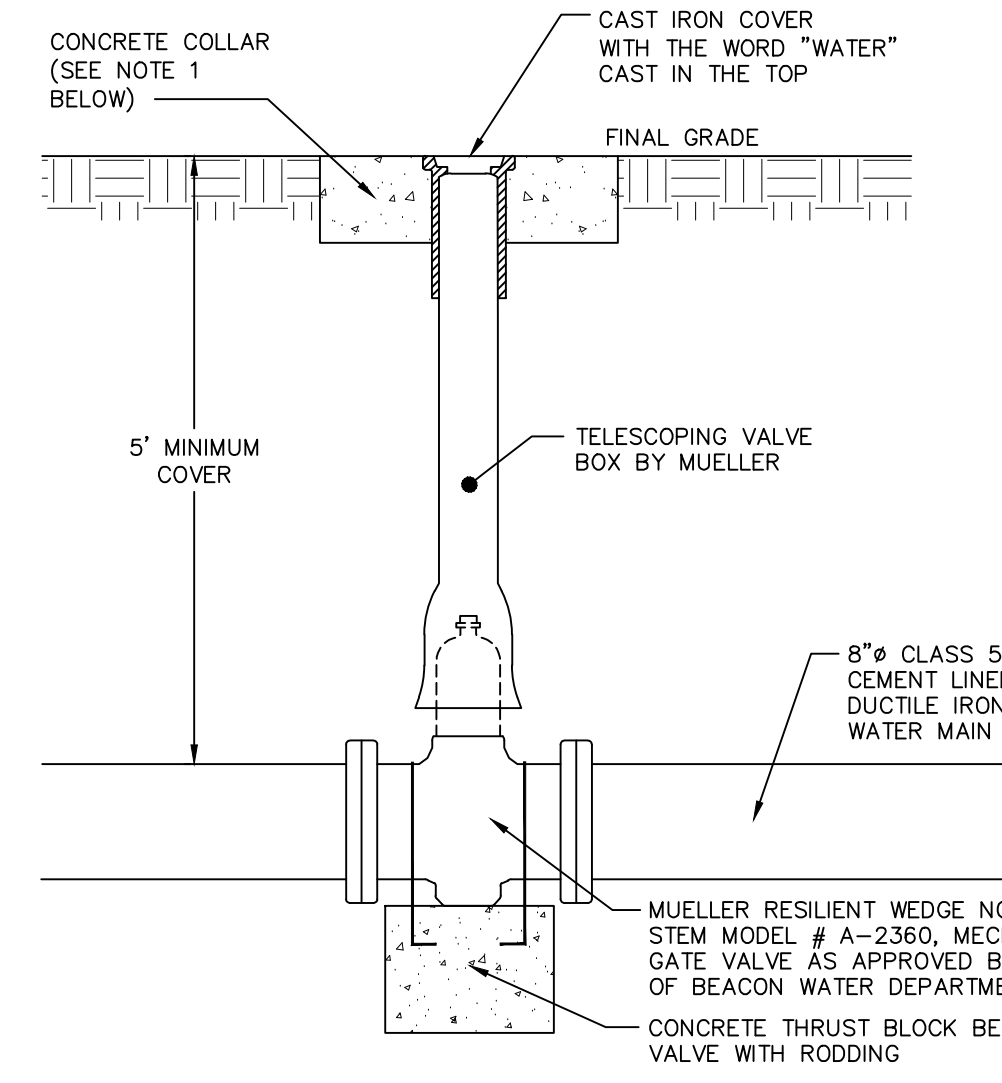
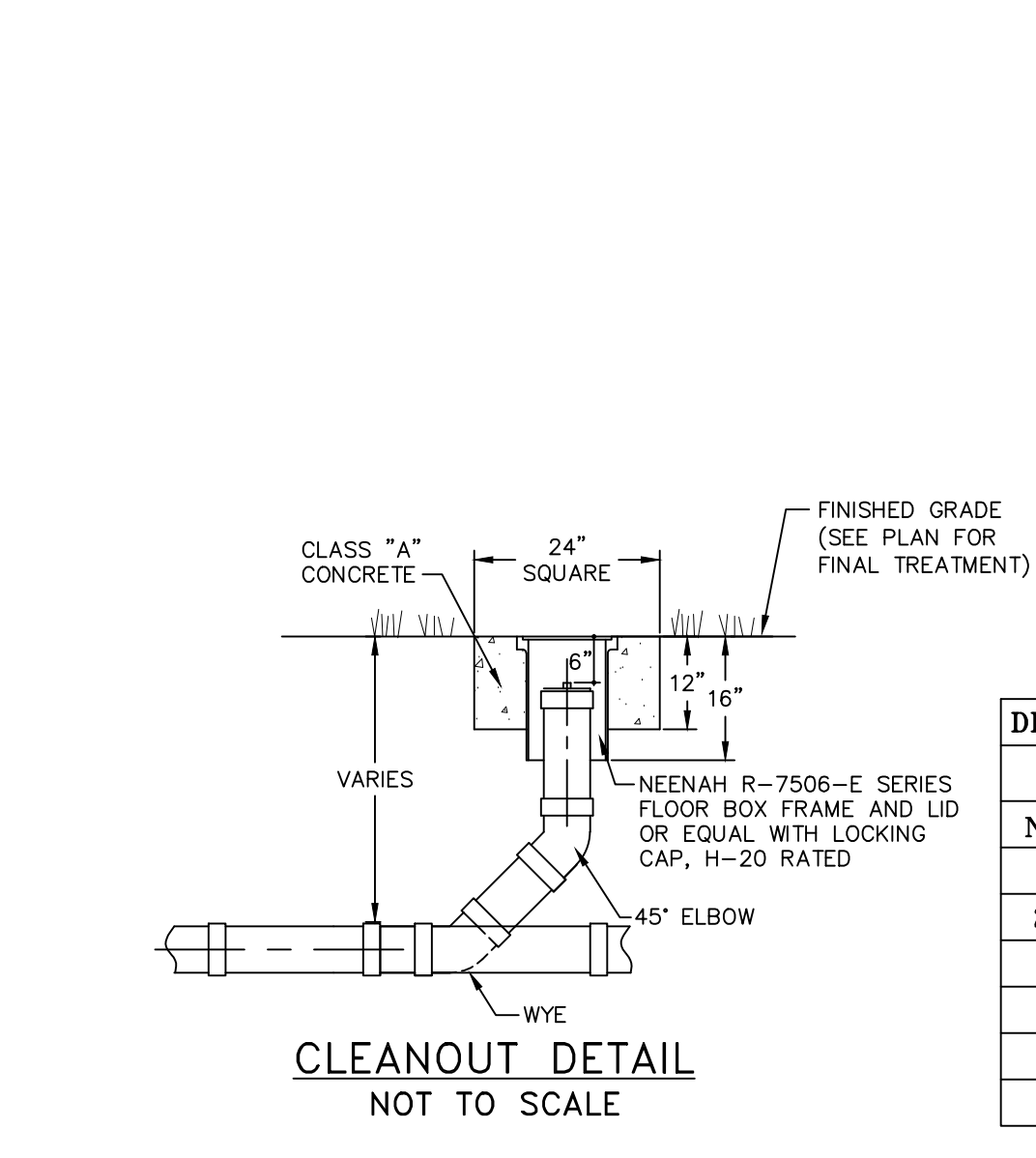
- NOTES:**
- CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.
 - CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 - AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.

WATER SHUT-OFF VALVE DETAIL
NOT TO SCALE



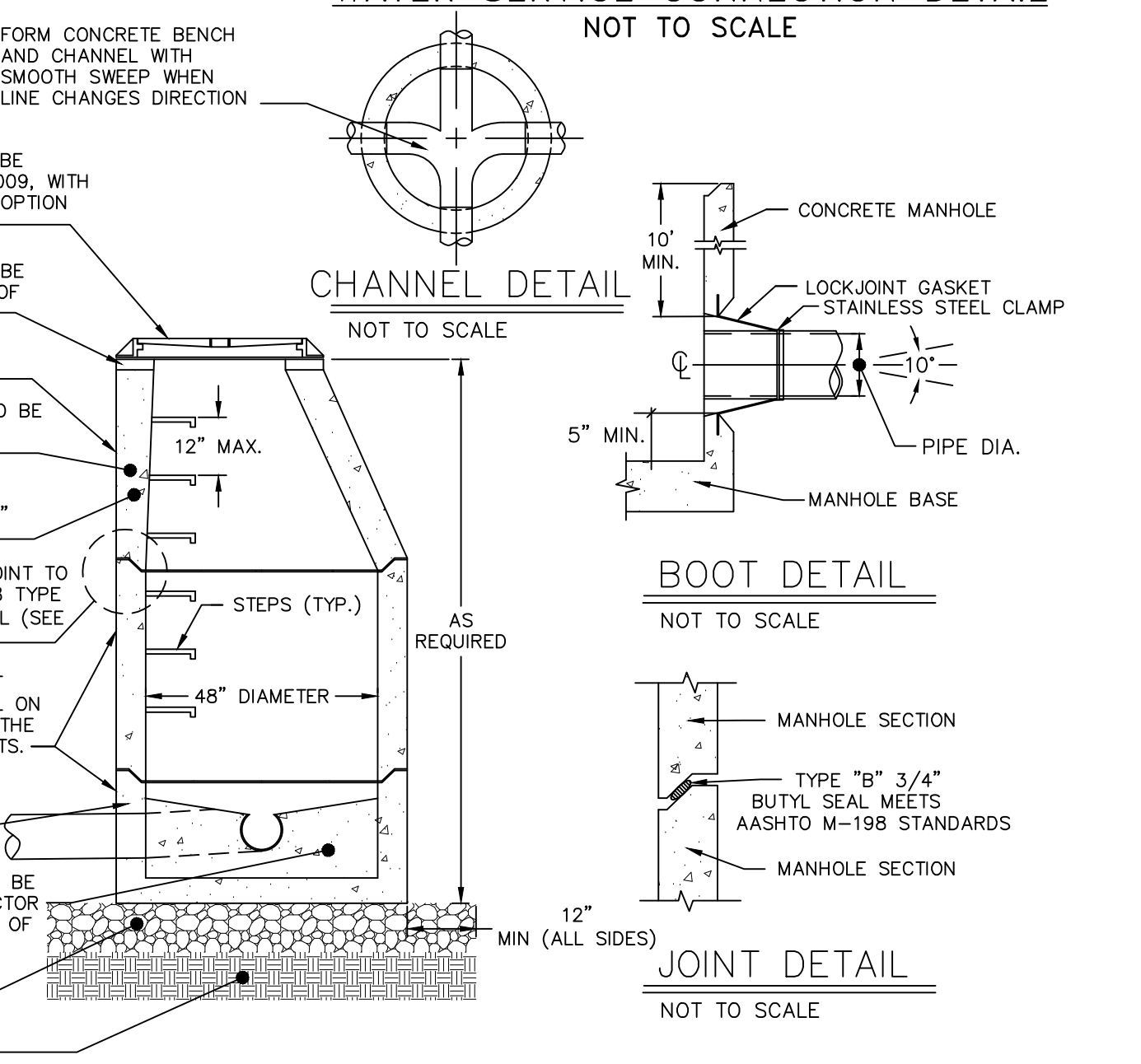
- NOTES:**
- THE GATE VALVE SHALL BE LOCATED THIRTY SIX (36) INCHES FROM THE HYDRANT CENTER LINE.
 - 1/2" STEEL TIE RODS TO BE PROVIDED BETWEEN THE GATE VALVE AND THE HYDRANT.

HYDRANT DETAIL
NOT TO SCALE



- NOTES:**
- CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.

GATE VALVE DETAIL
NOT TO SCALE



- NOTES:**
- PIPE CONNECTION TO BE STANDARD "LOCKJOINT" BOOT 5" OFF BASE OF MANHOLE (SEE DETAIL).
 - CONCRETE STRENGTH OF MANHOLE COMPONENTS TO BE 4000 PSI @ 28 DAYS IN ACCORDANCE WITH ASTM C-478-86.
 - STEEL REINFORCEMENT OF MANHOLE COMPONENTS TO MEET ASTM A615-A497 REQUIREMENTS.
 - LOADING OF MANHOLE COMPONENTS TO MEET H-20 REQUIREMENTS.
 - CONCRETE USED IN MANHOLE COMPONENTS TO CONTAIN 6% AIR ENTRAINMENT.
 - 4" MAXIMUM FROM MANHOLE TO PIPE JOINT.

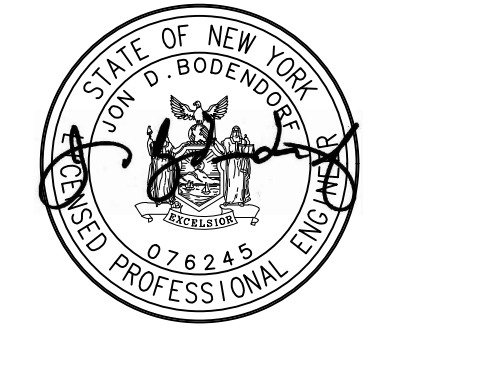
PRE-CAST CONCRETE SANITARY MANHOLE DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS
25 TOWNSEND STREET

25 TOWNSEND STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6055-03-383149
SCALE: AS SHOWN
DECEMBER 7, 2015



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOHLER, P.E.
NYS LICENSE NO. 082716

DRAWN BY: JDB		CHECKED BY: MAB		JOB NO.: 2015-025	
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	02/27/18	PER PLANNING BOARD COMMENTS	CMB		
2	03/27/18	PER PLANNING BOARD COMMENTS	JDB		

Project 25 Townsend Street
 Description Rip Rap Outlet Sediment Trap
 By/Date JDB 3/26/2018 Reviewed/Date MAB 3/27/2018



Hudson Land Design, P.C.
 174 Main Street
 Beacon, NY 12508

1) Standard Specifications for Sizing of Rip Rap Outlet Sediment Trap per NYS Standards and Specifications For Erosion and Sediment Control, July

- Sediment shall be removed and trap restored to the original dimensions when the sediment has accumulated to 0.5 of the design depth.
- The volume of sediment trap as measured at the elevation of the crest of the outlet shall be at least 3,600 cubic feet per acre of drainage area
- All embankments for sediment traps shall not exceed 5 feet in height as measured from low point of the original ground along the centerline of the embankment
- Embankments shall have a minimum 4 foot wide top and side slopes of 2:1 or flatter
- Storage area provided shall be figured by computing the volume available behind the outlet channel up to an elevation of one foot below the weir crest
- Filter cloth shall be placed over the bottom and sides of the outlet channel prior to placement of the stone. Sections of fabric shall overlap at least one (1) foot with section nearest the entrance placed on top. Fabric shall be embedded at least six (6) inches into existing ground at entrance of outlet channel.
- Stone used in the outlet channel shall be 4" to 8" rip rap.
- Rip rap outlet sediment traps shall be limited to a 5 acre maximum drainage area.

2) Determine Required Storage

Sediment Trap ID	Area (ac)	Volume Required (cf)
Sediment Trap 1	1.48	5,328

3) Determine Weir Outlet Specifications per pgs. 5.48 and 5.51 of NYS Standards and Specifications For Erosion and Sediment Control, July 2016

- Contributing drainage area of 1.48 acres
- Weir invert = 207
- Bottom elevation of sediment trap = 202
- Maximum storage limit = Weir invert - 1.0' = 206
- Minimum weir width = 4 X D.A. (ft) = 6 (Rounded Up)

4) Determine Storage Volume Provided & Cleanout Volume

Contour	Area (sf)	Volume Provided (cf)	Cum. Volume Provided (cf)
202	219	0	0
203	493	356	356
204	848	671	1,027
205	1,284	1,066	2,093
206	1,802	1,543	3,636
207	2,388	2,095	5,731 (Weir)
208	3,031	2,710	8,440 (Top of Embankment)

- Storage up to weir invert = 5,731 cf. Required Overall Storage = 5,328 cf
- Sediment Trap Depth = 6.0 ft Is volume requirement met? Yes - Trap sufficient
- Cleanout volume elevation = 204.5 ft



r 2016

ient

oo

To: John Gunn, Chair, and the City of Beacon Planning Board
Date: April 5, 2018
Re: **25 Townsend Street Subdivision**

I have reviewed the March 27, 2018 response letter from Hudson Land Design and an 8-sheet Preliminary Subdivision Plan set with the latest revision date of March 27, 2018.

Proposal

The applicant is proposing to subdivide a 5-acre parcel in the R1-7.5 zoning district into 13 single-family house lots with an additional common lot for stormwater infiltration.

Comments and Recommendations

1. A number of recommendations from previous comment letters will need to be addressed in subsequent submissions, including:
 - The boundary measurements should be shown for each lot;
 - A low-maintenance landscaping plan should be specified for the central island; and
 - Street lighting should also be provided on the plan.
2. All existing major trees to be removed should be identified on the plat, not just the trees in the northeast corner near the Townsend Street entrance.
3. The Building Inspector should determine whether the 75-foot lots with tapered frontages meet the minimum lot width, based on the definition in Section 223-63. Section 223-12 H also requires that any dwelling must be erected in a part of the lot that meets the minimum lot width.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Jon D. Bodendorf, P.E., Hudson Land Design

To: John Gunn, Chair, and the City of Beacon Planning Board
Date: April 5, 2018
Re: **25 Townsend Street Subdivision**

I have reviewed the March 27, 2018 response letter from Hudson Land Design and an 8-sheet Preliminary Subdivision Plan set with the latest revision date of March 27, 2018.

Proposal

The applicant is proposing to subdivide a 5-acre parcel in the R1-7.5 zoning district into 13 single-family house lots with an additional common lot for stormwater infiltration.

Comments and Recommendations

1. A number of recommendations from previous comment letters will need to be addressed in subsequent submissions, including:
 - The boundary measurements should be shown for each lot;
 - A low-maintenance landscaping plan should be specified for the central island; and
 - Street lighting should also be provided on the plan.
2. All existing major trees to be removed should be identified on the plat, not just the trees in the northeast corner near the Townsend Street entrance.
3. The Building Inspector should determine whether the 75-foot lots with tapered frontages meet the minimum lot width, based on the definition in Section 223-63. Section 223-12 H also requires that any dwelling must be erected in a part of the lot that meets the minimum lot width.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Jon D. Bodendorf, P.E., Hudson Land Design

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

April 5, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: 25 Townsend Street
City of Beacon
Tax Map No. 6055-03-383149

Dear Mr. Gunn:

Our office has reviewed the plans entitled "25 Townsend Street", as prepared by Hudson land Design, and consisting of the following sheets:

- Sheet 1 of 8, entitled "Existing Conditions and Demo Plan", with the latest revision date of March 27, 2018.
- Sheet 2 of 8, entitled "Preliminary Subdivision Plan", with the latest revision date of March 27, 2018.
- Sheet 3 of 8, entitled "Utility Plan", with the latest revision date of March 27, 2018.
- Sheet 4 of 8, entitled "Utility Plan & Profile", with the latest revision date of March 27, 2018.
- Sheet 5 of 8, entitled "Erosion & Sediment Control Plan", with the latest revision date of March 27, 2018.
- Sheet 6 of 8, entitled "Construction Details", with the latest revision date of March 27, 2018.
- Sheet 7 of 8, entitled "Construction Details", with the latest revision date of March 27, 2018.
- Sheet 7 of 8, entitled "Construction Details", with the latest revision date of March 27, 2018.

Based upon our review of the above referenced plans, and the project engineer's response letter of March 27, 2018, we offer the following comments:

1. This project appears to disturb less than 5 acres and have less than 25% impervious cover, which the NYSDEC requires a SWPPP that only includes erosion control. However, the City of Beacon Code requires all projects that disturb over 2 acres to have a SWPPP that includes water quantity and water quality controls. See Chapter 190-7 of the City of Beacon Code for the requirements for a SWPPP. The SWPPP should be revised to include or calculate water quality treatment. *The applicant's consultant notes that the final SWPPP will be provided with the final subdivision plan.*

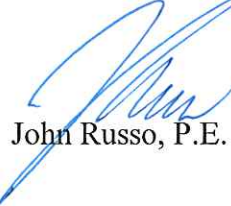
2. The test results of the soil testing performed on August 23, 2017 shall be made part of the SWPPP. *The applicant's consultant notes that the soil testing results will be made part of the final SWPPP.*
3. The project will require Dutchess County Department of Health approval for the extension of the water distribution and sewer collection systems following SEQR determination. Copies of all submissions to outside agencies shall be submitted to the Planning Board.
4. The applicant is proposing a Homeowners Association for the maintenance of the stormwater ponds proposed as part of the project. This may be problematic regarding long range operations and maintenance. We would suggest the Applicant contact the Planning Board Attorney to discuss what alternatives may be available. *The applicant noted that their attorney will work with the City's attorney regarding all required legal agreements related to the project.*
5. The metes and bounds for each lot, easement, and the road right-of-way, shall be provided on the plan. *The applicant's consultant notes that the information requested will be provided on the final subdivision plan.*
6. The proposed maintenance access to the proposed stormwater facility will be across lands that are being dedicated to the City of Beacon as road right-of-way. As such, a license agreement will need to be acquired from the City of Beacon to allow for the location and use of the proposed maintenance access as currently shown on the plan. *The applicant noted that their attorney will work with the City's attorney regarding all required legal agreements related to the project.*
7. The Existing Conditions plan should show the location of the existing water main in Townsend Street, along with any associated valves. This would include labeling the size of the water main and the pipe material.
8. The Subdivision Plan should call out handicap ramps at the locations where the sidewalk is proposed to cross the road.
9. The right-of-way around the exterior of the cul-de-sac should be enlarged so that the proposed sidewalk will be within the road right-of-way.
10. The lowest sewerable elevation (LSE) for each dwelling should be noted on the plans.
11. The utility plan shall note how connection to the existing water main will be made in Townsend. Will a wet-tap be required, or are valves present that would allow for the temporary shut-down of the existing line near the tie-in location to allow for the direct extension of the water line?
12. The Utility Plan should show the reconnection of the existing water hydrant near the entrance of the project site.

13. The alignment line should be provided on the utility plan. We would further recommend that the alignment either extend straight thru the cul-de-sac or around the cul-de-sac itself, instead of trailing towards and thru the future road extension.
14. A Landscaping Plan and details should be provided for the project, showing the landscaping of the proposed island in the cul-de-sac and street trees along the road. The landscape plan should provide a planting schedule with plant sizes and quantities. *The applicant's consultant is stating that a planting plan for the cul-de-sac island along with proposed street trees will be provided on the final subdivision plan.* The plan should be provided at this time to allow for review by the Planning Board and its consultants.
15. An additional street cross-section detail should be added to the plans to reflect that portion of the road with a grass strip located between the curb line and the sidewalk.
16. Construction details for separate curbing and sidewalks shall be added to the plans.
17. The location of the temporary sediment basin should be shifted further to the south so that it has the ability to collect run-off from the grading of lots 10 thru 13 also.
18. Striping details for the proposed cross-walk shall be provided on the detail sheets.

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector

City of Beacon Planning Board
4/10/2018

Title:

Washington Avenue - Fairview Subdivision

Subject:

Continue review of application for Subdivision Approval and Lot Line Realignment, 2 residential lots into 3 residential lots, submitted by Lori Joseph Builders, Inc. & Rina Shuman, 446 Washington Avenue

Background:

ATTACHMENTS:

Description	Type
Fairview Subdivision Cover Letter	Cover Memo/Letter
Fairview Subdivision Sheet 1 Subdivision Plat	Plans
Fairview Subdivision Sheet 2 Subdivision Plan	Plans
Fairview Subdivision Sheet 3 Erosion & Sediment Control	Plans
Fairview Subdivision Sheet 4 Details	Plans
Planner Cover Letter	Consultant Comment
Engineer Review Letter	Consultant Comment



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

March 27, 2018

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: Fairview Subdivision
Tax IDs: 6055-82-656107 & 6054-82-645105
City of Beacon, New York

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the subdivision plan set in response to Lanc & Tully's March 8, 2018 comment letter and John Clarke Planning and Design's March 8, 2018 comment letter. Below is a point-by-point response to the comments received.

Lanc & Tully's March 8, 2018 Comment Letter:

General:

1. Comment satisfied by TEC Land Surveying.

Sheet 1 of 4:

1. Comment satisfied by TEC Land Surveying.
2. Comment satisfied by TEC Land Surveying.
3. Comment satisfied by TEC Land Surveying.

Sheet 2 of 4:

1. Note 15 was added to Sheet 2 stating that the retaining wall shall be designed by a NYS licensed engineer and submitted to the City of Beacon Building Department for review prior to construction.
2. The first 25' of the common driveway is now 16' wide. The driveway then tapers to 12' wide from the first 25' to the parking area for Lot 1. This taper provides a 19' parking area from the Lot 1 garage to the edge of the common driveway.
3. The easement line width was reduced for clarity and moved to the revised property line locations.
4. The driveway was extended to the road edge on Washington Avenue and a callout was added to the plan stating that the gravel area shall be removed and replaced with grass.
5. The plan shows spot elevations of 72.5 on the berm side of the swale. This will push flow towards the proposed culvert conveying flow to the sump.
6. The existing 4" sanitary sewer service to the Rivera parcel was edited to denote that it is a 4" PVC pipe.

7. A landscape plan was added to Sheet 3 showing the proposed 115 Switchgrass plugs and the 12 proposed spice bush plantings. A planting plug detail was added to Sheet 4.

Sheet 3 of 4:

1. The maintenance requirements for the inspection and repair of the overflow weir is included on Sheet 3, Note 13.

Sheet 4 of 4:

1. The retaining wall design was edited to show the removal of the timber guiderail and the inclusion of a parapet wall. The wall will be 36" above the driveway elevation at all points.
2. The pavement restoration detail was revised in accordance with the consultant's comments.

John Clark Planning and Design's March 8, 2018 Comment Letter:

1. Culvert to sump was rotated to save 36" oak tree. Grading is minimal, a tree well is not needed.
2. Two street trees were added to the plans outside of the 30' water main easement.

Please find enclosed the following materials for the Planning Board's consideration at your next available regularly scheduled meeting:

- Revised Subdivision Plan Set – 4 Sheets (5 copies);
- CD with all the above documents.

Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Respectfully,

Adam Gasparre
Project Manager

cc: Gary Joseph via Email
Daniel G. Koehler, P.E. (HLD File)

SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Contour interval is two foot. Elevations shown hereon are based on assumed datum.

FILED MAP REFERENCE

Map entitled "Rocky Glen Park", prepared by G.R. Hustis and filed in the Dutchess County Clerks office on July 11, 1934 as Map No. 1676

DEED REFERENCE

Doc. # 02 2016 1689
Carl Fisher
To
Susan Brady
March 17, 2016

TAX PARCEL NUMBER

City of Beacon, County of Dutchess County,
State of New York
130200-6055-82-645105 and
130200-6055-82-656107

ZONING

Subject Parcel is located within the (R1-10) One-Family Residence District as per map entitled "City of Beacon, NY Zoning" prepared by Frederick P. Clark Associates, Inc. Revised: July 29, 2014

DATE OF SURVEY

Field Completion: December 18, 2017

AREA

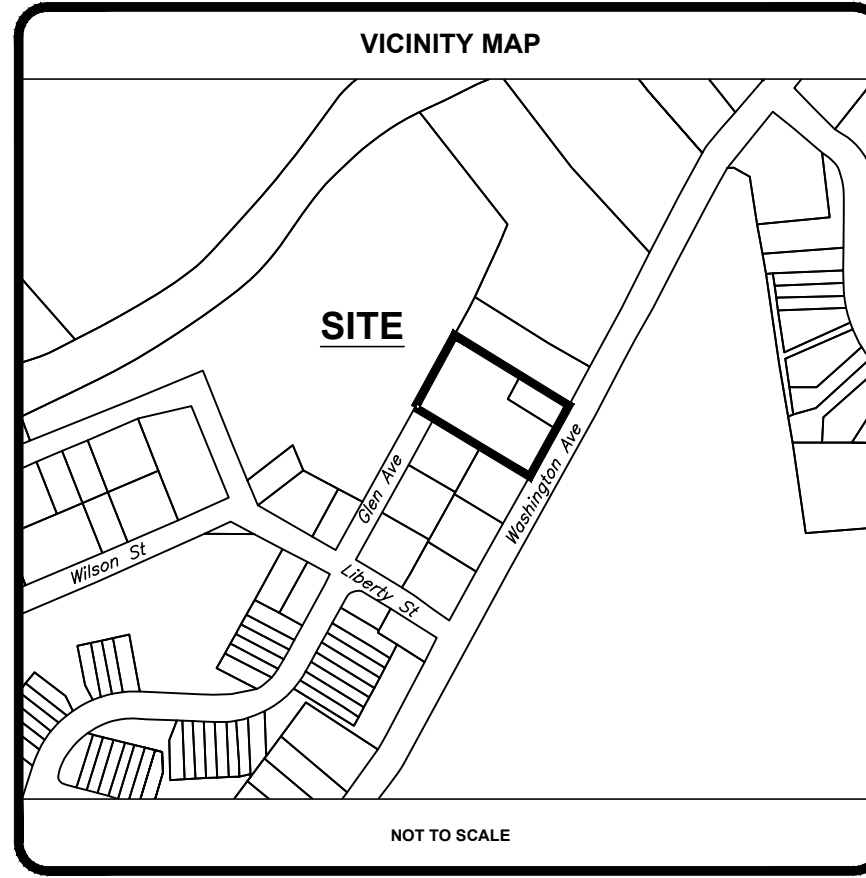
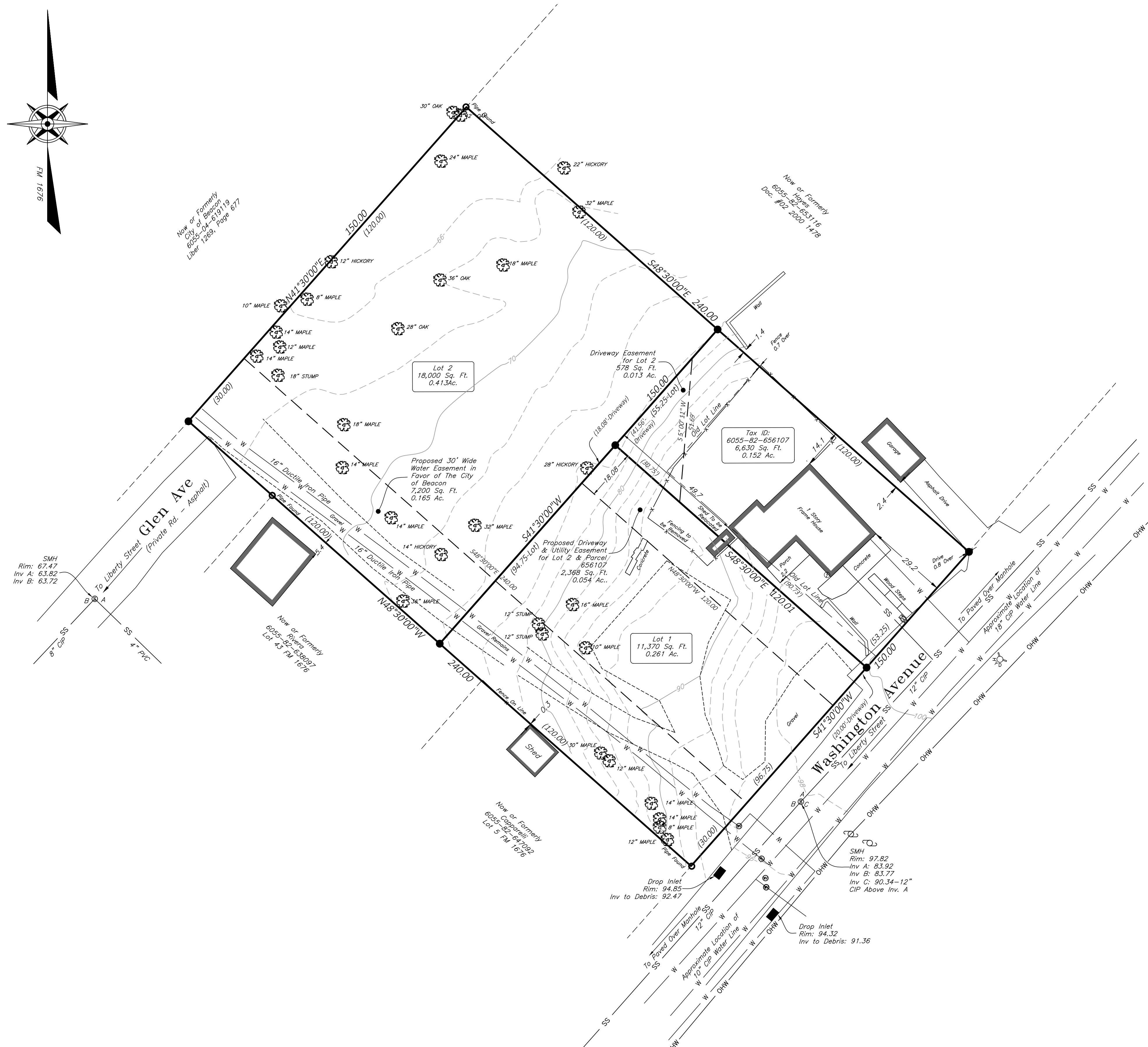
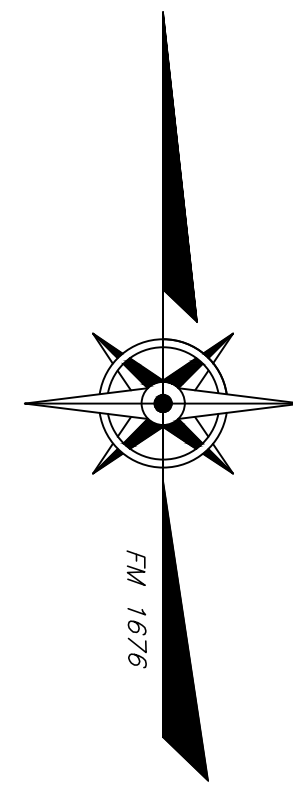
Lot 1
11,370 Square Feet
0.261 Acres
Lot 2
18,000 Square Feet
0.413 Acres
Lot 6055-82-656107
6,630 Square Feet
0.152 Acres

FLOOD BOUNDARY

Subject Parcel is located in Zone X (Unshaded) and is determined to be outside the 0.2% annual chance floodplain according to Flood Insurance Rate Map # 36027C0464E and effective date May 2, 2012

WETLAND NOTE

No NYSDEC or Federal wetlands were found on site.



LEGEND

- SS — PROPERTY LINE
- ST — SANITARY SEWER LINE
- ST — STORM SEWER LINE
- F — FENCE
- OHW — OVERHEAD WIRES
- ⊗ — HYDRANT
- ⊗ — GAS VALVE
- ⊗ — WATER VALVE
- ⊗ — ELECTRIC BOX
- ⊗ — SANITARY SEWER MANHOLE
- ⊗ — DROP INLET
- ⊗ — PIPE FOUND
- ⊗ — UTILITY POLE
- ⊗ — MAIL BOX
- ⊗ — GUY WIRE
- ⊗ — SIGN
- ⊗ — IRON ROD FOUND

rev.	date	description
2	03/22/18	Revisions as per Planning Board - Easment
1	1/29/18	Revisions as per Planning Board Comments

TEC LAND SURVEYING
156 TIORONDA AVE. BEACON, NY 12508
PH: 845.445.6590 FX: 845.445.6591

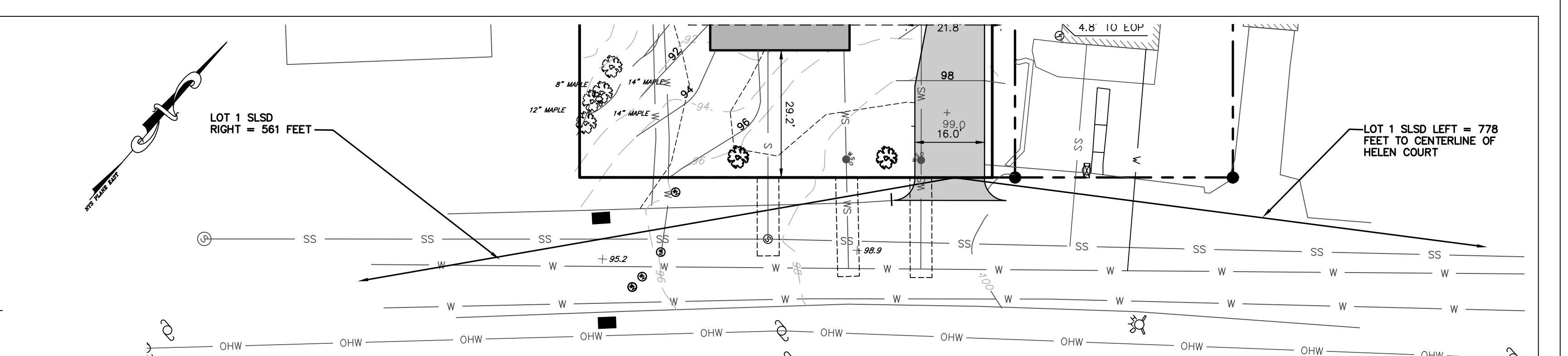
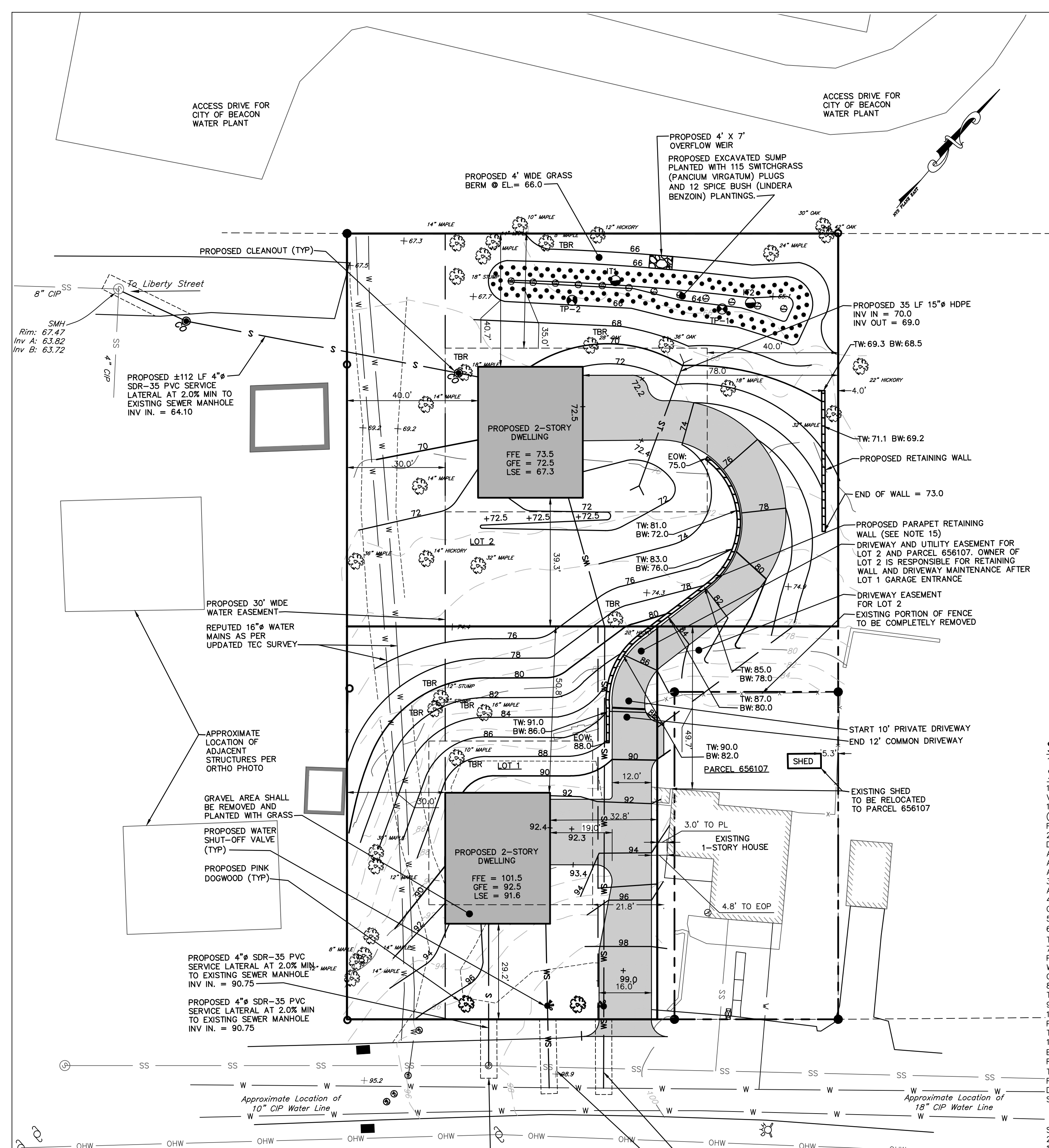
OWNER'S CONSENT
The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated hereon.

Rina Shuman _____ Date _____
Gary Joseph _____ Date _____

PLANNING BOARD
Approved by resolution of the Planning Board of the City of Beacon, New York, on the _____ day, of year _____. Subject to all requirements and conditions of said resolution. Any change, errasure, modification or revision of the plat as approved shall void the approval. Signed this _____ day, of year _____.
By: _____ Chairman

446 WASHINGTON
PLAT PREPARED FOR FAIRVIEW SUBDIVISION
CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id 845105 & 656107
address 446 WASHINGTON AVENUE
date 12/18/17 drawn BJ
scale 1"=20' checked TEC
project no. 17-091
project name 446 WASHINGTON
sheet 1 OF 4



LEGEND

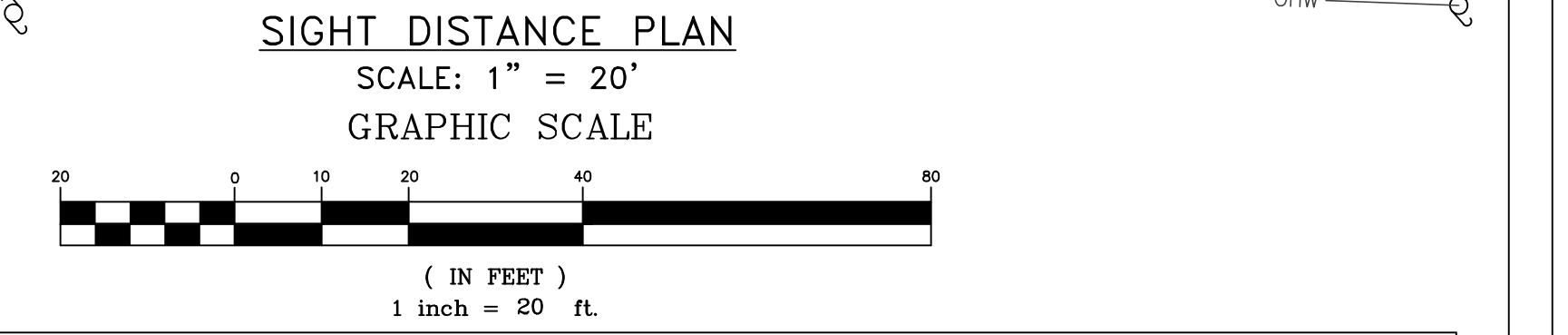
- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - BUILDING SETBACK LINE
- - - EXISTING ADJOINER LINE
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - EXISTING UTILITY POLE
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - PROPOSED SPOT ELEVATION
- - - EXISTING SEWER MAIN
- - - PROPOSED SEWER SERVICE LINE
- - - EXISTING WATER MAIN
- - - PROPOSED WATER SERVICE LINE
- - - PROPOSED WATER SHUT-OFF VALVE
- - - PROPOSED SEWER CLEAN OUT
- - - PROPOSED ROOF LEADER
- - - PROPOSED FOOTING DRAIN
- - - EXISTING TREE
- - - TO BE REMOVED
- - - DEEP TEST PIT
- - - INFILTRATION TEST

INFILTRATION TEST TABLE:
INFILTRATION TESTS RESULTS ESTABLISHED ON 2/22/2018

PT1: 24" DEEP: 0.5 INCHES/HOUR; 0.5 INCHES/HOUR; 0.5 INCHES/HOUR
PT2: 24" DEEP: 3 INCHES/HOUR; 3 INCHES/HOUR; 2.75 INCHES/HOUR

DEEP TEST HOLE TABLE:
DEEP TEST HOLE RESULTS ESTABLISHED ON 2/20/18

TP1: 0"-8" TOPSOIL, 8"-24" BROWN SILTY-CLAY LOAM, 24"-60" ORANGE CLAY LOAM; NO BEDROCK, NO GROUNDWATER, NO MOTTLING
TP2: 0"-8" TOPSOIL, 8"-60" BROWN SILTY-CLAY LOAM BEDROCK @ 60", NO GROUNDWATER, NO MOTTLING



SCHEDULE OF REGULATIONS (R1-10 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	TAX ID: 656107		LOT 1	LOT 2
		BEFORE REALIGNMENT	AFTER REALIGNMENT		
LOT AREA:	10,000 SQUARE FEET MIN	5000 S.F.*	6,630 S.F.*	11,370 S.F.	18,000 S.F.
LOT WIDTH:	85 FEET MINIMUM	50 FEET*	53.3 FEET*	96.8 FEET	120 FEET
LOT DEPTH:	100 FEET MINIMUM	100 FEET	120 FEET	120 FEET	150 FEET
YARD SETBACKS (RESIDENTIAL USE):					
FRONT YARD:	35 FEET MINIMUM	29.2 FEET*	29.2 FEET*	29.2 FEET*	39.3 FEET
SIDE YARD:	15 FEET MINIMUM	-2.2', 11.9'	3.0', 14.1'	30.0', 32.8'	40.0', 78.0'
SIDE YARD (TOTAL OF TWO):	40 FEET MINIMUM TOTAL	9.7'	17.1' TOTAL*	62.8' TOTAL	118.0' TOTAL
REAR YARD:	35 FEET MINIMUM	29.7'	49.7 FEET*	50.8 FEET	40.7 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):					
SIDE YARD:	15 FEET MINIMUM	-11.7'	5.3'	N/A	N/A
REAR YARD:	15 FEET MINIMUM	29.5'	38.8'	N/A	N/A
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET	<35 FEET	<35 FEET
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12 FEET	>12 FEET	>12 FEET	>12 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	<15 FEET	<15 FEET	N/A	N/A
BUILDING COVERAGE:	MAX 25%	20.8%*	14.0%	11.0%	7.1%
DWELLING UNITS PER BLDG:	MAX 1	1	1	1	1

* NON-CONFORMING EXISTING LOT
** FRONT YARD SETBACK IS LESS THAN 35' TO KEEP DWELLING IN LINE WITH EXISTING DWELLING ON PARCEL 656107

SURVEY NOTES:

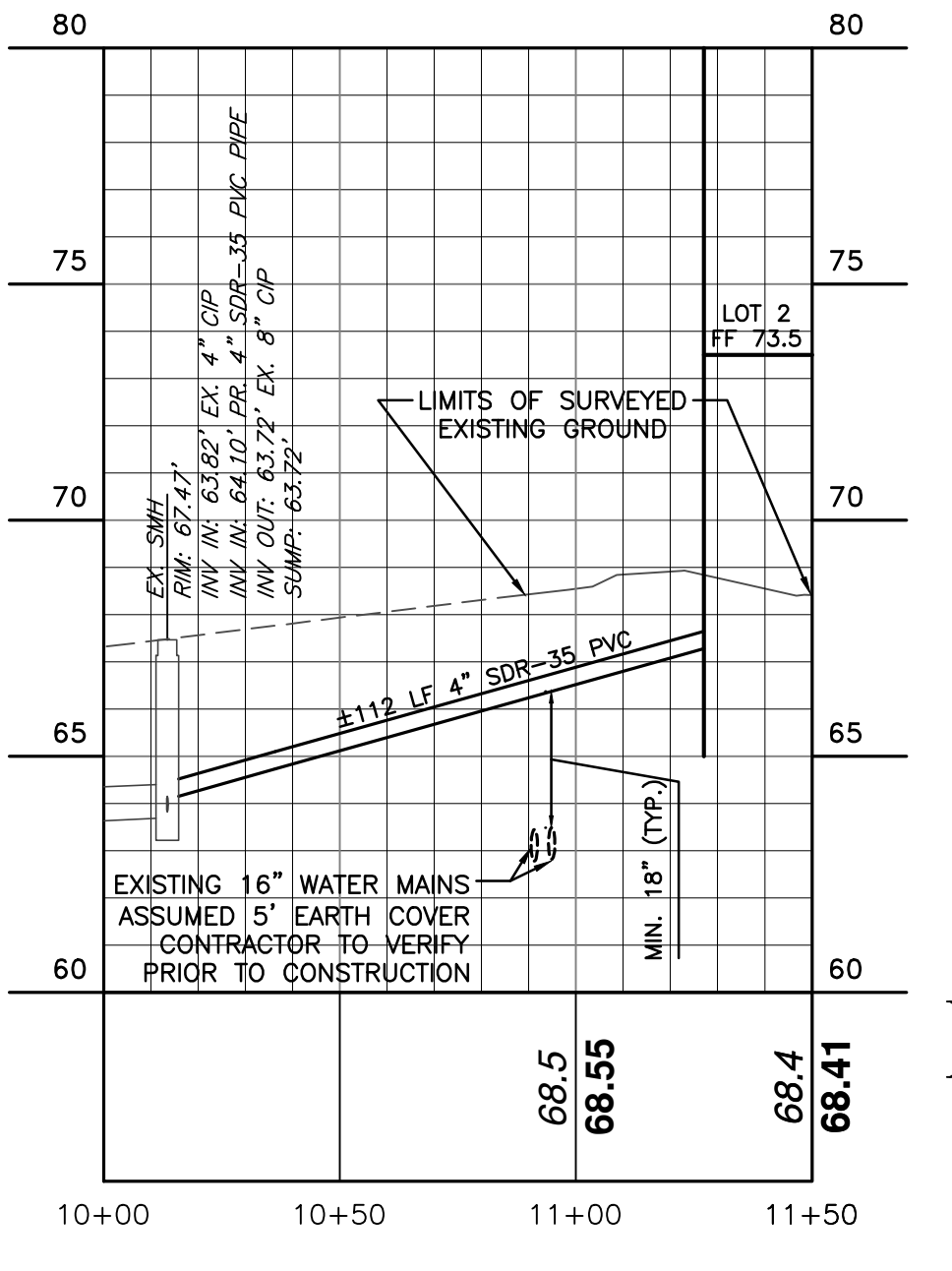
- SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
- ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
- SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
- THE DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:
LOT 1: SLSD RIGHT = ±561' FEET
SLSD LEFT = ±778 FEET (TO INTERSECTION WITH HELEN COURT)
STOPPING SIGHT DISTANCE (SSD) WAS OBSERVED TO BE IN EXCESS OF THE REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FROM THE LEFT AND RIGHT.
- INSTALLATION AND DESIGN OF SANITARY SEWER LINE IS SUBJECT TO VERIFICATION OF THE CITY OF BEACON MUNICIPAL SEWER SYSTEM.
- ALL SITE GRADING THAT IS COMMON TO BOTH LOT 1 AND LOT 2 SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR EITHER LOT 1 OR LOT 2.
- GRAVEL AREA IN FRONT OF LOT 1 SHALL BE REMOVED, SEEDED AND LANDSCAPED.
- RETAINING WALL SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK AND SUBMITTED TO THE CITY OF BEACON BUILDING DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

RINA SHUMAN DATE _____

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

GARY JOSEPH DATE _____



LOT 2: SEWER SERVICE LATERAL PROFILE
1:40 H
1:4 V

INDIANA BAT PROTECTION NOTES:

- TREE CLEARING SHALL BE RESTRICTED TO THE PERIOD BETWEEN OCTOBER 1 AND MARCH 31.
- THE LIMITS OF DISTURBANCE SHALL BE DEMARCATED BY INSTALLING ORANGE CONSTRUCTION FENCE FOR THE GENERAL IMPROVEMENT AND INFRASTRUCTURE CONSTRUCTION ACTIVITIES AND FOR THE INDIVIDUAL LOT CONSTRUCTION. THESE LIMITS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- DUST CONTROL DURING CONSTRUCTION SHALL BE IMPLEMENTED. THIS INCLUDES USE OF CONSTRUCTION ENTRANCES, APPLYING LIGHT WATER, AND ESTABLISHING VEGETATION.
- STREET LIGHTS ARE NOT PERMITTED. RESIDENTIAL LIGHTING SHALL BE DIRECTED DOWNWARD TO REDUCE IMPACTS TO BATS FORAGING FOR FOOD.
- NO CHEMICALS SHALL BE USED IN THE STORMWATER PONDS THAT MIGHT ADVERSELY IMPACT BATS OR THE INSECT POPULATION. THIS INCLUDES THE USE OF COPPER SULFATE.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**SUBDIVISION PLAN
FAIRVIEW SUBDIVISION**

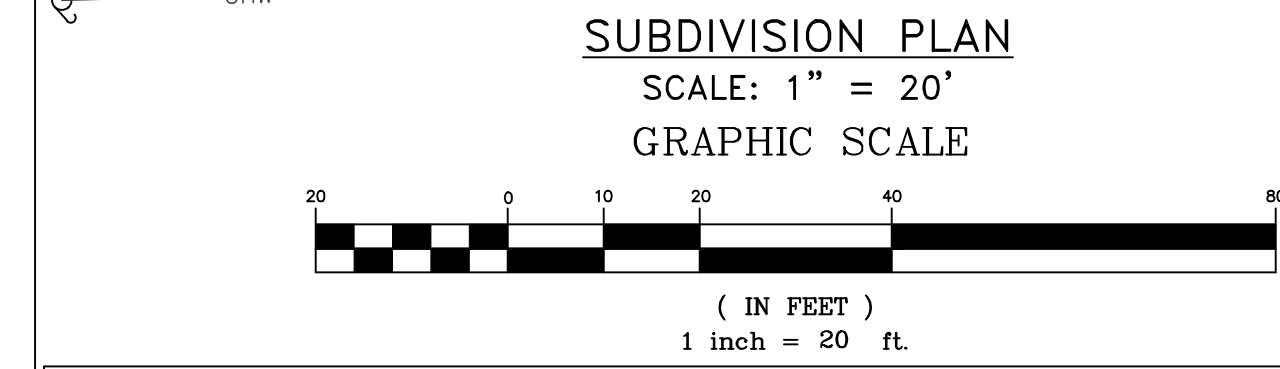
446 WASHINGTON AVE
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6055-82-656107 & 645105
SCALE: 1" = 20'
DECEMBER 26, 2017

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637

SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

SEAL
THOMAS CERCHIARA, P.L.S.



PROJECT INFORMATION:

PARCEL OWNERS: LORI JOSEPH BUILDERS INC. (6055-82-645105)
RINA SHUMAN (6055-82-656107)

PROJECT ENGINEER: HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508

PARCEL LOCATION: 446 WASHINGTON AVE, BEACON NY, 12508

TAX PARCEL IDS: 6055-82-656107 (±0.11AC) & 6055-82-645105 (±0.72AC)

PARCEL AREA: ±0.83 ACRES

WATER SUPPLY: MUNICIPAL

SEWAGE DISPOSAL: MUNICIPAL

MAP REFERENCES:

1. EXISTING FEATURES AS SHOWN ON THIS SUBDIVISION PLAN PROVIDED BY MAPPING OBTAINED FROM TEC LAND SURVEYORS, P.S., LLC.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON OCTOBER 6, 2017.

THOMAS CERCHIARA, P.L.S. SEAL

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

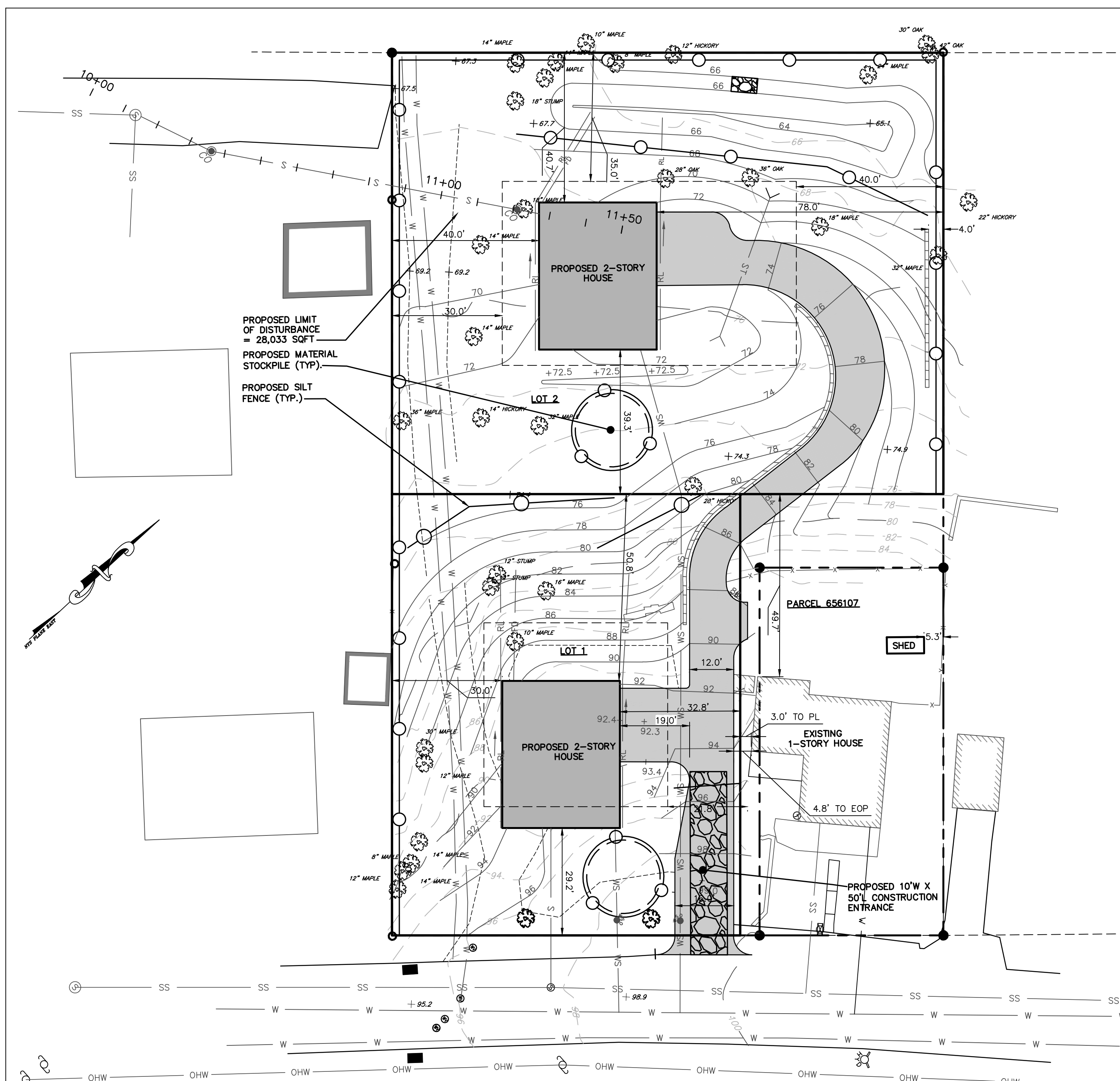
GARY JOSEPH SEAL

Dig Safely. New York
800-962-7962
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

DRAWN BY: AG CHECKED BY: DGK JOB NO.: 2017-038

REVISIONS:		
NO.	DATE	DESCRIPTION
1	01/30/18	REVISED LAYOUT PER UPDATED SURVEY
2	02/27/18	REVISED PER CONSULTANT COMMENTS
3	03/27/18	REVISED PER CONSULTANT COMMENTS



SURVEY NOTES:

- SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.

EROSION AND SEDIMENT CONTROL NOTES:

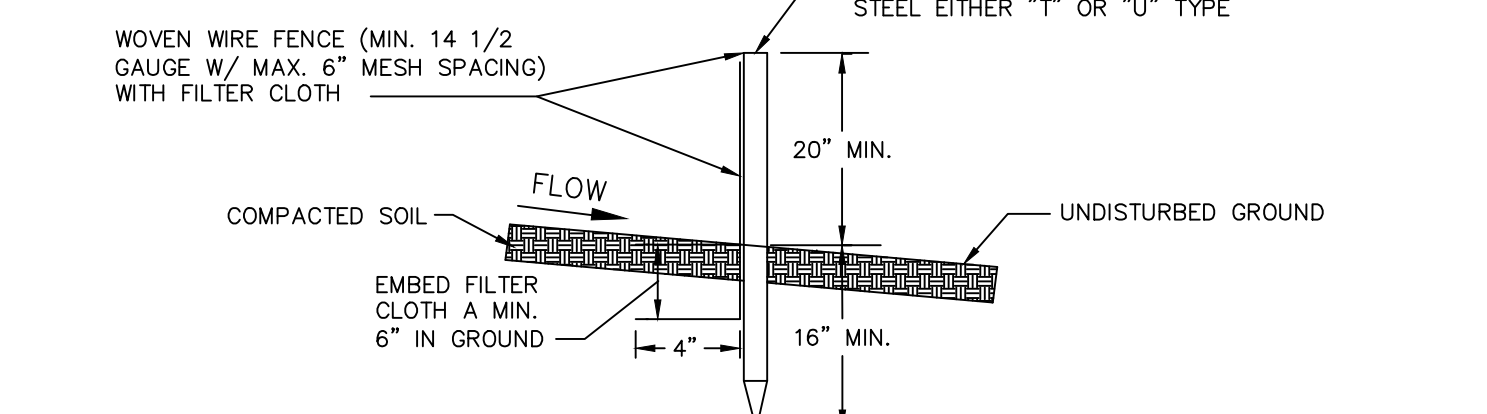
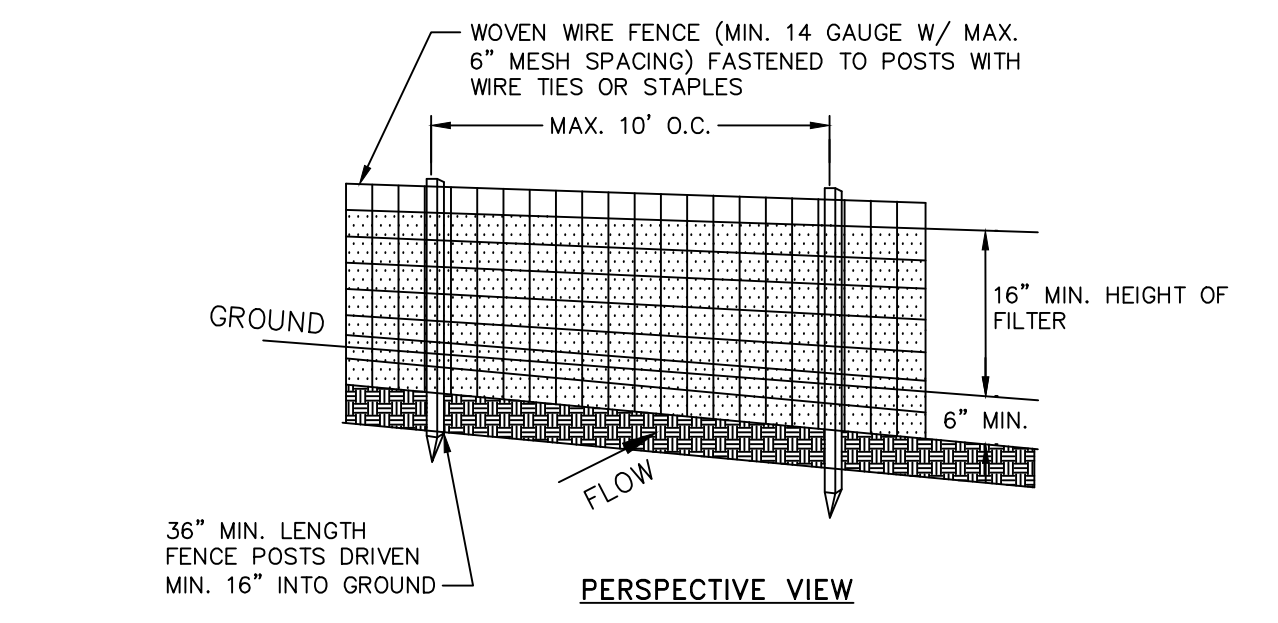
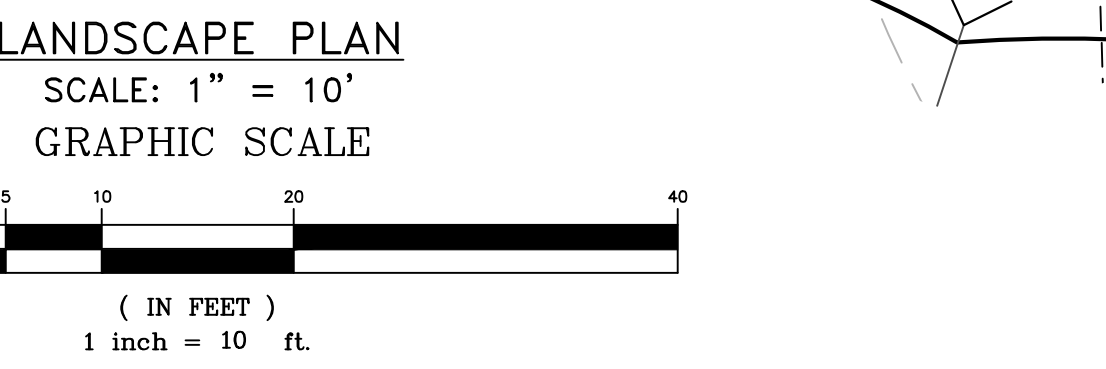
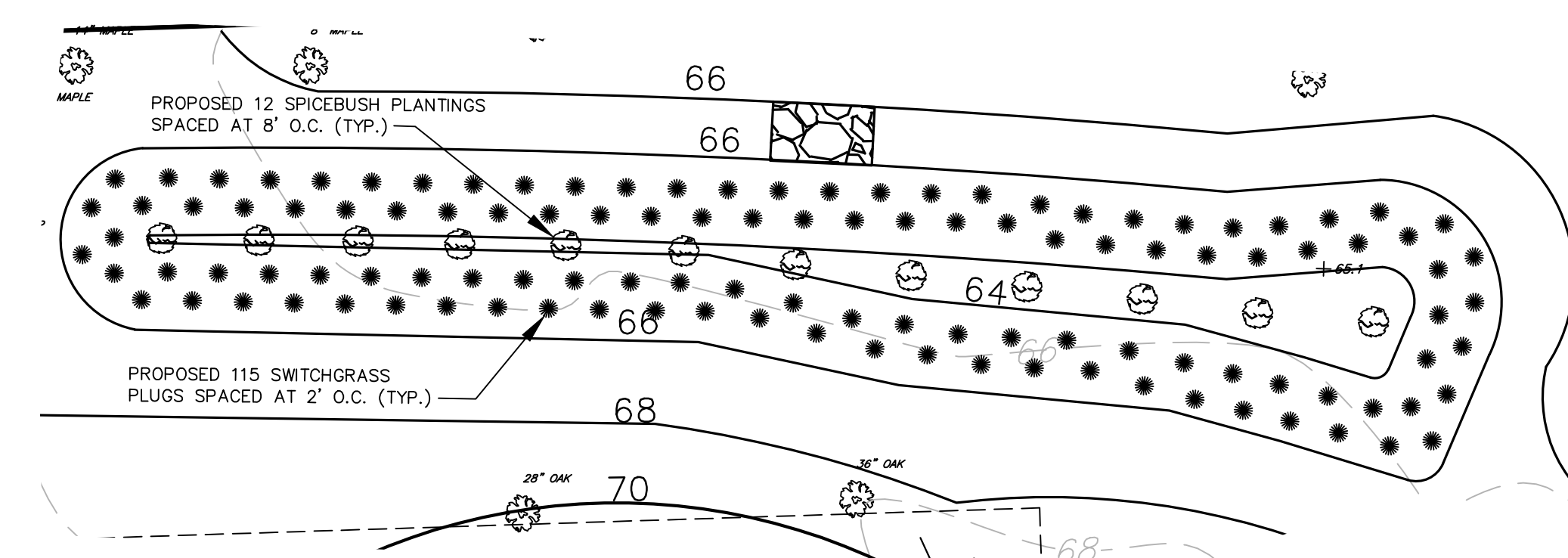
- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THIS SHEET.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
- THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
- STORMWATER SUMPS SHALL BE PROPERLY MAINTAINED BY WEEDING AND TRIMMING THE DROUGHT TOLERANT SPECIES TWICE A YEAR. MULCH SHALL BE REPLACED WHEN SEDIMENT BUILDUP OBSERVED AND THE INFILTRATIVE CAPACITY OF THE SUMP IS DIMINISHED.
- STORMWATER SUMP OVERFLOW WEIR SHALL BE INSPECTED ANNUALLY, OR AFTER ANY LARGE STORM EVENTS. SEDIMENT ACCUMULATION SHALL BE MONITORED AND REMOVED FROM RIP RAP AS REQUIRED. DEBRIS SHALL BE REMOVED WHEN BUILD-UP HAS ACCUMULATED TO APPROXIMATELY 10% TO 20% OF WEIR CAPACITY.

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

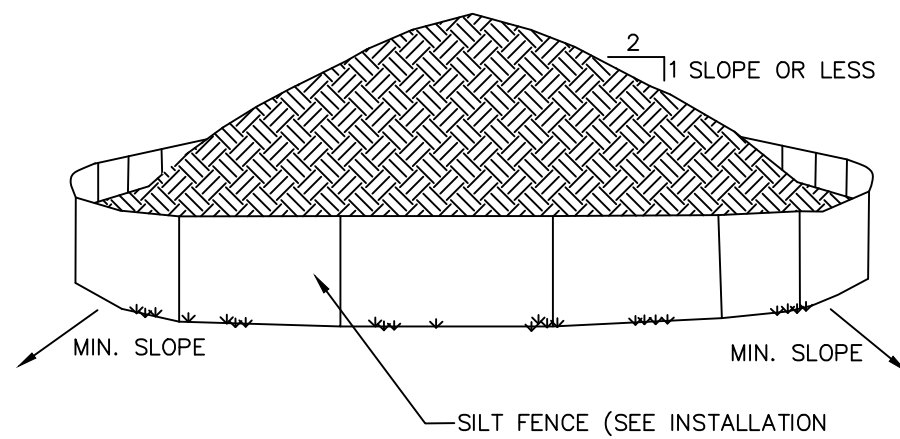
RINA SHUMAN _____ DATE _____

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

GARY JOSEPH _____ DATE _____



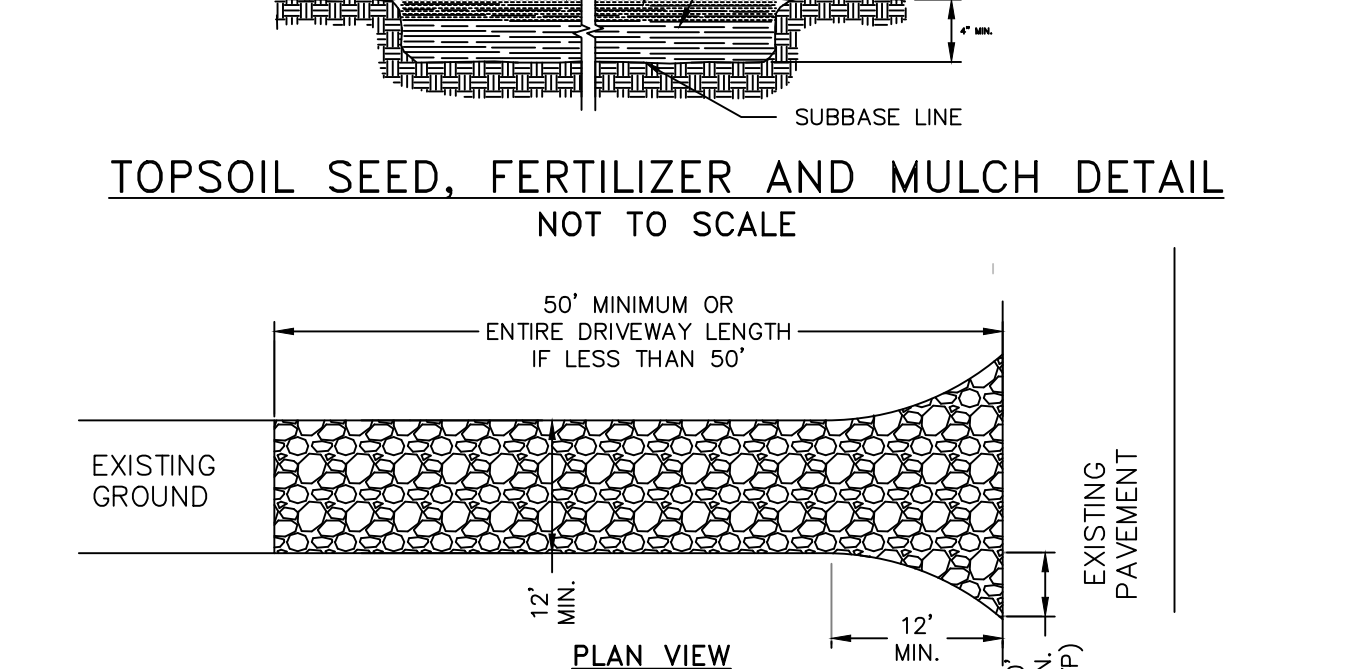
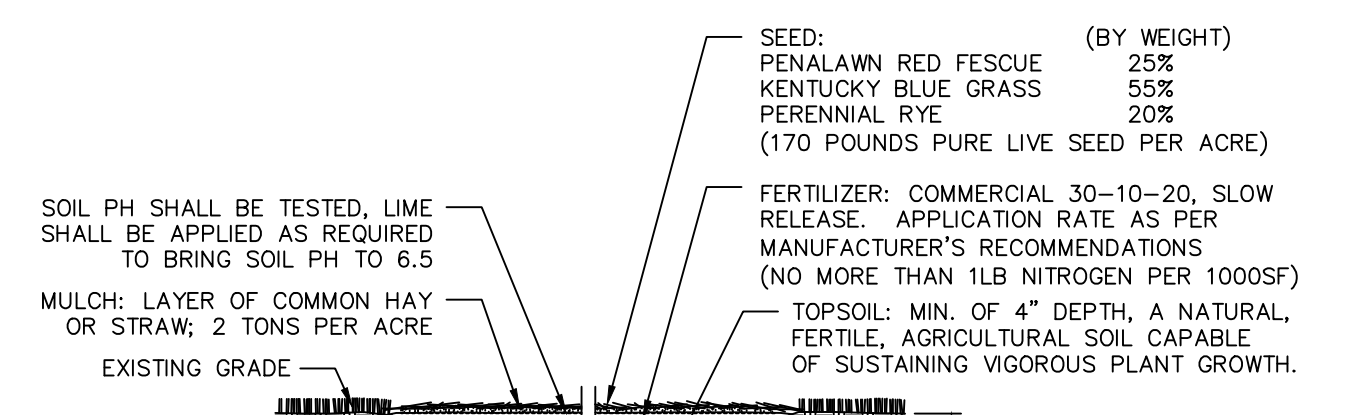
- NOTES:**
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



- NOTES:**
- AREA CHOSEN FOR STOCKPIILING OPERATIONS SHALL BE DRY AND STABLE.
 - EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING UTILITY POLE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
○	PROPOSED SPOT ELEVATION
---	PROPOSED SILT FENCE
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SOIL STOCKPILE BOUNDARY



- NOTES:**
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN

SECRETARY

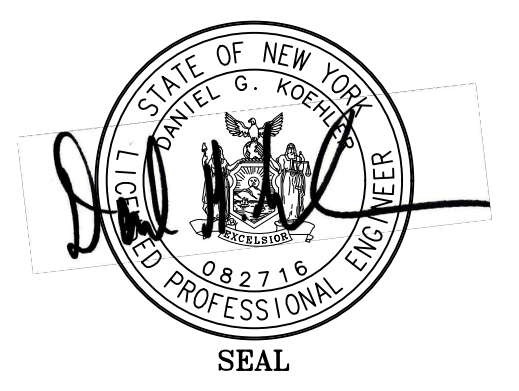
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

EROSION & SEDIMENT CONTROL PLAN
FAIRVIEW SUBDIVISION

446 WASHINGTON AVE
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6055-82-656107 & 6055-82-645105
SCALE: 1" = 20'
DECEMBER 26, 2017



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

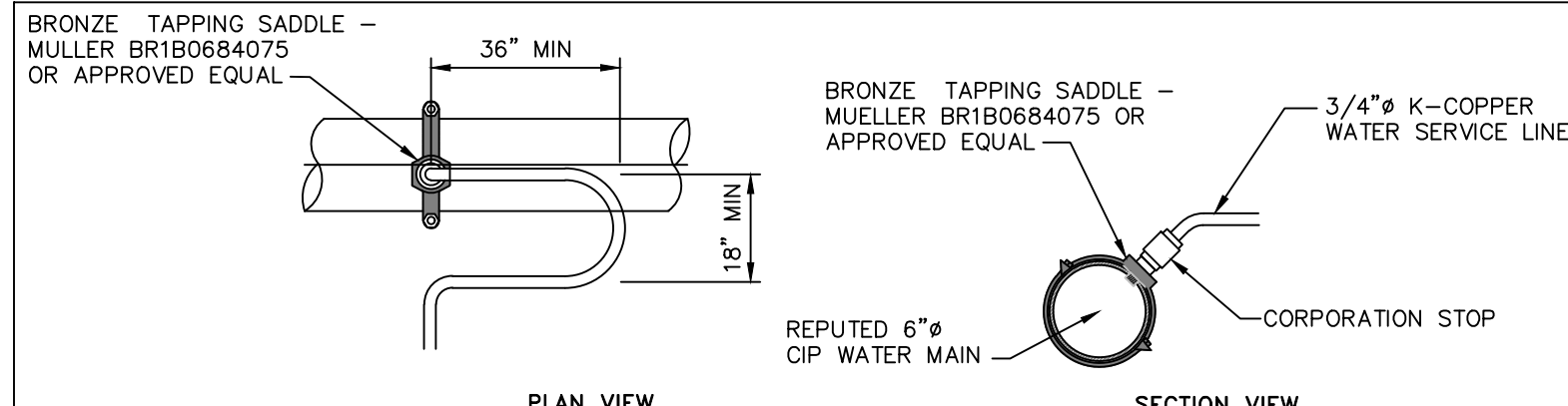
SHEET: 3 OF 4

DRAWN BY: AG CHECKED BY: DGK JOB NO.: 2017-038

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	01/30/18	REVISED LAYOUT PER UPDATED SURVEY	AG
2	02/27/18	REVISED PER CONSULTANT COMMENTS	AG
3	03/27/18	REVISED PER CONSULTANT COMMENTS	AG

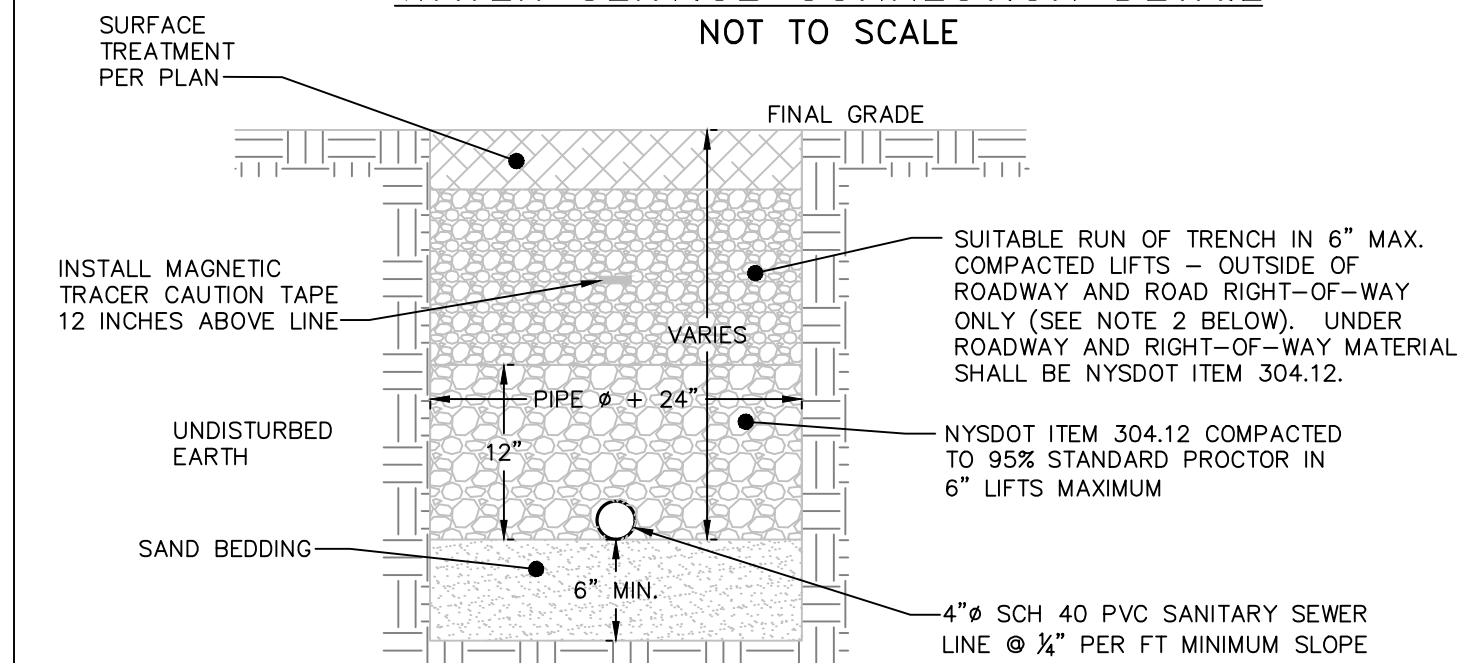
Dig Safely. New York
800-962-7962
www.digsafelynewyork.org

Call Before You Dig
 Wait The Required Time
 Confirm Utility Response
 Respect The Marks
 Dig With Care



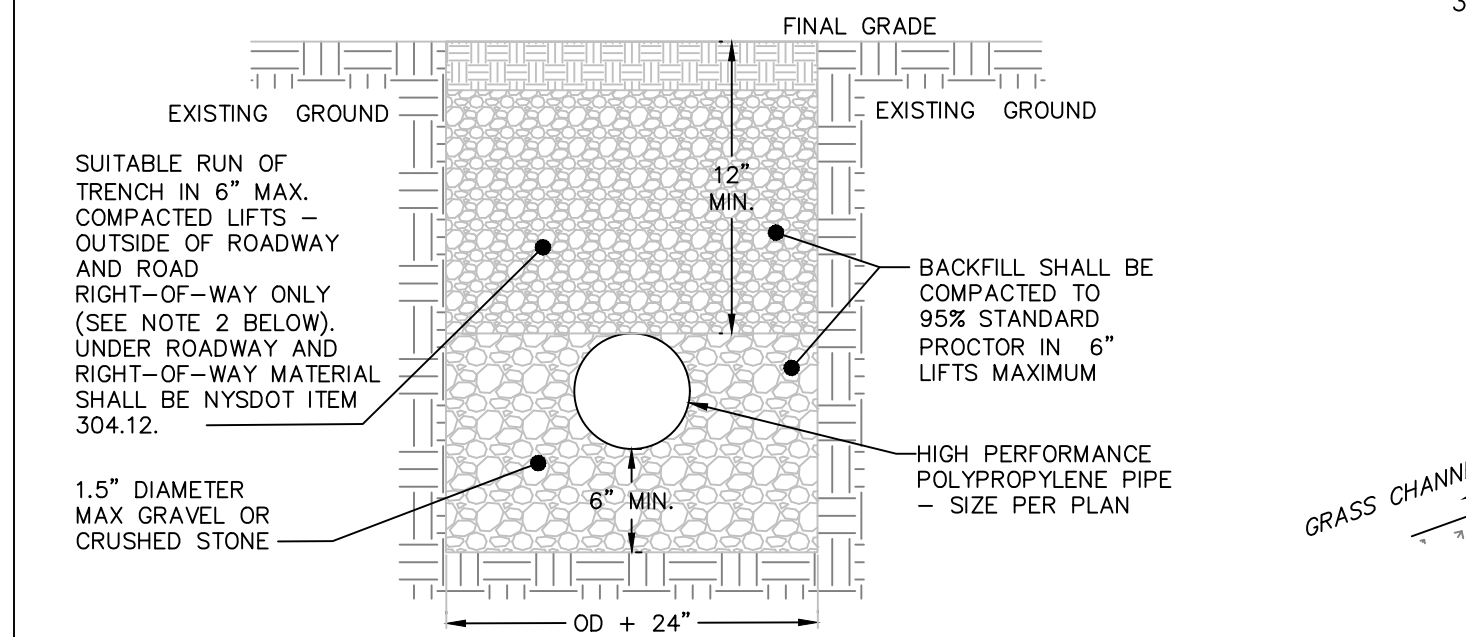
NOTES:
 1. A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).
 2. CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.
 3. WATER SERVICE LINE TO HAVE A 'GOOSENECK' NEAR CORPORATION STOP.
 4. CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.
 5. THE CONTRACTOR SHALL INSTALL A FULL BODIED STAINLESS STEEL TAPPING SLEEVE AT THE PROPOSED WATER SERVICE LOCATION.

WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



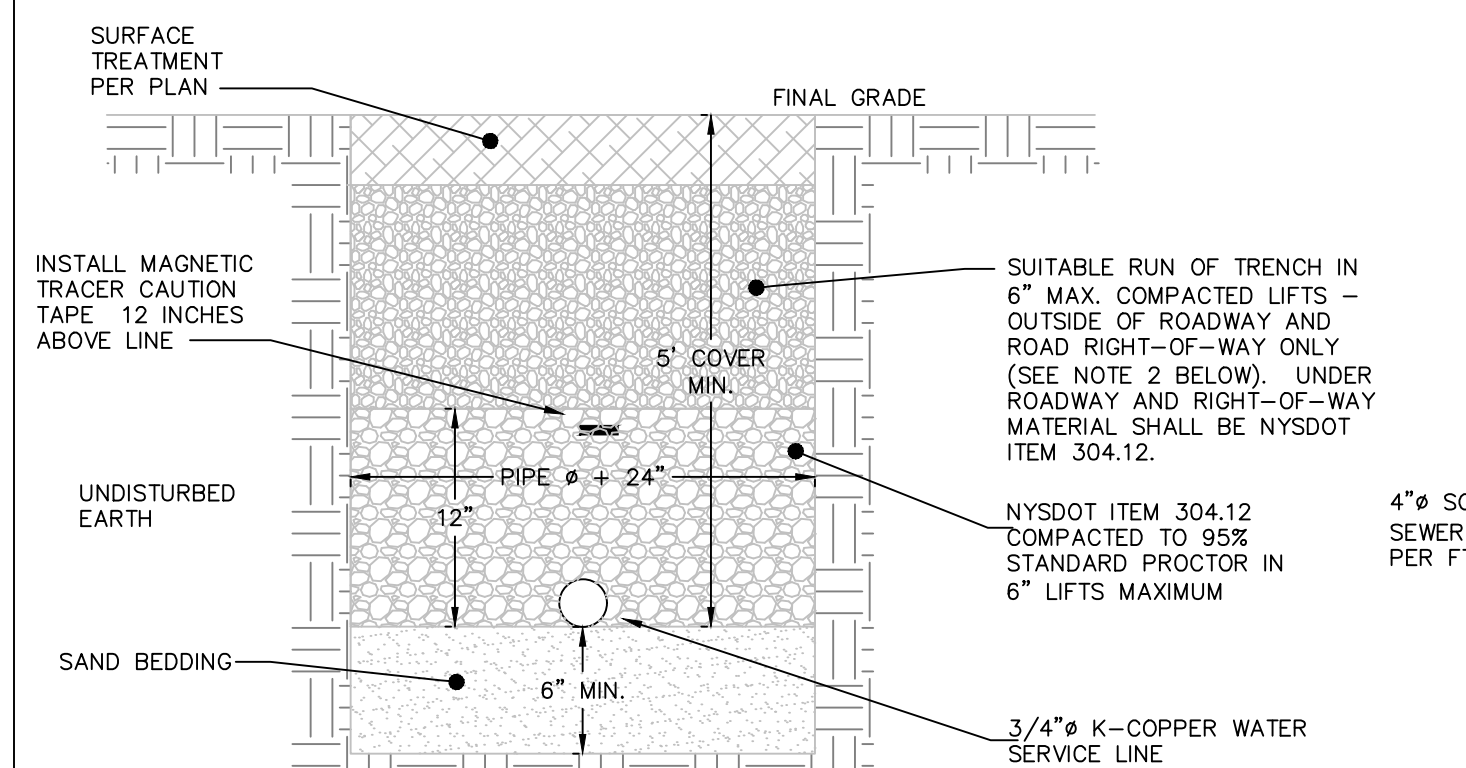
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE TRENCH DETAIL
NOT TO SCALE



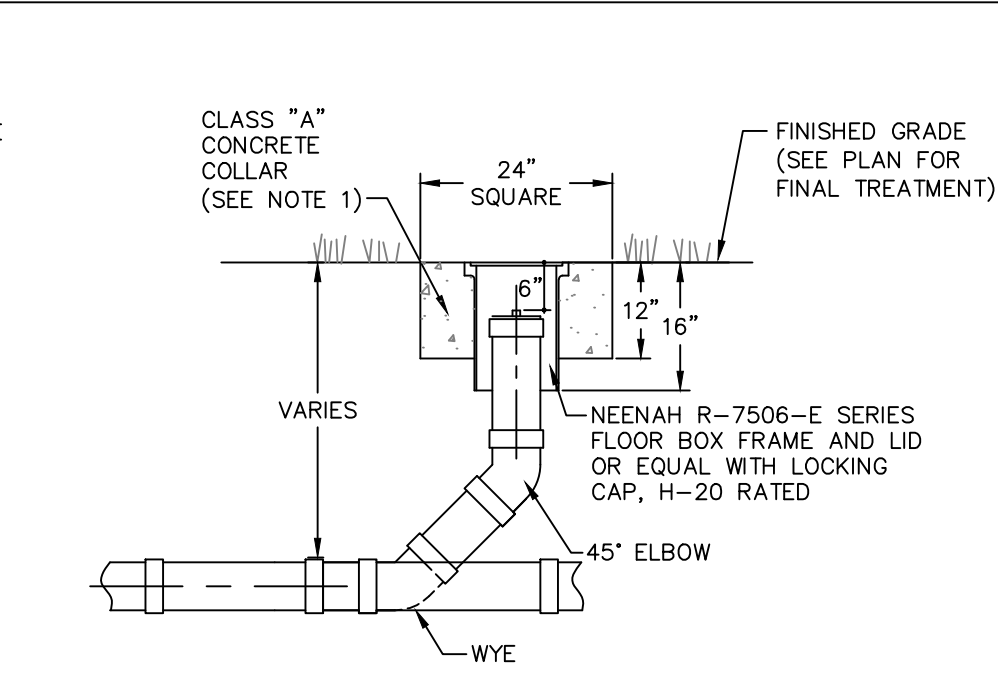
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

STORM LINE TRENCH DETAIL
NOT TO SCALE



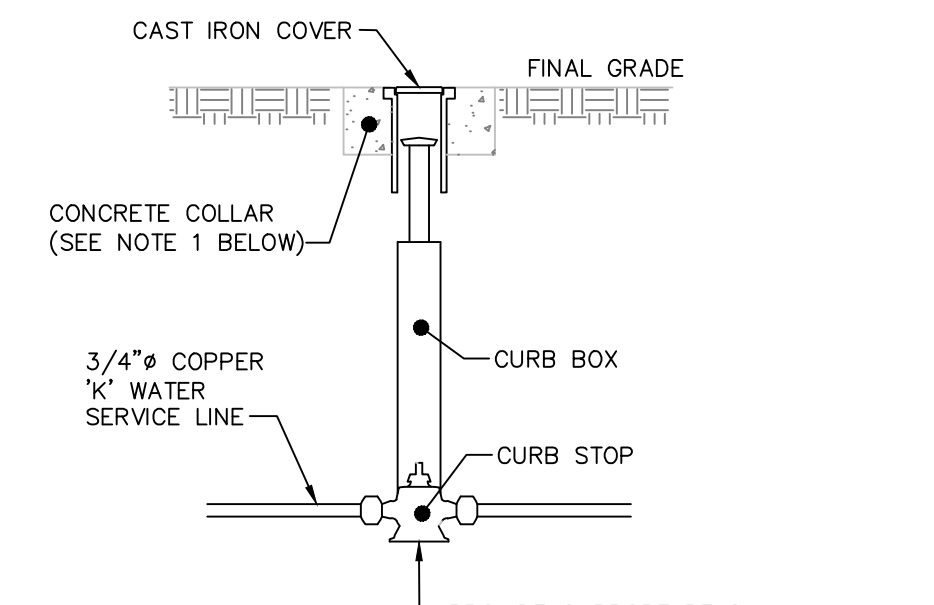
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
 3. IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.
 4. IF WATER SERVICE AND SEWER SERVICE LINE CROSSINGS ARE NEEDED, PROVIDE 18" OF VERTICAL SEPARATION

WATER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



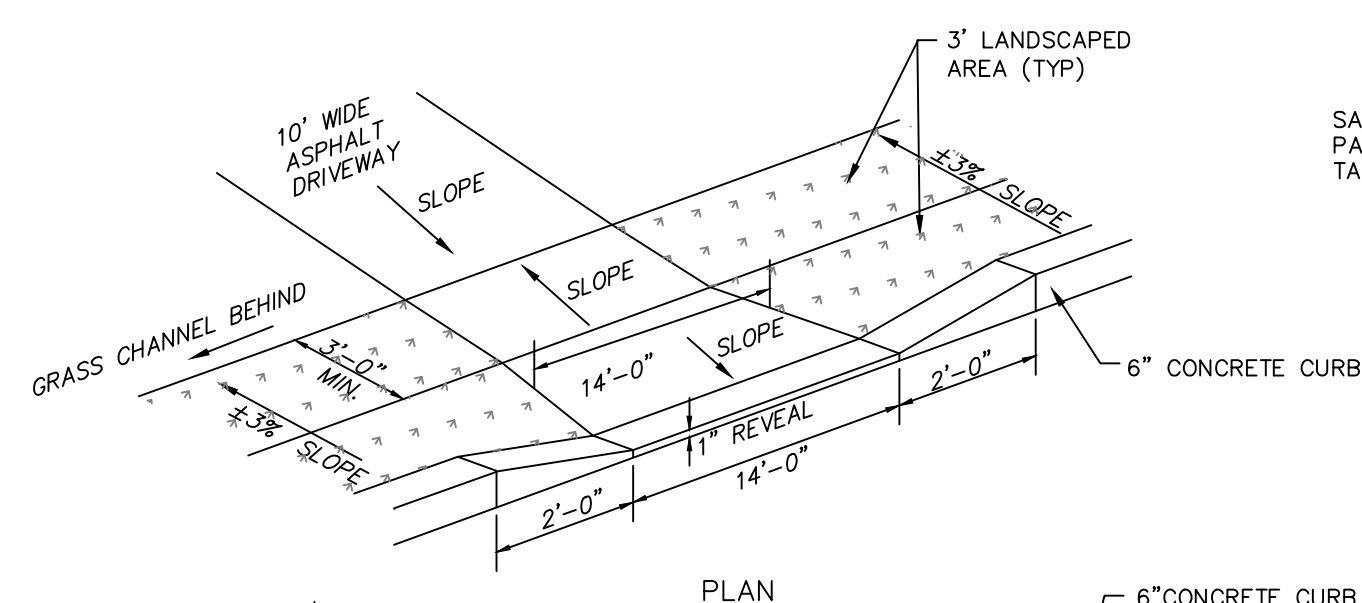
NOTES:
 1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.

CLEANOUT DETAIL
NOT TO SCALE



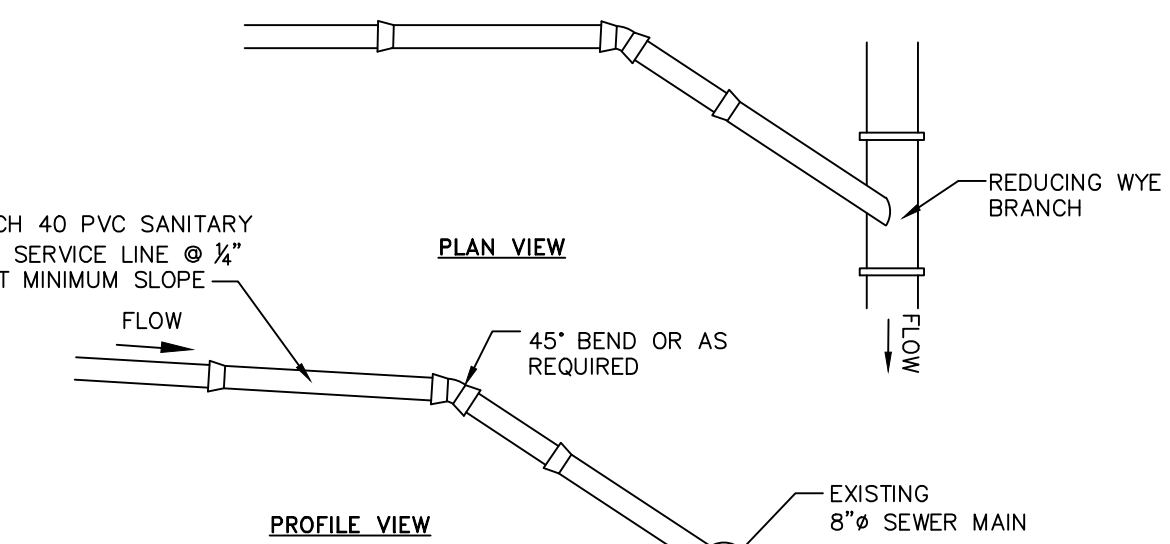
NOTES:
 1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.
 2. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 3. AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.

WATER SHUT-OFF VALVE DETAIL
NOT TO SCALE



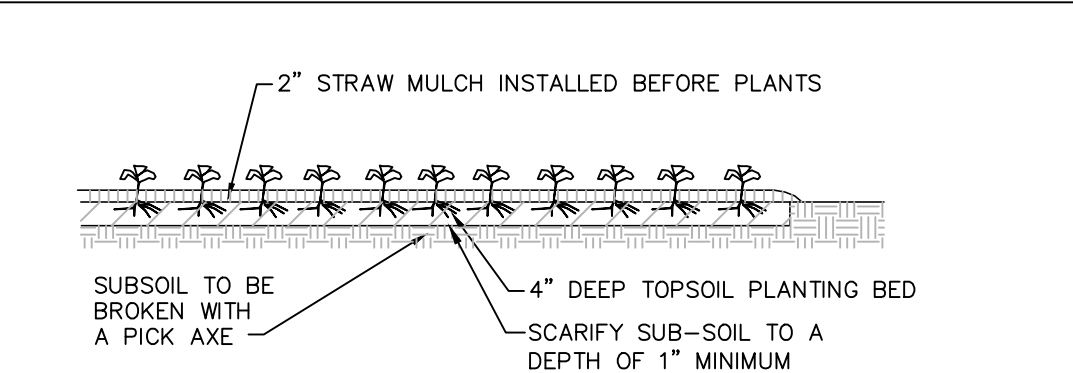
NOTE:
 1. RESEED AND STABILIZE GRASS AREAS AFTER ASPHALT INSTALLATION.

DRIVEWAY ENTRANCE DETAIL
NOT TO SCALE



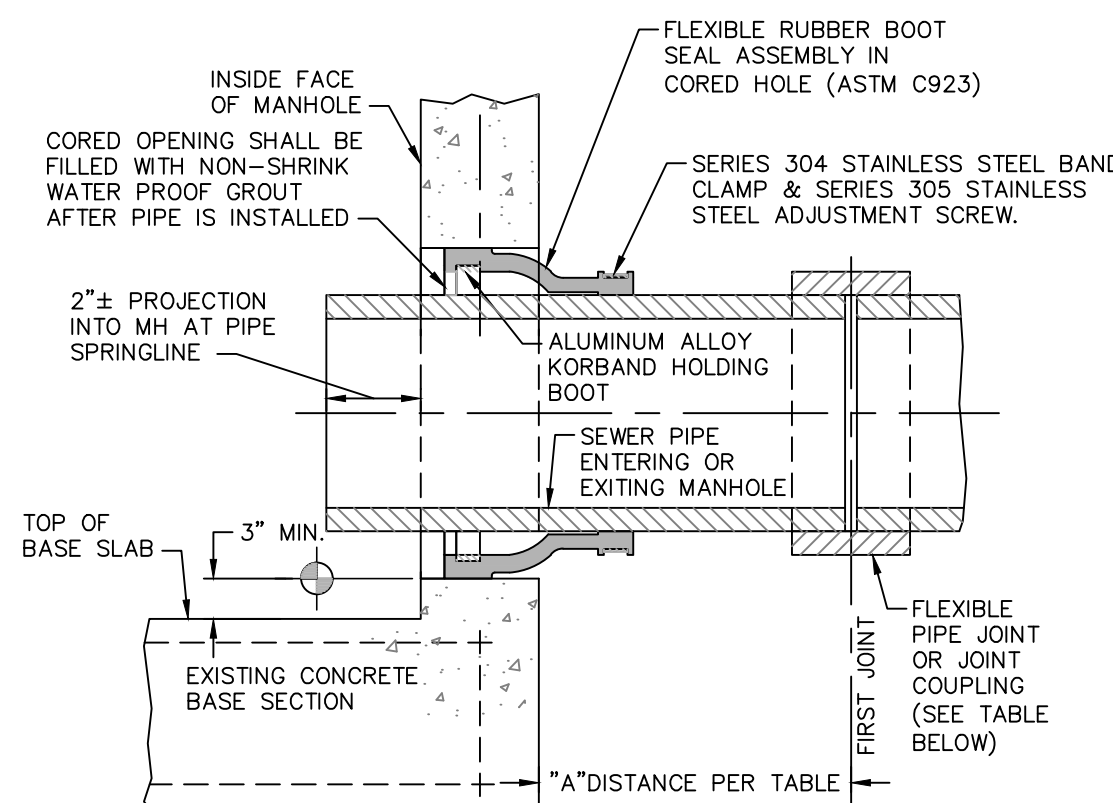
NOTES:
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
 3. TAPPING SADDLE FOR CONNECTION OF THE PROPOSED SERVICE LINE TO THE EXISTING SEWER MAIN TO BE A 4" PREDCO HUB TAP SADDLE - MODEL #HT54/E.

SANITARY SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE



NOTES:
 1. HERBACEOUS PLANTS SHOULD BE PEAT POT GROWN. PLANT PLUG WITH PEAT POT INTACT.
 2. REMOVE ALL UNDESIRABLE PLANTS OR WEEDY VEGETATION FROM THE PLANTING BED.
 3. HERBICIDES SHALL NOT BE USED TO REMOVE EXISTING WEED GROWTH.
 4. PREPARE BED BY TILLING THE SOIL ONE INCH DEEP 5 TO 7 DAYS AFTER A RAINFALL EVENT, THEN PREPARE PLANTING SOIL.
 5. PLANTING SHALL TAKE PLACE IMMEDIATELY AFTER SOIL PREPARATION, IF NECESSARY, UTILIZE JUTE NETTING TO STABILIZE SOIL UNTIL PLANTING CAN BE ACCOMPLISHED.

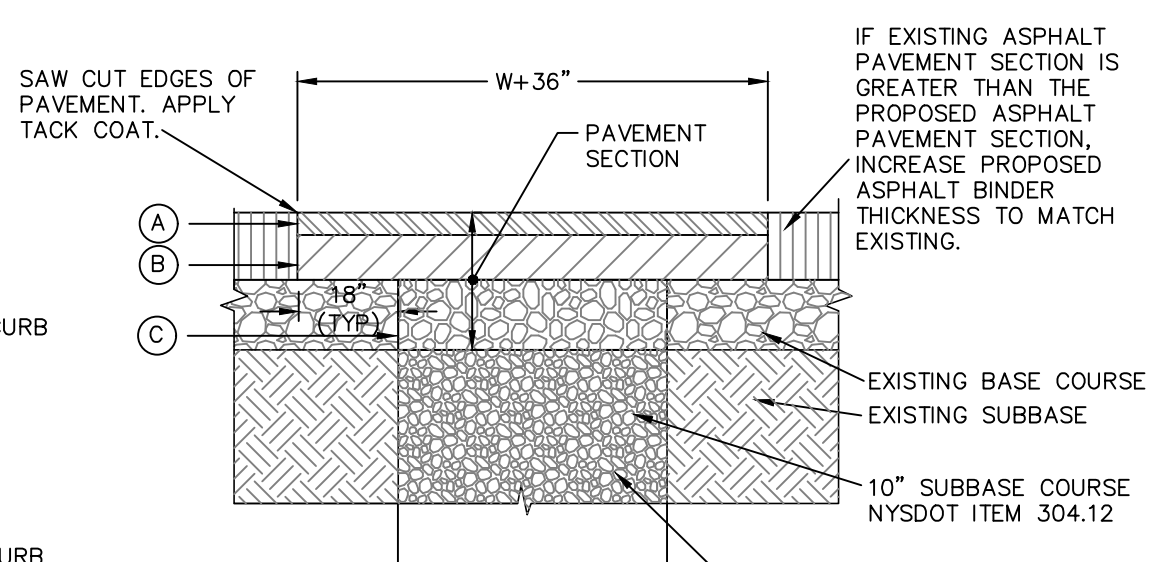
PLUG PLANTING DETAIL
NOT TO SCALE



SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	A" DISTANCE (FEET)
DUCTILE IRON	STD RUBBER GASKET PIPE JOINT ONLY	10' MAX
PVC	STD RUBBER GASKET PIPE JOINT ONLY	3' MAX

NOTE:
 REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

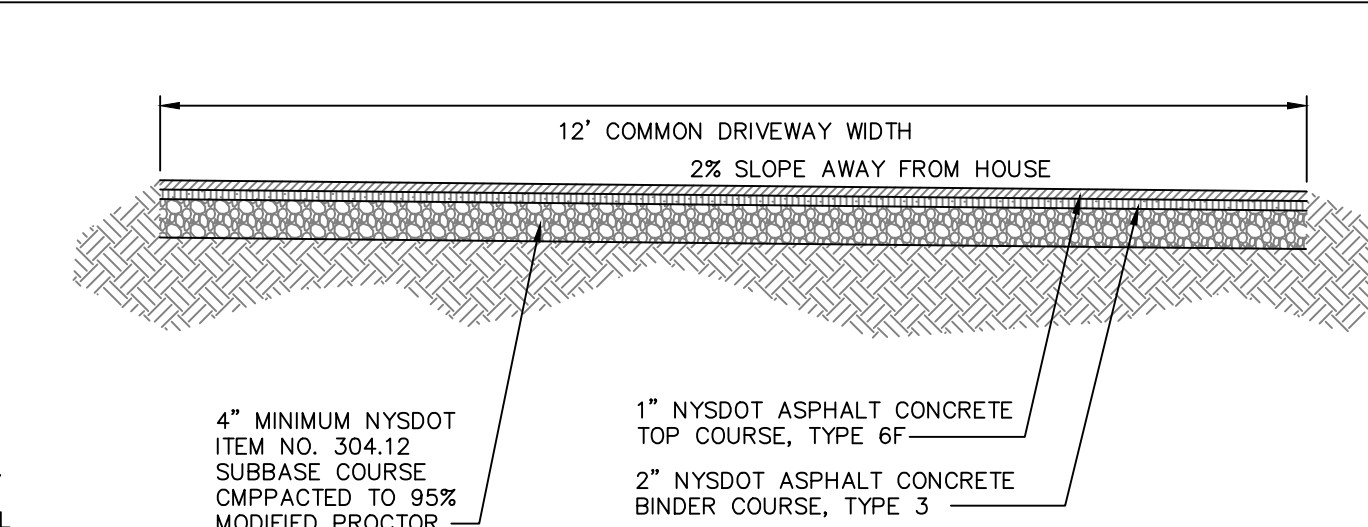
CORED HOLE AND INSERTED BOOT DETAIL
NOT TO SCALE



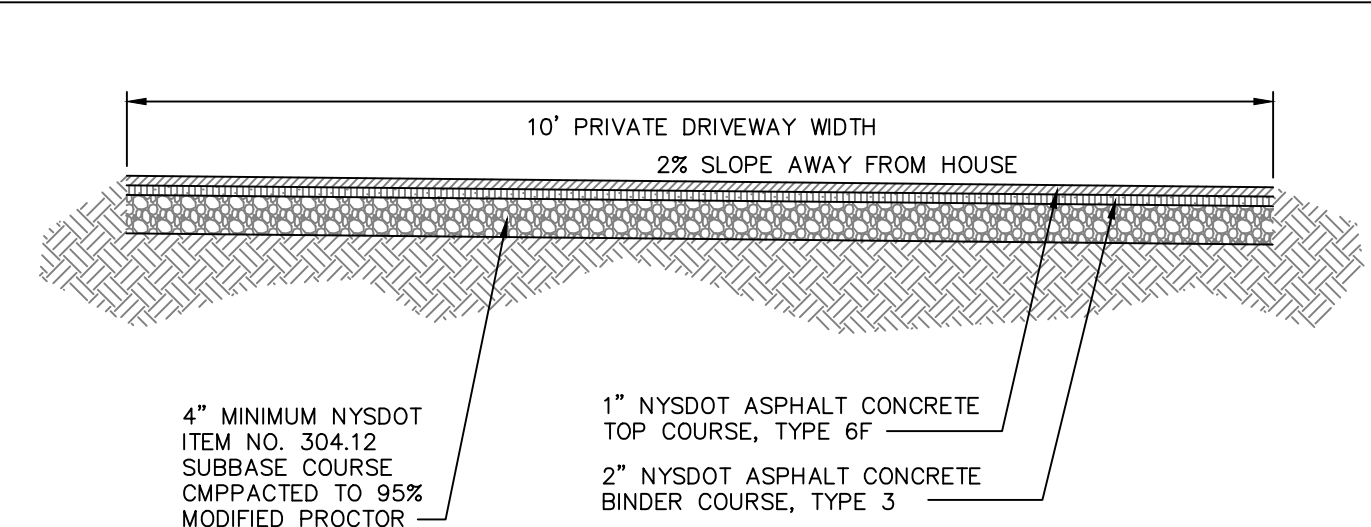
LEGEND
 (A) 1.5" ASPHALT CONCRETE TOP COURSE - NYSDOT TYPE F1
 (B) 3.0" ASPHALT CONCRETE BINDER COURSE - NYSDOT TYPE F9
 (C) 3.0" ASPHALT BASE COURSE - NYSDOT TYPE F9

NOTES:
 1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED. JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.
 2. FURNISH, PLACE, AND COMPACT SUBBASE.
 3. TACK COAT IN ACCORDANCE WITH NYSDOT STANDARD SPEC.
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

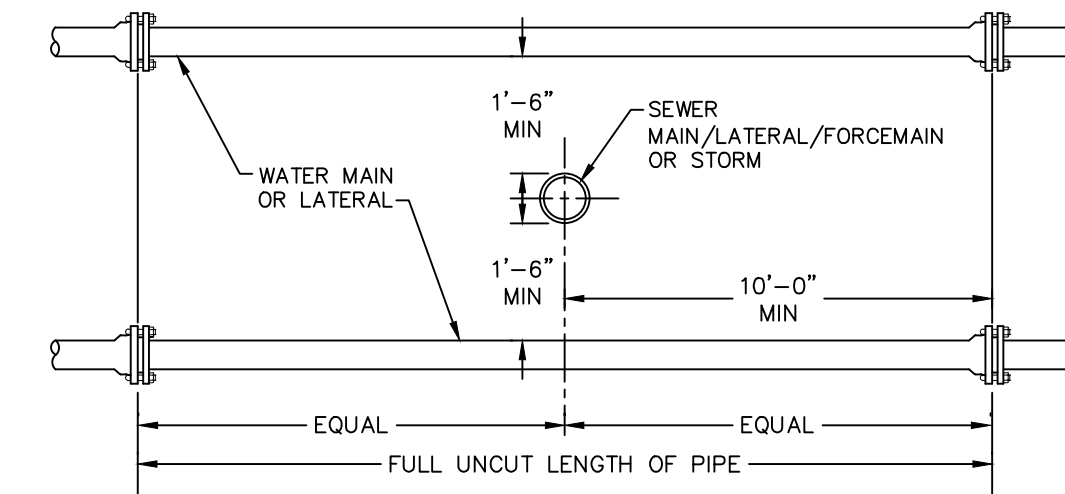
PAVEMENT RESTORATION DETAIL
NOT TO SCALE



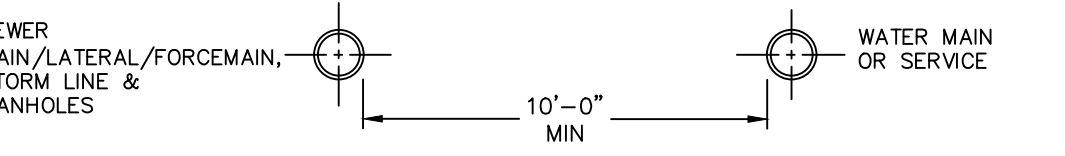
PAVED COMMON DRIVEWAY SECTION DETAIL
NOT TO SCALE



PAVED DRIVEWAY FOR LOT 2 SECTION DETAIL
NOT TO SCALE



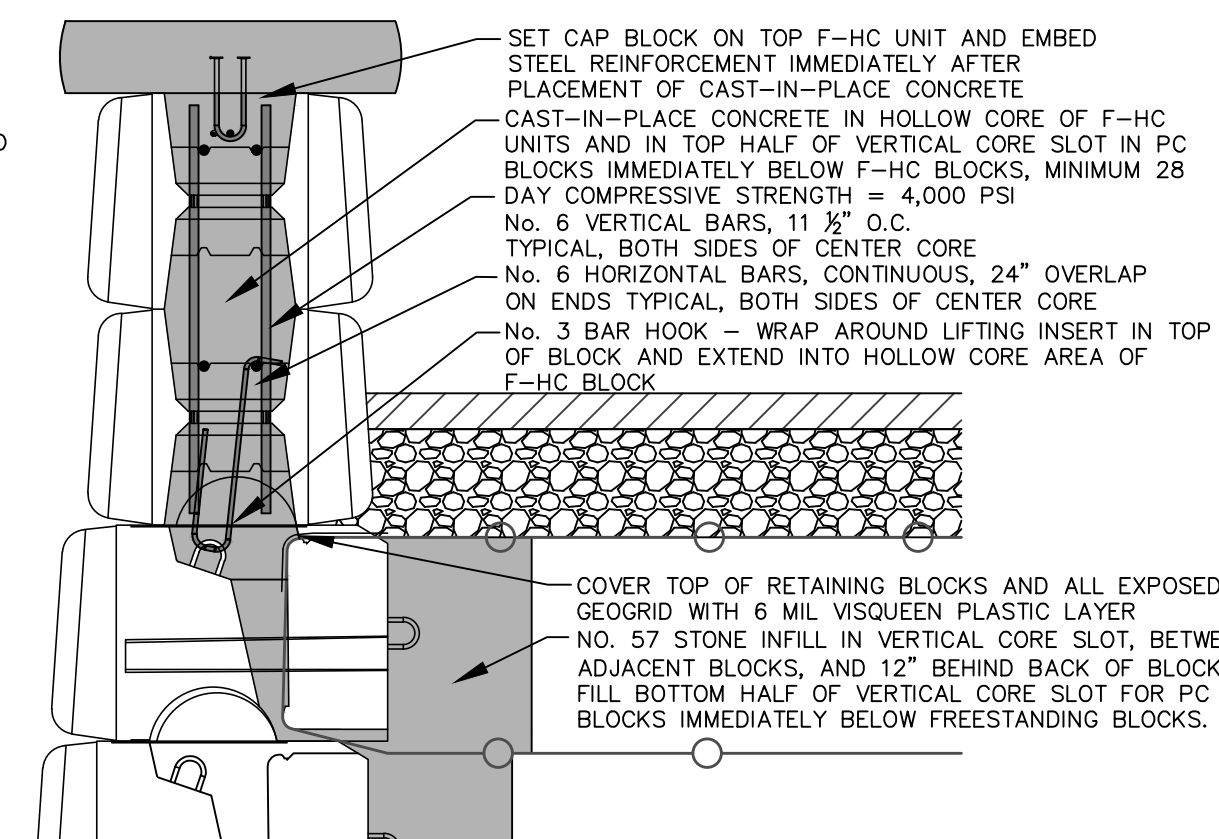
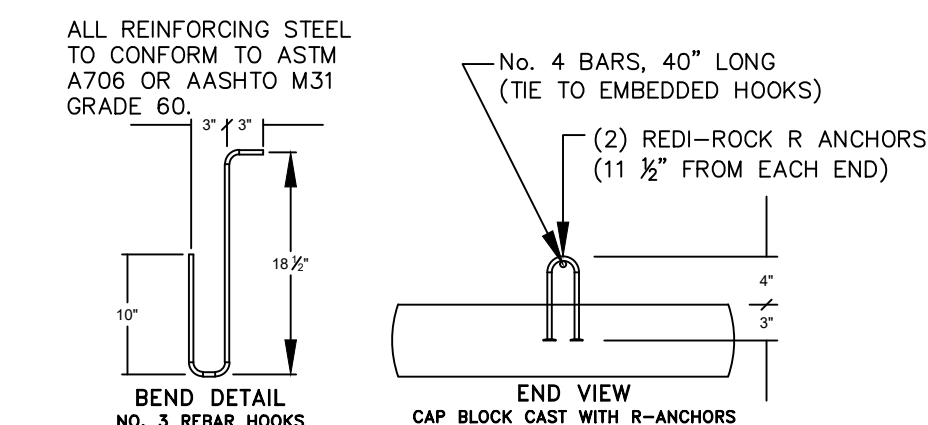
VERTICAL SEPARATION



HORIZONTAL SEPARATION

NOTE:
 NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASEMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

WATER LINE SEPARATION DETAIL
NOT TO SCALE

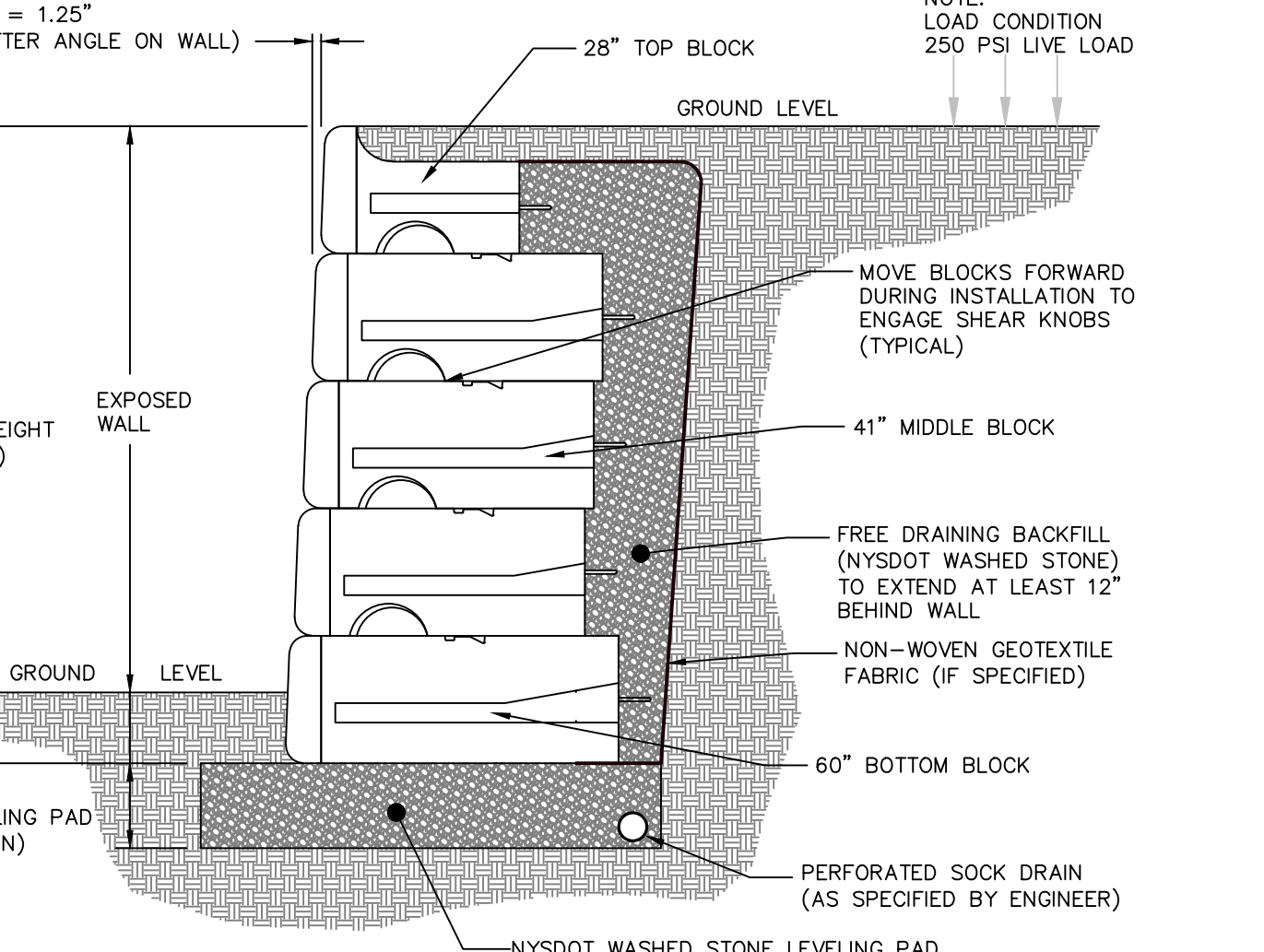


NOTES:
 1. RETAINING WALL MANUFACTURED BY REDI-ROCK OR APPROVED EQUAL.
 2. MANUFACTURER TO PROVIDE FINAL ENGINEERING CALCULATIONS AND DETAILS TO THE OWNER FOR REVIEW BY THE OWNERS ENGINEER.
 3. SEE MANUFACTURER'S DETAILS AND INSTALLATION GUIDELINES FOR FURTHER REQUIREMENTS.

REDI-ROCK PARAPET WALL DETAIL
NOT TO SCALE

NO.	DATE	DESCRIPTION	BY
1	01/30/18	REVISED LAYOUT PER UPDATED SURVEY	AG
2	02/27/18	REVISED PER CONSULTANT COMMENTS	AG
3	03/27/18	REVISED PER CONSULTANT COMMENTS	AG

Dig Safely. New York.
 800-962-7962
 www.digsafelynewyork.org



NOTES:
 1. RETAINING WALL MANUFACTURED BY REDI-ROCK OR APPROVED EQUAL.
 2. MANUFACTURER TO PROVIDE FINAL ENGINEERING CALCULATIONS AND DETAILS TO THE OWNER FOR REVIEW BY THE OWNERS ENGINEER.
 3. SEE MANUFACTURER'S DETAILS AND INSTALLATION GUIDELINES FOR FURTHER REQUIREMENTS.

TYPICAL REDI-ROCK GRAVITY WALL WITH 41" BLOCKS
NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____ CHAIRMAN
 _____ SECRETARY

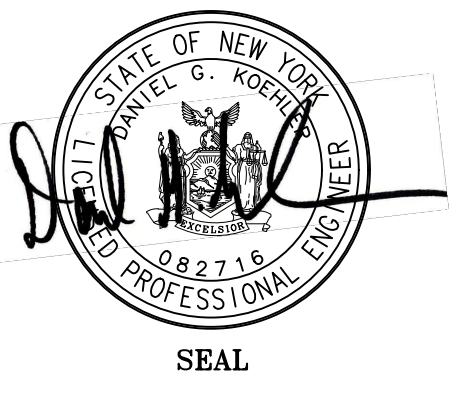
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

DETAILS
FAIRVIEW SUBDIVISION

446 WASHINGTON AVE
 CITY OF BEACON
 DUTCHESS COUNTY, NEW YORK
 TAX ID: 6055-82-656107 & 6055-82-645105
 SCALE: 1" = 20'
 DECEMBER 26, 2017



HUDSON LAND DESIGN
 PROFESSIONAL ENGINEERING P.C.
 174 MAIN STREET
 BEACON, NEW YORK 12508
 PH: 845-440-6926 F: 845-440-6637



SEAL
 JON D. BODENDORF, P.E.
 NYS LICENSE NO. 076245
 DANIEL G. KOEHLER, P.E.
 NYS LICENSE NO. 082716

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: April 5, 2018

Re: **Fairview Subdivision, Washington Avenue**

I have reviewed the March 27, 2018 response letter from Hudson Land Design and a 4-sheet Subdivision Plan, with the Sheet 1 Plat dated March 22, 2018 and the other three sheets dated March 27, 2018.

Proposal

The applicant is proposing to subdivide two parcels totaling 0.826 acres with one existing house in the R1-10 district to create three lots for the construction of two new single-family residences.

Comments and Recommendations

The applicant has addressed the two comments from my previous March 8, 2018 review memo. I have no other major planning concerns.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Hudson Land Design, Project Consultants

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lenc, P.E., L.S.
Arthur R. Tully, P.E.

April 3, 2018

Mr. John Gunn
Beacon Planning Board Chairman
1 Municipal Plaza
Beacon NY, 12508

RE: Fairview Subdivision
City of Beacon
Tax Map No. 6055-82-645105&656107

Dear Mr. Gunn:

We have reviewed the following plans as related to the Fairview Subdivision:

- Sheet 1 of 4, entitled "Plat prepared for Fairview Subdivision", with the latest revision date of March 22, 2018, as prepared by TEC Land Surveying.
- Sheet 2 of 4, entitled "Subdivision Plan", with the latest revision date of March 27, 2018, as prepared by Hudson Land Design.
- Sheet 3 of 4, entitled "Erosion & Sediment Control", with the latest revision date of March 27, 2018, as prepared by Hudson Land Design.
- Sheet 4 of 4, entitled "Details", with the latest revision date of March 27, 2018, as prepared by Hudson Land Design.

Based upon our review of the above referenced submittals, we offer the following comments:

General:

1. Descriptions for the proposed easements shall be submitted to our office and the Planning Board Attorney for review. Although the applicant's consultant notes that this has been satisfied, our office has not received any of the descriptions as of yet.

Sheet 2 of 4:

1. As previously noted, the existing 4" sanitary sewer service to the Rivera parcel is shown as CIP, whereas on Sheet 1 it is noted as PVC. The plans should be revised so that they are coordinated with one another. Based upon previous inspections of this manhole, the pipe was noted as PVC.

2. The proposed water service to serve Lot 2 is shown directly at the base of the proposed retaining wall. It is recommended that this service be located further away from the wall so that in the event of a leak it does not undermine the wall and can also be repaired without undermining the wall. This may require adjusting the utility easement across Lot 1.

Sheet 4 of 4:

1. The "Paved Common Driveway Section" detail should be revised to note the width ranging from 16 feet to 12 feet. Presently the plan only states 12 feet wide, whereas the upper portion of the driveway at Washington Avenue is proposed as 16 feet wide.

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: Jennifer Gray, Esq.
Tim Dexter, Building Inspector
John Clarke, Planner

City of Beacon Planning Board
4/10/2018

Title:

1181 North Avenue

Subject:

Continue review of applications for Special Use Permit and Subdivision Approval, professional building expansion, 1181 North Avenue, submitted by Norm Schofield

Background:

ATTACHMENTS:

Description	Type
1181 North Ave Architect Cover Letter	Cover Memo/Letter
1181 North Ave Engineer Cover Letter	Cover Memo/Letter
1181 North Ave Long EAF	EAF
1181 North Ave NYSDOT Map	Backup Material
1181 North Ave Sheet 1 Subdivision	Plans
1181 North Ave Sheet 1 Site Plan	Plans
1181 North Ave Sheet 2 Existing Conditions	Plans
1181 North Ave Sheet 3 Floor Plans/Elevations	Plans
1181 North Ave Sheet 4 Grading & Utilities	Plans
1181 North Ave Sheet 5 Details	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment

A R Y E H S I E G E L
A R C H I T E C T

John Gunn - Planning Board Chairman
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: 1181 North Avenue – Schofield Office
Special Use Permit Application – Comment Letters

March 27, 2018

Dear Mr. Gunn & Board Members,

Please find below the Applicant's response to John Clarke Planning & Design comments in his Memorandum dated March 8, 2018; and in Lanc & Tully's Memorandum dated March 8, 2018 regarding the 1181 North Avenue application. Hudson Land Design will provide a separate letter in response to Engineering comments.

John Clarke Planning & Design Comment Responses:

1. Comment acknowledged. The EAF has been updated.
2. The Subdivision Plat has been labeled "Preliminary". We are in the process of identifying trees over 8" diameter.
3. Tim Dexter determined that the Planning Board has the ability to modify the lot width requirements, based on Zoning Code Section 223-12 (J) Building Uses and Lot, should they so desire. The lot width is too narrow by a few feet. The Applicant believes that the benefit of placing the building along the street to fill in the existing gap in buildings along North Street outweighs the slightly narrower lot width, and respectfully requests that the Planning Board modify the lot width requirement to allow the building to be located as shown on the plans.

Note that the entire building has been redesigned so that the long dimension is perpendicular to North Avenue.

4. We are waiting for corrected information from the surveyor.
5. Setback dimensions have been revised.
6. The new building design has been set back to align with adjacent buildings.

ARYEH SIEGEL

ARCHITECT

7. Parking spaces have been revised. A 5' wide walkway is shown where it was 3.75' wide previously.
8. Plantings are being reviewed and will be updated on the next submittal.
9. The sign is existing. Sign details will be provided. Lighting details have been added to the plans. There is already a sidewalk across the street. The Applicant believes that the one sidewalk is adequate for the amount of pedestrian traffic in the area.
10. Comment acknowledged. The Applicant appeared before the City Council last year to present the idea of the project. The Council at that time was supportive of the project.

Lanc & Tully Comment Responses:

General

1. The roof leaders and sump pump will be dye tested.
2. Comment acknowledged. The Applicant would like the building to align with the adjacent building fronts.
3. Easements will be developed, and shown on plans once the building location is finalized and accepted.
4. A maintenance agreement for the easements will be prepared and submitted to the attorney for review.

Site Plan (Sheet 1 of 5)

1. Sight distance will be included on the plan
2. The plan now shows the current sign location in addition to the proposed sign location.
3. No steps are proposed at the front entrance to the building. Please refer to the revised site plan with grading.
4. Proposed grading has been labeled.
5. Labels for proposed planting have been clarified.

Existing Conditions Survey (Sheet 2 of 5)

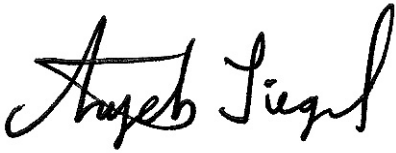
1. Tree planting detail has been enlarged

ARYEH SIEGEL

ARCHITECT

2. Shrub planting detail will be moved to Sheet 2, from Sheet 5.
3. Hudson Land Design will address the NYSDOT map.

Thank you. Please let me know if you have any questions.

A handwritten signature in black ink that reads "Aryeh Siegel". The signature is written in a cursive, flowing style.

Sincerely,
Aryeh Siegel
Aryeh Siegel, Architect



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

March 27, 2018

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: Schofield – Subdivision and Special Use Permit Applications
Tax Parcel ID: 5955-19-716048 (±0.70 acres)
City of Beacon, Dutchess County, NY

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the Subdivision Plan and Special Use Permit in response to Lanc & Tully's March 8, 2018 comment letter and John Clarke Planning and Design's March 8, 2018 comment letter. Below is a point-by-point response to the comments received. Please note that Project Architect Aryeh Siegel has addressed certain items not included in this letter.

Lanc & Tully's March 8, 2018 Comment Letter:

Subdivision Plat:

1. The Plat includes all information as requested and will be signed at the appropriate time.
2. The Plat includes the NYSDOT permanent easement as requested.

Sheet 1 of 5:

1. Sight distances were measured and are included on Sheet 4 of 5.
3. No steps were required in the front entrance of the building. The site was graded, and ramps to entrances are shown on the plans.

Sheet 2 of 5:

3. Copies of the NYSDOT maps discussed in Note 4 are included.

Sheet 4 of 5:

1. The scale of the drawing is provided on the plan.
2. Pipe size and material of the proposed water service line is called out in the legend.
3. Pipe size and material of the proposed sewer service line is called out in the legend.

4. The lowest sewerable and invert elevations are included on the plans.
5. A profile of the sewer service and existing water main is included on Sheet 4 of 5.
6. See previous response to Sheet 1, number 3.
7. The proposed location of the cleanout for lot 2 is shown on the plan.
8. The roof drainage notes will be edited to show the conveyance to the stormwater conveyance system in later submittals. At this time, drain basin locations are shown that can accommodate downspouts for both the existing and proposed building. The intent is to direct all rooftop drainage from the new building to the closed system.

Sheet 5 of 5:

1. A pavement section detail is included on sheet 5 for the parking lot, as well as, a pavement restoration detail for Tompkins Avenue.
2. Notes have been edited to discuss the geotechnical fabric as called out in the detail.
3. Drain basins have included around the building and common property line. Upon approval from the Architectural Review Board, downspout locations will be shown on the plans.
4. Construction details for the proposed sidewalks will be included in future submissions. At this time, we are proposing asphalt sidewalk

Please find enclosed the following materials for the Planning Board's consideration at your next available regularly scheduled meeting:

- Revised Subdivision Plan Set – 5 Sheets (7 copies);
- Subdivision Plat Sheet (7 copies);
- Full EAF;
- NYSDOT Map (7 copies);
- CD with all the above documents.

Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Daniel G. Koehler, P.E.

cc: Norm Schofield (via email)
Aryeh Siegel (via email)
Michael A. Bodendorf, P.E. (HLD File)

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- Describe types of new point sources. _____

- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 - If to surface waters, identify receiving water bodies or wetlands: _____

 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p><i>i.</i> During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p><i>ii.</i> During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
---	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
	<input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

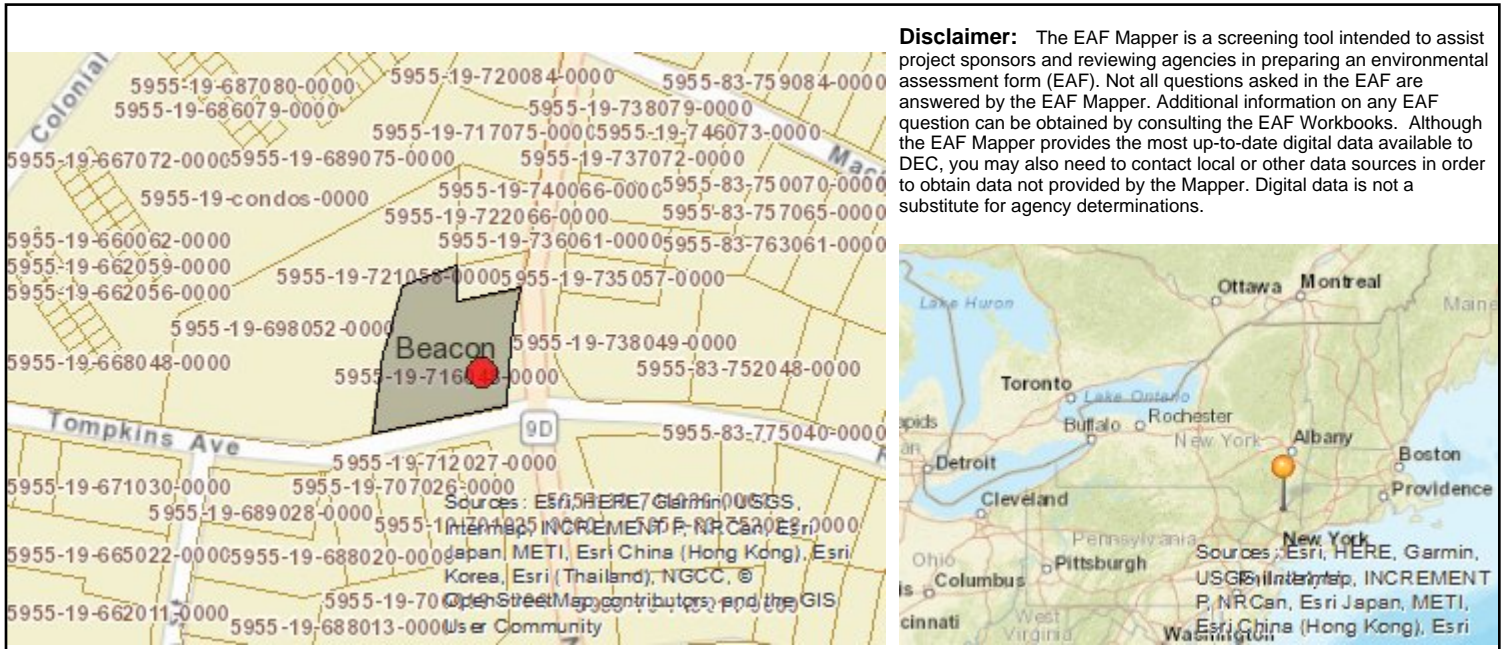
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature *David H. [Signature]* Title _____

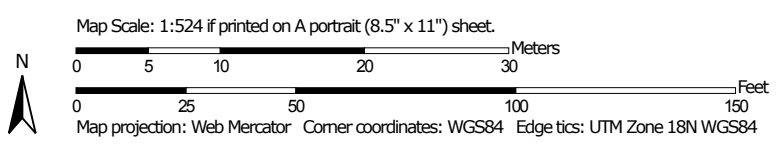


Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	V00293 , 314069 , 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes


E.2.o. [Endangered or Threatened Species - Name]	Atlantic Sturgeon, Shortnose Sturgeon, Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	Bogardus--DeWindt House
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Soil Map—Dutchess County, New York
(1181 North Avenue)





MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Dutchess County, New York

Survey Area Data: Version 14, Oct 8, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 7, 2013—Feb 26, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
DwB	Dutchess-Cardigan complex, undulating, rocky	0.8	96.5%
DxB	Dutchess-Cardigan-Urban land complex, undulating, rocky	0.0	3.5%
Totals for Area of Interest		0.9	100.0%

Dutchess County, New York

DwB—Dutchess-Cardigan complex, undulating, rocky

Map Unit Setting

National map unit symbol: 9rfn
Elevation: 50 to 1,000 feet
Mean annual precipitation: 41 to 47 inches
Mean annual air temperature: 45 to 50 degrees F
Frost-free period: 115 to 195 days
Farmland classification: All areas are prime farmland

Map Unit Composition

Dutchess and similar soils: 40 percent
Cardigan and similar soils: 30 percent
Minor components: 30 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Dutchess

Setting

Landform: Ridges, hills
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Crest
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Loamy till derived mainly from phyllite, slate, schist, and shale

Typical profile

H1 - 0 to 8 inches: silt loam
H2 - 8 to 28 inches: silt loam
H3 - 28 to 86 inches: channery silt loam

Properties and qualities

Slope: 1 to 6 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat):
Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Available water storage in profile: High (about 9.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: B
Hydric soil rating: No

Description of Cardigan

Setting

Landform: Ridges, hills

Landform position (two-dimensional): Summit

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Loamy till or colluvium derived from phyllite, slate, shale, and schist

Typical profile

H1 - 0 to 8 inches: channery silt loam

H2 - 8 to 20 inches: channery loam

H3 - 20 to 30 inches: channery silt loam

H4 - 30 to 34 inches: unweathered bedrock

Properties and qualities

Slope: 1 to 6 percent

Depth to restrictive feature: 20 to 40 inches to lithic bedrock

Natural drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat): Low to moderately low (0.00 to 0.06 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water storage in profile: Low (about 4.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: C

Hydric soil rating: No

Minor Components

Georgia

Percent of map unit: 10 percent

Hydric soil rating: No

Massena

Percent of map unit: 9 percent

Hydric soil rating: No

Nassau

Percent of map unit: 9 percent

Hydric soil rating: No

Rock outcrop

Percent of map unit: 1 percent

Hydric soil rating: Unranked

Sun

Percent of map unit: 1 percent

Landform: Depressions

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Dutchess County, New York
Survey Area Data: Version 14, Oct 8, 2017



Department of
Environmental
Conservation

Environmental Remediation Databases Details

Site Record

Administrative Information

Site Name: Beacon City Landfill (Inactive)

Site Code: 314024

Program: State Superfund Program

Classification: N *

EPA ID Number:

Location

DEC Region: 3

Address: Municipal Park adjacent to Railroad Station

City:Beacon Zip: 12508

County:Dutchess

Latitude: 41.508097033

Longitude: -73.986434406

Site Type:

Estimated Size: 5 Acres

Site Owner(s) and Operator(s)

Current Owner Name: CITY OF BEACON

Current Owner(s) Address: 1 MUNICIPAL PLAZA, SUITE 1
BEACON,NY, 12508

Owner(s) during disposal: CITY OF BEACON

Current On-Site Operator: CITY OF BEACON

Stated Operator(s) Address: 1 MUNICIPAL PLAZA, SUITE 1
BEACON,NY 12508

Current On-Site Operator: City of Beacon

Stated Operator(s) Address: 427 Main Street
Beacon,NY 12508

Site Description

This site received municipal, commercial and industrial wastes including wastes from a local dye works. The site has four feet of soil and vegetative cover over a plastic liner. Groundwater discharges to the Hudson River. A Phase I Investigation has been completed. A Phase II Investigation, completed in March of 1991, found no evidence of hazardous waste disposal. Analysis of surface water samples collected from the adjacent Hudson River, revealed no contamination attributable to the former land-

fill. The site is currently used as a public park and is located just north of the Beacon Metro Train station. The site will be referred to the Division of Solid Waste for their continued oversight.

Site Environmental Assessment

There is no evidence of leachate at the site. There is no evidence of surface water contamination attributable to the landfill. No environmental problems exist that can be associated with the disposal of hazardous waste. The site does not qualify for addition to the Registry of Inactive Hazardous Waste Disposal Sites

*** Class N Sites:** "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

[For more Information: E-mail Us](#)

[Refine Current Search](#)



Department of
Environmental
Conservation

Environmental Remediation Databases Details

Site Record

Administrative Information

Site Name: CH - MGP - Beacon Street

Site Code: 314069

Program: State Superfund Program

Classification: N *

EPA ID Number:

Location

DEC Region: 3

Address: River Street

City:Beacon Zip: 12508

County:Dutchess

Latitude: 41.5062354

Longitude: -73.98241136

Site Type:

Estimated Size: 0 Acres

Site Owner(s) and Operator(s)

Current Owner Name: CITY OF BEACON

Current Owner(s) Address: 1 MUNICIPAL PLAZA, SUITE 1
BEACON,NY, 12508

Current Owner Name: GARY BLUM

Current Owner(s) Address: 418 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Gurmukh Singh

Current Owner(s) Address: 428 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Hassan Toy

Current Owner(s) Address: 422 RIVER STREET
BEACON,NY, 12508

Current Owner Name: JOSEPH HARNEY

Current Owner(s) Address: 416 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Jeffrey L. Boetign

Current Owner(s) Address: 424 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Jeffrey Staten

Current Owner(s) Address: 420 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Joseph Stezel

Current Owner(s) Address: 430 RIVER STREET
BEACON,NY, 12508

Current Owner Name: Robert Harrington

Current Owner(s) Address: 426 RIVER STREET
BEACON,NY, 12508

Current On-Site Operator: 7-11

Stated Operator(s) Address:
,NY

Current On-Site Operator: CENTRAL HUDSON GAS & ELECTRIC CORP.

Stated Operator(s) Address: 284 SOUTH AVENUE
POUGHKEEPSIE,NY 126014874

Current On-Site Operator: Central Hudson Gas & Electric Corp.

Stated Operator(s) Address: 284 South Avenue
Poughkeepsie,NY 12601

Site Description

See V00293

Site Environmental Assessment

See V00293. The actual site of the MGP has been redeveloped, and no trace of the original plant or surrounding soils remains. A neighboring property across the street (Dorel Hat) was found to have been impacted by tar which had migrated from the MGP site, and was remediated under V00293.

*** Class N Sites:** "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

For more Information: [E-mail Us](#)

[Refine Current Search](#)



Department of
Environmental
Conservation

Environmental Remediation Databases Details

Site Record

Administrative Information

Site Name: CH - Beacon MGP

Site Code: V00293

Program: Voluntary Cleanup Program

Classification: C

EPA ID Number:

Location

DEC Region: 3

Address: 416 & 418 & 420 & 422 & 424 & 426 &

City:Beacon Zip: 12508

County:Dutchess

Latitude: 41.50621157

Longitude: -73.98240676

Site Type:

Estimated Size: 4 Acres

Site Owner(s) and Operator(s)

Site Description

Site Location: The CHGE Beacon MGP Dorel Hat property is located in a suburban area in the City of Beacon, Dutchess County, N.Y. The site is approximately 4 acres in size, and is bounded by West Main St. to the north, River St. to the east, an open field owned by the Metropolitan Transportation Authority to the south and by Railroad Drive and the Beacon Railroad station to the west. **Site Features:** The main site features include: an approximately 32,000 square foot building surrounded by a grass covered area in the southern portion of the property and an asphalt paved parking lot in the northern half. **Current Zoning/Uses:** The site is currently used for storage and office space and is zoned commercial. The surrounding parcels are commercial and residential. The nearest residential area is comprised of townhouses located approximately 100 feet to the east on River St. **Past Uses of the Site:** The 1 Main Street site is adjacent to a former manufactured gas plant (MGP). The MGP, located on River Street, operated from 1871 to approximately 1946. **Operable Units (OU)** The site was divided into 2 Operable Units. An operable unit represents a portion of a remedial program for a site that for technical or administrative reasons can be addressed separately to investigate, eliminate or mitigate a release, threat of release or exposure pathway resulting from the site contamination

Operable Unit 1 (OU1) consists of the MGP site itself, which has since been redeveloped for residential use. It appears that all contaminated soils were removed prior to redevelopment. No significant amounts of MGP contamination were found to remain at the former MGP site, and it was determined that no further action was required. A release letter for the Beacon MGP was issued under the VCA on January 31, 2002. Operable Unit 2 (OU2) consists of the property across the street from the MGP, known as the Dorel Hat property. The majority of MGP contaminated soil was removed during an IRM conducted in 2007. On September 12, 2007 the Dorel Hat property was transferred to the Metropolitan Transportation Authority. On July 15, 2011 the Metropolitan Transportation Authority filed a Deed Restriction by which it is required to comply with the Department approved Site Management Plan. Site Geology/Hydrogeology: The site is underlain by unconsolidated sand and silt deposits to a depth of approximately 8 feet. Below these, a 4 foot thick clay layer lies above the slate bedrock. Groundwater on the site flows toward the Hudson River, to the west.

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

other

coal tar

Site Environmental Assessment

The primary contaminant is coal tar which contains PAHs and BTEX compounds. The majority of coal tar contaminated soil was removed during an IRM conducted in 2007. Due to the presence of the Dorel Hat building, a force sewer Main and a gas line on the site, some of the coal tar contaminated soil was not removed and remains in the subsurface under the building and to the east of the building. The coal tar is located at a depth of approximately 5 to 10 feet below the ground surface. Beneath the building, sub-slab soil vapor exceeds guidance values for indoor air. A sub-slab depressurization vapor mitigation system prevents sub-slab vapor from entering the building. Groundwater on the site exceeds Groundwater Quality Standards for VOCs, SVOC's, Metals and Pesticides. The area is supplied by a public water supply.

Site Health Assessment

Measures are in place to control the potential for coming in contact with sub-surface soil and groundwater contamination remaining at the site. People are not drinking the contaminated groundwater because the site is served by a public water supply that is not affected by this contamination. Volatile organic compounds in groundwater may move into the soil vapor (air spaces within the soil), which in turn may move into overlying buildings and affect the indoor air quality. This process, which is similar to the movement of radon gas from the subsurface into the indoor air of buildings is referred to as soil vapor intrusion. A sub slab depressurization system (systems that ventilate/remove the air beneath the building) has been installed in the on-site building to prevent the

indoor air quality from being affected by the contamination in soil vapor beneath the building. Sampling indicates soil vapor intrusion is not a concern for off-site buildings.

[For more Information: E-mail Us](#)

[Refine Current Search](#)



Department of
Environmental
Conservation

Environmental Remediation Databases Details

Site Record

Administrative Information

Site Name: Beacon Salvage Property

Site Code: V00444

Program: Voluntary Cleanup Program

Classification: N *

EPA ID Number:

Location

DEC Region: 3

Address: Red Flynn Drive

City: Beacon Zip: 12508-

County: Dutchess

Latitude: 41.50846007

Longitude: -73.98644763

Site Type:

Estimated Size: 4.2 Acres

Site Owner(s) and Operator(s)

Current Owner Name: SCENIC HUDSON LAND TRUST, INC.

Current Owner(s) Address: 9 VASSAR STREET
POUGHKEEPSIE, NY, 12601

Site Description

This site along with Site #V0096 Ferry Road Waterfront Site have been combined into BCP Site #C314112 Long Dock Beacon Site.

Site Environmental Assessment

Site transitioned into BCP. See Long Dock Beacon Site, Site No. 314112.

* **Class N Sites:** "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of

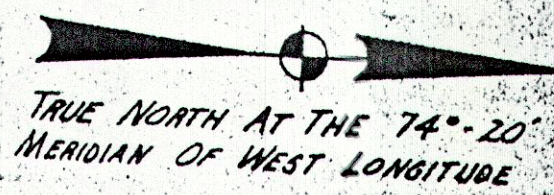
unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

[For more Information: E-mail Us](#)

[Refine Current Search](#)

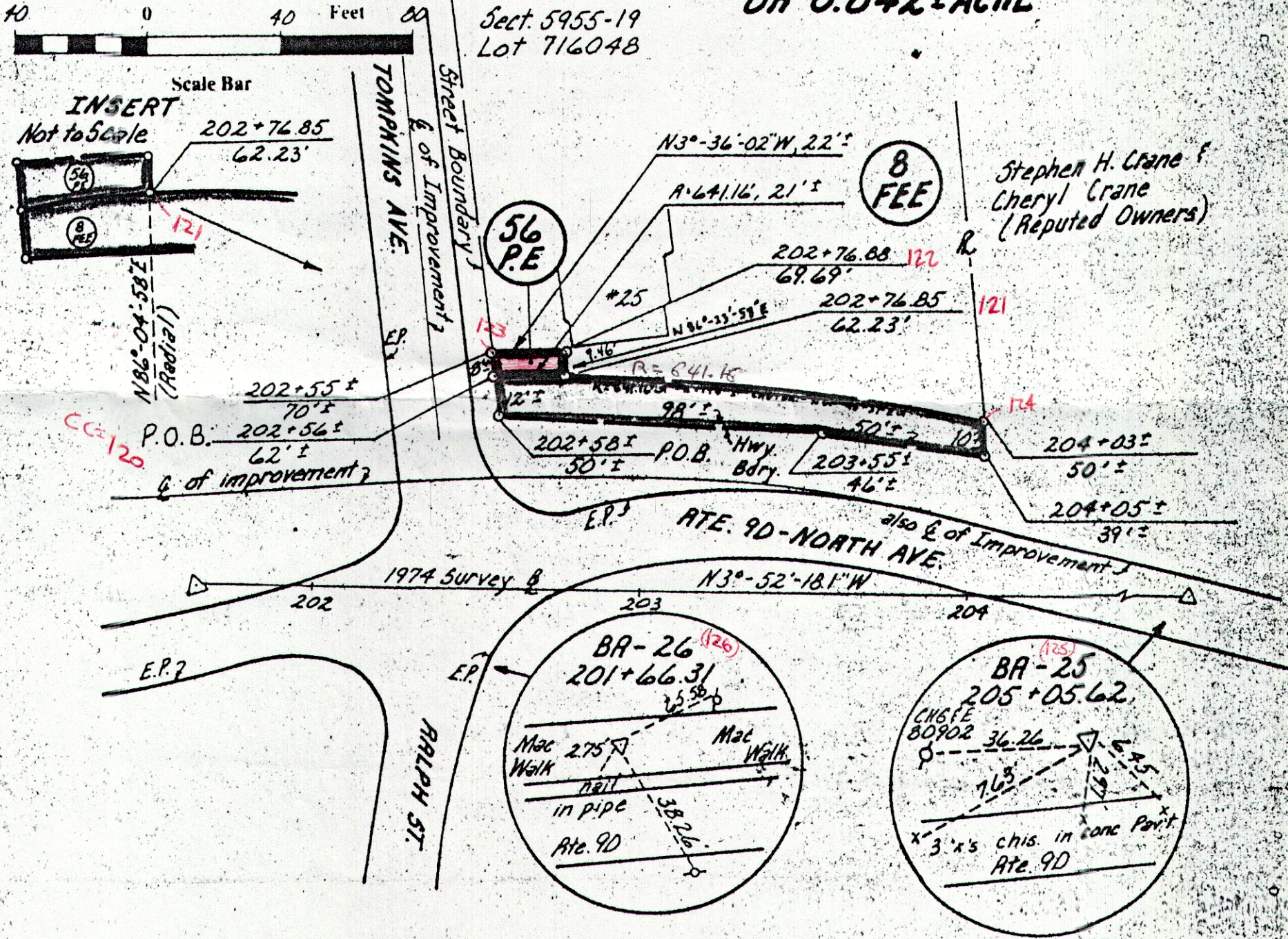
PIN 8327.00

Survey notes on file at New York State Department of Transportation Regional Office No. 8 located at POUGHKEEPSIE, New York. TRN 55 CC L 777 P 345 REF. C.S. FILE # 54979



MARY A. SCHOFIELD
(Reputed Owner)

AREA: 164± S.F. AREA: 1816± S.F. OR 0.042± ACRE



All that piece or parcel of property hereinafter designated as Parcel No. 8, being a portion of Section 5955-19, Lot 716048 as shown on the official tax map, situate in the City of Beacon, County of Dutchess, State of New York as shown on the accompanying map and described as follows:

Parcel No. 8

Beginning at a point on the westerly boundary of the existing Route 90-North Avenue highway at the intersection of the said boundary with the northerly boundary of the existing Tompkins Avenue, said point being 50± feet distant westerly, measured at right angles, from station 202+58± of the hereinafter described survey baseline for the construction of the City of Beacon: North-South Arterial; thence westerly along said street boundary 12± feet to a point 62± feet distant westerly, measured at right angles, from station 202+56± of said baseline; thence through the property of Mary A. Schofield (reputed owner) northerly on a curve to the right having a long chord whose bearing is N 01°-46'-37"E, and arc distance is 148± feet and a radius of 641.16 feet to a point on the division line between the property of Stephen H. Crane and Cheryl Crane (reputed owners) on the north and the property of Mary A. Schofield (reputed owner) on the south, the last mentioned point being 50± feet distant westerly, measured at right angles, from station 204+03± of said baseline; thence easterly along said division line 10± feet to its intersection with the westerly boundary of said existing highway, the last mentioned point being 39± feet distant westerly measured at right angles, from station 204+05± of said baseline; thence along the last mentioned boundary of said existing highway, the following two (2) courses and distances: one (1) southerly 50± feet to a point 46± feet distant westerly, measured at right angles, from station 203+55± of said baseline; and two (2) southerly 98± feet to the point of beginning; being 1816± square feet or 0.042 acre more or less.

PERMANENT EASEMENT FOR DRAINAGE PIPELINE

A permanent easement to be exercised in, on and over the property above delineated and hereinafter described for the purpose of constructing, reconstructing and maintaining thereon a drainage pipeline and appurtenances in and to all that piece or parcel of property hereinafter designated as Parcel No. 56, being a portion of Section 5955-19, Lot 716048 as shown on the official tax map, situate in the City of Beacon, County of Dutchess, State of New York, as shown on the accompanying map and described as follows:

Parcel No. 56

Beginning at a point on the northerly boundary of the existing Tompkins Avenue, said point being 62± feet distant westerly, measured at right angles, from station 202+56± of the hereinafter described survey baseline for the construction of the City of Beacon: North-South Arterial; thence westerly along said street boundary 8± feet to a point 70± feet distant westerly, measured at right angles, from station 202+55± of said baseline; thence through the property of Mary A. Schofield (reputed owner) the following three (3) courses and distances: one (1) N 03°-36'-02"W, 22± feet to a point 69.69 feet distant westerly, measured at right angles, from station 202+76.88 of said baseline; two (2) N 86°-23'-58"E, 746± feet to a point 62.23 feet distant westerly, measured at right angles, from station 202+76.85 of said baseline; and three (3) southerly on a curve to the left having a radius of 641.16 feet, a distance of 21± feet to the point of beginning; being 164± square feet.

Reserving, however, to the owner of any right, title or interest in and to the property described above and such owner's successors or assigns, the right of using said property and such use shall not be further limited or restricted under this easement beyond that which is necessary to effectuate its purposes for, and as established by, the construction and as so constructed, the maintenance, of the herein identified project.

The above mentioned survey baseline is a portion of the 1974 survey baseline for the construction of the City of Beacon: North-South Arterial, as shown on a map and plan on file in the office of the State Department of Transportation and described as follows:

Beginning at station 201+66.31; thence N 03°-52'-18.1"W, to station 205+05.62.

All bearings referred to TRUE NORTH at the 74°-20' MERIDIAN OF WEST LONGITUDE.

I hereby certify that, to the best of my knowledge, this is an accurate description and map made from an accurate survey, prepared under my direction.

ERIC W. GARDELL

Date Feb 7 19 84



Eric W. Gardell
Civil Engineer II
P.L.S. License No. 45874

I hereby certify that the property described and mapped above is necessary for this project and the acquisition thereof is recommended.

W. H. Kikillus
FOR W. H. KIKILLUS
REGIONAL DESIGN ENGINEER
FOR THE Regional Director of Transportation
Region No. 8

Date FEB 7 19 84



NEW YORK STATE DEPARTMENT OF TRANSPORTATION
DESCRIPTION AND MAP FOR THE ACQUISITION OF PROPERTY

CITY OF BEACON
NORTH-SOUTH ARTERIAL
DUTCHESS COUNTY

1,980± Sq. Ft.
or
Total Area = 0.045± Acre

Map No. 6
Parcel No. 's 8 and 56

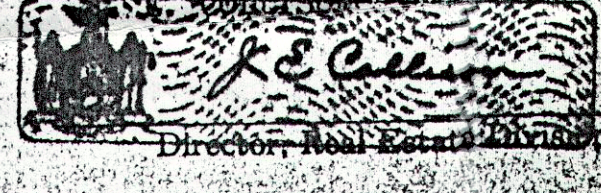
MARY A. SCHOFIELD
(Reputed Owner)

Descriptions and map of property showing (1) Parcel No. 8 to be acquired in fee; and (2) Parcel No. 56 in and to which an easement as hereinabove defined is to be acquired; each of which the Commissioner of Transportation deems necessary to be acquired by appropriation in the name of the People of the State of New York for purposes connected with the highway system of the State of New York pursuant to Sections 30 and 349-c of the Highway Law, and the Eminent Domain Procedure Law.

There is excepted from this appropriation all the right, title and interest, if any, of the United States of America, in or to said property.

Pursuant to statute set forth above and the authority delegated to me by official order of the commissioner of transportation, the above description and map are hereby officially approved; and said description and the original tracing of this map are hereby officially filed in the office of the department of transportation.

Date December 11 19 84



I have compared the foregoing copy of description and map with the original thereof, as filed in the office of the department of transportation and I do hereby certify the same to be a true and correct copy of said original and of the whole thereof.

SURVEY NOTES:

1. THE PARCEL SHOWN HEREON ARE GENERALLY AS DESCRIBED IN LIBER 1884 PAGE 688 RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE.
2. SUBJECT TO ANY EASEMENTS AND/OR RIGHTS OF WAY THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
3. SURVEYED AS PER RECORD DEED, EXISTING MONUMENTATION, RECORDED AND UNRECORDED MAPS.
4. NEW YORK STATE DEPARTMENT OF TRANSPORTATION ONLY APPROPRIATED THAT LAND SHOWN AND DELINEATED ON MAP NO. 6, PARCEL 8, MAP NO. 6, PARCEL 56 IS A PERMANENT EASEMENT ENCUMBERING THE PROPERTY SHOWN HEREON AND WAS NOT ACQUIRED IN FEE. THIS MAP IS ON FILE AT THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REGIONAL OFFICE NO. 8 LOCATED IN POUGHKEEPSIE, NEW YORK.

MAP REFERENCE:

1. "SURVEY AS PREPARED FOR NORMINGTON J. SCHOFIELD" DATED MARCH 4, 2001 AS PREPARED BY DENNIS E. WALDEN, LAND SURVEYOR, N.Y.S. LICENSE NO. 49555.

TOTAL PARCEL AREA:

±32,394 S.F. OR ± 0.74 ACRE

TAX MAP REFERENCE:

CITY OF BEACON 5955-19-716048

VERTICAL DATUM:

ASSUMED

FLOOD BOUNDARY:

1. SUBJECT PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) PER PANEL 36027C0463E DATED MAY 2, 2012.

WETLAND NOTE:

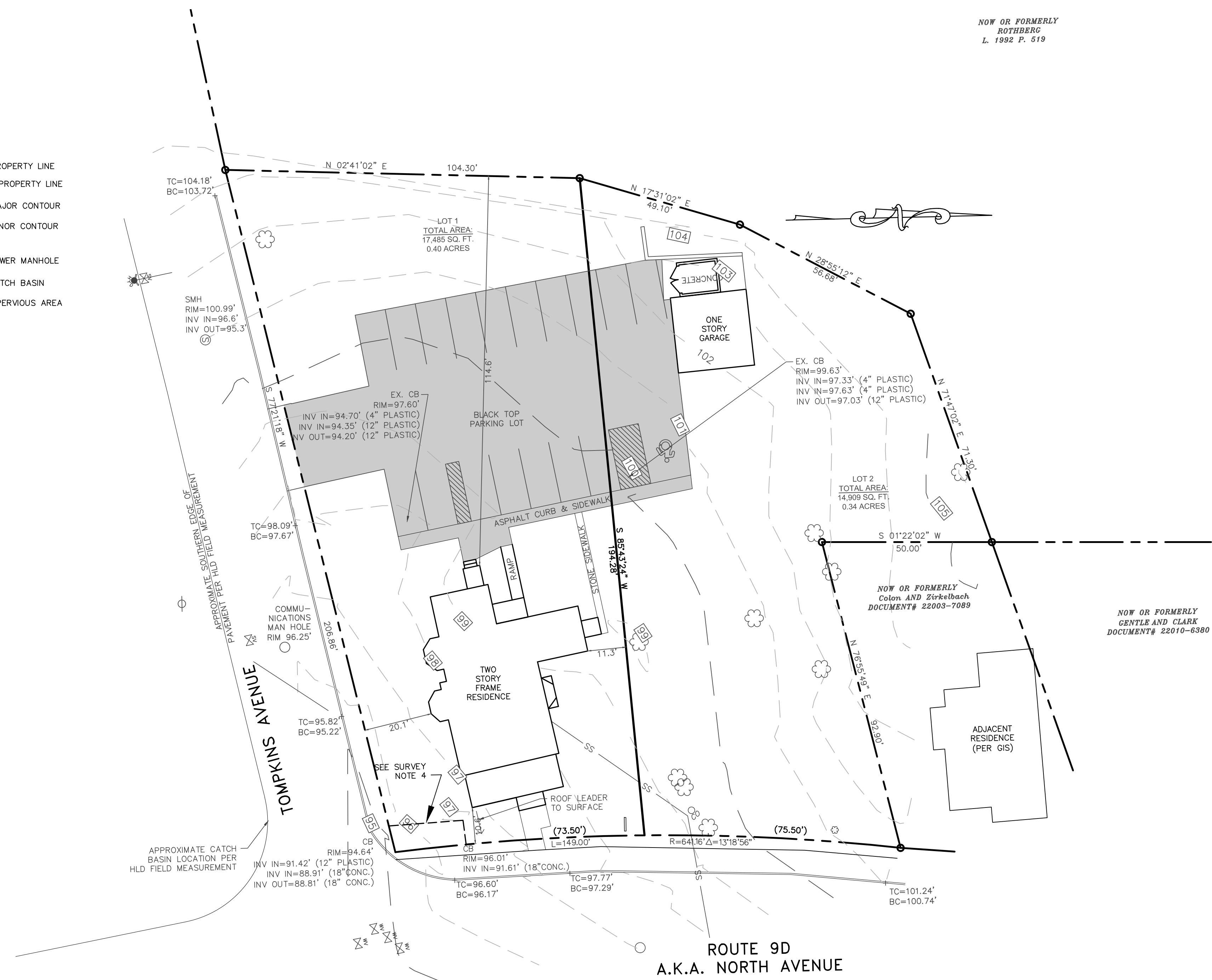
1. NO NYSDEC OR FEDERAL WETLANDS WERE FOUND ONSITE.

PROPOSED EASEMENT NOTE:

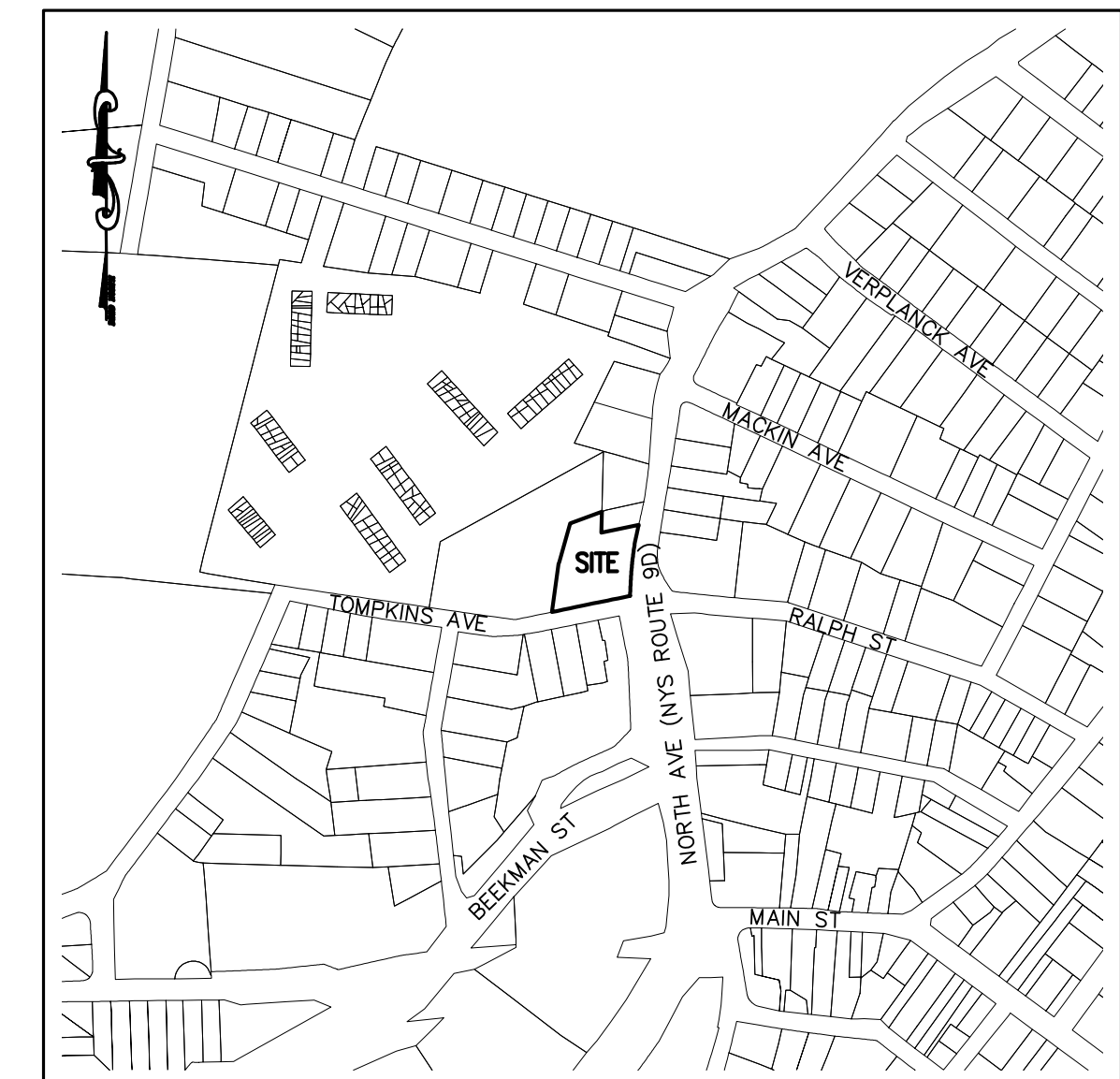
1. AN EASEMENT FOR THE BENEFIT OF LOT 2 THROUGH LOT 1 FOR THE PURPOSES OF PROVIDING ACCESS, PARKING AND WATER SERVICE WILL BE REQUIRED. THE EASEMENT WILL BE FINALIZED AS THE PLANNING PROCESS ADVANCES TO A POINT WHERE THE SERVICE LINE HAS BEEN GENERALLY ACCEPTED.

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 30 --- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ⊙ EXISTING SEWER MANHOLE
- ⊕ EXISTING CATCH BASIN
- █ EXISTING IMPERVIOUS AREA



NOW OR FORMERLY
ROTHBERG
L. 1892 P. 519

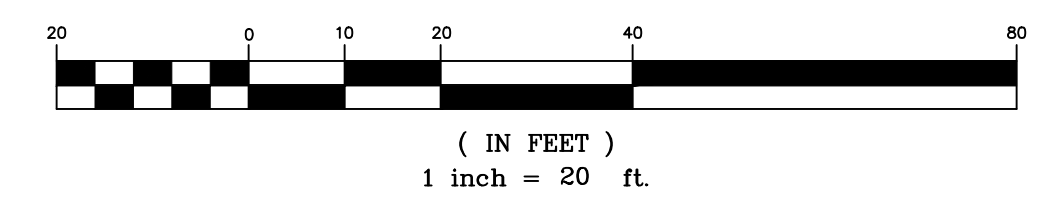


SITE LOCATION MAP SCALE: 1" = 400'

PRELIMINARY SUBDIVISION PLAT

SCALE: 1" = 20'

GRAPHIC SCALE



SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	7,500 SQUARE FEET MIN	17,485 S.F.	14,909 S.F.
LOT WIDTH:	75 FEET MINIMUM	86 FEET	62 FEET ⁽¹⁾
LOT DEPTH:	100 FEET MINIMUM	197 FEET	181 FEET
YARD SETBACKS:			
FRONT YARD:	30 FEET MINIMUM	10.6 FEET ⁽²⁾	21.7 FEET ⁽²⁾
SIDE YARD ⁽³⁾ :	10 FEET MINIMUM	11.3 FEET	13.9 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	31.4 FEET	28.3 FEET
REAR YARD:	30 FEET MINIMUM	114.0 FEET	87.5 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	N/A	16.0 FEET
REAR YARD:	5 FEET MINIMUM	N/A	47.3 FEET
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15 FEET
BUILDING COVERAGE:	MAX 30%	11.6%	13.1%

1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. PER SECTION 223-12(4), THE APPLICANT IS SEEKING AN AVERAGE DENSITY SUBDIVISION IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETSCAPE ALONG ROUTE 9D (NORTH AVENUE). APPLICABLE TO LOT 2, THE BULK DIMENSIONS MAY BE REDUCED TO THE NEXT LESS RESTRICTIVE ZONING DISTRICT, R1-5. THE ONLY DIFFERENCE DIMENSION THAT CHANGES IS THE MINIMUM LOT WIDTH TO 50 FEET FROM 75 FEET. THEREFORE, NO VARIANCE IS SOUGHT AS THE LOT IS COMPLIANT WITH THE LOT WIDTH IN THE R1-5 ZONE.
2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE).
3. PER SECTION 223-13(c). ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1.

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

NORM SCHOFIELD _____ DATE _____

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON DECEMBER 24, 2017.

By: John J. Post, Jr., L.L.S. N.Y. State Lic. no. 50643

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION; ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____

_____ CHAIRMAN

_____ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	3/27/2018	PER PLANNING BOARD COMMENTS	DGK

Subdivision Application
Sheet 1 of 1 - Preliminary Subdivision Plat

Owner:
North Avenue Properties, LLC
1181 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
John J. Post, Jr.
PO Box 827
Stone Ridge, New York 12484

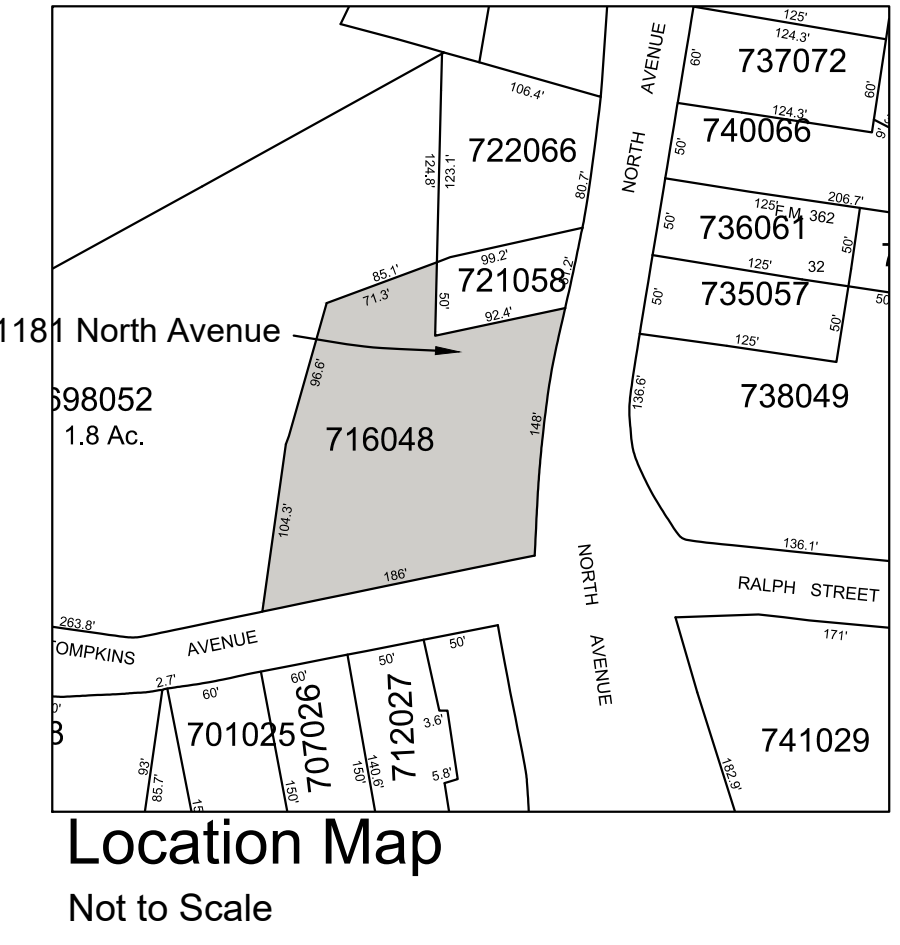
Landscape Designer:
Landscape Restorations
P.O. Box 286
Beacon, New York 12508

Office Building - 1181 North Avenue
Beacon, New York
Scale: As Noted
February 27, 2018



SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	7,500 SQUARE FEET MIN	17,485 S.F.	14,909 S.F.
LOT WIDTH:	75 FEET MINIMUM	86 FEET	62 FEET ⁽¹⁾
LOT DEPTH:	100 FEET MINIMUM	197 FEET	161 FEET
YARD SETBACKS:			
FRONT YARD:	30 FEET MINIMUM	10.6 FEET ⁽²⁾	21.7 FEET ⁽²⁾
SIDE YARD ⁽³⁾ :	10 FEET MINIMUM	11.3 FEET	13.9 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	31.4 FEET	28.3 FEET
REAR YARD:	30 FEET MINIMUM	114.0 FEET	87.5 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	N/A	16.0 FEET
REAR YARD:	5 FEET MINIMUM	N/A	47.3 FEET
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15 FEET
BUILDING COVERAGE:	MAX 30%	11.6%	13.1%



1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. PER SECTION 223-12(J), THE APPLICANT IS SEEKING AN AVERAGE DENSITY SUBDIVISION IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETSCAPE ALONG ROUTE 9D (NORTH AVENUE). APPLICABLE TO LOT 2, THE BULK DIMENSIONS MAY BE REDUCED TO THE NEXT LESS RESTRICTIVE ZONING DISTRICT, R1-5, THE ONLY DIFFERENCE DIMENSION THAT CHANGES IS THE MINIMUM LOT WIDTH TO 50 FEET FROM 75 FEET. THEREFORE, NO VARIANCE IS SOUGHT AS THE LOT IS COMPLIANT WITH THE LOT WIDTH IN THE R1-5 ZONE.

2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE).

3. PER SECTION 223-13(i): ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1.

SYMBOL LEGEND

- ☐ CATCH BASIN
- ⊗ WATER VALVE
- ⊙ STORM MANHOLE
- ⊗ SHUT OFF VALVE
- ⊗ HYDRANT

Zoning Summary

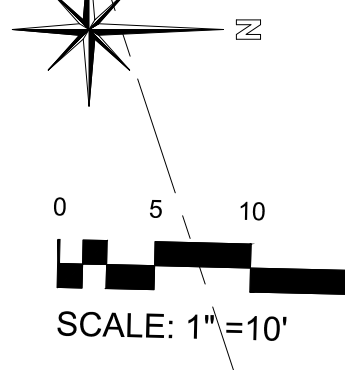
Zoning District:	R1-7.5 (One Family)
Tax Map No.:	5955-19-716048
Existing Lot Area:	0.74 acres (32,394 sf)
Proposed Subdivided Lot Areas:	
Lot 1:	0.40 acres (17,485 sf)
Lot 2:	0.34 acres (14,909 sf)
Proposed Building Footprint:	1,300 Square Feet
Historical Overlay District:	Yes
Parking Overlay District:	No
Existing Use:	Office Building
Proposed Use:	Office Building Sub-divide property to create new office building on new lot

Parking & Loading

Parking Requirements	Area	Parking Requirement
Office / Professional Use		
Proposed Office Building		
1 space for each 200 square feet gross floor area per current Zoning Code requirements	2,600	13 Spaces
Existing Office Building to Remain		
Previously approved requirement of 1 space for each 250 square feet of gross floor area	2,340 SF	10 Spaces
Total Required Parking Spaces		23 Parking Spaces
Total Proposed Parking Spaces		23 Parking Spaces

Notes:

- The proposed Office use is allowed by Special Use Permit issued by the City Council.
- The siting of the proposed building on the newly created parcel fills a void in the continuous street frontage common along both sides of this block; and reinforces the historical nature of the original city plan along this length of North Avenue. The building screens the existing parking lot towards the rear of the property.
- The proposed and existing lots, after subdivision, will comply with bulk requirements for the R1-7.5 Zoning District, thereby making simpler a potential future conversion to residential use in either or both buildings.
- The proposed building complies with Zoning for setbacks and height.
- Office hours are 7:00am to 10:00 pm, Monday through Sunday, inclusive.
- The existing business identification sign is proposed to be relocated between the new and existing buildings, and visible from both directions from North Avenue. The sign is proposed to be modified to make it double-sided, and lit with a shielded, concealed light source 12 watt LED strip fixture.



HATCHING LEGEND

	CONCRETE SIDEWALK
	ASPHALT PAVING
	GRASS
	GRASS PLANTING BED

Index of Drawings

Sheet 1 of 5	Site Plan, Floor Plans
Sheet 2 of 5	Buildable Area Diagram & Survey
Sheet 3 of 5	Renderings
Sheet 4 of 5	Grading & Utility Plan,
Sheet 5 of 5	Construction Details

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	03/27/18	REVISED PER PLANNING BOARD COMMENTS	AJS

Site Plan
Scale: 1" = 10'

Special Use Permit Application
Sheet 1 of 5 - Site Plan

HUBBARDTON FORGE
"HOOD" OUTDOOR DARK
SKY COMPLIANT WALL
SCONCE #306563. 15" HIGH
X 6 1/2" WIDE. BURNISHED
STEEL FINISH. 60 W
INCANDESCENT LAMP



L1: Wall Mounted

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

Lighting

Not to Scale

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE
DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND
CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT,
AS APPROVED, SHALL VOID THIS APPROVAL.
SIGNED THIS _____ DAY OF _____, 20____, BY

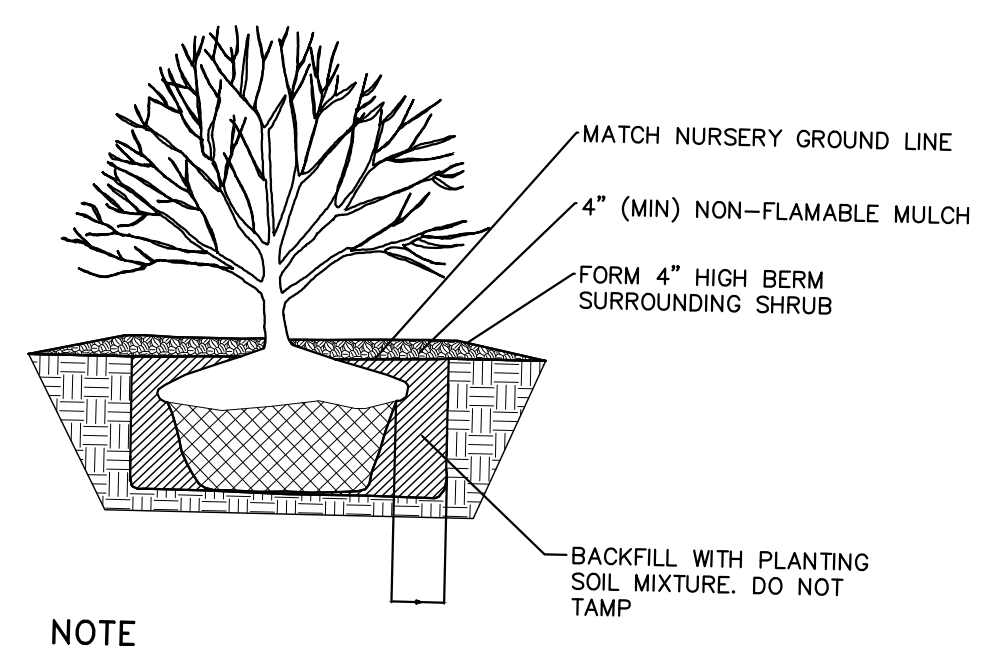
CHAIRMAN

SECRETARY
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY
RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/27/18	NO CHANGE	AJS

NOTES:

- The parcel shown hereon are generally as described in Liber 1884 Page 688 recorded in the Dutchess County Clerk's Office.
- Subject to any easements and/or rights of way that an accurate up to date abstract of title may show.
- Surveyed as per record deed, existing monumentation, recorded and unrecorded maps.
- New York State Department of Transportation only appropriated that land shown and delineated on Map No. 6, Parcel 8. Map No. 6, Parcel 56 is a permanent easement encumbering the property shown hereon and was not acquired in fee. This map is on file at the New York State Department of Transportation Regional Office No. 8 located in Poughkeepsie, New York.



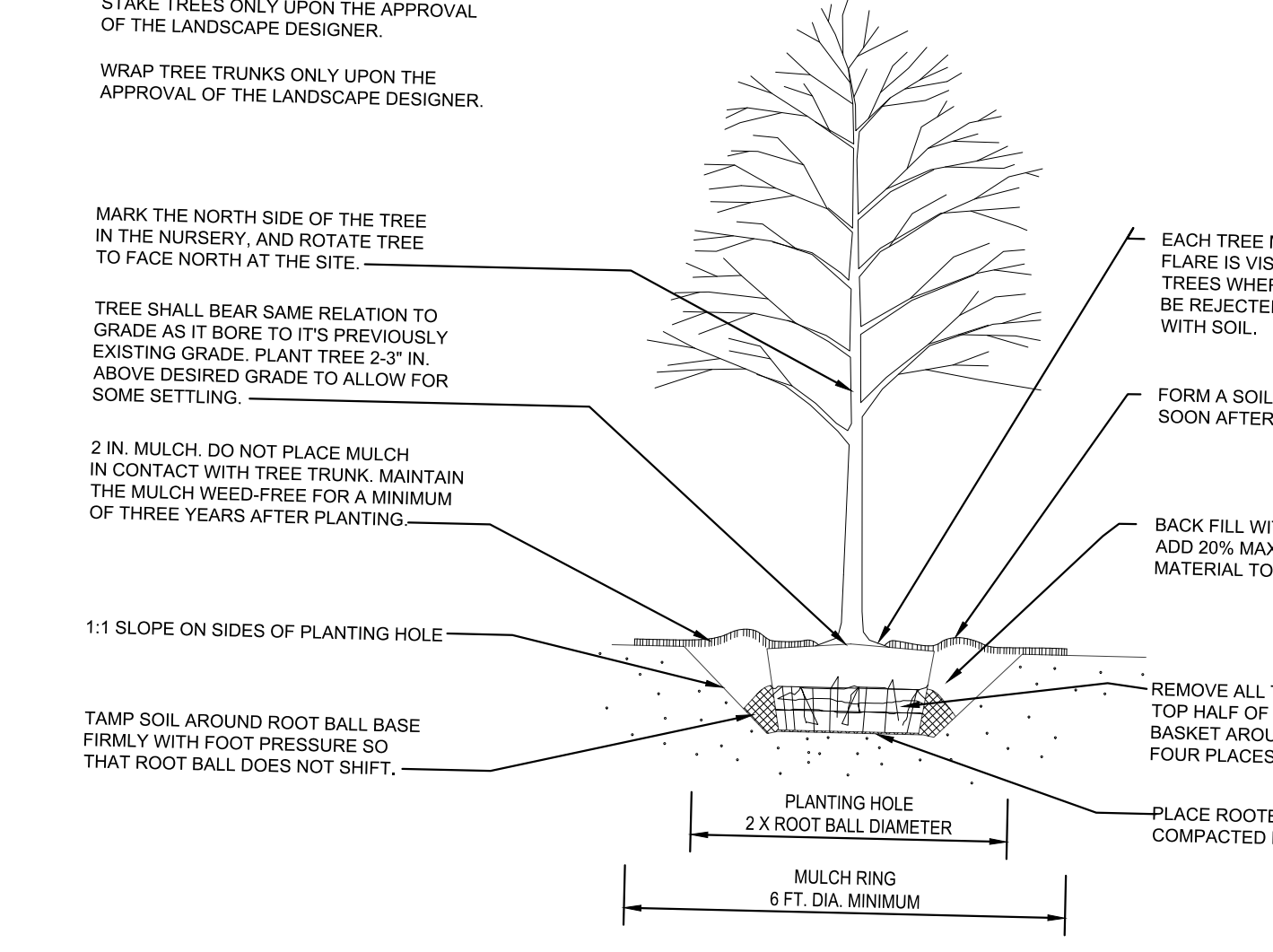
NOTE
1. WATER PER NURSERY SPECIFICATIONS IMMEDIATELY FOLLOWING PLANTING.
2. DETAIL IS FOR BOTH BALL & BURLAPPED OR CONTAINERED SHRUBS.
SHRUB PLANTING DETAIL
NOT TO SCALE

Landscape Restorations
Plant List
Delira Adams
914.643.8039
4860990000000000
213 Box 286 Beacon, New York 12508

Norman Schofield Office Building 1181 North Ave Beacon NY
February 27 2018
NURSERY: North Creek and Hardscrabble

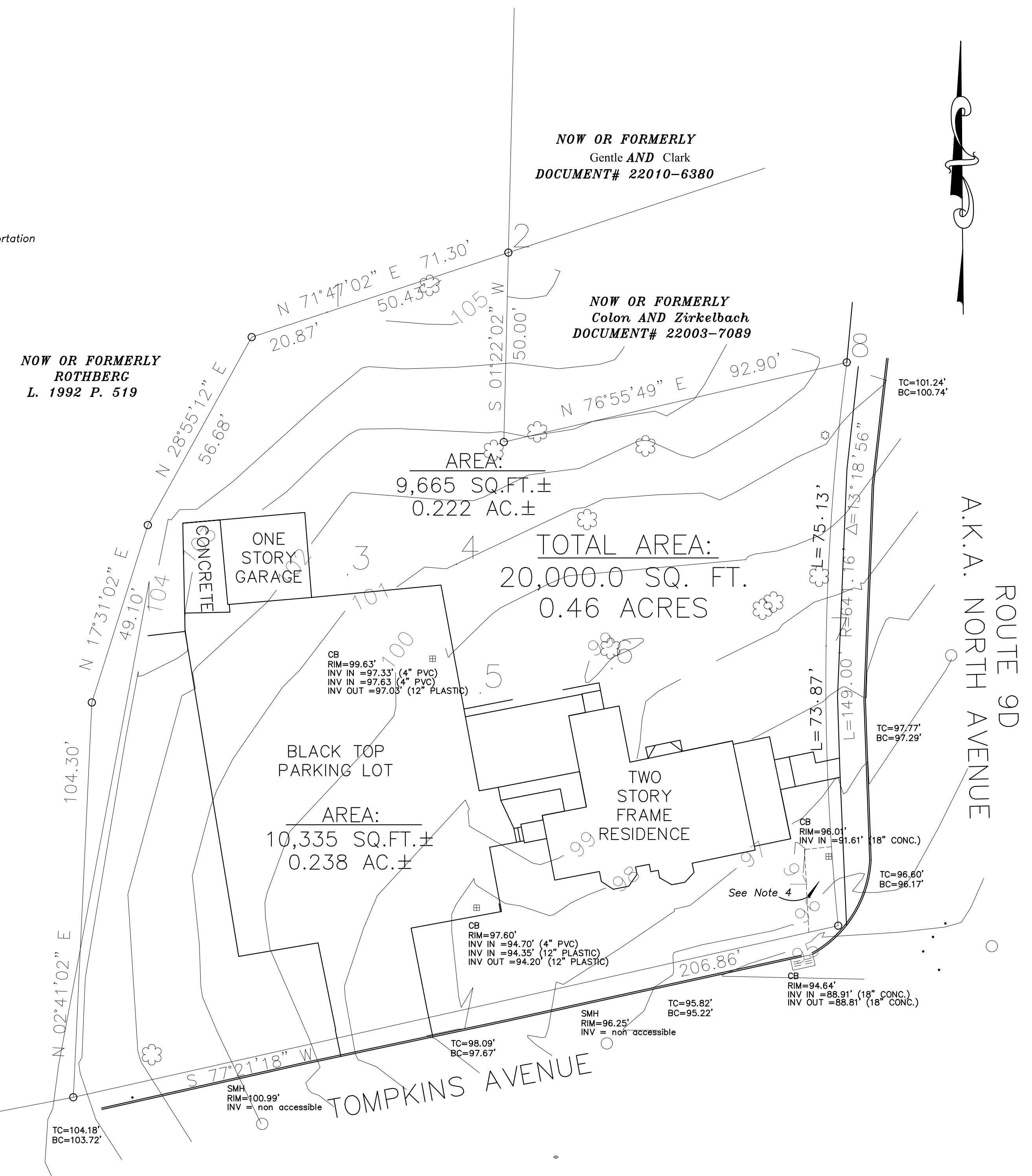
Botanical Name	Common Name	Key	Type	Quantity	Size	Notes
<i>carex pensylvanica</i>	Oak Sedge	G-Cp	Grass	500	10 Tray	Plugs
<i>ilex glabra</i>	Inkberry	H-Ig	Shrub	11	7 gallon	
<i>ilex verticillata</i> 'Jim Dandy'	male for Sparkleberry	S-IvD	Shrub	3	3 gallon	
<i>rhododendron maximum</i>	Rhododendron	S-Rm	Shrub	3	4-5'	Heavy Rootball
<i>amelanchier canadensis</i>	Serviceberry	T-Ac	Tree	3	5-7'	Balled and Burlap
<i>ilex opaca</i>	Holly	T-Io	Tree	2	6-7'	Balled and Burlap
<i>ilex verticillata</i> 'Sparkleberry'	Sparkleberry Tree	T-IvS	Tree	3	5'	
<i>magnolia virginiana</i>	American Magnolia	T-Mv	Tree	1	7'	Balled and Burlap

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE DESIGNER.
WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE DESIGNER.



TREE PLANTING DETAIL
NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8 FT. SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

MAP REFERENCE:
"Survey prepared for Normington J. Schofield" dated March 4, 2001 as prepared by Dennis E. Walden, Land Surveyor, N.Y.S. License No. 49555.
TAX MAP REFERENCE:
CITY OF BEACON 5955-19-716048
VERTICAL DATUM:
ASSUMED



Survey
Scale: 1" = 20'

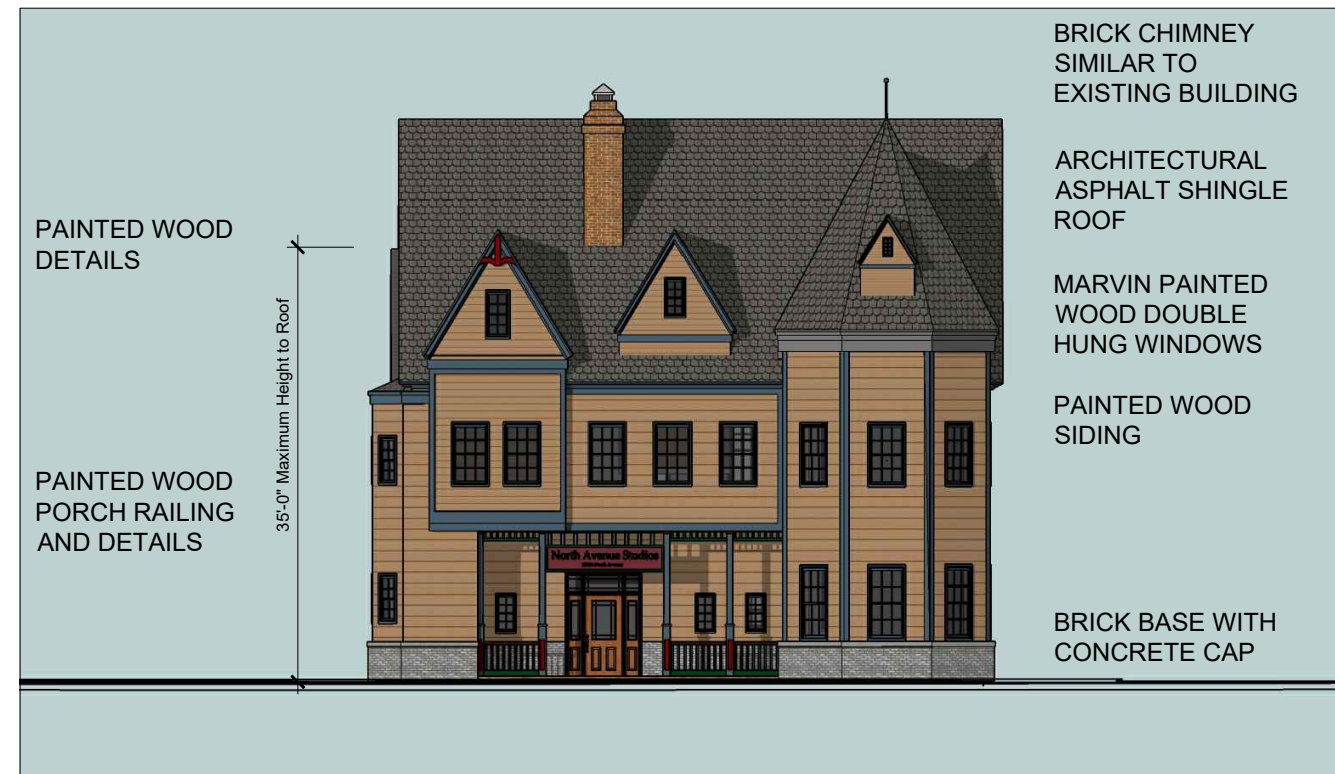
Special Use Permit Application
Sheet 2 of 5 - Existing Conditions Survey Plan / Planting Schedule

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

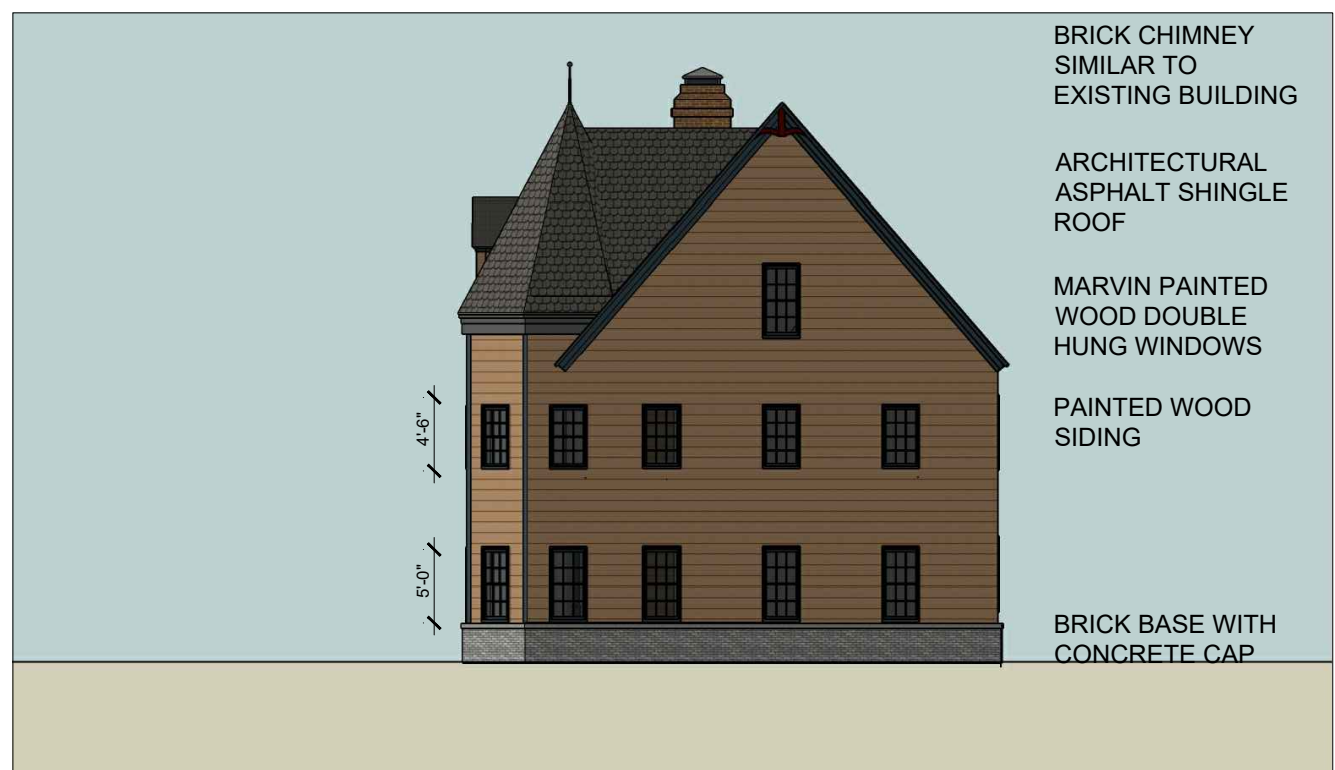
SIGNED THIS _____ DAY OF _____, 20____, BY _____ CHAIRMAN _____ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/27/18	REVISED FLOOR PLANS ONLY	AJS



Elevation: East



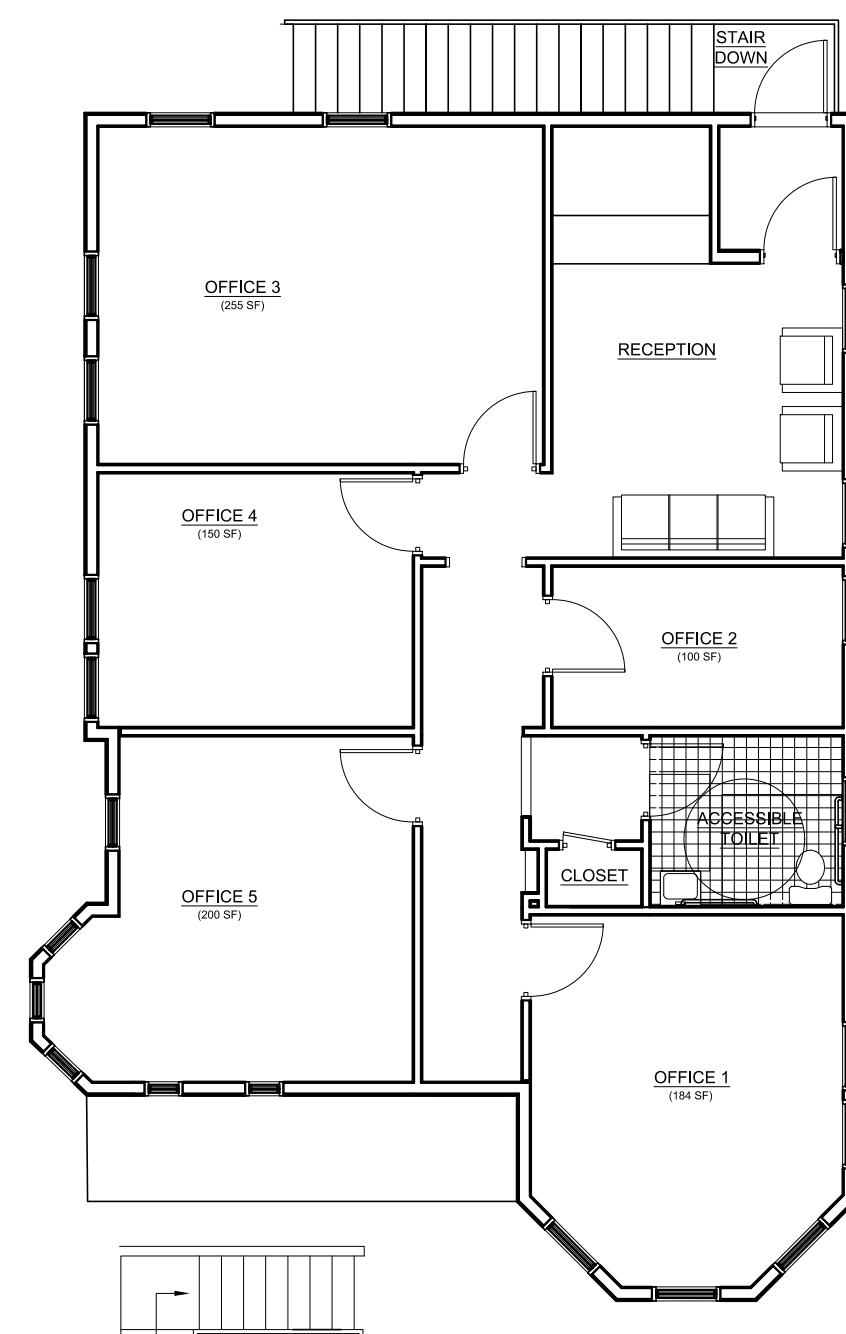
Elevation: North



Elevation: South

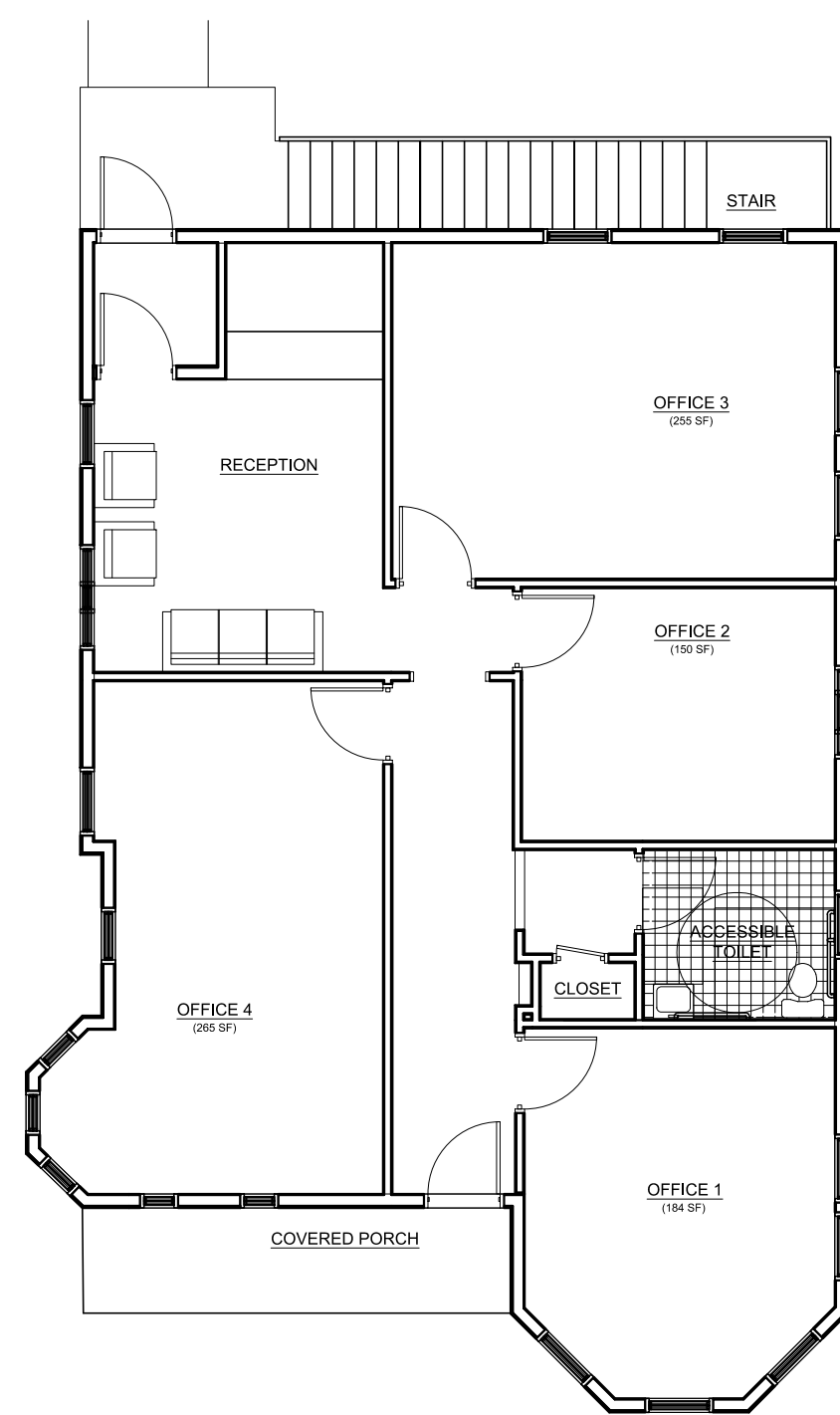


Elevation: West



Proposed 2nd Floor Plan

Scale: 1/8" = 1'-0"



Proposed 1st Floor Plan

Scale: 1/8" = 1'-0"



View Looking North



View Looking South

Special Use Permit Application

Sheet 3 of 5 - Renderings

EROSION AND SEDIMENT CONTROL NOTES

1. THE PROJECT IS NOT SUBJECT TO PREPARATION OF A SWPPP DUE TO THE AMOUNT OF SOIL DISTURBANCE PROPOSED. HOWEVER, EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED TO LIMIT THE TRANSPORT OF SEDIMENT OFFSITE.
2. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
3. ALL STORMWATER MANAGEMENT STRUCTURES (E.G. SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
4. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
6. PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
7. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE RESTORED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
8. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
9. THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
10. THE CITY MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
11. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
12. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED SUBJECT TO APPROVAL BY THE CITY.

INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

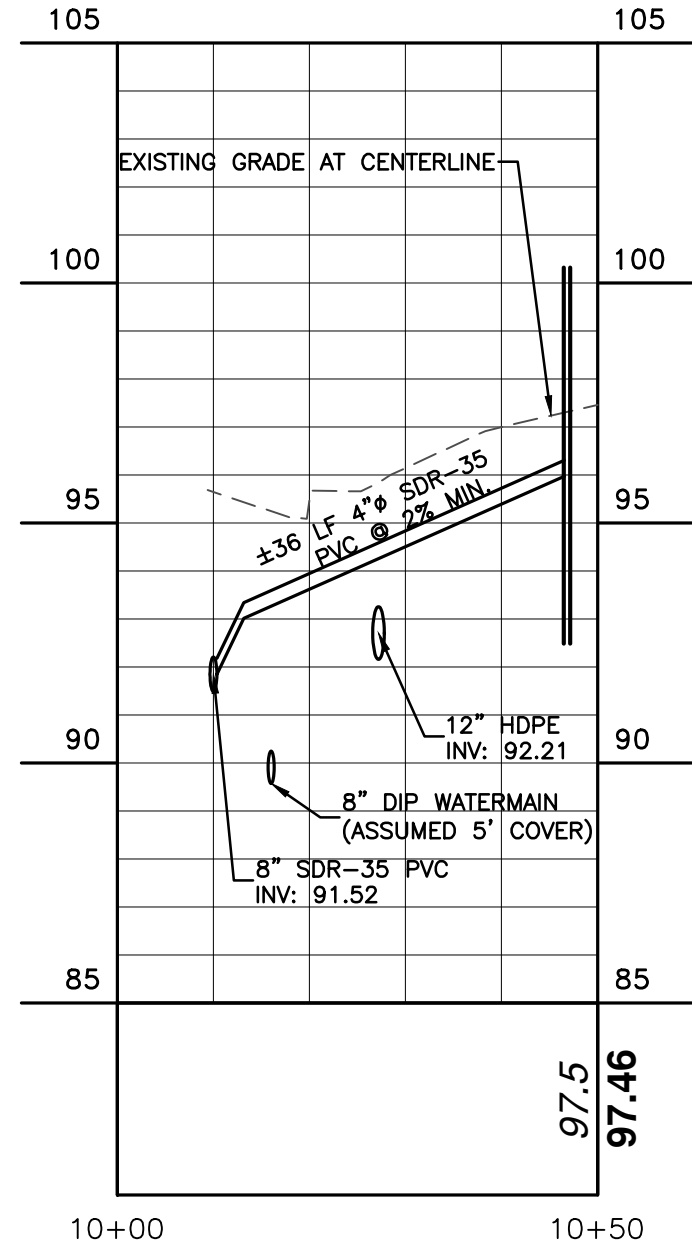
SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

DEWATERING PITS:
(IF REQUIRED) - INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DISMANTLED AND NEW PITS SHALL BE CONSTRUCTED AS NEEDED.

CATCH BASINS:
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. THE INLET PROTECTION SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED.

PUBLIC ROADWAYS:
IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. THIS SHALL BE DONE AS NEEDED DURING THE COURSE OF CONSTRUCTION, AND AT THE END OF EACH WORK DAY.



PROPOSED SANITARY SEWER SERVICE - LOT 1
1:4 VERTICAL
1:20 HORIZONTAL

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	7,500 SQUARE FEET MIN	17,485 S.F.	14,909 S.F.
LOT WIDTH:	75 FEET MINIMUM	86 FEET	62 FEET ⁽¹⁾
LOT DEPTH:	100 FEET MINIMUM	197 FEET	181 FEET
YARD SETBACKS:			
FRONT YARD:	30 FEET MINIMUM	10.6 FEET ⁽²⁾	21.7 FEET ⁽²⁾
SIDE YARD ⁽³⁾ :	10 FEET MINIMUM	11.3 FEET	13.9 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	31.4 FEET	28.3 FEET
REAR YARD:	30 FEET MINIMUM	114.0 FEET	87.5 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	N/A	16.0 FEET
REAR YARD:	5 FEET MINIMUM	N/A	47.3 FEET
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15 FEET
BUILDING COVERAGE:	MAX 30%	11.6%	13.1%

1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. PER SECTION 223-12(J), THE APPLICANT IS SEEKING AN AVERAGE DENSITY SUBDIVISION IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETSCAPE ALONG ROUTE 90 (NORTH AVENUE). APPLICABLE TO LOT 2, THE BULK DIMENSIONS MAY BE REDUCED TO THE NEXT LESS RESTRICTIVE ZONING DISTRICT, R1-5, THE ONLY DIFFERENCE DIMENSION THAT CHANGES IS THE MINIMUM LOT WIDTH TO 50 FEET FROM 75 FEET. THEREFORE, NO VARIANCE IS SOUGHT AS THE LOT IS COMPLIANT WITH THE LOT WIDTH IN THE R1-5 ZONE.
2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE).
3. PER SECTION 223-13.c. ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1.

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

NORM SCHOFIELD _____ DATE _____

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Owner:
North Avenue Properties, LLC
1181 North Avenue
Beacon, New York 12508

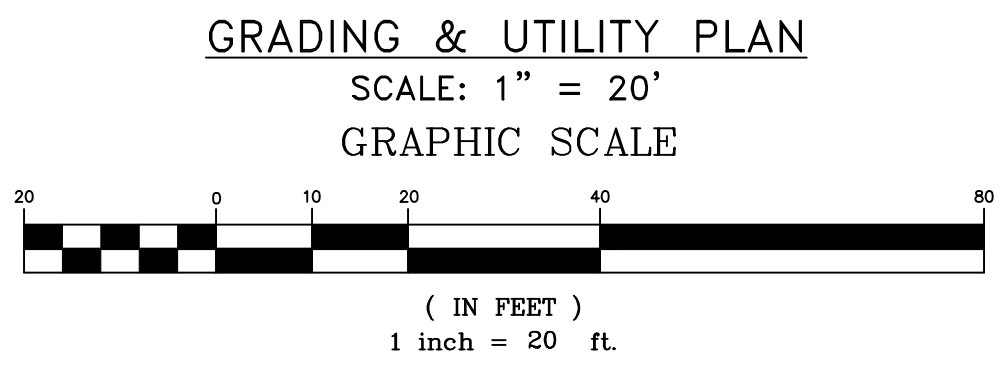
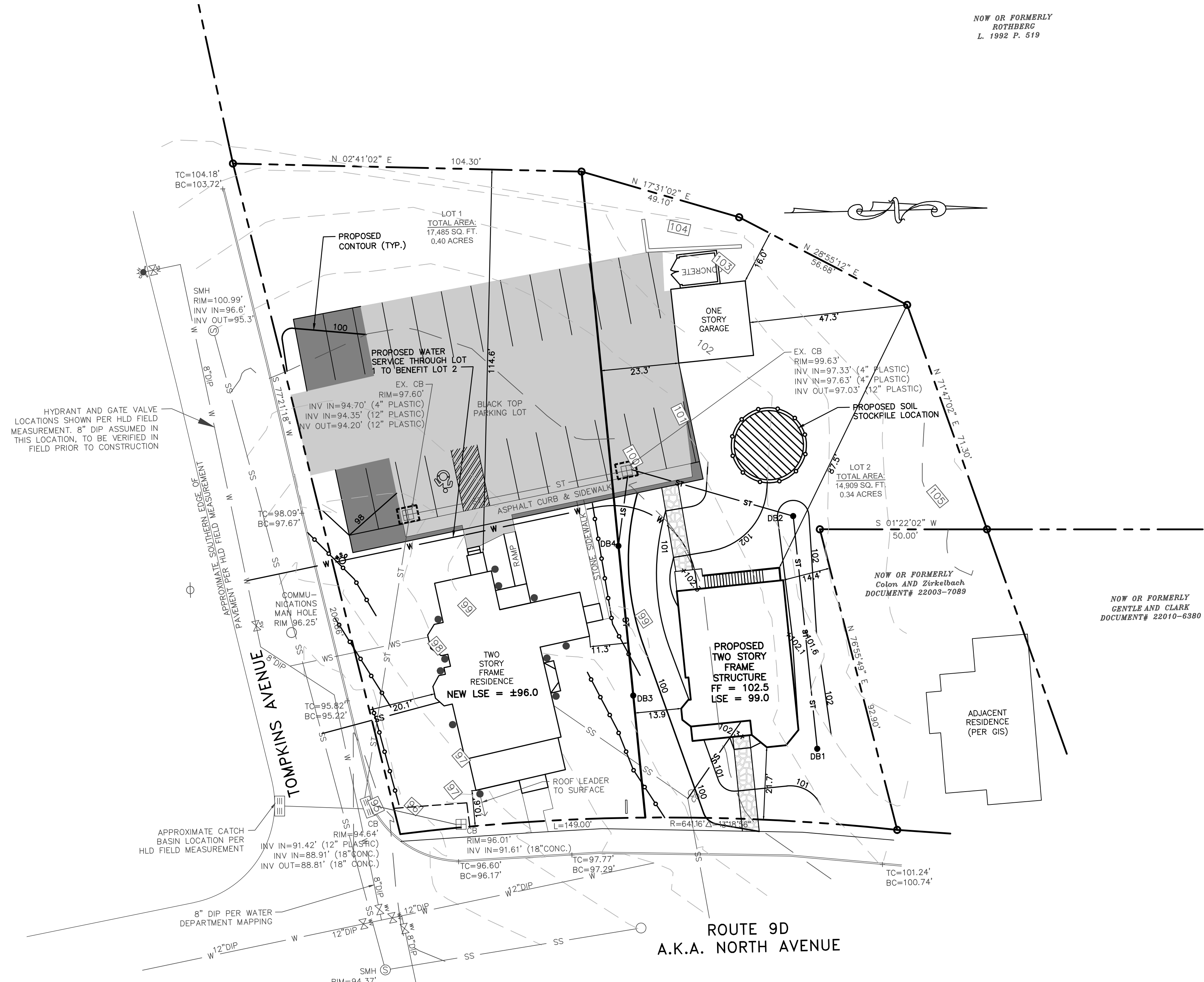
Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
John J. Post, Jr.
PO Box 827
Stone Ridge, New York 12484

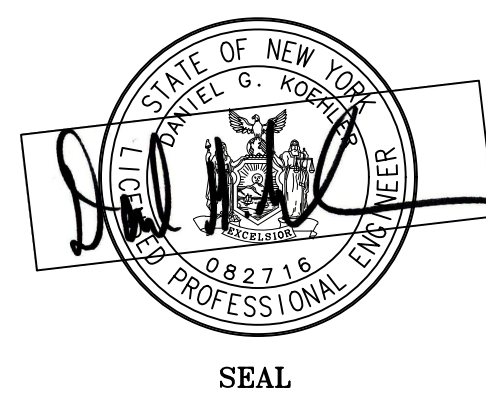
Landscape Designer:
Landscape Restorations
P.O. Box 286
Beacon, New York 12508

Office Building - 1181 North Avenue
Beacon, New York
Scale: As Noted
February 27, 2018



LEGEND

- 30 --- EXISTING PROPERTY LINE
- 100 --- PROPOSED PROPERTY LINE
- 97 --- PROPOSED MAJOR CONTOUR
- WS --- WS --- PROPOSED MINOR CONTOUR
- WS --- WS --- PROPOSED WATER SERVICE 1" COPPER K
- WS --- WS --- PROPOSED WATER SHUTOFF VALVE
- SS --- SS --- PROPOSED SEWER CLEANOUT
- SS --- SS --- PROPOSED SEWER MAIN
- SS --- SS --- PROPOSED SANITARY SERVICE LATERAL 4" SDR-35 PVC
- SS --- SS --- PROPOSED INLET PROTECTION
- SS --- SS --- PROPOSED SILT FENCE
- SS --- SS --- PROPOSED IMPERVIOUS AREA
- SS --- SS --- PROPOSED DRAIN BASIN
- ST --- ST --- PROPOSED STORM PIPE
- SS --- SS --- EXISTING WATER MAIN
- W --- W --- EXISTING HYDRANT
- S --- S --- EXISTING SEWER MANHOLE
- S --- S --- EXISTING SEWER MAIN
- S --- S --- EXISTING CATCH BASIN
- S --- S --- EXISTING STORMWATER LINE
- S --- S --- EXISTING DOWNSPOUT TO CLOSED SYSTEM BELOW GROUND
- S --- S --- EXISTING IMPERVIOUS AREA

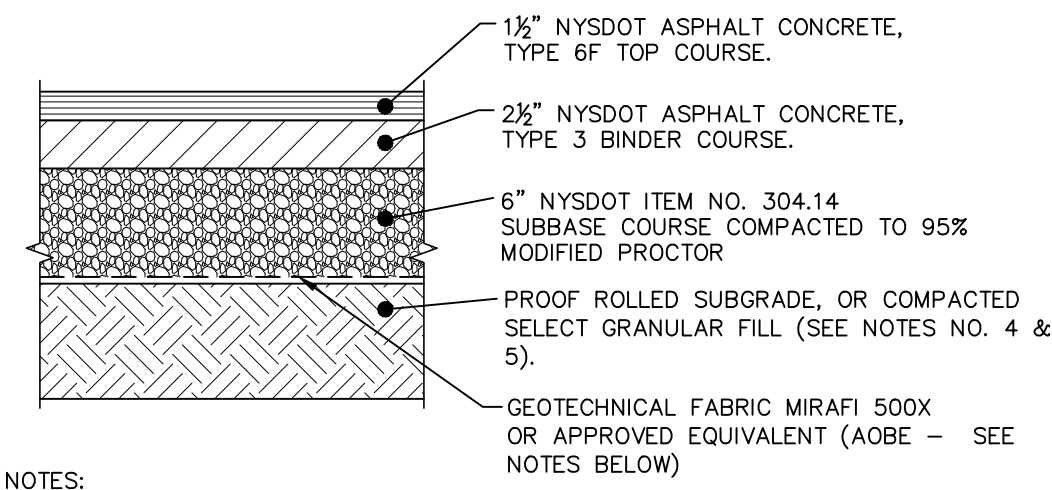


REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	3/27/2018	PER PLANNING BOARD COMMENTS	DGK

NOW OR FORMERLY
ROTHBERG
L. 1992 P. 519

NOW OR FORMERLY
Gentle and Clark
DOCUMENT# 22010-6380

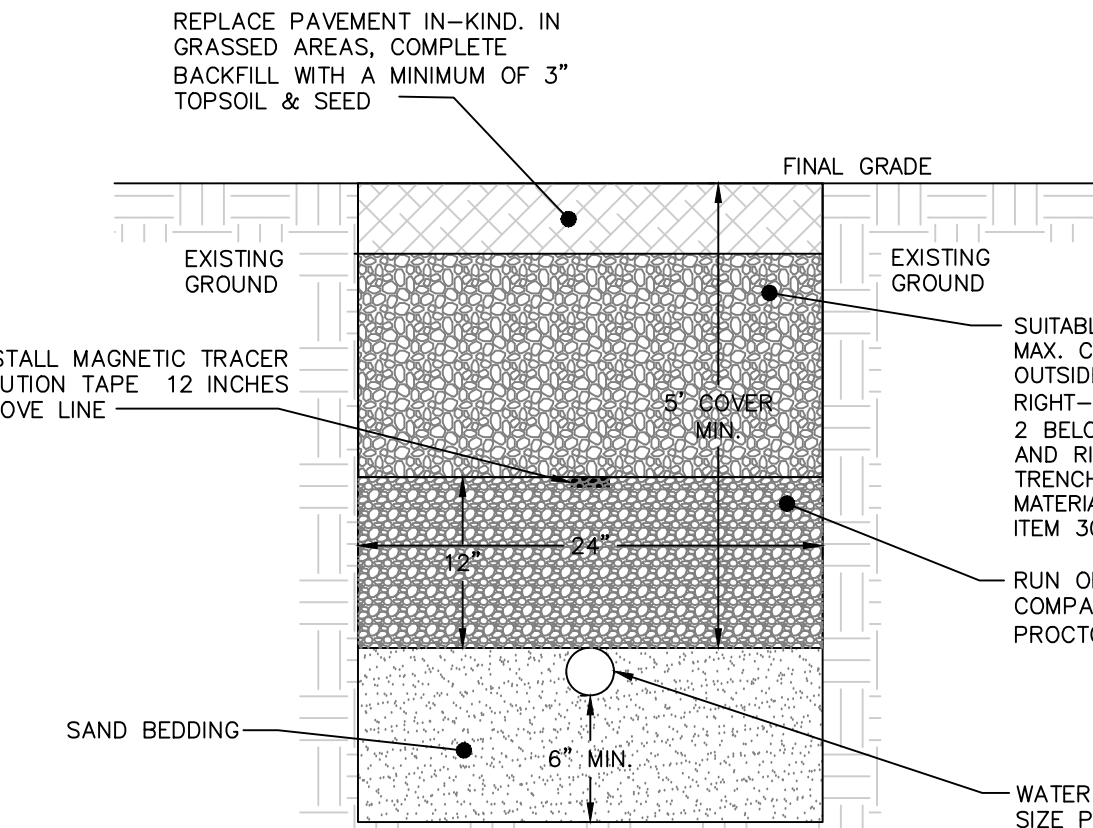
NOW OR FORMERLY
Colon and Zirkelbach
DOCUMENT# 22003-7089



NOTES:

- MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, LATEST REVISION.
- SUBGRADE SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.
- TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
- WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
- IT IS EXPECTED THAT THE EXISTING SITE SUB-SOILS ARE SUITABLE, IF UNSUITABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR POSSIBLE MODIFICATIONS TO THE PAVEMENT DETAIL.
- GEOTECHNICAL FABRIC TO BE PROVIDED AS ORDERED BY ENGINEER BASED ON ENCOUNTERED SITE CONDITIONS.

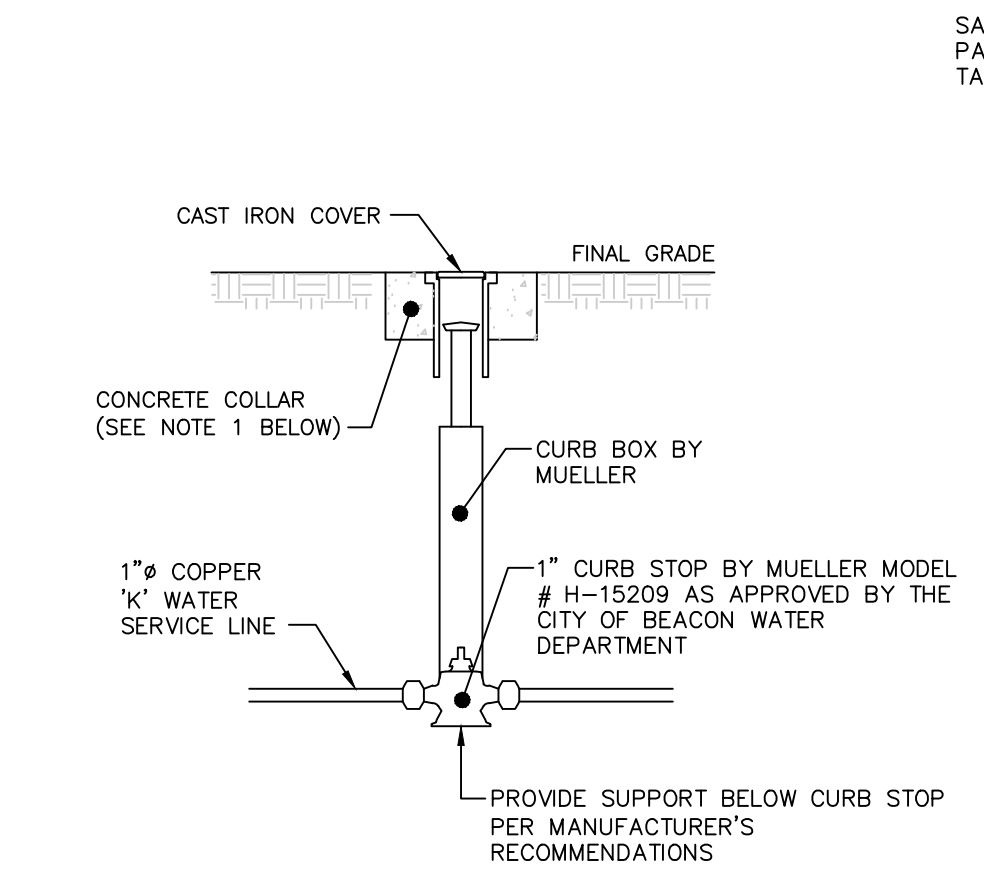
PARKING LOT PAVEMENT SECTION DETAIL
NOT TO SCALE



NOTES:

- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
- SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
- IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.

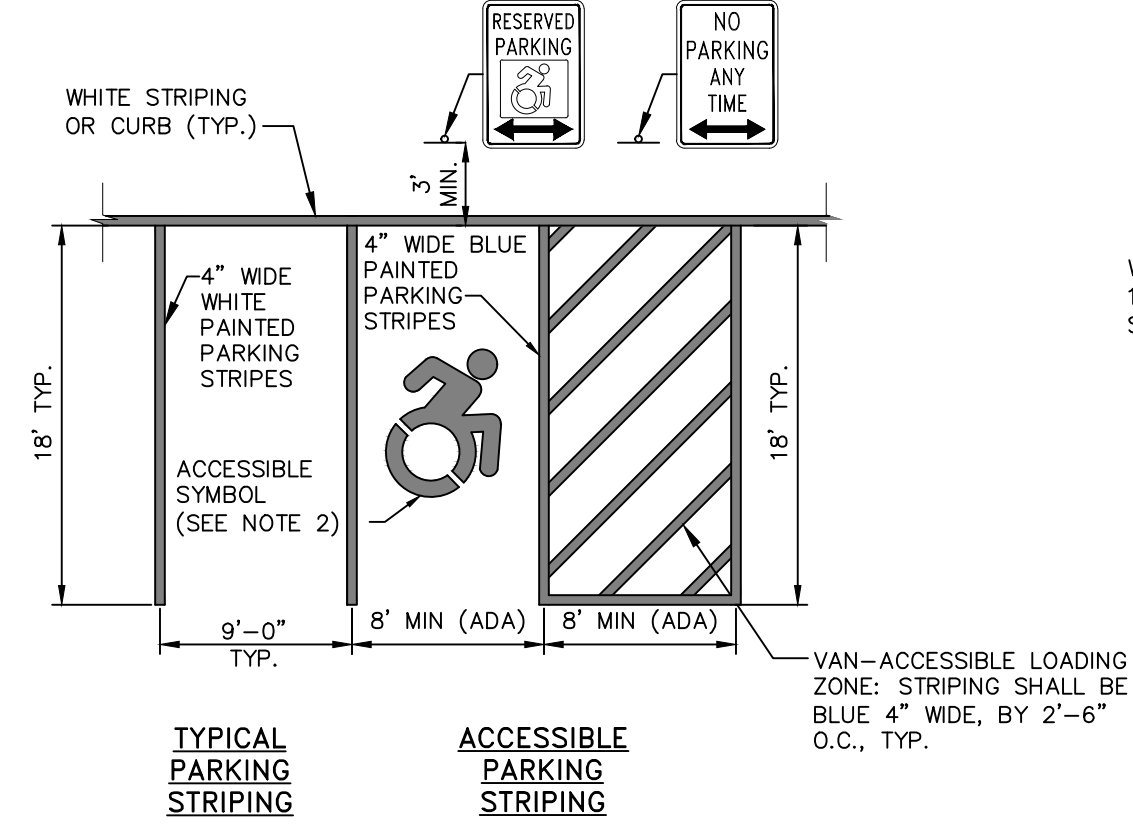
WATER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



NOTES:

- CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.
- CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
- AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.

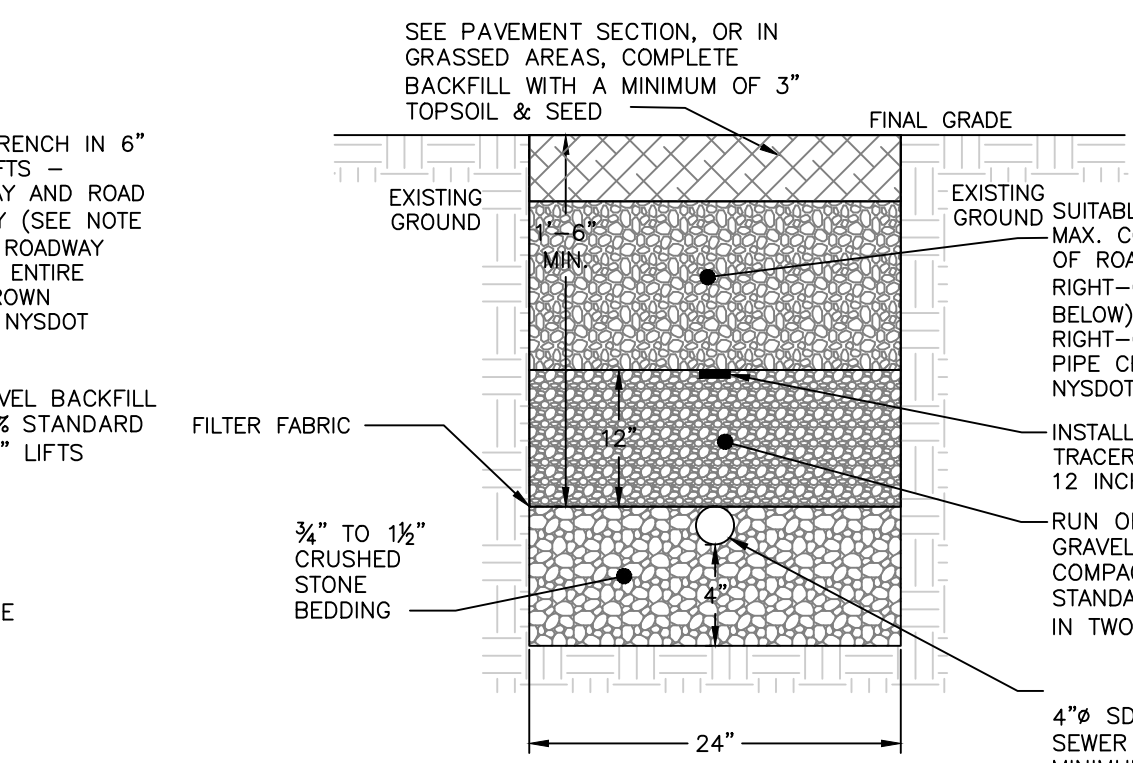
WATER SHUT-OFF VALVE DETAIL
NOT TO SCALE



NOTES:

- ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.
- PAINTED ACCESSIBLE SYMBOL TO BE IN ACCORDANCE WITH NYSDOT AND ADA STANDARDS.
- IF PARKING ADJUTS A SIDEWALK, THEN THE REGULATORY SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.

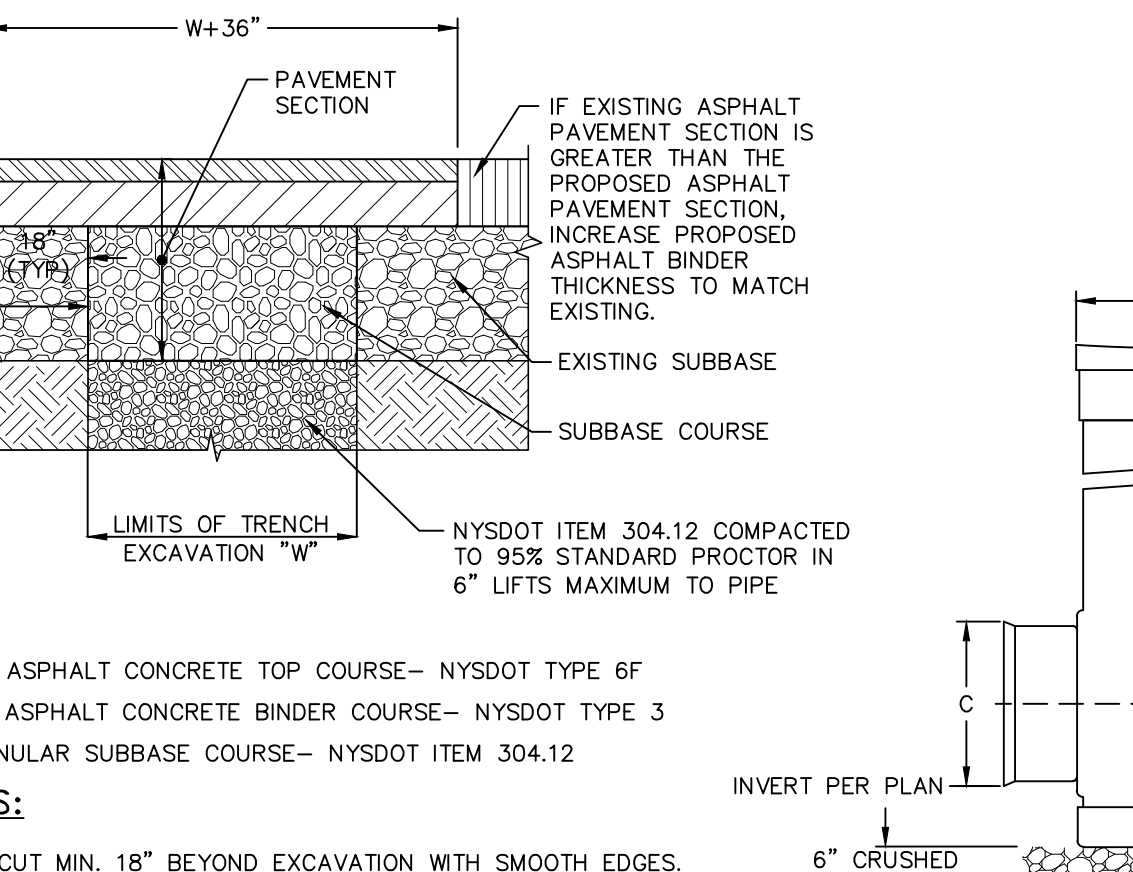
PARKING AND STRIPING DETAIL
NOT TO SCALE



NOTES:

- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
- SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



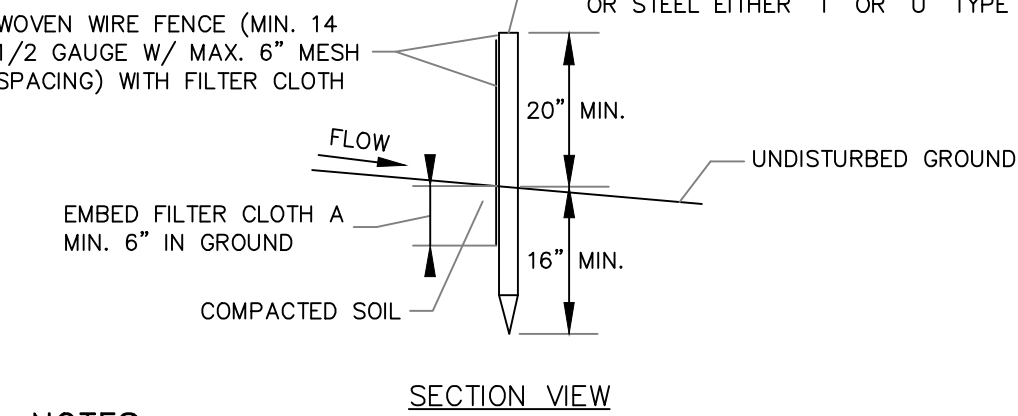
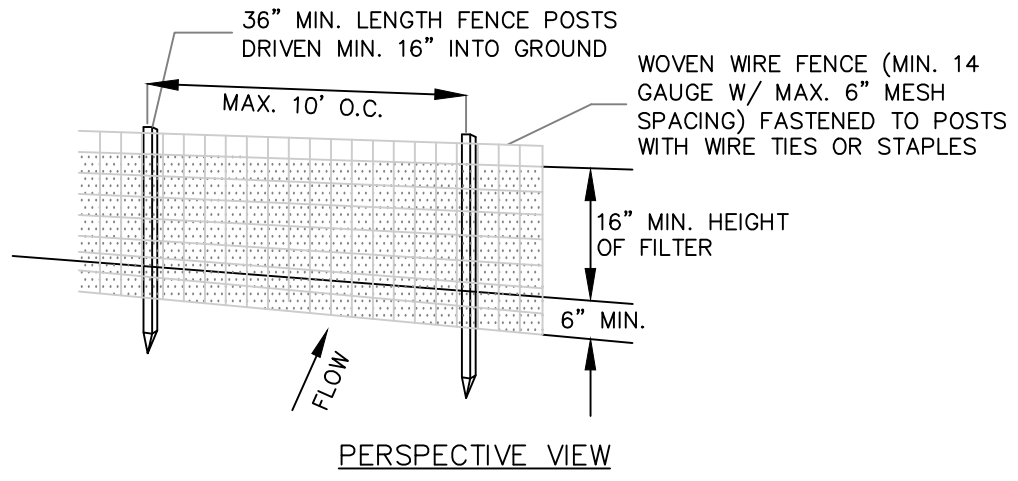
LEGEND:

- (A) 1-1/2" ASPHALT CONCRETE TOP COURSE - NYSDOT TYPE 6F
- (B) 2 1/2" ASPHALT CONCRETE BINDER COURSE - NYSDOT TYPE 3
- (C) 6" GRANULAR SUBBASE COURSE - NYSDOT ITEM 304.12

NOTES:

- SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED. JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.
- FURNISH, PLACE, AND COMPACT SUBBASE.
- TACK COAT IN ACCORDANCE WITH NYSDOT STANDARD SPEC.
- FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

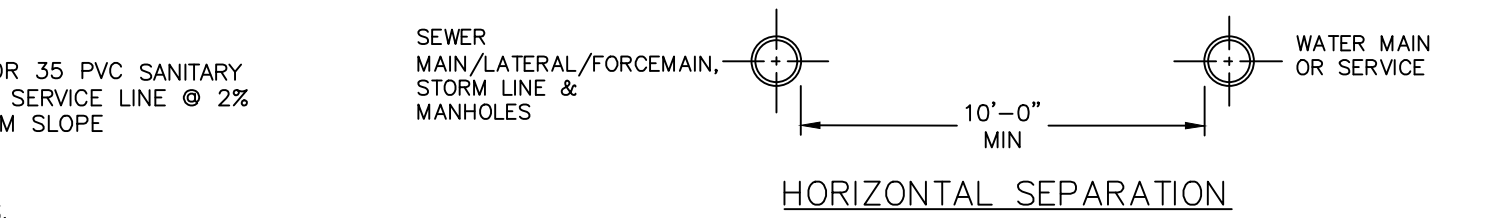
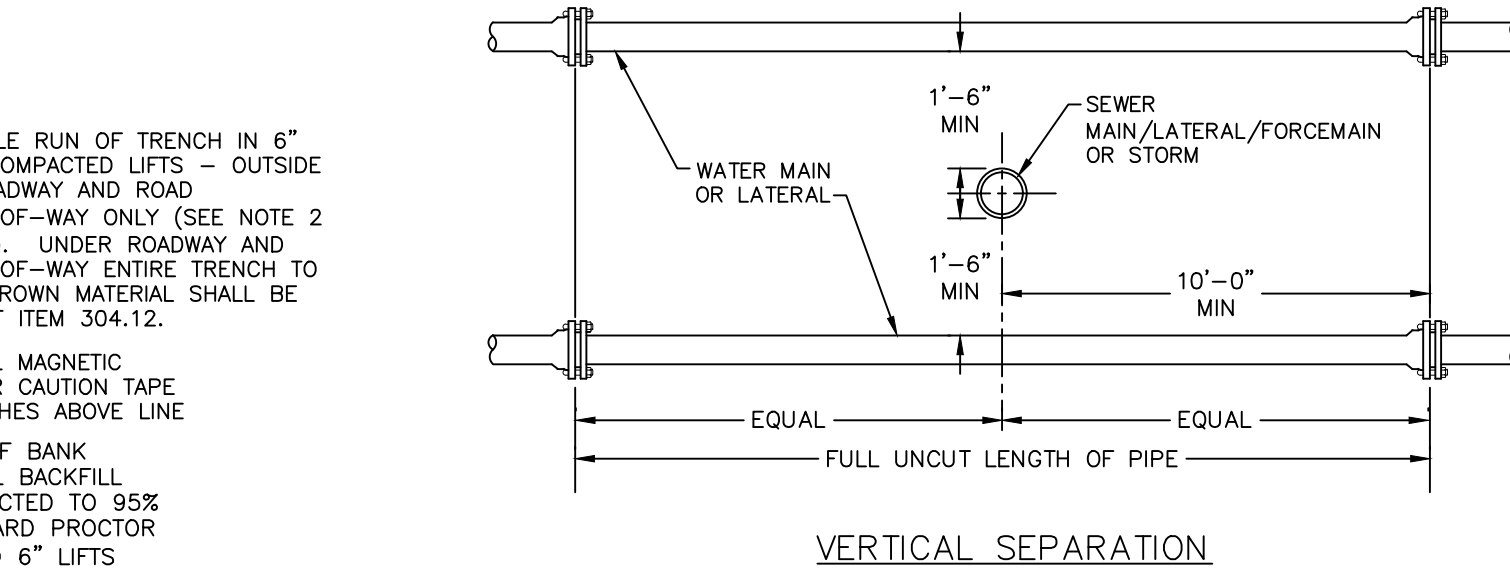
PAVEMENT RESTORATION DETAIL
NOT TO SCALE



NOTES:

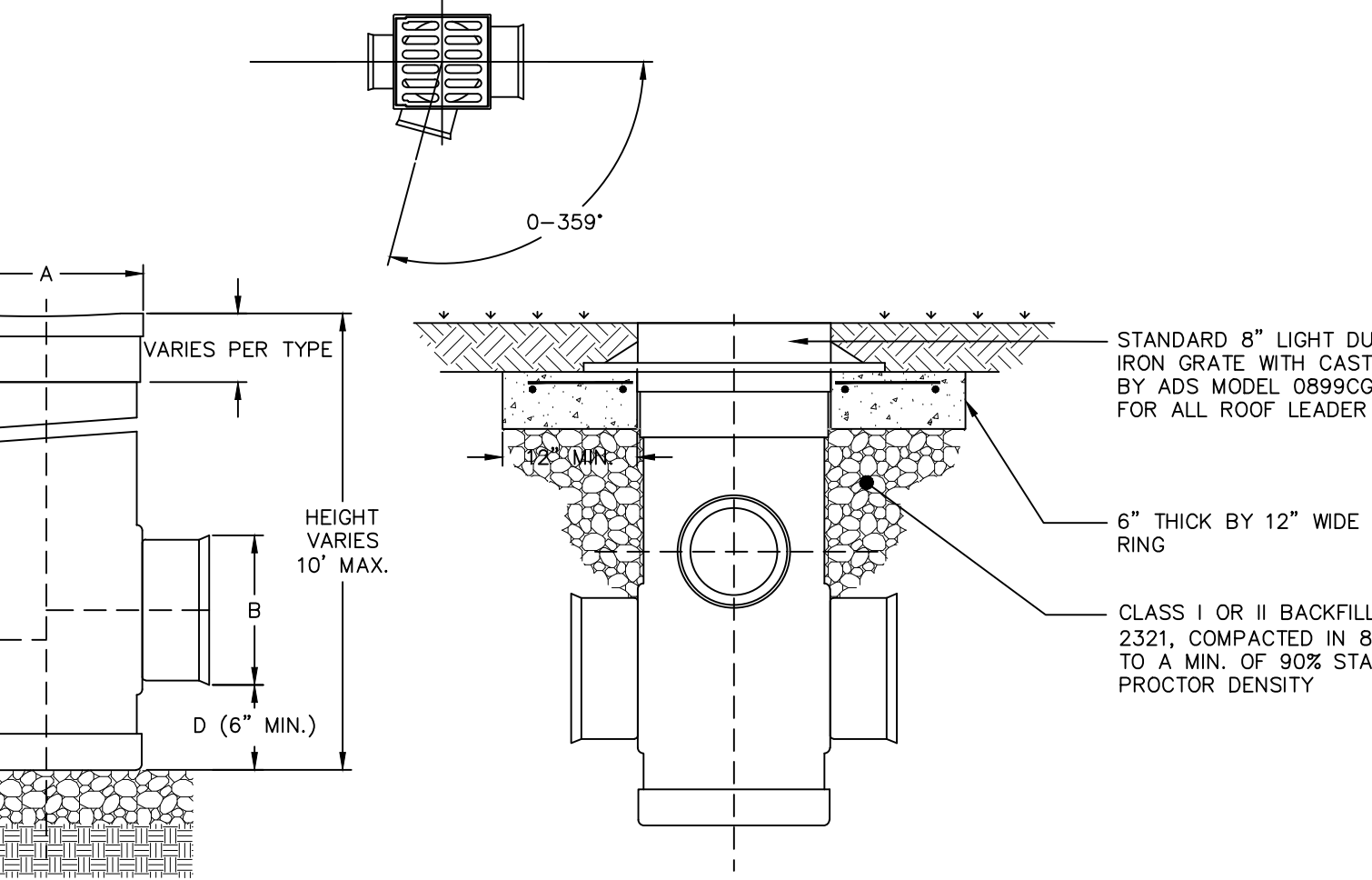
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
NOT TO SCALE



NOTE:
NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASUREMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

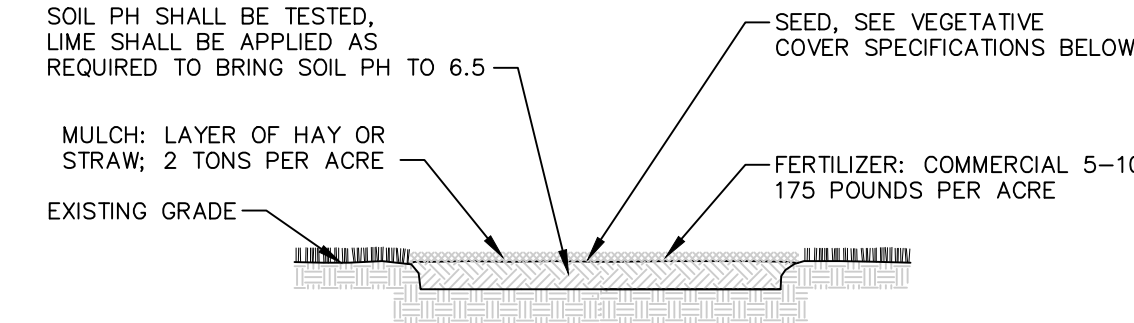
WATER LINE SEPARATION DETAIL
NOT TO SCALE



NOTES:

- IN-LINE DRAINS TO BE USED TO CONVEY ROOF DRAINAGE TO THE OUTFALLS, AS SHOWN ON THE UTILITY PLAN.

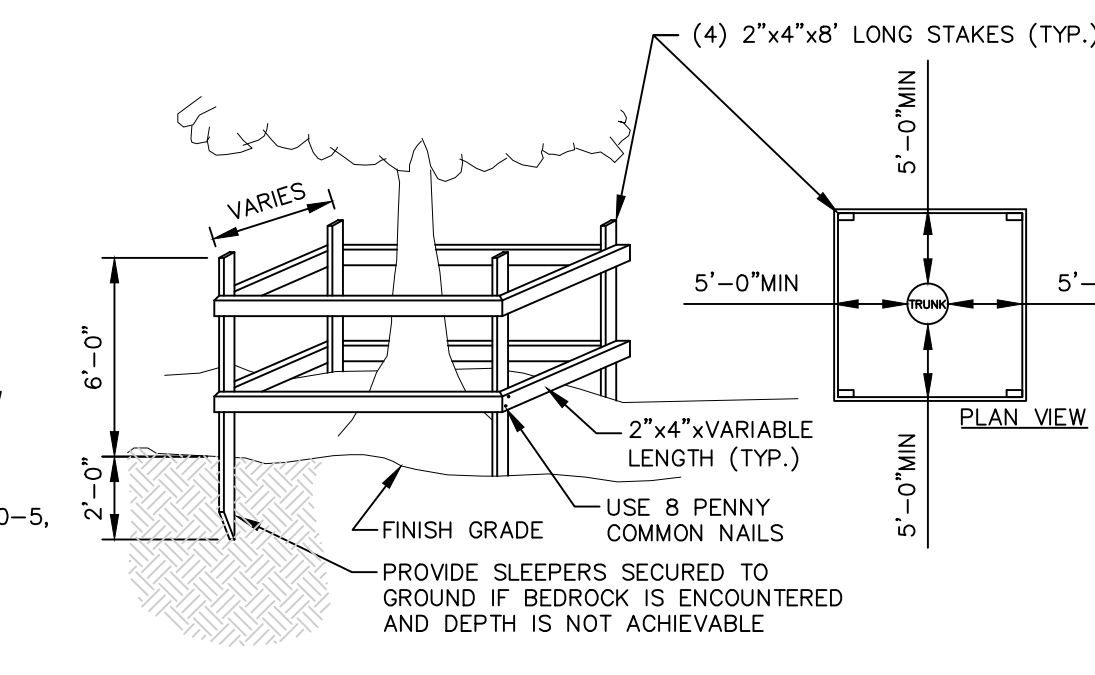
ROOF LEADER DRAIN BASIN DETAIL
NOT TO SCALE



NOTES:

- TOPSOIL, SEED, MULCH, AND FERTILIZE DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.
- SEED MIXTURE FOR USE ON LAWNS IN SUNNY AREAS:
65% KENTUCKY BLUE GRASS BLEND
20% PERENNIAL RYEGRASS
15% FINE FESCUE
114 POUNDS PER ACRE
35 POUNDS PER ACRE
26 POUNDS PER ACRE
175 POUNDS PER ACRE
- SEED MIXTURE FOR USE IN SHADY AREAS:
80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS
20% FINE FESCUE
138 POUNDS PER ACRE
37 POUNDS PER ACRE
175 POUNDS PER ACRE
- SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.
- TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20% TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

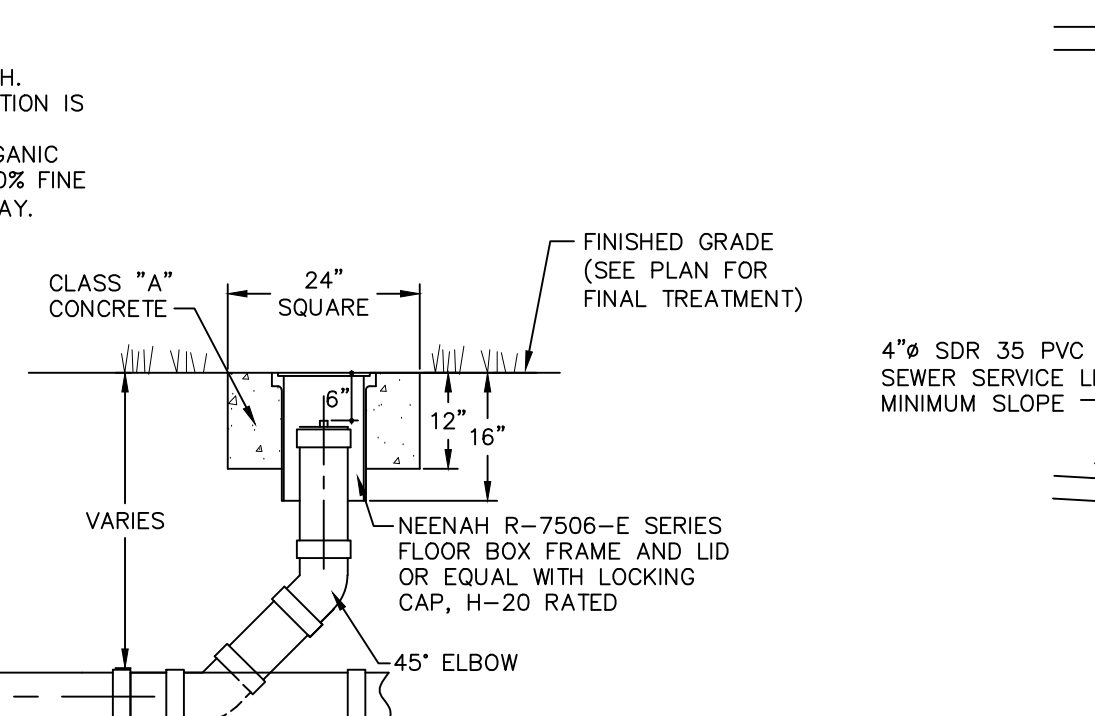
TOPSOIL, SEED AND MULCH DETAIL
NOT TO SCALE



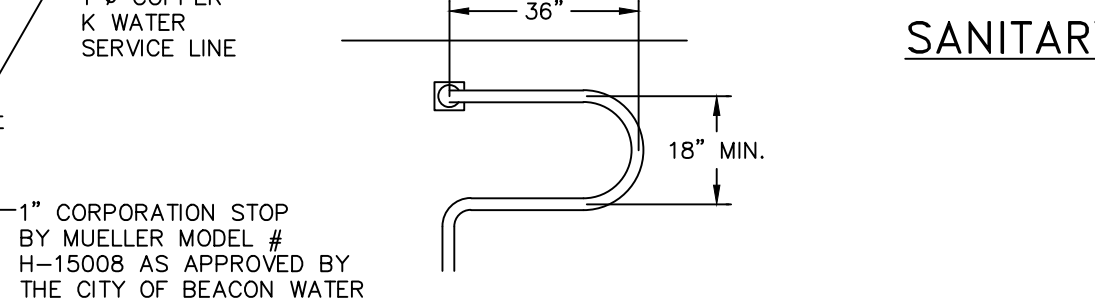
NOTES:

- TREES TO REMAIN NOTED ON EXISTING CONDITIONS PLAN.
- NOT ALL TREES TO REMAIN REQUIRE PROTECTION. TREE PROTECTION TO BE UTILIZED ON TREES WHERE CONSTRUCTION TRAFFIC WOULD COMPACT THE ROOT ZONE OF THE TREE.

TEMPORARY TREE PROTECTION DETAIL
NOT TO SCALE



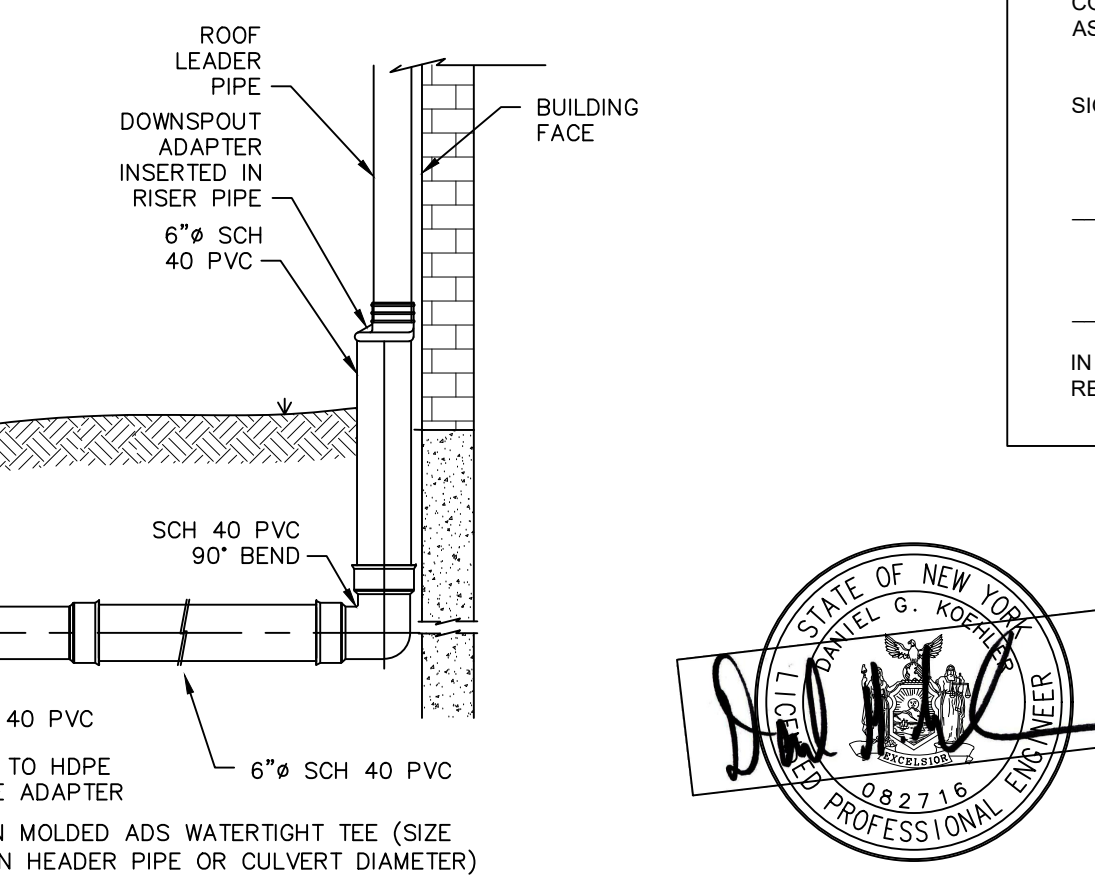
CLEANOUT DETAIL
NOT TO SCALE



NOTES:

- A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).
- CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.
- WATER SERVICE LINE TO HAVE A 'GOOSENECK' NEAR CORPORATION STOP.
- CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.

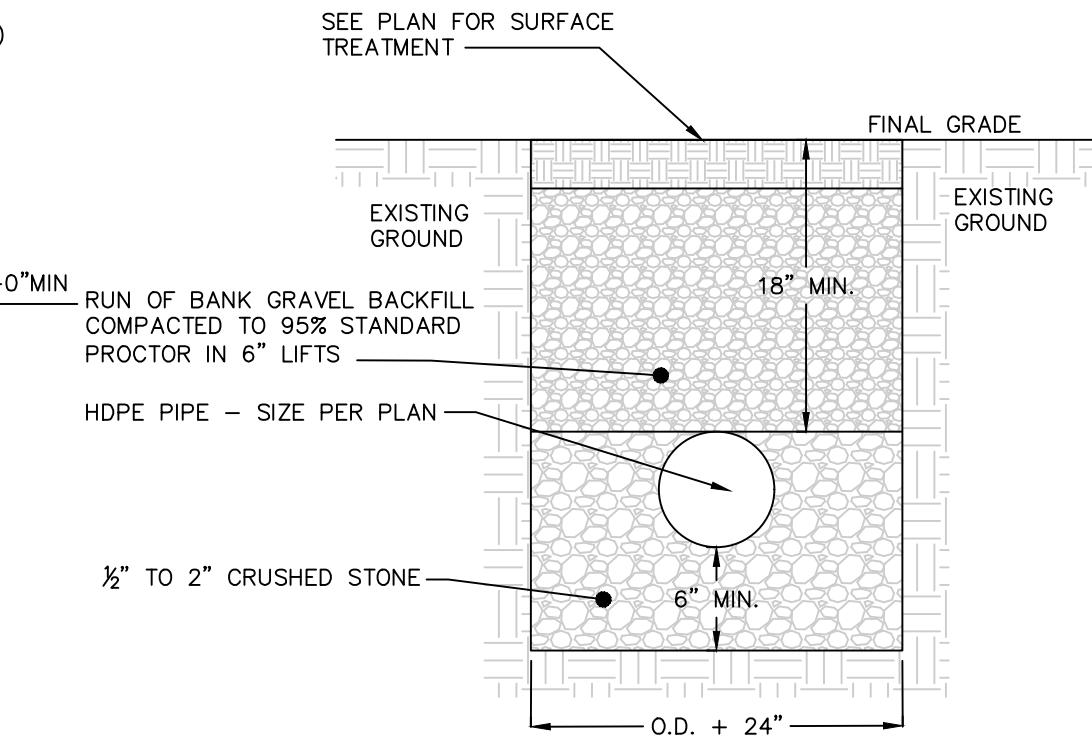
WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



NOTES:

- ROOF LEADER LOCATIONS AND SIZES TO BE DETERMINED BY THE PROJECT ARCHITECT. DOWNSPOUT ADAPTER TO MATCH DOWNSPOUT SIZE.
- PVC JOINT CONNECTIONS SHALL BE MADE WITH PVC CEMENT.
- ROOF DRAINAGE HEADER PIPES SHALL BE AS NOTED ON THE UTILITY SHEET.
- SUBSTITUTIONS OF PIPE MATERIAL SHALL BE BROUGHT TO THE DESIGN ENGINEER'S ATTENTION FOR REVIEW.

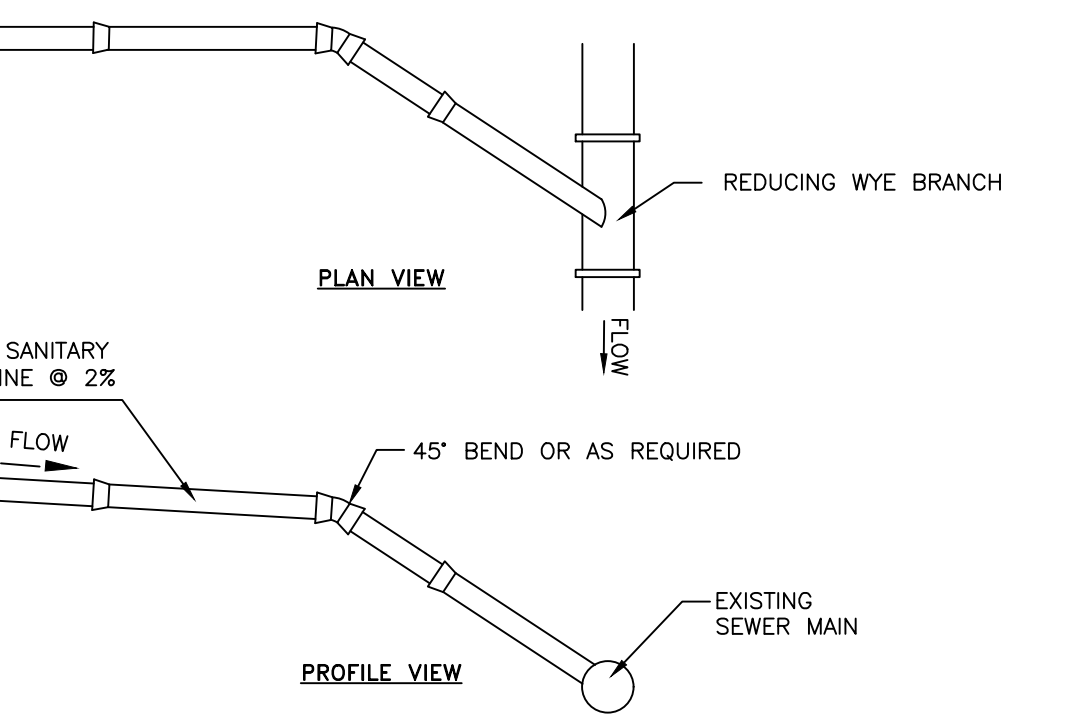
ROOF LEADER CONNECTION DETAIL
NOT TO SCALE



NOTES:

- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

STORMWATER PIPE IN TRENCH DETAIL
NOT TO SCALE



NOTES:

- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
- SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

NORM SCHOFIELD _____ DATE _____

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION; ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____ CHAIRMAN _____ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	3/27/2018	PER PLANNING BOARD COMMENTS	DGK



Special Use Permit Application

Sheet 5 of 5 - Construction Details

Owner:
North Avenue Properties, LLC
1181 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
John J. Post, Jr.
PO Box 827
Stone Ridge, New York 12484

Landscape Designer:
Landscape Restorations
P.O. Box 286
Beacon, New York 12508

Office Building - 1181 North Avenue
Beacon, New York
Scale: As Noted
February 27, 2018

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: April 5, 2018

Re: **1181 North Avenue Subdivision and Special Permit**

I have reviewed the March 27, 2018 Full EAF Part 1, March 27, 2018 response letters from Aryeh Siegel and Hudson Land Design, December 11, 1984 NYS DOT easement deed, March 27, 2018 Preliminary Subdivision Plat, and a 5-sheet Special Permit Application, dated March 27, 2018.

Proposal

The applicant is proposing to subdivide a 0.74-acre parcel with one existing office building into two lots for the construction of a new office building. The parcel is in the R1-7.5 district and the Historic District and Landmark Overlay Zone, which allows office uses by Special Permit from the City Council.

Comments and Recommendations

1. For the Full EAF, Question B should be changed to indicate that the City Council will need to approve the Special Permit application. Question C.2.a should be answered yes, but the second box can be marked no. The applicant should follow-up with the State Historic Preservation Office regarding potential impacts on historic or archeological resources.
2. The Subdivision Plat should identify major trees over 8 inches diameter and include species.
3. The proposed building is located on a front section of Lot 2 that does not meet the minimum 75-foot lot width standard in Section 223-12 H. The Board may modify the lot requirements in accordance with Section 223-12 J, but that section appears to be intended for residential subdivisions and to protect the natural and scenic qualities of open lands. The applicant could also apply for an area variance, or the new building could be placed in the wider rear portion of the proposed lot, perhaps designed similar to a carriage house behind the historic building.
4. The parcel size numbers in the Schedule of Regulations Table and Sheet 1 Site Plan do not match the Existing Conditions Survey on Sheet 2. The property survey should be stamped and signed before approvals.
5. Since this parcel is in the Historic District and Landmark Overlay Zone and within the Local Waterfront Revitalization Program (LWRP) boundary, the Board will have to adopt a Certificate of Appropriateness consistent with Chapter 134, Historic Preservation, and a LWRP consistency statement. The applicant should prepare a LWRP justification. Once the initial plan issues have been addressed, the design should also be referred to the Architectural Review Subcommittee.
6. The Board may want to request two ADA spaces for the two buildings, given the overflow street parking on Tompkins Avenue.

7. The Board could consider a new sidewalk along the Tompkins Avenue side of Lot 1.
8. The new plantings along Tompkins Avenue in the Landscape Plan feature five small trees that only grow to 15-30 feet high. Since there are no overhead wires on this side of the street, I suggest 3-4 taller and regularly spaced street trees that will in time provide a canopy framing the street. The new trees flanking the parking lot should be at least 3-inch diameter, according to Section 223-26.
9. The plan should include sign details, noting if the existing sign is to be removed. Given the proposed lighting fixtures, the existing floodlights on the building and garage should be removed.
10. Professional offices with up to 10 employees are allowed in the Historic District and Landmark Overlay Zone by Special Permit from the City Council, although the standards seem targeted toward conversions of existing historic structures rather than separate new construction. Once the Board is in generally satisfied with the Site Plan, it should issue recommendations to the Council on the Special Permit.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Aryeh Siegel, Project Architect

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

April 5, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: Schofield – 1181 North Ave.
City of Beacon
Tax Map No. 5955-19-716048

Dear Mr. Gunn:

The owner of 1181 North Avenue is proposing to subdivide an existing 0.74± acre parcel into 2 lots. Our office has reviewed the application, Full EAF, and the following plans entitled "Office Building – 1181 North Avenue" submitted for the project as prepared by Aryeh Siegel, Architect; Hudson Land Design; and John Post, Jr., Land Surveyor:

- Sheet 1 of 1, entitled "Preliminary Subdivision Plat", with the latest revision date of March 27, 2018.
- Sheet 1 of 5, entitled "Site Plan", with the latest revision date of March 27, 2018.
- Sheet 2 of 5, entitled "Existing Conditions Survey Plan/Planting Schedule" with the latest revision date of March 27, 2018.
- Sheet 3 of 5, entitled "Renderings", with the latest revision date of March 27, 2018.
- Sheet 4 of 5, entitled "Grading & Utility Plan", with the latest revision date of March 27, 2018.
- Sheet 5 of 5, entitled "Construction Details", with the latest revision date of March 27, 2018.

Based upon our review of the above referenced submittals, we offer the following comments:

General Comments:

1. The Inflow & Infiltration Investigation presumes that the roof leaders drain to the existing catch basins in the parking lot, along with the existing sump pump in the building. We would recommend that the roof leaders and sump pump be dye tested to verify that they do drain to the existing catch basins in the parking lot. *The applicant has noted that these lines will be dye tested.*
2. The front yard setback for the building proposed on Lot 2 is proposed at 10.2 feet, whereas the code requires 30 feet minimum. The applicant is requesting relief from the Planning Board in accordance with Section 223-13, Paragraph "K" of the City Code, which allows for an "Exception for existing alignment of buildings."

3. Easements for shared access and parking and the proposed water service that crosses Lot 1 to serve Lot 2 shall be developed and shown on the plans. The applicant should also consider an access easement for the existing garage that will eventually be located on Lot 2. All existing and proposed easements shall be shown on the plans.
4. A maintenance agreement for the shared access and parking should be prepared and submitted to the Planning Board Attorney for review.
5. A maintenance agreement for the drainage basins and associated piping running along the proposed common property line between the two lots should be prepared and submitted to the Planning Board Attorney for review.
6. The EAF notes that sewer and water usage will be 260 gallons per day. We would ask that calculations be provided to show how this value was derived.

Subdivision Plat:

1. All proposed easements along with their respective metes & bounds shall be provided on the plat, and the plat shall be signed and sealed by a licensed land surveyor in the State of New York.

Site Plan (Sheet 1 of 5):

1. Plan shall include the sight distance information provided on Sheet 4.

Grading & Utility Plan (Sheet 4 of 5):

1. Based upon the sewer service profile provide, there will be approximately 12” of cover over the lateral at the curb line. We would recommend that the lateral depth be adjusted so that additional coverage is provided over the lateral. This could be accomplished by relocating the bend on the service back to the point where the service will cross the drainage line, which would allow for greater coverage of the service line in the road, and also reduce the chances of the lateral running in conflict with the curb itself.
2. A cleanout should be located on the sanitary sewer service line for Lot 1. The plan should be revised to show the cleanout location.
3. As drainage basins 3 and 4, and the associated piping for these structures are being run along the proposed common property line between both lots, an easement and maintenance agreement between the lots should be provide for these structures and piping.

Construction Details (Sheet 5 of 5):

1. The "Pavement Restoration Detail" for Tompkins Avenue should be revised to show a binder course of at least 3 ½" thickness. A note should also be added that the thickness of the asphalt shall be increased if it is found that the existing overall thickness of the asphalt section in the road is thicker than the proposed restoration detail.
2. Construction details for the proposed sidewalks shall be included on the plan. *The applicant has noted that this detail will be provided on a later submission, and that they are currently proposed asphalt walks.*

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector

City of Beacon Planning Board
4/10/2018

Title:

St. Lukes - Wolcott Avenue

Subject:

Review applications for Subdivision Approval, Site Plan Approval, and Special Use Permit Approval, private school (Hudson Hills Academy), 850 Wolcott Avenue, submitted by St. Luke's Episcopal Church

Background:

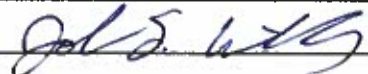
ATTACHMENTS:

Description	Type
St. Lukes Subdivision Application	Application
St. Lukes Special Use Permit Application	Application
St. Lukes Site Plan Application	Application
St. Lukes Subdivision EAF	EAF
St. Lukes Site Plan & SUP EAF	EAF
St. Lukes Subdivision	Plans
St. Lukes Site Plan	Plans
St. Lukes Existing Conditions	Plans
St. Lukes Lighting & Landscaping	Plans
St. Lukes Exterior Elevations	Plans
Planner Review Letter	Consultant Comment
Engineer Review Letter	Consultant Comment

APPLICATION FOR SUBDIVISION APPROVAL

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

IDENTIFICATION OF APPLICANT

Name: St. Luke's Episcopal Church
Address: 850 Wolcott Avenue
Beacon, NY 12508
Signature: 
Date: March 28, 2018
Phone: 801-793-7376

(For Official Use Only)

Preliminary Application Rec'd 3-27-18
Application Fee: _____
Public Hearing _____
Preliminary Plat Approved: _____
Final Plat Approved: _____
Recreation Fee: _____
Performance Bond: _____

Date Initials

IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL

Name: Aryeh Siegel Architect
Address: 84 Mason Circle
Beacon, NY 12508

Phone: (845) 838-2490
Fax: (845) 838-2657
Email address: ajs@ajsarch.com

IDENTIFICATION OF SUBJECT PROPERTY:

Subdivision name or identifying title:
St. Luke's Episcopal Church Subdivision
Street which property abuts: Wolcott Avenue (Route 9D) & Rector Street
Current Tax Map Designation: Section 6054 Block 45 Lot(s) 120587
Property (does) ~~(does not)~~ connect directly into a (State) ~~(County)~~ highway.
Land in subdivision (is) (is not) within 500 feet of a Municipal boundary.
Total area of property is 9.08 acres

ITEMS TO ACCOMPANY THIS APPLICATION

- a. Eight (8) **folded** copies of a subdivision plat showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- c. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: St. Lukes Episcopal Church

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 850 Wolcott Avenue, Beacon, NY 12508

Project Address: 850 Wolcott Avenue, Beacon, NY 12508

Project Tax Grid # 6054-45-120597

Type of Application Subdivision / Site Plan

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, The Reverend John Williams, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current



Signature of Owner

Rectar

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

NO YES Initial

✓ — JW

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

N/A ✓ —

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

— ✓ —

FOR OFFICE USE ONLY

Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

ENTITY DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.**IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:**

Name of Entity	Address of Entity
Place where such business entity was created	Official Registrar's or Clerk's office where the documents and papers creating entity were filed
Date such business entity or partnership was created	Telephone Contact Information

IF AFFIANT IS A CORPORATION:

Name of Entity <i>St. Luke's Episcopal Church</i>	Telephone Contact Information <i>845-831-2643 office</i> <i>801-793-7376 cell</i>
Principal Place of Business of Entity <i>850 Wolcott Ave</i> <i>Beacon NY 12508</i>	Place and date of incorporation <i>Dutchess County Court</i> <i>July 4th, 1833</i>
Method of Incorporation	Official place where the documents and papers of incorporation were filed <i>Dutchess County Court</i>

SECTION B. List all persons, officers, limited or general partners, directors, members, shareholders, managers, and any others with any interest in or with the above referenced Entity. List all persons to whom corporate stock has been pledged, mortgaged or encumbered and with whom any agreement has been made to pledge, mortgage or encumber said stock. Use a supplemental sheet to list additional persons.

Name	Resident Address	Resident Telephone Number	Nature and Extent of Interest
The Episcopal Diocese of New York	1047 Amsterdam Ave New York, NY 10025	212-316-7400	Owner of St. Luke's Church

SECTION C. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
St. Luke's Episcopal Church	850 Wolcott Ave Beacon NY 12508	845-831-2643		

SECTION D. Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

YES

NO

Name	Employer	Position

SECTION E. Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

YES NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION F. Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

YES NO

Current Name	Other Names

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address

SECTION H. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION I. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

YES NO

I, The Rev. John F. Williams being first duly sworn, according to law, deposes and says that I am (Title) Rector, an active and qualified member of the St. Luke's, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) The Rev John F. Williams

(Signature) 

**CITY OF BEACON
PRELIMINARY SUBDIVISION PLAT
AND CONSTRUCTION PLANS SPECIFICATION FORM**

Name of Application: St. Lukes Episcopal Church Subdivision

PRELIMINARY SUBDIVISION PLAT	YES	NO
The preliminary plat shall be clearly marked "Preliminary Plat", shall be drawn to a convenient scale but not less than 1" = 100', and shall contain the following information:	✓	
Proposed subdivision name or identifying title, name, and address of property owner and subdivider (if other than owner), name and address of the surveyor and/or engineer preparing the plan, scale, approximate true North point, and date.	✓	
The approximate location and dimensions of all property lines, the total acreage of the proposed subdivision, the location of any zoning, special district or municipal boundary lines affecting the subdivision, and the names of owners of record of properties adjoining and directly across the street from proposed subdivision.	✓	
The location of all existing structures and pertinent features, including railroads, water bodies, water courses, wetlands, rock outcroppings, wooded areas, major trees, and stone walls, that may influence the design of the subdivision, plus accurate topography at a vertical contour interval of not more than two (2) feet. The topographic data shall be determined by field survey unless the Planning Board specifically waives this requirement and/or permits the substitution of topographic information obtained from other sources determined satisfactory for the particular case.	✓	
The location and status of existing streets or private roads, easements and rights-of-way (if any), proposals for the layout of new streets or private roads (including widths and approximate curve radii) and any proposed easements, rights-of-way and/or reservations.	✓	
The names of existing streets or private roads and proposed names for new streets or private roads.	✓	
The proposed arrangement of lots, including identifying numbers and approximate area and dimensions of each.	✓	
Location, size and nature of any area proposed to be reserved for park purposes.	✓	
A site location sketch, at a scale of one inch equals 400 feet, showing the general situation within 1,000 feet of the applicant's property with respect to surrounding properties, streets and private roads.	✓	
Where the preliminary plat includes only a portion of an applicant's contiguous holding, the applicant shall also indicate, on a sketch at a scale of not less than one inch equals 200 feet, the probable future street or private road system, lot arrangement and location of park and other reservations for the remaining portion of the tract. Such sketch shall be for the purpose of guiding the Planning Board in reviewing the proposed preliminary plat and shall include topographic data with a vertical contour interval of not more than five feet plus any other information determined necessary by the Planning Board.	✓	
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.	✓	

PRELIMINARY CONSTRUCTION PLANS	YES	NO
The preliminary construction plans shall be drawn at the same scale as the preliminary plat and shall include the following information:	✓	
Location and sizes of any existing water, sewer storm drainage and other utility lines and structures within and nearby the proposed subdivision.	✓	
The proposed system for the provision of water supply and fire protection facilities, sewage disposal, stormwater drainage, and other utility services.	✓	
Proposed street or private road profiles and cross-sections showing the approximate grade of proposed streets or private roads, the relationship of existing to proposed grades, and the proposed grades, and the proposed vertical curvature along the center line of all new streets or private roads.	✓	
Location of all existing and proposed monuments and other subdivision improvements.	✓	
Such additional information as may be required by this chapter, the Zoning chapter, or the Planning Board.	✓	

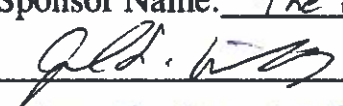
FINAL SUBDIVISION PLAT (continued)	YES	NO
<p>Form for endorsement by Planning Board Chairman as follows:</p> <p>“Approved by Resolution of the Planning Board of the City of Beacon, New York, on the _____ day of _____, 20_____, subject to All requirements and conditions of said Resolution. Any change, erasure, modification or revision of this plat, as approved, shall void this approval.</p> <p>Signed this _____ day of _____, 20_____, by _____, Chairman _____, Secretary</p> <p>In absence of the Chairman or Secretary, the Acting Chairman or Acting Secretary Respectively may sign in this place.</p>	✓	
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.	✓	
Stormwater pollution prevention plan. A stormwater pollution prevention plan consistent with the requirements of Chapter 190 and with the terms of preliminary plan approval shall be required for final subdivision plat approval. The SWPPP shall meet the performance and design criteria and standards in Chapter 190, Article II. The approved final subdivision plat shall be consistent with the provisions of Chapter 190.	✓	

FINAL CONSTRUCTION PLANS	YES	NO
Final construction plans and profiles shall be prepared for all proposed streets, private roads and other required improvements. Plans shall be drawn at the same scale as the final plat and on the same size sheets, but not on the same sheets. The following information shall be shown:	-	
Plans and profiles showing the location and a typical cross-section of street and/or private road pavements including curbs and gutters, sidewalks, manholes and catch basins; the location of street or private road trees, lighting and signs; the location, size and invert elevations of existing and proposed sanitary sewers, stormwater drains and fire hydrants; the location and size of all water, gas or other underground utilities or structures; and the location and design of any other required improvements.	✓	
Profiles showing existing and proposed elevations along the center line of all streets and private roads. Where a proposed street or private road intersects an existing street or private road, the elevation along the center line of the existing street or private road within 100 feet of intersection, shall be shown. All elevations must be referred to established U.S. Government of approved local benchmarks, where they exist within ½ mile of the boundary of the subdivision.	✓	
The Planning Board may require, where steep slopes exist, cross-sections showing existing and proposed elevations of all new streets and private roads every 100 feet at five points on a line at right angles to the center line of the street or private road, said elevation points to be at the center line of the street or private road, each property line, and points 30 feet inside each property line.	✓	
Location, size, elevation and other appropriate description of any existing facilities which will be connected to proposed facilities and utilities within the subdivision.	✓	

FINAL CONSTRUCTION PLANS (continued)			
Where the design of the subdivision requires the regrading of land, the regrading of land, the regraded contours shall be shown along with estimates of the quantity of material to be added or removed and the proposed measures to be implemented by the subdivider to rehabilitate the disturbed area or areas.		✓	
Title of all sheets, name, address, signature and seal of licensed engineer preparing the construction plans, the date prepared, including revisions dates if any, approximate true North point, scale, and consecutive numbering as sheet _____ of _____.		✓	
A notation of approval, on all sheets as follows <p>“Approved by:</p> <p>_____ Date _____</p> <p>Owner Date</p> <p>and</p> <p>_____ Date _____</p> <p>Planning Board Chairman Date”</p>		✓	
Such additional information as may be required by Chapter 195 – Subdivision of Land; Chapter 223 – Zoning; or the Planning Board.		✓	

For all items marked “NO” above, please explain below why the required information has not been provided:

Applicant/Sponsor Name: The Rev. John F. Williams

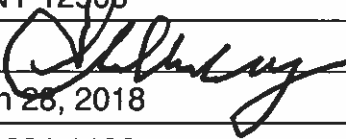
Signature: 

Date: March 21 2018

APPLICATION FOR SPECIAL USE PERMIT

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

IDENTIFICATION OF APPLICANT

Name: Hudson Hills Academy
Address: 12 Hanna Lane
Beacon, NY 12508
Signature: 
Date: March 28, 2018
Phone: 845.831.1100

(For Official Use Only)

Application & Fee Rec'd 3-27-18
Initial Review _____
PB Public Hearing _____
Sent to City Council _____
City Council Workshop _____
City Council Public Hearing _____
City Council Approve/Disapprove _____

IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL

Name: Aryeh Siegel Architect
Address: 84 Mason Circle
Beacon, NY 12508

Phone: 845-838-2490
Fax: 845-838-2657
Email address: ajs@ajsarch.com

IDENTIFICATION OF SUBJECT PROPERTY:

Property Address: 850 Wolcott Avenue (subject to subdivision and new address)
Tax Map Designation: Section 6054 Block 45 Lot(s) 120587
Land Area: 1.26 acres (subdivided parcel) Zoning District(s) R1-7.5

DESCRIPTION OF PROPOSED DEVELOPMENT:

Proposed Use: Private School
Gross Non-Residential Floor Space: Existing 10,870 Proposed 0
TOTAL: 10,870
Dwelling Units (by type): Existing 0 Proposed 0
TOTAL: 0

ITEMS TO ACCOMPANY THIS APPLICATION

- a. Five (5) **folded** copies and One (1) digital copy of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. Five (5) **folded** copies and One (1) digital copy of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. Five (5) **folded** copies and One (1) digital copy of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: St. Lukes Episcopal Church

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 850 Wolcott Avenue, Beacon, NY 12508

Project Address: 850 Wolcott Avenue, Beacon, NY 12508

Project Tax Grid # 6054-45-120597

Type of Application Subdivision / Site Plan

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, The Reverend John Williams, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current


Signature of Owner

Rector
Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>JW</u>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	<u>N/A</u>	<input type="checkbox"/>	___
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	___

FOR OFFICE USE ONLY

Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 · <http://cityofbeacon.org/>

ENTITY DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.

IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:

Name of Entity	Address of Entity
Place where such business entity was created	Official Registrar's or Clerk's office where the documents and papers creating entity were filed
Date such business entity or partnership was created	Telephone Contact Information

IF AFFIANT IS A CORPORATION:

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and date of incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed

SECTION B. List all persons, officers, limited or general partners, directors, members, shareholders, managers, and any others with any interest in or with the above referenced Entity. List all persons to whom corporate stock has been pledged, mortgaged or encumbered and with whom any agreement has been made to pledge, mortgage or encumber said stock. Use a supplemental sheet to list additional persons.

Name	Resident Address	Resident Telephone Number	Nature and Extent of Interest
Asma Siddiqui	413 Vassar Place Fishkill NY 12524	845 238 8464	

SECTION C. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.

SECTION D. Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

YES

NO

Name	Employer	Position

SECTION E. Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

YES NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION F. Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

YES NO

Current Name	Other Names

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address

SECTION H. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION I. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

YES

NO

I, Asma Siddiqui being first duly sworn, according to law, deposes and says that I am (Title) DIRECTOR an active and qualified member of the _____, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) Asma Siddiqui

(Signature) 

**CITY OF BEACON
SITE PLAN SPECIFICATION FORM**

Name of Application: Hudson Hills Academy

PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.

	YES	NO
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
LEGAL DATA		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.		
NATURAL FEATURES		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
EXISTING STRUCTURES, UTILITIES, ETC.		
Outlines of all structures and the location of all uses not requiring structures. Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PROPOSED DEVELOPMENT	YES	NO
The location, use and design of proposed buildings or structural improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed division of buildings into units of separate occupancy.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The location, direction, power, and time of use for any proposed outdoor lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and plans for any outdoor signs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any contemplated public improvements on or adjoining the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevations of all proposed principal or accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed fences or retaining walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MISCELLANEOUS		
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erosion and sedimentation control measures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An indication of proposed hours of operation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

For all items marked "NO" above, please explain below why the required information has not been provided:

ITEMS MARKED NO ARE NOT APPLICABLE.

Applicant/Sponsor Name: Hudson Hills Academy

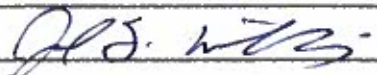
Signature: *Alhddign*

Date: 3/22/18

APPLICATION FOR SITE PLAN APPROVAL

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

IDENTIFICATION OF APPLICANT

Name: St. Luke's Episcopal Church
Address: 850 Wolcott Avenue
Beacon, NY 12508
Signature: 
Date: March 28, 2018
Phone: 801-793-7376

(For Official Use Only)
Application & Fee Rec'd
Initial Review
Public Hearing
Conditional Approval
Final Approval

Date 3-27-18
Initials _____

IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL

Name: Aryeh Siegel Architect
Address: 84 Mason Circle
Beacon NY 12508

Phone: 845-838-2490
Fax: 845-838-2657
Email address: ajs@ajsarch.com

IDENTIFICATION OF SUBJECT PROPERTY:

Property Address: 850 Wolcott Avenue
Tax Map Designation: Section 6054
Land Area: 9.08 acres

Block 45 Lot(s) 120587
Zoning District(s) R1-7.5

DESCRIPTION OF PROPOSED DEVELOPMENT:

Proposed Use: Existing Church (no change in use, this Site Plan Application is part of a subdivision)

Gross Non-Residential Floor Space: Existing 5,851 Proposed 0
TOTAL: 5,851

Dwelling Units (by type): Existing 0 Proposed 0
TOTAL: 0

ITEMS TO ACCOMPANY THIS APPLICATION

- a. One electronic and five (5) **folded** paper copies of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. One electronic and five (5) **folded** paper copies of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. One electronic and five (5) **folded** paper copies of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board
on the _____ day of _____, 20_____
subject to all conditions as stated therein**

Chairman, City Planning Board

Date

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: St. Lukes Episcopal Church

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 850 Wolcott Avenue, Beacon, NY 12508

Project Address: 850 Wolcott Avenue, Beacon, NY 12508

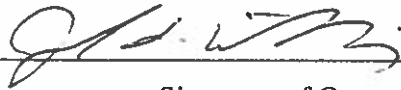
Project Tax Grid # 6054-45-120597

Type of Application Subdivision / Site Plan

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, The Reverend John Williams, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current



Signature of Owner

Rector

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

NO

YES

Initial

JW

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

N/A

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

FOR OFFICE USE ONLY

Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

ENTITY DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.**IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:**

Name of Entity	Address of Entity
Place where such business entity was created	Official Registrar's or Clerk's office where the documents and papers creating entity were filed
Date such business entity or partnership was created	Telephone Contact Information

IF AFFIANT IS A CORPORATION:

Name of Entity <i>St. Luke's Episcopal Church</i>	Telephone Contact Information <i>845-831-2643 office</i> <i>801-793-7376 cell</i>
Principal Place of Business of Entity <i>850 Wolcott Ave</i> <i>Beacon NY 12508</i>	Place and date of incorporation <i>Dutchess County Court</i> <i>July 4th, 1833</i>
Method of Incorporation	Official place where the documents and papers of incorporation were filed <i>Dutchess County Court</i>

SECTION B. List all persons, officers, limited or general partners, directors, members, shareholders, managers, and any others with any interest in or with the above referenced Entity. List all persons to whom corporate stock has been pledged, mortgaged or encumbered and with whom any agreement has been made to pledge, mortgage or encumber said stock. Use a supplemental sheet to list additional persons.

Name	Resident Address	Resident Telephone Number	Nature and Extent of Interest
The Episcopal Diocese of New York	1047 Amsterdam Ave New York, NY 10025	212-316-7400	Owner of St. Luke's Church

SECTION C. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
St. Luke's Episcopal Church	850 Walcott Ave Beacon NY 12508	845-831-2643		

SECTION D. Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

YES

NO

Name	Employer	Position

SECTION E. Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

YES NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION F. Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

YES NO

Current Name	Other Names

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address

SECTION H. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION I. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

YES

NO

The Rev.

I, John F. Williams being first duly sworn, according to law, deposes and says that I am (Title) Rector, an active and qualified member of the St. Luke's, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) The Rev. John F. Williams

(Signature) 

**CITY OF BEACON
SITE PLAN SPECIFICATION FORM**

Name of Application: St. Lukes Episcopal Church

PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.

	YES	NO
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
LEGAL DATA		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.		
NATURAL FEATURES		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
EXISTING STRUCTURES, UTILITIES, ETC.		
Outlines of all structures and the location of all uses not requiring structures. Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PROPOSED DEVELOPMENT	YES	NO
The location, use and design of proposed buildings or structural improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed division of buildings into units of separate occupancy.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, direction, power, and time of use for any proposed outdoor lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and plans for any outdoor signs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any contemplated public improvements on or adjoining the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevations of all proposed principal or accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed fences or retaining walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MISCELLANEOUS		
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erosion and sedimentation control measures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An indication of proposed hours of operation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

For all items marked "NO" above, please explain below why the required information has not been provided:

ITEMS MARKED NO ARE NOT APPLICABLE

Applicant/Sponsor Name: St. Lukes Episcopal Church

Signature: 

Date: March 21 2018

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: St. Lukes Episcopal Church Subdivision		
Project Location (describe, and attach a general location map): 850 Wolcott Avenue (Route 9D), at Rector Street		
Brief Description of Proposed Action (include purpose or need): Subdivision of property to allow existing Church school building to be used by a private school.		
Name of Applicant/Sponsor: St. Lukes Episcopal Church		Telephone: 801-793-7376
		E-Mail: beaconrev@gmail.com
Address: 850 Wolcott Avenue		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Same as Sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Same as Sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City Council - Special Use Permit	May 2018 (projected)
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board - Site Plan & Subdivision Applications	March 2018 (actual)
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
R1-7.5, Historic Overlay District

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?
City of Beacon Police Department

c. Which fire protection and emergency medical services serve the project site?
City of Beacon Fire Department, EMS

d. What parks serve the project site?
Memorial park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Religious, Private School

b. a. Total acreage of the site of the proposed action? 9.88 acres
 b. Total acreage to be physically disturbed? 0 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 9.88 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Private School proposed, Church to remain
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? 2
 iv. Minimum and maximum proposed lot sizes? Minimum 55,000 sf Maximum 375,206 sf

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____

• proposed method of plant removal: _____

• if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

• Name of district or service area: _____

• Does the existing public water supply have capacity to serve the proposal? Yes No

• Is the project site in the existing district? Yes No

• Is expansion of the district needed? Yes No

• Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

• Describe extensions or capacity expansions proposed to serve this project: _____

• Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

• Applicant/sponsor for new district: _____

• Date application submitted or anticipated: _____

• Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 200 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

• Name of wastewater treatment plant to be used: City of Beacon

• Name of district: City of Beacon

• Does the existing wastewater treatment plant have capacity to serve the project? Yes No

• Is the project site in the existing district? Yes No

• Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

• If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 8am - 4pm • Saturday: _____ N/A • Sunday: _____ N/A • Holidays: _____ N/A
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Parking lot lighting _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertsypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.09 acres	1.09 acres	
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	7.99 acres	7.99 acres	
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): 314044 , C314118, 546031
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 8 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Knickerbocker-Urban Land _____ 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ 6 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Principal Aquifer _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ N/A _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____</p>	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District</p> <p>ii. Name: <u>St. Luke's Episcopal Church Complex</u></p> <p>iii. Brief description of attributes on which listing is based: <u>Historic Building</u></p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site?</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?</p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

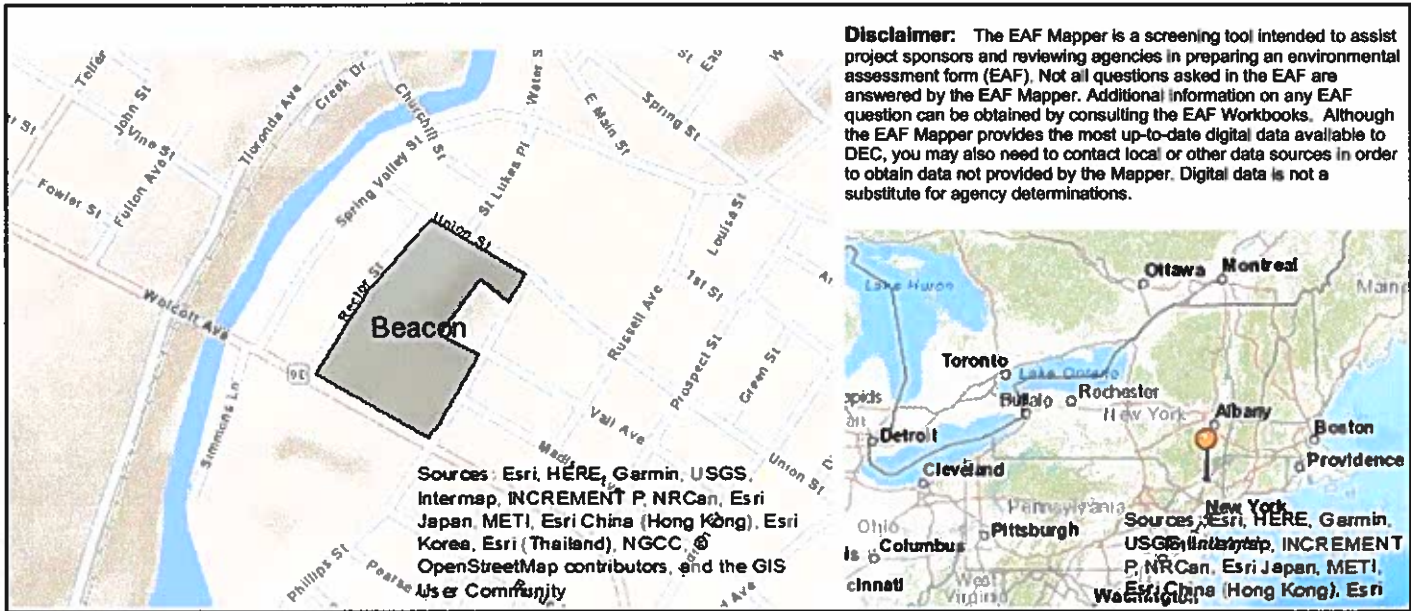
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name The Reverend John Williams Date March 28, 2018

Signature  Title Rector



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	314044 , C314118, 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	St. Luke's Episcopal Church Complex
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Hudson Hills Academy		
Project Location (describe, and attach a general location map): 850 Wolcott Avenue (Route 9D), at Rector Street		
Brief Description of Proposed Action (include purpose or need): Change of use to Private School		
Name of Applicant/Sponsor: Hudson Hills Academy		Telephone: 845.831.1100
		E-Mail: asmasiddiqui@hudsonhills.org
Address: 12 Hanna Lane		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Same as Sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): St. Lukes Episcopal Church		Telephone: 801-793-7376
		E-Mail: beaconrev@gmail.com
Address: 850 Wolcott Avenue		
City/PO: Beacon	State: NY	Zip Code: 12508

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	City Council - Special Use Permit	May 2018 (projected)
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board - Site Plan Applications	March 2018 (actual)
c. City Council, Town or <input type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
R1-7.5, Historic Overlay District

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?
City of Beacon Police Department

c. Which fire protection and emergency medical services serve the project site?
City of Beacon Fire Department, EMS

d. What parks serve the project site?
Memorial park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Private School

b. a. Total acreage of the site of the proposed action? _____ 1.26 acres
 b. Total acreage to be physically disturbed? _____ 0 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 1.26 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Private School proposed, Church to remain
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? 2
 iv. Minimum and maximum proposed lot sizes? Minimum 55,000 sf Maximum 375,206 sf

e. Will proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____

- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 200 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: City of Beacon
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No
 iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 8am - 4pm • Saturday: _____ N/A • Sunday: _____ N/A • Holidays: _____ N/A
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration: _____

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Parking lot lighting _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.09 acres	1.09 acres	
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	7.99 acres	7.99 acres	
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): 314044 , C314118, 546031
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 8 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Knickerbocker-Urban Land _____ 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ 6 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Principal Aquifer _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 N/A _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____

 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District</p> <p>ii. Name: <u>St. Luke's Episcopal Church Complex</u></p> <p>iii. Brief description of attributes on which listing is based: <u>Historic Building</u></p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information


Attach any additional information which may be needed to clarify your project.

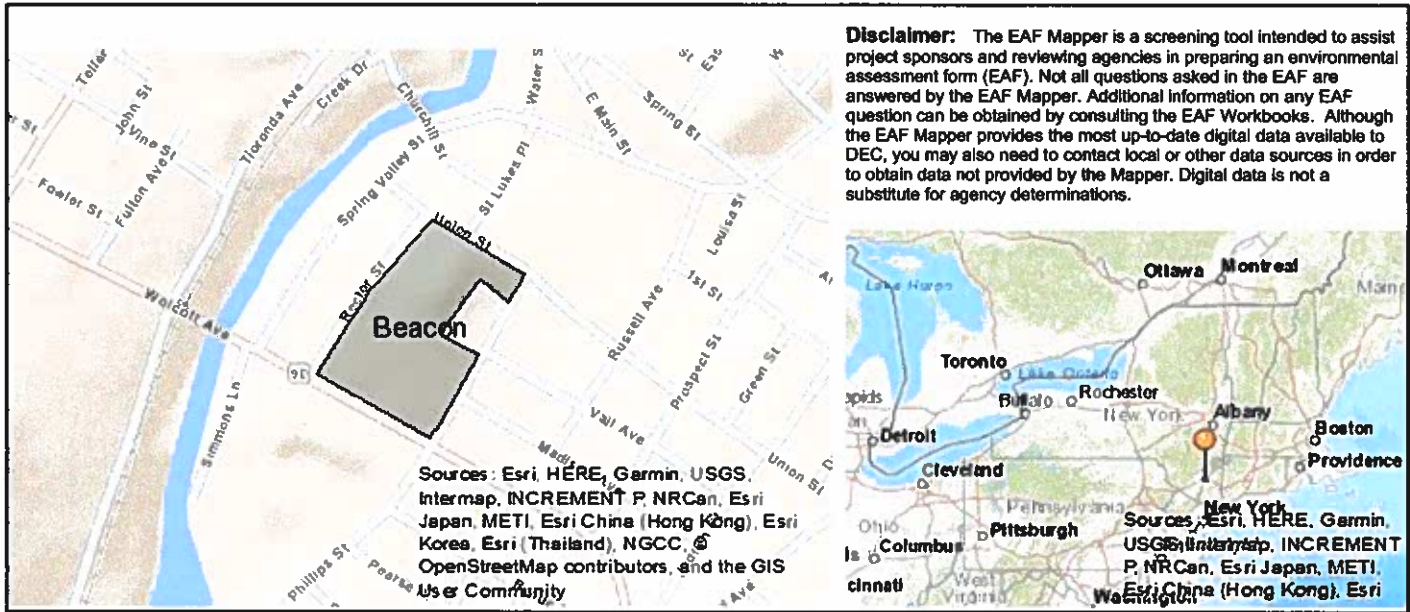
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Asma Siddiqui / Hudson Hills Academy Date March 27, 2018

Signature  Title _____



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	314044 , C314118, 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	St. Luke's Episcopal Church Complex
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown herein are referenced to NAD 83-NY East using NYSNET RTN GPS.
11. Historical mapping and deeds show property lines to centerline of adjoining streets. Other historical deeds describe street dedications. Street lines as shown herein based on public use and deed descriptions.
12. Contour interval is 1 foot. Elevations are referenced to NAVD83.

MAP REFERENCE

Survey shown herein depicts lot(s) as shown on a map entitled "Property of Saint Lukes Church" prepared by G.R. Hustis dated December 31, 1956.

NYS DOT Map No. 55, Parcel 61 - Walcott Avenue Dated July 5 2002.

NYS DOT Map No. 56, Parcel 62 - Walcott Avenue Dated July 25, 2002.

NYS DOT Map No. 72, Parcel 78 - Walcott Avenue Dated July 25, 2002.

DEED REFERENCE

Doc. #02 2009 8998
Rectors Church Wardens & Vestryment
To
NYS Dept. of Transportation
October 30, 2003

Liber 136, Page 483
Walcott
To
Rector Church Wardens & Vestryment
May 15, 1866

TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York
130200-6054-45-120587

ZONING

Subject Parcel is located within the (R1-7.5) One-Family Residence District as per map entitled "City of Beacon, NY Zoning" prepared by Frederick P. Clark Associates, Inc. Revised: July 29, 2014.

FLOOD BOUNDARY

Subject Parcel is located in Zone X (Unshaded) and is determined to be outside the 0.2% annual chance floodplain according to Flood Insurance Rate Map # 36027C0577E and effective date May 2, 2012

DATE OF SURVEY

Field Completion: February 12, 2018

PLANNING BOARD

Approved by resolution of the Planning Board of the City of Beacon, New York, on the _____ day, of year _____. Subject to all requirements and conditions of said resolution. Any change, erasure, modification or revision of the plat as approved shall void the approval. Signed this _____ day, of year _____.
By: _____ Chairman

By: _____ Chairman

DCDOH APPROVAL BLOCK

DUTCHESS COUNTY DEPARTMENT OF HEALTH
POUGHKEEPSIE, NEW YORK

This plan does not constitute a realty subdivision as defined by Article XI, Title II, Section 1115 of the Public Health Law of the State of New York, and Article XI of the Dutchess County Sanitary Code.

Permission is hereby granted for the filing of this map with the clerk of Dutchess County. Approval for arrangements for water supply and/or sewage disposal is neither sought nor granted

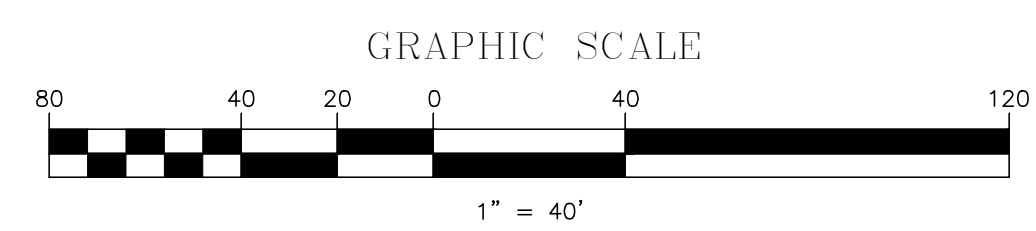
SUPERVISING PUBLIC HEALTH ENGINEER

CITY OF BEACON, § 223-17C, SCHEDULE OF REGULATIONS FOR RESIDENTIAL DISTRICTS

PARAMETER	REQUIREMENT	PARCEL 1	PARCEL 2
AREA:	7,500 ft ²	43,583 ft ²	386,604 ft ²
WIDTH:	75 ft	217 ft	183 ft
DEPTH:	100 ft	240 ft	862 ft
FRONT:	30 ft	39.5 ft	68.1 ft
SIDE:	10 ft	50.4 ft	80.1 ft
REAR:	30 ft	31 ft	178.1 ft

rev.	date	description

TEC LAND SURVEYING
156 TIORONDA AVE. BEACON, NY 12508
PH: 845.445.6590 FX: 845.445.6591



OWNER'S CONSENT

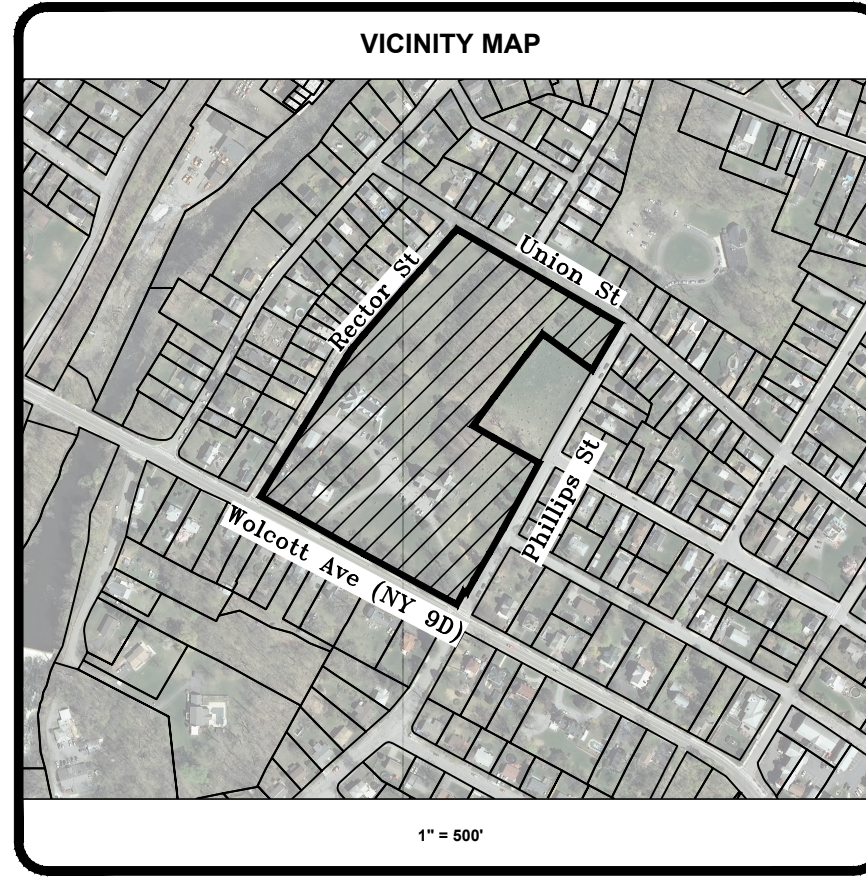
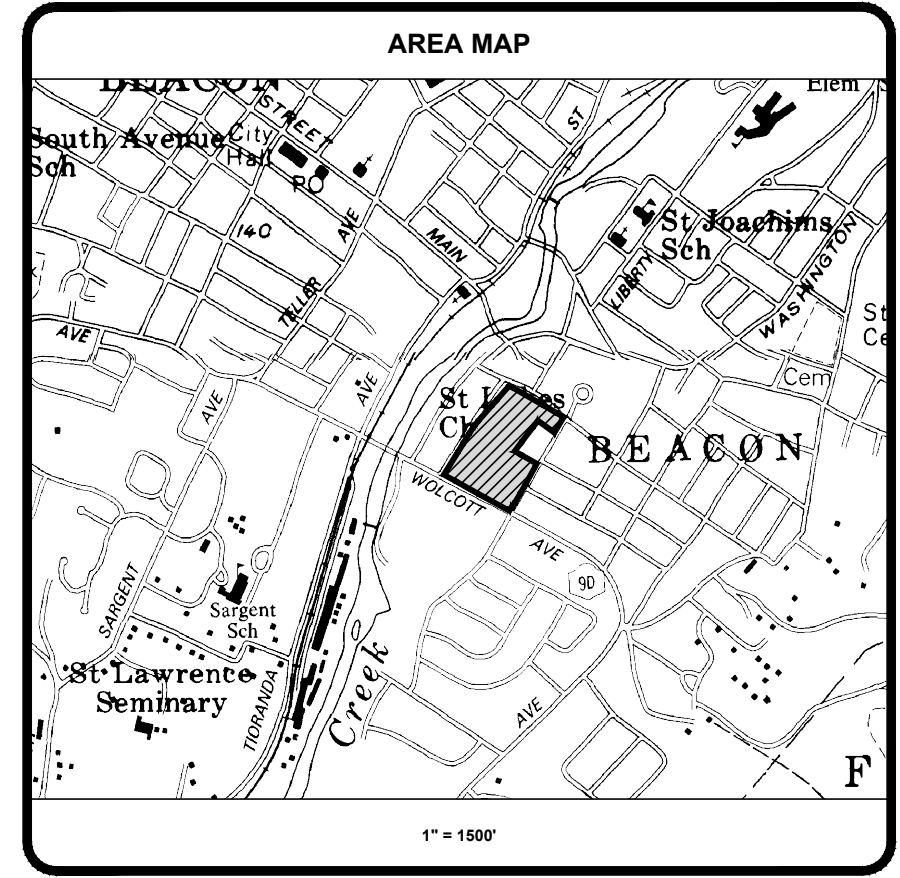
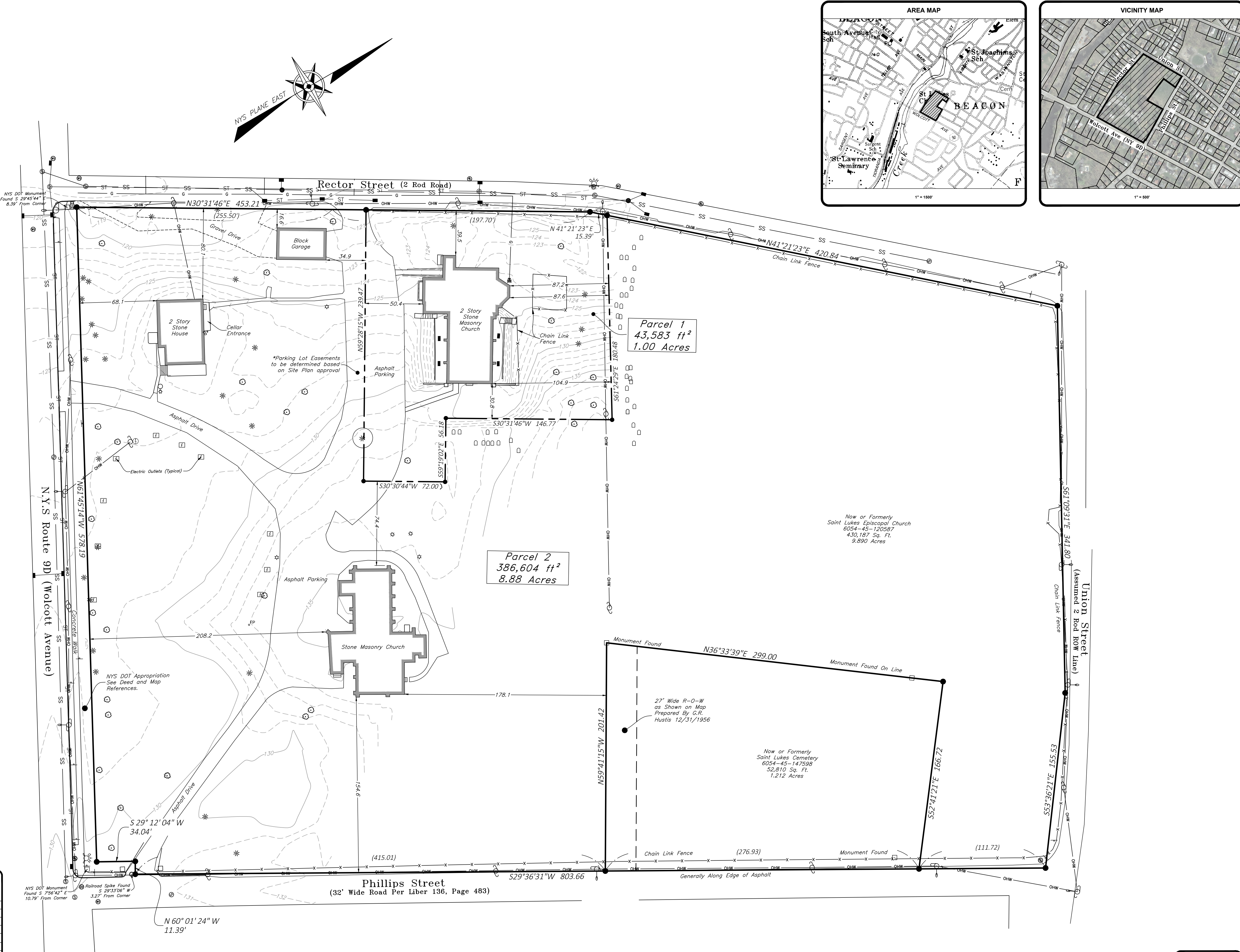
The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated hereon.

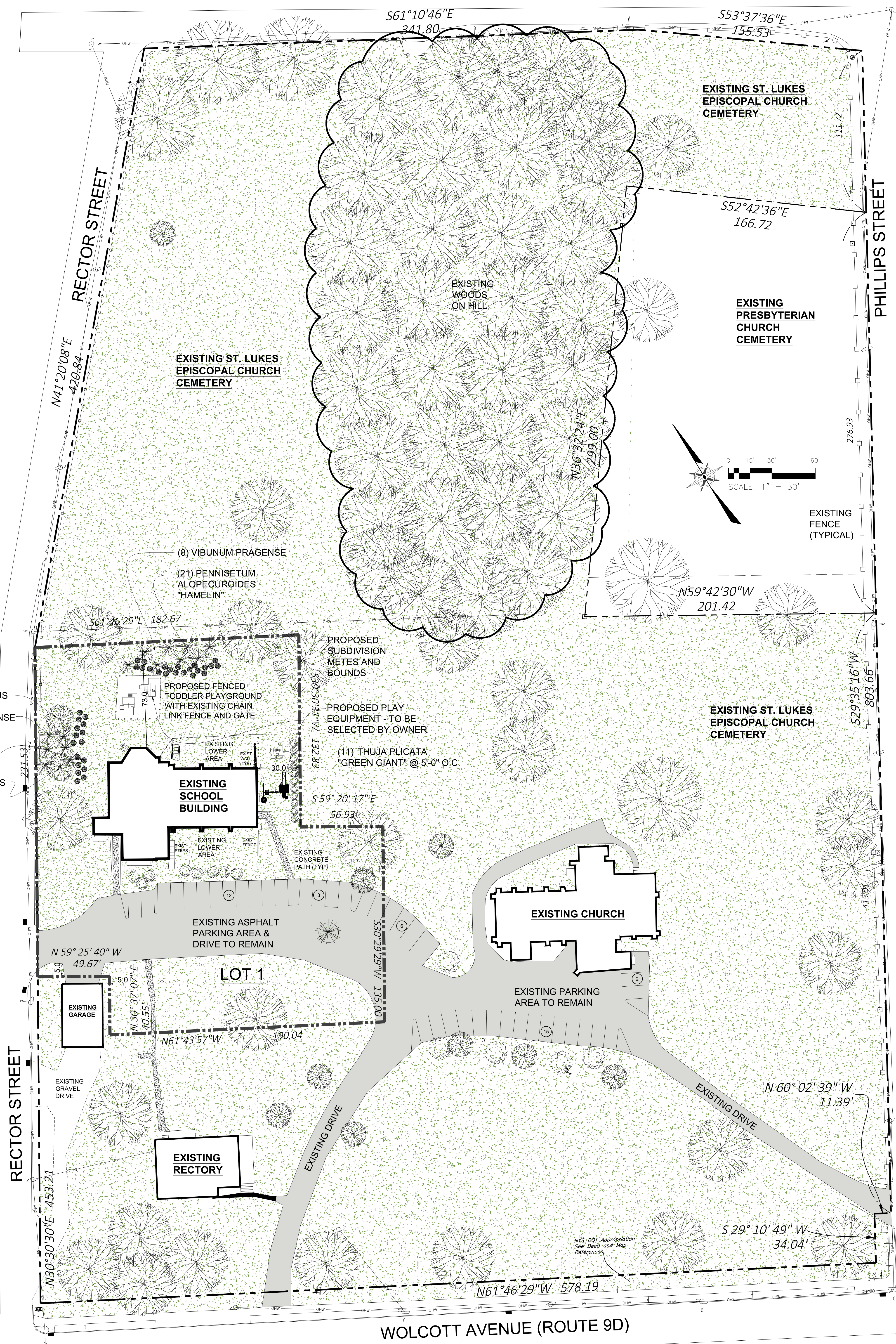
XXX _____ Date _____

THOMAS E. GERCHIARA, P.L.S.
P.L.S. No. 50732

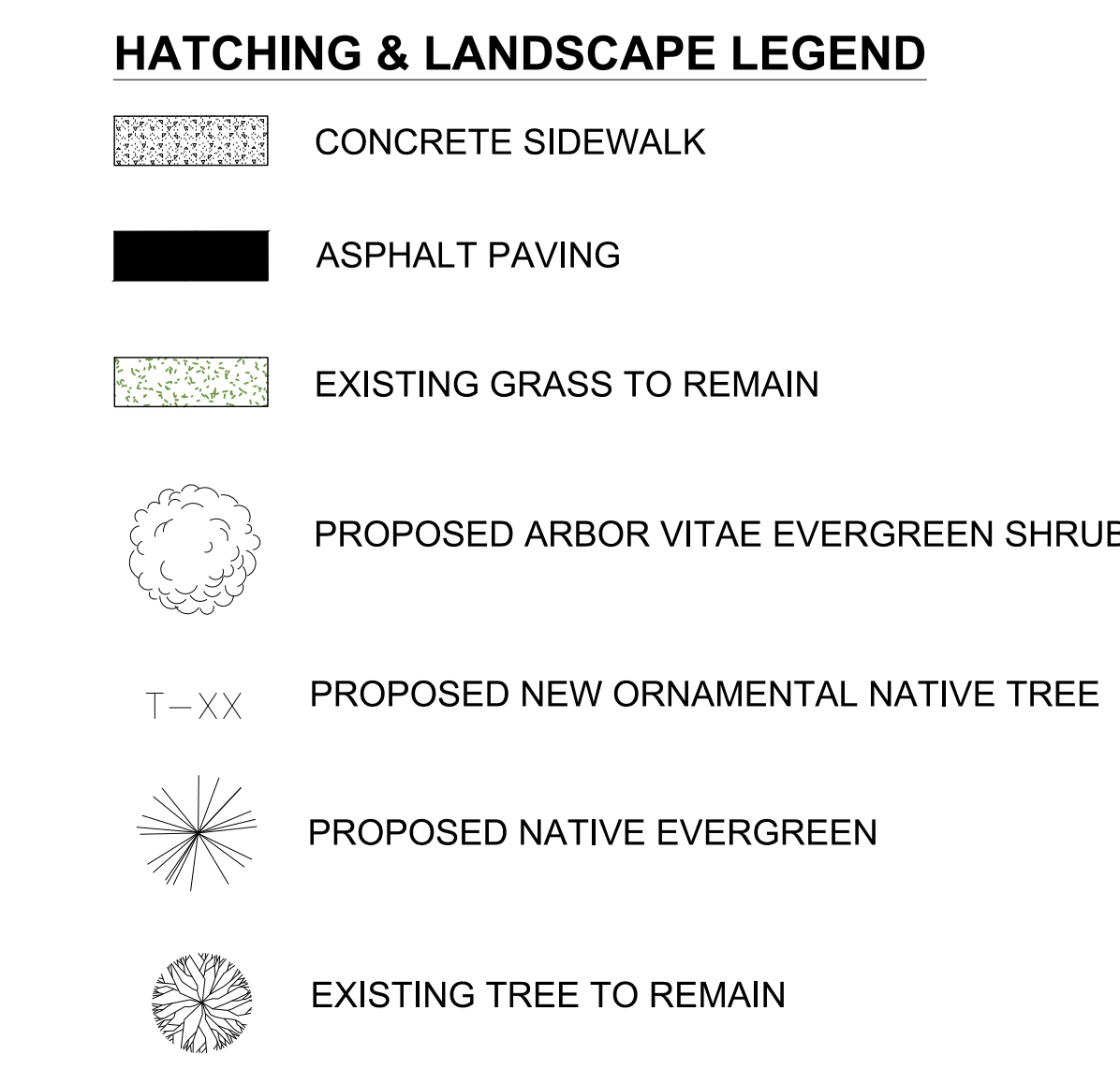
SAINT LUKE'S CHURCH
SUBDIVISION PLAT
PREPARED FOR
SAINT LUKE'S EPISCOPAL CHURCH
CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id	120587
address	40 RECTOR ST
date	02/12/2018
scale	1" = 40'
project no.	17-004
project name	ST LUKE'S CHURCH
sheet	1 OF 1





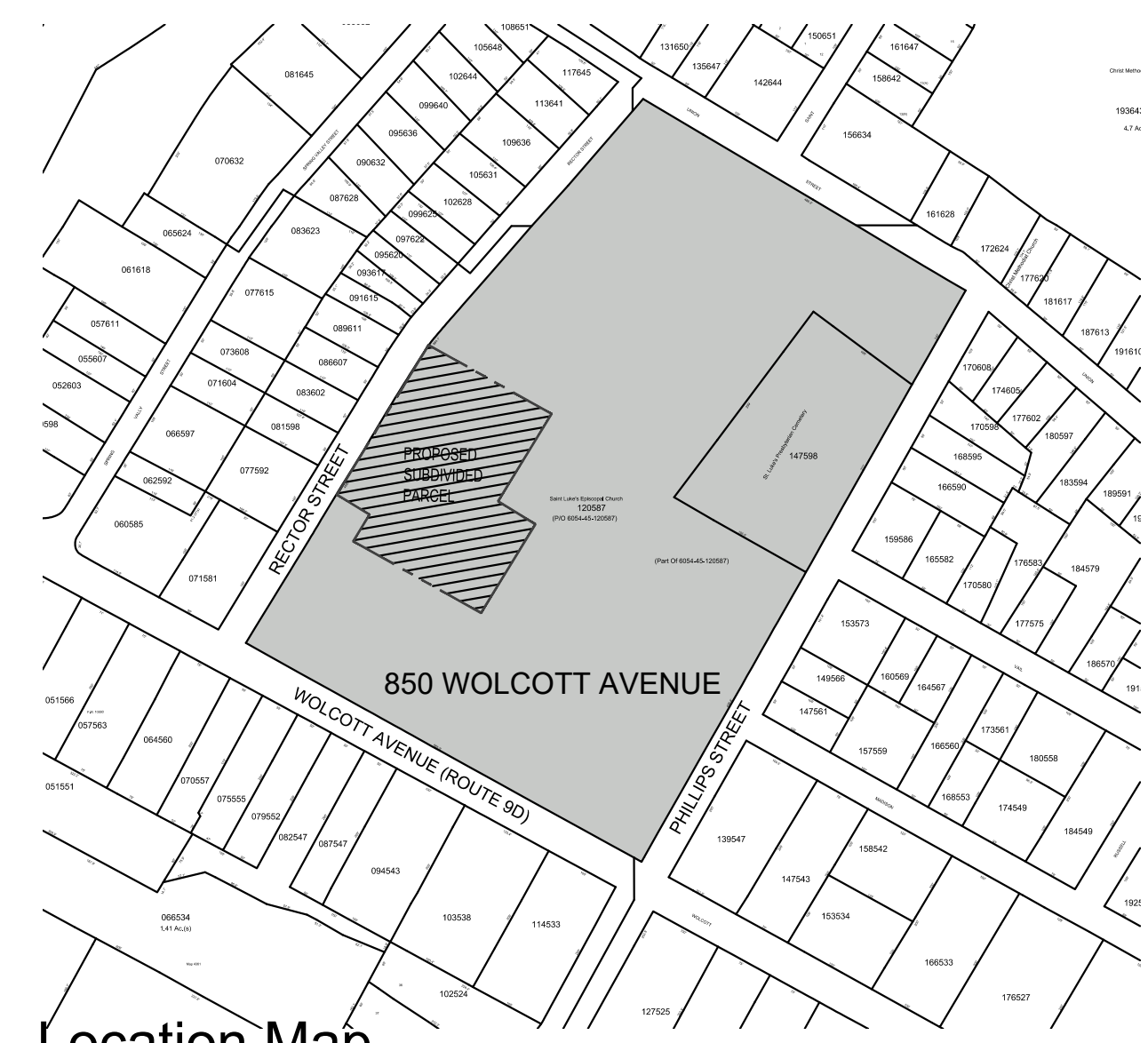
Site Plan
Scale: 1" = 30'



Hudson Hills Academy
Zoning District: R1-7.5
Tax Map No.: 6054-45-10587
Lot Area: 1.28 acres (55,000 sf)
Building Footprint: 4,837 sq ft
Building Area: 10,870 square feet
Historical Overlay District: No
Parking Overlay District: No
Existing Use: Church School
Proposed Use: Private School

Use & Loading	Area / Count	Parking Requirement
Primary or Secondary School 1 per employee plus 1 per 5 students in the 11th grade or above, or 1 per 4 assembly seats, whichever is greater.	12 Employees	12 spaces
Total Required Parking Spaces		12 spaces
Total Proposed Parking Spaces		16 spaces (on subdivided parcel)

- Notes:**
- The application is for a Special Use Permit and Site Plan approval for the parcel to be subdivided from the larger St. Lukes Episcopal Church property.
 - The applicant will apply for a Special Use Permit from the City Council upon referral by the Planning Board.
 - The proposed new parcel complies with Zoning Code. The Private School use is allowed by Special Use Permit in the R1-7.5 Zoning District.
 - Per the lease agreement between St. Lukes Episcopal Church and Hudson Hills Academy, the lessee of the subdivided property with the school building, all the parking spaces on the School parcel will be available to the Church on Sundays and Church Holidays.
 - Cars will enter and exit at the existing Rector Street entrance.
 - School buses will enter on Wolcott Avenue and exit on Rector Street.
 - One sign at the Rector Street Entrance is proposed. The sign will comply with requirements for signs in a residential district. Per Z22-10(c): For other permitted uses, one sign at each street frontage where the use has an access drive, provided that the total area of such sign does not exceed 50 square feet.
 - No change is proposed to the existing School Building exterior, apart from replacing existing single pane windows with double glazed insulated windows in the existing openings.
 - Trash will be stored in the Building and taken out to the curb on trash pickup days. The School will contract with Royal Carting to schedule trash pickups as required.



Location Map
Not to Scale

St. Lukes Episcopal Church
Zoning District: R1-7.5
Tax Map No.: 6054-45-10587
Lot Area: 11.09 acres (482,997 sf)
Subdivided Parcel (99) new lease to Presbyterian Cemetery) 1.21 acres (52,780 sq ft)
Proposed Subdivided Parcel (To be leased to private school) 1.28 acres (55,000 sf)
Church Parcel after subdivision: 8.61 acres (375,207 sq ft)
11,621 sq ft Church, 2,122 sq ft Rector) 1,502 sq ft Garage, 9,349 sq ft Total

Use & Loading	Area / Count	Parking Requirement
Place of Worship 1 space for each 4 seats or pew spaces (1964 requirement was 1 space for each 5 seats)	150 pew spaces	38 spaces (30 spaces in 1964)
Total Required Parking Spaces		38 spaces
Total Proposed Parking Spaces		46 spaces (See Notes 3,4)

- Notes:**
- The application is to subdivide a portion of the property and lease it to a private school.
 - The Church parcel, after the subdivision, continues to comply with Zoning Code.
 - A total of 40 parking spaces exist on site: 38 surface plus 2 in the existing garage building. Per the lease agreement between St. Lukes Episcopal Church and Hudson Hills Academy, the lessee of the subdivided property with the school building, all the parking spaces will be available to the Church on Sundays and Church Holidays.
 - Per Zoning Code Section 226-23 (b)(1) & (2), no parking is required for structures and land uses in existence on April 20, 1964, unless the aforementioned additional required facilities amount to a cumulative total increase of at least 25% over the existing use as of said date. There is no increase in proposed use.
 - Church congregants arriving in cars currently enter and exit from the Wolcott Avenue entrance. No change is proposed following the subdivision.
 - No change is proposed to the existing Church building exterior.
 - No signage is proposed as part of this application.
 - There is no change to the existing trash storage and pickup.

Zoning Regulations Table - Hudson Hills Academy Parcel

Zoning District	Required Setbacks			Proposed Setbacks			Minimum Lot Area	Proposed Lot Area	Minimum Lot Width	Minimum Lot Depth	Proposed Lot Width	Proposed Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories
	Front	Side	Rear	Front	Side	Rear													
R1-7.5	30'	10'	30'	11F	30'	7F	7,500 sf	55,000 sf	75'	100'	182'	260'	30%	10%	None	35'	Existing no change	2 1/2	2 no change

Zoning Regulations Table - Hudson Hills Academy Parcel

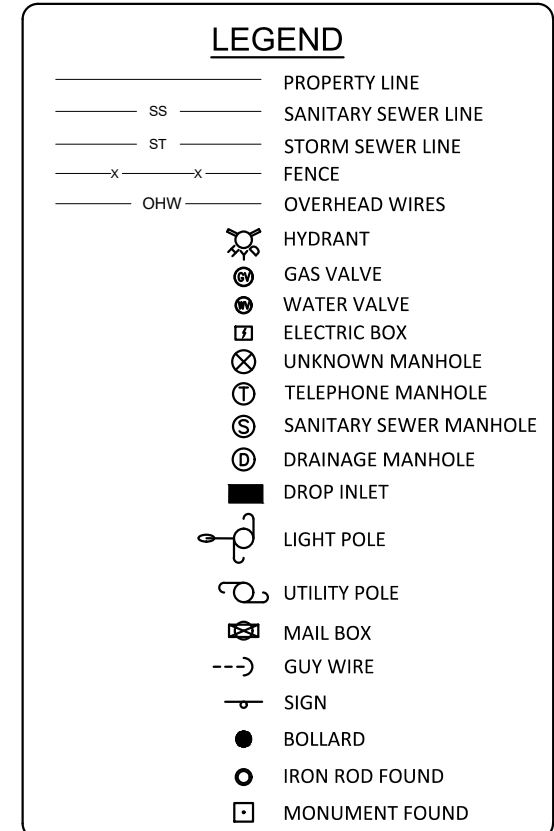
Zoning District	Required Setbacks			Proposed Setbacks			Minimum Lot Area	Proposed Lot Area	Minimum Lot Width	Minimum Lot Depth	Proposed Lot Width	Proposed Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories
	Front	Side	Rear	Front	Side	Rear													
R1-7.5	30'	10'	30'	11F	30'	7F	7,500 sf	55,000 sf	75'	100'	182'	260'	30%	10%	None	35'	Existing no change	2 1/2	2 no change

Index of Drawings

- Sheet 1 of 8 Subdivision Plat
- Sheet 2 of 8 Site Plan
- Sheet 3 of 8 Existing Conditions Survey
- Sheet 4 of 8 Landscaping Plan - Hudson Hills
- Sheet 4 of 8 Floor Plans & Elevations

REVISIONS:

NO.	DATE	DESCRIPTION	BY



Sub-Division, Site Plan & Special Use Permit Application
Sheet 1 of 4 - Site Plan

SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.
11. Historical mapping and deeds show property lines to centerline of adjoining streets. Other historical deeds describe street dedications. Street lines as per deeds with dedications are shown hereon based on public usage.

MAP REFERENCE

Survey shown hereon depicts lot(s) as shown on a map entitled "Property of Saint Lukes Church" prepared by G.R. Hustis dated December 31, 1956.

NYS DOT Map No. 55, Parcel 61 - Walcott Avenue Dated July 5 2002.

NYS DOT Map No. 56, Parcel 62 - Walcott Avenue Dated July 25, 2002.

NYS DOT Map No. 72, Parcel 78 - Walcott Avenue Dated July 25, 2002.

DEED REFERENCE

Doc. #02 2009 8998
Rectors Church Wardens & Vestryment
To
NYS Dept. of Transportation
October 30, 2003

Liber 136, Page 483
Walcott
To
Rector Church Wardens & Vestryment
May 15, 1866

TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York
130200-6054-45-120587 &
130200-6054-45-147598

AREA

Parcel 120587:
430,187 Square Feet
9.890 Acres

Parcel 147598:
52,810 Sq. Ft.
1.212 Acres

DATE OF SURVEY

Field Completion: January 25, 2017

SURVEYOR

Prepared by TEC Surveying
15c Tioronda Avenue
Beacon, NY 12508

LEGEND

—	PROPERTY LINE
—	SANITARY SEWER LINE
—	STORM SEWER LINE
—	FENCE
—	OVERHEAD WIRES
—	HYDRANT
—	GAS VALVE
—	WATER VALVE
—	ELECTRIC BOX
—	UNKNOWN MANHOLE
—	TELEPHONE MANHOLE
—	SANITARY SEWER MANHOLE
—	DRAINAGE MANHOLE
—	DRAIN POLE
—	LIGHT POLE
—	UTILITY POLE
—	MAIL BOX
—	GUY WIRE
—	SOIL
—	BOLLARD
—	IRON ROD FOUND
—	MONUMENT FOUND



Survey
Scale: 1" = 30'

REVISIONS:

NO.	DATE	DESCRIPTION	BY

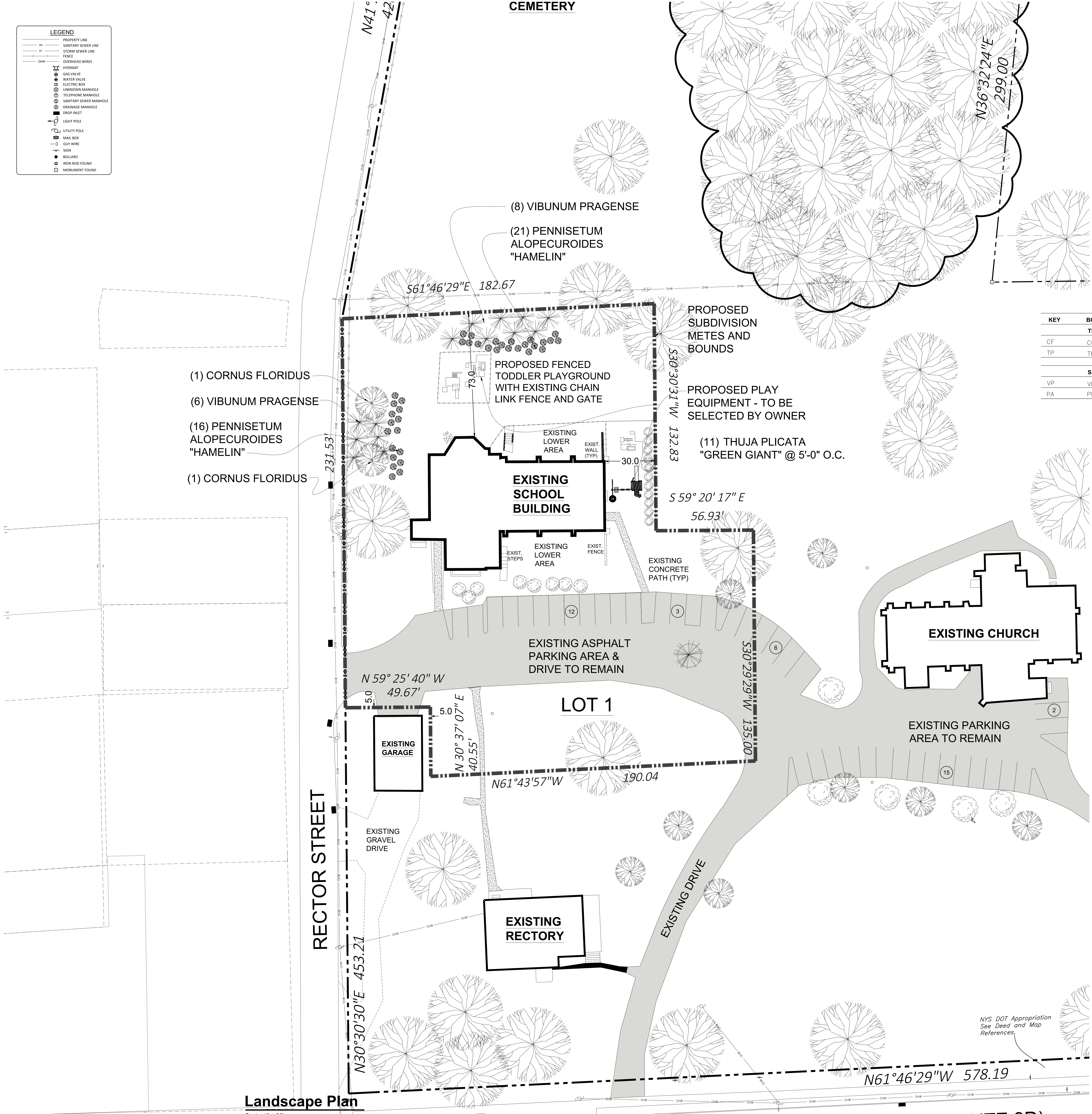
Sub-Division, Site Plan & Special Use Permit Application
Sheet 2 of 4 - Existing Conditions Survey

LEGEND	
---	PROPERTY LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	FENCE
---	OVERHEAD WIRING
○	HYDRANT
○	GAS VALVE
○	WATER VALVE
○	ELECTRIC BOX
○	DOWNDOWN MANHOLE
○	TELEPHONE MANHOLE
○	SANITARY SEWER MANHOLE
○	DRAINAGE MANHOLE
○	DEEP POLE
○	LIGHT POLE
○	LITURGY POLE
○	MAIL BOX
---	60" WIRE
---	SIGN
○	ROADLAND
○	NON-ROAD BOUND
○	MONUMENT FOUND

HATCHING & LANDSCAPE LEGEND

- CONCRETE SIDEWALK
- ASPHALT PAVING
- EXISTING GRASS TO REMAIN
- PROPOSED ARBOR VITAE EVERGREEN SHRUB
- PROPOSED NEW ORNAMENTAL NATIVE TREE
- PROPOSED NATIVE EVERGREEN
- EXISTING TREE TO REMAIN

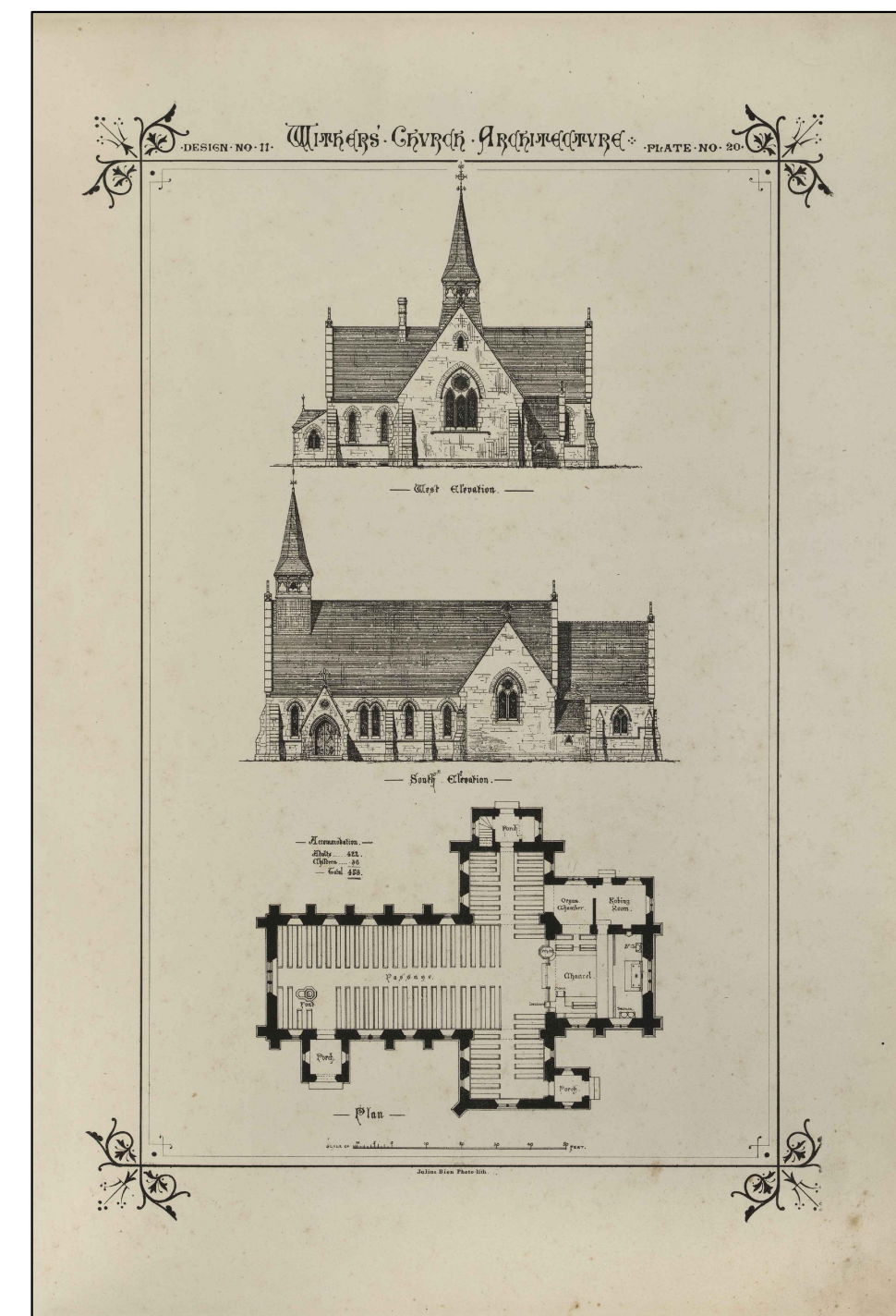
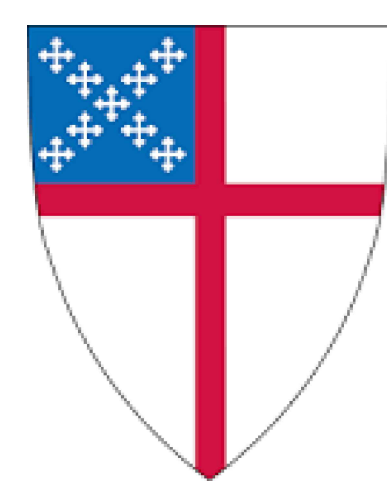
KEY	BOTANICAL NAME	QTY.	SIZE	ROOT	SPACING	COMMENTS
TREES						
CF	CORNUS FLORIDA (FLOWERING DOGWOOD)	2	2.5"-3.0"	B&B	SEE DRAWING	
TP	THUJA PLICATA (GREEN GIANT WESTERN ARBOR VITAE)	8	6-8'	B&B	SEE DRAWING	
SHRUBS						
VP	VIBURNUM PRAGENSE (PRAGUE VIBURNUM)	14	42-48"	B&B	SEE DRAWING	
PA	PENNISETUM ALOPECUROIDES (HAAMELIN DWARF FOUNTAIN GRASS)	37	2 GAL.	CONT	SEE DRAWING	



Landscape Plan

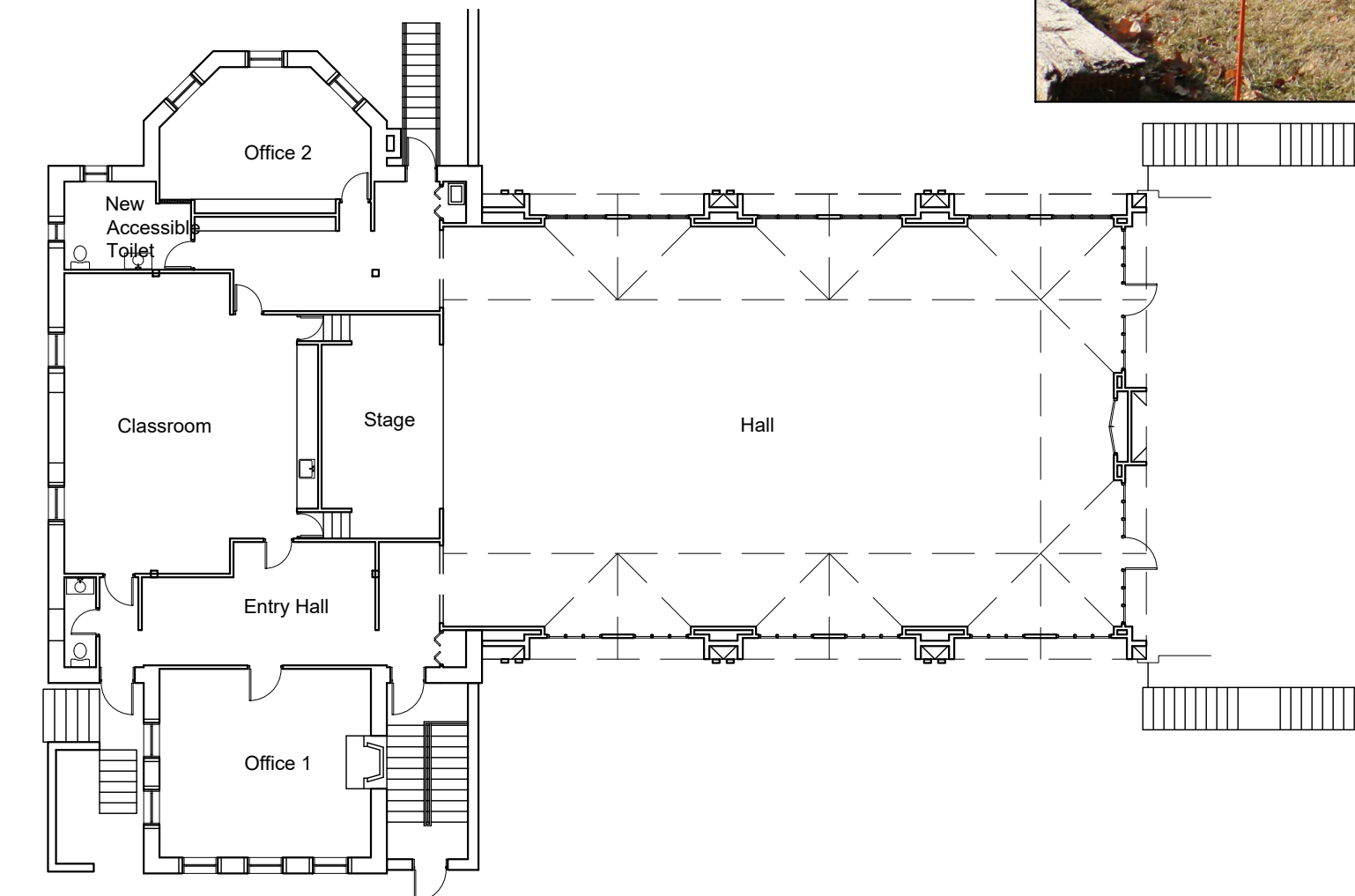
REVISIONS:			
NO.	DATE	DESCRIPTION	BY

Sub-Division, Site Plan & Special Use Permit Application
 Sheet 3 of 4 - Landscaping Plan



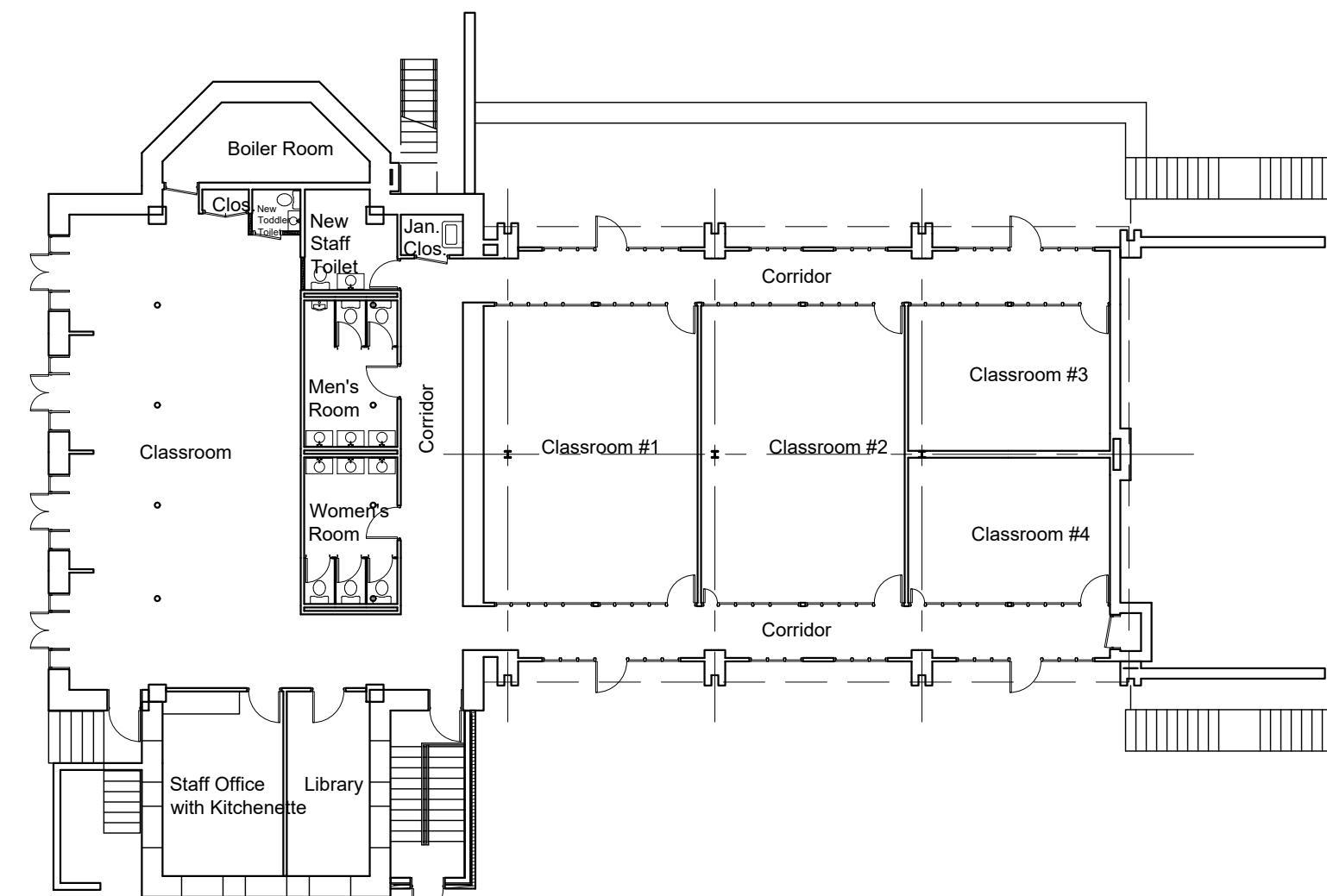
Church Plan

Scale: Not to Scale



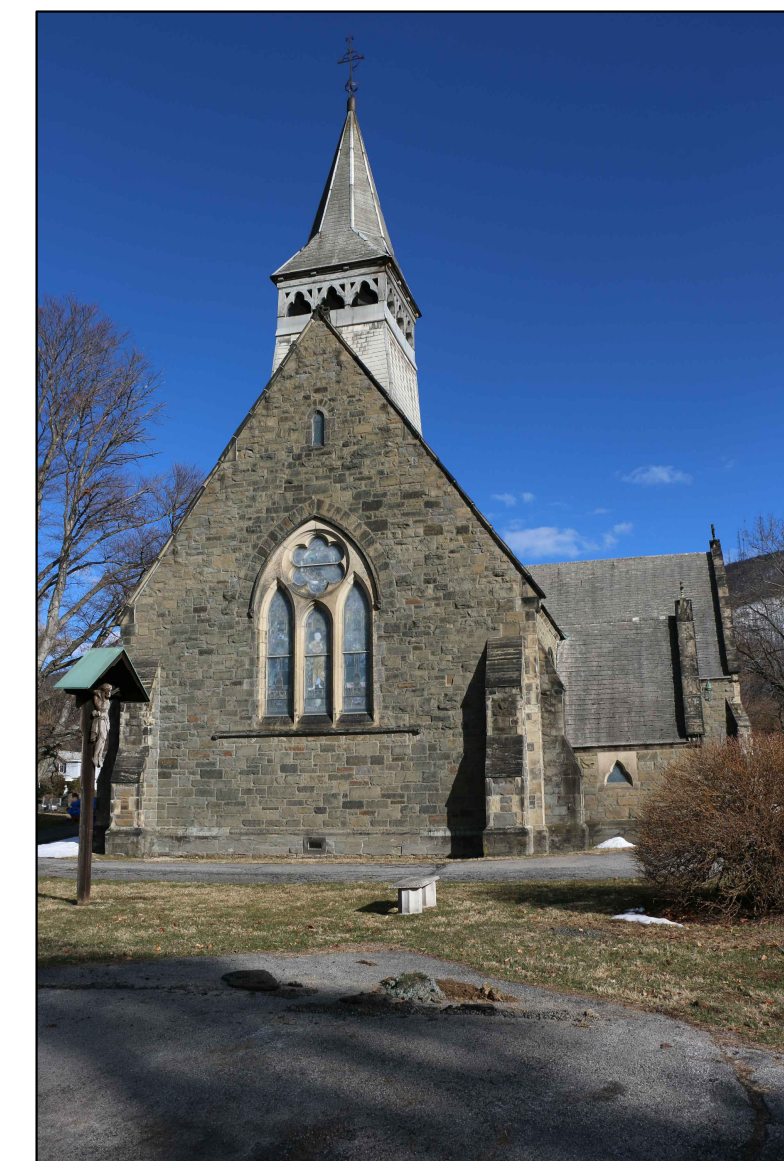
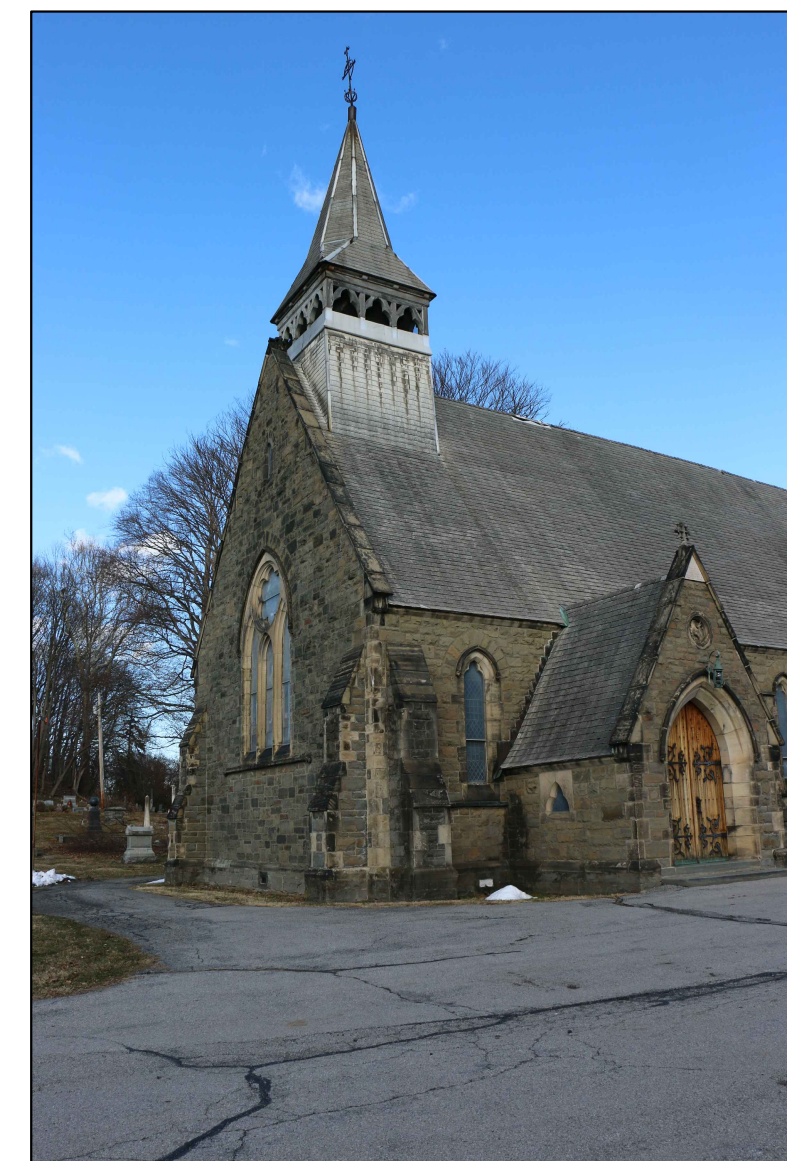
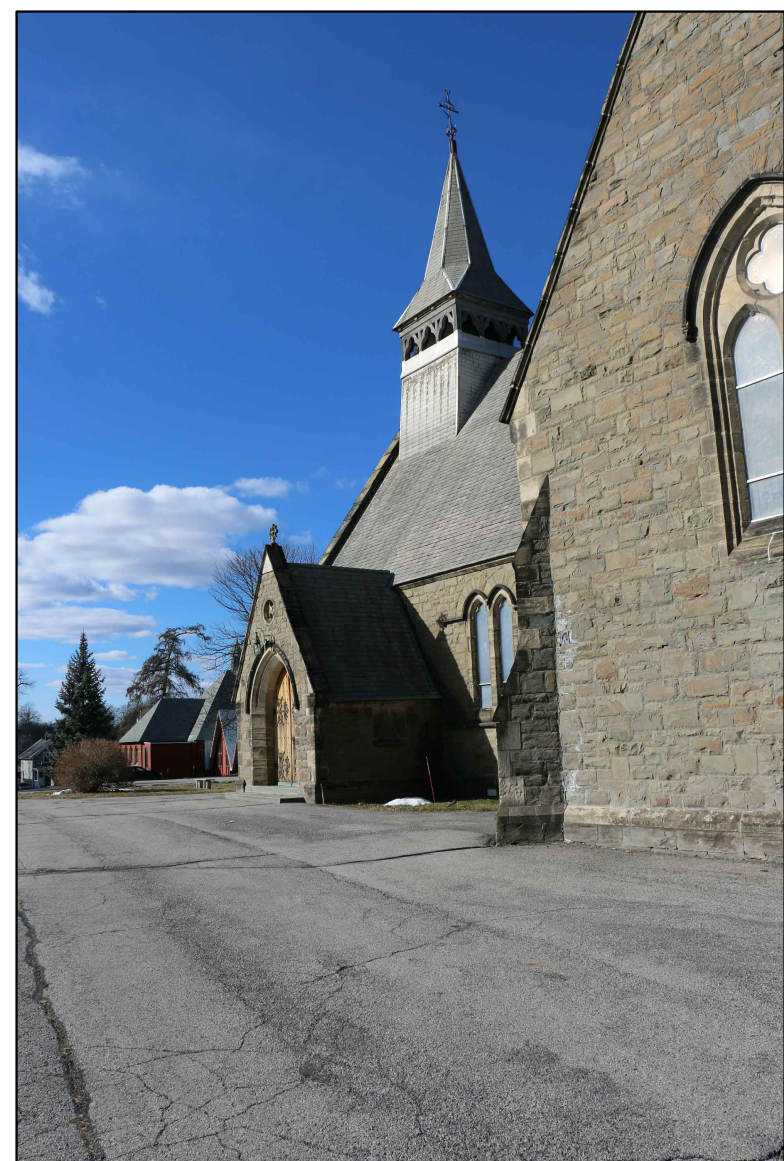
Upper Level Plan: School

Scale: 1/4" = 1'-0"



Lower Level Plan: School

Scale: 1/16" = 1'-0"



Sub-Division, Site Plan & Special Use Permit Application
Sheet 4 of 4 - Plans, Elevations, Images

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: April 5, 2018

Re: **850 Wolcott Avenue, St. Luke's Episcopal Church and Hudson Hills Academy
Subdivision, Site Plan, and Special Permit**

I have reviewed two March 27, 2018 Full EAFs Part 1, March 28, 2018 Subdivision, Site Plan, and Special Permit application forms, February 12, 2018 Subdivision Plat, and a 4-sheet Subdivision, Site Plan, and Special Permit Application, all dated March 27, 2018.

Proposal

The applicant is proposing to subdivide a 9.88-acre parcel with an existing church and school building into two lots for use as a private school. The proposed parcel is in the R1-7.5 district and the Historic District and Landmark Overlay Zone.

Comments and Recommendations

1. Regarding the EAF, the applicant should clarify for the Board whether the proposed private school will generate any additional water use or traffic generation compared to current conditions.
2. The existing and proposed lot acreages do not match in the application cover sheets, EAF questions D.1.b and E.1.b, the Subdivision Plat, Sheet 1 Zoning Summary and Sheet 2. The existing Parcel Access listing for parcel 120587 is 8.3 acres. The Schedule of Regulations on the Subdivision Plat does not match the Zoning Regulations Table on Sheet 1, which is repeated twice.
3. The Subdivision Plat boundaries and setbacks for Lot 1 are also inconsistent with the boundaries and setbacks on Sheets 1 and 2.
4. Since this parcel is in the Historic District and Landmark Overlay Zone, any exterior alteration to the buildings or property requires a Certificate of Appropriateness consistent with Chapter 134, Historic Preservation. The existing chain link fence in front of the school is not compatible with the frontage of a historic building and a replacement fence should be considered.
5. ADA-compliant parking spaces for the two buildings should be identified on the Site Plan.
6. If there is the possibility of any students walking to the school, the Board could consider a new crosswalk on Rector Street and a sidewalk connection to the school entrance.
7. The Site Plan should designate any one-way driveways and show the bus loading area.
8. The Site Plan should include any existing or proposed exterior lighting fixtures for the school.

Page 2, 850 Wolcott Avenue, April 5, 2018 memo

9. The large tree in front of the school does not appear particularly healthy and should be evaluated. The proposed landscaping along Rector Street should be shifted to be more in front of the playground than the historic building. The Landscaping Plan should include 11 arbor vitae in the plant table.

10. A private school is allowed in the R1-7.5 district by Special Permit from the City Council. Once the Board is generally satisfied with the Subdivision and Site Plan, it should issue recommendations to the Council on the Special Permit.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

- c: Tim Dexter, Building Inspector
 Jennifer L. Gray, Esq., City Attorney
 Arthur R. Tully, P.E., City Engineer
 John Russo, P.E., City Engineer
 Aryeh Siegel, Project Architect

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lanc, P.E., L.S.
Arthur R. Tully, P.E.

April 5, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: St. Luke's & Hudson Hills Academy
850 Wolcott Avenue
City of Beacon
Tax Map No. 6054-45-120587

Dear Mr. Gunn:

The applicant is proposing to subdivide 9.88± acre parcel with an existing church and school building into two lots, so that the school building will be located on its own parcel. Our office has reviewed the applications, Full EAF, and the following plans entitled "850 Wolcott Avenue – St. Luke's Episcopal Church & Hudson Hills Academy, submitted for the project as prepared by Aryeh Siegel, Architect, and TEC Land Surveying:

- Sheet 1 of 1, entitled "Subdivision Plat prepared for Saint Luke's Episcopal Church", dated February 12, 2018, as prepared by TEC Land Surveying.
- Sheet 1 of 4, entitled "Site Plan", dated March 27, 2018.
- Sheet 2 of 4, entitled "Existing Conditions Survey", dated March 27, 2018.
- Sheet 3 of 4, entitled "Landscaping Plan", dated March 27, 2018.
- Sheet 4 of 4, entitled "Plans, Elevations, Images" dated March 27, 2018.

Based upon our review of the above referenced submittals, we offer the following comments:

General Comments:

1. The applicant's consultant should conduct an Inflow & Infiltration study of the existing site and building, and provide certification to the City of Beacon that the site currently has no illegal cross-connections between the existing site and the City's sanitary sewer system. Possible cross-connections that should be looked at would be roof-leaders, sump pumps, existing site drains, etc. If any cross-connections are found, a report should be submitted as to the findings, the volume of I&I being introduced into the sanitary sewer collection system, and the proposed remediation for the cross-connection(s) found. The plans should also clearly show the proposed remediation as outlined in the report. A note should also be added to the plans granting the City of Beacon Building Department access to verify where the existing roof leaders and sump pump(s), if present, drain to.

2. The applications note the size of the overall parcel to be 9.08 acres in size, whereas the subdivision plat is noting the overall parcel to be 9.88 acres in size. The applications should be revised to reflect the actual parcel size per the actual survey.
3. Based upon the submitted plans, it appears that there will be shared parking and access across the two parcels. Easements and maintenance agreements for the access and parking should be developed and submitted to the Planning Board Attorney for review.

Subdivision Plat:

1. All proposed easements (parking, access, utilities, etc.), along with their respective metes & bounds, shall be provided on the plat.
2. The plat should show the location of the existing utilities (water, sewer, etc.) that service each of the buildings.

Site Plan (Sheet 1 of 4):

1. Plan shall include the sight distances to the left and right for each access from the parcel onto the adjacent streets.
2. The location of existing utilities (water, sewer, etc.) servicing each of the buildings should be shown on the plan.
3. Traffic signs should be provided on the plan to show the direction of traffic on the drives, so as to avoid conflicts between vehicles on the narrow drives. Construction details for any signs shall be provided on the plans.
4. The location of handicap parking stalls should be shown on the plan, along with the appropriate signage.
5. A sidewalk should be provided from the Rector Street entrance to the school entrance, so that school children have a safe route away from vehicles entering and exiting the site.
6. Proposed and/or existing lighting for the parking area and entrances to the school should be shown on the plans.
7. The location of any additional site signage proposed for the school should be shown on the plan.


Landscaping Plan (Sheet 3 of 4):

1. Construction details for the planting of the proposed trees and shrubs should be provided on the plan.

This completes our review at this time. Further comments may be forthcoming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.

A handwritten signature in black ink, appearing to read 'John Russo', is written over the typed name below.

John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector

**City of Beacon Planning Board
4/10/2018**

Title:

Zoning Board of Appeals

Subject:

Zoning Board of Appeals – April Agenda

Background:

ATTACHMENTS:

Description
April Agenda

Type
Backup Material

CITY OF BEACON
ONE MUNICIPAL PLAZA - SUITE 1
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026

The Zoning Board of Appeals will meet on **Tuesday, April 17, 2018** in the Municipal Center courtroom, located at One Municipal Plaza, Beacon, New York. A training work session will take place at 7:00 PM and the regular meeting will begin immediately thereafter, but not later than 7:30 PM.

1. Application submitted by Kristina Eckert, 7 East Willow Street, Tax Grid No. 30-5955-84-931070-00, R1-7.5 Zoning District, seeking relief from Section 223-17(e) to construct a new 22 ft. x 24 ft. one-story detached garage with 3 ft. rear and 3 ft. side yard setbacks (*5 ft. required*)

2. Application submitted by Anthony & Samantha Naylor, 13 Lafayette Avenue, Tax Grid No. 30-5955-19-702109-00, R1-7.5 Zoning District, is seeking relief from Section 223.17(e) to demolish an existing garage and construct a new 564 sq. ft. accessory building (one-story garage with artist studio) (*276 sq. ft. maximum permitted*)

City of Beacon Planning Board
4/10/2018

Title:

130 South Avenue - Roseneth Lot #2

Subject:

Review building setback change for Lot #2 of Roseneth Estates Subdivision, 130 South Avenue, submitted by Hudson Land Design

Background:

ATTACHMENTS:

Description	Type
Roseneth Estates Cover Letter	Cover Memo/Letter
Roseneth Estates Final Subdivision Plat	Plans
Roseneth Estates Lot #2 As Built	Plans



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

March 27, 2018

Mr. John Gunn
City of Beacon Planning Board Chairman
1 Municipal Plaza
Beacon, NY 12508

Re: Roseneth Estates Subdivision - Lot 2 Field Change - As-Built Conditions
130 South Street, New York

Dear Mr. Gunn:

On behalf of the Applicant, Roseneth Estates, LLC, please find the attached As-built map of the guest house location on Lot 2 of the above-referenced subdivision. To summarize the history of this project, the Planning Board granted Preliminary and Final Subdivision Approval on November 12, 2014, and the Subdivision Plat was filed in the Dutchess County Clerk's office on July 9, 2015. In addition to the required building setbacks for the building to comply with zoning, the proposed subdivision included a building envelope following public comments that generally concerned Lot 1. Notwithstanding these comments about Lot 1, building envelopes were also included on each of the lots in the subdivision, including Lot 2. The enclosed copy of the Final Subdivision Plat and the enclosed As-built map show the building envelope on Lot 2.

By way of additional background, Lot 2 construction began in the fall of 2016. The house site was initially staked out on the site, and at the time, Hudson Land Design (HLD) was called out to the site to discuss the house location as it related to grade, orientation, rock elevations, and front door access. The potential lot owner wanted to provide a means of accessing the front door without the need for stairs – similar to an accessible ramp, but at a slightly steeper grade. This presented a challenge to provide a ramped access path without being too steep in the short distance to the driveway that was provided. The house was field adjusted slightly to the south to provide a longer path between the driveway and the front door in order to provide a gentler ramped access.

A few weeks later, HLD was called out to the site to meet with the site contractor to discuss the possibility of rotating the house clockwise slightly to avoid a problematic rock cut area, and to provide a position that allowed better views of the river as per the owner's request. The actual position of the house was discussed in the field, and HLD's instructions were to rotate it slightly at certain distances from the existing surveyed stakes that were on the property to account for these field conditions.

The house construction has been completed, and in the process of preparing an As-built map to timely obtain a Certificate of Occupancy, the minor encroachment out of the building envelope was discovered. While the rotation of the house footprint was well within the yard setbacks governed by the zoning district,

the rotated footprint resulted in the southwestern corner of the house (about 4% of the building) being located approximately 6.5 feet beyond the front, or westerly building envelope line, which was required by the Planning Board for this project. Indeed, the field changed location is actually setback further from adjacent properties. A note on the approved Subdivision Plat required Planning Board approval if a principal dwelling, or guest house were proposed to be located outside the building envelope.

The dwelling encroaches slightly beyond the front, or westerly building envelope line which ranges from 271.6 feet from the front property line at its southerly end to 282.3 feet to the front property line at its northerly end. It is also important to note that the closest part of the dwelling is located 272.6 feet from the front property line which is father away from the closest part of the building envelope line from the front property line. The front building setback as per zoning is 50 feet. Therefore, we believe that this is a minor change. Accordingly, we respectfully submit that this is a minor field change and is consistent with the intent of the building envelope so as to locate the house away from the property lines.

We respectfully request that this item be placed on the Planning Board's April 10th meeting Agenda as a miscellaneous business item for consideration of this field change. In the meantime, our office has been in communication with the Building Department regarding this field change.

We are respectfully submitting the following:

- 5 copies of the as-built map for Lot 2;
- 5 copies of the original approved Subdivision Plat Sheet 1 of 3, and
- A CD with the above in electronic format.

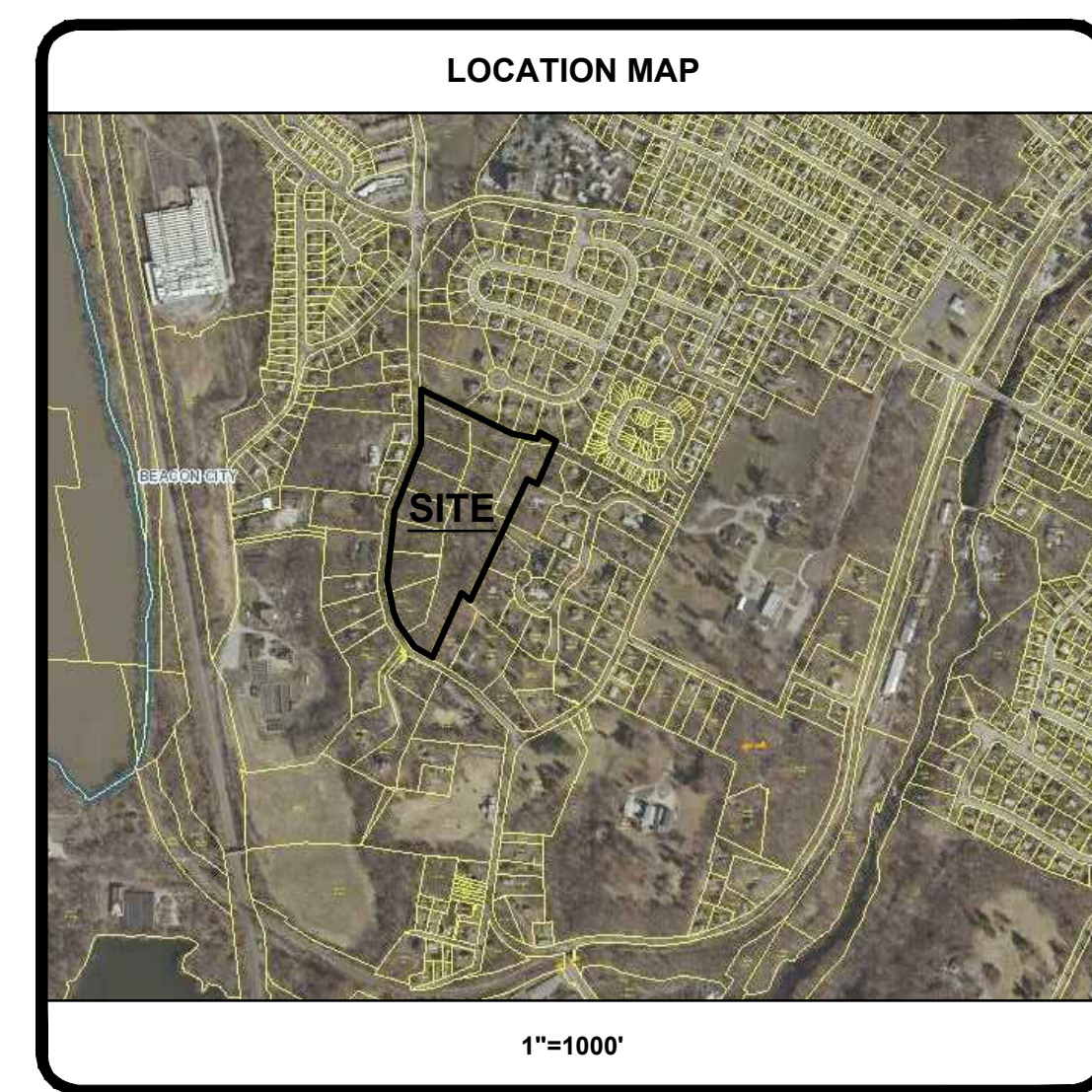
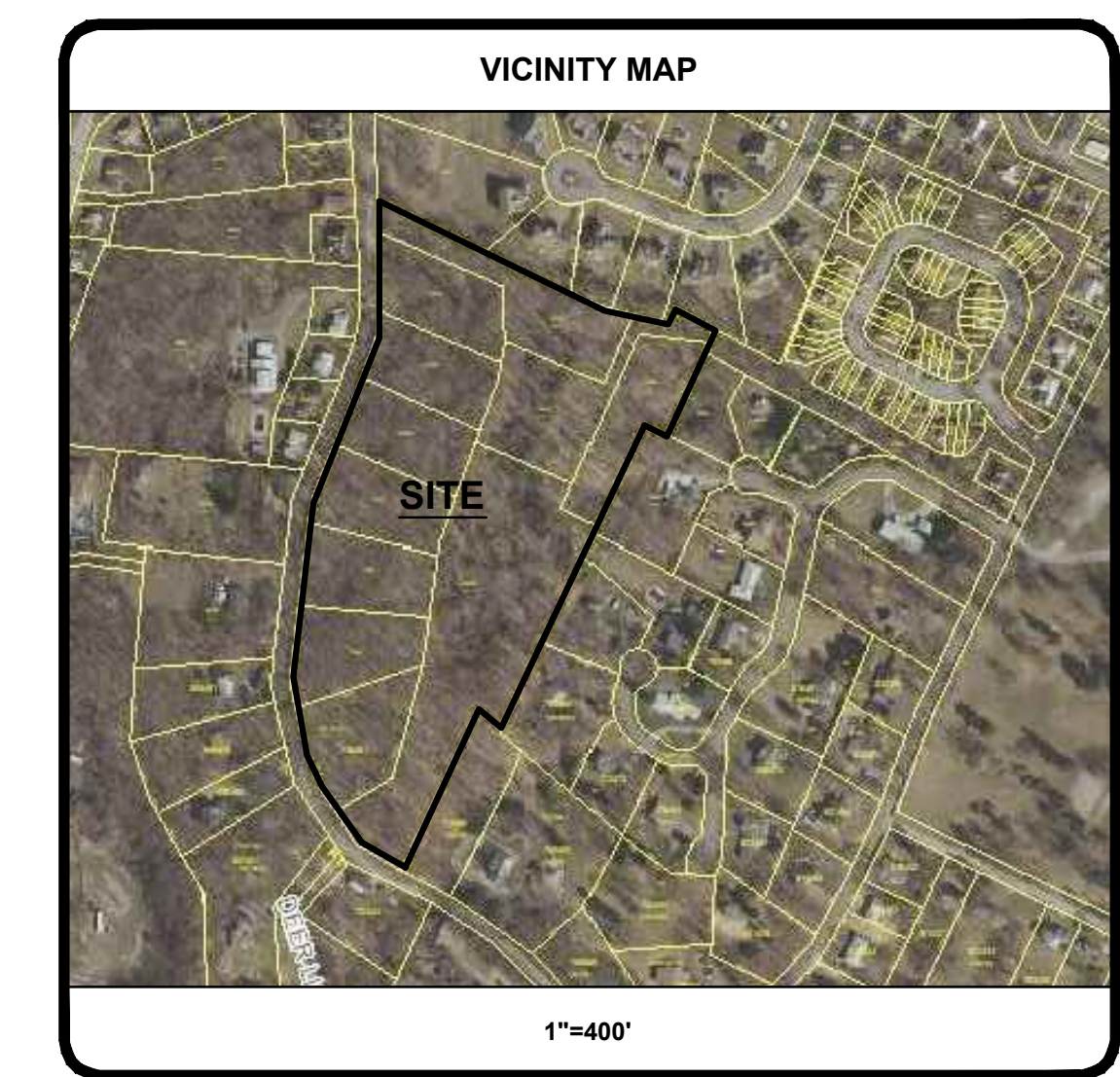
Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Michael A. Bodendorf, P.E.
Principal

cc: Roseneth Estates, LLC
Cuddy & Feder, LLP
Tom Cerchiara, LS



SCHEDULE OF REGULATIONS (R1-40 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	PARCEL #1	PARCEL #2	PARCEL #3
LOT WIDTH:	150 FEET MINIMUM	302.9 FEET	561.9 FEET	684.6 FEET
LOT DEPTH:	150 FEET MINIMUM	302.9 FEET	561.9 FEET	684.6 FEET
YARD SETBACKS:				
FRONT YARD:	50 FEET MINIMUM	97.6 FEET	301.4 FEET	304.8 FEET
SIDE YARD:	25 FEET MINIMUM (60 TOTAL)	77.8 FEET	175.4 FEET	87.4 FEET
REAR YARD:	50 FEET MINIMUM	84.6 FEET	244.8 FEET	183.8 FEET
MAXIMUM BUILDING HEIGHT:	MAX 35 FEET, 3.5 STORIES	TBD	TBD	TBD
PARCEL AREA:	40,000 Sq.Ft. MINIMUM	52,139 Sq.Ft.	323,202 Sq.Ft.	255,804 Sq.Ft.

TABLE OF EXISTING PARCEL AREAS

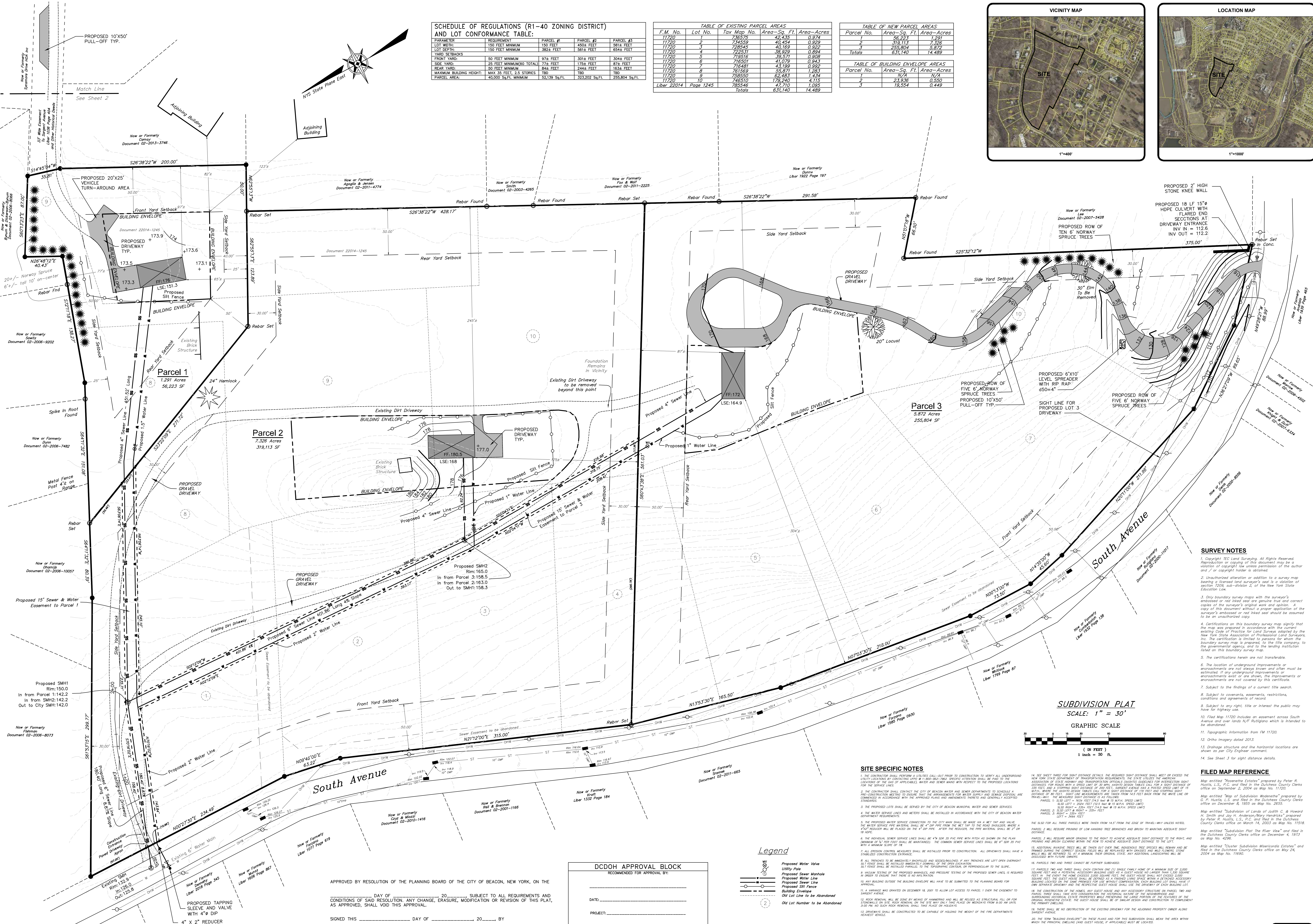
F.M. No.	Lot No.	Tax Map No.	Area-Sq. Ft.	Area-Acres
11720	1	736575	42,435	0.974
11720	2	744559	40,454	0.929
11720	3	728545	40,169	0.922
11720	4	726531	38,929	0.894
11720	5	718116	39,971	0.918
11720	6	716501	41,079	0.943
11720	7	716481	43,199	0.992
11720	8	721569	55,871	1.281
11720	9	758550	62,483	1.434
11720	10	745510	129,440	4.115
11720	11	755546	129,710	1.995
Libor 22014	Page 1245		755,140	14.489
			Totals	631,140

TABLE OF NEW PARCEL AREAS

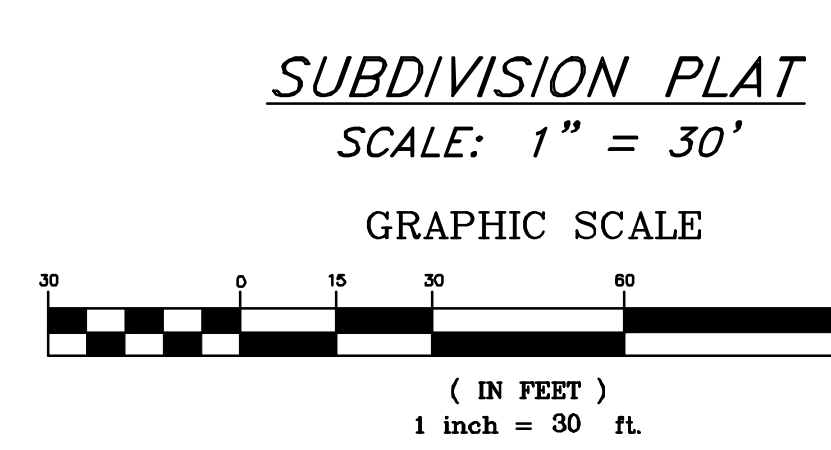
Parcel No.	Area-Sq. Ft.	Area-Acres
1	56,223	1.291
2	315,113	7.276
3	255,804	5.872
Totals	631,140	14.489

TABLE OF BUILDING ENVELOPE AREAS

Parcel No.	Area-Sq. Ft.	Area-Acres
1	N/A	N/A
2	23,336	0.530
3	19,254	0.449

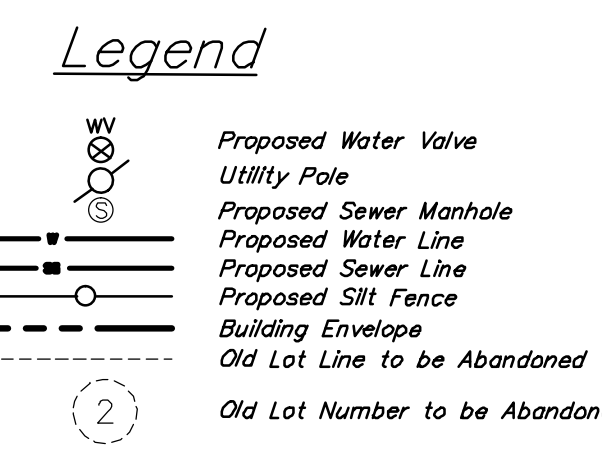


- SURVEY NOTES**
1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and/or copyright holder is obtained.
 2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7208, sub-division 2, of the New York State Education Law.
 3. City boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper signature of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
 4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared. It is the responsibility of the governmental agency and to the lending institution to verify the accuracy of this boundary survey map.
 5. The certifications herein are not transferable.
 6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
 7. Subject to the findings of a current title search.
 8. Subject to covenants, assessments, restrictions, conditions and agreements of record.
 9. Subject to any right, title or interest the public may have for highway use.
 10. Filed Map 11720 includes an assessment on South Avenue and over lands N.Y. Route 10 which is intended to be abandoned.
 11. Topographic information from IM 11720.
 12. Ortho Imagery dated 2013.
 13. Drainage structures and the horizontal locations are shown as per City Engineer comment.
 14. See Sheet 3 for sight distance details.



SITE SPECIFIC NOTES

1. THE CONTRACTOR SHALL PERFORM A UTILITY CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UTILITIES 1-800-882-7862. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATION OF THE LINES OF AIR/CABLE/WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
2. THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENT TO OBTAIN A PRE-CONSTRUCTION MEETING TO DISCUSS THE ARRANGEMENTS FOR WATER SUPPLY AND SEWER DISPOSAL AND TO OBTAIN A PERMIT TO INSTALL SERVICE LINES TO THE PROPOSED BLDG. AND MANHOLE LOCATIONS AND TO OBTAIN A PERMIT TO INSTALL SERVICE LINES TO THE PROPOSED BLDG. AND MANHOLE LOCATIONS.
3. THE PROPOSED LOTS SHALL BE SERVED BY THE CITY OF BEACON MANHOLE, WATER AND SEWER SERVICES.
4. THE WATER SERVICE LINES AND METERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
5. THE PROPOSED WATER SERVICE CONNECTION TO THE CITY MAIN SHALL BE MADE AS A WET TAP AND THE WATER SERVICE PIPE MATERIAL SHALL BE 4" O.D. PIPE FROM THE WET TAP TO THE ROAD SHOULDER. WHITE 4" O.D. METERS SHALL BE PLACED ON THE 4" O.D. PIPE. AFTER THE REDUCER, THE PIPE MATERIAL SHALL BE 4" O.D. HDPE.
6. THE INDIVIDUAL WATER SERVICE LINES SHALL BE 4" O.D. HDPE WITH FITTINGS AS SHOWN ON THE PLAN. THE MINIMUM COVER SHALL BE MAINTAINED. THE COMMON WATER SERVICE LINES SHALL BE 4" O.D. HDPE.
7. ALL DESIGN CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. ALL DRAINWAYS SHALL HAVE A STANDARD CONSTRUCTION ENTRANCE.
8. ALL MANHOLES ARE GRATED ON DECEMBER 15, 2001 TO ALLOW FOOT ACCESS TO PARCELS 1 OVER THE EASEMENT TO SHERMAN AVENUE.
9. THE FENCE SHALL BE INSTALLED PARALLEL TO THE PROPOSED CONTOUR OF PARALLEL TO THE SLOPE.
10. ANY BEACON OUTSIDE THE BUILDING ENVELOPE MUST BE SUBMITTED TO THE PLANNING BOARD FOR APPROVAL.
11. THE PROPOSED WATER SERVICE CONNECTION TO THE CITY MAIN SHALL BE MADE AS A WET TAP AND THE WATER SERVICE PIPE MATERIAL SHALL BE 4" O.D. PIPE FROM THE WET TAP TO THE ROAD SHOULDER. WHITE 4" O.D. METERS SHALL BE PLACED ON THE 4" O.D. PIPE. AFTER THE REDUCER, THE PIPE MATERIAL SHALL BE 4" O.D. HDPE.
12. THE PROPOSED WATER SERVICE CONNECTION TO THE CITY MAIN SHALL BE MADE AS A WET TAP AND THE WATER SERVICE PIPE MATERIAL SHALL BE 4" O.D. PIPE FROM THE WET TAP TO THE ROAD SHOULDER. WHITE 4" O.D. METERS SHALL BE PLACED ON THE 4" O.D. PIPE. AFTER THE REDUCER, THE PIPE MATERIAL SHALL BE 4" O.D. HDPE.
13. THE PROPOSED WATER SERVICE CONNECTION TO THE CITY MAIN SHALL BE MADE AS A WET TAP AND THE WATER SERVICE PIPE MATERIAL SHALL BE 4" O.D. PIPE FROM THE WET TAP TO THE ROAD SHOULDER. WHITE 4" O.D. METERS SHALL BE PLACED ON THE 4" O.D. PIPE. AFTER THE REDUCER, THE PIPE MATERIAL SHALL BE 4" O.D. HDPE.
14. SEE SHEET THREE FOR SIGHT DISTANCE DETAILS. THE REQUIRED SIGHT DISTANCE SHALL MEET OR EXCEED THE CITY OF BEACON REQUIREMENTS. THE REQUIRED SIGHT DISTANCE SHALL MEET OR EXCEED THE CITY OF BEACON REQUIREMENTS. THE REQUIRED SIGHT DISTANCE SHALL MEET OR EXCEED THE CITY OF BEACON REQUIREMENTS.
15. ADDITIONAL IMPROVEMENTS SHALL BE TAKEN OUT OVER THE INDIVIDUAL TREE SPACES WILL REMAIN AND BE MAINTAINED DURING THE CONSTRUCTION PERIOD. TREES WILL BE REPLANTED WITH GRASSES AND MULCH. STONE WALLS WILL BE REPAIRED TO AT A MINIMUM. ANY ADDITIONAL LANDSCAPING WILL BE DETERMINED BY THE CITY ENGINEER.
16. PARCELS TWO AND THREE EACH CONTAIN ONE (1) SINGLE FAMILY HOME OF A MINIMUM SIZE OF 2,000 SQUARE FEET AND A POTENTIAL ACCESSORY BUILDING UNDER A 4" GUEST HOUSE AND LARGER THAN 1,500 SQUARE FEET. THE GUEST HOUSE SHALL BE CONSIDERED AS A POTENTIAL GUEST HOUSE WITH A DETACHED ACCESSORY BUILDING UNDER A 4" GUEST HOUSE AND LARGER THAN 1,500 SQUARE FEET. THE GUEST HOUSE SHALL BE CONSIDERED AS A POTENTIAL GUEST HOUSE WITH A DETACHED ACCESSORY BUILDING UNDER A 4" GUEST HOUSE AND LARGER THAN 1,500 SQUARE FEET. THE GUEST HOUSE SHALL BE CONSIDERED AS A POTENTIAL GUEST HOUSE WITH A DETACHED ACCESSORY BUILDING UNDER A 4" GUEST HOUSE AND LARGER THAN 1,500 SQUARE FEET.
17. PARCELS TWO AND THREE EACH CONTAIN ONE (1) SINGLE FAMILY HOME OF A MINIMUM SIZE OF 2,000 SQUARE FEET AND A POTENTIAL ACCESSORY BUILDING UNDER A 4" GUEST HOUSE AND LARGER THAN 1,500 SQUARE FEET. THE GUEST HOUSE SHALL BE CONSIDERED AS A POTENTIAL GUEST HOUSE WITH A DETACHED ACCESSORY BUILDING UNDER A 4" GUEST HOUSE AND LARGER THAN 1,500 SQUARE FEET. THE GUEST HOUSE SHALL BE CONSIDERED AS A POTENTIAL GUEST HOUSE WITH A DETACHED ACCESSORY BUILDING UNDER A 4" GUEST HOUSE AND LARGER THAN 1,500 SQUARE FEET.
18. THE CONSTRUCTION OF THE HOUSE, ANY GUEST HOUSE AND ANY ACCESSORY STRUCTURE ON PARCELS TWO AND THREE SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE CITY OF BEACON. THE CONSTRUCTION OF THE HOUSE, ANY GUEST HOUSE AND ANY ACCESSORY STRUCTURE ON PARCELS TWO AND THREE SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE CITY OF BEACON.
19. THERE SHALL BE NO OBSTRUCTION OF THE EXISTING DRIVEWAY FOR THE ADJOINING PROPERTY OWNER ALONG SHERMAN AVENUE.
20. THE "NEW BUILDING ENVELOPE" ON THIS SUBDIVISION PLAT SHALL MEAN THE AREA WITHIN WHICH THE PROPOSED CHIMNEY (AND GUEST HOUSE, IF APPLICABLE) MUST BE LOCATED.



DCDOH APPROVAL BLOCK
RECOMMENDED FOR APPROVAL BY:

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____ BY _____

_____ CHAIRMAN
_____ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

SUPERVISING PUBLIC HEALTH ENGINEER

OWNER'S CONSENT:
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREBY STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGEND, AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREIN.

ROONEY WEBER DATE _____

REV.	DATE	DESCRIPTION
6	11/24/14	Parcel 1 Envelope, Sight Distances, Notes
5	10/27/14	Parcel 1 Setbacks, Notes, Planning Board Comments
4	9/29/14	Parcel 1 Lot Lines, Planning Board Comments
3	9/2/14	Added B&D labels
2	8/25/14	Added Profile Sheet, Mapping to Sargent Ave, General Revisions
1	7/29/14	Planning Board Comments, new street and water service.

TEC LAND SURVEYING
156 TIONANDA AVE. BEACON, NY 12508
PH: 845.445.6590 FX: 845.445.6599

OWNER
ROSENTH ESTATES LLC
PO Box 888
Beacon, NY 12508

ENGINEER
Thomas E. Cerofarina, P.L.S.
174 Main Street
Beacon, NY 12508

ROSENTH ESTATES
RE-SUBDIVISION PLAT OF ROSENTH ESTATES SUBDIVISION PLAT
CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

THOMAS E. CEROFARINA, P.L.S.
P.L.S. No. 50732

REV.	DATE	DESCRIPTION
1	11/24/14	Parcel 1 Envelope, Sight Distances, Notes

SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTM GPS.

FILED MAP REFERENCE

Survey shown hereon depicts lot 2 as shown on a map entitled "Re-Subdivision Plat of Roseneth Estates" prepared by TEC Land Surveying PC and filed in the Dutchess County Clerks office on July 13, 2015 as Map No. 11720A.

Map entitled "Roseneth Estates" prepared by Peter R. Hustis, P.C. and filed in the Dutchess County Clerks office on September 2, 2004 as Map No. 11720.

DEED REFERENCE

Document No. 02-2014-486
City of Beacon
Conveyed To
Roseneth Estates LLC
On January 10, 2014

TAX PARCEL NUMBER

City of Beacon, Dutchess County, New York
130200-5954-50-742549-0000

AREA

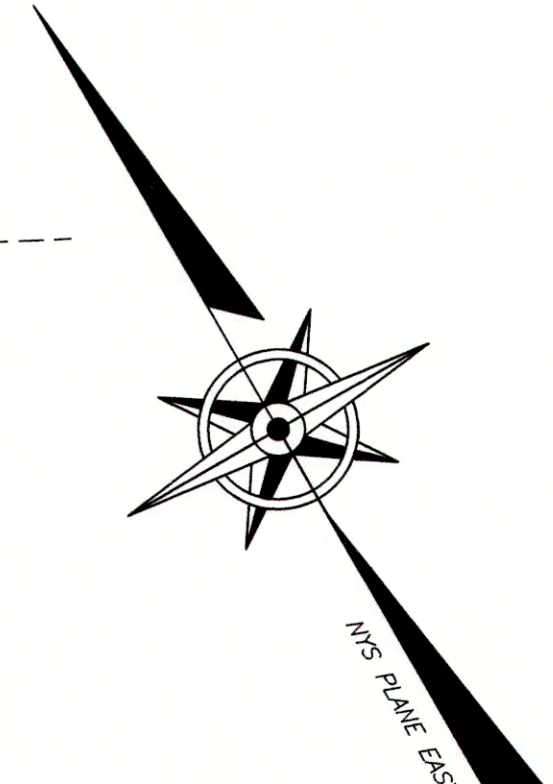
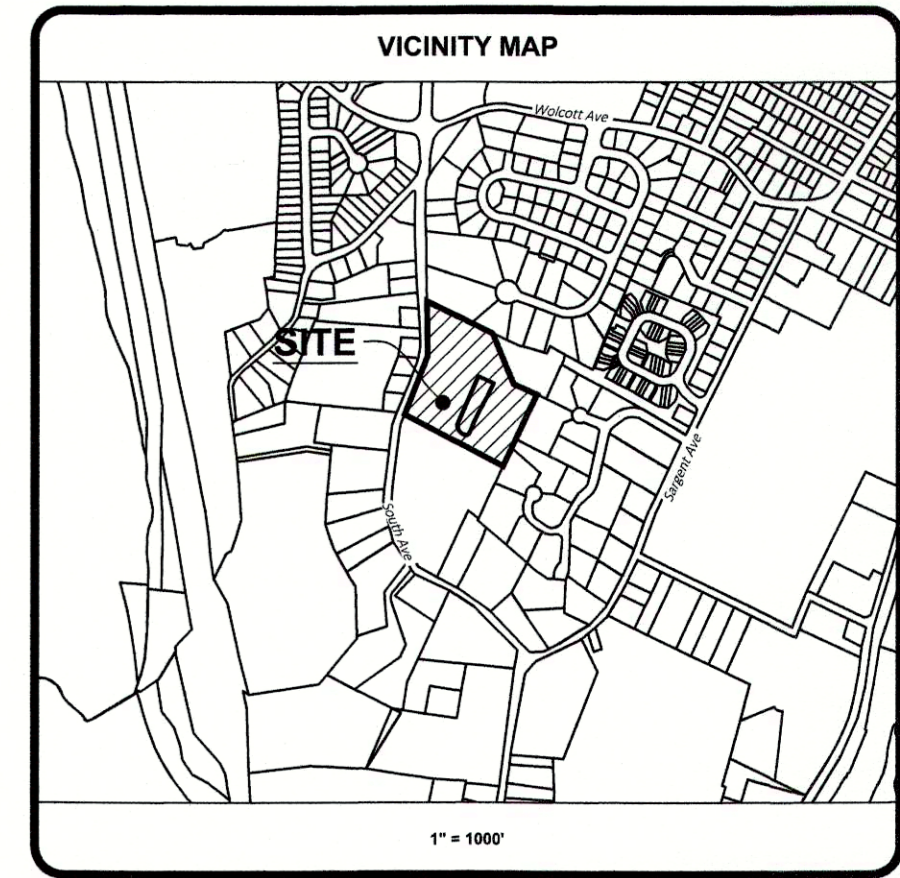
319,113 Square Feet
7.326 Acres

CERTIFICATIONS

Roseneth Estates, LLC
Rodney Weber
Priscilla Voelker

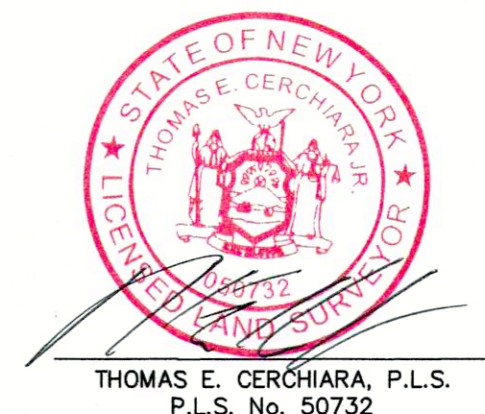
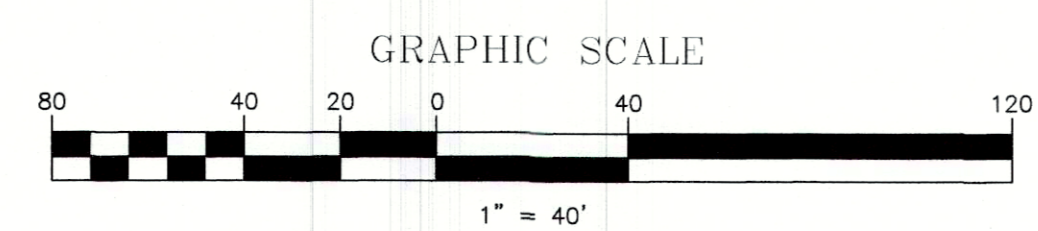
DATE OF SURVEY

Field Completion: 01/30/2018



rev.	date	description

TEC LAND SURVEYING
150 TIORONDA AVE. BEACON, NY 12508
PH: 845.445.6590 FX: 845.445.6591



ROSENEETH ESTATES
**ASBUILT SURVEY
PREPARED OF
130 SOUTH AVE**
CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id	742549
address	130 SOUTH AVE
date	03/21/2018
scale	1" = 20'
project no.	14-009
project name	ROSENEETH ESTATES
sheet	1 OF 1

City of Beacon Planning Board
4/10/2018

Title:

West End Lofts - Wolcott Avenue

Subject:

Review of West End Lofts retaining wall and public pathway signage

Background:

ATTACHMENTS:

Description	Type
West End Lofts Cover Letter	Cover Memo/Letter
West End Lofts Retaining Wall Elevations	Plans
West End Lofts Retaining Wall Details	Plans
West End Lofts Layout & Landscape	Plans



March 28, 2018

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Plaza, Suite 1
Beacon, New York 12508

RE: West End Lofts
Wolcott Avenue
Tax Map No. 5954-26-688931

Dear Chairman Gunn and Members of the Board:

Enclosed please find five (5) copies of the following in support of the above referenced project:

- Drawing SP-1, "Layout and Landscape Plan", dated March 21, 2018.
- Drawing D-6, "Details", dated March 21, 2018.
- Retaining Wall Rendering, dated March 27, 2018.
- Redi-Rock: Limestone Pamphlet.
- Example Picture of Installed Limestone Redi-Rock Wall.

Also enclosed is a CD containing the above materials.

The site plans were previously submitted to the City Consultants concerning the pathway signage and the retaining wall. Drawing SP-1 illustrates three additional signs depicting the pathway as requested. The retaining wall rendering has been provided to illustrate the intended constructed look of the retaining wall facing City Hall. An example of the wall material is provided for review.

We respectfully request this project be placed on the April 10, 2018 Planning Board meeting for review of the provided information and consideration of approval. Should you have any questions or comments regarding the above information, please do not hesitate to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/jll

Enclosures

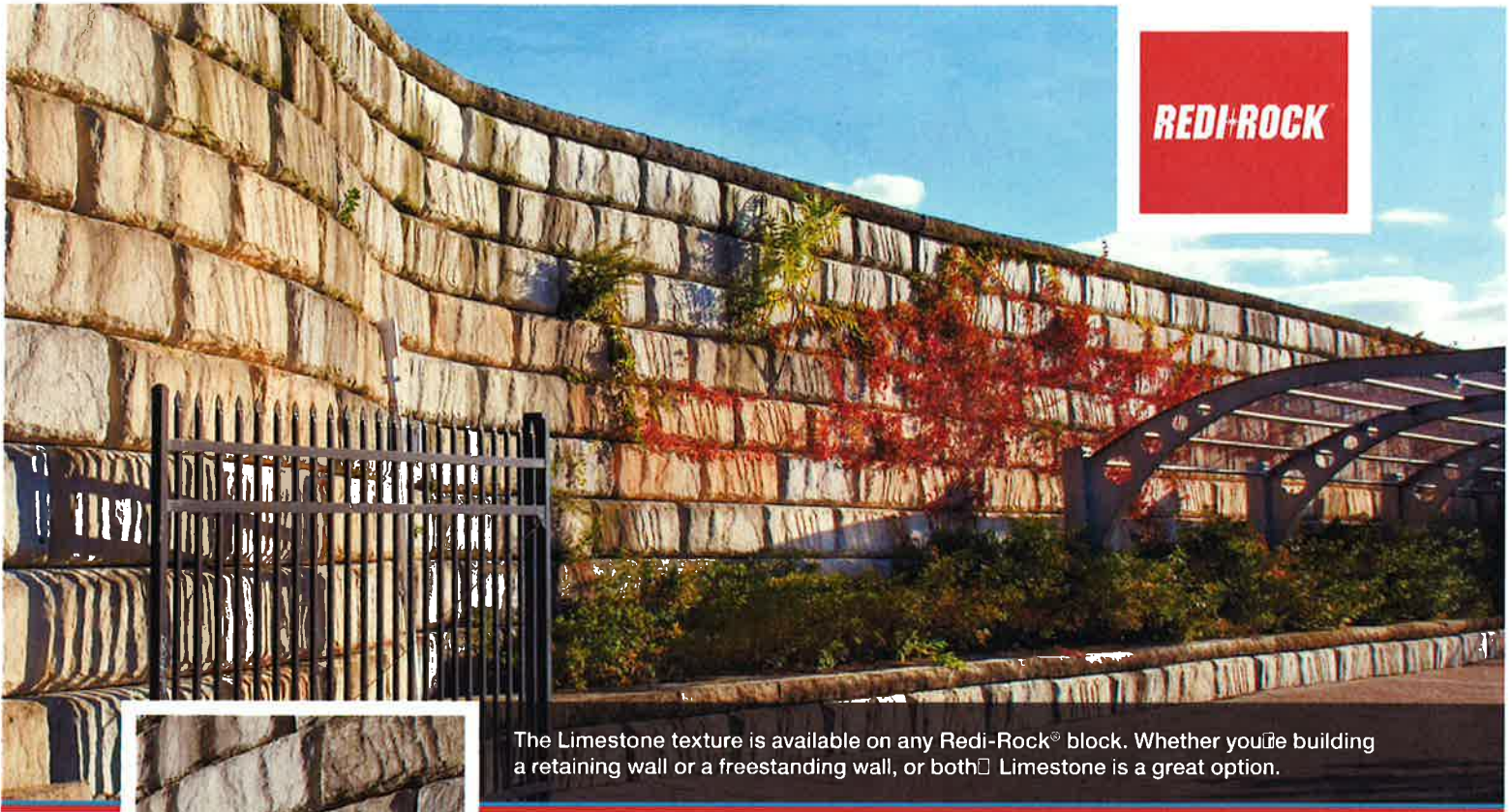
cc: Ken Kearney
Sean Kearney
AJ Coppola, R.A.

Insite File No. 16226.100

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com



REDI-ROCK



The Limestone texture is available on any Redi-Rock® block. Whether you're building a retaining wall or a freestanding wall, or both, Limestone is a great option.



REDI-ROCK TEXTURE:

LIMESTONE



Legos. You probably loved them as a kid. We still love them, which is why we created these one-ton Redi-Rock blocks that lock together using a knob and groove system, just like stacking Lego blocks. Now, who wouldn't want a giant block wall on their project?

The design of Redi-Rock blocks goes beyond function, though. These blocks also look great.

Redi-Rock Limestone blocks have a natural split limestone texture that beautifully mimics real quarried stone. These large-scale block faces are perfect for commercial and residential projects or anything in between!



Limestone Block Specifications

- Quarried stone texture
- 5.75 square feet (0.5 square meters) of face
- Four unique faces to give walls a random aesthetic
- Approximately 23 square feet (2 square meters) of non-repeating texture available
- Wet-cast concrete gives a greater level of detail and durability

Regional colors and coordinating accessories are available. Contact your local Redi-Rock retailer or visit redi-rock.com to learn more about the Redi-Rock Limestone face today!



Redi-Rock PC Ocean Marina Wall Withstands Worst Storm in Years

The Challenge

In 2012, the City of Rhyl, North Wales launched a massive renovation project. The goal? Transforming the river's edge. This area is subject to large tides and even greater fluctuations in water elevations during storms. To protect the site, designers required a retaining wall solution that could meet the complex structural requirements of the site while providing a scenic park route for pedestrians and cyclists.

The Solution

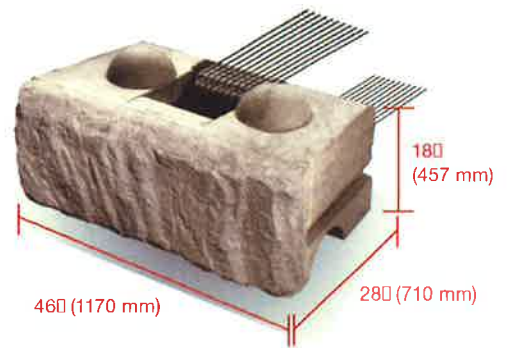
Designers for the project chose the Redi-Rock Positive Connection (PC) System to create the harbour wall that stands 7.4 meters (24.3 feet) high and stretches

188 lineal meters (617 feet). Produced locally by Redi-Rock manufacturer CPM Group, the Redi-Rock PC walls were able to meet the structural requirements of the site as well as provide an aesthetic Limestone finish at a lower cost than other options.

During the 2013-2014 winter season, the new harbour sea wall was put to the test. For days, a storm battered the United Kingdom and caused a 60-year high tidal surge. January wave heights were close to 100-year level.

While this record-setting storm caused damage to many other structures in the area, designers were happy to see that the harbour wall performed exactly as engineered.

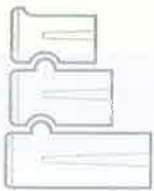
The city was so impressed with how the Redi-Rock wall performed during the storm, they added an additional 1 kilometer (3,280 feet) stretch of Redi-Rock walls.



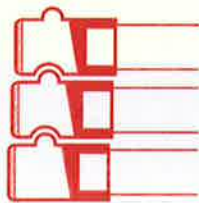
5.75 square feet of face - 1520 pounds
(0.5 square meters of face - 690 kilograms)

Project: Foryd Harbour Enhancement Project **Wall Design:** Groundsolve Ltd Geotechnical Consultants in conjunction with CPM Group **Block Manufacturer:** CPM Group **Project Management:** Denbighshire County Council **General Contractor:** Dawnus Construction **Location:** Rhyl, North Wales, United Kingdom **Completed:** 2013

Your Complete Wall Solution Each block in the Redi-Rock system is available in any texture and can coordinate in the same wall, giving you the flexibility you need.



Gravity Walls

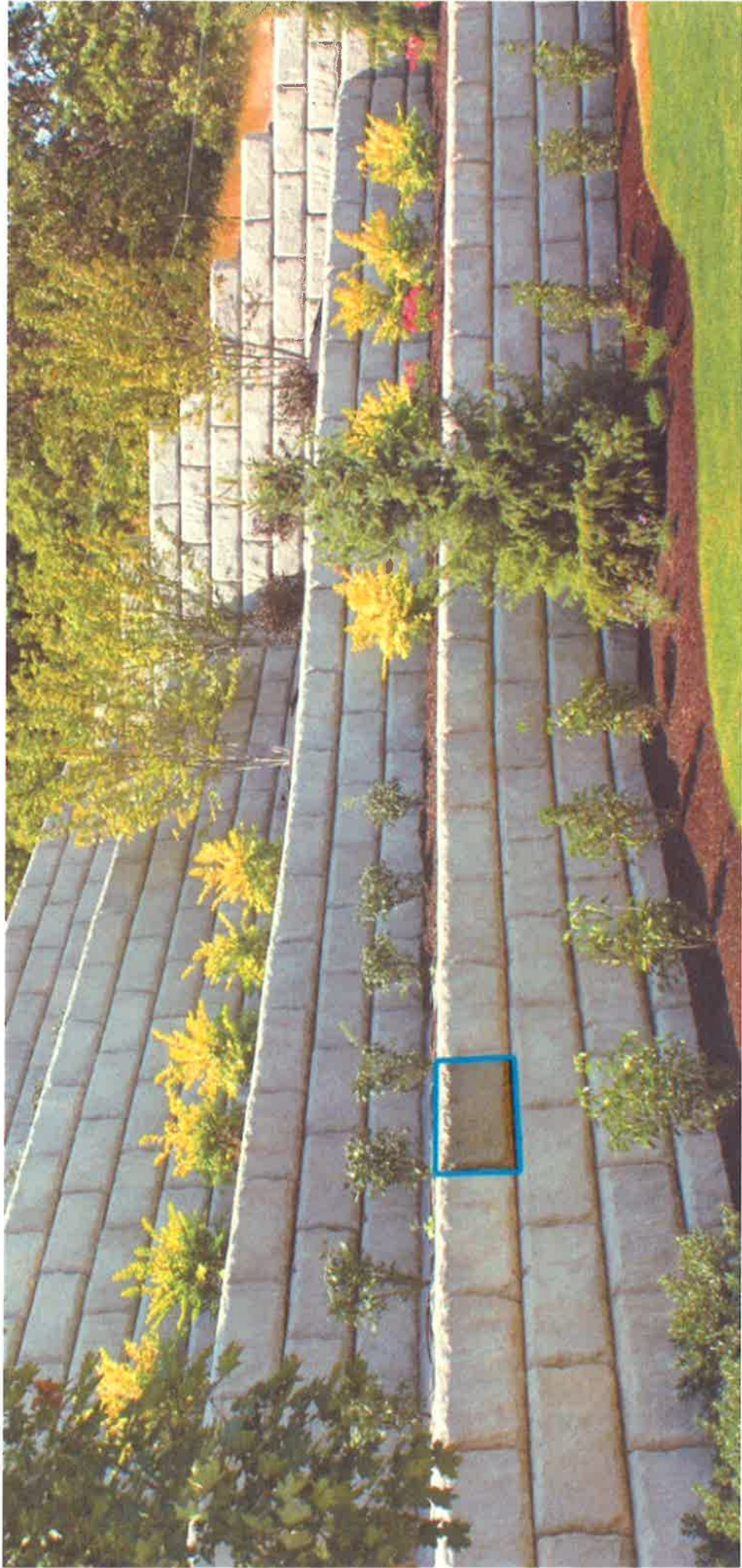


MSE Walls
(shown above)

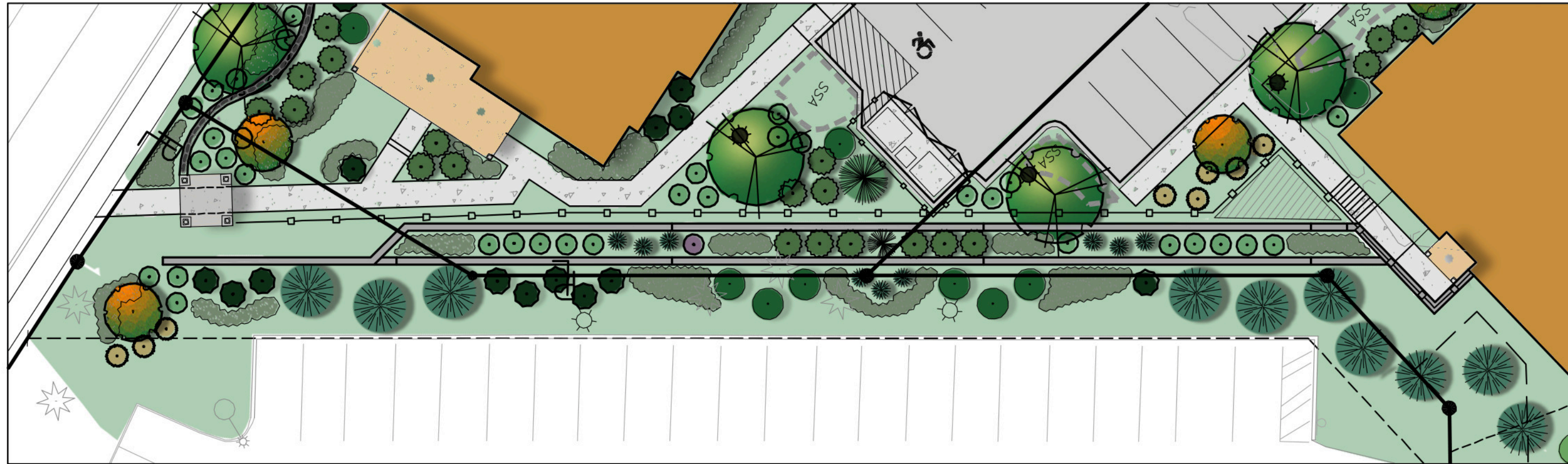


Freestanding Walls

See redi-rock.com for additional products and accessories.



EXAMPLE PICTURE OF INSTALLED LIMESTONE REDI-ROCK WALL



ENLARGED RETAINING WALL LANDSCAPE PLAN

SCALE: 1" = 20'

NOTE: REFER TO DRAWING SP-1 FOR PLANT SPECIES, NUMBER AND SIZE.



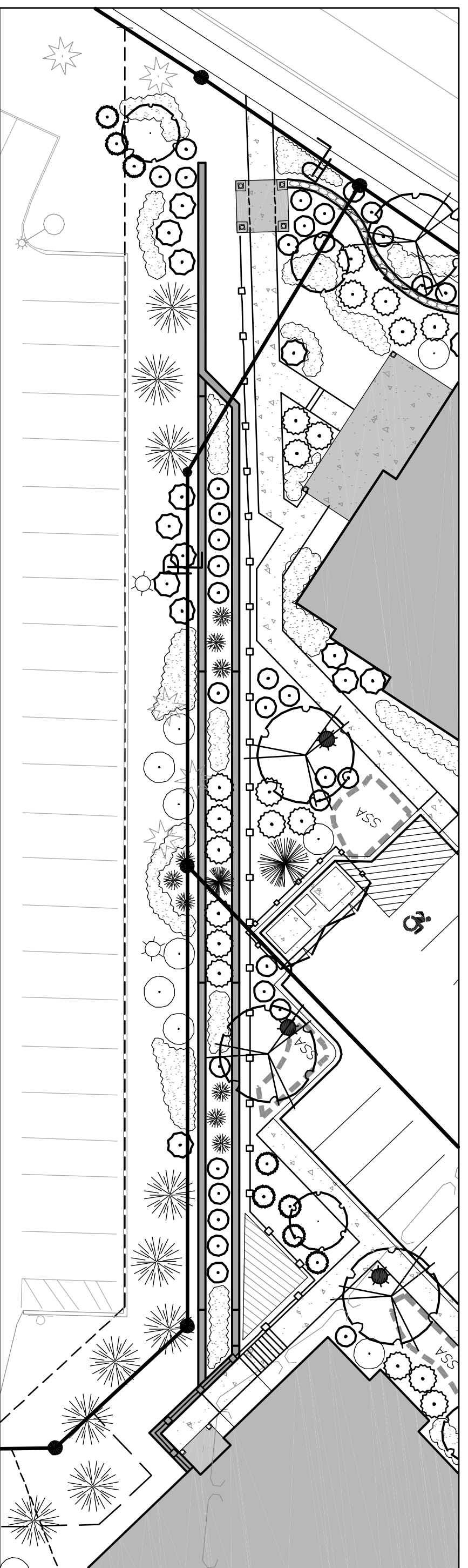
**PROPOSED RETAINING WALL #1
ELEVATION LOOKING SOUTH WITH LANDSCAPING**

SCALE: 1" = 20' HORIZ.
1" = 10' VERT.

RETAINING WALL RENDERING

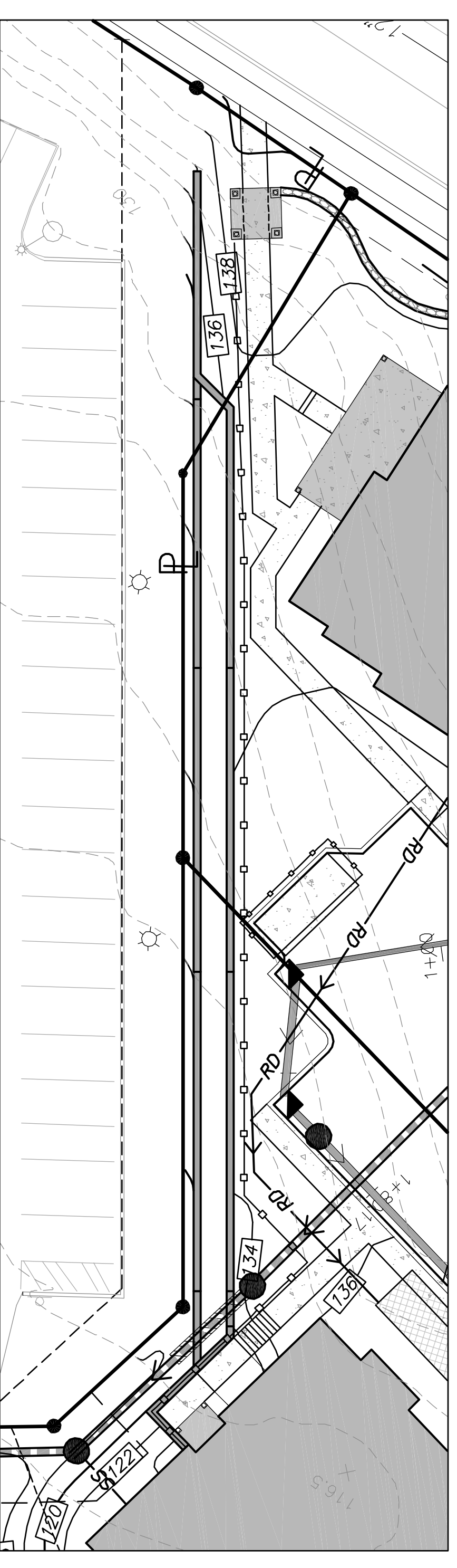
WEST END LOFTS

MARCH 27, 2018



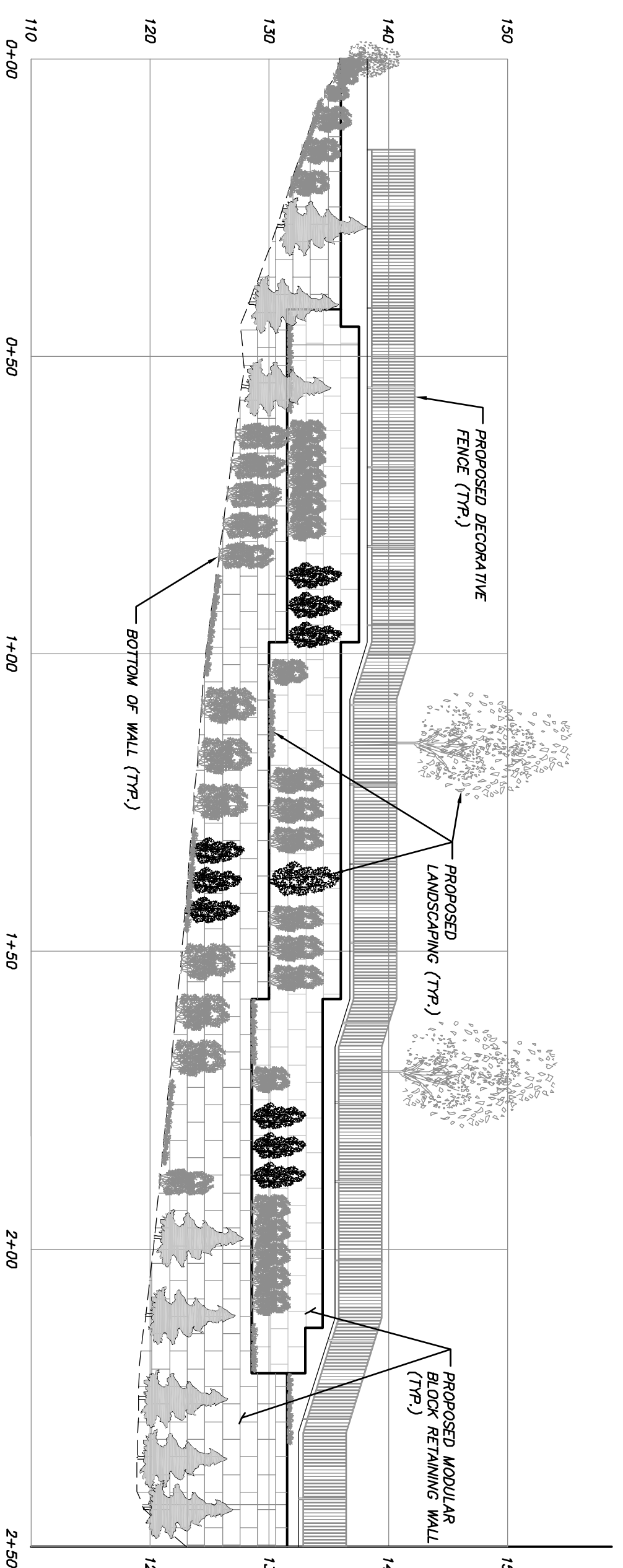
ENLARGED RETAINING WALL LANDSCAPE PLAN
SCALE: 1" = 20'

NOTE: REFER TO DRAWING SP-1 FOR PLANT SPECIES, NUMBER AND SIZE.

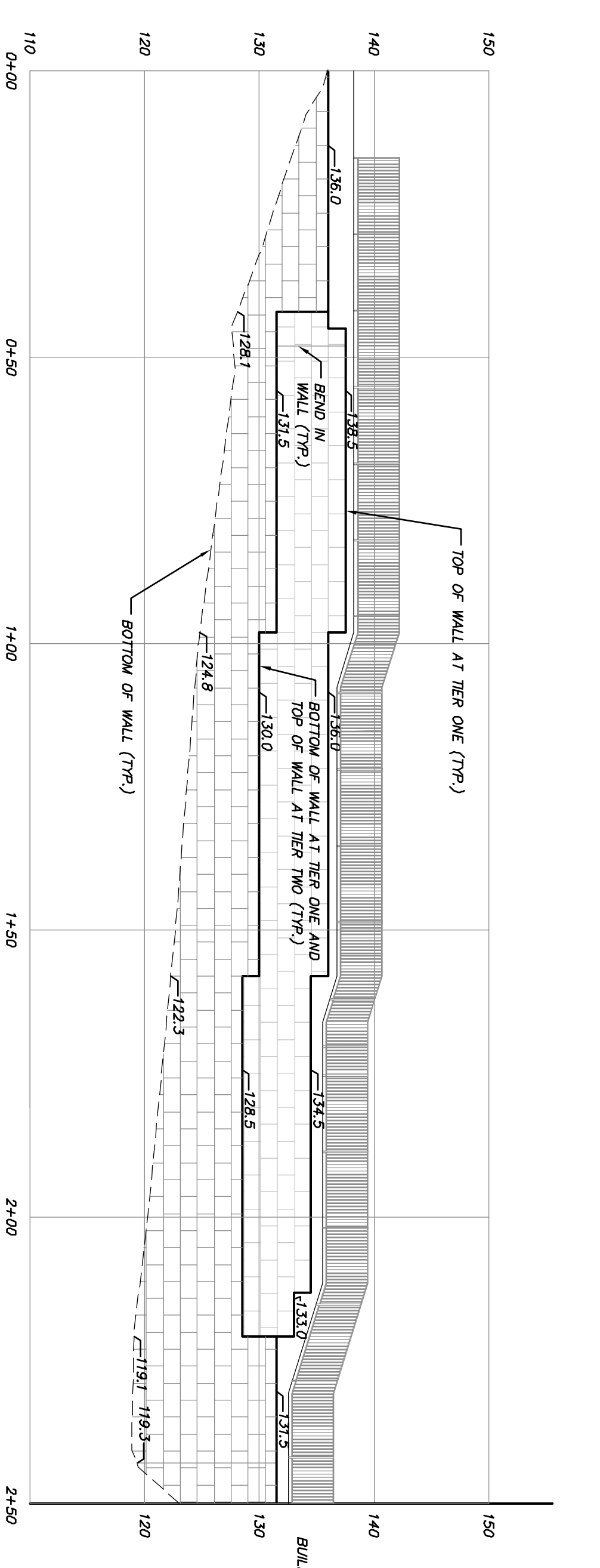


ENLARGED RETAINING WALL GRADING PLAN
SCALE: 1" = 20'

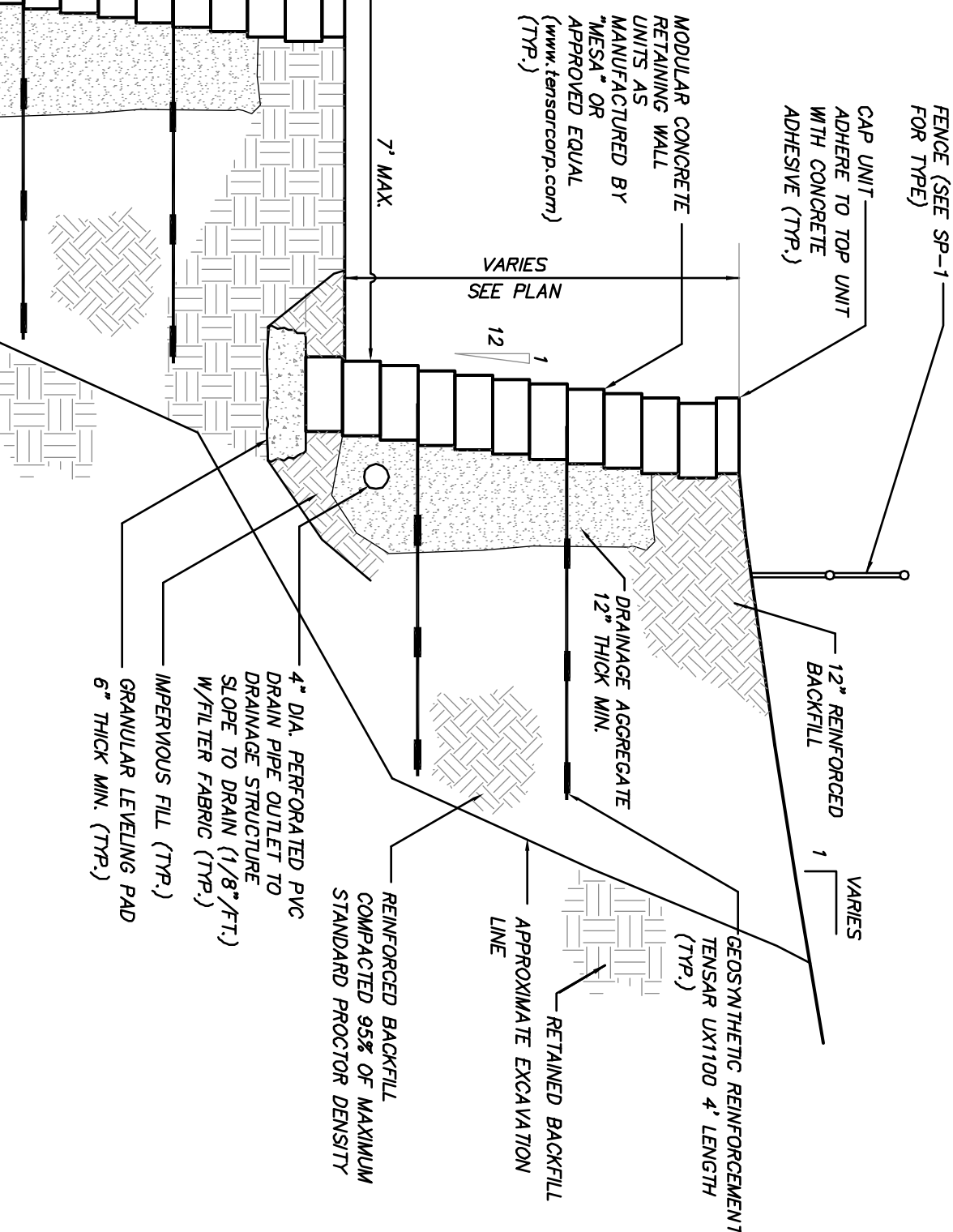
NOTE: REFER TO DRAWING SP-2.1 AND SP-2.2 FOR INFORMATION ON GRADING AND UTILITIES.



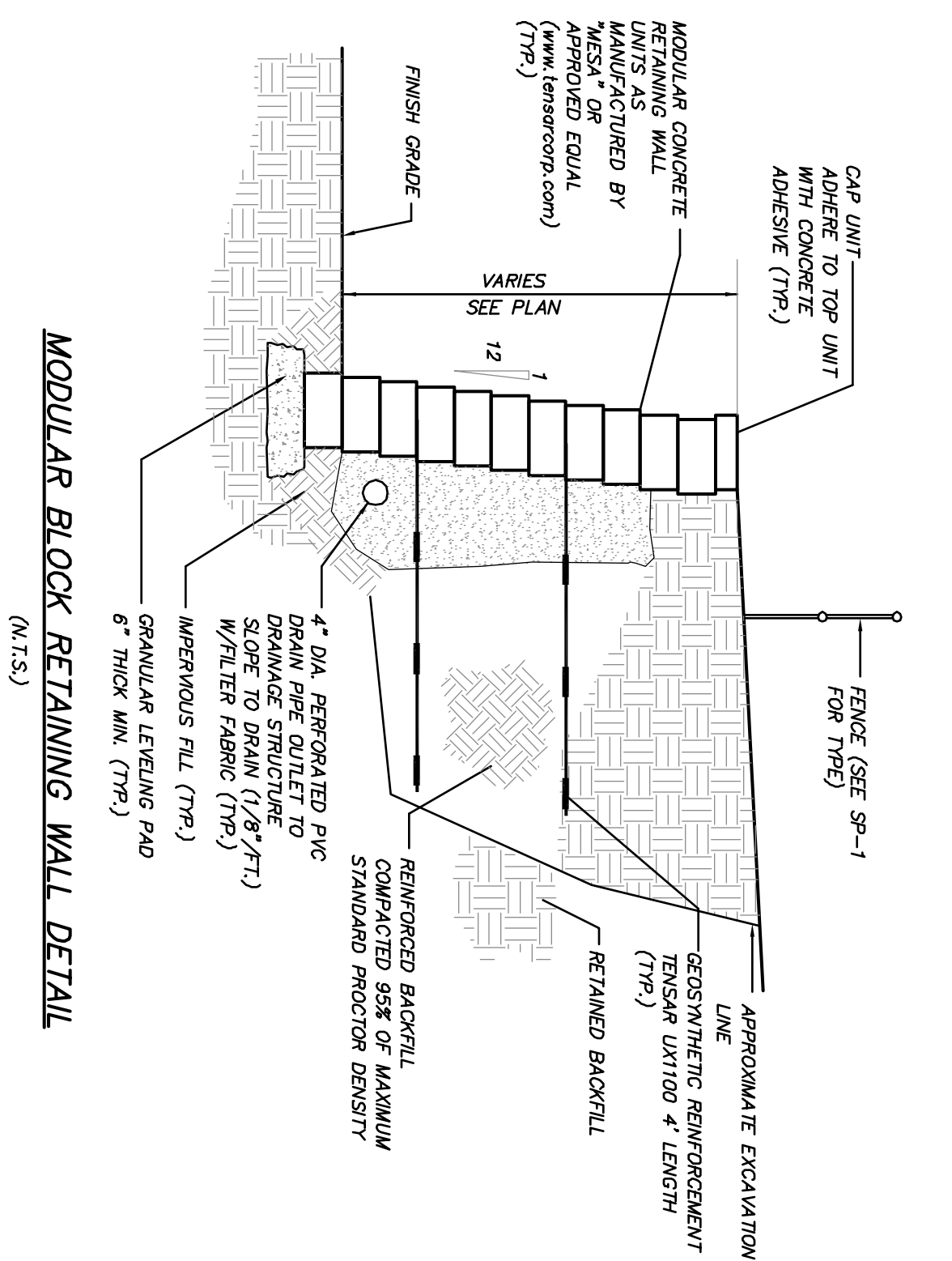
PROPOSED RETAINING WALL #1
ELEVATION LOOKING SOUTH WITH LANDSCAPING
SCALE: 1" = 20' HORIZ
SCALE: 1" = 10' VERT



PROPOSED RETAINING WALL #1
ELEVATION LOOKING SOUTH WITH WALL ELEVATIONS
SCALE: 1" = 20' HORIZ
SCALE: 1" = 10' VERT



- NOTES:**
1. STRIP VEGETATION AND GRASSING SOIL FROM WALL AND GEO-SYNTHETIC ALIGNMENT.
 2. STRIP VEGETATION AND GRASSING SOIL FROM WALL AND GEO-SYNTHETIC ALIGNMENT.
 3. DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE ENGINEER TO REMOVE UNSUITABLE SOIL.
 4. GEOTECHNICAL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
 5. RETAINING PAD SHALL CONSIST OF COMPACTED COARSE SAND OR GRUSHED SAND.
 6. CONTRACTOR MAY OPT FOR A LEAN CONCRETE PAD. CONCRETE PAD SHALL BE UNREINFORCED, 3" THICK MAXIMUM.
 7. MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 6" AT THE SAME TIME FOR UNITS TO BE EMBEDDED. COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME.
 8. DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINAL GRADE IN FRONT OF WALL.
 9. DRAINAGE AGGREGATE SHALL BE 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698).
 10. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE 1 PER 100 LINEAR FEET OF WALL.
 11. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE 1 PER 100 LINEAR FEET OF WALL.
 12. COMPACTION WITHIN 3 FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
 13. GEO-SYNTHETIC SHALL BE PLACED WITH STRONGEST DIRECTION PERPENDICULAR TO WALL. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 14. UNDER CONSTRUCTION SURFACE RANGE TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION.
 15. ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TIER SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
 16. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 17. MODULAR BLOCK RETAINING WALL AT STEPS TO BE INSTALLED VERTICALLY.
 18. MODULAR BLOCK RETAINING WALL MANUFACTURER TO SUPPLY A STRUCTURAL REPORT AND CONSTRUCTION DETAILS OF EACH WALL SIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF NEW YORK.

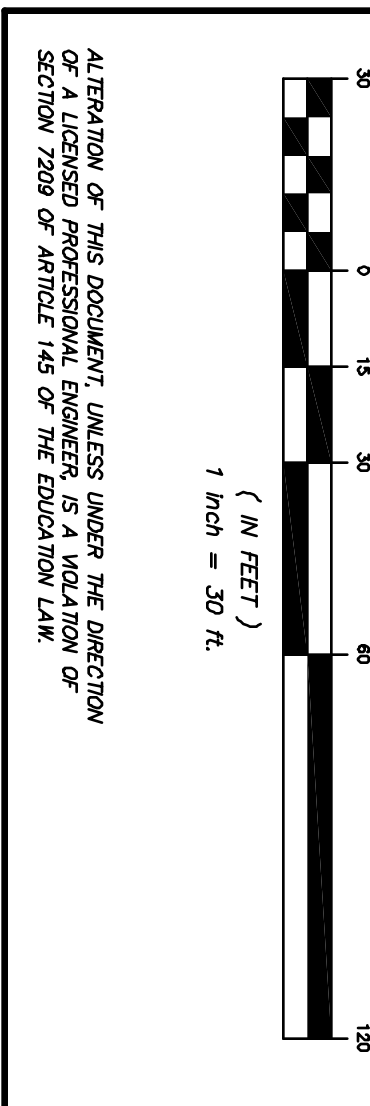
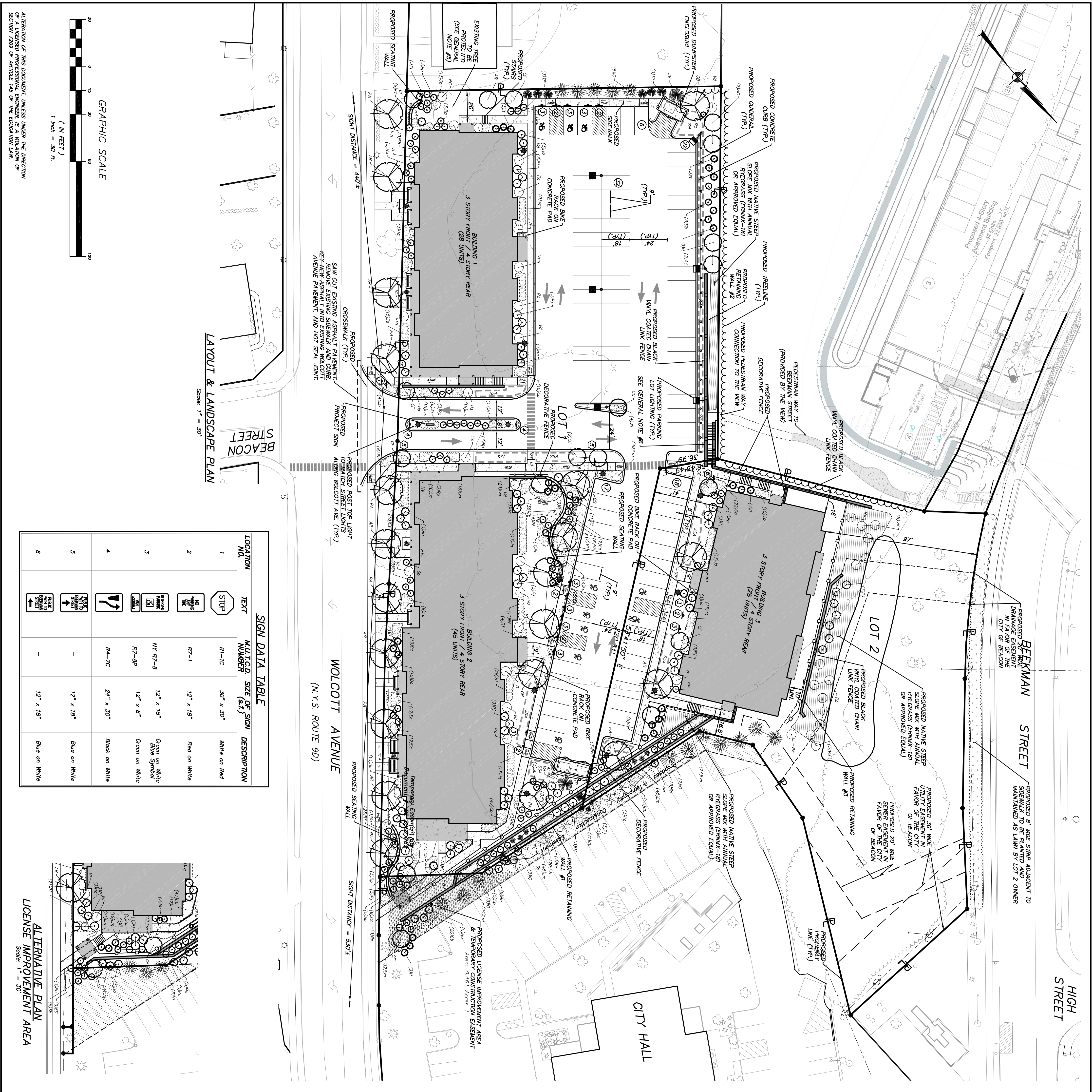


NO.	DATE	REVISIONS PER DTY CONSULTANT AND DC DECH COMMENTS	ISSUED FOR FINAL APPROVAL	BY
2	3-21-18			
1	1-30-18			
1	10-25-16			

PROJECT: WEST END LOFTS
DRAWING: DETAILS

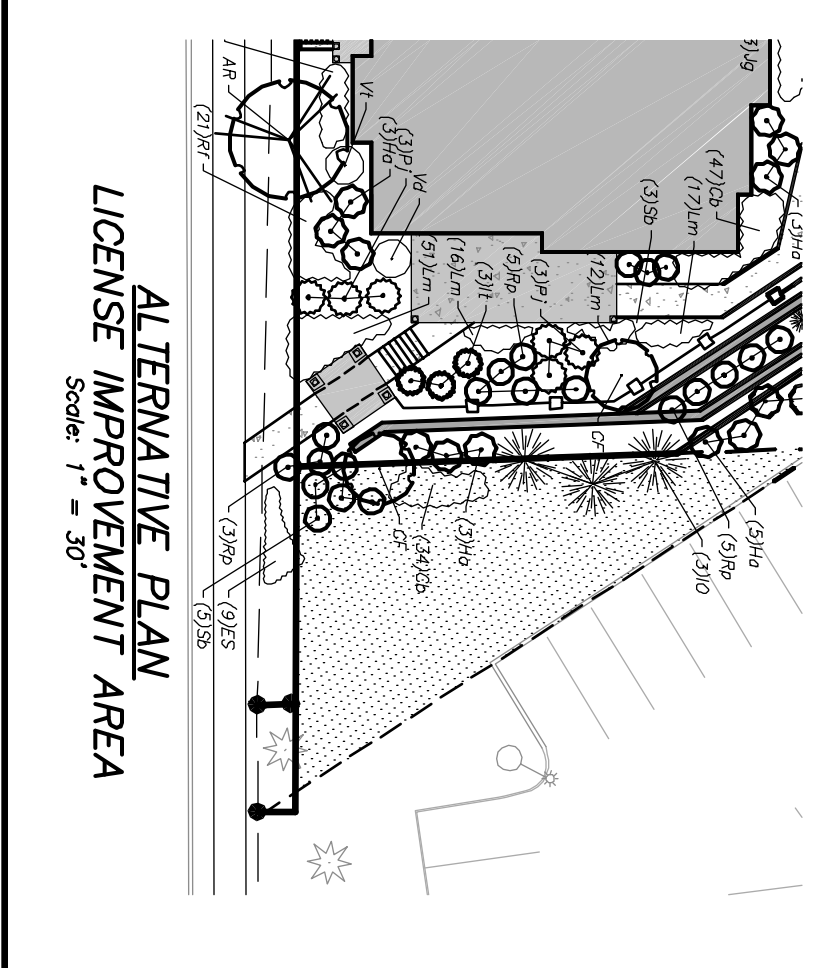
INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Garrett, NY 14802
(849) 225-9177 fax
www.insite-ny.com

PROJECT NUMBER	PROJECT MANAGER	J.L.C.	DRAWING NO.	SHEET
16226.100			D-6	15
DATE	DRAWN BY	C.T.O.		16
10-25-16				
SCALE	AS SHOWN	BY		



SIGN DATA TABLE

LOCATION NO.	TEXT	M.U.C.D. NUMBER	SIZE OF SIGN (S.F.)	DESCRIPTION
1	STOP	R1-1C	30" x 30"	White on Red
2	NO PARKING	R7-1	12" x 18"	Red on White
3	NO PARKING	NY R7-6	12" x 18"	Green on White Blue Symbol
4	NO PARKING	R7-8P	12" x 6"	Green on White
5	NO PARKING	R4-7C	24" x 30"	Black on White
6	NO PARKING	-	12" x 18"	Blue on White



GENERAL NOTES:

1. All existing structures shown herein become full with snow, the owner/generator shall remove access snow from the site to ensure all on-site parking is available for residents.
2. All landscaping proposed within the Route 9 right-of-way shall be maintained by the project owner.
3. Refer to General Notes on Drawing EX-1 for additional information.
4. Tree removal shall take place between October 31st and March 31st during the cold dormancy period to avoid the removal of trees being struck by the wind.
5. Existing 42" oak located in the southeast corner of the property adjacent to the existing building shall be preserved. The tree shall be protected per the arborist's recommendation. If the tree is found to be dead or dying, the contractor shall remove it and replace it with a tree of similar size and species. The tree shall be planted in the event the tree is removed. A large tree shall be planted in its place. All measures shall be taken during construction to protect the tree.
6. Proposed temporary construction access and final connection to the view to be coordinated with the owners of the view prior to construction.
7. The Proposed Concrete Blue Spruce (Picea pungens, 8'-9" H.), with recorded dedication plaque and exterior electrical outlet, will be relocated onto City property in consultation with the family who own the tree.

PLANT LIST

QTY:	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
10	AR	SHADE TREES Acer rubrum / Red Maple	3"-3 1/2" CAL.	B & B
4	GB	Ginkgo biloba / Ginkgo	3"-3 1/2" CAL.	B & B
8	PA	Platanus occidentalis 'Bloodgood' / London Planetree	3"-3 1/2" CAL.	B & B
2	JV	JUNIPER TREES Juniperus virginiana / Eastern Redcedar	7"-8" HT.	B & B
10	IC	Ilex cornuta 'Sky Pencil' / Sky Pencil Japanese Holly	4"-5" HT.	B & B
15	IO	Ilex opaca / American Holly	7"-8" HT.	B & B
7	TP	Thuja plicata / Western Arborvitae	6"-7" HT.	B & B
5	AC	ELMORBITAL/SPECIMEN TREES Amenother canadensis / Strawbowl Serviceberry	10"-12" HT.	B & B
3	CC	Cercis canadensis / Eastern Redbud	2"-2 1/2" CAL.	B & B
9	CF	Cornus florida / White Flowering Dogwood	2"-2 1/2" CAL.	B & B
44	Ha	SHRUBS Hydrangea arborescens / Smooth Hydrangea	21"-24" HT.	#3 CONT.
7	Hs	Hibiscus syriacus / Rose of Sharon	3"-4" HT.	B & B
30	I	Ilex virginica 'Henry's Garnet' / Sweetstair	15"-18" SRP.	#2 CONT.
40	Pj	Pieris japonica / Japanese Andromeda	24"-30" HT.	#2 CONT.
16	Rc	Rhododendron canadense / Carolina Rhododendron	30"-38" HT.	#3 CONT.
49	Rp	Rhododendron x 'PJM' / PJM Rhododendron	18"-24" SRP.	#3 CONT.
40	SS	Spiraea tomentosa / Double-flowered Spiraea	18"-24" SRP.	#2 CONT.
18	Vd	Viburnum trilobum / Viburnum	2"-3" HT.	#2 CONT.
12	Vl	Viburnum trilobum 'Compactum' / Compact American Oakley	3"-4" HT.	#3 CONT.
258	Cb	BERBERIS/SPREADERS/GRASSES Cornus canadensis / Bunchberry	4" FOOT	#1 CONT.
44	Dc	Desmodium illinoense / Turf Top Grass	24" O.C.	24" O.C.
76	Dg	Elymus hystrix / Turf Top Grass	24" O.C.	24" O.C.
58	Jh	Juniperus horizontalis 'Blue Harbor' / Blue Harbor Juniper	15"-18" SRP.	#2 CONT.
58	Jb	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	15"-18" SRP.	#2 CONT.
237	Lm	Liriodendron tulipifera 'Vanguard' / Vanguard Liriodendron	18" O.C.	18" O.C.
237	Rt	Rudbeckia hirta 'Goldstrum' / Black-eyed Susan	24" O.C.	24" O.C.

LINKAGE DISTRICT REQUIREMENTS:

Setbacks	PROVIDED
Min./Max. Front:	0 ft. Min. / 20 ft. Max.
Min. Rear:	25 ft.
Min./Max. Side:	0 ft. Min. / 30 ft. Max.
Min./Max. Building Height:	2 Stories Min. / 4 Stories Max.
Min. Landscape Area:	15% 40%

PARKING REQUIREMENTS:

- = 98 spaces Required
- = 95 Spaces Provided *

* Where granted based on proximity to train station & Main Street area.

West End Lofts, Beacon, NY - Unit Breakdown

Building #	1 Br Apartment	2 Br Apartment	Totals
743 s.f.	741 s.f.	969 s.f.	
1	0	14	28
2	3	28	45
3	0	11	23
TOTALS	3	53	98
Total Area	2239	9973	44088
			82,280

WEST END LOFTS

WOLCOTT AVENUE, BEACON, NEW YORK 12508

LAYOUT & LANDSCAPE PLAN

PROJECT: 16226, 100
DATE: 10-25-16
SCALE: AS SHOWN

PROJECT MANAGER: J.L.C.
DRAWN BY: C.T.O.
CHECKED BY: J.L.L.

DRAWING NO. SP-1

SHEET 3 OF 16

INSITE

ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Beacon, NY 12508
(845) 225-9177 fax
www.insite-ny.com

ISSUED FOR FINAL APPROVAL

NO.	DATE	REVISIONS	FOR PLANNING BOARD SUBMISSION	REVISION	BY
11	3-21-18	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
10	1-30-18	REVISIONS PER CITY CONSULTANT AND DC BOB COMMENTS	MEU	EP	
9	1-5-18	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
8	8-29-17	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
7	7-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
6	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
5	6-12-17	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
4	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	MEU	EP	
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION	MEU	EP	

City of Beacon Planning Board
4/10/2018

Title:

Review Local Law

Subject:

City Council request to review proposed Local law to amend Chapter 223 concerning calculation of Lot Area per Dwelling Unit – R1, RD, and FCDD Districts

Background:

ATTACHMENTS:

Description	Type
Proposed Local Law	Local Law

DRAFT LOCAL LAW NO. ____ OF 2018

**CITY COUNCIL
CITY OF BEACON**

**PROPOSED LOCAL LAW TO AMEND
CHAPTER 223 OF THE CODE OF THE
CITY OF BEACON**

A LOCAL LAW to amend Chapter 223, concerning calculation of the Lot Area per Dwelling Unit in the R1, RD, and Fishkill Creek Development Districts.

BE IT ENACTED by the City Council of the City of Beacon as follows:

Section 1. Chapter 223, Attachment 1 of the Code of the City of Beacon entitled “§ 223-17C, Schedule of Regulations For Residential Districts” is hereby amended to add the following footnote “q” after “Lot Area per Dwelling Unit” and in the attached “Notes” list:

q. For all R1, RD, and Fishkill Creek Development zoning districts involving a parcel over 3 acres, the lot area per dwelling unit calculation shall first deduct any lot area covered by surface water, within a federal regulatory floodway, within a state or federally regulated wetland, or within an area of very steep slopes of 25 percent or more as defined in § 223-63.

Section 2. Chapter 223 of the City Code, Article IVC entitled “Fishkill Creek Development District” § 223-41.14B is hereby amended as follows:

B. Development Potential. Maximum number of dwelling units per acre of lot area, after deducting on all parcels over three acres any lot area with very steep slopes ~~over 20% of 25 percent or more as defined in § 223-63~~, covered by surface water, within a federal regulatory floodway, or within a state or federally regulated wetland: 11. Additionally, a minimum of 25 percent of the total development’s floor area shall be permitted nonresidential uses other than dwelling units or artist live/work spaces, which must be built out before or concurrently with the residential development of the site. Less nonresidential square footage may be granted by the City Council for the voluntary and guaranteed inclusion in the project of desirable environmental, transportation, or other substantial public benefits which would not otherwise be required of the project, as determined at the sole discretion of the City Council as part of the concept plan approval.

Section 3. Chapter 223 of the City Code, Article VI entitled “§ 223-63, Definitions” is hereby amended as follows:

VERY STEEP SLOPE

An area of land with a gradient of 25% or more extending over a contiguous land area of at least 10,000 square feet ~~horizontal length of at least 100 feet and extending over a horizontal width of at least 100 feet.~~ [Added 3-1-2004 by L.L. No. 2-2004]

Section 4. Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

Section 5. Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

Section 6. Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

City of Beacon Planning Board
4/10/2018

Title:

183 Main Street

Subject:

Certificate of Appropriateness – 183 Main Street; change façade colors

Background:

ATTACHMENTS:

Description	Type
183 Main Street - Photo	Backup Material
183 Main Street Application	Application
183 Main Street Elevation	Backup Material

LUXE OPTIQUE
FINE EYEWEAR

LUXE OPTIQUE
FINE EYEWEAR

EYE EXAMS

EYE EXAMS 845 838-2020

EYE EXAMS 845 838-2020



DITA
PRECISION, QUALITY, AND CONSCIENCE
EST. 1999



THOM BROWNE.
NEW YORK

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: March 27, 2018

Project Address: 183 Main Street

Project Architect/Engineer: Laurie Riehle

Owner/Builder: Same

Contact Phone No.: 838-2020

Approval Requested: Certificate of Appropriateness New Single Family House

Color/Materials: Change facade color

Siding: Black to replace brown

Roofing: N/A

Windows: Color: _____ Type: _____

Trim: Gray (lower pockets)

Garage Door: _____

Stone/Brick: _____



Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied

(Date)

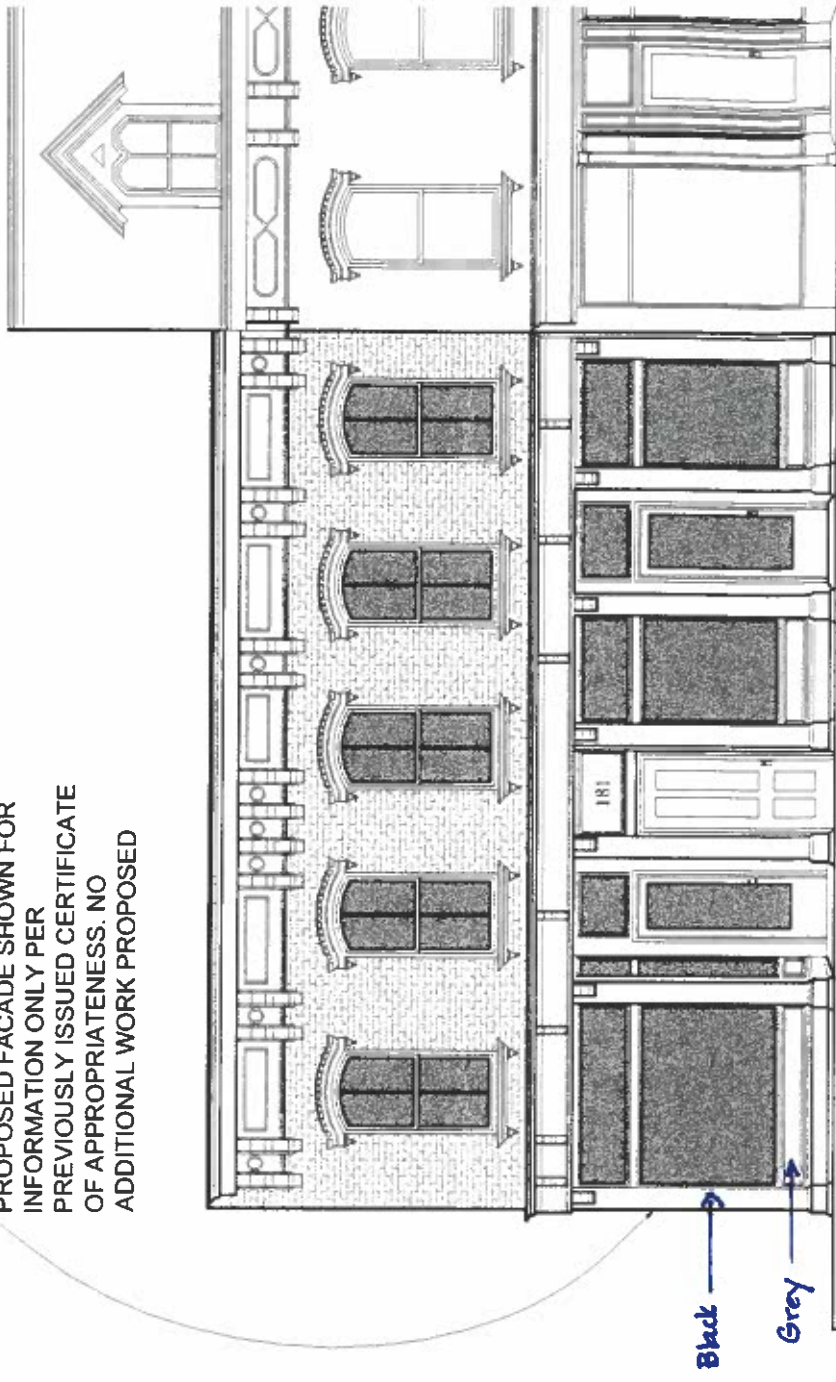
Plan Approved

(Date)

Subject to the following:

FEE: \$100.00

PROPOSED FACADE SHOWN FOR
INFORMATION ONLY PER
PREVIOUSLY ISSUED CERTIFICATE
OF APPROPRIATENESS. NO
ADDITIONAL WORK PROPOSED



Elevation: 181 - 183 Main Street

Scale: $\frac{1}{8}'' = 1'-0''$

INSTALL 36" WIDE GATE IN

City of Beacon Planning Board
4/10/2018

Title:

Wilson Street

Subject:

Single Family House – 17 Wilson Street

Background:

ATTACHMENTS:

Description

Type

Wilson Street Application

Application

Wilson Street Elevations

Backup Material

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: 3/27/18

Project Address: 17 Wilson St

Project Architect/Engineer: Berg Moss Architects

Owner/Builder: Jonathan Moss

Contact Phone No.: (917) 841-6225

Approval Requested: Certificate of Appropriateness New Single Family House

Color/Materials:

Siding: Main: Native Stone, Slate, Parged Concrete, Corten Panel; Accessory Bldg: Corten Panel

Roofing: Main: EPDM-white(main house); Accessory Bldg: EPDM-white & Sedum

Windows: Color: Dark brown Type: Clad Wood/ Steel Factory (main only)

Trim: NA

Garage Door: NA

Stone/Brick: Native Stone (local stone laid loose)



Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied

(Date)

Plan Approved

(Date)

Subject to the following:

FEE: \$100.00

