

*BEACON PLANNING BOARD*  
*One Municipal Plaza - Courtroom*  
*BEACON, NEW YORK 12508*  
*Phone (845) 838-5002 Fax (845) 838-5026*

The Planning Board will meet on **Tuesday, December 12, 2017** in the Municipal Center Courtroom. A work session will take place at 7:00 PM for a training workshop, discussion of agenda items and/or topics of interest to the Planning Board. The regular meeting will begin immediately thereafter, but not later than 7:30 p.m.

- **Regular Meeting**

1. Edgewater  
Continue public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, and continue public hearing for Site Plan Approval, 7 residential buildings - 307 units, "Edgewater" submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place
2. River Ridge - Parcel L  
Continue public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, public hearings on applications for Site Plan Approval, Wolcott Avenue aka "Parcel L", submitted by River Ridge Views, LLC
3. Front Street - Mason Circle  
Continue review of application to amend an existing Special Use Permit, Artist Live Work/Self Storage, 39 Front Street, submitted by Beacon Lofts & Storage
4. 226 Main Street  
Continue public hearing for Site Plan Approval, retail/residential building, 226 Main Street, submitted by 328 Main Street, LLC
5. 25 Townsend Street  
Continue review of application for Subdivision Approval, 13-lot residential, submitted by AK Property Holding, LLC, 25 Townsend Street

- **Miscellaneous Business**

1. Zoning Board of Appeals  
Zoning Board of Appeals – December Agenda
2. 300-310 South Avenue  
Discussion of the BMR unit mix - 30 Beekman Street "The View"
3. 30 Beekman Street "The View"  
Discussion of the BMR unit mix – 30 Beekman Street "The View"
4. City Council Request for Review Zoning Districts  
City Council request to review Comprehensive Plan Amendment, changes to the Zoning Map, and changes to the text of the CMS and FCD zoning districts
5. City Council Request for Review Food Trucks  
City Council request to review proposed Local Law to permit Food Trucks in the Linkage District
6. City Council Request for Review Temporary Structures  
City Council request to review proposed Local Law to permit temporary structures for medical services

- **Architectural Review**

1. 176 Main Street - Sign  
Certificate of Appropriateness – 176 Main Street; sign
2. One East Main Street - Sign  
Certificate of Appropriateness – One East Main Street sign; "Trax Coffee Roasters"

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**Edgewater**

**Subject:**

Continue public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, and continue public hearing for Site Plan Approval, 7 residential buildings - 307 units, "Edgewater" submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place

**Background:**

**ATTACHMENTS:**

Description	Type
Edgewater Engineer Cover Letter	Cover Memo/Letter
Edgewater Comment Response Letter	Cover Memo/Letter
Edgewater Cleary Consulting Letter	Cover Memo/Letter
Edgewater EAF Part 2	EAF
Edgewater EAF Part 3	EAF
Edgewater SEQRA Neg Dec	Backup Material
Edgewater LWRP Consistency	Backup Material
Edgewater Sheet 1 Site Plan	Plans
Edgewater Sheet 2 Existing Conditions	Plans
Edgewater Sheet 3 Landscape	Plans
Edgewater Sheet 4 Lighting	Plans
Edgewater Sheet 5 Building Plans	Plans
Edgewater Sheet 6 Building Plan Typical	Plans
Edgewater Sheet 7 5th Floor Plan	Plans
Edgewater Sheet 8 Building Elevations	Plans
Edgewater Sheet 9 Building Elevations Flat	Plans
Edgewater Sheet 10 Grading & Utility	Plans
Edgewater Sheet 11 Erosion & Settlement	Plans
Edgewater Sheet 12 Profiles	Plans
Edgewater Sheet 13 Site Details	Plans
Edgewater Sheet 14 Stormwater	Plans
Edgewater Sheet 15 Water Sewer	Plans
Engineer Review Letter	Consultant Comment
Planner Review Letter with Map	Consultant Comment
Edgewater LWRP	Backup Material
Edgewater EAF Part 2	EAF
Edgewater EAF Part 3	EAF
Edgewater SEQRA Declaration	Backup Material
Fire Department Memo	Cover Memo/Letter
School District Comment Letter	Cover Memo/Letter



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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November 28, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: Edgewater Site Plan and Subdivision  
Tax IDs 5954-25-566983, 574979, 582985, & 5955-19-590022  
City of Beacon, New York

Dear Chairman Sheers:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has not revised the plan set in response to Lanc & Tully's November 9, 2017 comment letter, and John Clarke Planning and Design comment memorandum dated November 9, 2017 at this time. We are scheduled to meet with the planning board's consultants on Wednesday, November 29<sup>th</sup> to discuss the re-alignment Branch Street in order to avoid conflict with adjacent properties and utilities in the area. Much of the final engineering comments will be slightly affected by re-alignment of Branch Street, so once a re-alignment location is determined at the meeting, the final engineering comments will be addressed. Aryeh Siegel has provided responses to Lanc & Tully's comment letter, and Mr. Clarke's memorandum, and has provided a partial plan set. The CD includes all sheets of the plan set including sheets that have not changed.

We look forward to continuing discussing the design details of the project with you and your Board members, and we hope that the board will be in a position to make a SEQR determination at the next meeting. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael A. Bodendorf", written in a cursive style.

Michael A. Bodendorf, P.E.  
Principal

cc: Weber Projects, LLC  
Aryeh Siegel, AIA  
Jon D Bodendorf, P.E. (HLD File)

**A R Y E H S I E G E L**  
A R C H I T E C T

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Jay Sheers - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: Edgewater – 22 Edgewater Place, Beacon, New York**  
*Site Plan Application – Responses to Comments*

November 28, 2017

Dear Chairman Sheers and Members of the Planning Board,

Below please find our responses to the comments included in John Clarke Planning and Design's Memorandum dated November 9, 2017, and Lanc & Tully's November 9, 2017 Memorandum regarding the Edgewater project. Please note that the Applicant's engineering consultant, Hudson Land Design (HLD), has prepared a separate response to comments letter that addresses specific engineering comments from Lanc & Tully's November 9, 2017 Memorandum. A copy of that letter is enclosed herein.

Additionally, we respectfully submit a copy of the letter dated November 28, 2017 prepared by Cleary Consulting, which responds to the comments from the November 14th Public Hearing regarding the Beacon City School District.

As indicated above, our responses to comments are as follows:

**John Clarke Planning and Design Comment Responses:**

1. Comment acknowledged. All documentation has been submitted for the Board's SEQR determination, including a new response letter dated October 25, 2017 from Pat Cleary.
2. Comment acknowledged. Another response from Pat Cleary is included with this submission.
3. Three (3) variances are being requested for the project. In response to Member Jill Reynold's comment at the August 8<sup>th</sup>, 2017 Planning Board Public Hearing regarding project density, please note that the Applicant is not seeking variances to increase the permitted total number of units to be developed, which is 307. The Bulk Zoning Table on the Site Plan demonstrates that 307 units are permitted as-of-right, which is calculated using the total site area of the Premises. The variances are intended to minimize the building footprints, and maximize green areas. It is respectfully submitted that this is a more ecological approach to the development of the site.
  - a. As indicated in the Applicant's submission to the Zoning Board of Appeals, which has jurisdiction to consider the relief sought for the requested area variances, the maximum

# ARYEH SIEGEL

ARCHITECT

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number of stories is proposed to be 5 instead of 4 ½ for 3 out of the 7 buildings. This allows the building footprints to be consolidated and the landscape and open space to be maximized.

- b. The maximum number of units per building is proposed to be between 48 and 59 units in Buildings 1, 2, 3, and 6. The Applicant is seeking an area variance for the maximum number of units, normally 36 per building, to allow the building footprints to be consolidated and the landscape space to be maximized. As indicated above, the Applicant is not requesting to build more units than the 307 units that are permitted as-of-right considering the total lot area.
  - c. The separation between buildings is proposed to be 25 feet on average, and the separation between Buildings 3 and 4 at the corner is 12 feet.
4. The building dimensions have been coordinated between the site plan and floor plans.

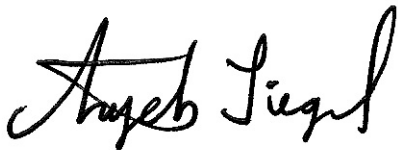
## **Lanc & Tully Comment Responses:**

### **General**

1. Please refer to Hudson Land Design's response letter for engineering responses. There are no comments currently affecting drawings prepared by Aryeh Siegel Architect.

Thank you. Please let me know if you have any questions.

Sincerely,



Aryeh Siegel  
*Aryeh Siegel, Architect*



November 28, 2017

Chairman Jay Sheers  
and Members of the Planning Board  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

**Re: The Edgewater Project – School Impact Comment Responses**

Dear Chairman Sheers and Members of the Board,

The following comments are provided in response to the issues raised at the November 14<sup>th</sup> Planning Board meeting:

1. *The Beacon City School District's infrastructure is ageing and in need of repair.*

No publically available reports or studies have been found documenting the physical condition of the Beacon City Schools. However, it is understood that the District is considering a bond issue to address physical improvements to school facilities.

While it may in fact be true that the School District's infrastructure is deteriorating, that condition is a generalized, District-wide issue, and certainly not attributable to the development of Edgewater.

As documented in extensive detail, and confirmed by the Planning Board's staff and consultants, the Edgewater project will result in surplus real estate taxes, which could be utilized by the District to address infrastructural deficiencies.

Imposing any form of impact fee or exaction on the developer of the Edgewater project to cure pre-existing District-wide issues is patently illegal, and unjustifiable given the lack of impact the project would have on the School District.

2. *Adjustments in bedroom count or numbers of students attending private schools:*

The Board's Planning Consultant offered commentary noting that adjustments to the bedroom mix, or the percentage of students attending private schools might further reduce the school children generation rate.

We maintain the position that even at the higher 47-student figure, the project would result in a net surplus in tax revenue for the School District. The revised 43-student number would proportionally increase that surplus.

Furthermore, to underscore the conservative approach to estimating potential school children generation used in this analysis, the generation ratio for one-bedroom apartments was applied to the 9 studio apartments included in the development. Typically studio apartments are not included in these types of analyses, because they do not generate any school-aged children.

At this stage in the review process where the Board is considering potential significant adverse environmental impacts, utilizing the most conservative 47 student figure, or the more refined (and lower) figures demonstrates that the Edgewater project will not result in a significant adverse environmental impact. During the forthcoming site plan review, project modifications may be necessary, which may alter the unit count, bedroom distribution, or any number of other site plan elements. Modifying the project at this point, absent a comprehensive site plan review and analysis, would be premature – particularly given the fact that the development as presently configured, will not result in an significant adverse environmental impact.

3. *Additional tax revenue will impact the amount of state aid received.*

The attorney for the School District suggested that if the School District were to receive additional tax revenue, it would result in a loss of state aid. State aid is provided to local school districts in accordance with a complex formula, and is not linked directly to local real estate tax revenue. One-dollar of additional local real estate tax revenue does not equate to a one-dollar decrease in state aid.

In point of fact, state aid for education is provided to local school districts for the improvement of education and help school districts offer equal educational opportunity to its public school children. Eighty-eight percent of State aid for education come from the state's General Fund, primarily from income and sales taxes. State sales tax laws reserve four percent for the State and permit counties and cities to levy up to an additional four percent. Approximately 12 percent of state revenues comes from a special revenue fund supported by lottery receipts.

It seems rather remarkable that the District's attorney, having made an argument that the District is strapped for cash, would argue that additional tax revenue is unwanted or even detrimental. This position flies in the face of sound and prudent fiscal management.

It is noted that in October, the Planning Board requested the District to provide the past 5 years of state aid. The District did not provide this information to the Planning Board, and it appears that the District has not supplied this information in an attempt to further delay this application.

4. *Environmental Impact Statement:*

An issue was raised regarding the advisability of requiring the applicant to prepare an Environmental Impact Statement (EIS).

In order to require the preparation of an EIS, the Lead Agency must determine that the proposed action may result in one or more significant environmental impacts.

Guidance in making this decision is provided in the SEQRA Handbook<sup>1</sup>:

- *The significant impact(s) must relate to an environmental effect. Economic or social factors do not constitute a basis for a positive declaration.*
- *The lead agency has taken a hard look at the relevant impacts in assessing the potential for significance.*
- *The basis for the positive declaration is reasonably consistent with other determinations of significance by the same agency, given similar facts.*
- *Whether the project, as proposed, includes mitigation measures that would eliminate one or more of the potentially significant adverse impacts, or reduce one or more impacts to a level of non-significance.*

As fully documented by the materials submitted by the applicant, as well as all confirmatory documentation provided by the Board's staff and consultants, the proposed action would not meet the standards for an EIS as set forth in the SEQR Handbook. Perhaps most relevantly, the economic factor raised by the School District very specifically "*does not constitute a basis for a positive declaration.*"

Moreover, if an EIS were required, the section dealing with school impacts would simply include all of the material already provided to the

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<sup>1</sup> *The SEQR Handbook, 3<sup>rd</sup> Edition, 2010, Page 89*

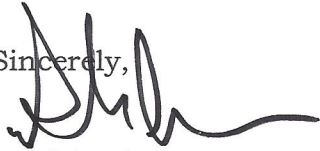


Board. Absolutely no additional information would be provided in an EIS that has not already been provided to the Board.

In summary, the applicant has fully documented, to the satisfaction this Board's consultants that the Edgewater project will not result in a significant adverse environmental impact to the Beacon City School District. The School District continues to make unsubstantiated claims of general harm, which have no direct nexus to proposed development. Further review would only result in unnecessary expense and delay, without producing any additional insight into potential school impacts. The Edgewater project will result in a modest real estate tax surplus for the Beacon City School District.

We believe the Board has fully and thoroughly evaluated the potential impacts resulting from the development of the Edgewater project, and that consideration of a Negative Declaration is warranted.

Sincerely,

A handwritten signature in black ink, appearing to read 'Patrick Cleary', with a long horizontal flourish extending to the right.

Patrick Cleary, AICP, CEP, PP, LEED AP  
Cleary Consulting

cc: Rodney Weber, Scenic Beacon Developments, LLC  
Taylor Palmer, Cuddy & Feder

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]  
 Project: Edgewater  
 Date: October 11, 2017

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b> Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**  
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)  NO  YES  
*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**  
 The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)  NO  YES  
*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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**4. Impact on groundwater**  NO  YES

The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)  
*If "Yes", answer questions a - h. If "No", move on to Section 5.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**5. Impact on Flooding**  NO  YES

The proposed action may result in development on lands subject to flooding. (See Part 1. E.2)  
*If "Yes", answer questions a - g. If "No", move on to Section 6.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**8. Impact on Agricultural Resources**

The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)

NO

YES

*If "Yes", answer questions a - h. If "No", move on to Section 9.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

**11. Impact on Open Space and Recreation**

The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.

(See Part 1. C.2.c, E.1.c., E.2.q.)

*If "Yes", answer questions a - e. If "No", go to Section 12.*

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2c, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**12. Impact on Critical Environmental Areas**

The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d)

*If "Yes", answer questions a - c. If "No", go to Section 13.*

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>



**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1. D.2.j)  
*If "Yes", answer questions a - f. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**  
 The proposed action may cause an increase in the use of any form of energy.  NO  YES  
 (See Part 1. D.2.k)  
*If "Yes", answer questions a - e. If "No", go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**15. Impact on Noise, Odor, and Light**  
 The proposed action may result in an increase in noise, odors, or outdoor lighting.  NO  YES  
 (See Part 1. D.2.m., n., and o.)  
*If "Yes", answer questions a - f. If "No", go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**16. Impact on Human Health**

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)  
*If "Yes", answer questions a - m. If "No", go to Section 17.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

<b>17. Consistency with Community Plans</b> The proposed action is not consistent with adopted land use plans. <span style="float: right;"><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</span> (See Part 1. C.1, C.2, and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>18. Consistency with Community Character</b> The proposed project is inconsistent with the existing community character. <span style="float: right;"><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</span> (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

Project : Edgewater

Date : October 11, 2017

**Full Environmental Assessment Form**  
**Part 3 - Evaluation of the Magnitude and Importance of Project Impacts**  
**and**  
**Determination of Significance**

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Please see attached.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status:  Type 1  Unlisted

Identify portions of EAF completed for this Project:  Part 1  Part 2  Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

All application materials submitted by the Applicant, memoranda from City staff and consultants, agency and public comment, and testimony from meetings held on the application.

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the City of Beacon Planning Board as lead agency that:

- A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.
- B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

- C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Edgewater

Name of Lead Agency: City of Beacon Planning Board

Name of Responsible Officer in Lead Agency: Jay Sheers

Title of Responsible Officer: Chairman

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer) Jennifer L. Gray, Esq.

Date:

**For Further Information:**

Contact Person: Etha Grogan, Planning Secretary

Address: 1 Municipal Plaza, Beacon, New York 12508

Telephone Number: 845-838-5002

E-mail: [egrogan@cityofbeacon.org](mailto:egrogan@cityofbeacon.org)

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

**PRINT FULL FORM**

**ATTACHMENT TO  
NEGATIVE DECLARATION  
REASONS SUPPORTING DETERMINATION**

**APPLICATION FOR SITE PLAN, SPECIAL USE PERMIT  
AND SUBDIVISION APPROVAL FOR EDGEWATER**

**22 Edgewater Place:**

**Tax Grid Nos. 5954-25-581985, 5954-25-574979, 5954-25-566983, 5955-19-59002**

**CONCLUSIONS**

Based upon a review of Parts 1 and 2 of the Full Environmental Assessment Form (EAF) and all other application materials that were submitted in support of the Proposed Action, along with reports from City staff and consultants, information from involved and interested agencies, and information from the public, the Planning Board, acting as Lead Agency, makes the following conclusions.

The Proposed Action is a Type I action pursuant to 6 NYCRR 617.4(b)(5)(iii) because the project proposes the construction of more than 250 new residential units to be connected to public water and sewer in a city having a population of less than 150,000. The Planning Board, as Lead Agency, opened a public hearing to consider comments regarding any environmental impacts of the Proposed Action on May 9, 2017 and continued the hearing to July 11, 2017, August 8, 2017, September 12, 2017 and October 12, 2017, at which time the State Environmental Quality Review Act (SEQRA) public hearing was closed.

The Proposed Action will not result in any significant adverse impacts on the environment. In summary:

- **Impact on Land: The Proposed Action will not have a significant adverse environmental impact as a result of any physical change to the project site.**

The Project Site consists of four (4) parcels which are proposed to be merged into one development parcel of approximately 12 acres. Approximately 10 acres of the Site will be disturbed for development of the Project. The Site is currently developed with two buildings and is characterized by prior soil disturbance across much of the Site. Several stockpiles of aggregate and topsoil are currently located within the central portion of the Site on either side of the remnants of an asphalt road that extends across the central portion of the Site.

The Site is located within the RD-1.7 Zoning District. The Project proposes 307 dwelling units (413 bedrooms) in seven (7) apartment buildings with associated infrastructure including utility lines, stormwater facilities, and a below-grade parking garage and on-grade parking. Land banked parking will be utilized for a portion of the proposed parking spaces (33 parking spaces to the west of Building 1) to minimize land disturbance and impervious coverage. The Project will require the removal of approximately 3.2 acres of woods, which generally involves smaller trees located on the interior of the site. No wetlands or wetland buffer areas will be disturbed as a result of the Project. Disturbance of slopes will be stabilized using best management practices during construction and post-construction.

- **Impact on Geological Features: The Proposed Action will not have a significant adverse environmental impact on any unique or unusual land forms on the site.**

There are no unique geological features on the Property.

- **Impacts on Surface Water and Groundwater: The Proposed Action will not have a significant adverse environmental impact on surface or groundwater quality or quantity.**

Residential land uses are generally not associated with the discharge of contaminants into aquifers or other ground water sources. There will be no bulk storage of petroleum or chemicals on-site. The Project does not include or require wastewater discharged to groundwater, and is not located within 100 feet of potable drinking water or irrigation sources.

Site disturbance will exceed 1-acre and therefore a full Stormwater Pollution Prevention Plan (SWPPP) was prepared in order to obtain coverage under NYSDEC SPDES General Permit GP-0-15-002. The proposed stormwater practices shown on the plans and described in the SWPPP are designed in accordance with the NYSDEC Stormwater Management Design Manual, including design of an underground site stormwater conveyance system and three infiltration basins.

The Project will be connected to the existing public water distribution system. At full build-out, the Project is expected to require 45,430 gallons of water per day. A 6" ductile iron (DI) water main runs beneath Tompkins Terrace and an 8" DI main runs beneath Bank Street. An 8" DI spur runs into the Site beneath Branch Street from Bank Street to an existing hydrant. It is proposed that the Site will connect to the 8" DI pipe (DIP) on Bank Street through a 8" DIP. The 8" DIP will be brought through the Site to provide water supply to the new buildings and continue to Branch Street and connect to the 8" DIP forming a looped connection to the City water system.

The Applicant proposes to dedicate the new 8" water main to the City, along with a 20' wide utility easement for maintenance purposes. Flow and pressure tests have confirmed adequate flow and pressure are available for the Project. New fire hydrants and periodic isolation valves are proposed within the Site. In the event the City does not accept dedication of the 8" water main and easement, the infrastructure will remain privately owned and maintained but will need to be modified to include backflow prevention devices and meters. Notably, the Project does not propose to use public water for irrigation purposes. Rather, the Project includes an underground cistern for harvesting roof runoff for irrigation purposes.

The Project will be connected to the existing public sanitary sewer system. At full build out, the Project is expected to generate 45,430 gallons of wastewater per day (413 bedrooms x 110 gpd /bedroom). Under normal operating conditions the public sanitary sewer system is sufficient for the Project; however the West Main Street sewer pump station may require upgrades. If it is determined that upgrades are necessary as the City's hydraulic model of the sewer system is updated, the upgrades will be implemented as necessary. The Site currently contains an existing apartment building, and a single family residence. Both structures will be demolished thereby eliminating any current inflow and infiltration (I&I) entering the City sanitary sewer system (North interceptor) from the Site.

- **Impact on Flooding: The Proposed Action will not have a significant adverse environmental impact on or alter drainage flows or patterns, or surface water runoff.**

For the Proposed Action, the treatment of stormwater will be provided for the new impervious area. A Stormwater Pollution Prevention Plan (SWPPP) has been prepared in accordance with the requirements of NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity Permit No. GP-0-15-002. The final stormwater management system will consist of minimal conveyance systems which will include culverts and grass-lined swales/dikes where required. It is anticipated that most, if not all perimeter diversion swales/dikes will be unnecessary and removed after installation; however, there may be a need for some as site conditions warrant. The remainder of the drainage area will remain undisturbed with natural vegetation remaining.

Green infrastructure practices will be implemented to the greatest extent possible to reduce runoff, including avoidance of sensitive areas, minimizing grading and soil disturbance, minimizing impervious areas on internal access ways, driveways and parking areas, and use of meadow as permanent final groundcover to provide better water quality. Parking spaces and drive aisles were reduced in size from 9'x20' with a 25' drive aisle to 9'x18' with a 24' drive aisle, to comply with the



newly amended City Code requirements and consistency with the “Greenway Connections” and NYSDEC stormwater objectives to reduce impervious surfaces. Infiltration/bioretenion practices, use of open channel vegetated conveyance systems, and an underground cistern for roof runoff will also be implemented.

Pretreatment practices proposed for the Project include overland flow, vegetated swales, stone check dams, hydrodynamic devices, treatment practices, bioretention areas, infiltration basins and grass filter strips.

Proposed Bioretention areas 1 and 2 do not meet 100% Runoff Reduction Volume (RRV) due to shallow bedrock constraints. The January 2015 NYSDEC Stormwater Design Manual describes acceptable site limitations to include shallow depth to bedrock. Therefore, Bioretention area 1 will be supplemented with cisterns for roof runoff, and Bioretention area 2 will be supplemented with a vegetated swale to maximize the RRV.

- **Impact on Air: The Proposed Action will not have a significant adverse environmental impact on air quality.**

Construction activities associated with grading and excavation could result in temporary air quality impacts. Air quality in the area, however, is not expected to be significantly impacted by project construction because the construction activities will be temporary and confined to the Site. Construction vehicles will emit certain air pollutants through engine exhaust. There is also the potential for fugitive dust to be created during the construction period from site preparation activities, including removal of existing impervious surfaces and vegetation, and site grading. Fugitive dust emissions will be mitigated by wetting and stabilizing soils to suppress dust generation. Other dust suppression methods will include the spraying of soil stockpiles during dry periods and covering trucks carrying solid and other dry materials. These unavoidable short term impacts to air quality will cease upon project completion. Construction will be conducted in accordance with the final filed site plan and in accordance with all applicable federal, state and local codes. It is anticipated that nearby properties will experience temporary fugitive dust and an elevation in vehicle emissions from construction vehicles throughout occasional periods during construction of the proposed project. This is a temporary, construction-related, unavoidable impact that is not significant.

- **Impact on Plants and Animals: The Proposed Action will not have a significant adverse environmental impact on flora or fauna.**

Pursuant to a March 30, 2017 letter from NYSDEC, the only state-listed species recorded within or near the Project Site is the Indiana Bat (NYS Listing:

Endangered). The main impact of concern for bats is the removal of potential roost trees. The Applicant submitted a Threatened and Endangered Species Habitat Suitability Assessment Report, dated September 15, 2017, prepared by Ecological Solutions, LLC, Southbury, CT. The Report concluded “The proposed project will require the removal of approximately 3.2 acres of woods for the proposed project, which generally involves smaller trees located on the interior of the site that consist of opportunistic trees that are not prime for Indiana bat habitat.” Pursuant to NYSDEC recommendations, removal of trees greater than four (4) inches in diameter at the Project Site will take place between October 1 and April 1 during the bat hibernation period to avoid the removal of trees which may be utilized by Indiana Bats as roosting trees. The Proposed Action also includes shielded, cut-off light fixtures that direct light down to minimize light pollution and not interfere with potential bat foraging activities. Lastly, the Proposed Action includes implementation of soil conservation and dust control best management practices, such as watering dry disturbed soil to keep dust down, and using staked, recessed silt fence and anti-tracking pads to prevent erosion and sedimentation in surface waters on the site. Also, native vegetation is proposed to enhance wildlife habitat.

- **Impact on Agricultural Resources: The Proposed Action will not have a significant adverse environmental impact on agricultural resources.**

There are no agricultural resources in the vicinity of the Site.

- **Impact on Aesthetic Resources: The Proposed Action will not have a significant adverse environmental impact on aesthetic resources.**

The Proposed Action will not result in the obstruction, elimination or significant screening of one or more officially designated scenic views, or visible from any publicly accessible vantage points either seasonally nor year around. The Local Waterfront Revitalization Program (LWRP) does not list viewsheds from the Site, or viewsheds that would be obscured by the Project. Seasonal views of the Project will be experienced from the Metro North train station and from the Hudson River. The Applicant submitted an LWRP Consistency Statement, prepared by Aryeh Siegel, Architect, which was reviewed by the City Planner. Photo renderings of the Project were also submitted by the Applicant demonstrating the possible seasonal views from these vantage points. The renderings demonstrate that the tops of the buildings will be visible to some degree and the level of visibility will change with the seasonal leaf coverage. Architectural review of the proposed building roofs includes attention to the roof materials and finishes to harmonize with the existing landscape. The buildings have been designed to be set back from the property lines to allow for the maintenance of the existing wooded hillsides around the proposed development areas. The seasonal views of the Project are

consistent with the existing viewshed and will not result in a significant adverse environmental impact.

It is noted that the height of the proposed buildings complies with the maximum building height permitted in the RD-1.7 District. However, due to the method in which the buildings are measured under the City of Beacon Zoning Code three (3) of the seven (7) proposed buildings require a variance from the maximum number of stories permitted. Buildings 3, 4 and 6 will be 55 feet in height, consistent with the limitations in the Zoning Code, but are measured as 5 stories where a maximum of 4.5 stories is permitted.

- **Impact on Historic and Archeological Resources: The Proposed Action will not have a significant adverse environmental impact on historic or archeological resources.**

Pursuant to a March 30, 2017 letter from NYSDEC, the records of the statewide inventory of archaeological resources maintained by the New York State Museum and the New York State Office of Parks, Recreation and Historic Preservation (NYS OPRHP) state that the Proposed Action is located within an area considered to be sensitive with regard to archaeological resources.

A Phase 1A Archeological Investigation for the Project Site dated September 2017 was submitted for the Board's review. The Phase 1A Report provides the following conclusion:

“The project area has experienced extensive soil disturbance, initially the result of historic development followed by excavation related to the removal of the historic buildings that once occupied the site. The recent use of the property for aggregate and topsoil stockpiling have also affected the landscape. A significant portion of the property, especially along the eastern, southern and western perimeters, have slopes exceeding 12%. With the high level of disturbance and the presence of slopes greater than 12%, no further archeological investigation is recommended.”

Additionally, based on its review of the Project (OPRHP Project Review #17PR06370), in a letter dated October 10, 2017, the NYS OPRHP provided the following opinion: “...[the] project will have no impact on archaeological and/or historic resources listed in or eligible for the New York State Register of Historic Places.”

- **Impact on Open Space and Recreation: The Proposed Action will not have a significant adverse environmental impact on open space and recreation.**

The area of the Proposed Action is not designated as open space by the City of Beacon. The Proposed Action will not result in the loss of a current or future recreational resource, eliminate significant open space, or result in loss of an area now used informally by the community as an open space resource, as the Site is primarily a vacant lot, with improvements limited to an existing apartment building and a single family residence. If a park of adequate size and practical location does not address the need for additional recreation/parkland within the City, a recreation fee will be required which will be used for the future need for park and recreational opportunities in the City of Beacon.

- **Impact on Critical Environmental Areas: The Proposed Action will not have a significant adverse environmental impact on Critical Environmental Areas.**

The Proposed Action is not located in a Critical Environmental Area.

- **Impact on Transportation: The Proposed Action will not have a significant adverse environmental impact on transportation.**

A Traffic Impact Study, dated January 18, 2017, revised February 27, 2017, (the “Study”) was prepared by Maser Consulting, P.A., Hawthorne, N.Y. for review by the Planning Board. The Study was prepared to identify current and future traffic operating conditions on the surrounding roadway network and to assess the potential traffic impacts of the Project. The Study was subject to review and comment by the Planning Board’s Traffic Consultant, Creighton Manning Engineers, LLP, Albany, N.Y.

The Project proposes access to the Site at a reconstructed driveway connection to Tompkins Avenue located between Tompkins Terrace and Bank Street. The Project also includes an extension at the southern end of the Site to Branch Street, providing access directly to Bank Street, which connects to West Main Street to the south.

The Study established Year 2017 Existing Traffic Volumes and then projected a 2022 Design Year which took into account background traffic growth and traffic from other potential or approved developments in the area. Estimated volume from the Project during peak hours was added to the Study and the Existing, No-Build and Build Traffic Volumes were compared to roadway capacities based on procedures from the Highway Capacity Manual to determine existing and future Levels of Service (LOS) and operating conditions.

The following intersections were studied:

Wolcott Avenue (NYS Route 9D)/Tompkins Avenue/Ralph Street  
Tompkins Avenue/Bank Street  
Beekman Street/W.Main Street  
W.Main Street/Bank Street  
Wolcott Avenue (NYS Route 9D)/Verplanck Avenue  
Wolcott Avenue (NYS Route 9D)/Beekman Street/West Church Street  
Wolcott Avenue (NYS Route 9D)/Main Street/Municipal Place  
Tompkins Avenue/Site Access  
Branch Street/Bank Street

The Study concludes and the Planning Board's Traffic Consultant concurred that similar levels of service and delays will be experienced at the area intersections under the future No-Build and Build Conditions. The majority of the intersections studied will experience a traffic volume increase of 7% or less as a result of Edgewater or the West End Lofts project recently approved by the Planning Board. The traffic projections do not take any credits for the anticipated use of Metro North and/or pedestrian trips to the train by residents of the new developments, which will likely reduce the actual peak vehicular traffic generated given the walking distance to the train station. The Applicant's traffic consultant prepared analyses for the Project as a transit-oriented development, based on the Site's proximity to the Metro-North train station. Where a mass transit credit is applied to the Project, which the Applicant's traffic consultant identified could be obtainable for the Site, the Applicant's traffic consultant concluded: "...the expected delays would be less at the study area intersections as a result of the lower vehicular traffic generation from the project."

Notwithstanding, due to anticipated delays at the Wolcott Avenue/Verplanck Avenue and Wolcott Avenue/Beekman Street intersections, traffic signal timing modifications are proposed during the AM Peak Hour for the Wolcott Avenue/Verplanck Avenue intersection and during the PM Peak Hours for the Wolcott Avenue/Beekman Street intersection, to address the project related delay increases. With these traffic signal timing modifications, the intersections will operate similar to No-Build conditions without the Project. Additionally, the intersections of Wolcott Avenue/Tompkins Avenue and Beekman Street/West Main Street are proposed to be monitored after occupancy of the Project to assess whether traffic signal warrants will be satisfied at these locations.

Related to transportation, the Project also proposes improved pedestrian access to and from the Project, upgraded pedestrian facilities along Branch Street, Bank Street and West Main Street, and pedestrian striping and signing improvements at

the intersection of Bank Street and West Main Street. The Project also proposes ample bicycle storage and a car share program for its residents.

- **Impact on Energy: The Proposed Action will not have a significant adverse environmental impact on energy.**

It is anticipated that existing energy infrastructure will continue to serve the Proposed Action and that enough surplus exists to meet potential demand. The Proposed Action does not require a new, or an upgrade to any existing substation.

Several green building techniques have been incorporated into the Project. The building design will allow for the ability to utilize solar energy in the future if and when it becomes feasible.

- **Impact on Noise, Odor and Light: The Proposed Action will not have a significant adverse environmental impact as a result of objectionable odors, noise or light.**

The Proposed Action is not anticipated to generate any noxious odors.

Noise impacts associated with the proposed Project will be limited to temporary impacts generated during construction. Temporary noise impacts associated with construction will be mitigated by limiting construction activities to the hours between 7:00 a.m. and 7:00 p.m. Soil testing was conducted onsite to investigate the depth of the soil and rock conditions. In the area of Bioretention area 1, shale bedrock was found less than 5 feet from the existing grade. In the area of Bioretention area 2, bedrock depths were found to be slightly deeper than 4 feet. If blasting becomes necessary, it will be performed in accordance with all applicable state and local requirements. In addition, there will be no significant noise impacts post-construction.

All proposed lighting will be fully shielded and dark sky compliant. Lighting levels along the access drive will generally be low (within 0.0 – 1.0 footcandles along the majority of the access drive, with discrete areas of increased intensity under lighting fixtures (up to about 3.0 footcandles). The proposed Lighting Plan shows minimal to no light spillage over property lines. Lighting at the perimeter of the site is negligible.

- **Impact on Human Health: The Proposed Action will not have a significant adverse environmental impact on human health from exposure to new or existing sources of contaminants.**

According to information available on the NYS DEC Site Remediation Database, the off-site contamination under the following Site Codes identified in the EAF has either completed a remediation program or does not pose a threat to development on the Edgewater Site: V00293, C314112, V00096, 314069, 546031.

- **Consistency with Community Plans and Community Character: The Proposed Action is not inconsistent with adopted community plans and community character.**

The Project is consistent with the recommendations and goals identified in the 2007 Comprehensive Plan and 2017 Comprehensive Plan Updates regarding density of developments. The Site is the only property in the City classified in the RD-1.7 Zoning District and the number of proposed dwelling units complies with the provisions of the RD-1.7 District. The transit oriented nature of the Project is consistent with the Comprehensive Plan which seeks to encourage development and allow for increased density of housing in the waterfront/train station area of the City. (2007 Comprehensive Plan, pp. 7 & 17; 2017 Comprehensive Plan Update, p. 10). The Project is also consistent with the surrounding neighborhood which includes the existing Tompkins Terrace and Colonial Springs residential developments.

The Project will create an increased demand for community services such as the Beacon City School District. The Applicant submitted a School Impact Study, dated June 26, 2017, prepared by Cleary Consulting. The School Impact Study concluded that approximately 47 school age children would reside in the new development. This estimate was calculating using the Rutgers University, Center for Urban Policy Research multipliers which tend to be a conservative method for determining the amount of school age children generated by a development project. The School Impact Study also found that the Project will generate approximately \$1,314,000 in taxes annually for the Beacon City School District. Employing the current per-student costs to educate a pupil, the School Impact Study concluded that the Project will generate an annual tax revenue surplus for the School District.

The School Impact Study was reviewed by the Planning Board's Planning Consultant. Cleary Consulting's August 7, 2017 letter responds to questions from the Planning Consultant and comments from the public. It clarifies and concludes that the value associated with each unit type in the Rutgers study is based on 2006 market conditions, but it is the ratio of the value to other factors that is more important than the value itself. For example, the values could just as effectively been expressed as low, medium and high, rather than attaching a numeric value to each

housing type. The value selected to be utilized in the calculation of the number of school age children generated by the Project reflects the Applicant's anticipated price point for the market rate units at the proposed transit oriented development project.

The Planning Board's Planning Consultant concludes in his October 6, 2017 review memorandum that the projected 47 school-age children is conservative given (1) average household sizes have declined since the 2006 multipliers were published, (2) several large-scale studies have shown that apartments near train stations generally have lower school children counts, (3) 96 of the 307 proposed units are smaller studio apartments which should have a lower student ratio than the one-bedroom ratio used for studios in the School Impact Study, and (4) the survey of Beacon multifamily housing developments set forth in a chart on page 9 of Cleary Consulting's August 29, 2017 letter, particularly the most recent three projects on the chart (Leonard Street – 74 total units, 49 units rented to date, 0 school-aged children; 1 East Main Street – 19 units, 1 school-aged child; and 11 Creek Drive – 6 units, 0 school-aged children), provides local supporting background information for a lower average number of school age children. The chart of "Actual School-Age Children Residing in Selected Comparable Multi-Family Developments in the City of Beacon," demonstrates an average ratio of 0.71 school-aged children per unit. (August 29, 2017 Cleary Consulting Letter, p. 9) Using this ratio, the Project would produce only 22 school-aged children.

The Beacon City School District has called into question the accuracy of the data and rationale behind the School Impact Study's conclusions in letters dated August 7, 2017, October 12, 2017 and November 3, 2017. The Applicant's consultant responded to the School District's concerns in letters, dated August 29, 2017, September 26, 2017 and October 25, 2017. Also, upon request of the Planning Board, in a memorandum dated November 14, 2017 the Beacon City Assessor provided an estimated valuation of Project of \$34-40 million based upon her knowledge of the Project to-date.

Upon review of all correspondence, the Planning Board's Planning Consultant provided his professional opinion regarding the school impacts in his November 9, 2017 memorandum:

*As a summary of the school impact positions, the applicant's June 26, 2017 School Impact Study and supplemental comments conclude that the Beacon City School District (BCSD) has adequate capacity for the projected 47 school-age children and that the proposed project will have a net positive financial impact on the district. Three central assumptions have been disputed by the BCSD: the estimate of public school-age children, the assessed value of the completed project, and the cost per student to be used in the fiscal calculation. The schools have available capacity, since overall enrollment has dropped 20%, or 735 students, between 2004-5 and 2015-16.*



*Both parties agree that the 2006 Rutgers Residential Demographic Multipliers for New York are the industry-accepted standard for estimating school children, but they disagree on what level ratios to apply in this case. The applicant's estimate of 47 appears, if anything, high since the total school-age children table was used from the Rutgers Study, rather than the more targeted public school-age children (PSAC) ratios. Also, 96 of the 307 proposed units are smaller studio apartments, which should have a lower student count than the one-bedroom ratio used in the School Impact Study. My best estimate is below, using the higher 67th-100th percentile PSAC ratio for the market rate units and the medium 34th-66th percentile PSAC ratio for the required workforce units:*

<u>Units</u>	<u>#</u>	<u>Market</u>	<u>Ratio</u>	<u>PSAC</u>	<u>Workforce</u>	<u>Ratio</u>	<u>PSAC</u>	<u>Total PSAC</u>
Studio	96	86	.07	6.02	10	.27	2.7	8.72
1 BR	115	104	.07	7.28	11	.27	2.97	10.25
2 BR	86	77	.16	12.32	9	.45	4.05	16.37
3 BR	10	9	.63	5.67	1	1.3	1.3	6.97
<b>Totals</b>	<b>307</b>	<b>276</b>			<b>31</b>			<b>42.31</b>

*The City of Beacon Assessor has estimated that the assessed value of the completed project will be between \$34 and 40 million. At the midpoint of this estimate, the development will generate \$810,300 of annual tax revenue for the BCSD.*

*For the cost of the additional PSAC, the applicant has proposed using the BCSD 2015-16 Instructional Budget cost of \$17,102 per student, which includes teaching salaries/benefits, special needs, library, attendance, guidance, health and social services, interscholastic and other activities, transportation, and similar more student-sensitive functions. The BCSD has maintained that the total budget cost of \$23,116 per student should be used, which also accounts for the Board of Education, central administration, finance, legal, personnel, records management, supervisors' salaries/benefits, and capital budget items, including central services and debt services. The net fiscal impacts depend on which one of these figures seems most reasonable. As another factor of comparison, the actual local tax levy, after state aid and other revenue, is \$12,653 per student.*

	<u>Cost/Student</u>	<u># Students</u>	<u>Add'l. Costs</u>	<u>Revenue</u>	<u>Net Impacts</u>
Instructional Budget	\$17,102	42	\$718,284	\$810,300	+ \$92,016
Total Budget	\$23,116	42	\$970,872	\$810,300	-\$160,572

*Marginally increasing enrollment by about 42 students in a district that is down 735 students since 2004-5 and down 128 students from the previous year should not significantly affect the capital and administrative budget sections. I think that the Instructional Budget calculation is justifiable.*

Based on the information provided the Planning Board's professional planning consultant, the Applicant's professional planning consultant and the BCSD, it is the Planning Board's opinion that the addition of 42 school-age children represents the most accurate application of the Rutgers ratios. After considering all testimony and written submissions to the Planning Board on this subject, the Planning Board

determines that the addition of 42 school-age children as a result of this Project will not create a significant increased demand on the School District.<sup>1</sup>

Based upon all information before the Planning Board to-date, including the Full Environmental Assessment Form, the Planning Board finds that the Proposed Action will not have any significant adverse impacts upon the environment. This Negative Declaration indicates that no environmental impact statement need be prepared and that the SEQRA process is complete.

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<sup>1</sup> The Planning Board notes that even if the Total Budget is used to calculate the cost/student, the resulting estimated \$160,572 deficit is not significant as compared to the BSCD's annual budget of approximately \$66.75 million (2016-2017 final budget), and therefore does not rise to the level of a significant adverse environmental impact.

**RESOLUTION**

**PLANNING BOARD  
BEACON, NEW YORK**

**LOCAL WATERFRONT REVITALIZATION  
PROGRAM (LWRP) CONSISTENCY DETERMINATION  
EDGEWATER (22 EDGEWATER PLACE)**

WHEREAS, the Beacon Planning Board received applications for Preliminary and Final Subdivision Plat Approvals (lot merger) and Site Plan Approval from Scenic Beacon Developments LLC (the “Applicant”) for the construction of seven (7) apartment buildings containing a total of 307 units (413 bedrooms) following the demolition of two existing structures and the merger of four lots into a single 12-acre parcel, along with associated infrastructure including but not limited to landscaping, stormwater management facilities, lighting, off-street parking areas, and retaining walls; and (the “Project” or “Proposed Action”); and

WHEREAS, the Site is located in the Coastal Management Zone as defined by the City’s Local Waterfront Revitalization Program (LWRP) and the Proposed Action includes a request for an LWRP Consistency Determination; and

WHEREAS, the subject property is located at 22 Edgewater Place and designated on the City tax maps as Parcel Nos. 5954-25-581985, 5955-19-590022, 5954-25-566983 and 5954-25-574979; and

WHEREAS, the subdivision is shown on the drawing, entitled, “Lot Consolidation Map Prepared for Weber Projects LLC,” dated March 6, 2017, prepared by TEC Land Surveying; and

WHEREAS, the Site Plan is shown on the drawings entitled, “Site Plan Edgewater,” Sheets 1-15, dated January 31, 2017, last revised September 26, 2017, prepared by Aryeh Siegal, Architect; and

WHEREAS, the application also consists of application forms, the Environmental Assessment Form (EAF) and professional studies and reports submitted to the Planning Board; and

WHEREAS, the application was referred to the Dutchess County Planning Department pursuant to New York State General Municipal Law and responses dated March 16, 2017 and June 12, 2017 were received; and

## **Local Waterfront Revitalization Program (LWRP) Consistency Determination Edgewater**

WHEREAS, on May 9, 2017, the Planning Board opened a public hearing for the purpose of soliciting comments regarding the relevant areas of environmental impact, and the SEQRA public hearing was closed on November 14, 2017; and

WHEREAS, on August 8, 2017, the Planning Board opened a public hearing on the application for Site Plan Approval, at which time all those interested were given an opportunity to be heard and the public hearing remains open; and

WHEREAS, in accordance with Section 220-6 of Chapter 220, Waterfront Consistency Review, of the City Code, all “actions to be undertaken within the City’s Coastal Management Zone shall be evaluated for consistency in accordance with the.....LWRP policy standards.....;” and

WHEREAS, in accordance with Section 220-5 of the Waterfront Consistency Review chapter of the City Code, it is the Lead Agency’s responsibility to make the Determination of Consistency based upon the Applicant’s LWRP Consistency Statement, the SEQRA documents, the application and Project documentation, and all other information that has been submitted by the Applicant, City staff, Planning Board consultants, involved and interested agencies, and the public; and

WHEREAS, the Site was rezoned to RD-1.7 after the adoption of the LWRP and therefore several references to an RD-6 zoning designation for the Site (known as the Prizzi property) are no longer applicable, however, it is noted that the LWRP identifies a potential for development of the property as townhouses.

NOW, THEREFORE, BE IT RESOLVED, that after taking a “hard look” at each of the relevant areas of environmental concern through review of the Environmental Assessment Form and all associated materials prepared in connection with the Proposed Action the Planning Board hereby adopts the annexed Negative Declaration pursuant to the State Environmental Quality Review Act (SEQRA).

BE IT FURTHER RESOLVED, that there are a number of LWRP policies which do not apply to the Project which policies are those that are contained in the LWRP but not listed below, and also hereby makes the following consistency findings with respect to the LWRP policies which apply to the Project:

### **POLICY 5**

*Encourage the location of development in areas where public services and facilities essential to such development are adequate, except when such development has special functional requirements or other characteristics which necessitates its location in other coastal areas.*

## **Local Waterfront Revitalization Program (LWRP) Consistency Determination**

### **Edgewater**

As noted in the SEQRA Negative Declaration for the Project, the Project will be connected to the existing public water distribution system and public sanitary sewer system.

#### **POLICY 13**

*The construction or reconstruction of erosion protection structures shall be undertaken only if they have a reasonable probability of controlling erosion for at least thirty years as demonstrated in design and construction standards and/or assured maintenance or replacement programs.*

There will be no measurable increase erosion or flooding generated by the Project. The proposed stormwater practices shown on the plans and described in the SWPPP have been designed in accordance with the NYSDEC Stormwater Management Design Manual. A Stormwater Pollution Prevention Plan (SWPPP) has been prepared in accordance with the requirements of NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity Permit No. GP-0-15-002. The final stormwater management system will consist of minimal conveyance systems which will include culverts and grass-lined swales/dikes where required. It is anticipated that most, if not all perimeter diversion swales/dikes will be unnecessary and removed after installation; however, there may be a need for some as site conditions warrant. The remainder of the drainage area will remain undisturbed with natural vegetation remaining.

Green infrastructure practices will be implemented to the greatest extent possible to reduce runoff, including avoidance of sensitive areas, minimizing grading and soil disturbance, minimizing impervious areas on internal access ways, driveways and parking areas, and use of meadow as permanent final groundcover to provide better water quality. Parking spaces and drive aisles were reduced in size from 9'x20' with a 25' drive aisle to 9'x18' with a 24' drive aisle, to comply with the newly amended City Code requirements and consistency with the "Greenway Connections" and NYSDEC stormwater objectives to reduce impervious surfaces.

Infiltration/bioretention practices, use of open channel vegetated conveyance systems, and an underground cistern for roof runoff will also be implemented.

Pretreatment practices proposed for the project include overland flow, vegetated swales, stone check dams, hydrodynamic devices, treatment practices, bioretention areas, infiltration basins and grass filter strips.

Proposed bioretention areas 1 and 2 do not meet 100% Runoff Reduction Volume due to shallow bedrock constraints. The January 2015 NYSDEC Stormwater Design Manual describes acceptable site limitations to include shall depth to bedrock. Therefore, Bioretention area 1 will be supplemented with cisterns for roof runoff, and Bioretention area 2 will be supplemented with a vegetated swale to maximize the Runoff Reduction

## **Local Waterfront Revitalization Program (LWRP) Consistency Determination** **Edgewater**

Volume. Temporary vegetation sufficient to stabilize the soil will be provided on all disturbed areas as needed to prevent soil erosion, in accordance with the SWPPP.

### **POLICY 14**

*Activities and development, including the construction or reconstruction of erosion protection structures, shall be undertaken so that there will be no measurable increase in erosion or flooding at the site of such activities or development or at other locations.*

The proposed buildings have been sited on the flattest area of the Site and slopes and disturbed soils will be appropriately stabilized as described in the SWPPP both during and post-construction.

### **POLICY 25**

*Protect, restore and enhance natural and manmade resources which are not identified as being of state-wide significance, but which contribute to the scenic quality of the coastal area.*

The explanation of Policy 25 in the LWRP states that “the scenic qualities of Beacon results from the combination of clustered buildings (many historic) and wooded hillsides against the backdrop of the Hudson Highlands. The height, bulk, scale of future buildings will be important factors in maintaining the character of the City, as will the preservation of the wooded hillsides that intersperse the developed areas.”

The Project is consistent with Policy 25 in its condensing and clustering of the footprint of the buildings and impervious surfaces to achieve the clustered effected recommended by the LWRP. The buildings are setback from the property lines, which allows for the maintenance of the existing wooded hillsides around the proposed developed areas.

### **POLICY 33**

*Best management practices will be used to ensure the control of stormwater runoff and combined sewer overflows draining into coastal waters.*

See Policy 13.

### **POLICY 33A**

*Regulate construction in steeply sloped and high erosion areas to control excessive stormwater runoff.*

See Policy 13.

**Local Waterfront Revitalization Program (LWRP) Consistency Determination**  
**Edgewater**

*POLICY 37*

*Best management practices will be utilized to minimize the nonpoint discharge of excess nutrients, nonpoint discharge of excess nutrients, organics and eroded soils into coastal waters.*

See Policy 13.

**POLICY 38**

*The quality and quantity of surface water and groundwater supplies will be conserved and protected particularly where such waters constitute the primary or sole source of water supply.*

Residential land uses are generally not associated with the discharge of contaminants into aquifers or other ground water sources. There will be no bulk storage of petroleum or chemicals on-site. The Project does not include or require wastewater discharged to groundwater, and is not located within 100 feet of potable drinking water or irrigation sources.

The Project will be connected to the existing public water distribution system. At full build-out, the project is expected to require 45,430 gallons of water per day. Notably, the Project does not propose to use public water for irrigation purposes. Rather, the Project includes an underground cistern for harvesting roof runoff for irrigation purposes.

BE IT FURTHER RESOLVED, that the Planning Board hereby determines that the Project is entirely consistent with the LWRP policies which apply to the Project.

Resolution Adopted: November 14, 2017  
Beacon, New York

\_\_\_\_\_  
Jay Sheers, Chairman  
City of Beacon Planning Board

\_\_\_\_\_, 2017  
Dated

Zoning Regulations Table

Zoning District	Required Setbacks			Proposed Setbacks			Minimum Lot Area	Actual Lot Area	Lot Width	Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Proposed Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories	Max. # of Units per Building	Proposed # of Units per Building	Lot Area per Unit	Proposed Building Footprint	Allowable Density	Proposed Density
	Front	Side	Rear	Front	Side	Rear																		
RD1.7	30'	10'	25'	25'	30'	55'	5,000 sf	523,112 sf	50'	100'	25%	13%	30'	25' Average	55'	55'	4 1/2	Varies 5 Max.	36	Varies 59 Max.	1700	69,960 sf	307	307

\*\* Abutting residential districts or where driveway is proposed between building and lot line

NOTE: EXISTING WOODLANDS TO REMAIN - REMOVE DAMAGED, DEAD, AND DISEASED TREES DURING THE TREE CLEARING PERIOD WHICH IS BETWEEN OCTOBER 1<sup>ST</sup> AND MARCH 31<sup>ST</sup> (TYPICAL)

FILL IN ALL GAPS WITH EVERGREEN TREES FOR CONTINUOUS FORESTRY PLACEMENT AND QUANTITY TO BE DETERMINED IN THE FIELD WITH THE LANDSCAPE DESIGNER

NOTE: PROVIDE APPROXIMATELY 10' WIDE AREA AT PERIMETER OF DEVELOPED AREA FOR POTENTIAL RE-FORESTATION IF NECESSARY DUE TO CONSTRUCTION OPERATIONS. VERIFY EXTENT OF REQUIRED PLANTING IN THE FIELD (TYPICAL)

RE-FORESTATION PLANTING TO INCLUDE BIRCH / BEECH / MAPLE SAPPLINGS

PATH GENERALLY ADJACENT TO EDGE OF BLUFF - VERIFY EXACT LOCATION IN FIELD. PROVIDE FENCE AT DROP OFF

NOTE: PROTECT EXISTING TREES ON THIS SLOPE TO THE GREATEST EXTENT POSSIBLE. IF NOT POSSIBLE TO SAVE, PLANT NEW TREES IN SIMILAR LOCATIONS

NOTE: TREES ADJACENT TO PARKING AREAS TO BE MINIMUM 3" CALIPER AT FOUR FEET FROM THE GROUND (TYPICAL)

NOTE: PROVIDE AREA AT PERIMETER OF DEVELOPED AREA FOR POTENTIAL RE-FORESTATION IF NECESSARY DUE TO CONSTRUCTION OPERATIONS. VERIFY EXTENT OF REQUIRED PLANTING IN THE FIELD (TYPICAL)

NOTE: EXISTING WOODLANDS TO REMAIN - REMOVE DAMAGED, DEAD, AND DISEASED TREES DURING THE TREE CLEARING PERIOD WHICH IS BETWEEN OCTOBER 1<sup>ST</sup> AND MARCH 31<sup>ST</sup> (TYPICAL)

Zoning Summary

Zoning District: RD 1.7  
 Tax Map No.: 5955-19-590022 = 10.560 Acres or 460,004 Sq. Ft.  
 5954-25-581985 = 0.682 Acres or 29,727 Sq. Ft.  
 5954-25-574979 = 0.188 Acres or 8,190 Sq. Ft.  
 5954-25-566983 = 0.578 Acres or 25,234 Sq. Ft.  
 Lands Underwater = 10.035 Acres or 437,113 Sq. Ft. (UNDERWATER LANDS ARE NOT INCLUDED IN THIS APPLICATION)

Lot Area: 12,009 acres (523,112.04 sf)  
 Building Footprint: 69,960 square feet  
 Building Area: 266,840 square feet  
 Historical Overlay District: No  
 Parking Overlay District: No  
 Existing Use: Residential & Vacant  
 Proposed Use: Residential

Land Use Compliance

Use	Permitted / Required	Proposed
Residential	307 Dwelling Units	307 Dwelling Units
Parking	387 Parking Spaces	387 Parking Spaces

Parking & Loading

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
Residential 1 space for each dwelling unit plus 1/4 space per bedroom	307 apartments + 317 bedrooms	387 spaces
<b>Total Required Parking Spaces</b>		<b>387 spaces</b>
<b>Total Proposed Parking Spaces</b>		<b>387 spaces (354 provided (308 surface + 46 podium) + 33 landbanked</b>

Notes:

- A variance to exceed the maximum number of stories from 4 1/2 stories to 5 stories will be requested from the Zoning Board of Appeals for buildings 3, 4, and 6 in order to consolidate the built area on the site and maximize open space
- A variance to exceed the maximum number of units in a building will be requested from the Zoning Board of Appeals for buildings 1, 2, 3, and 6 in order to consolidate the built area on the site and maximize open space
- A variance to allow less than 30 feet between buildings will be requested from the Zoning Board of Appeals in order to consolidate the built area on the site and maximize open space
- The requested variances DO NOT add to the permitted number of units on the site. 307 units are allowed by the Zoning Code regulations
- The Applicant proposes to land bank 33 of the 387 proposed parking spaces, as demonstrated on the site plan
- The Applicant is proposing directional signage around the property. No other signage is proposed.
- Trash will be collected within the buildings, and taken out by building personnel to the enclosed trash containers on the property. Trash and recycling pickup will be scheduled as needed.
- The applicant is proposing a total of 307 apartments. The floor plans presented demonstrate that 307 apartments can be situated in the buildings. The Applicant may change the layout of the floor plans to suit market demand, but the total number of apartments and bedrooms will not exceed what is proposed in the Application.
- The renderings of the exterior elevations show, in general, the proposed building designs and material specifications. Depending on the final layout of the apartments, the window and door arrangements may be modified to suit the floor plans, while maintaining the general appearance of the design as presented.
- Note that the project will comply with Section 223-41.9 of the Beacon Zoning Code regarding below market rate units in effect at the time of Site Plan approval. The Below Market Rate (BMR) units shall have exterior finishes and general amenities comparable to the market-rate units within the development. BMR units shall be reasonably distributed throughout the project. The BMR units shall be provided in a mix of unit types in the same proportion as all other units in the development.



Location Plan

Scale: NTS

Index of Drawings

Sheet 1 of 15	Site Plan
Sheet 2 of 15	Existing Conditions Plan / Survey
Sheet 3 of 15	Landscape Plan
Sheet 4 of 15	Lighting Plan
Sheet 5 of 15	Lower Level / Podium Parking Floor Plan
Sheet 6 of 15	1st Floor Plan (2nd & 3rd Floors Typical)
Sheet 7 of 15	5th Floor / Roof Plan
Sheet 8 of 15	Renderings
Sheet 9 of 15	Building Elevations
Sheet 10 of 15	Grading and Utility Plan
Sheet 11 of 15	Erosion and Sediment Control Plan
Sheet 12 of 15	Profiles
Sheet 13 of 15	Site Details
Sheet 14 of 15	Stormwater Details
Sheet 15 of 15	Water and Sewer Details

NO.	DATE	DESCRIPTION	BY
1	02/28/17	REVISE PER PLANNING BOARD COMMENTS	AJS
2	03/28/17	REVISE PER PLANNING BOARD COMMENTS	AJS
3	04/25/17	REVISE PER PLANNING BOARD COMMENTS	AJS
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7	09/26/17	REVISE PER PLANNING BOARD COMMENTS	AJS
8	10/31/17	REVISE PER PLANNING BOARD COMMENTS	AJS
9	11/28/17	NO CHANGE	AJS

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

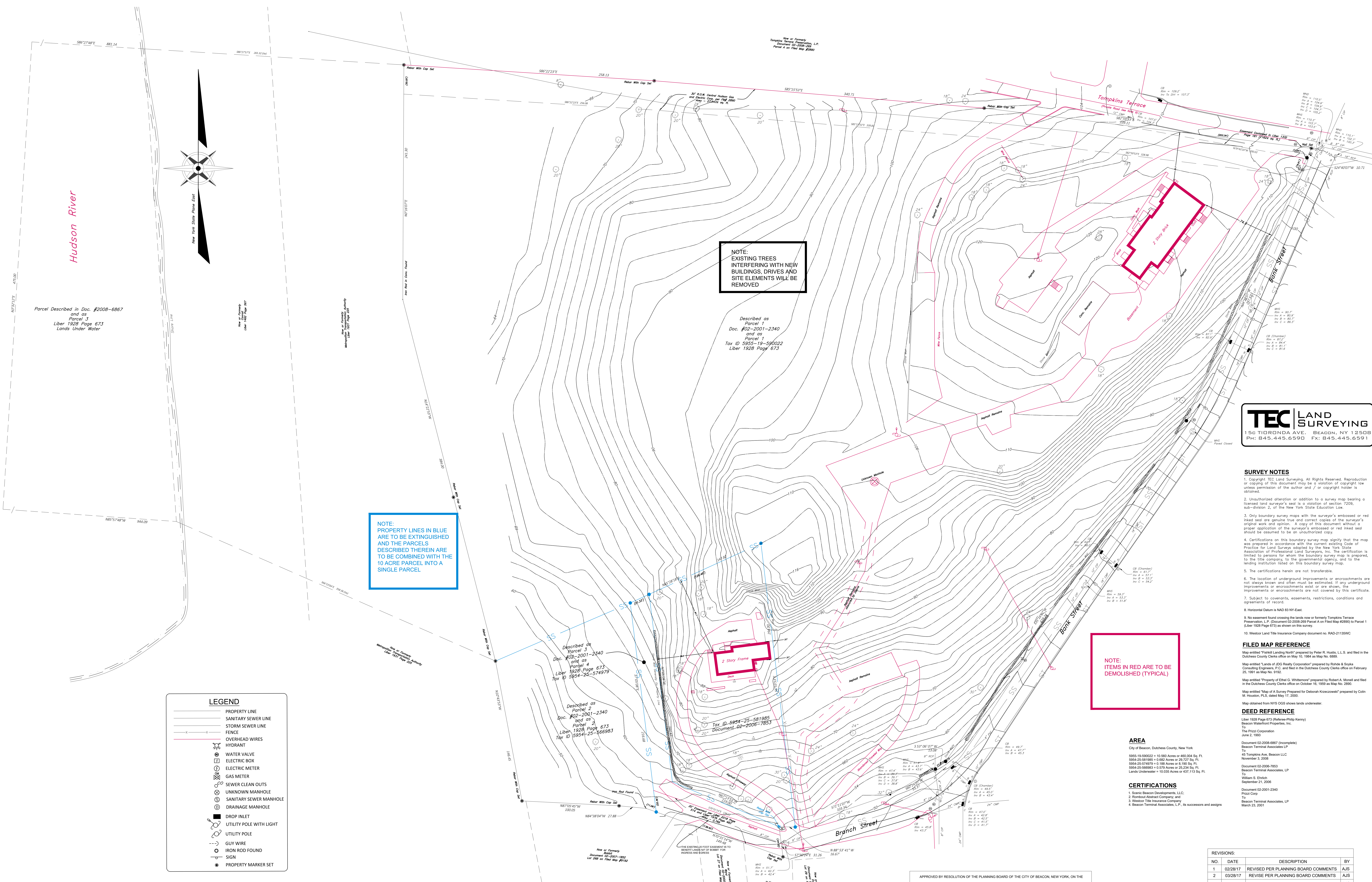
\_\_\_\_\_  
 SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Site Plan

Scale: 1" = 30'





**Existing Conditions & Demolition Plan**  
**Subdivision Diagram**  
 Scale: 1" = 30'

**TEC LAND SURVEYING**  
 15C TIORONDA AVE. BEACON, NY 12508  
 PH: 845.445.6590 FX: 845.445.6591

- SURVEY NOTES**
- Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
  - Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
  - Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
  - Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
  - The certifications herein are not transferable.
  - The location of underground improvements or encroachments are not shown and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
  - Subject to covenants, easements, restrictions, conditions and agreements of record.
  - Horizontal Datum is NAD 83 NY-East.
  - No assessment found crossing the lands now or formerly Tompkins Terrace Preservation, L.P. (Document 02-2008-2309 Parcel A on Field Map 62509 Parcel 1 (Liber 1928 Page 673) as shown on this survey.
  - Weslor Land Title Insurance Company document no. RAD-211836C

**FILED MAP REFERENCE**

Map entitled "Fishkill Landing North" prepared by Peter R. Hazis, L.L.S. and filed in the Dutchess County Clerk's office on May 10, 1984 as Map No. 8989.

Map entitled "Lands of JCC Realty Corporation" prepared by Robert S. Spika Consulting Engineers, P.C. and filed in the Dutchess County Clerk's office on February 25, 1991 as Map No. 9162.

Map entitled "Property of Ethel G. Whitman" prepared by Robert A. Mandel and filed in the Dutchess County Clerk's office on October 16, 1959 as Map No. 2890.

Map entitled "Map of A Survey Prepared for Deborah Kiczczowski" prepared by Colin M. Heaton, P.L.S. dated May 17, 2000.

Map obtained from NYS OCS shows lands underwater.

**DEED REFERENCE**

Liber 1928 Page 673 (Belmont-Pratt Realty)  
 Beacon Waterfront Properties, Inc.  
 The Pratz Corporation  
 June 2, 1993

Document E0-3008-6807 (Incorporated)  
 Beacon Terminal Associates LP  
 To  
 45 Tompkins Ave, Beacon LLC  
 November 3, 2008

Document E0-3008-7853  
 Beacon Terminal Associates, LP  
 To  
 William S. Ehrlich  
 September 21, 2006

Document E0-2001-2340  
 Ficti Corp  
 To  
 Beacon Terminal Associates, LP  
 March 23, 2001

**AREA**

City of Beacon, Dutchess County, New York

0955-19-59022 = 10.560 Acres or 460,004 Sq. Ft.  
 0954-25-54195 = 0.642 Acres or 29,227 Sq. Ft.  
 0954-25-54707 = 0.188 Acres or 8,150 Sq. Ft.  
 0954-25-54693 = 0.579 Acres or 25,234 Sq. Ft.  
 Lands Underwater = 10.038 Acres or 437,113 Sq. Ft.

**CERTIFICATIONS**

- Sonic Beacon Developments, LLC.
- Rothwell Abelson Company, and
- Weslor Title Insurance Company
- Beacon Terminal Associates, L.P., its successors and assigns

NO.	DATE	DESCRIPTION	BY
1	02/28/17	REVISED PER PLANNING BOARD COMMENTS	AJS
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8	10/31/17	REVISE PER PLANNING BOARD COMMENTS	AJS
9	11/28/17	NO CHANGE	AJS

**Owner:**  
**Scenic Beacon Developments, LLC**  
 25 East Main Street  
 Beacon, NY 12508

**Architect:**  
**Aryeh Siegel, Architect**  
 514 Main Street  
 Beacon, New York 12508


**Site / Civil Engineer:**  
**Hudson Land Design**  
 174 Main Street  
 Beacon, New York 12508

**Surveyor:**  
**TEC Land Surveying, P.C.**  
 15C Tioronda Avenue  
 Beacon, New York 12508

**Landscape Designer:**  
**Landscape Restorations**  
 P.O. Box 286  
 Beacon, New York 12508



**ALED3T50**



**Project:** Edgewater  
**Type:** L

**Prepared By:** Patrick Carbone  
**Date:** 02/27/2017

**Driver Info:** Constant Current  
Type: 120V  
200V  
240V  
277V  
Input Watts: 52W  
Efficiency: 87%

**LED Info:** Watt: 50W  
Color Temp: 5000K  
Color Accuracy: 67 CRI  
Lumen: 4,840  
Beam Angle: 94 LPW

Specification grade area lights available in IES Type III distributions. For use for parking, general lighting and other area lighting applications where a larger pool of lighting is required. Mounts to 4" square steel poles at 20-30'. Patent pending thermal management system. 5 Year Warranty.  
Color: Bronze Weight: 32.0 lbs

**Technical Specifications**

**UL Listing:** Suitable for wet locations as a downlight.

**IES Classification:** The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

**Green Technology:** High-efficiency lighting of 94% for dust and water.

**Ambient Temperature:** Suitable for use in 40°C ambient temperature.

**Cold Weather Starting:** The minimum starting temperature is -40°C (-40°F).

**Thermal Management:** Superior thermal management design with external Air Flow that provides maximum operational life, even in high ambient temperature environments.

**Effective Projected Area:** 67% at 120V, 7.4% at 277V.

**IP Rating:** IP67

**Surge Protection:** 60V surge suppression protection tested in accordance with IEEE/ANSI C82.4.2.

**Other:** See ALED3T50PC, ALED3T50PCS or ALED3T50PCT for a 2015 California Title 24 compliant model.

**California Title 24:** See ALED3T50PC, ALED3T50PCS or ALED3T50PCT for a 2015 California Title 24 compliant model.

**Color Consistency:** 7-step MacGrath Elipse binning to achieve consistent Bin-to-Bin color.

**Color Stability:** LED color temperature is guaranteed to drift no more than 200K in CCT over a 5 year period.

**Color Uniformity:** Highly uniform CCT (Controlled Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

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**ALED3T50**

**Technical Specifications (continued)**

**Warranty:** RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and lifetime hours.

**Recovery Act (ARRA) Compliant:** This product complies with the DC 2525-21 "Required Use of American Iron, Steel, and Manufacture Goods - Buy American Act - Construction Materials (October 2010)".

**GSA Schedule:** Suitable in accordance with FAR Subject 25.4.

**Country of Origin:** Designed by RAB in New Jersey and assembled in the USA by RAB's IESV1 Local workers.

**Buy American Act Compliant:** This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

**Dimensions:** 3 1/2" H x 3 1/2" W x 1 1/2" D

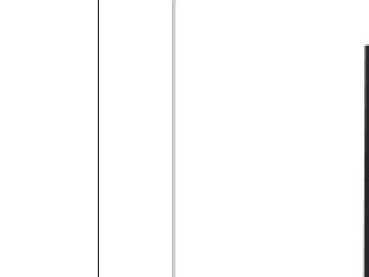
**Features:** 60% energy cost savings vs. HLD  
100,000-hour LED lifespan  
Type III distribution  
5-year warranty

**Ordering Matrix:**

Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Sensor	BI-Level
ALED	2T - Type II	50	Blank	Blank	Blank	Blank	Blank	Blank	Blank	No
	3T - Type III	50W	Am	5000K	Bronze	120/277V	PHC	100	None	BL
	4T - Type IV	50	Substr	5000K	White	120/277V	PHC	100	None	BL

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**ALED4T50**



**Project:** Edgewater  
**Type:** M

**Prepared By:** Patrick Carbone  
**Date:** 02/27/2017

**Driver Info:** Constant Current  
Type: 120V  
200V  
240V  
277V  
Input Watts: 52W  
Efficiency: 86%

**LED Info:** Watts: 50W  
Color Temp: 5000K  
Color Accuracy: 67 CRI  
Lumen: 5,196  
Beam Angle: 100 LPW

Specification grade area lights available in IES Type IV distributions. Suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. Mounts to 4" square steel poles at 20-30'. Patent pending thermal management system. 5 Year Warranty.  
Color: Bronze Weight: 32.0 lbs

**Technical Specifications**

**UL Listing:** Suitable for wet locations as a downlight.

**IES Classification:** The Type IV distribution (also known as a Forward Throw) is generally suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with controlled, low beam dispersion at 90° or 120°.

**Green Technology:** High-efficiency lighting of 86% for dust and water.

**Ambient Temperature:** Suitable for use in 40°C ambient temperature.

**Cold Weather Starting:** The minimum starting temperature is -40°C (-40°F).

**Thermal Management:** Superior thermal management design with external Air Flow that provides maximum operational life, even in high ambient temperature environments.

**Effective Projected Area:** 67% at 120V, 7.6% at 277V.

**IP Rating:** IP67

**Surge Protection:** 60V surge suppression protection tested in accordance with IEEE/ANSI C82.4.2.

**Other:** See ALED4T50PC, ALED4T50PCS or ALED4T50PCT for a 2015 California Title 24 compliant model.

**California Title 24:** See ALED4T50PC, ALED4T50PCS or ALED4T50PCT for a 2015 California Title 24 compliant model.

**Color Consistency:** 7-step MacGrath Elipse binning to achieve consistent Bin-to-Bin color.

**Color Stability:** LED color temperature is guaranteed to shift no more than 200K in CCT over a 5 year period.

**Color Uniformity:** RAB's range of CCT (Controlled Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

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**ALED4T50**

**Technical Specifications (continued)**

**Other:** RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and lifetime hours.

**Recovery Act (ARRA) Compliant:** This product complies with the DC 2525-21 "Required Use of American Iron, Steel, and Manufacture Goods - Buy American Act - Construction Materials (October 2010)".

**GSA Schedule:** Suitable in accordance with FAR Subject 25.4.

**Country of Origin:** Designed by RAB in New Jersey and assembled in the USA by RAB's IESV1 Local workers.

**Buy American Act Compliant:** This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

**Dimensions:** 3 1/2" H x 3 1/2" W x 1 1/2" D

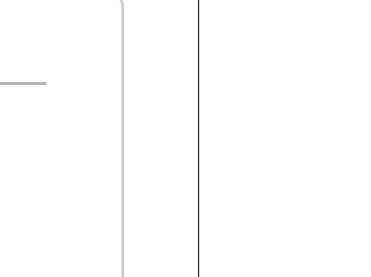
**Features:** 60% energy cost savings vs. HLD  
100,000-hour LED lifespan  
Type IV distribution  
5-year warranty

**Ordering Matrix:**

Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Sensor	BI-Level
ALED	2T - Type II	50	Blank	Blank	Blank	Blank	Blank	Blank	Blank	No
	3T - Type III	50W	Am	5000K	Bronze	120/277V	PHC	100	None	BL
	4T - Type IV	50	Substr	5000K	White	120/277V	PHC	100	None	BL

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**PS4-11-20D2**



**Project:** Edgewater  
**Type:** N

**Prepared By:** Patrick Carbone  
**Date:** 02/27/2017

**Driver Info:** Constant Current  
Type: 120V  
200V  
240V  
277V  
Input Watts: 52W  
Efficiency: 87%

**LED Info:** Watt: 50W  
Color Temp: 5000K  
Color Accuracy: 67 CRI  
Lumen: 4,840  
Beam Angle: 94 LPW

Specification grade area lights available in IES Type N distributions. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures pole arrive at the job site good as new.  
Color: Bronze Weight: 137.0 lbs

**Technical Specifications**

**UL Listing:** Suitable for wet locations.

**IES Classification:** The Type N distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

**Green Technology:** High-efficiency lighting of 87% for dust and water.

**Ambient Temperature:** Suitable for use in 40°C ambient temperature.

**Cold Weather Starting:** The minimum starting temperature is -40°C (-40°F).

**Thermal Management:** Superior thermal management design with external Air Flow that provides maximum operational life, even in high ambient temperature environments.

**Effective Projected Area:** 67% at 120V, 7.4% at 277V.

**IP Rating:** IP67

**Surge Protection:** 60V surge suppression protection tested in accordance with IEEE/ANSI C82.4.2.

**Other:** See PS4-11-20D2PC, PS4-11-20D2PCS or PS4-11-20D2PCT for a 2015 California Title 24 compliant model.

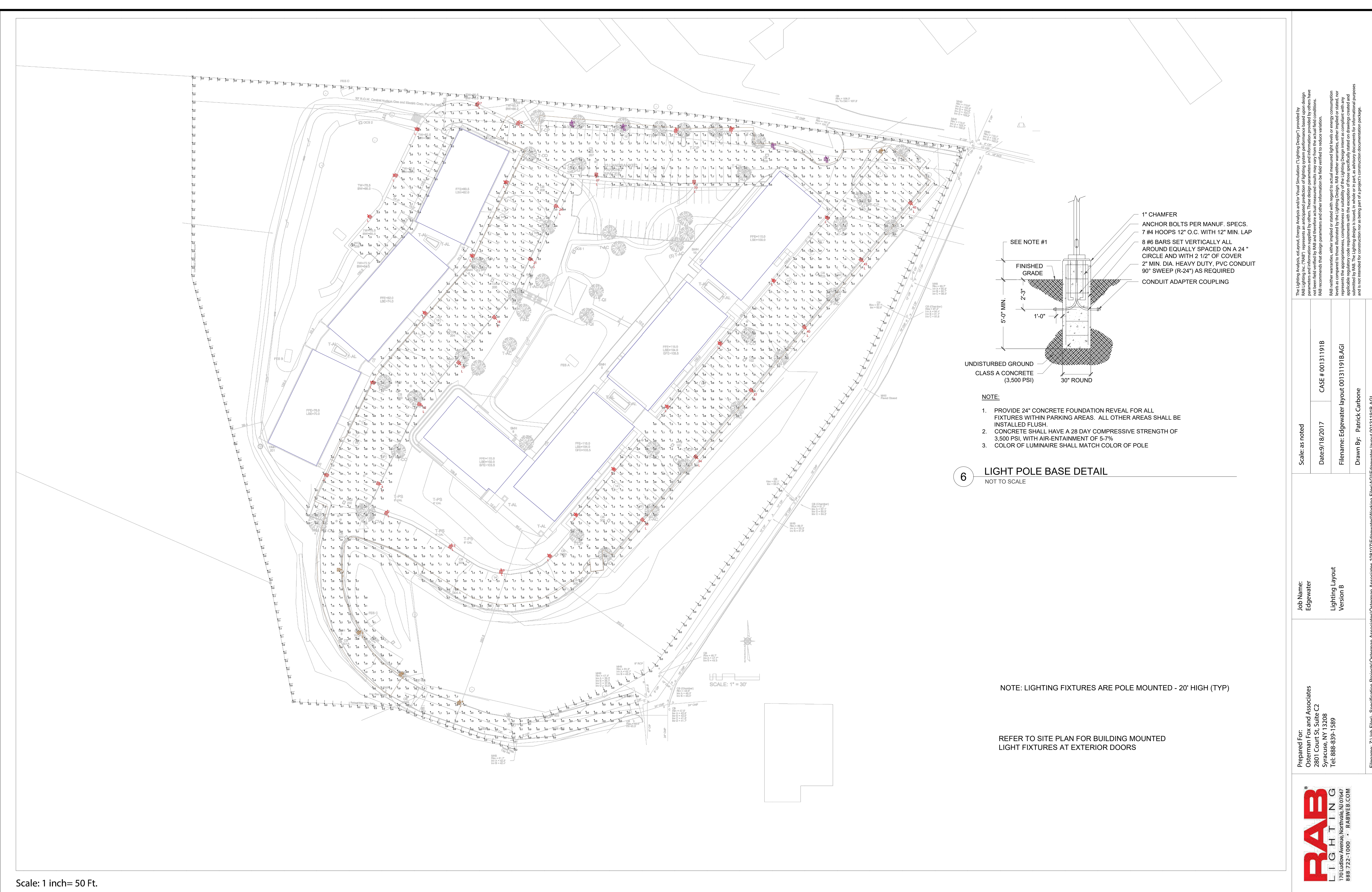
**California Title 24:** See PS4-11-20D2PC, PS4-11-20D2PCS or PS4-11-20D2PCT for a 2015 California Title 24 compliant model.

**Color Consistency:** 7-step MacGrath Elipse binning to achieve consistent Bin-to-Bin color.

**Color Stability:** LED color temperature is guaranteed to drift no more than 200K in CCT over a 5 year period.

**Color Uniformity:** RAB's range of CCT (Controlled Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

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**ANCHOR BOLT TEMPLATE**  
**4" SQUARE POLES**

Verify hole locations and anchor bolt positions.  
Use 1/2" x 30" anchor bolts with washers and lock washers.  
Do not use galvanized steel as it can cause rust.

**ABK4-11 with 18.75" Anchor Bolts**  
PS4-11-20D2  
PS4-11-20D1  
PS4-11-20D7  
PS4-11-20D8  
PS4-11-20D9

**Anchor Bolt Kit - for Mason**  
1) 1/2" x 30" anchor bolts with washers and lock washers  
2) Hex nuts  
3) Lock washers  
4) 4" x 4" x 1/2" concrete anchors

**Base Cover Kit - for Electrician**  
1) 2pc. Steel base cover, bronze  
2) 1/4" x 3/8" base cover screws  
3) 4" x 4" x 1/2" cap CATX PCAM, see note with detail sheet

**ABK4-11 with 18.75" Anchor Bolts**  
PS4-11-20D2  
PS4-11-20D1  
PS4-11-20D7  
PS4-11-20D8  
PS4-11-20D9

**Anchor Bolt Kit - for Mason**  
1) 1/2" x 30" anchor bolts with washers and lock washers  
2) Hex nuts  
3) Lock washers  
4) 4" x 4" x 1/2" concrete anchors

**Base Cover Kit - for Electrician**  
1) 2pc. Steel base cover, bronze  
2) 1/4" x 3/8" base cover screws  
3) 4" x 4" x 1/2" cap CATX PCAM, see note with detail sheet

**Notes:**  
The finished concrete cover and anchor bolt positions are shown in the detail sheet.  
Do not use galvanized steel as it can cause rust.  
Additional drilling can be done in the field.

**BL1: Wall Mounted**  
HUBBARDTON FORGE "HOOD" OUTDOOR DARK SKY COMPLIANT WALL SCIENCE #306563, 15" HIGH X 6 3/4" WIDE, BURNISHED STEEL FINISH. 60 W INCANDESCENT LAMP

**PL1: Pathway Light**  
JOHN TIMBERLAND THREE-TIER PAGODA LOW VOLT BRONZE 4 WATT LED LANDSCAPE PATH LIGHT - STYLE # 2C488 (OR APPROVED EQUAL)

NOTE: THE MANUFACTURERS DO NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES ARE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY.

**Lighting**  
Not to Scale

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, EXAMINATION, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

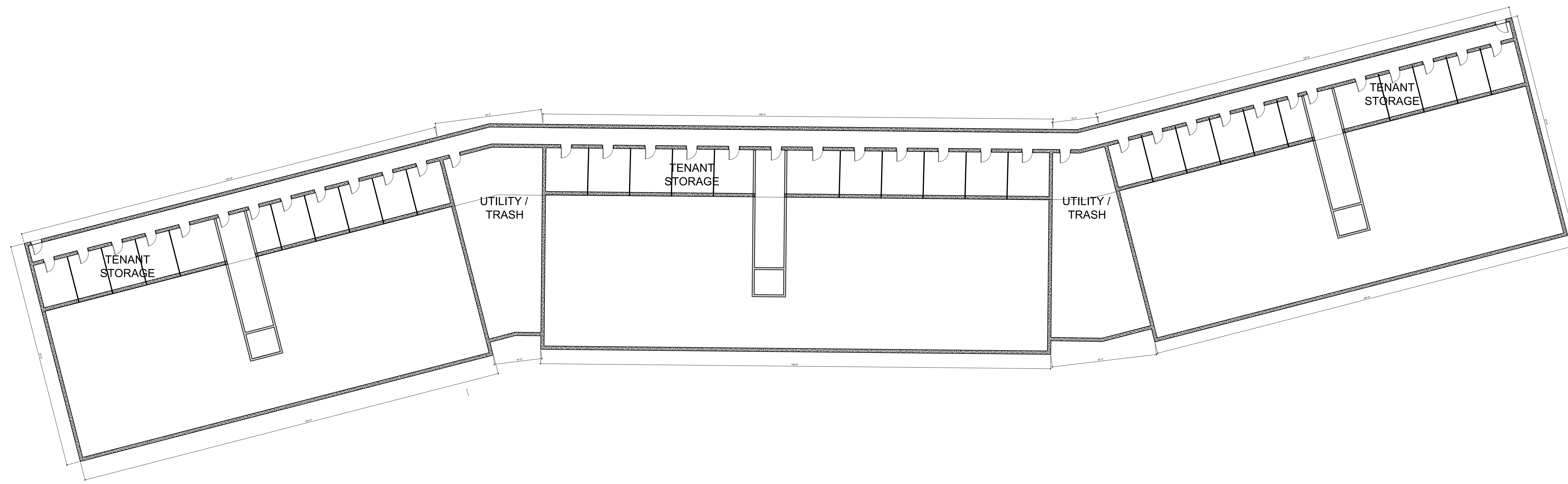
\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

NO.	DATE	DESCRIPTION	BY
1	02/28/17	REVISE PER PLANNING BOARD COMMENTS	AJS
2	03/28/17	REVISE PER PLANNING BOARD COMMENTS	AJS
3	04/25/17	REVISE PER PLANNING BOARD COMMENTS	AJS
4	05/30/17	NO CHANGE	AJS
5	07/25/17	NO CHANGE	AJS
6	08/29/17	NO CHANGE	AJS
7	09/29/17	REVISE PER PLANNING BOARD COMMENTS	AJS
8	10/31/17	REVISE PER PLANNING BOARD COMMENTS	AJS
9	11/28/17	NO CHANGE	AJS

**Site Lighting Plan**  
Sheet 4 of 15  
**Edgewater**  
Beacon, New York  
Scale: 1" = 40'  
January 31, 2017



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/28/17	REVISE PER PLANNING BOARD COMMENTS	AJS
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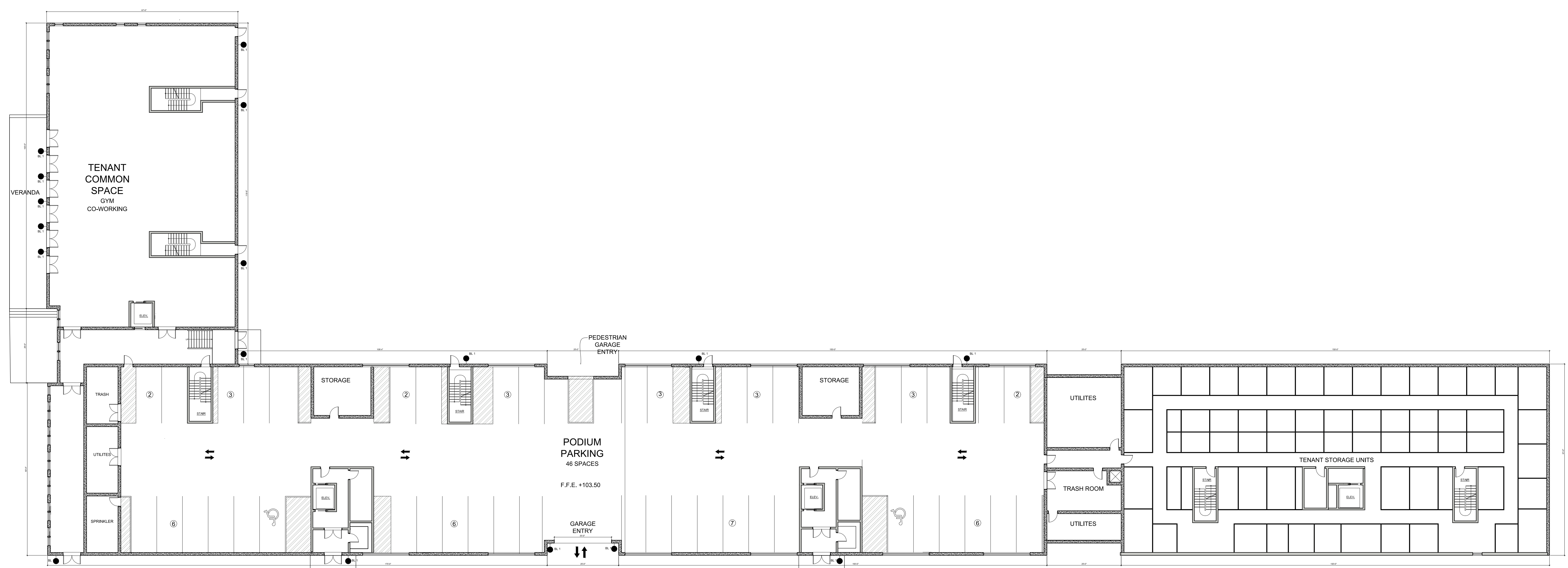
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SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**Lower Floor Plan / Garage Diagram**  
 Scale: 1/16" = 1'-0"

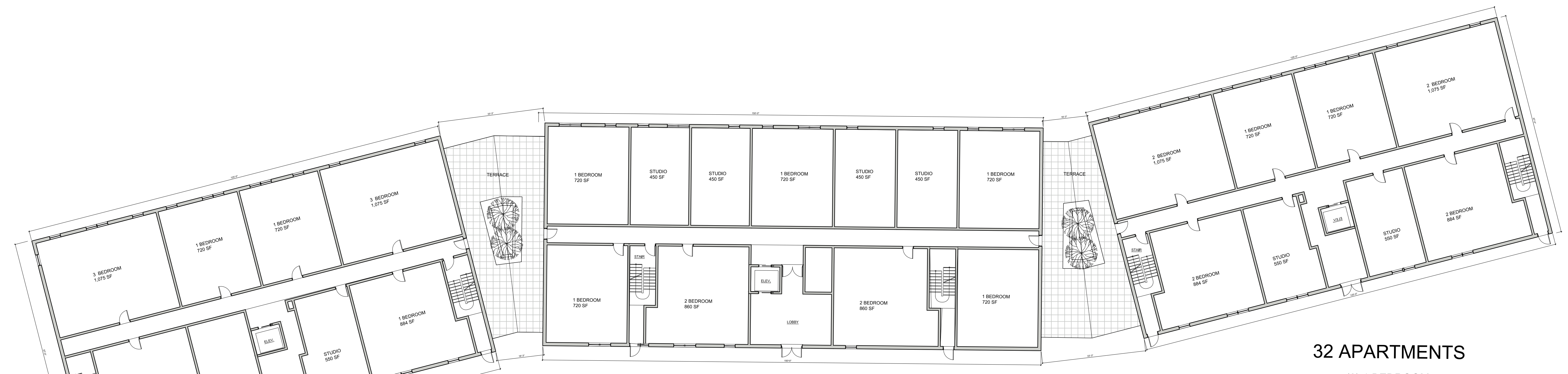
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
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5	07/25/17	NO CHANGE	AJS
6	08/29/17	NO CHANGE	AJS
7	09/29/17	NO CHANGE	AJS
8	10/31/17	REVISE PER PLANNING BOARD COMMENTS	AJS
9	11/28/17	REVISE PER PLANNING BOARD COMMENTS	AJS

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**32 APARTMENTS**

- (2) 1 BEDROOM
- (4) 2 BEDROOM
- (2) STUDIO

**32 APARTMENTS**

- (4) 1 BEDROOM
  - (2) 3 BEDROOM
  - (2) STUDIO
- 8 apartments  
x 4 floors  
= 32 apartments

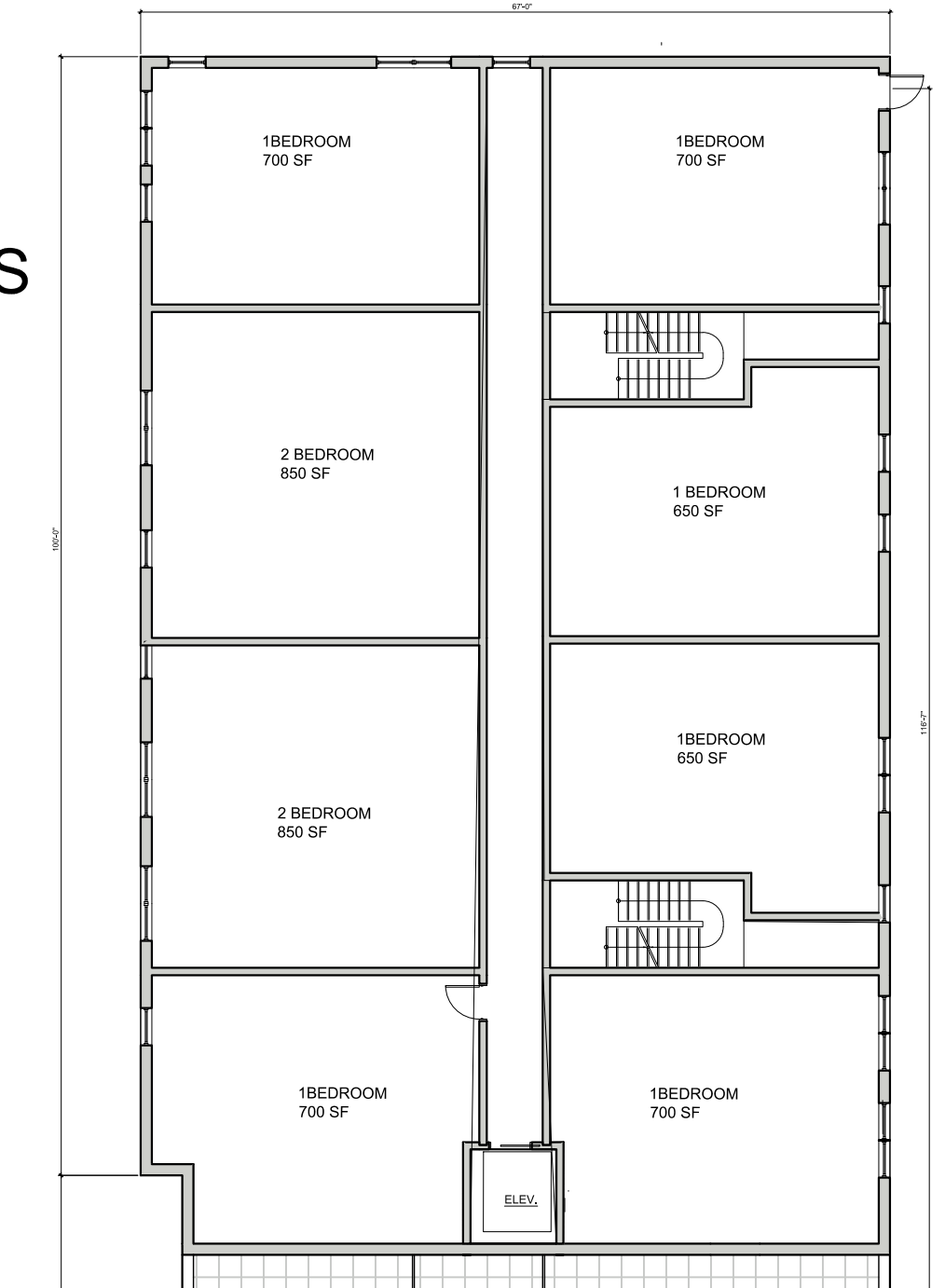
**51 APARTMENTS**

- (5) 1 BEDROOM
  - (2) 2 BEDROOM
  - (4) STUDIO
- (2) 2 BEDROOM
  - (4) 1 BEDROOM
  - (1) STUDIO

11 apartments  
x 4 floors  
= 44 apartments + 7 apartments (5th floor) = 51 apartments total

**32 APARTMENTS**

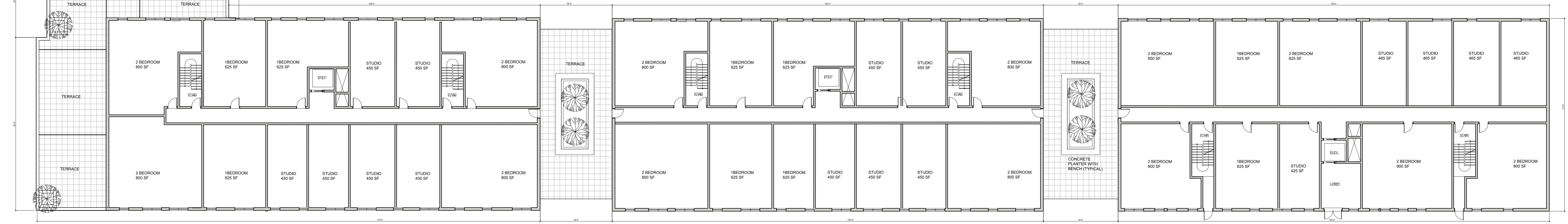
- (6) 1 BEDROOM
  - (2) 2 BEDROOM
- 8 apartments  
x 4 floors  
= 32 apartments



Unit and Bedroom Count	Studio	1 BR	2BR	3BR	Bedrooms
5th Floor	4	5	2	2	15
4th Floor	23	27	21	2	75
3rd Floor	23	28	21	2	76
2nd Floor	23	28	21	2	76
1st Floor	23	27	21	2	75
<b>307</b>	<b>96</b>	<b>115</b>	<b>86</b>	<b>10</b>	<b>317</b>

**NOTES:**

- THE BEDROOM COUNT OF 317 REFLECTS THE ACTUAL NUMBER OF BEDROOMS WITHOUT COUNTING BEDROOMS FOR THE STUDIO APARTMENTS, FOR PARKING CALCULATION PURPOSES ONLY
- FOR CALCULATION OF WATER AND SEWER FLOW, THE NUMBER OF BEDROOMS IS COUNTED AS 415, WHICH ACCOUNTS FOR EACH STUDIO APARTMENT BEING CONSIDERED AS A ONE BEDROOM



**Typical Floor Plan Diagram**

Scale: 1/16" = 1'-0"

**59 APARTMENTS**

- (4) 1 BEDROOM
  - (4) 2 BEDROOM
  - (5) STUDIOS
- 5TH FLOOR  
(3) 2 BEDROOM  
(1) 1 BEDROOM  
(3) STUDIOS

12 apartments  
x 4 floors  
= 52 apartments + 7 apartments (5th Floor) = 59 apartments total

NOTE: INTERIOR FLOOR PLANS ARE NOT PART OF THIS APPLICATION, AND ARE INCLUDED FOR ILLUSTRATION PURPOSES AND TO DEMONSTRATE THE TOTAL NUMBER OF UNITS AND BEDROOMS PROPOSED. THE FLOOR PLANS ARE SUBJECT TO CHANGE, HOWEVER THE FINAL COUNT WILL NOT EXCEED THE APPROVED NUMBER OF UNITS AND BEDROOMS. WINDOW LOCATIONS MAY CHANGE TO CORRESPOND TO FINAL APARTMENT PLAN LAYOUTS

**52 APARTMENTS**

- (4) 1 BEDROOM X 4 FLOORS = 16 1BR
- (4) 2 BEDROOM X 4 FLOORS = 24 2BR
- (5) STUDIOS

13 apartments  
x 4 floors  
= 52 apartments

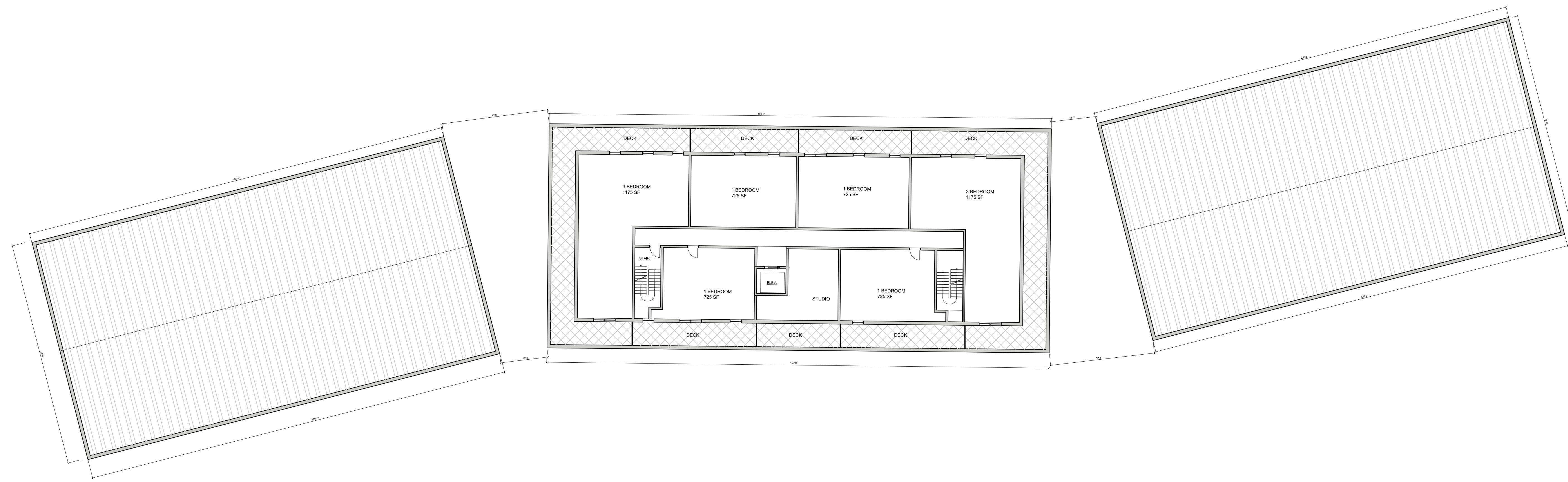
**48 APARTMENTS**

- (2) 1 BEDROOM
- (5) 2 BEDROOM
- (5) STUDIO

12 apartments  
x 4 floors  
= 48 apartments

**Typical Floor Plan**

Sheet 6 of 15



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/28/17	REVISE PER PLANNING BOARD COMMENTS	AJS
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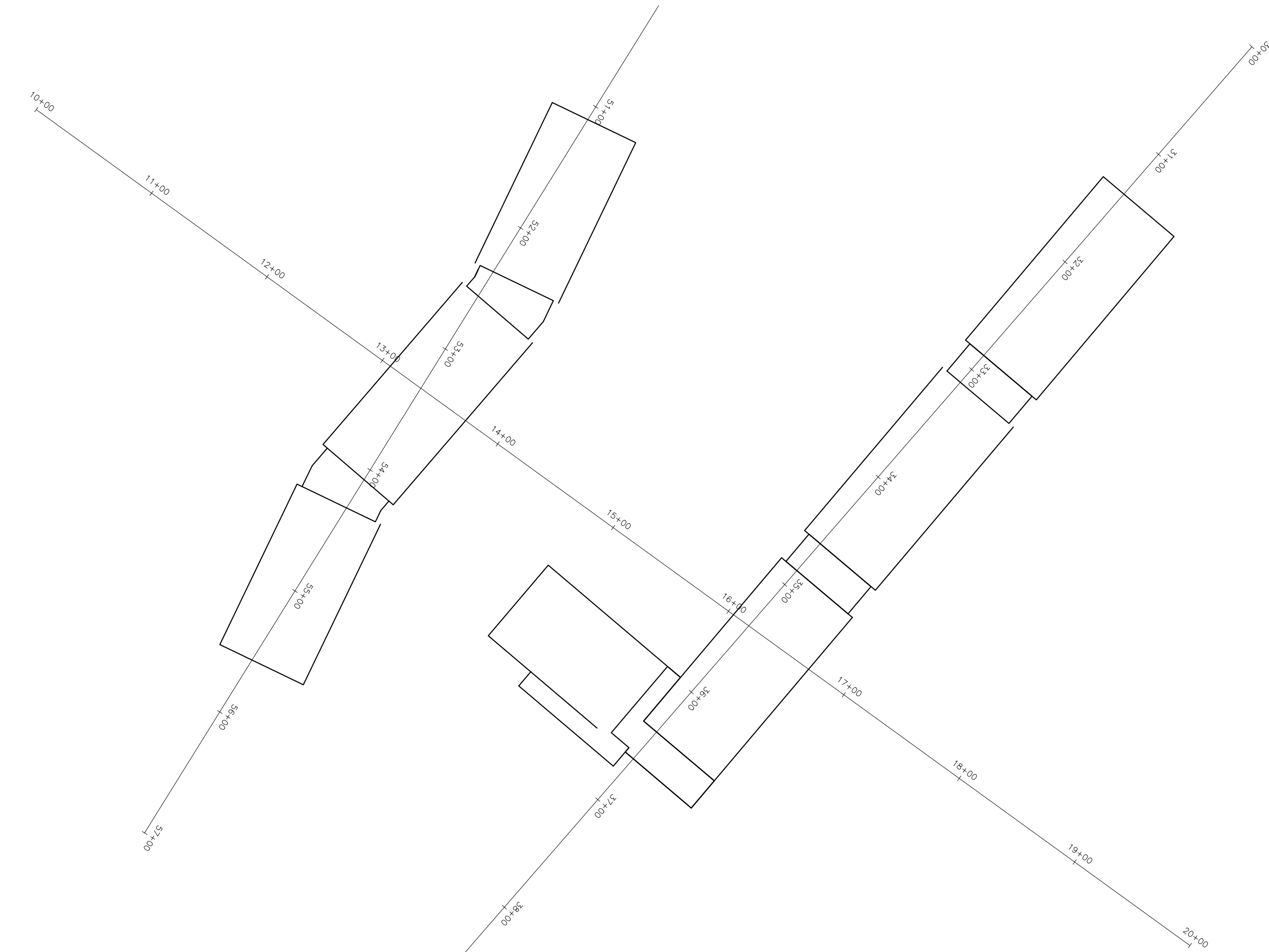
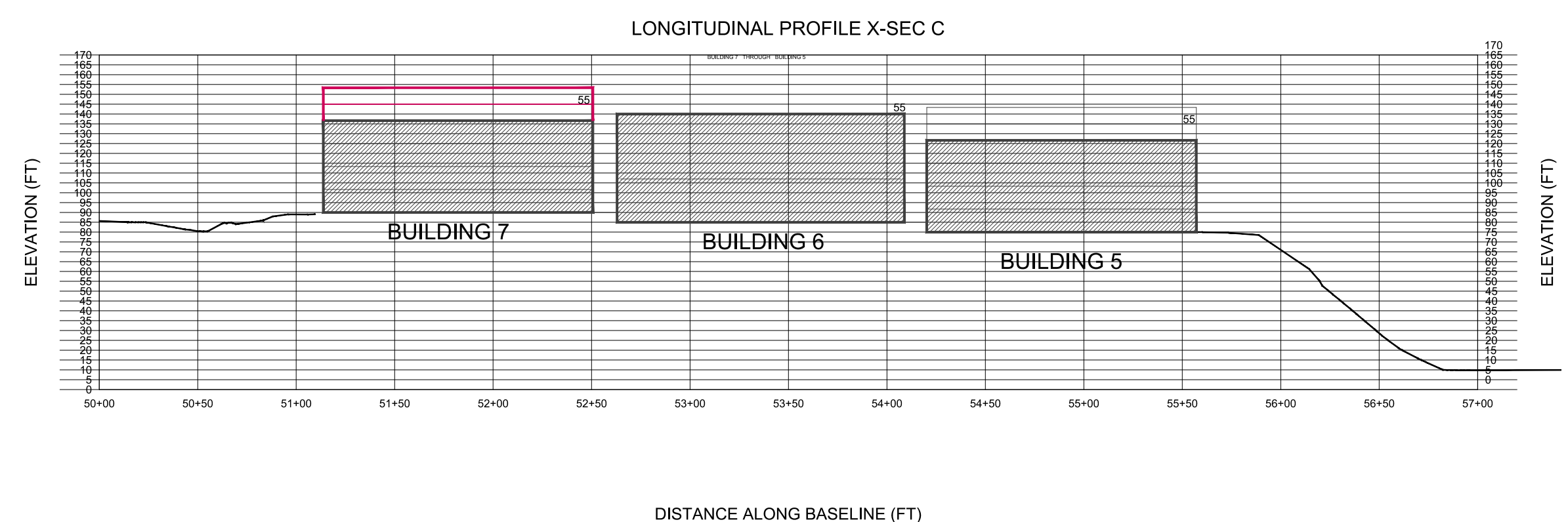
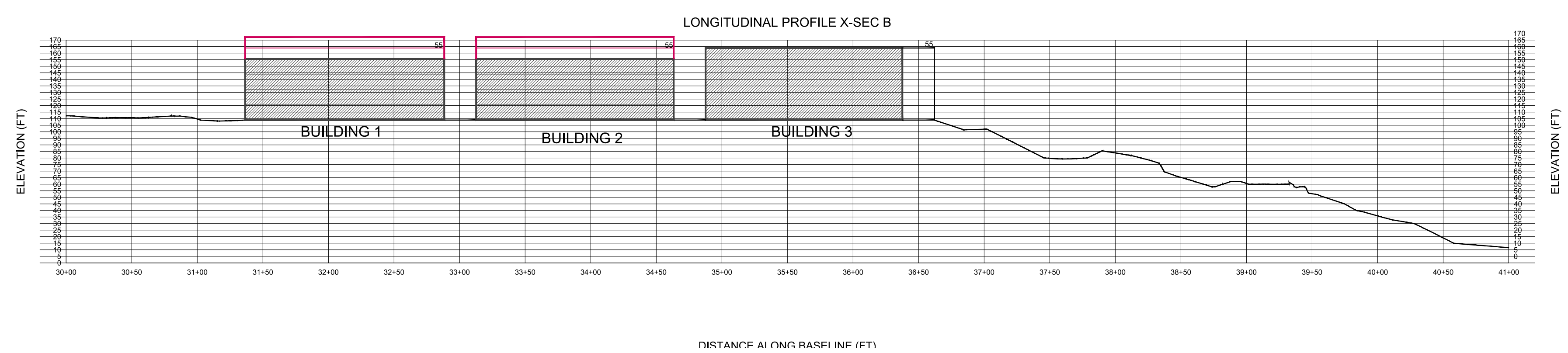
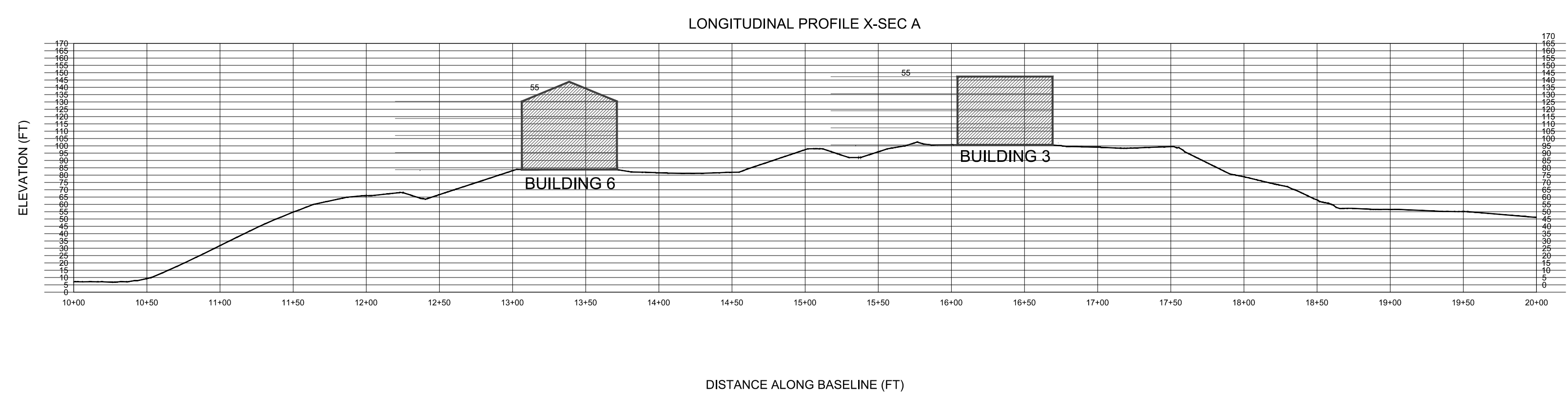
CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**5th Floor Plan Diagram**  
 Scale: 1/16" = 1'-0"



**Site Section Diagrams**  
Scale: 1/64" = 1'-0"

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\_\_\_\_\_ CHAIRMAN

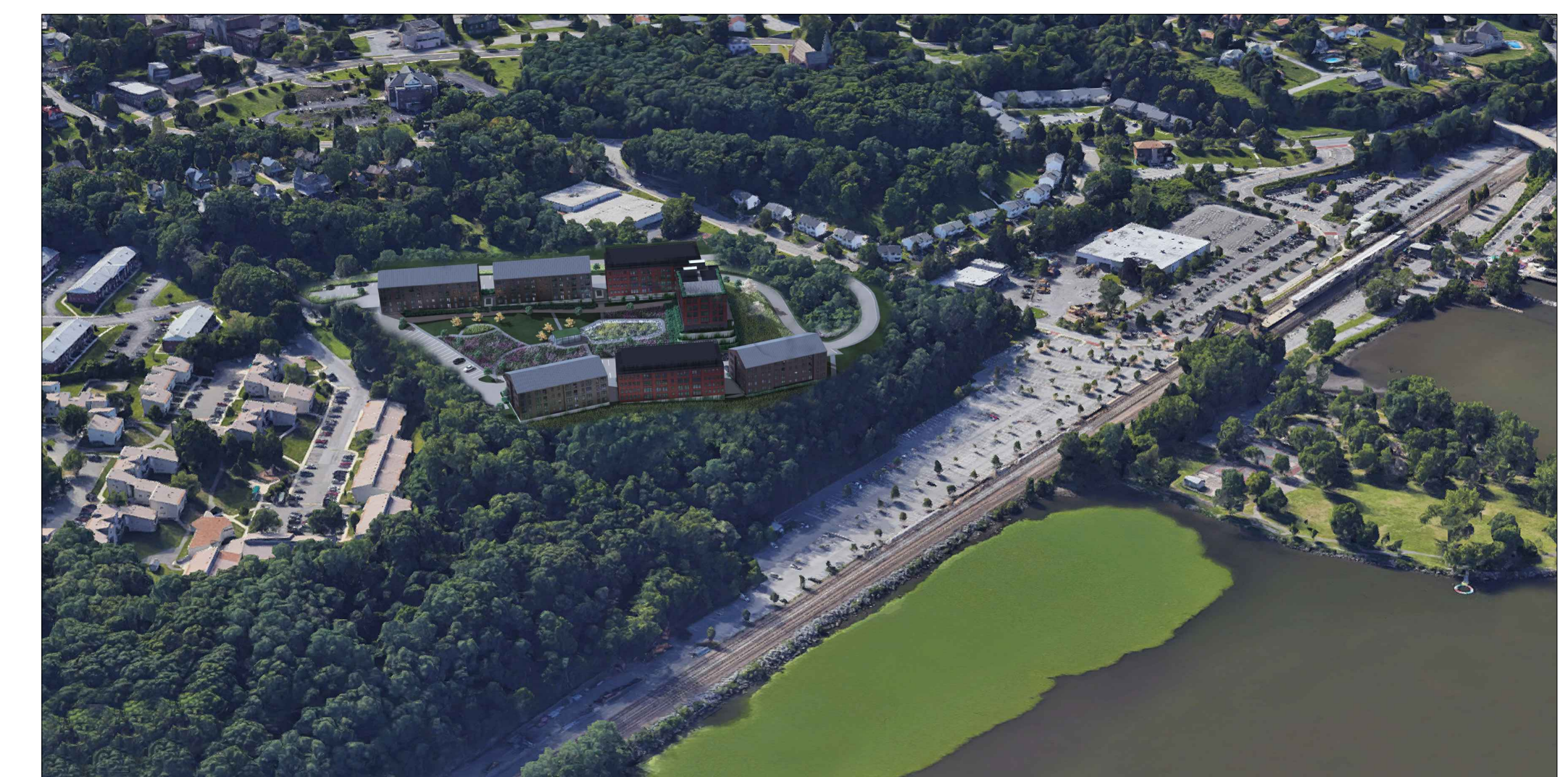
\_\_\_\_\_ SECRETARY

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8	10/31/17	NO CHANGE	AJS
9	11/28/17	NO CHANGE	AJS



**View From Train Station**



**Aerial View**



**Site Section Renderings**



**Rendering**



**Rendering**



**Rendering**



**Rendering**



**View From Hudson River**

**Building Renderings & Site Sections**

Sheet 8 of 15

TRELLIS  
PAINTED METAL RAILING

DOUBLE GLAZED  
INSULATED WINDOWS

42" HIGH TEMPERED  
GLASS RAILING IN  
FRONT OF DOUBLE  
FRENCH DOORS

METAL CANOPY AT  
ENTRANCE

TRELLIS WITH PLANTING

CONCRETE FOUNDATION  
WALLS



**Building Elevation: Building #3, 6**

1/16" = 1'-0"

STANDING SEAM  
GALVANIZED METAL  
ROOF

DOUBLE GLAZED  
INSULATED WINDOWS

42" HIGH TEMPERED  
GLASS RAILING IN  
FRONT OF DOUBLE  
FRENCH DOORS

CONCRETE FOUNDATION  
WALLS



**Building Elevation: Typical Gable Roof Building # 1, 2, 5, 7**

1/16" = 1'-0"

TRELLIS  
PAINTED METAL RAILING

DOUBLE GLAZED  
INSULATED WINDOWS

42" HIGH TEMPERED  
GLASS RAILING IN  
FRONT OF DOUBLE  
FRENCH DOORS

METAL CANOPY AT  
ENTRANCE

CONCRETE FOUNDATION  
WALLS



**Building Elevation: Building #3, 6**

1/16" = 1'-0"

STANDING SEAM  
GALVANIZED METAL  
ROOF

DOUBLE GLAZED  
INSULATED WINDOWS

42" HIGH TEMPERED  
GLASS RAILING IN  
FRONT OF DOUBLE  
FRENCH DOORS

CONCRETE FOUNDATION  
WALLS



**Building Elevation: Typical Gable Roof Building # 1, 2, 5, 7**

1/16" = 1'-0"

STANDING SEAM  
GALVANIZED METAL  
ROOF

DOUBLE GLAZED  
INSULATED WINDOWS

42" HIGH TEMPERED  
GLASS RAILING IN  
FRONT OF DOUBLE  
FRENCH DOORS

FRENCH DOORS AT  
COMMON SPACE

CONCRETE FOUNDATION  
WALLS



**Building Elevation: Building #4**

1/16" = 1'-0"

STANDING SEAM  
GALVANIZED METAL  
ROOF

DOUBLE GLAZED  
INSULATED WINDOWS

42" HIGH TEMPERED  
GLASS RAILING IN  
FRONT OF DOUBLE  
FRENCH DOORS

CONCRETE FOUNDATION  
WALLS



**Building Elevation: Typical Gable Roof Building Over Podium # 1, 2, 5, 7**

1/16" = 1'-0"

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\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

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**Building Elevation: Building #4**

1/16" = 1'-0"

STANDING SEAM  
GALVANIZED METAL  
ROOF

DOUBLE GLAZED  
INSULATED WINDOWS

42" HIGH TEMPERED  
GLASS RAILING IN  
FRONT OF DOUBLE  
FRENCH DOORS

CONCRETE FOUNDATION  
WALLS

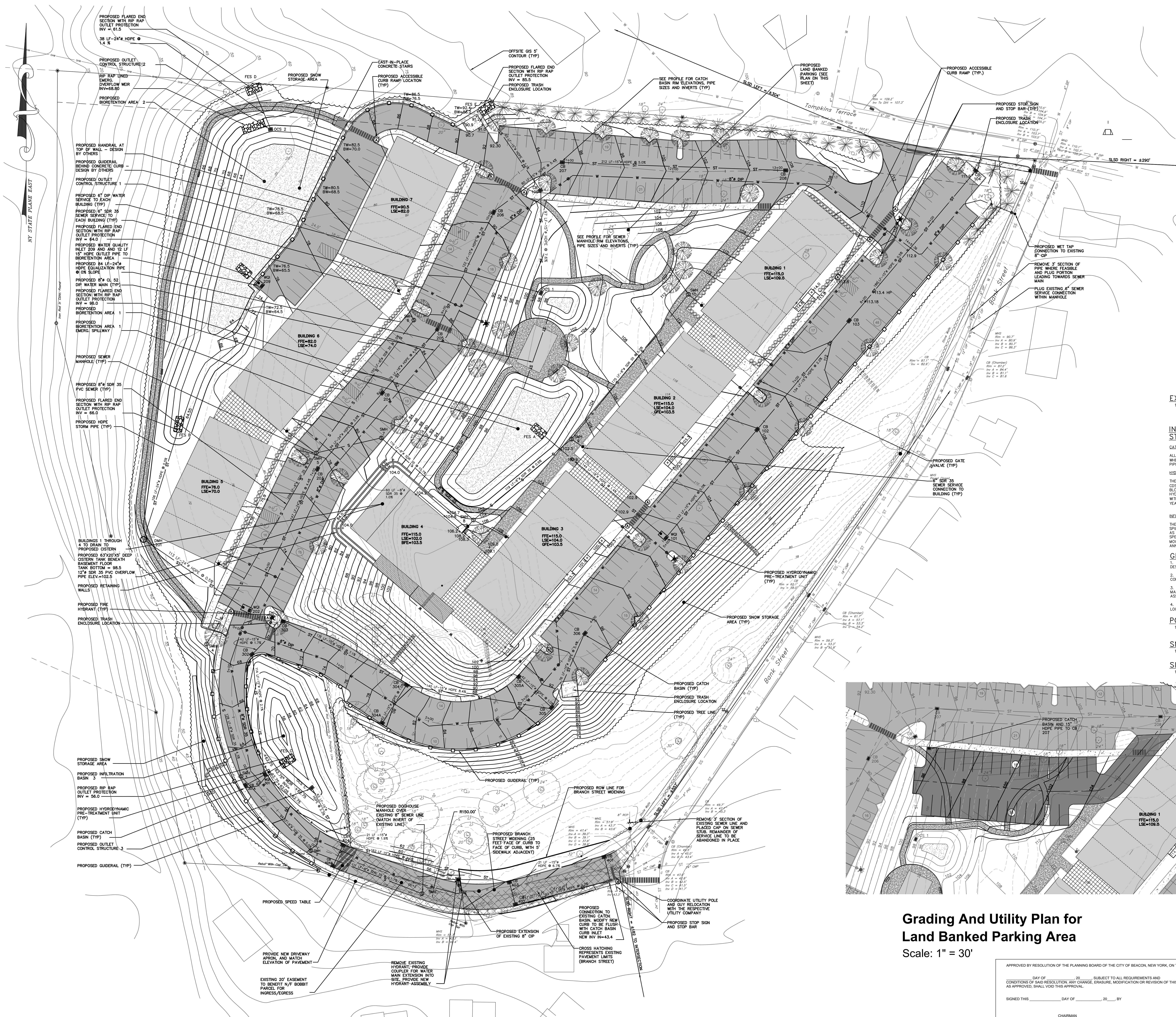


**Building Elevation: Typical Gable Roof Building Over Podium #1, 2, 5, 7**

1/16" = 1'-0"

NO.	DATE	DESCRIPTION	BY
1	02/28/17	PROGRESS SUBMISSION	AJS
2	03/28/17	REVISE PER PLANNING BOARD COMMENTS	AJS
3	04/25/17	REVISE PER PLANNING BOARD COMMENTS	AJS
4	05/30/17	NO CHANGE	AJS
5	07/25/17	NO CHANGE	AJS
6	08/29/17	NO CHANGE	AJS
7	09/29/17	NO CHANGE	AJS
8	10/31/17	NO CHANGE	AJS
9	11/28/17	NO CHANGE	AJS





**LEGEND:**

RL	EXISTING ROOF LEADER LOCATION
SM	SEWER MANHOLE
UM	UNKNOWN MANHOLE
GA	GUY WIRE ANCHOR
UP	UTILITY POLE
EB	ELECTRIC BOX
HY	HYDRANT
WV	WATER VALVE
RSI	ROUND DROP INLET
EM	ELECTRIC METER
UL	UTILITY POLE WITH LIGHT
CB	COMMUNICATION BOX
OW	OVERHEAD WIRES
FI	FENCE
CR	CRIP INLET
GM	GAS METER
LW	LAMP
UV	UNKNOWN VALVE
EW	EXISTING WATER EDGE
EL	PROPOSED EASEMENT LINE WITH INLET PROTECTION
PC	PROPOSED CATCH BASIN
PH	PROPOSED HYDRANT
PV	PROPOSED WATER VALVE
PSM	PROPOSED SANITARY MANHOLE
PRW	PROPOSED RETAINING WALL
PCV	PROPOSED CULVERT
PU	PROPOSED UNDERDRAIN
PRR	PROPOSED ROOF LEADER PIPE
121	PROPOSED MINOR CONTOUR
120	PROPOSED MAJOR CONTOUR
+1120.5	PROPOSED SPOT ELEVATION
□	EXISTING CATCH BASIN
○	EXISTING UTILITY POLE
○	PROPOSED CULVERT
○	PROPOSED GLENDOUT
○	PROPOSED SEWER SERVICE LINE
S	PROPOSED WATER SUPPLY LINE
W	PROPOSED FENCE
—	IMPERVIOUS SURFACE
▨	PROPOSED RIP RAP
○	UTILITY CROSSING LOCATION
○	PROPOSED ROOF LEADER LOCATION
WS	PROPOSED WATER SERVICE LINE
○	PROPOSED WATER SHUT-OFF VALVE

**EXISTING UNDERGROUND UTILITY NOTES:**

- CONTRACTOR SHALL DIG TEST PITS TO VERIFY LOCATION, SIZE AND PIPE MATERIAL OF EXISTING UNDERGROUND UTILITIES. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

**INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES**

**CATCH BASINS AND PIPING:**

ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUBMERGES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

**HYDRODYNAMIC DEVICES:**

THE VORTEX UNITS SHALL BE INSPECTED QUARTERLY DURING THE FIRST YEAR OF OPERATION. THE MANUFACTURER RECOMMENDS THAT THE CDS UNITS BE INSPECTED BI-ANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL). THE STRUCTURE SHALL BE VISUALLY INSPECTED FOR BLOCKAGES OR OBSTRUCTIONS IN THE INLET OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO QUANTIFY ACCUMULATION OF HYDROCARBONS, SEDIMENT AND TRASH WITHIN THE SYSTEM. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK ONCE A YEAR (EXCEPT FOR THE FIRST YEAR WHERE MORE FREQUENT CLEANINGS MAY BE REQUIRED).

**INFILTRATION BASIN:**

THE INFILTRATION BASIN SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY. PLANTINGS SHALL BE INSPECTED MONTHLY FOR HEIGHT, FERTILIZER, QUANTITY AND UNAUTHORIZED INVASIVE OR INAPPROPRIATE SPECIES. AFTER STORM EVENTS, THE INFILTRATION BASIN DEWATERING OPERATION SHOULD ALSO BE MONITORED. THE BASIN FLOOR SHALL BE MOWED AS REQUIRED; HOWEVER, THE GRASS HEIGHT SHALL NOT EXCEED 18". SEDIMENT SHALL BE CLEANED OUT OF THE INFILTRATION BASIN ANNUALLY.

**GENERAL CONSTRUCTION NOTES:**

- ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPFD @ 1-800-962-7962.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
- PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATER-TIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN FEET OF SEWER MAINS (AND SERVICE LATERALS).

**POST CONSTRUCTION NOTES:**

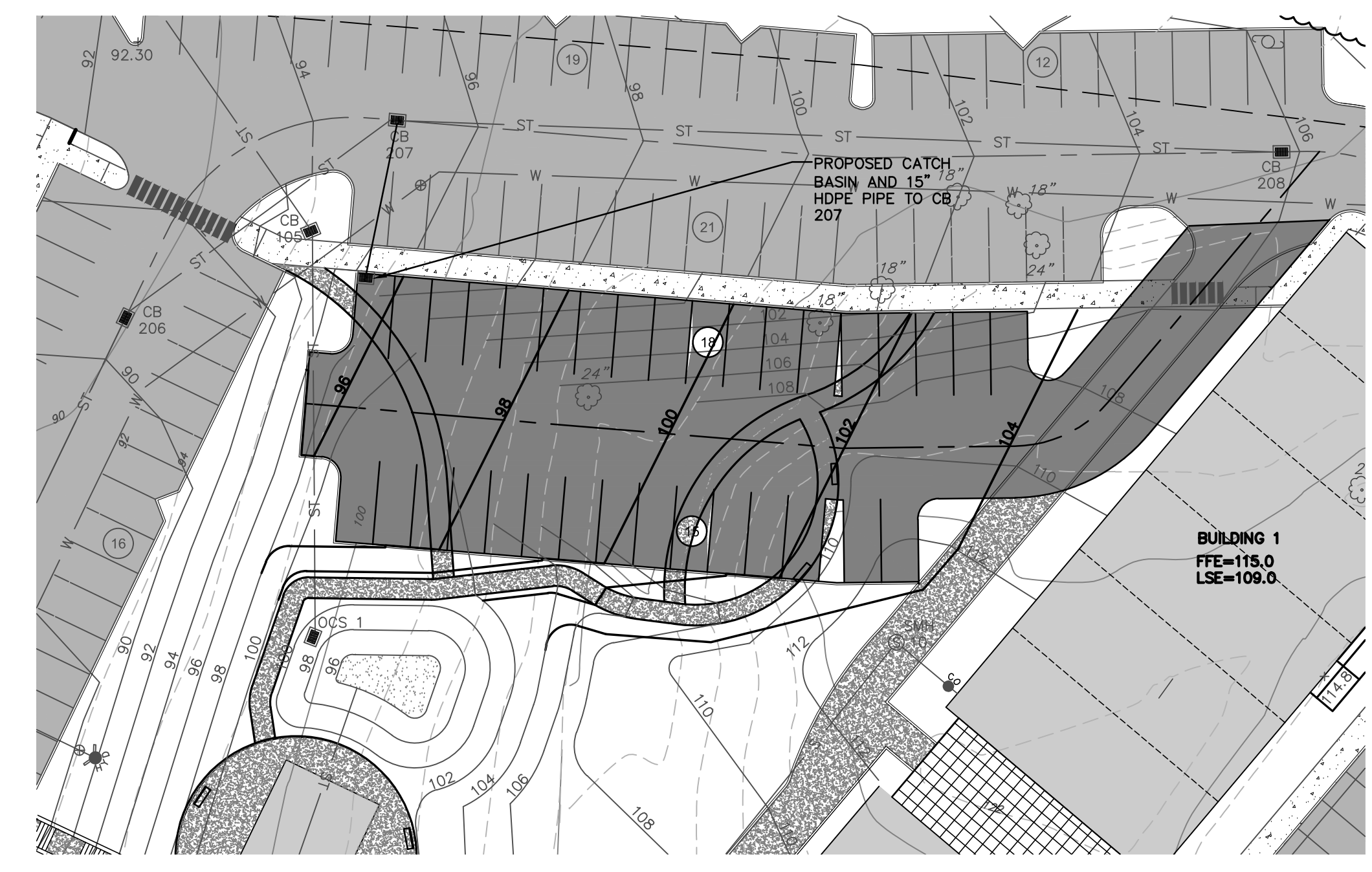
- UPON COMPLETION OF CONSTRUCTION OF THE STORMWATER FACILITIES, AS-BUILT DRAWINGS OF ALL STORMWATER PRACTICES AND AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON.

**SNOW STORAGE NOTES:**

- THE SITE OWNER WILL UTILIZE A LOADER TO MOVE SNOW TO THE AREAS DESIGNATED FOR SNOW STORAGE.

**SITE CLEARING NOTES:**

- SITE SHALL OCCUR BETWEEN OCTOBER 1ST THROUGH MARCH 31ST IN ACCORDANCE WITH NYSDEC REGULATIONS.



**Grading And Utility Plan for Land Banked Parking Area**  
Scale: 1" = 30'

**Grading And Utility Plan**  
Scale: 1" = 30'

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CHAIRMAN

SECRETARY

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**REVISIONS:**

NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	PER PLANNING BOARD COMMENTS	MAB
4	5/30/17	PER PLANNING BOARD COMMENTS	MAB
5	7/25/17	PER PLANNING BOARD COMMENTS	MAB
6	8/29/17	PER PLANNING BOARD COMMENTS	MAB
7	9/26/17	PER PLANNING BOARD COMMENTS	MAB
8	10/31/17	PER PLANNING BOARD COMMENTS	MAB
9	11/28/17	NO CHANGE	MAB

**Grading And Utility Plan**  
Sheet 10 of 15

**INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES**

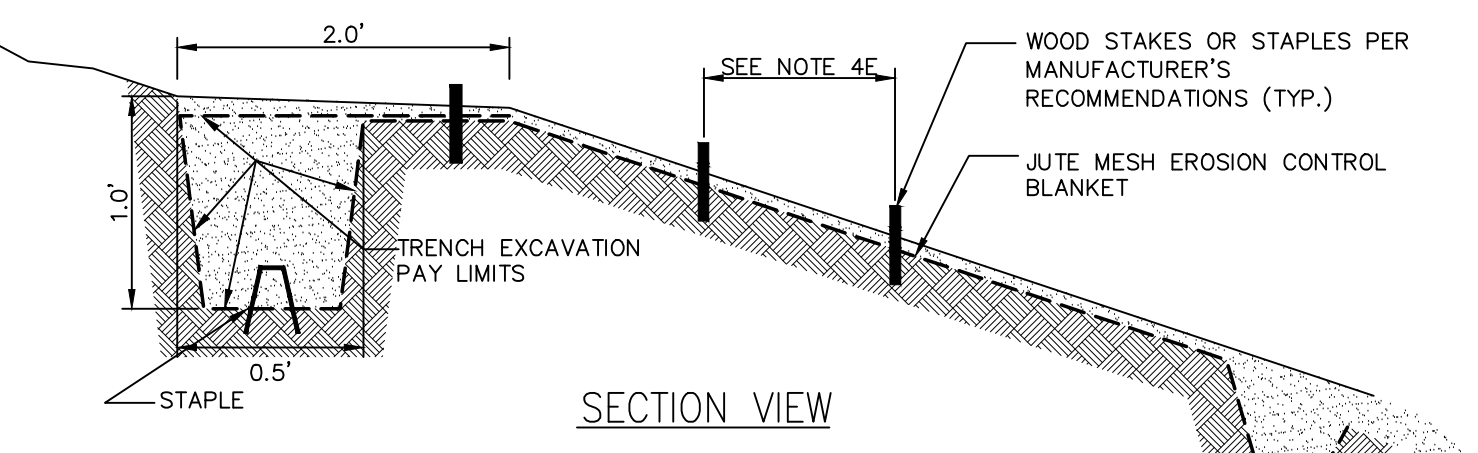
- PERMANENT AND TEMPORARY VEGETATION:**  
 INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND REESTABLISHED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE:**  
 INSPECT THE ENTRANCE AND EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MAT, SEDIMENT BUILD-UP AND PAD INVENTORY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REPAIR PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF THE SITE. THE MAT SHOULD BE WASHED OR REPLACED WHENEVER THE MAT FAILS TO REDUCE MUD BEING CARRIED OFF THE SITE. THE MAT SHOULD BE WASHED OR REPLACED WHENEVER THE MAT FAILS TO REDUCE MUD BEING CARRIED OFF THE SITE. THE MAT SHOULD BE WASHED OR REPLACED WHENEVER THE MAT FAILS TO REDUCE MUD BEING CARRIED OFF THE SITE.
- SOIL STOCKPILE:**  
 INSPECT PERMANENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
- DUST CONTROL:**  
 SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATERS, STRUCTURAL MEASURES (MULCH, SEEDS)) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT EROSION PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CAUSE RUNOFF AND EROSION PROBLEMS.
- DEWATERING PITS:**  
 (IF REQUIRED) INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DEMONISHED AND NEW PITS SHALL BE CONSTRUCTED AS NEEDED.
- SEDIMENT TRAP:**  
 SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO THE ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF OF THE DESIGN DEPTH OF THE TRAP. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN A PROTECTED AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
- CATCH BASINS:**  
 ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND REPAIRS AND REMOVE AS NECESSARY. THE INLET PIT SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN REACHES 1/2 OF THE MAT DEPTH, IT SHALL BE REMOVED.

**EROSION AND SEDIMENT CONTROL NOTES**

- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G., SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY FILL OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
- AREAS UNDERGOING CLEARING OR GRADING AND WARE WORK IS RELATED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE EXPOSED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING. OTHER METHODS OF DUST CONTROL MAY BE IN THE FORM OF MIMMUNG SOIL STABILIZATION, APPLICATION OF WIND BREAKS, AND THE CONSTRUCTION OF WINDING WALLS TO MINIMIZE SEDIMENT TRANSPORT OFFSITE. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL DUST. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL DUST. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL DUST.
- THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUARANTEED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS. THE NOTICE OF INTENT (NOI) MAY NEED TO BE UPDATED AS A RESULT OF THE CHANGES.
- THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AGENCY. THE CONTRACTOR/OWNER SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
- THE OWNER SHALL FILE A NOI WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AND A NOTICE OF TERMINATION (NOT) WITH THE NYSDEC FOLLOWING CONSTRUCTION ACTIVITIES.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE CITY AND QUALIFIED PROFESSIONAL.
- UPON COMPLETION OF CONSTRUCTION, THE PARCEL OWNER(S) SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED QUARTERLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE OWNER(S) SHALL MAINTAIN A RECORD OF INSPECTION AND MAINTENANCE REPORTS AT THE SITE. REFER TO THE SWPPP FOR INSPECTION REQUIREMENTS AND FUTURE MAINTENANCE.

**CONSTRUCTION SEQUENCING NOTES:**

- PHASE I: AREA=4.00 AC.**
- SCHEDULE A PRE-CONSTRUCTION MEETING WHICH SHALL INCLUDE THE CITY ENGINEER, OWNER OR OWNER'S REPRESENTATIVE, PROJECT ENGINEER, CONTRACTOR AND SUBCONTRACTORS (IF NECESSARY) WHO ARE TO PERFORM THE CONSTRUCTION.
  - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED INTERNAL TRAVEL-WAYS, PARKING AREAS AND STORMWATER MANAGEMENT AREAS WITHIN PHASE I.
  - INSTALL PERIMETER SILT FENCE AS DEPICTED ON THIS PLAN.
  - INSTALL PHASE I STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
  - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
  - CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
  - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
  - BEGIN SITE DEMOLITION WITHIN PHASE I AREA AS SHOWN ON THE DEMOLITION PLAN.
  - BEGIN MASS GRADING WITHIN PHASE I AREA, ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN 2 & 3 TO 2 FEET ABOVE FINISHED GRADE.
  - CONTINUE INSTALLATION OF SITE UTILITIES WITHIN PHASE II.
  - SEED AND MULCH LANDSCAPED AREAS THAT WILL NOT BE DISTURBED DURING OTHER PHASES.
  - EXCAVATE INFILTRATION BASIN TO 2 FEET ABOVE BOTTOM ELEVATION. INSTALL DRAINAGE PIPING AND STRUCTURES.
  - INSTALL SUB-BASE AND BINDER COURSE WITHIN ACCESS ROADS AND PARKING AREAS.
  - PAVE BRANCH STREET AND INSTALL SIDEWALK TO PROPOSED CROSSWALK.
  - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- PHASE II: AREA=2.00 AC.**
- PHASE II DISTURBED AREA SHALL NOT BE MORE THAN 2.2 ACRES PRIOR TO COMMENCEMENT PHASE II.
  - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED INTERNAL TRAVEL-WAYS, PARKING AREAS AND STORMWATER MANAGEMENT AREAS WITHIN PHASE II.
  - CONSTRUCT PHASE II STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
  - CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
  - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
  - BEGIN SITE DEMOLITION WITHIN PHASE II AREA AS SHOWN ON THE DEMOLITION PLAN.
  - BEGIN MASS GRADING WITHIN PHASE II AREA, ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN 2 TO 2 FEET ABOVE FINISHED GRADE.
  - CONTINUE INSTALLATION OF SITE UTILITIES WITHIN PHASE II.
  - SEED AND MULCH LANDSCAPED AREAS THAT WILL NOT BE DISTURBED DURING OTHER PHASES.
  - EXCAVATE INFILTRATION BASIN TO 2 FEET ABOVE BOTTOM ELEVATION. INSTALL DRAINAGE PIPING AND STRUCTURES.
  - INSTALL SUB-BASE AND BINDER COURSE WITHIN ACCESS ROADS AND PARKING AREAS.
  - PAVE BRANCH STREET AND INSTALL SIDEWALK TO PROPOSED CROSSWALK.
  - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- PHASE III: AREA=2.00 AC.**
- PHASE III DISTURBED AREA SHALL NOT BE MORE THAN 2.8 ACRES PRIOR TO COMMENCEMENT PHASE III.
  - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED INTERNAL TRAVEL-WAYS, PARKING AREAS AND STORMWATER MANAGEMENT AREAS WITHIN PHASE III.
  - CONTINUE USE OF PHASE I STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
  - CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
  - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
  - BEGIN SITE DEMOLITION WITHIN PHASE III AREA AS SHOWN ON THE DEMOLITION PLAN.
  - BEGIN MASS GRADING WITHIN PHASE III AREA, ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT.
- GENERAL NOTE:** EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES AND BASED ON THE MAINTENANCE SCHEDULE. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED AS NECESSARY IN ORDER TO PROTECT ADJACENT PARCELS AND WATERS.



- NOTES:**
- THE SITE SHALL BE PREPARED PER THE MANUFACTURER'S RECOMMENDATIONS. THIS INCLUDES GRADING AND COMPACTING THE AREA OF INSTALLATION, REMOVING ALL ROCKS, VEGETATION, ETC.
  - LOOSEN THE TOP 2-3 INCHES MINIMUM OF SOIL.
  - MAT SHALL BE CONFIGURED SUCH THAT IT IS PERPENDICULAR TO THE FLOW OF THE STREAM. OVERLAP COURSES BY A MINIMUM OF 18" WITH THE UPSTREAM MAT ON TOP OF THE DOWNSTREAM MAT.
  - INSTALL THE MAT:
  - EXCAVATE A 12"X60" MINIMUM LONGITUDINAL ANCHOR TRENCH 3-3 FEET OVER CREST OF SLOPE.
  - INSTALL TOP END OF MAT INTO TRENCH AND SECURE TO BOTTOM USING MANUFACTURER'S SUGGESTED ANCHORING DEVICE AND DEPTH SPACED EVERY 12" MINIMUM. BACKFILL AND COMPACT SOIL INTO TRENCH.
  - UNROLL MAT DOWN SLOPE.
  - OVERLAPS SHALL BE 18" MINIMUM AND ANCHORED EVERY 18" MINIMUM ALONG THE OVERLAP. SECURE USING WOOD STAKES AS SPECIFIED ON THIS PLAN.
  - UNROLL MAT IN A MANNER TO MAINTAIN DIRECT CONTACT WITH SOIL. SECURE MAT TO GROUND SURFACE USING WOOD STAKE ANCHORING DEVICES. ANCHORS SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S OVERLAP AND LANDSCAPE DESIGNER.
  - EXCAVATE A 12"X60" KEY ANCHOR TRENCH AT 1.5 YR ELEVATION.
  - PLACE BOTTOM END OF MAT INTO KEY ANCHOR TRENCH AT 1.5 YR ELEVATION AND SECURE TO BOTTOM OF TRENCH USING WOOD STAKE GROUND ANCHORING DEVICES SPACED EVERY 12" MINIMUM. BACKFILL AND COMPACT SOIL INTO TRENCH. ADDITIONAL ANCHORING IN AREAS WHERE STANDING AND/OR FLOWING WATER EXISTS THE TOE OF THE SLOPE MAY BE REQUIRED. CONTACT THE MANUFACTURER IN THESE CASES.
  - JUTE MESH SHALL BE OF A UNIFORM OPEN PLAN WEAVE OF UNDYED AND UNBLEACHED SINGLE JUTE YARN. JUTE MESH SHALL BE KEVEL AS FOLLOWS:  
 APPROXIMATELY 78 WARP ENDS PER YARD WIDTH.  
 APPROXIMATELY 41 WEFT ENDS PER LINEAR YARD.  
 MASS OF JUTE MESH SHALL AVERAGE 1 POUND PER SQUARE YARD (PLUS OR MINUS 5%).

**ROLLED EROSION CONTROL MAT DETAIL**  
NOT TO SCALE

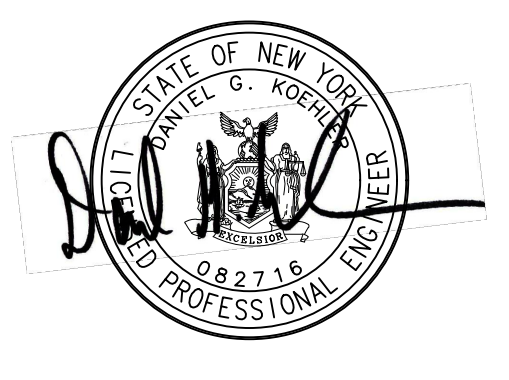
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION AND ANY CHANGE, ENLARGEMENT, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

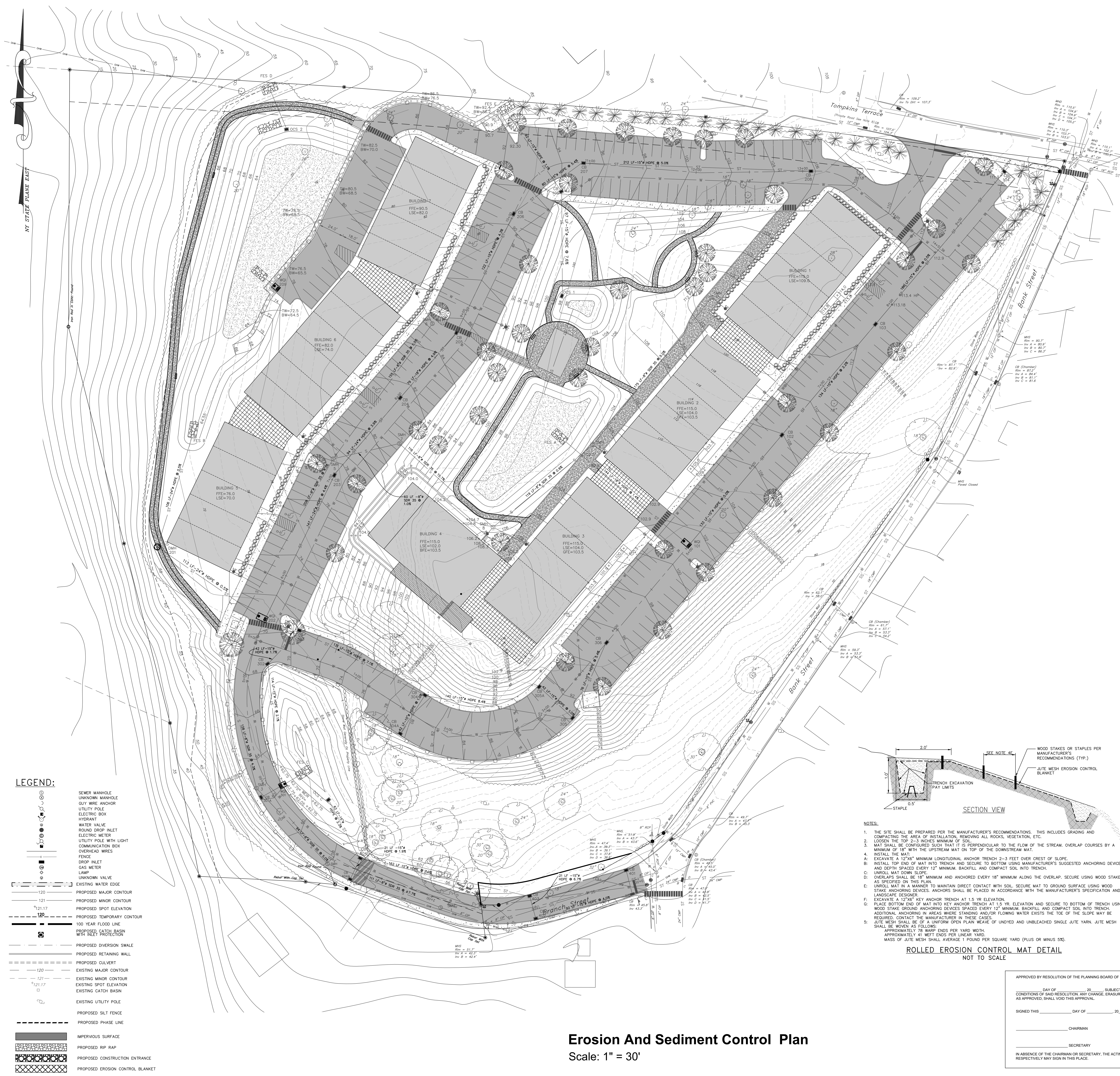
CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	OMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	NO CHANGE THIS SHEET	MAB
4	5/30/17	PER PLANNING BOARD COMMENTS	MAB
5	7/25/17	NO CHANGE THIS SHEET	MAB
6	8/29/17	PER PLANNING BOARD COMMENTS	MAB
7	9/26/17	PER PLANNING BOARD COMMENTS	MAB
8	10/31/17	NO CHANGE	MAB
9	11/28/17	NO CHANGE	MAB



- LEGEND:**
- SEWER MANHOLE
  - UNKNOWN MANHOLE
  - GUY WIRE ANCHOR
  - UTILITY POLE
  - ELECTRIC BOX
  - HYDRANT
  - WATER VALVE
  - ROUND DROP INLET
  - ELECTRIC METER
  - UTILITY POLE WITH LIGHT
  - COMMUNICATION BOX
  - OVERHEAD WIRES
  - FENCE
  - DROP INLET
  - GAS METER
  - LAMP
  - UNKNOWN VALVE
  - EXISTING WATER EDGE
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED SPOT ELEVATION
  - PROPOSED TEMPORARY CONTOUR
  - 100 YEAR FLOOD LINE
  - PROPOSED CATCH BASIN WITH INLET PROTECTION
  - PROPOSED DIVERSION SWALE
  - PROPOSED RETAINING WALL
  - PROPOSED CULVERT
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING SPOT ELEVATION
  - EXISTING CATCH BASIN
  - EXISTING UTILITY POLE
  - PROPOSED SILT FENCE
  - PROPOSED PHASE LINE
  - IMPERVIOUS SURFACE
  - PROPOSED RIP RAP
  - PROPOSED CONSTRUCTION ENTRANCE
  - PROPOSED EROSION CONTROL BLANKET

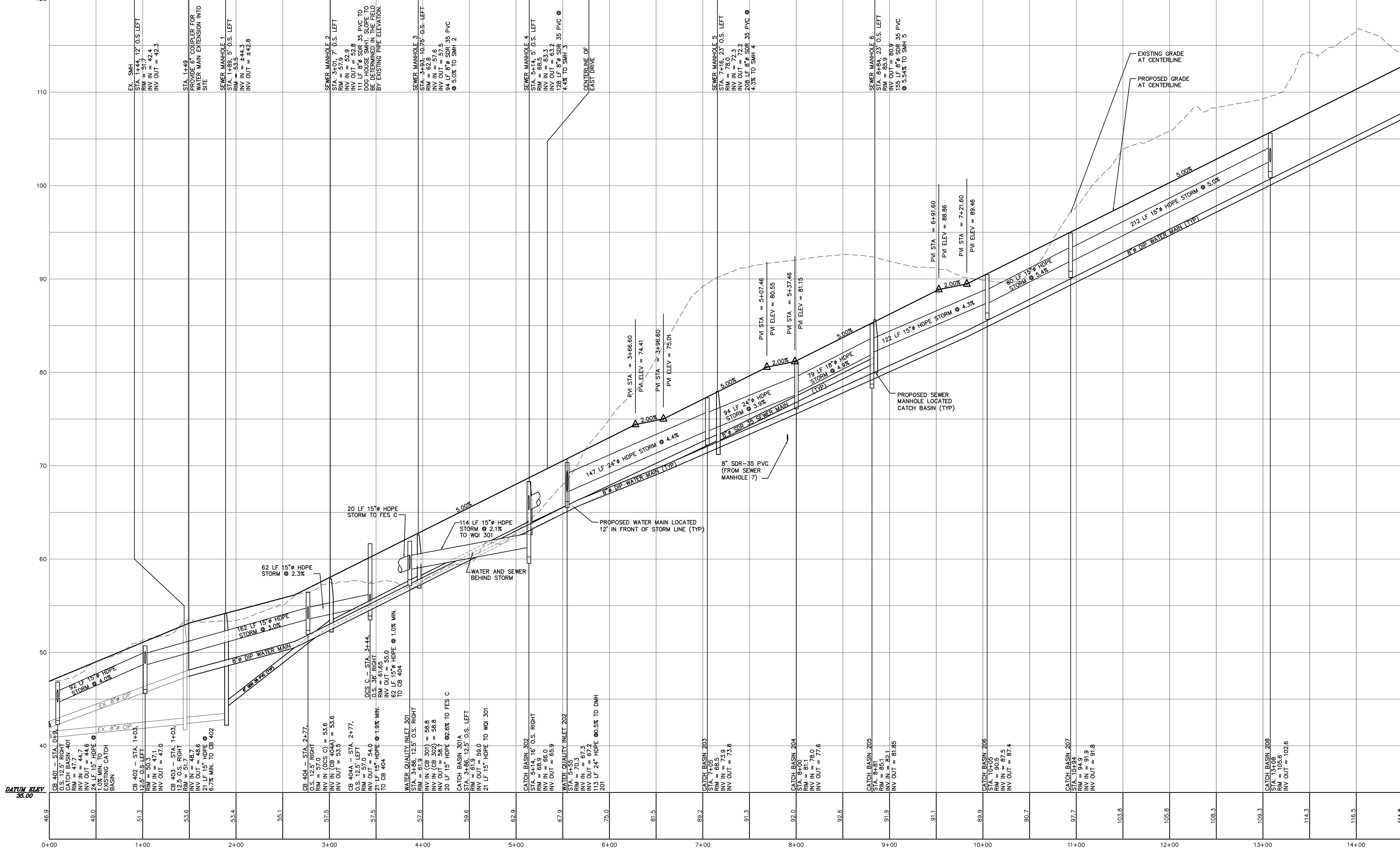
**Erosion And Sediment Control Plan**  
Scale: 1" = 30'

Owner:  
**Scenic Beacon Developments, LLC**  
25 East Main Street  
Beacon, NY 12508

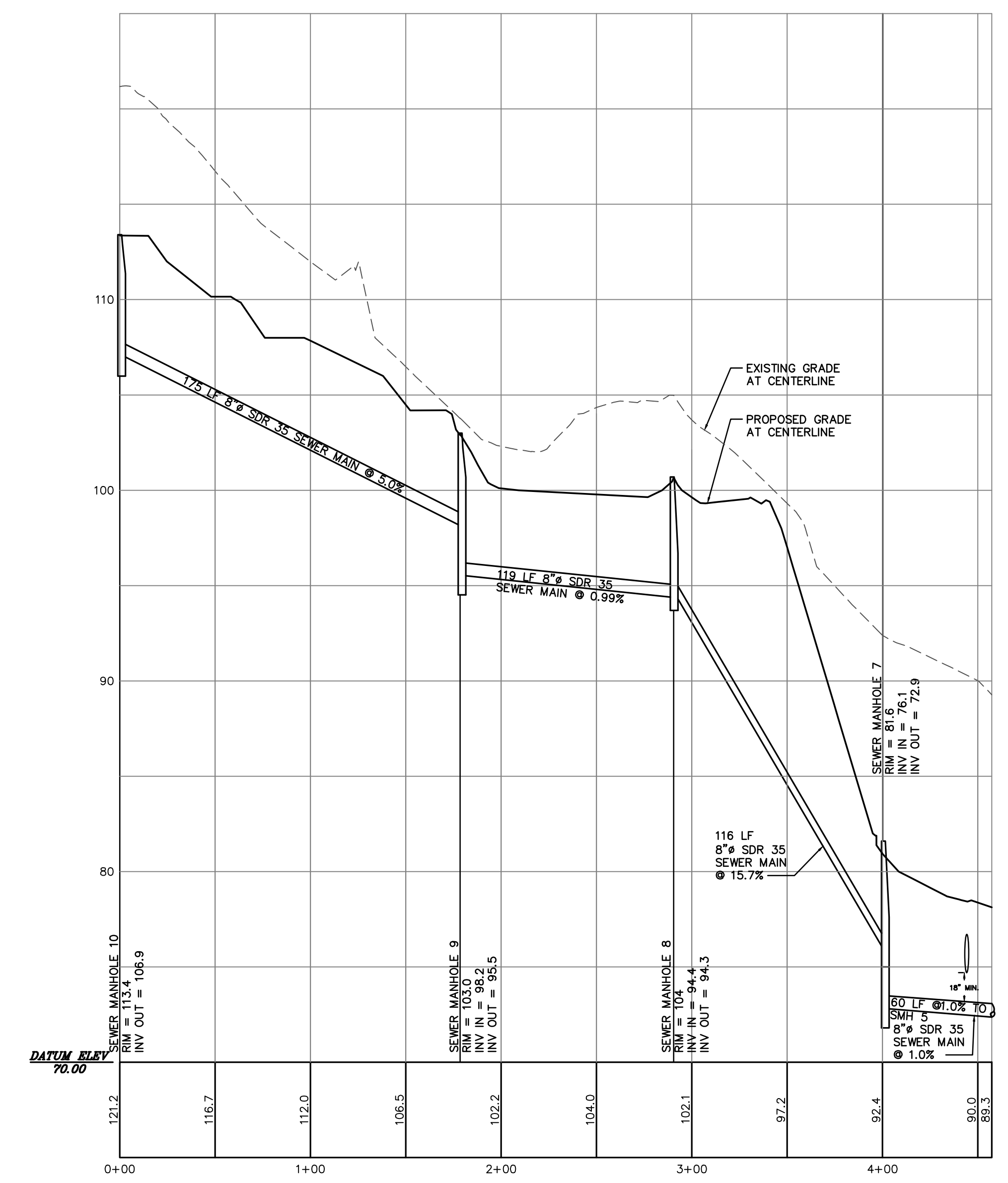
Architect:  
**Aryeh Siegel, Architect**  
514 Main Street  
Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

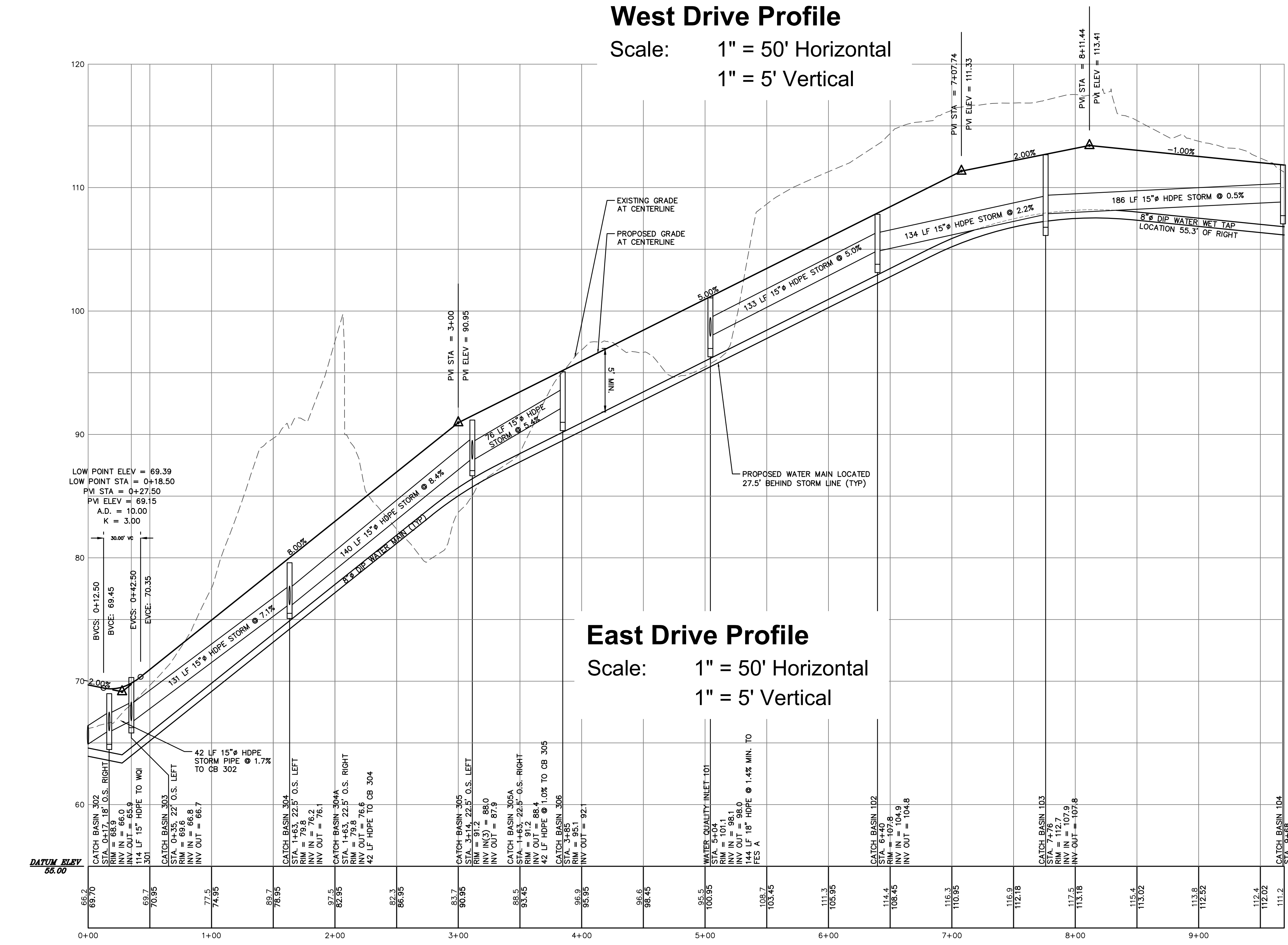
Surveyor:  
**TEC Land Surveying, P.C.**  
15C Tioronda Avenue  
Beacon, New York 12508



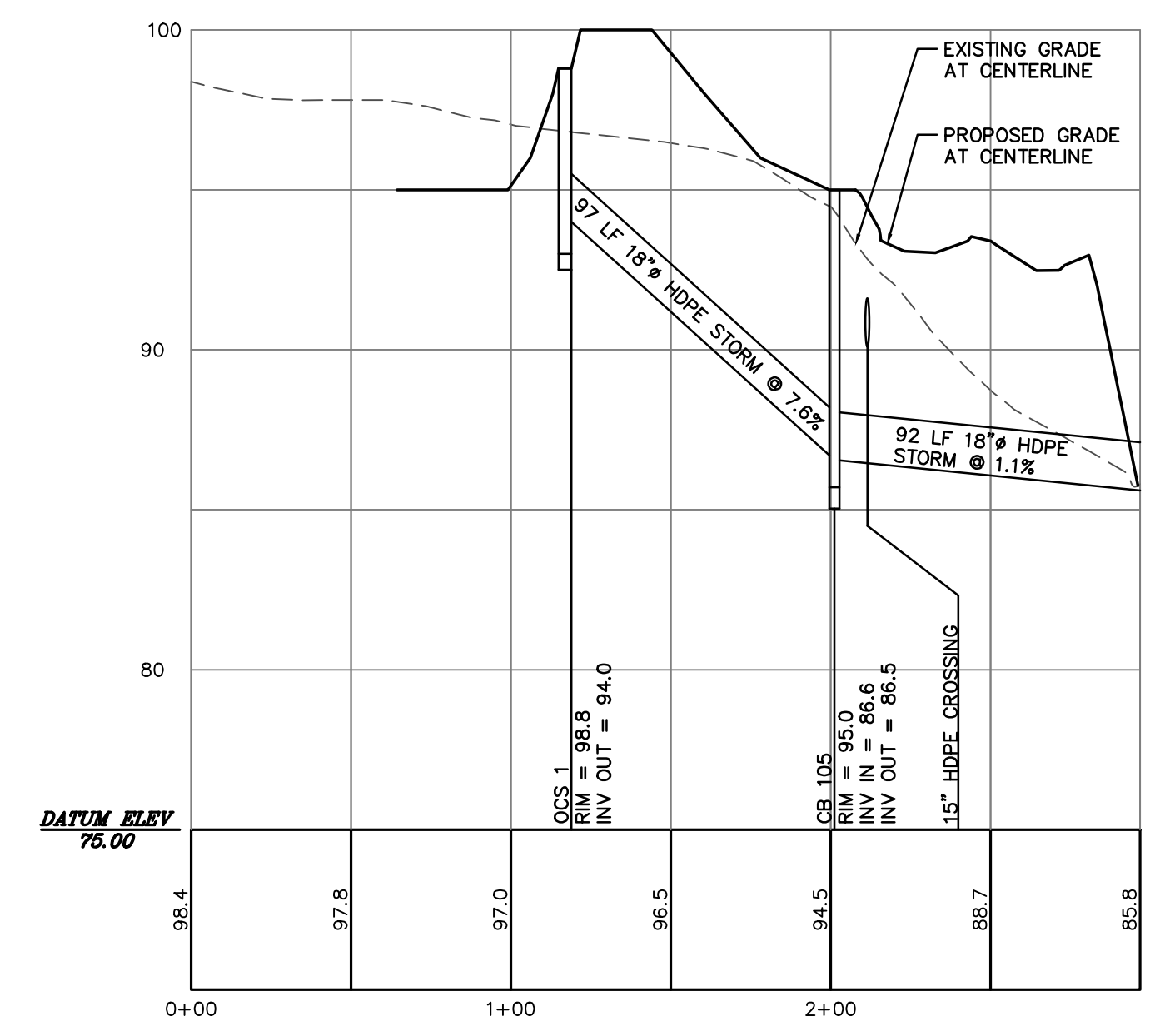
**West Drive Profile**  
Scale: 1" = 50' Horizontal  
1" = 5' Vertical



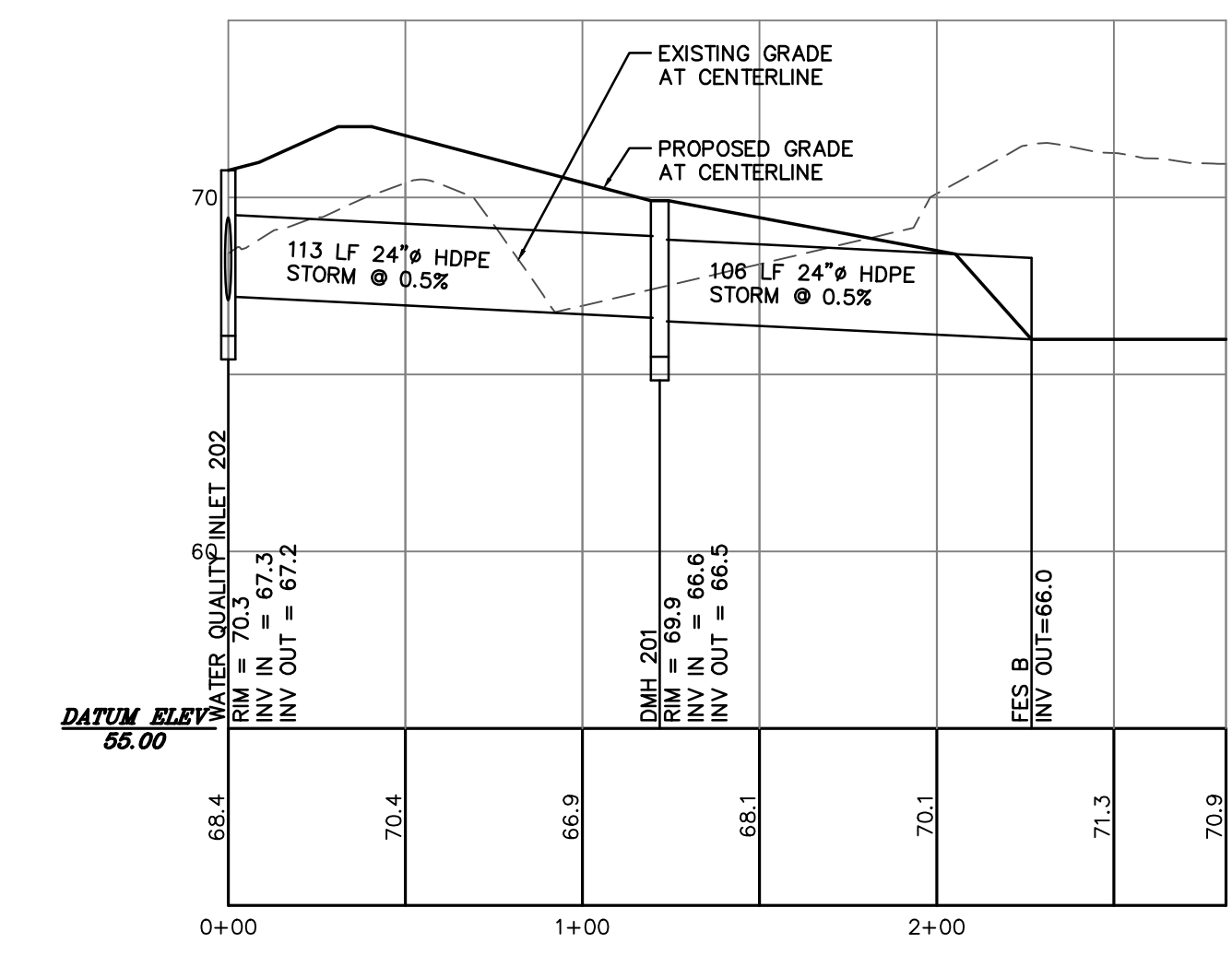
**Sewer Profile**  
Scale: 1" = 50' Horizontal  
1" = 5' Vertical



**East Drive Profile**  
Scale: 1" = 50' Horizontal  
1" = 5' Vertical



**Storm Piping From OCS 1 Profile**  
Scale: 1" = 30' Horizontal  
1" = 3' Vertical



**Storm Piping From WQI 202 Profile**  
Scale: 1" = 50' Horizontal  
1" = 5' Vertical



APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

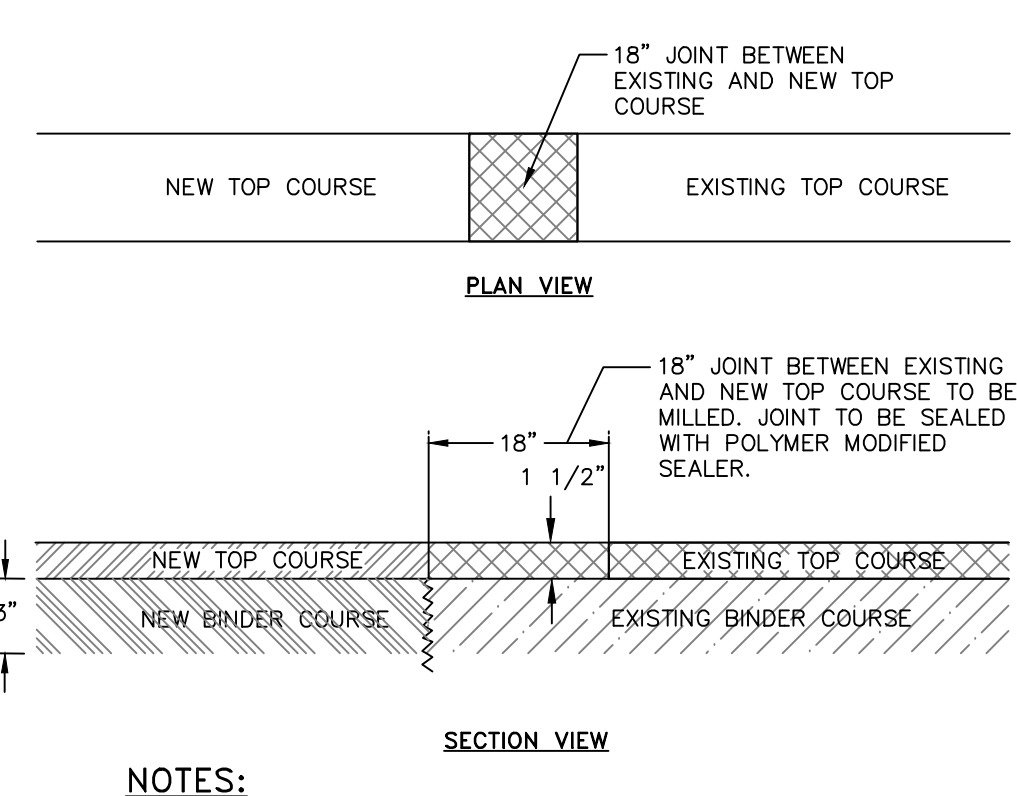
\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

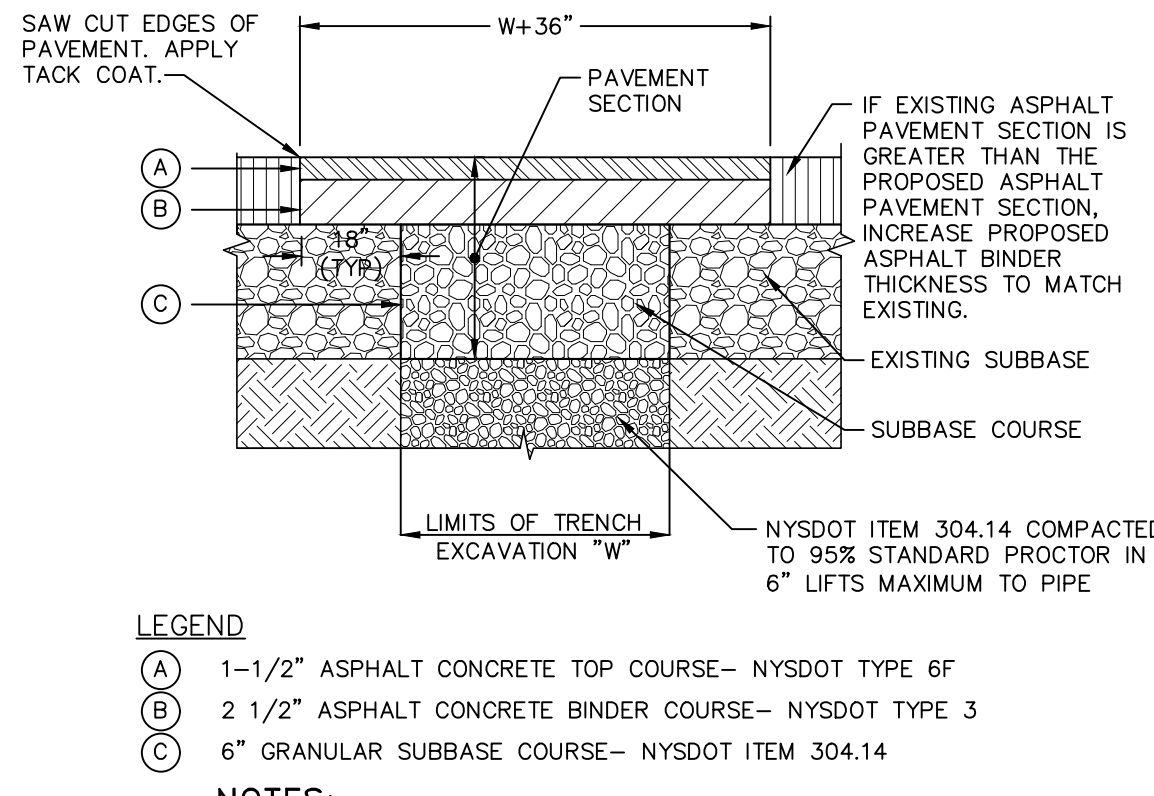
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	PER PLANNING BOARD COMMENTS	MAB
4	5/30/17	PER PLANNING BOARD COMMENTS	MAB
5	7/25/17	NO CHANGE THIS SHEET	MAB
6	8/29/17	NO CHANGE THIS SHEET	MAB
7	9/26/17	NO CHANGE THIS SHEET	MAB
8	10/31/17	NO CHANGE	MAB
9	11/28/17	NO CHANGE	MAB

**SITE DETAILS**



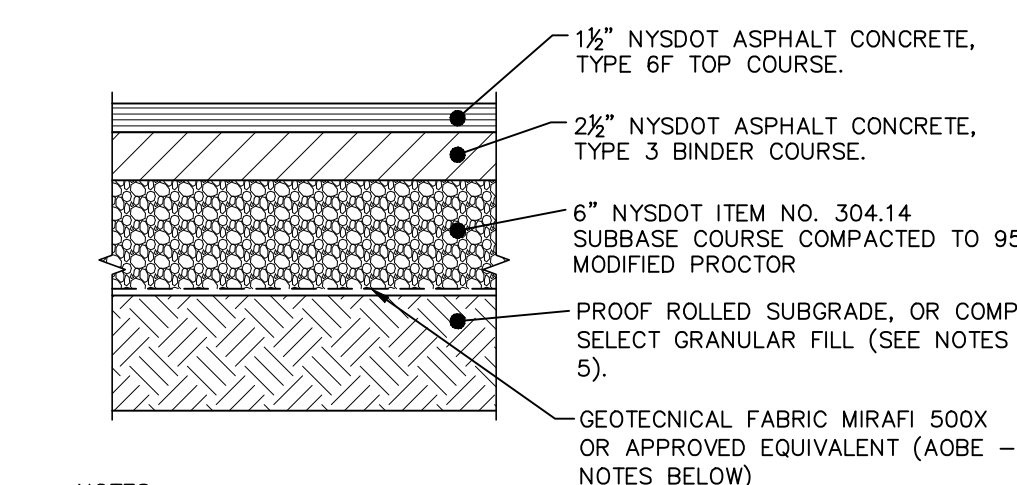
**NOTES:**  
 1. 1" BINDER COURSE AND 1/2" TOP COURSE TO BE USED FOR RESTORATION OF PAVEMENT WITH CITY ROADS.  
 2. EXCAVATIONS ARE TO BE SAW CUT SMOOTH. ALL EDGES TACK COATED, AND ALL SEAMS SEALED WITH A HOT POLYMER MODIFIED CRACK SEALANT.  
 3. IF EXISTING ASPHALT PAVEMENT DEPTH IS GREATER THAN THE PROPOSED ASPHALT PAVEMENT SECTION, INCREASE PROPOSED ASPHALT BINDER THICKNESS TO MATCH EXISTING.  
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.



**LEGEND**  
 (A) 1-1/2" ASPHALT CONCRETE TOP COURSE - NYSOT ITEM 6F  
 (B) 2 1/2" ASPHALT CONCRETE BINDER COURSE - NYSOT ITEM 3  
 (C) 6" GRANULAR SUBBASE COURSE - NYSOT ITEM 304.14

**NOTES:**  
 1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES.  
 2. EXPAVATIONS ARE TO BE SAW CUT SMOOTH. ALL EDGES TACK COATED, AND ALL SEAMS SEALED WITH A HOT POLYMER MODIFIED CRACK SEALANT.  
 3. TACK COAT IN ACCORDANCE WITH NYSOT STANDARD SPEC.  
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

**MILLED KEYWAY DETAIL**  
NOT TO SCALE



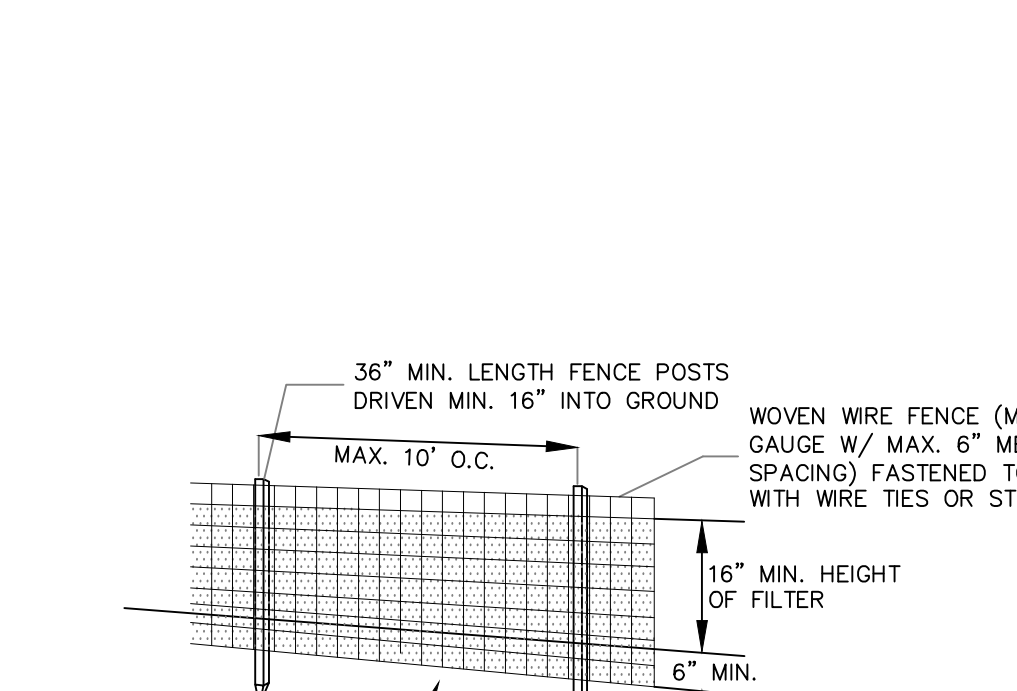
**NOTES:**  
 1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002.  
 2. SUBGRADE SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.  
 3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.  
 4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.  
 5. IT IS EXPECTED THAT THE EXISTING SITE SUB-SOILS ARE SAND AND GRAVEL IN NATURE (CALIFORNIA BEARING RATIO RANGE BETWEEN 40 AND 80) - IF UNSUITABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR POSSIBLE MODIFICATIONS TO THE PAVEMENT DETAIL.

**PAVEMENT SECTION DETAIL**  
NOT TO SCALE



**EROSION AND SEDIMENT CONTROL DETAILS**

**SILT FENCE DETAIL**  
NOT TO SCALE



**NOTES:**  
 1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.  
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRA1100X, STABILUNA 1140N OR APPROVED EQUAL.  
 3. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIRONMENT OR APPROVED EQUAL.  
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



**ROCK OUTLET PROTECTION DETAIL**  
NOT TO SCALE



**NOTES:**  
 1. SIZING INFORMATION TAKEN FROM FIGURE 58.12 (PAGE 58.25) AND/OR FIGURE 58.13 (PAGE 58.26) OF THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", 2016 EDITION.  
 2. RIPRAP SHALL BE COMPOSED OF A WELL-GRADED MIXTURE OF STONE SIZE SO THAT 50% OF THE PIECES SHALL BE LARGER, BY WEIGHT, THAN THE SPECIFIED 450. THE LARGEST STONE SIZE SHALL BE 1.5 TIMES 450.  
 3. THE MINIMUM THICKNESS OF THE RIPRAP LAYER SHALL BE 1.5 TIMES THE MAXIMUM STONE DIAMETER FOR 450, OR 15 INCHES OR LESS, AND 1.2 TIMES THE MAXIMUM STONE SIZE FOR 450 GREATER THAN 15 INCHES.  
 4. A LAYER OF FILTER FABRIC (THICKNESS 20-60 MILS, GRAB STRENGTH 90-120 LBS. SHALL CONFORM TO ASTM D-1777 AND ASTM D-1682) SHALL BE PLACED BETWEEN THE RIPRAP AND THE UNDERLYING SOIL SURFACE. FILTER FABRIC SHALL HAVE A MINIMUM 1" OVERLAP AT ALL SEAMS.  
 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.  
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BURN WITH 0:1 SLOPES WILL BE PERMITTED.  
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SKIPPED, DISPOSED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.  
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**ROCK OUTLET PROTECTION TABLE**  
NOT TO SCALE

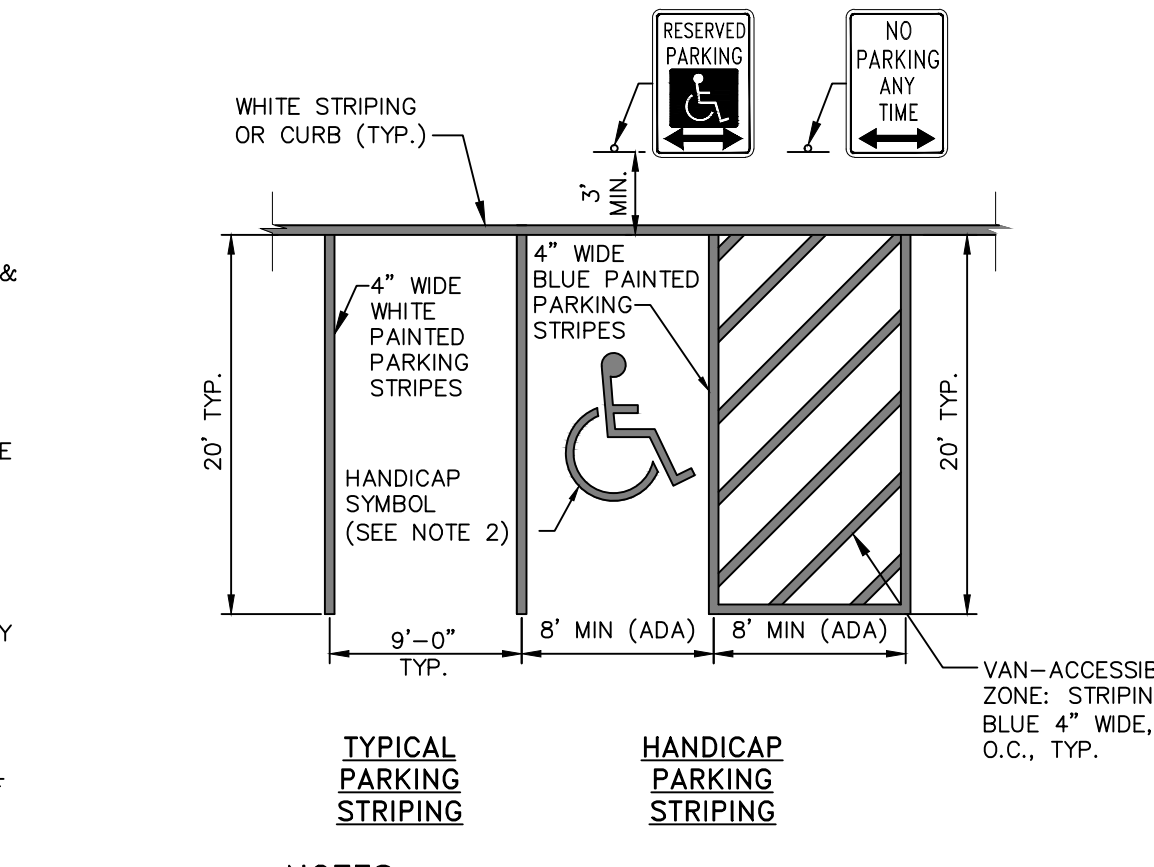
OUTLET PIPE ID	PIPE Ø	30' L	W	Lg	d	450 RIPRAP SIZE
FES A	15 INCHES	3.75 FEET	10.5 FEET	23 FEET	9 INCHES	4 INCHES
FES B	12 INCHES	4.5 FEET	12 FEET	27 FEET	9 INCHES	4 INCHES
FES C	15 INCHES	3.75 FEET	10.5 FEET	23 FEET	9 INCHES	4 INCHES
FES D	15 INCHES	3.75 FEET	10.5 FEET	23 FEET	9 INCHES	4 INCHES
FES E	12 INCHES	4.5 FEET	12 FEET	27 FEET	9 INCHES	4 INCHES

**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**NOTE:**  
 1. WATER PER NURSERY SPECIFICATIONS IMMEDIATELY FOLLOWING PLANTING.  
 2. DETAIL IS FOR BOTH BALL & BURLAPPED OR CONTAINERED SHRUBS.

**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE

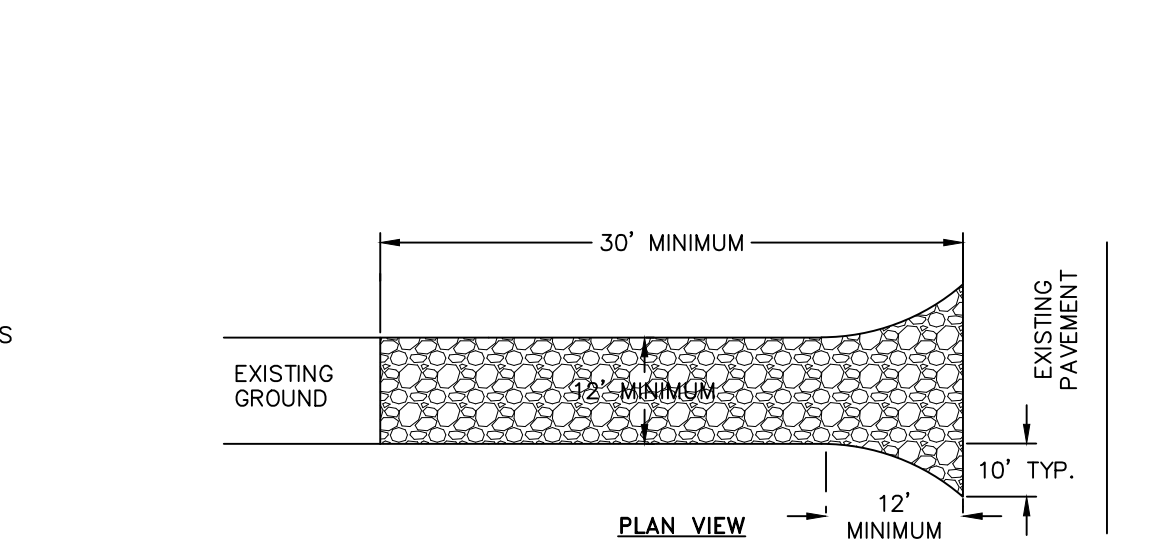


**NOTES:**  
 1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.  
 2. PAINTED HANDICAP SYMBOL TO BE IN ACCORDANCE WITH NYSOT AND ADA STANDARDS.  
 3. IF PARKING ADJACENT TO A SIGN THEN THE REGULATORY SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.

**PARKING AND STRIPING DETAIL**  
NOT TO SCALE

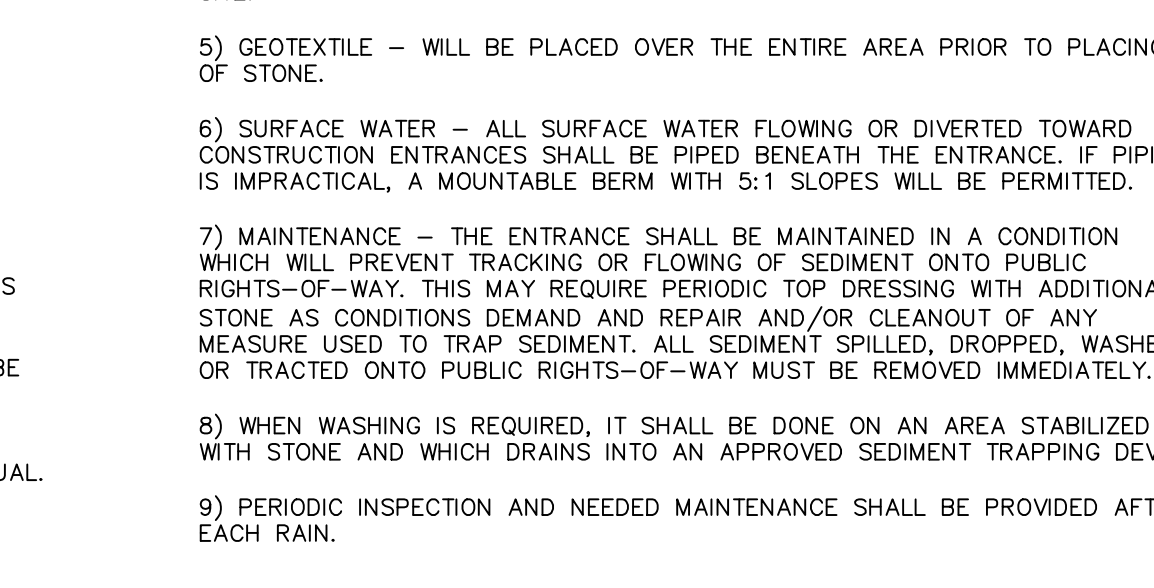


**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE



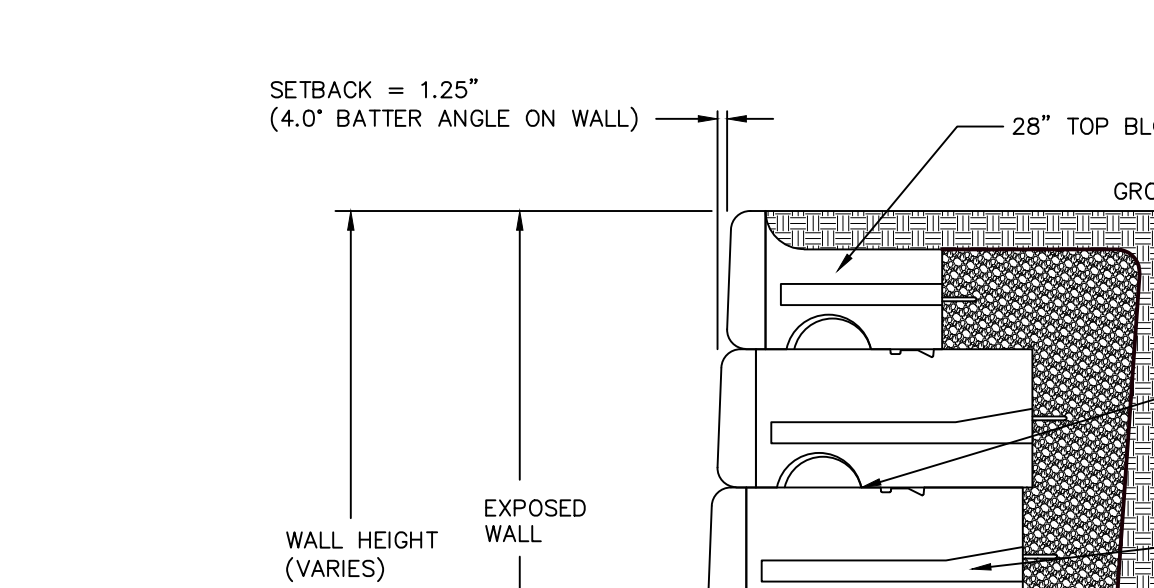
**NOTES:**  
 1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.  
 2. PAINTED HANDICAP SYMBOL TO BE IN ACCORDANCE WITH NYSOT AND ADA STANDARDS.  
 3. IF PARKING ADJACENT TO A SIGN THEN THE REGULATORY SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.

**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE



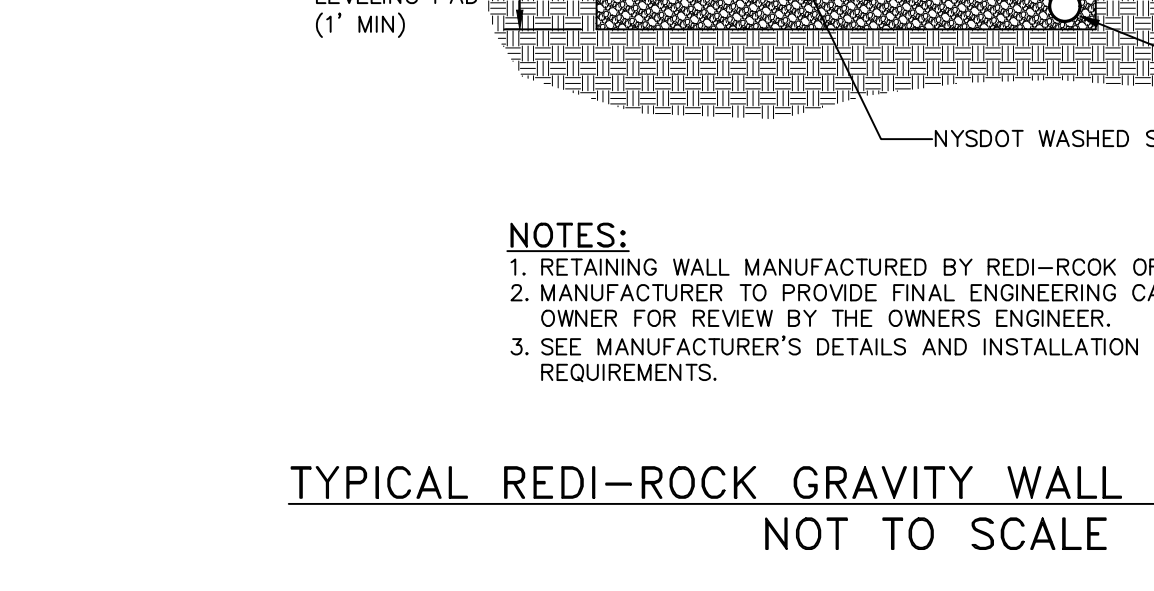
**NOTES:**  
 1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.  
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**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE

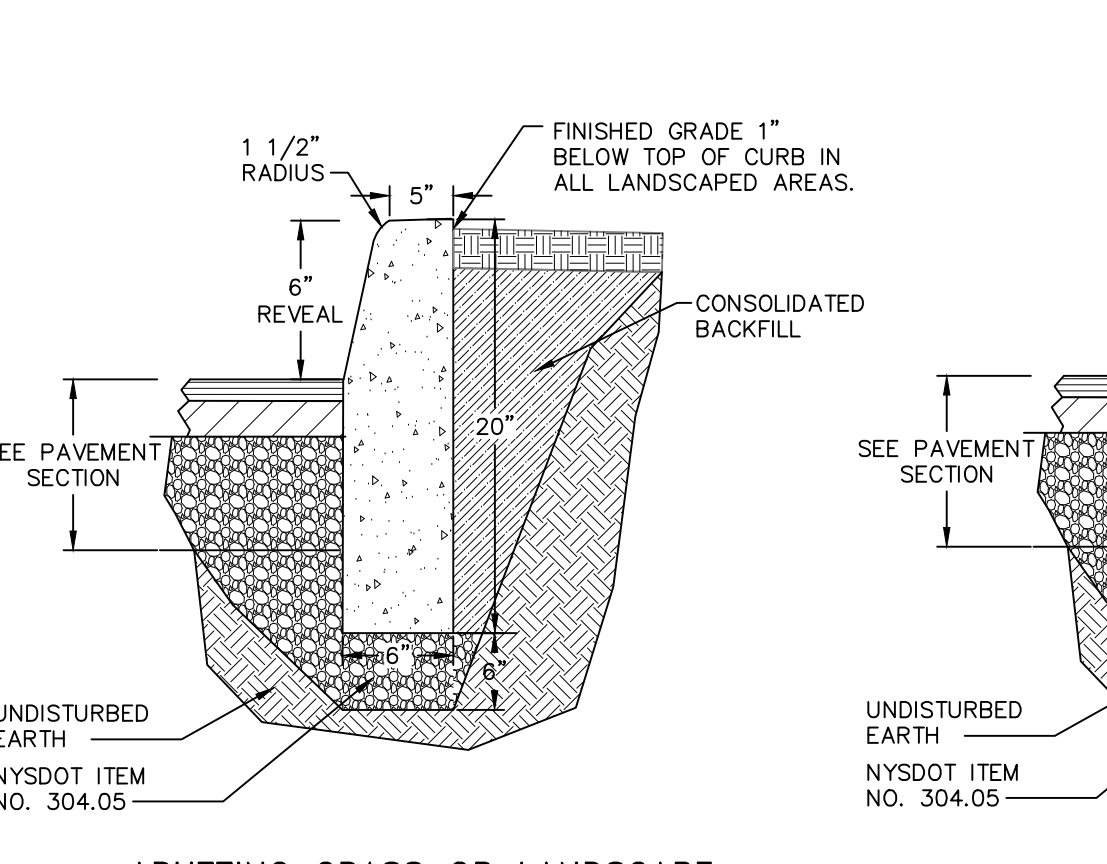


**NOTES:**  
 1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.  
 2. PAINTED HANDICAP SYMBOL TO BE IN ACCORDANCE WITH NYSOT AND ADA STANDARDS.  
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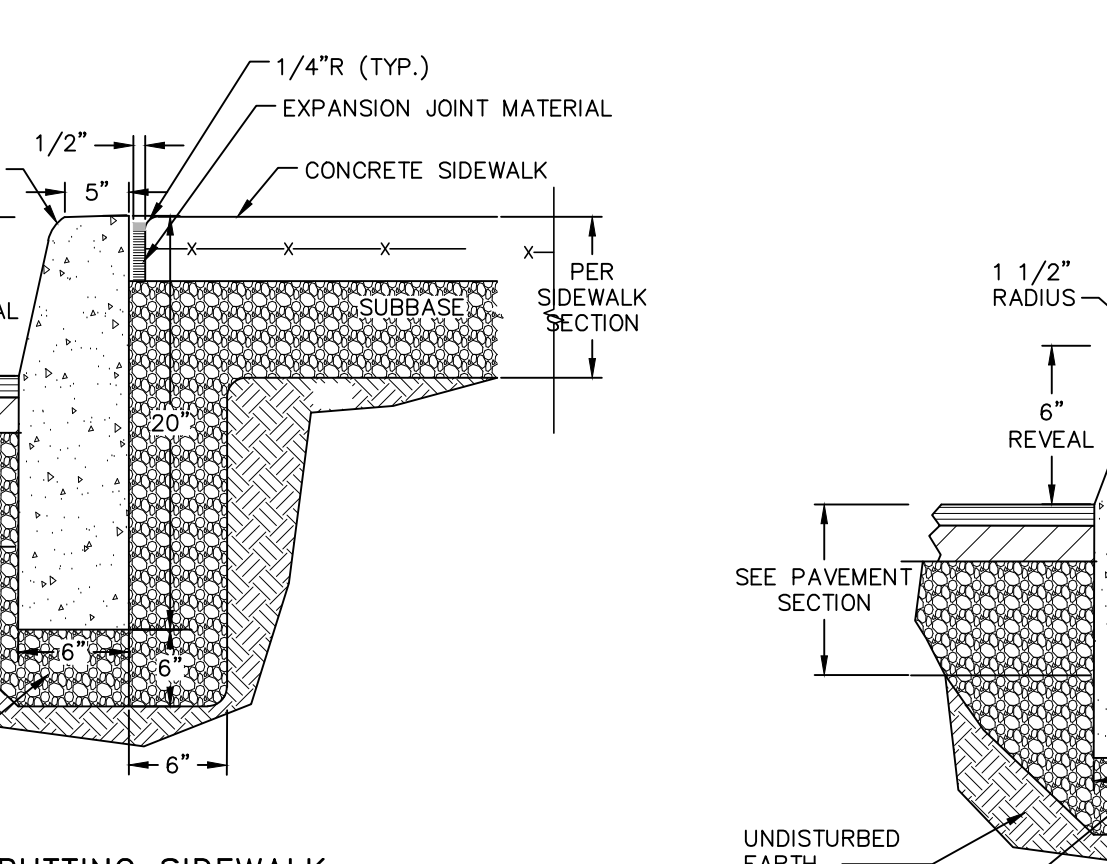
**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE



**NOTES:**  
 1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.  
 2. PAINTED HANDICAP SYMBOL TO BE IN ACCORDANCE WITH NYSOT AND ADA STANDARDS.  
 3. IF PARKING ADJACENT TO A SIGN THEN THE REGULATORY SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.



**ABUTTING GRASS OR LANDSCAPE**

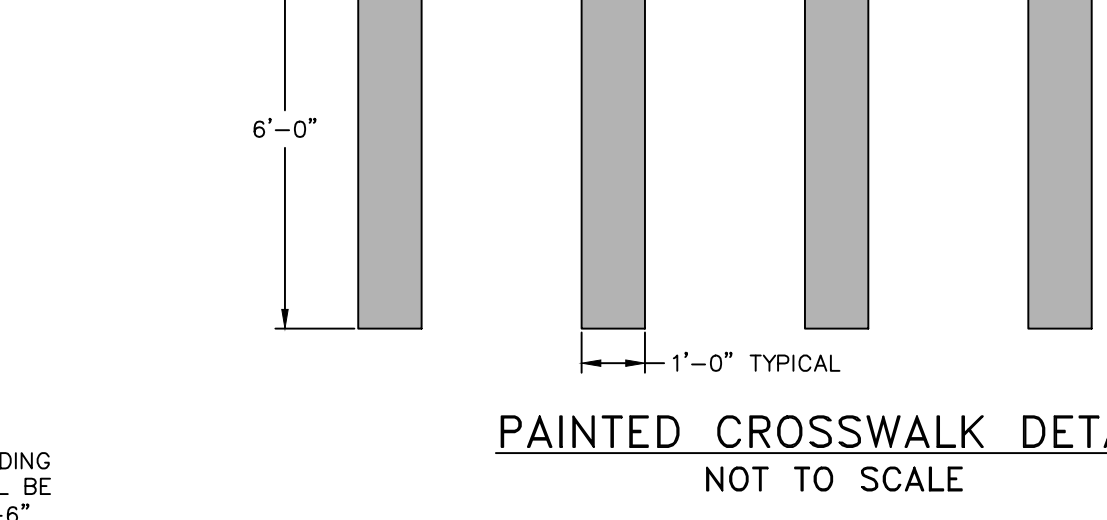


**ABUTTING SIDEWALK**

**MOUNTABLE CURB**  
ABUTTING GRASS OR LANDSCAPE



**CAST-IN-PLACE CONCRETE CURB DETAIL**  
NOT TO SCALE



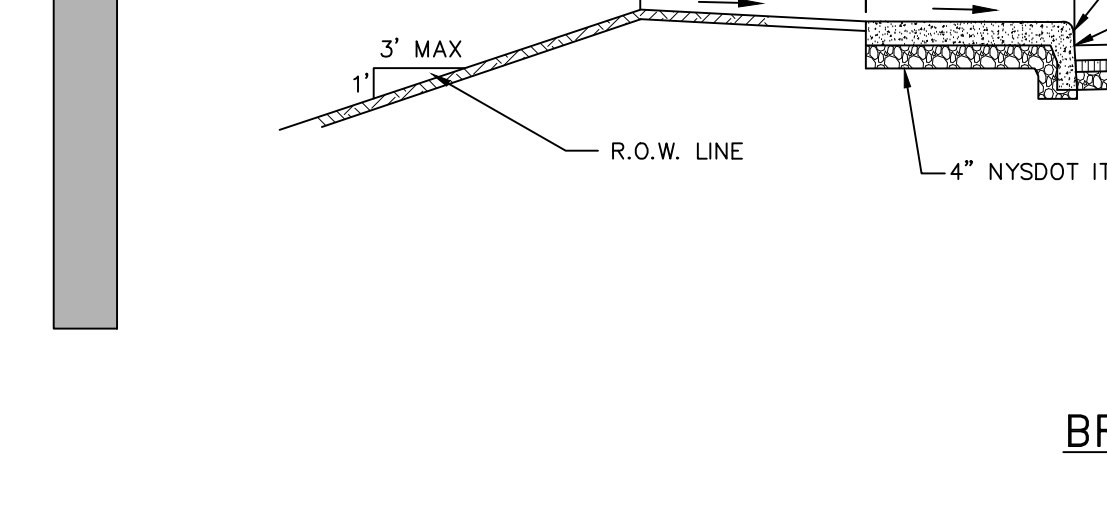
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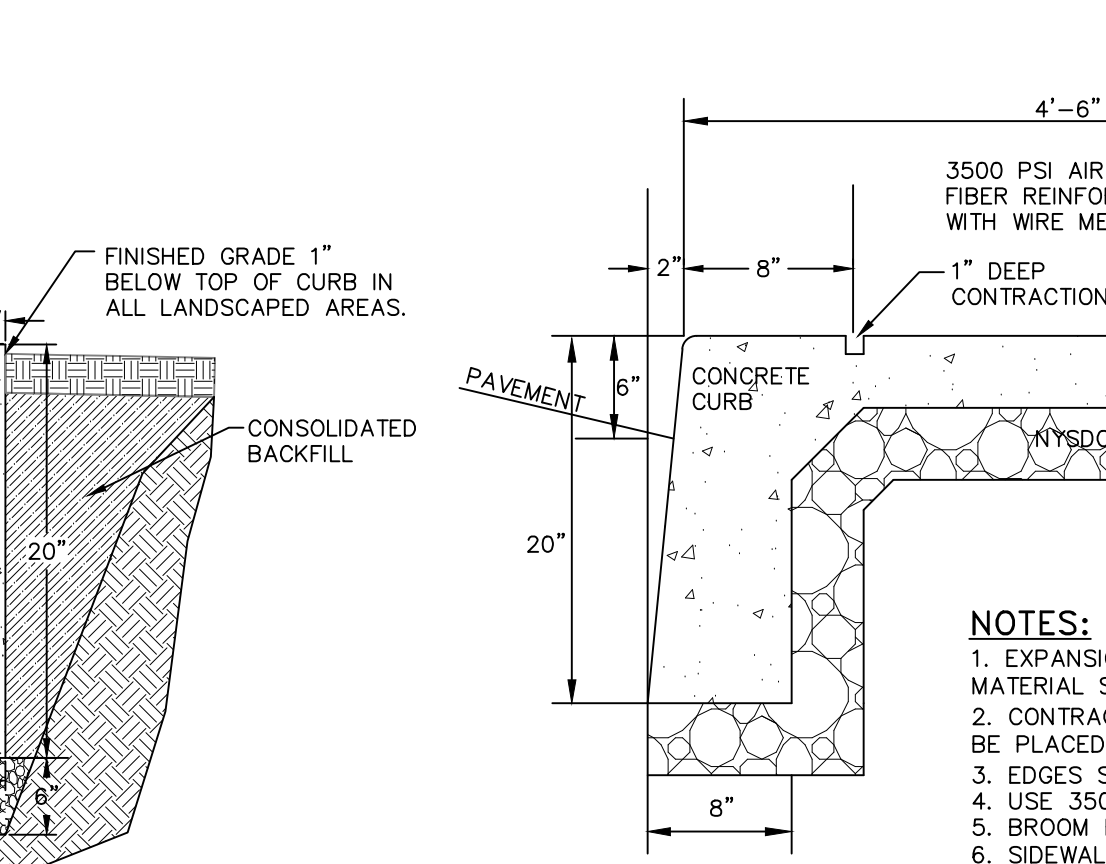
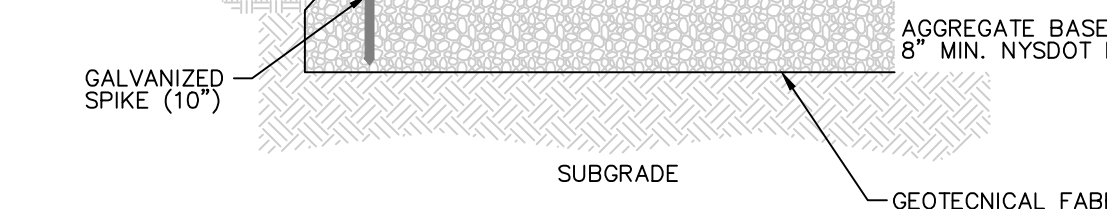
**MOUNTABLE CURB**  
ABUTTING GRASS OR LANDSCAPE



**CAST-IN-PLACE CONCRETE CURB DETAIL**  
NOT TO SCALE

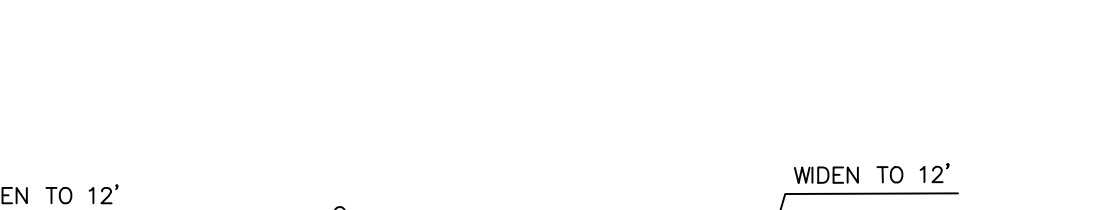


**PAINTED CROSSWALK DETAIL**  
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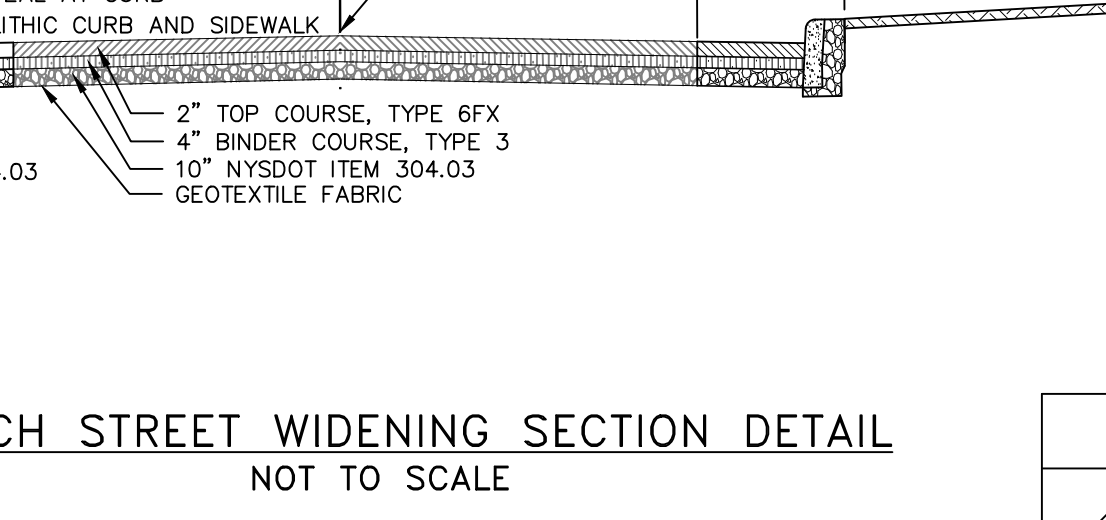


**MOUNTABLE CURB**  
ABUTTING GRASS OR LANDSCAPE

**MONOLITHIC CURB AND SIDEWALK DETAIL FOR BRANCH STREET**  
NOT TO SCALE



**BRANCH STREET WIDENING SECTION DETAIL**  
NOT TO SCALE



**CONCRETE PAVER DETAIL**  
NOT TO SCALE



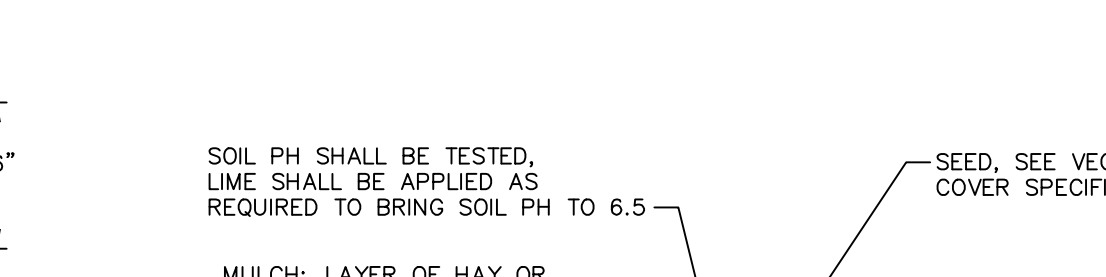
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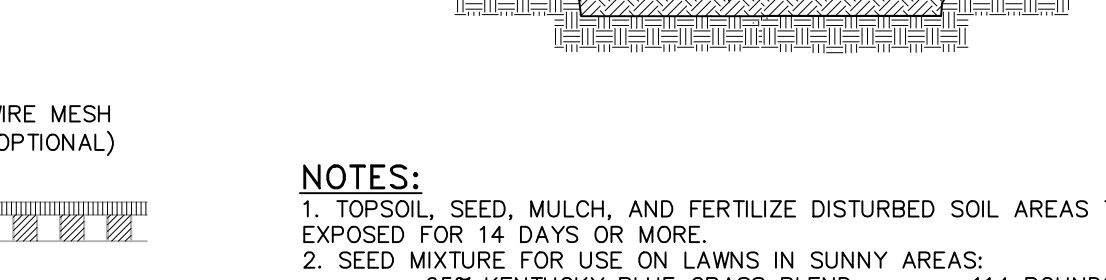
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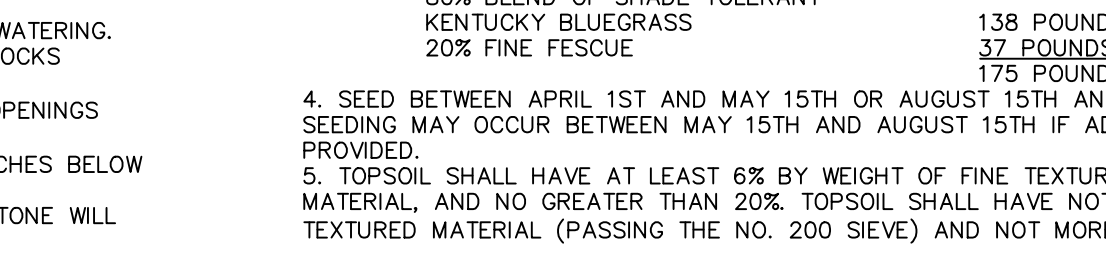
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NOT TO SCALE



**CONCRETE PAVER DETAIL**  
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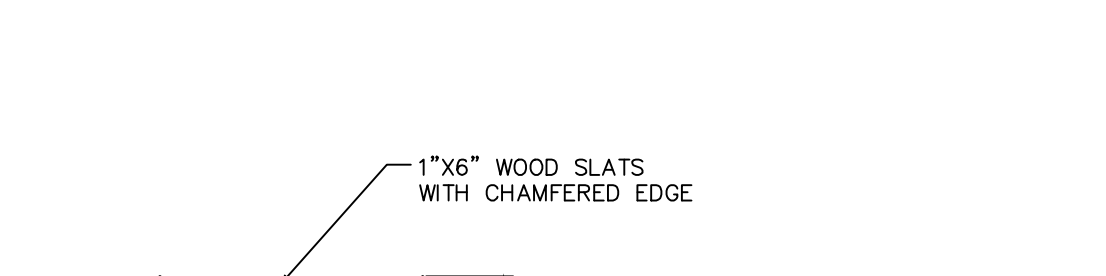
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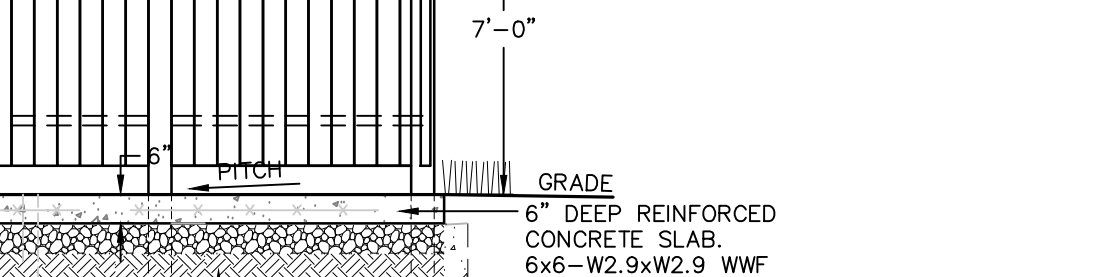
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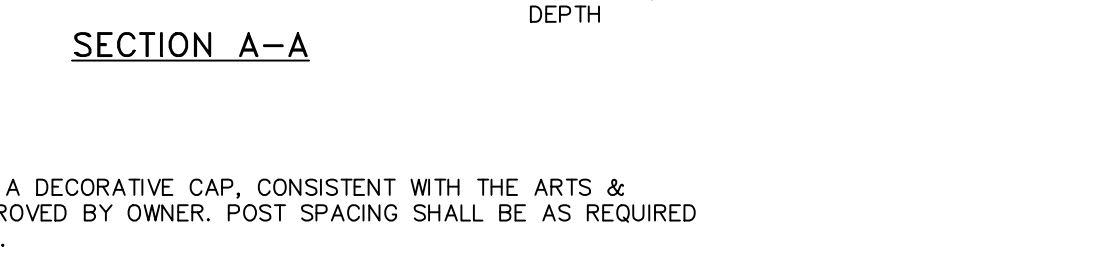
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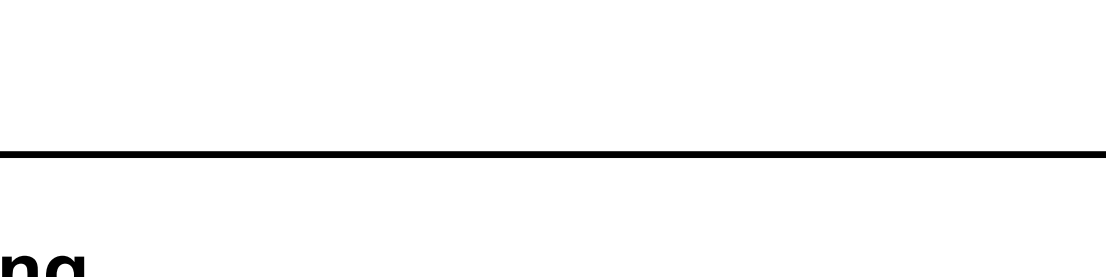
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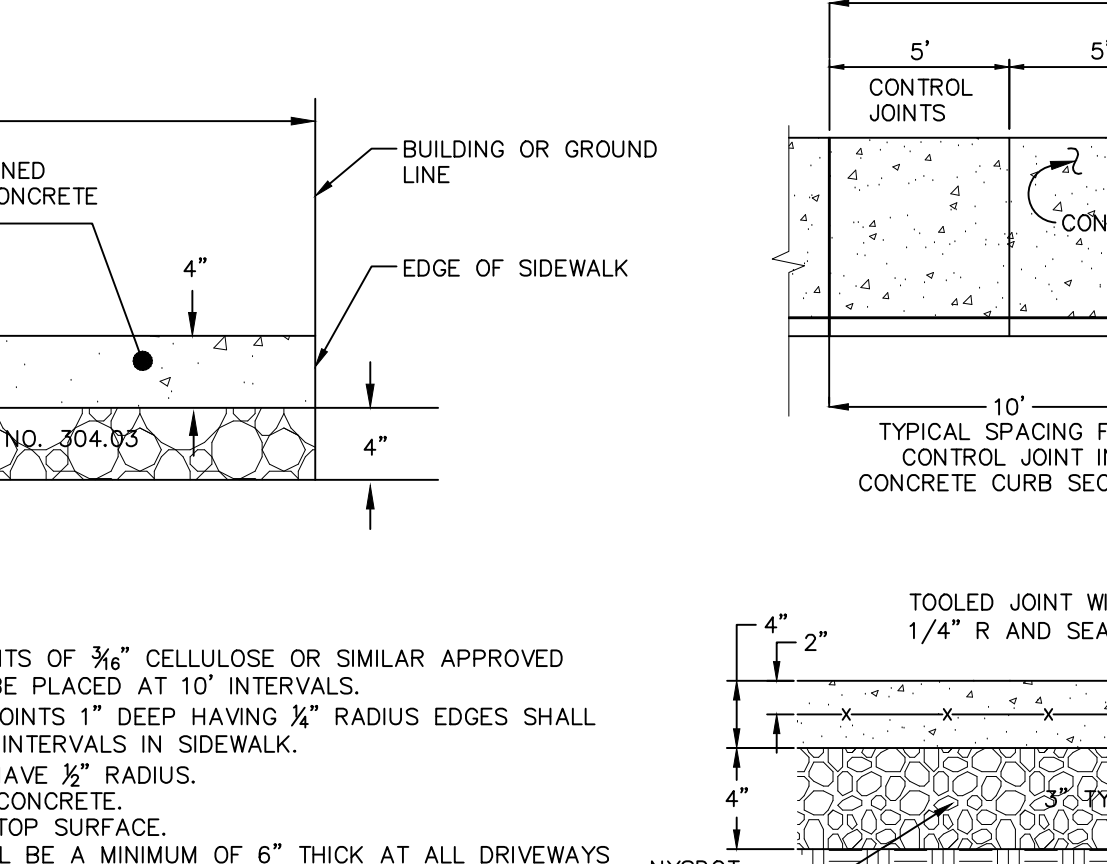
**CONCRETE PAVER DETAIL**  
NOT TO SCALE



**CONCRETE PAVER DETAIL**  
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**CONCRETE PAVER DETAIL**  
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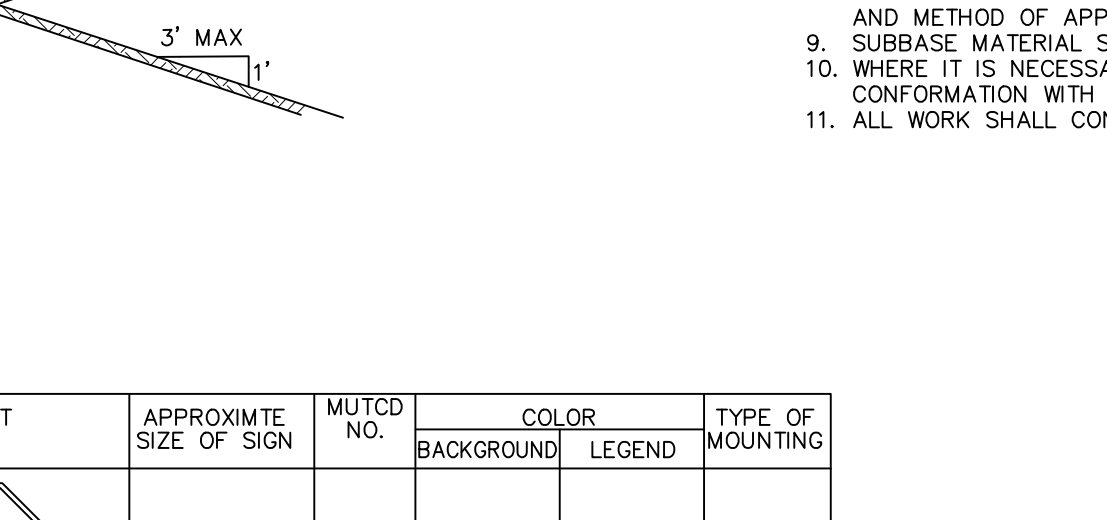


**MOUNTABLE CURB**  
ABUTTING GRASS OR LANDSCAPE

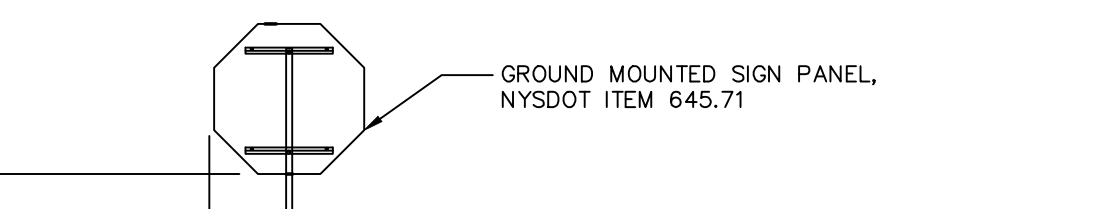
**MONOLITHIC CURB AND SIDEWALK DETAIL FOR BRANCH STREET**  
NOT TO SCALE



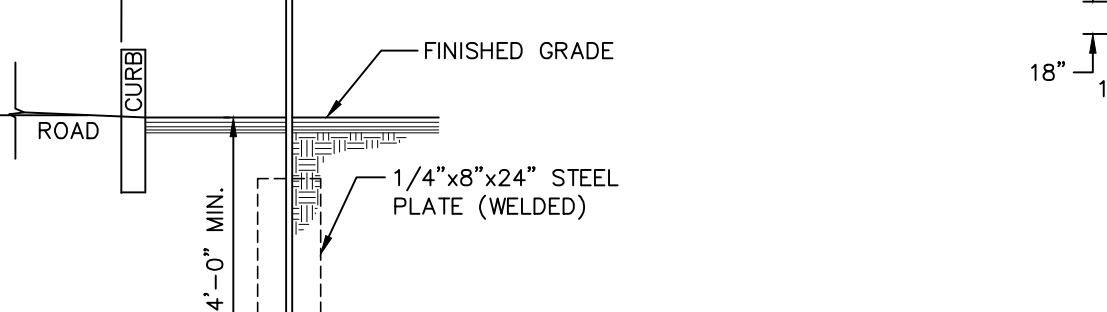
**BRANCH STREET WIDENING SECTION DETAIL**  
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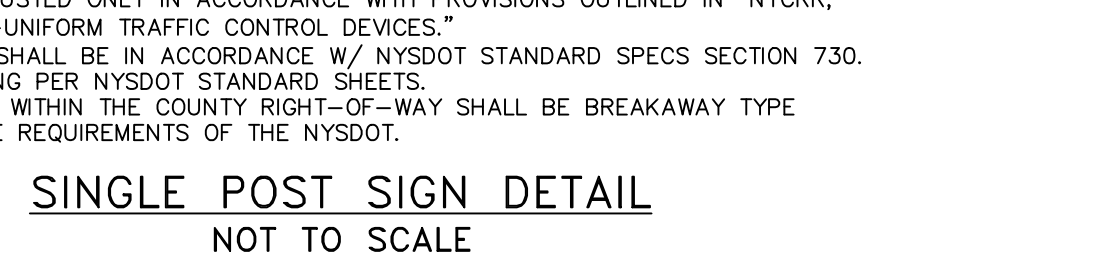
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**CONCRETE PAVER DETAIL**  
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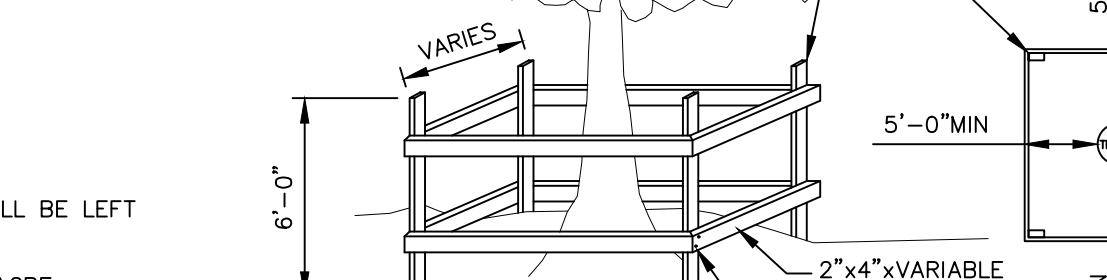
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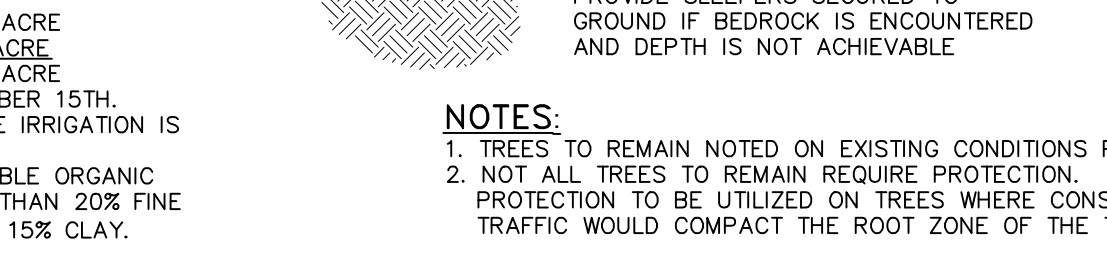
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NOT TO SCALE



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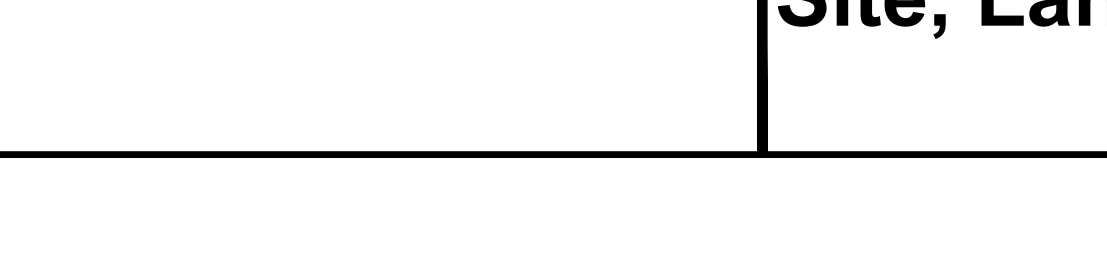
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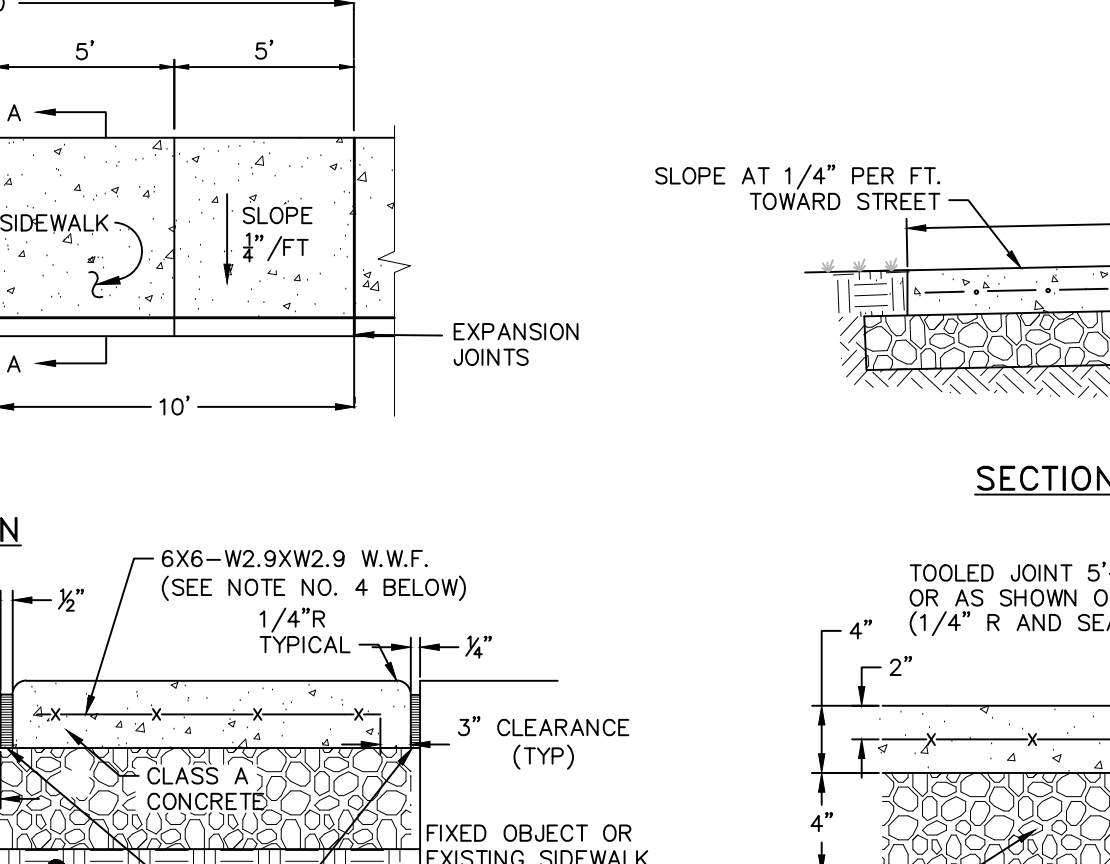
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**CONCRETE PAVER DETAIL**  
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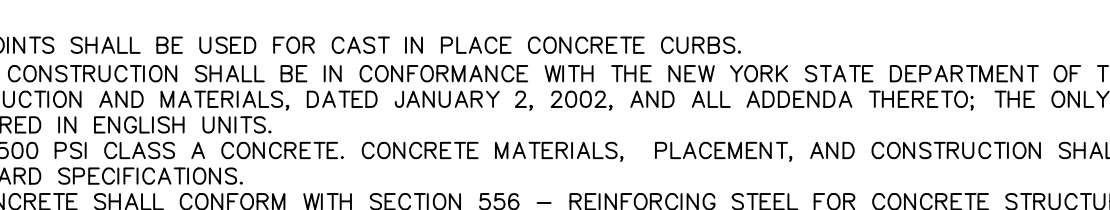


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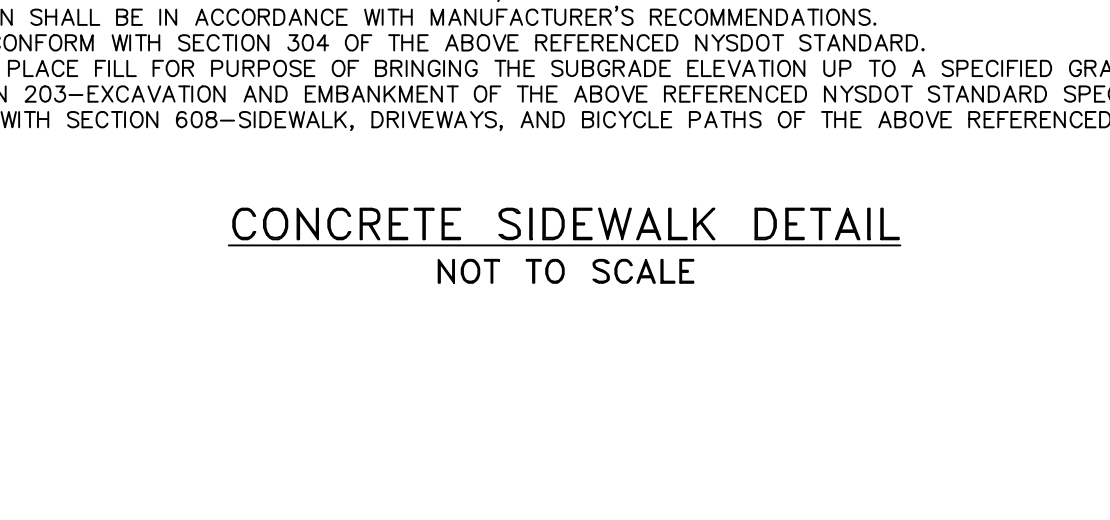


**MOUNTABLE CURB**  
ABUTTING GRASS OR LANDSCAPE

**MONOLITHIC CURB AND SIDEWALK DETAIL FOR BRANCH STREET**  
NOT TO SCALE



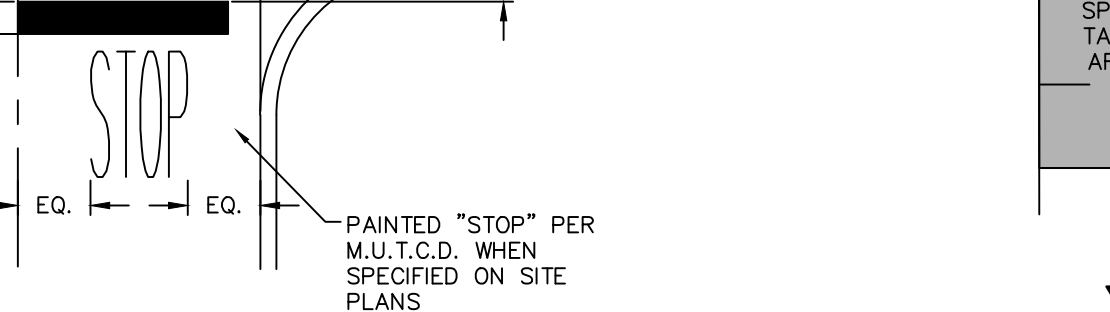
**BRANCH STREET WIDENING SECTION DETAIL**  
NOT TO SCALE



**CONCRETE PAVER DETAIL**  
NOT TO SCALE



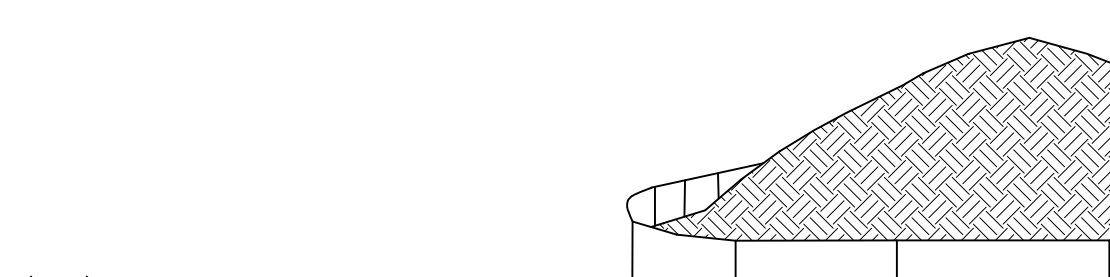
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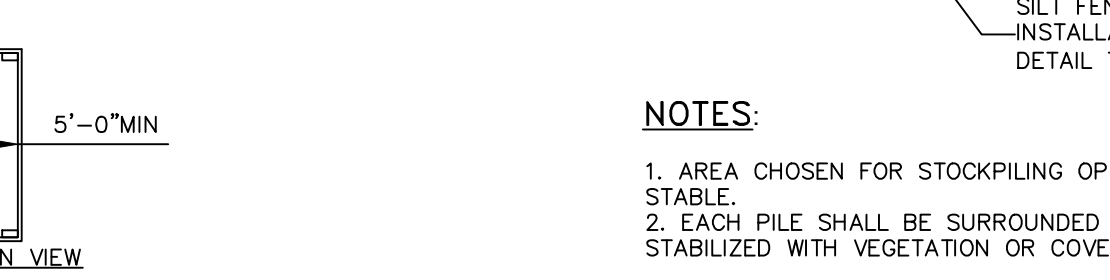
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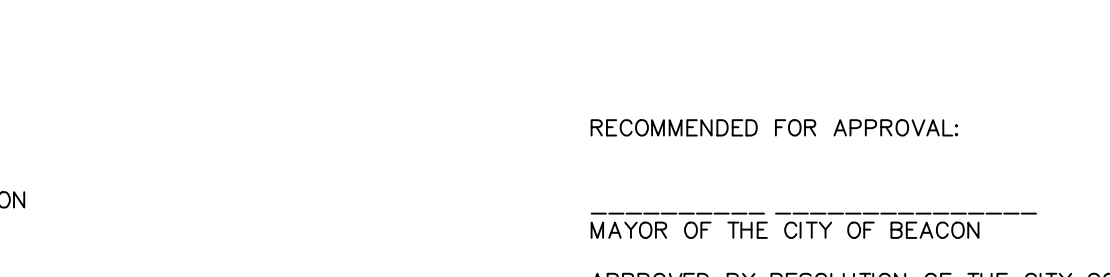
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NOT TO SCALE



**CONCRETE PAVER DETAIL**  
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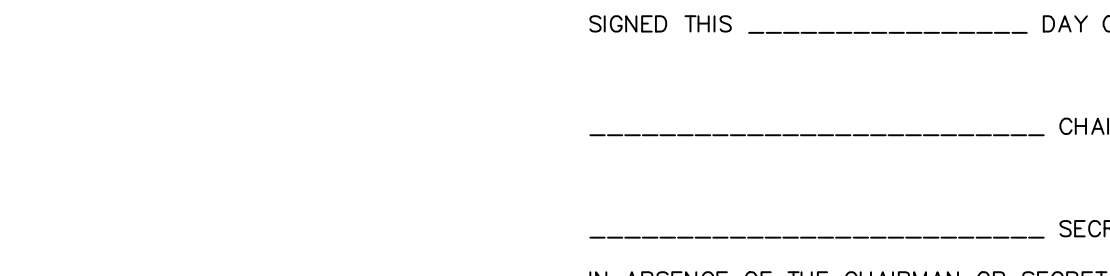
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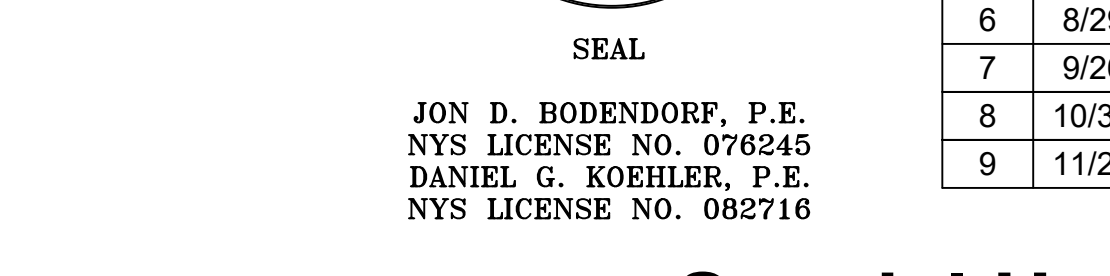
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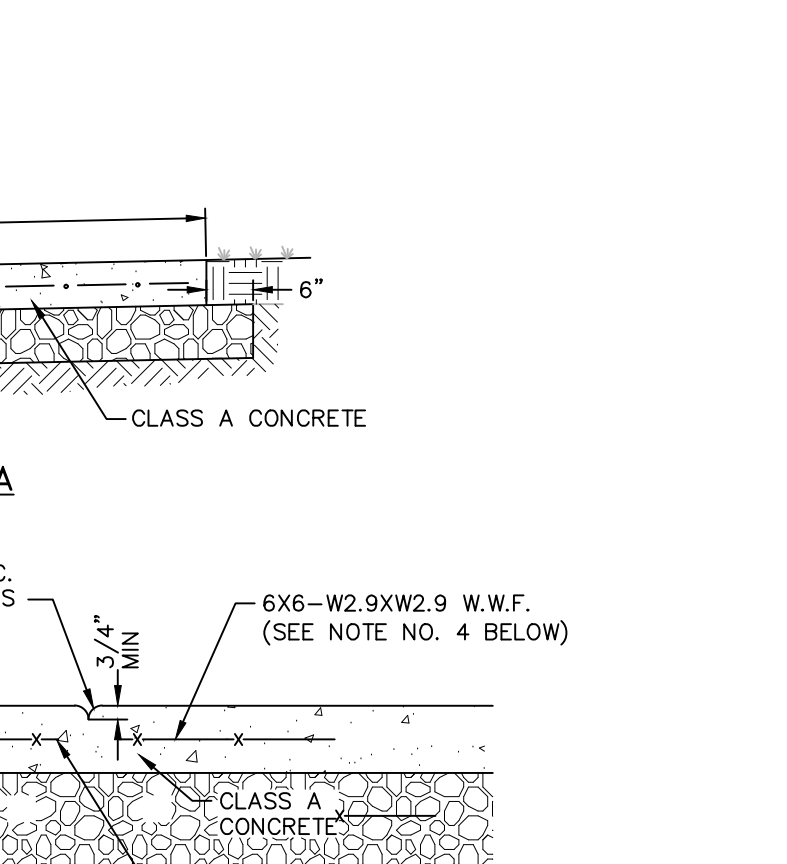
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**CONCRETE PAVER DETAIL**  
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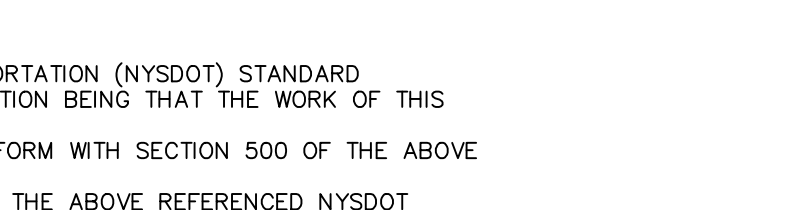


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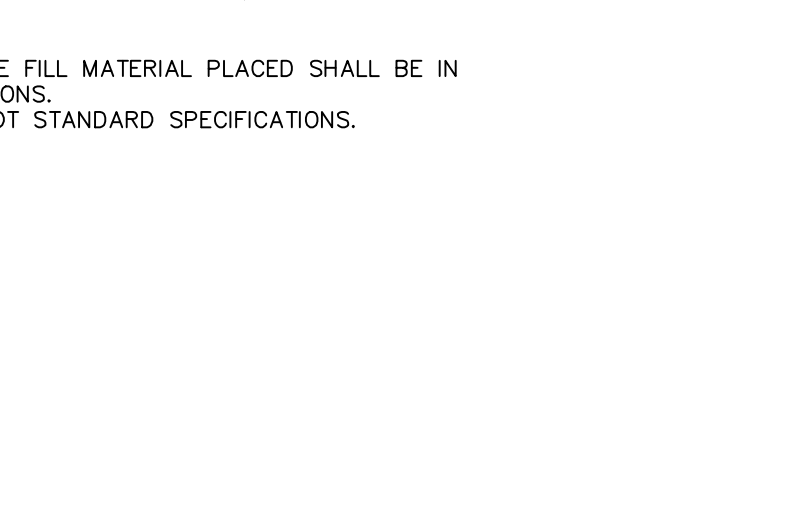


**MOUNTABLE CURB**  
ABUTTING GRASS OR LANDSCAPE

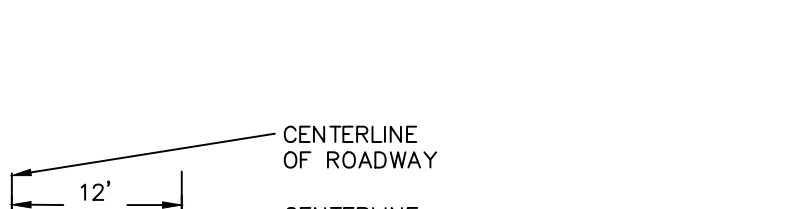
**MONOLITHIC CURB AND SIDEWALK DETAIL FOR BRANCH STREET**  
NOT TO SCALE



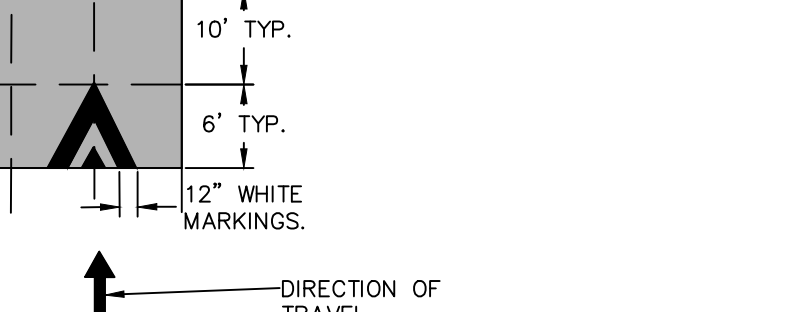
**BRANCH STREET WIDENING SECTION DETAIL**  
NOT TO SCALE



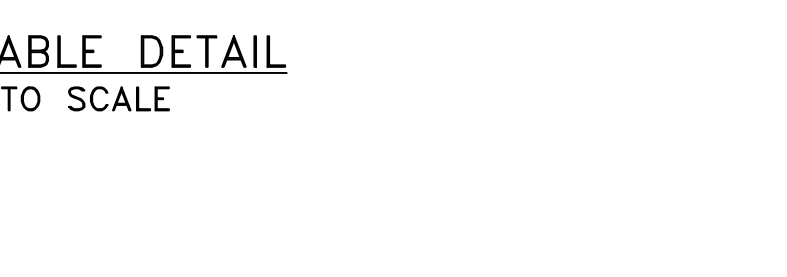
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**CONCRETE PAVER DETAIL**  
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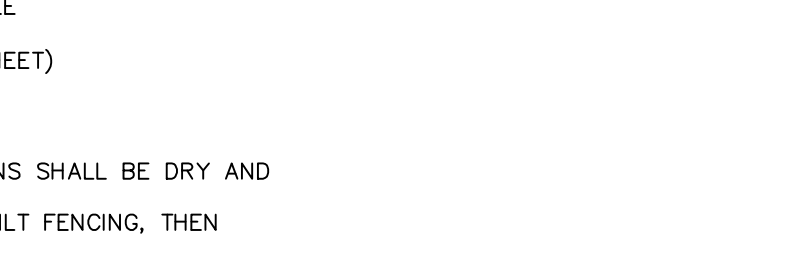
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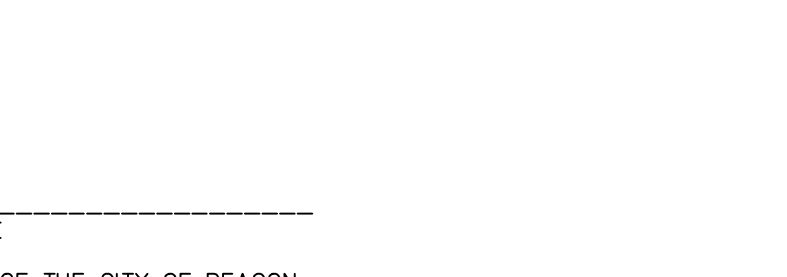
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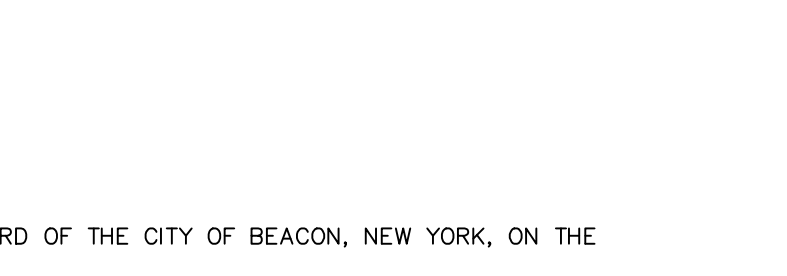
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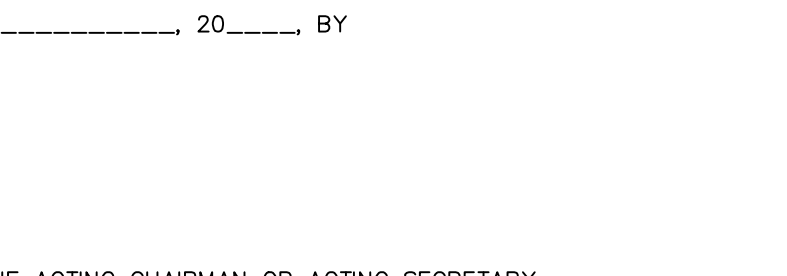
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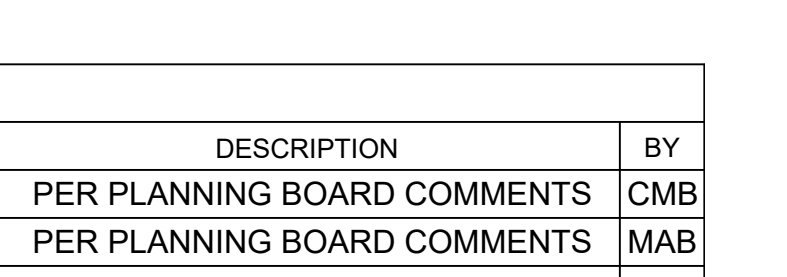
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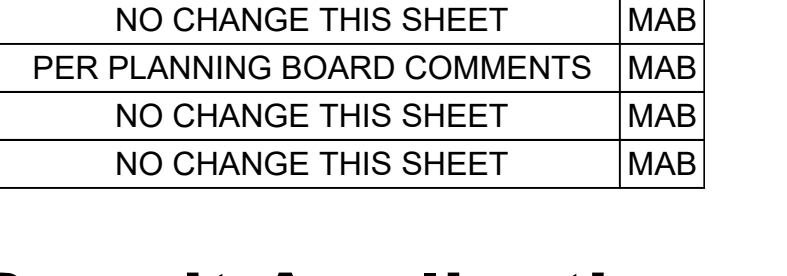
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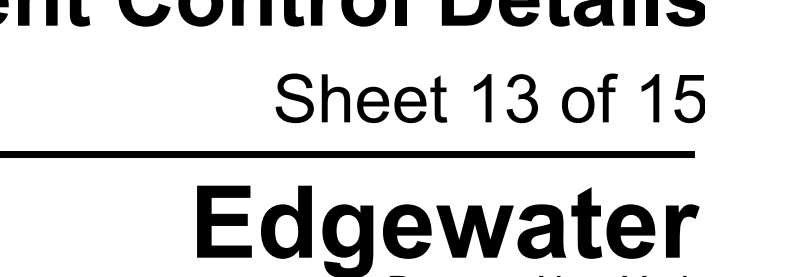
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**CONCRETE PAVER DETAIL**  
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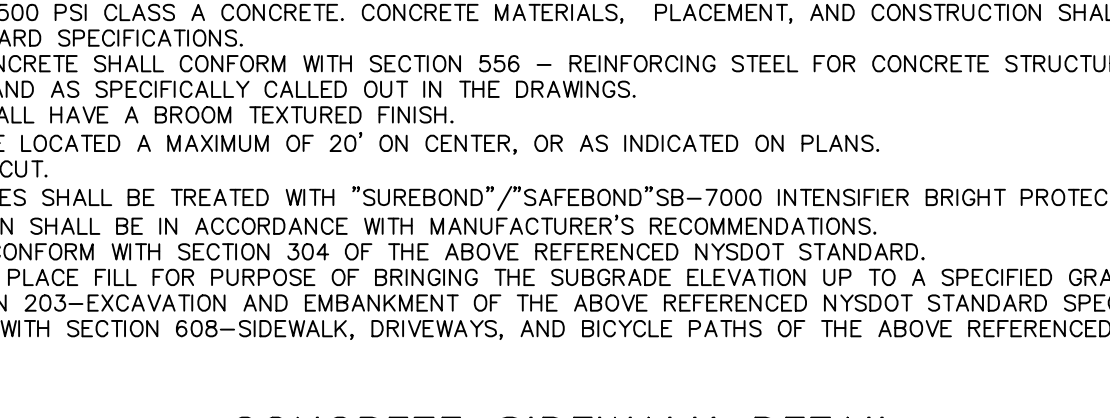


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**CONCRETE PAVER DETAIL**  
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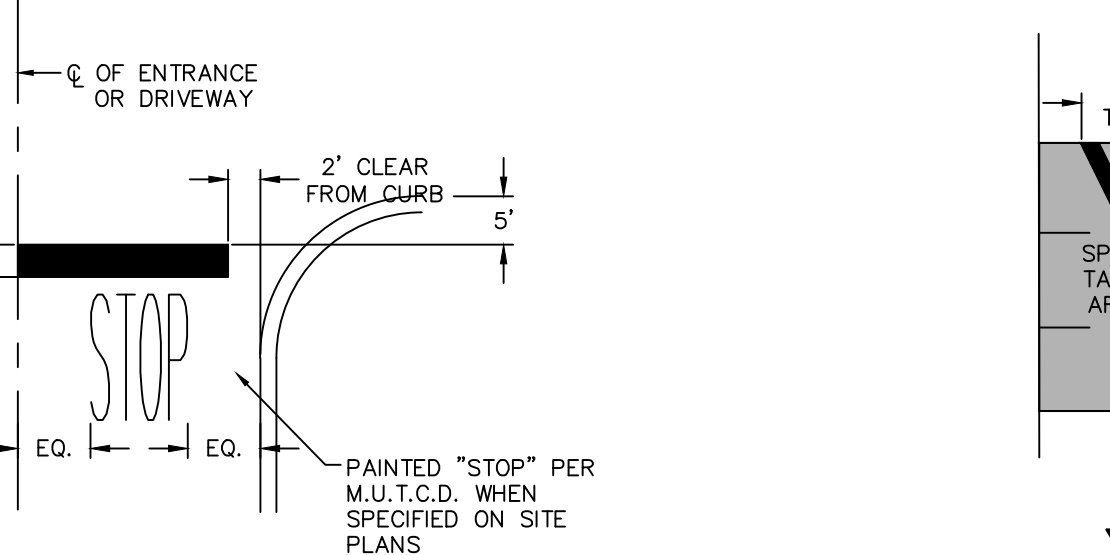
**EXPANSION JOINT**



**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



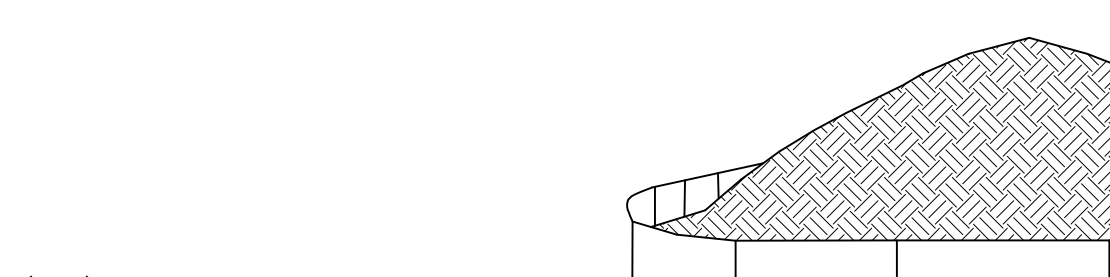
**STOP BAR DETAIL**  
NOT TO SCALE



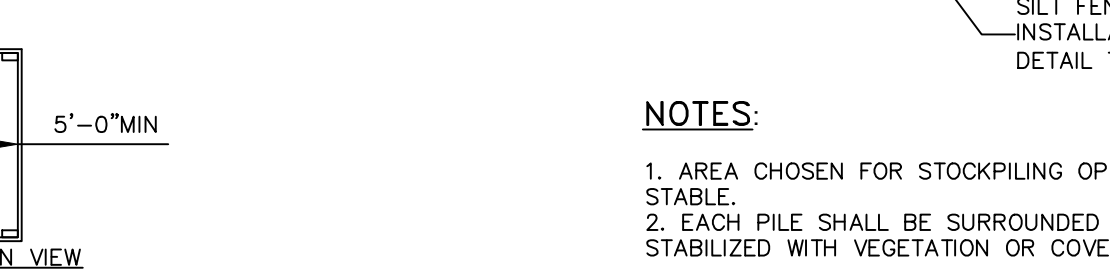
**STOP BAR DETAIL**  
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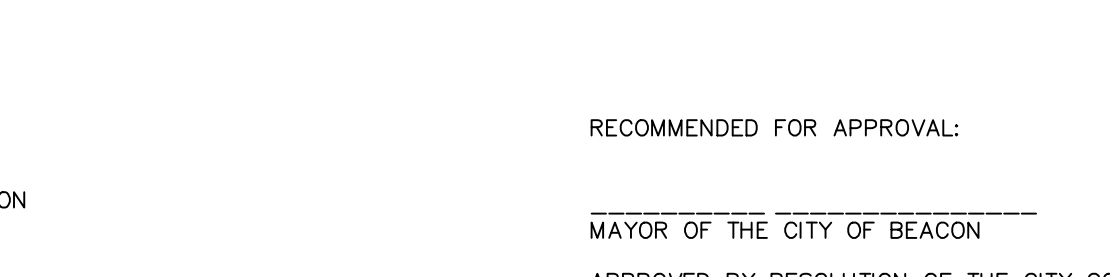
**STOP BAR DETAIL**  
NOT TO SCALE



**STOP BAR DETAIL**  
NOT TO SCALE



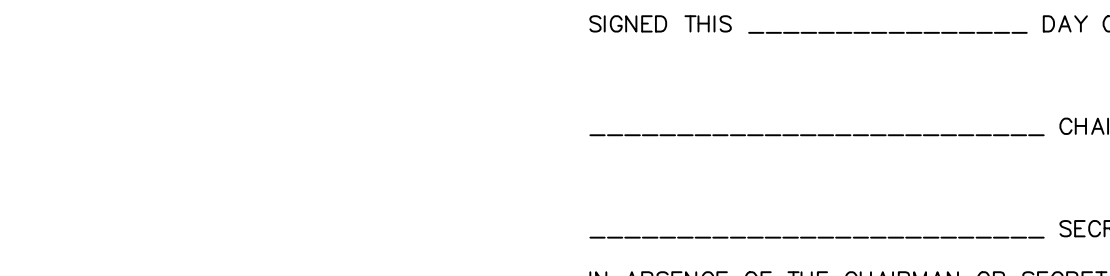
**STOP BAR DETAIL**  
NOT TO SCALE



**STOP BAR DETAIL**  
NOT TO SCALE



**STOP BAR DETAIL**  
NOT TO SCALE



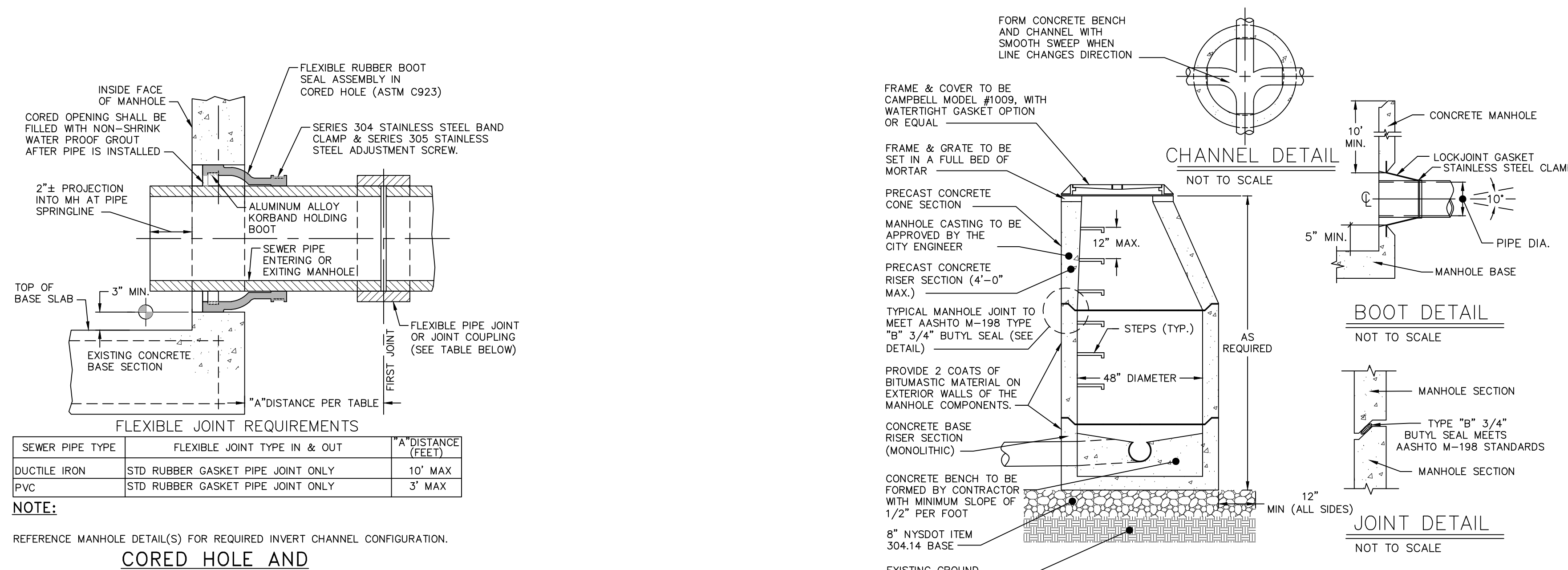
**STOP BAR DETAIL**  
NOT TO SCALE



**STOP BAR DETAIL**  
NOT TO SCALE



**SEWER DETAILS**



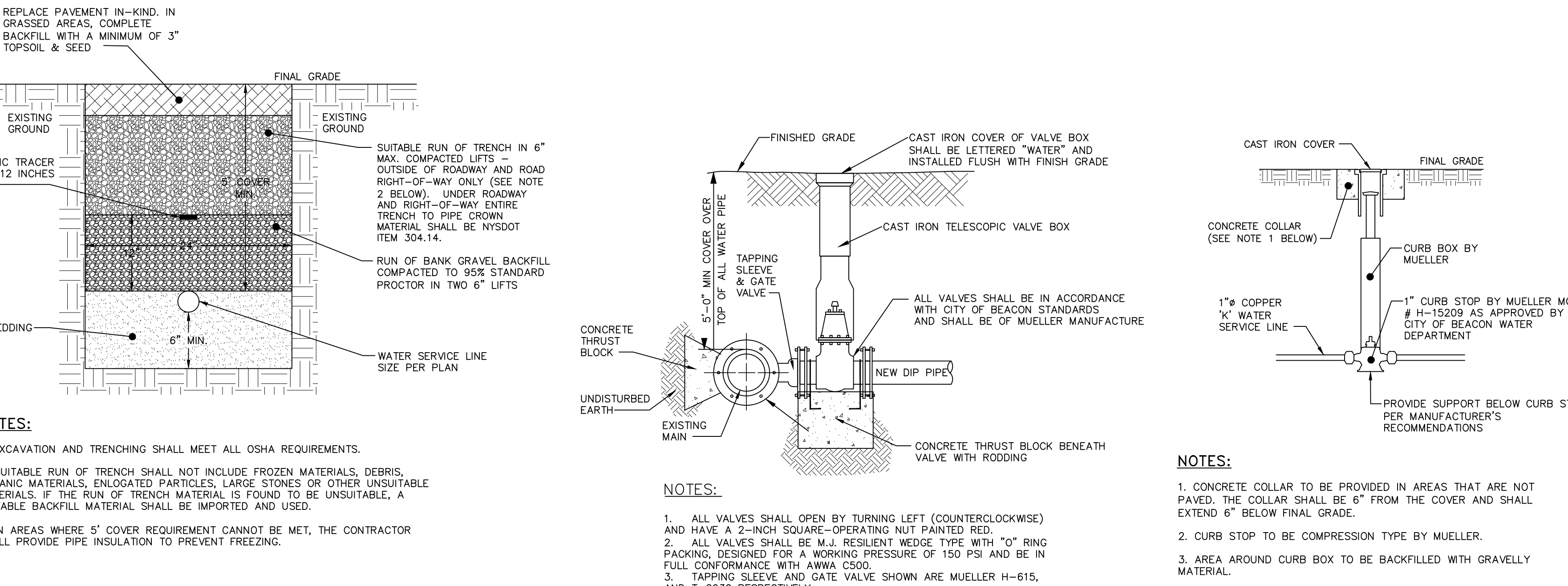
- NOTES:**
- PIPE CONNECTION TO BE STANDARD "LOCKJOINT" BOOT 5" OFF BASE OF MANHOLE (SEE DETAIL).
  - CONCRETE STRENGTH OF MANHOLE COMPONENTS TO BE 4000 PSI @ 28 DAYS IN ACCORDANCE WITH ASTM C-478-96.
  - STEEL REINFORCEMENT OF MANHOLE COMPONENTS TO MEET ASTM A615-A497 REQUIREMENTS.
  - LOADING OF MANHOLE COMPONENTS TO MEET H-20 REQUIREMENTS.
  - CONCRETE USED IN MANHOLE COMPONENTS TO CONTAIN 6% AIR ENTRAINMENT.
  - 4' MAXIMUM FROM MANHOLE TO PIPE JOINT.



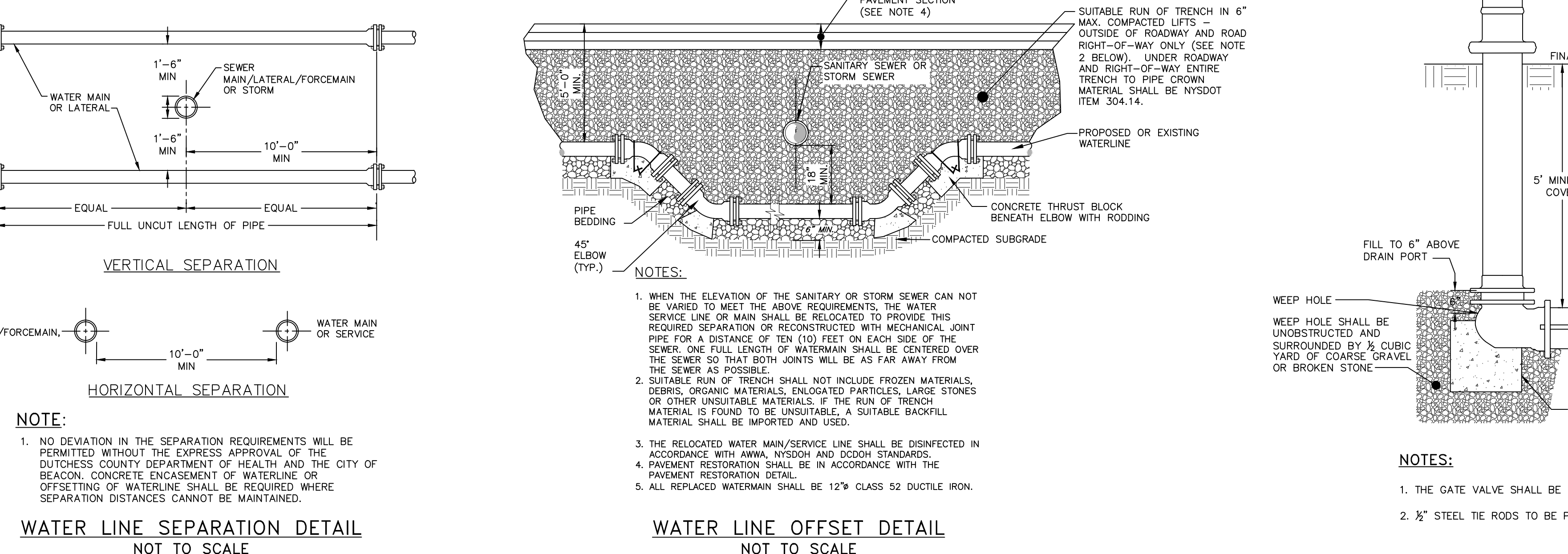
- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
  - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

**SANITARY SEWER SERVICE LINE TRENCH DETAIL**  
NOT TO SCALE

**WATER DETAILS**

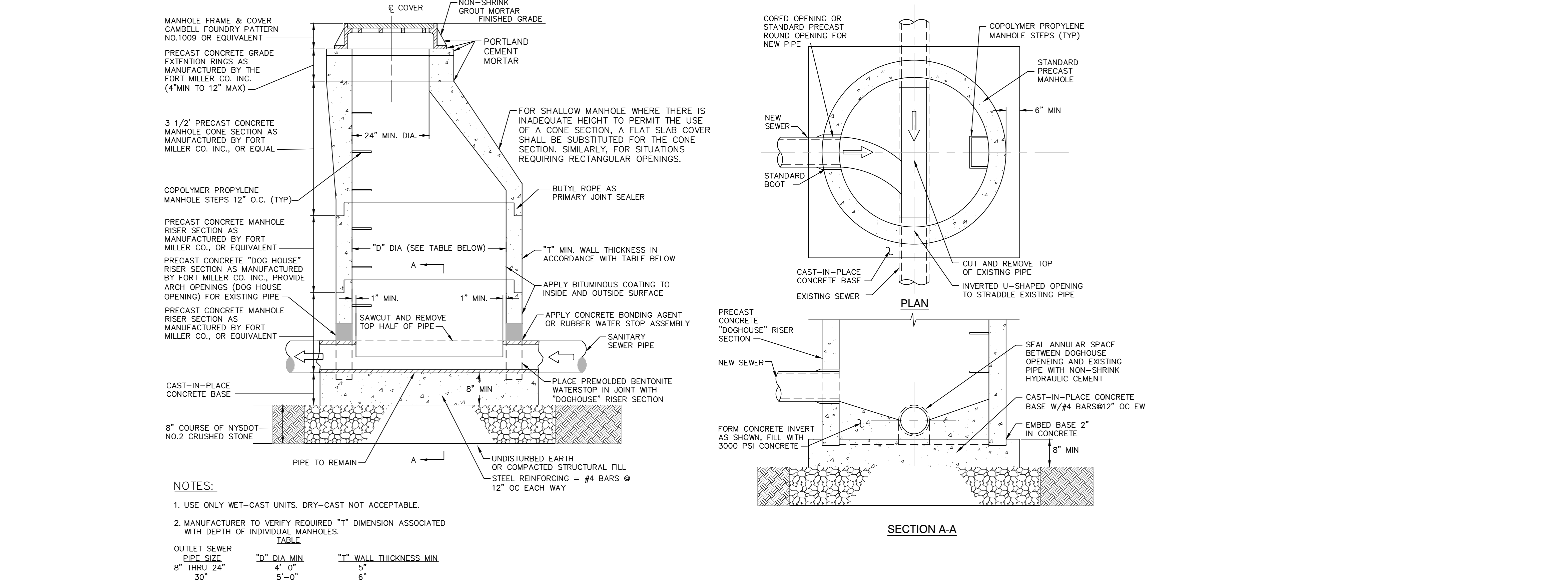


- NOTES:**
- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
  - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
  - IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.



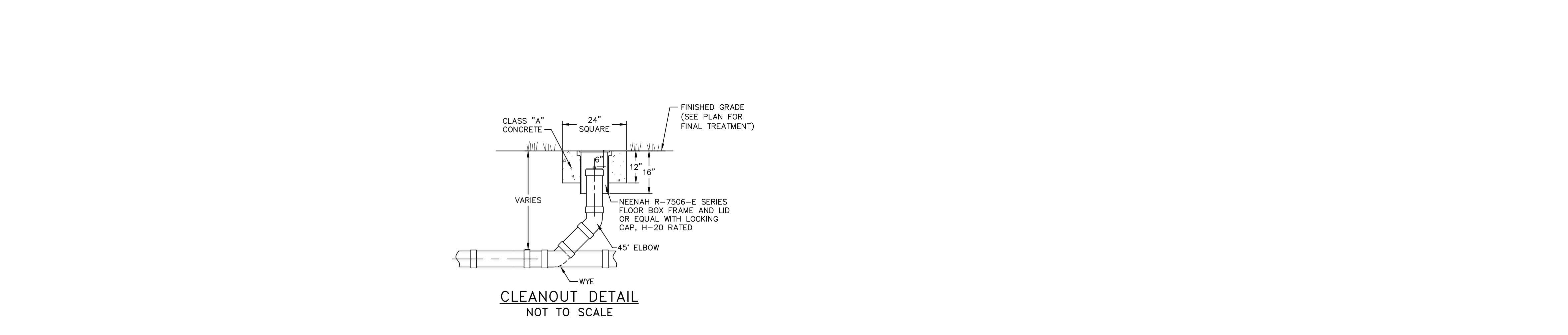
- NOTES:**
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND THE CITY OF BEACON. CONCRETE ENCASUREMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.
  - WHEN THE ELEVATION OF THE SANITARY OR STORM SEWER CAN NOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER SERVICE LINE OR MAIN SHALL BE RELOCATED TO PROVIDE THIS REQUIRED SEPARATION OR RESTRICTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATERMAIN SHALL BE CENTERED OVER THE SEWER AS POSSIBLE.
  - SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
  - THE RELOCATED WATER MAIN/SERVICE LINE SHALL BE IDENTIFIED IN ACCORDANCE WITH AWWA, NYS AND DODD STANDARDS.
  - PAVEMENT RESTORATION DETAIL TO BE IN ACCORDANCE WITH THE PAVEMENT RESTORATION DETAIL.
  - ALL REPLACED WATERMAIN SHALL BE 12" CLASS 52 DUCTILE IRON.

**WATER LINE SEPARATION DETAIL**  
NOT TO SCALE



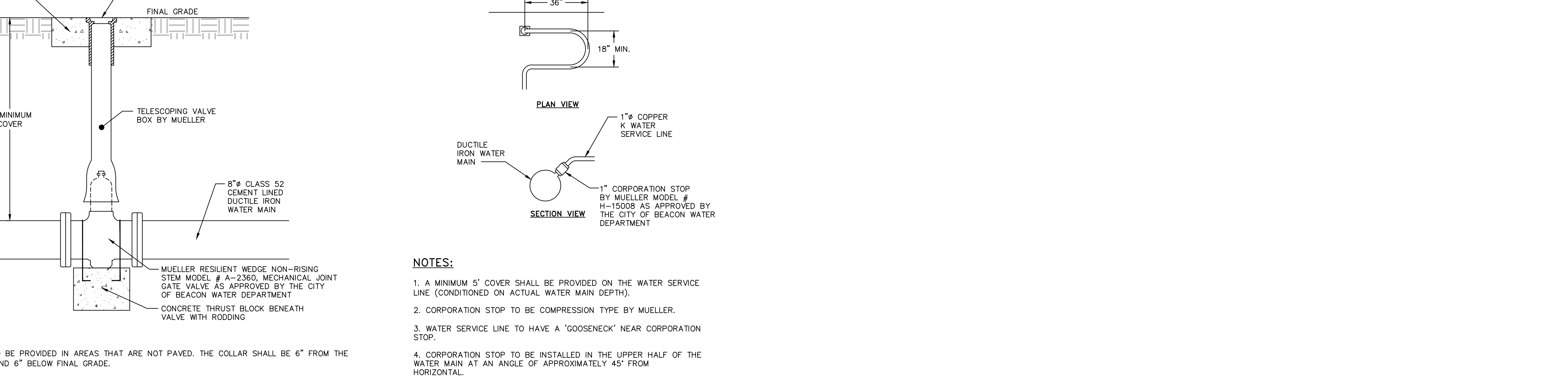
- NOTES:**
- USE ONLY MET-CAST UNITS. DRY-CAST NOT ACCEPTABLE.
  - MANUFACTURER TO VERIFY REQUIRED "T" DIMENSION ASSOCIATED WITH DEPTH OF INDIVIDUAL MANHOLES.

**PRECAST CONCRETE INSERTION "DOGHOUSE" MANHOLE DETAIL**  
NOT TO SCALE



- NOTES:**
- A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).
  - CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.
  - WATER SERVICE LINE TO HAVE A "GOOSENECK" NEAR CORPORATION STOP.
  - CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.

**CLEANOUT DETAIL**  
NOT TO SCALE



- NOTES:**
- A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).
  - CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.
  - WATER SERVICE LINE TO HAVE A "GOOSENECK" NEAR CORPORATION STOP.
  - CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.

RECOMMENDED FOR APPROVAL:

MAYOR OF THE CITY OF BEACON \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN

SECRETARY



NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/25/17	NO CHANGE THIS SHEET	MAB
4	5/30/17	NO CHANGE THIS SHEET	MAB
5	7/25/17	NO CHANGE THIS SHEET	MAB
6	8/29/17	NO CHANGE THIS SHEET	MAB
7	9/26/17	NO CHANGE THIS SHEET	MAB
8	10/31/17	NO CHANGE THIS SHEET	MAB
9	11/28/17	NO CHANGE THIS SHEET	MAB

**Special Use Permit Application**  
**Water and Sewer Details**

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lano, P.E., L.S.  
Arthur R. Tully, P.E.

December 4, 2017

Mr. Jay Sheers, Chairman  
Beacon Planning Board  
City of Beacon City Hall  
1 Municipal Plaza  
Beacon, NY 12508

RE: Edgewater  
City of Beacon  
Tax Map Nos. 5954-25-566983, 574979,  
581985, & 5955-19-590022

Dear Mr. Sheers:

Our office has reviewed the plans entitled "Edgewater", as prepared by Aryeh Siegel, Architect, and Hudson Land Design, with the latest revision date of November October 31, 2017, along with the correspondences from each of the consultants. The plans submitted consisted of the following:

- Sheet 1 of 15, entitled "Site Plan", last revised October 31, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 5 of 15, entitled "Lower Level/Garage Floor Plan", last revised October 31, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 6 of 15, entitled "Typical Floor Plan", last revised October 31, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 7 of 15, entitled "Typical Floor Plan", last revised October 31, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.


Per the consultant correspondences, the plans were not revised to address our November 9<sup>th</sup>, 2017 comments at this time, as they were awaiting to have a consultant's meeting with regards to the re-alignment of Branch Street, which could impact the plan designs. Noting this, all of our previous comments have not been addressed.

On November 29<sup>th</sup>, 2017, a consultants meeting was held at City Hall to discuss the realignment of Branch Street. Based upon the meeting, the project consultants will progress forwards with the re-alignment of Branch Street, along with addressing our previous comments.

Our office will continue our review of the project once we receive revised plans as part of the next planning board submission. Further comments may be forthcoming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clark, Planner  
Jennifer Gray, Esq.  
Tim Dexter, Building Inspector



To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: December 7, 2017

Re: **Edgewater Site Plan and Subdivision**

I reviewed the following new materials: response letters from Michael A. Bodendorf, Aryeh Siegel, and Cleary Consulting, and sheets 1, 5, 6 and 7 of the Site Plan set, all dated November 28, 2017.

**Proposal**

The applicant is proposing to demolish two existing buildings, construct seven apartment buildings containing 307 units on 12.009 acres in the RD-1.7 zoning district.

**Comments and Recommendations**

Since the application has only minor changes from the previous month, my comments are similar to those submitted on November 9, 2017:

1. Overall documentation has been submitted for the Board to vote on the draft SEQRA Negative Declaration, including the traffic study, Phase IA archeological investigation, habitat assessment, and school impact analysis. The Planning Board will also need to issue an LWRP Consistency Determination for the project. The applicant’s consistency statement addresses all the appropriate LWRP policies.
2. As a summary of the school impact positions, the applicant’s June 26, 2017 *School Impact Study* and supplemental comments conclude that the Beacon City School District (BCSD) has adequate capacity for the projected 47 school-age children and that the proposed project will have a net positive financial impact on the district. Three central assumptions have been previously challenged by the BCSD: the estimate of public school-age children, the assessed value of the completed project, and the cost per student to be used in the fiscal calculation. The schools have available capacity, since overall enrollment has dropped 20%, or 735 students, between 2004-5 and 2015-16.

Both parties agree that the 2006 Rutgers Residential Demographic Multipliers for New York are the industry-accepted standard for estimating school children. The applicant’s estimate of 47 appears, if anything, high since the total school-age children table was used from the Rutgers Study, rather than the more targeted public school-age children (PSAC) ratios. Also, 96 of the 307 proposed units are smaller studio apartments, which should have a significantly lower student count than the one-bedroom ratio used in the *School Impact Study*. My best estimate based on the Rutgers multipliers is below, using the higher 67th-100<sup>th</sup> percentile PSAC ratio for the market rate units and the medium 34<sup>th</sup>-66<sup>th</sup> percentile PSAC ratio for the required workforce units:

Units	#	Market	Ratio	PSAC	Workforce	Ratio	PSAC	Total PSAC
Studio	96	86	.07	6.02	10	.27	2.7	8.72
1 BR	115	104	.07	7.28	11	.27	2.97	10.25
2 BR	86	77	.16	12.32	9	.45	4.05	16.37
3 BR	10	9	.63	5.67	1	1.3	1.3	6.97
Totals	307	276			31			42.31

The City of Beacon Assessor has estimated that the assessed value of the completed project will be between \$34 and 40 million. At the midpoint of this estimate, the development would generate \$810,300 of annual tax revenue for the BCSD.

For the cost of the additional PSAC, the applicant has proposed using the BCSD 2015-16 Instructional Budget cost of \$17,102 per student, which includes teaching salaries/benefits, special needs, library, attendance, guidance, health and social services, interscholastic and other activities, transportation, and similar more student-sensitive functions. The BCSD has maintained that the total budget cost of \$23,116 per student should be used, which also accounts for the Board of Education, central administration, finance, legal, personnel, records management, supervisors' salaries/benefits, and capital budget items, including central services and debt services. As another factor of comparison, the actual local tax levy, after state aid and other revenue, is \$12,653 per student. The net fiscal impacts depend on which one of these figures seems most reasonable.

	Cost/Student	# Students	Add'l. Costs	Revenue	Net Impacts
Local Tax Levy	\$12,653	42	\$531,426	\$810,300	+\$278,874
Instructional Budget	\$17,102	42	\$718,284	\$810,300	+\$92,016
Total Budget	\$23,116	42	\$970,872	\$810,300	-\$160,572

Marginally increasing enrollment by about 42 students in a district that is down 735 students since 2004-5 and down 128 students from 2014-15 should not significantly affect the capital and administrative budget sections. I think that the Instructional Budget calculation is justifiable.

3. Several variances are being requested for this project, including:
  - Maximum stories from 4½ to 5 for Buildings 3, 4, and 6 (still within the 55-foot height limit);
  - More than 36 units per building (Buildings 1, 2, 3, and 6 have between 48 and 59 units);
  - Less than 30 feet between buildings (building separations range from 12 to 25 feet).

The Board should issue recommendations to the ZBA. The applicant makes the case that the three variances are necessary to consolidate the built area into seven buildings and to maximize open space on the site. The 4½ to 5 story request seems reasonable, since the buildings still fit within the 55-foot height limit, but the other two variances are substantial and add to the bulk and blending together of the buildings. The attached illustrative example shows that eight 36-unit buildings at least 30 feet apart could fit within the proposed site layout for a total of 288 apartments with about the same total park/plaza area and at least 18 fewer banked parking spaces. It should be noted that under Article IVB, Affordable Workforce Housing, 29 of these units would be available at below-market rates and the applicant may request up to 10 additional market rate units.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

- c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegel, Project Architect



**RESOLUTION**

**PLANNING BOARD  
BEACON, NEW YORK**

**LOCAL WATERFRONT REVITALIZATION  
PROGRAM (LWRP) CONSISTENCY DETERMINATION  
EDGEWATER (22 EDGEWATER PLACE)**

WHEREAS, the Beacon Planning Board received applications for Preliminary and Final Subdivision Plat Approvals (lot merger) and Site Plan Approval from Scenic Beacon Developments LLC (the “Applicant”) for the construction of seven (7) apartment buildings containing a total of 307 units (413 bedrooms) following the demolition of two existing structures and the merger of four lots into a single 12-acre parcel, along with associated infrastructure including but not limited to landscaping, stormwater management facilities, lighting, off-street parking areas, and retaining walls; and (the “Project” or “Proposed Action”); and

WHEREAS, the Site is located in the Coastal Management Zone as defined by the City’s Local Waterfront Revitalization Program (LWRP) and the Proposed Action includes a request for an LWRP Consistency Determination; and

WHEREAS, the subject property is located at 22 Edgewater Place and designated on the City tax maps as Parcel Nos. 5954-25-581985, 5955-19-590022, 5954-25-566983 and 5954-25-574979; and

WHEREAS, the subdivision is shown on the drawing, entitled, “Lot Consolidation Map Prepared for Weber Projects LLC,” dated March 6, 2017, prepared by TEC Land Surveying; and

WHEREAS, the Site Plan is shown on the drawings entitled, “Site Plan Edgewater,” Sheets 1-15, dated January 31, 2017, last revised September 26, 2017, prepared by Aryeh Siegal, Architect; and

WHEREAS, the application also consists of application forms, the Environmental Assessment Form (EAF) and professional studies and reports submitted to the Planning Board; and

WHEREAS, the application was referred to the Dutchess County Planning Department pursuant to New York State General Municipal Law and responses dated March 16, 2017 and June 12, 2017 were received; and

## **Local Waterfront Revitalization Program (LWRP) Consistency Determination Edgewater**

WHEREAS, on May 9, 2017, the Planning Board opened a public hearing for the purpose of soliciting comments regarding the relevant areas of environmental impact, and the SEQRA public hearing was closed on November 14, 2017; and

WHEREAS, on August 8, 2017, the Planning Board opened a public hearing on the application for Site Plan Approval, at which time all those interested were given an opportunity to be heard and the public hearing remains open; and

WHEREAS, in accordance with Section 220-6 of Chapter 220, Waterfront Consistency Review, of the City Code, all “actions to be undertaken within the City’s Coastal Management Zone shall be evaluated for consistency in accordance with the.....LWRP policy standards.....;” and

WHEREAS, in accordance with Section 220-5 of the Waterfront Consistency Review chapter of the City Code, it is the Lead Agency’s responsibility to make the Determination of Consistency based upon the Applicant’s LWRP Consistency Statement, the SEQRA documents, the application and Project documentation, and all other information that has been submitted by the Applicant, City staff, Planning Board consultants, involved and interested agencies, and the public; and

WHEREAS, the Site was rezoned to RD-1.7 after the adoption of the LWRP and therefore several references to an RD-6 zoning designation for the Site (known as the Prizzi property) are no longer applicable, however, it is noted that the LWRP identifies a potential for development of the property as townhouses.

NOW, THEREFORE, BE IT RESOLVED, that after taking a “hard look” at each of the relevant areas of environmental concern through review of the Environmental Assessment Form and all associated materials prepared in connection with the Proposed Action the Planning Board hereby adopts the annexed Negative Declaration pursuant to the State Environmental Quality Review Act (SEQRA).

BE IT FURTHER RESOLVED, that there are a number of LWRP policies which do not apply to the Project which policies are those that are contained in the LWRP but not listed below, and also hereby makes the following consistency findings with respect to the LWRP policies which apply to the Project:

### **POLICY 5**

*Encourage the location of development in areas where public services and facilities essential to such development are adequate, except when such development has special functional requirements or other characteristics which necessitates its location in other coastal areas.*

## **Local Waterfront Revitalization Program (LWRP) Consistency Determination**

### **Edgewater**

As noted in the SEQRA Negative Declaration for the Project, the Project will be connected to the existing public water distribution system and public sanitary sewer system.

#### **POLICY 13**

*The construction or reconstruction of erosion protection structures shall be undertaken only if they have a reasonable probability of controlling erosion for at least thirty years as demonstrated in design and construction standards and/or assured maintenance or replacement programs.*

There will be no measurable increase erosion or flooding generated by the Project. The proposed stormwater practices shown on the plans and described in the SWPPP have been designed in accordance with the NYSDEC Stormwater Management Design Manual. A Stormwater Pollution Prevention Plan (SWPPP) has been prepared in accordance with the requirements of NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity Permit No. GP-0-15-002. The final stormwater management system will consist of minimal conveyance systems which will include culverts and grass-lined swales/dikes where required. It is anticipated that most, if not all perimeter diversion swales/dikes will be unnecessary and removed after installation; however, there may be a need for some as site conditions warrant. The remainder of the drainage area will remain undisturbed with natural vegetation remaining.

Green infrastructure practices will be implemented to the greatest extent possible to reduce runoff, including avoidance of sensitive areas, minimizing grading and soil disturbance, minimizing impervious areas on internal access ways, driveways and parking areas, and use of meadow as permanent final groundcover to provide better water quality. Parking spaces and drive aisles were reduced in size from 9'x20' with a 25' drive aisle to 9'x18' with a 24' drive aisle, to comply with the newly amended City Code requirements and consistency with the "Greenway Connections" and NYSDEC stormwater objectives to reduce impervious surfaces.

Infiltration/bioretention practices, use of open channel vegetated conveyance systems, and an underground cistern for roof runoff will also be implemented.

Pretreatment practices proposed for the project include overland flow, vegetated swales, stone check dams, hydrodynamic devices, treatment practices, bioretention areas, infiltration basins and grass filter strips.

Proposed bioretention areas 1 and 2 do not meet 100% Runoff Reduction Volume due to shallow bedrock constraints. The January 2015 NYSDEC Stormwater Design Manual describes acceptable site limitations to include shall depth to bedrock. Therefore, Bioretention area 1 will be supplemented with cisterns for roof runoff, and Bioretention area 2 will be supplemented with a vegetated swale to maximize the Runoff Reduction

## **Local Waterfront Revitalization Program (LWRP) Consistency Determination** **Edgewater**

Volume. Temporary vegetation sufficient to stabilize the soil will be provided on all disturbed areas as needed to prevent soil erosion, in accordance with the SWPPP.

### **POLICY 14**

*Activities and development, including the construction or reconstruction of erosion protection structures, shall be undertaken so that there will be no measurable increase in erosion or flooding at the site of such activities or development or at other locations.*

The proposed buildings have been sited on the flattest area of the Site and slopes and disturbed soils will be appropriately stabilized as described in the SWPPP both during and post-construction.

### **POLICY 25**

*Protect, restore and enhance natural and manmade resources which are not identified as being of state-wide significance, but which contribute to the scenic quality of the coastal area.*

The explanation of Policy 25 in the LWRP states that “the scenic qualities of Beacon results from the combination of clustered buildings (many historic) and wooded hillsides against the backdrop of the Hudson Highlands. The height, bulk, scale of future buildings will be important factors in maintaining the character of the City, as will the preservation of the wooded hillsides that intersperse the developed areas.”

The Project is consistent with Policy 25 in its condensing and clustering of the footprint of the buildings and impervious surfaces to achieve the clustered effected recommended by the LWRP. The buildings are setback from the property lines, which allows for the maintenance of the existing wooded hillsides around the proposed developed areas.

### **POLICY 33**

*Best management practices will be used to ensure the control of stormwater runoff and combined sewer overflows draining into coastal waters.*

See Policy 13.

### **POLICY 33A**

*Regulate construction in steeply sloped and high erosion areas to control excessive stormwater runoff.*

See Policy 13.

**Local Waterfront Revitalization Program (LWRP) Consistency Determination  
Edgewater**

*POLICY 37*

*Best management practices will be utilized to minimize the nonpoint discharge of excess nutrients, nonpoint discharge of excess nutrients, organics and eroded soils into coastal waters.*

See Policy 13.

**POLICY 38**

*The quality and quantity of surface water and groundwater supplies will be conserved and protected particularly where such waters constitute the primary or sole source of water supply.*

Residential land uses are generally not associated with the discharge of contaminants into aquifers or other ground water sources. There will be no bulk storage of petroleum or chemicals on-site. The Project does not include or require wastewater discharged to groundwater, and is not located within 100 feet of potable drinking water or irrigation sources.

The Project will be connected to the existing public water distribution system. At full build-out, the project is expected to require 45,430 gallons of water per day. Notably, the Project does not propose to use public water for irrigation purposes. Rather, the Project includes an underground cistern for harvesting roof runoff for irrigation purposes.

BE IT FURTHER RESOLVED, that the Planning Board hereby determines that the Project is entirely consistent with the LWRP policies which apply to the Project.

Resolution Adopted: December 12, 2017  
Beacon, New York

\_\_\_\_\_  
Jay Sheers, Chairman  
City of Beacon Planning Board

\_\_\_\_\_, 2017  
Dated



**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]  
 Project: Edgewater  
 Date: October 11, 2017

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
<i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**  
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)  NO  YES  
*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**  
 The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)  NO  YES  
*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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**4. Impact on groundwater**  NO  YES

The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)  
*If "Yes", answer questions a - h. If "No", move on to Section 5.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**5. Impact on Flooding**  NO  YES

The proposed action may result in development on lands subject to flooding. (See Part 1. E.2)  
*If "Yes", answer questions a - g. If "No", move on to Section 6.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**8. Impact on Agricultural Resources**

The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)

NO

YES

*If "Yes", answer questions a - h. If "No", move on to Section 9.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

**11. Impact on Open Space and Recreation**

The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.

(See Part 1. C.2.c, E.1.c., E.2.q.)

*If "Yes", answer questions a - e. If "No", go to Section 12.*

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2c, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**12. Impact on Critical Environmental Areas**

The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d)

*If "Yes", answer questions a - c. If "No", go to Section 13.*

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1. D.2.j)  
*If "Yes", answer questions a - f. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**  
 The proposed action may cause an increase in the use of any form of energy.  NO  YES  
 (See Part 1. D.2.k)  
*If "Yes", answer questions a - e. If "No", go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**15. Impact on Noise, Odor, and Light**  
 The proposed action may result in an increase in noise, odors, or outdoor lighting.  NO  YES  
 (See Part 1. D.2.m., n., and o.)  
*If "Yes", answer questions a - f. If "No", go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>



d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**16. Impact on Human Health**

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)  
*If "Yes", answer questions a - m. If "No", go to Section 17.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

<b>17. Consistency with Community Plans</b> The proposed action is not consistent with adopted land use plans. <span style="float: right;"><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</span> (See Part 1. C.1, C.2, and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>18. Consistency with Community Character</b> The proposed project is inconsistent with the existing community character. <span style="float: right;"><input type="checkbox"/> NO <input checked="" type="checkbox"/> YES</span> (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

Project : Edgewater

Date : October 11, 2017

**Full Environmental Assessment Form**  
**Part 3 - Evaluation of the Magnitude and Importance of Project Impacts**  
**and**  
**Determination of Significance**

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Please see attached.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status:  Type 1  Unlisted

Identify portions of EAF completed for this Project:  Part 1  Part 2  Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

All application materials submitted by the Applicant, memoranda from City staff and consultants, agency and public comment, and testimony from meetings held on the application.

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the City of Beacon Planning Board as lead agency that:

- A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.
- B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

- C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Edgewater

Name of Lead Agency: City of Beacon Planning Board

Name of Responsible Officer in Lead Agency: Jay Sheers

Title of Responsible Officer: Chairman

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer) Jennifer L. Gray, Esq.

Date:

**For Further Information:**

Contact Person: Etha Grogan, Planning Secretary

Address: 1 Municipal Plaza, Beacon, New York 12508

Telephone Number: 845-838-5002

E-mail: [egrogan@cityofbeacon.org](mailto:egrogan@cityofbeacon.org)

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

**PRINT FULL FORM**

**ATTACHMENT TO  
NEGATIVE DECLARATION  
REASONS SUPPORTING DETERMINATION**

**APPLICATION FOR SITE PLAN, SPECIAL USE PERMIT  
AND SUBDIVISION APPROVAL FOR EDGEWATER**

**22 Edgewater Place:**

**Tax Grid Nos. 5954-25-581985, 5954-25-574979, 5954-25-566983, 5955-19-59002**

**CONCLUSIONS**

Based upon a review of Parts 1 and 2 of the Full Environmental Assessment Form (EAF) and all other application materials that were submitted in support of the Proposed Action, along with reports from City staff and consultants, information from involved and interested agencies, and information from the public, the Planning Board, acting as Lead Agency, makes the following conclusions.

The Proposed Action is a Type I action pursuant to 6 NYCRR 617.4(b)(5)(iii) because the project proposes the construction of more than 250 new residential units to be connected to public water and sewer in a city having a population of less than 150,000. The Planning Board, as Lead Agency, opened a public hearing to consider comments regarding any environmental impacts of the Proposed Action on May 9, 2017 and continued the hearing to July 11, 2017, August 8, 2017, September 12, 2017, October 12, 2017, November 14, 2017 and December 12, 2017, at which time the State Environmental Quality Review Act (SEQRA) public hearing was closed.

The Proposed Action will not result in any significant adverse impacts on the environment. In summary:

- **Impact on Land: The Proposed Action will not have a significant adverse environmental impact as a result of any physical change to the project site.**

The Project Site consists of four (4) parcels which are proposed to be merged into one development parcel of approximately 12 acres. Approximately 10 acres of the Site will be disturbed for development of the Project. The Site is currently developed with two buildings and is characterized by prior soil disturbance across much of the Site. Several stockpiles of aggregate and topsoil are currently located within the central portion of the Site on either side of the remnants of an asphalt road that extends across the central portion of the Site.

The Site is located within the RD-1.7 Zoning District. The Project proposes 307 dwelling units (413 bedrooms) in seven (7) apartment buildings with associated infrastructure including utility lines, stormwater facilities, and a below-grade parking garage and on-grade parking. Land banked parking will be utilized for a portion of the proposed parking spaces (33 parking spaces to the west of Building 1) to minimize land disturbance and impervious coverage. The Project will require the removal of approximately 3.2 acres of woods, which generally involves smaller trees located on the interior of the site. No wetlands or wetland buffer areas will be disturbed as a result of the Project. Disturbance of slopes will be stabilized using best management practices during construction and post-construction.

- **Impact on Geological Features: The Proposed Action will not have a significant adverse environmental impact on any unique or unusual land forms on the site.**

There are no unique geological features on the Property.

- **Impacts on Surface Water and Groundwater: The Proposed Action will not have a significant adverse environmental impact on surface or groundwater quality or quantity.**

Residential land uses are generally not associated with the discharge of contaminants into aquifers or other ground water sources. There will be no bulk storage of petroleum or chemicals on-site. The Project does not include or require wastewater discharged to groundwater, and is not located within 100 feet of potable drinking water or irrigation sources.

Site disturbance will exceed 1-acre and therefore a full Stormwater Pollution Prevention Plan (SWPPP) was prepared in order to obtain coverage under NYSDEC SPDES General Permit GP-0-15-002. The proposed stormwater practices shown on the plans and described in the SWPPP are designed in accordance with the NYSDEC Stormwater Management Design Manual, including design of an underground site stormwater conveyance system and three infiltration basins.

The Project will be connected to the existing public water distribution system. At full build-out, the Project is expected to require 45,430 gallons of water per day. A 6" ductile iron (DI) water main runs beneath Tompkins Terrace and an 8" DI main runs beneath Bank Street. An 8" DI spur runs into the Site beneath Branch Street from Bank Street to an existing hydrant. It is proposed that the Site will connect to the 8" DI pipe (DIP) on Bank Street through a 8" DIP. The 8" DIP will be brought through the Site to provide water supply to the new buildings and continue to Branch Street and connect to the 8" DIP forming a looped connection to the City water system.

The Applicant proposes to dedicate the new 8" water main to the City, along with a 20' wide utility easement for maintenance purposes. Flow and pressure tests have confirmed adequate flow and pressure are available for the Project. New fire hydrants and periodic isolation valves are proposed within the Site. In the event the City does not accept dedication of the 8" water main and easement, the infrastructure will remain privately owned and maintained but will need to be modified to include backflow prevention devices and meters. Notably, the Project does not propose to use public water for irrigation purposes. Rather, the Project includes an underground cistern for harvesting roof runoff for irrigation purposes.

The Project will be connected to the existing public sanitary sewer system. At full build out, the Project is expected to generate 45,430 gallons of wastewater per day (413 bedrooms x 110 gpd /bedroom). Under normal operating conditions the public sanitary sewer system is sufficient for the Project; however the West Main Street sewer pump station may require upgrades. If it is determined that upgrades are necessary as the City's hydraulic model of the sewer system is updated, the upgrades will be implemented as necessary. The Site currently contains an existing apartment building, and a single family residence. Both structures will be demolished thereby eliminating any current inflow and infiltration (I&I) entering the City sanitary sewer system (North interceptor) from the Site.

- **Impact on Flooding: The Proposed Action will not have a significant adverse environmental impact on or alter drainage flows or patterns, or surface water runoff.**

For the Proposed Action, the treatment of stormwater will be provided for the new impervious area. A Stormwater Pollution Prevention Plan (SWPPP) has been prepared in accordance with the requirements of NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity Permit No. GP-0-15-002. The final stormwater management system will consist of minimal conveyance systems which will include culverts and grass-lined swales/dikes where required. It is anticipated that most, if not all perimeter diversion swales/dikes will be unnecessary and removed after installation; however, there may be a need for some as site conditions warrant. The remainder of the drainage area will remain undisturbed with natural vegetation remaining.

Green infrastructure practices will be implemented to the greatest extent possible to reduce runoff, including avoidance of sensitive areas, minimizing grading and soil disturbance, minimizing impervious areas on internal access ways, driveways and parking areas, and use of meadow as permanent final groundcover to provide better water quality. Parking spaces and drive aisles were reduced in size from 9'x20' with a 25' drive aisle to 9'x18' with a 24' drive aisle, to comply with the

newly amended City Code requirements and consistency with the “Greenway Connections” and NYSDEC stormwater objectives to reduce impervious surfaces. Infiltration/bioretention practices, use of open channel vegetated conveyance systems, and an underground cistern for roof runoff will also be implemented.

Pretreatment practices proposed for the Project include overland flow, vegetated swales, stone check dams, hydrodynamic devices, treatment practices, bioretention areas, infiltration basins and grass filter strips.

Proposed Bioretention areas 1 and 2 do not meet 100% Runoff Reduction Volume (RRV) due to shallow bedrock constraints. The January 2015 NYSDEC Stormwater Design Manual describes acceptable site limitations to include shallow depth to bedrock. Therefore, Bioretention area 1 will be supplemented with cisterns for roof runoff, and Bioretention area 2 will be supplemented with a vegetated swale to maximize the RRV.

- **Impact on Air: The Proposed Action will not have a significant adverse environmental impact on air quality.**

Construction activities associated with grading and excavation could result in temporary air quality impacts. Air quality in the area, however, is not expected to be significantly impacted by project construction because the construction activities will be temporary and confined to the Site. Construction vehicles will emit certain air pollutants through engine exhaust. There is also the potential for fugitive dust to be created during the construction period from site preparation activities, including removal of existing impervious surfaces and vegetation, and site grading. Fugitive dust emissions will be mitigated by wetting and stabilizing soils to suppress dust generation. Other dust suppression methods will include the spraying of soil stockpiles during dry periods and covering trucks carrying solid and other dry materials. These unavoidable short term impacts to air quality will cease upon project completion. Construction will be conducted in accordance with the final filed site plan and in accordance with all applicable federal, state and local codes. It is anticipated that nearby properties will experience temporary fugitive dust and an elevation in vehicle emissions from construction vehicles throughout occasional periods during construction of the proposed project. This is a temporary, construction-related, unavoidable impact that is not significant.

- **Impact on Plants and Animals: The Proposed Action will not have a significant adverse environmental impact on flora or fauna.**

Pursuant to a March 30, 2017 letter from NYSDEC, the only state-listed species recorded within or near the Project Site is the Indiana Bat (NYS Listing:



Endangered). The main impact of concern for bats is the removal of potential roost trees. The Applicant submitted a Threatened and Endangered Species Habitat Suitability Assessment Report, dated September 15, 2017, prepared by Ecological Solutions, LLC, Southbury, CT. The Report concluded “The proposed project will require the removal of approximately 3.2 acres of woods for the proposed project, which generally involves smaller trees located on the interior of the site that consist of opportunistic trees that are not prime for Indiana bat habitat.” Pursuant to NYSDEC recommendations, removal of trees greater than four (4) inches in diameter at the Project Site will take place between October 1 and April 1 during the bat hibernation period to avoid the removal of trees which may be utilized by Indiana Bats as roosting trees. The Proposed Action also includes shielded, cut-off light fixtures that direct light down to minimize light pollution and not interfere with potential bat foraging activities. Lastly, the Proposed Action includes implementation of soil conservation and dust control best management practices, such as watering dry disturbed soil to keep dust down, and using staked, recessed silt fence and anti-tracking pads to prevent erosion and sedimentation in surface waters on the site. Also, native vegetation is proposed to enhance wildlife habitat.

- **Impact on Agricultural Resources: The Proposed Action will not have a significant adverse environmental impact on agricultural resources.**

There are no agricultural resources in the vicinity of the Site.

- **Impact on Aesthetic Resources: The Proposed Action will not have a significant adverse environmental impact on aesthetic resources.**

The Proposed Action will not result in the obstruction, elimination or significant screening of one or more officially designated scenic views, or visible from any publicly accessible vantage points either seasonally nor year around. The Local Waterfront Revitalization Program (LWRP) does not list viewsheds from the Site, or viewsheds that would be obscured by the Project. Seasonal views of the Project will be experienced from the Metro North train station and from the Hudson River. The Applicant submitted an LWRP Consistency Statement, prepared by Aryeh Siegel, Architect, which was reviewed by the City Planner. Photo renderings of the Project were also submitted by the Applicant demonstrating the possible seasonal views from these vantage points. The renderings demonstrate that the tops of the buildings will be visible to some degree and the level of visibility will change with the seasonal leaf coverage. Architectural review of the proposed building roofs includes attention to the roof materials and finishes to harmonize with the existing landscape. The buildings have been designed to be set back from the property lines to allow for the maintenance of the existing wooded hillsides around the proposed development areas. The seasonal views of the Project are

consistent with the existing viewshed and will not result in a significant adverse environmental impact.

It is noted that the height of the proposed buildings complies with the maximum building height permitted in the RD-1.7 District. However, due to the method in which the buildings are measured under the City of Beacon Zoning Code three (3) of the seven (7) proposed buildings require a variance from the maximum number of stories permitted. Buildings 3, 4 and 6 will be 55 feet in height, consistent with the limitations in the Zoning Code, but are measured as 5 stories where a maximum of 4.5 stories is permitted.

- **Impact on Historic and Archeological Resources: The Proposed Action will not have a significant adverse environmental impact on historic or archeological resources.**

Pursuant to a March 30, 2017 letter from NYSDEC, the records of the statewide inventory of archaeological resources maintained by the New York State Museum and the New York State Office of Parks, Recreation and Historic Preservation (NYS OPRHP) state that the Proposed Action is located within an area considered to be sensitive with regard to archaeological resources.

A Phase 1A Archeological Investigation for the Project Site dated September 2017 was submitted for the Board's review. The Phase 1A Report provides the following conclusion:

“The project area has experienced extensive soil disturbance, initially the result of historic development followed by excavation related to the removal of the historic buildings that once occupied the site. The recent use of the property for aggregate and topsoil stockpiling have also affected the landscape. A significant portion of the property, especially along the eastern, southern and western perimeters, have slopes exceeding 12%. With the high level of disturbance and the presence of slopes greater than 12%, no further archeological investigation is recommended.”

Additionally, based on its review of the Project (OPRHP Project Review #17PR06370), in a letter dated October 10, 2017, the NYS OPRHP provided the following opinion: “...[the] project will have no impact on archaeological and/or historic resources listed in or eligible for the New York State Register of Historic Places.”

- **Impact on Open Space and Recreation: The Proposed Action will not have a significant adverse environmental impact on open space and recreation.**

The area of the Proposed Action is not designated as open space by the City of Beacon. The Proposed Action will not result in the loss of a current or future recreational resource, eliminate significant open space, or result in loss of an area now used informally by the community as an open space resource, as the Site is primarily a vacant lot, with improvements limited to an existing apartment building and a single family residence. If a park of adequate size and practical location does not address the need for additional recreation/parkland within the City, a recreation fee will be required which will be used for the future need for park and recreational opportunities in the City of Beacon.

- **Impact on Critical Environmental Areas: The Proposed Action will not have a significant adverse environmental impact on Critical Environmental Areas.**

The Proposed Action is not located in a Critical Environmental Area.

- **Impact on Transportation: The Proposed Action will not have a significant adverse environmental impact on transportation.**

A Traffic Impact Study, dated January 18, 2017, revised February 27, 2017, (the “Study”) was prepared by Maser Consulting, P.A., Hawthorne, N.Y. for review by the Planning Board. The Study was prepared to identify current and future traffic operating conditions on the surrounding roadway network and to assess the potential traffic impacts of the Project. The Study was subject to review and comment by the Planning Board’s Traffic Consultant, Creighton Manning Engineers, LLP, Albany, N.Y.

The Project proposes access to the Site at a reconstructed driveway connection to Tompkins Avenue located between Tompkins Terrace and Bank Street. The Project also includes an extension at the southern end of the Site to Branch Street, providing access directly to Bank Street, which connects to West Main Street to the south.

The Study established Year 2017 Existing Traffic Volumes and then projected a 2022 Design Year which took into account background traffic growth and traffic from other potential or approved developments in the area. Estimated volume from the Project during peak hours was added to the Study and the Existing, No-Build and Build Traffic Volumes were compared to roadway capacities based on procedures from the Highway Capacity Manual to determine existing and future Levels of Service (LOS) and operating conditions.

The following intersections were studied:

Wolcott Avenue (NYS Route 9D)/Tompkins Avenue/Ralph Street  
Tompkins Avenue/Bank Street  
Beekman Street/W.Main Street  
W.Main Street/Bank Street  
Wolcott Avenue (NYS Route 9D)/Verplanck Avenue  
Wolcott Avenue (NYS Route 9D)/Beekman Street/West Church Street  
Wolcott Avenue (NYS Route 9D)/Main Street/Municipal Place  
Tompkins Avenue/Site Access  
Branch Street/Bank Street

The Study concludes and the Planning Board's Traffic Consultant concurred that similar levels of service and delays will be experienced at the area intersections under the future No-Build and Build Conditions. The majority of the intersections studied will experience a traffic volume increase of 7% or less as a result of Edgewater or the West End Lofts project recently approved by the Planning Board. The traffic projections do not take any credits for the anticipated use of Metro North and/or pedestrian trips to the train by residents of the new developments, which will likely reduce the actual peak vehicular traffic generated given the walking distance to the train station. The Applicant's traffic consultant prepared analyses for the Project as a transit-oriented development, based on the Site's proximity to the Metro-North train station. Where a mass transit credit is applied to the Project, which the Applicant's traffic consultant identified could be obtainable for the Site, the Applicant's traffic consultant concluded: "...the expected delays would be less at the study area intersections as a result of the lower vehicular traffic generation from the project."

Notwithstanding, due to anticipated delays at the Wolcott Avenue/Verplanck Avenue and Wolcott Avenue/Beekman Street intersections, traffic signal timing modifications are proposed during the AM Peak Hour for the Wolcott Avenue/Verplanck Avenue intersection and during the PM Peak Hours for the Wolcott Avenue/Beekman Street intersection, to address the project related delay increases. With these traffic signal timing modifications, the intersections will operate similar to No-Build conditions without the Project. Additionally, the intersections of Wolcott Avenue/Tompkins Avenue and Beekman Street/West Main Street are proposed to be monitored after occupancy of the Project to assess whether traffic signal warrants will be satisfied at these locations.

Related to transportation, the Project also proposes improved pedestrian access to and from the Project, upgraded pedestrian facilities along Branch Street, Bank Street and West Main Street, and pedestrian striping and signing improvements at

the intersection of Bank Street and West Main Street. The Project also proposes ample bicycle storage and a car share program for its residents.

- **Impact on Energy: The Proposed Action will not have a significant adverse environmental impact on energy.**

It is anticipated that existing energy infrastructure will continue to serve the Proposed Action and that enough surplus exists to meet potential demand. The Proposed Action does not require a new, or an upgrade to any existing substation.

Several green building techniques have been incorporated into the Project. The building design will allow for the ability to utilize solar energy in the future if and when it becomes feasible.

- **Impact on Noise, Odor and Light: The Proposed Action will not have a significant adverse environmental impact as a result of objectionable odors, noise or light.**

The Proposed Action is not anticipated to generate any noxious odors.

Noise impacts associated with the proposed Project will be limited to temporary impacts generated during construction. Temporary noise impacts associated with construction will be mitigated by limiting construction activities to the hours between 7:00 a.m. and 7:00 p.m. Soil testing was conducted onsite to investigate the depth of the soil and rock conditions. In the area of Bioretention area 1, shale bedrock was found less than 5 feet from the existing grade. In the area of Bioretention area 2, bedrock depths were found to be slightly deeper than 4 feet. If blasting becomes necessary, it will be performed in accordance with all applicable state and local requirements. In addition, there will be no significant noise impacts post-construction.

All proposed lighting will be fully shielded and dark sky compliant. Lighting levels along the access drive will generally be low (within 0.0 – 1.0 footcandles along the majority of the access drive, with discrete areas of increased intensity under lighting fixtures (up to about 3.0 footcandles). The proposed Lighting Plan shows minimal to no light spillage over property lines. Lighting at the perimeter of the site is negligible.

- **Impact on Human Health: The Proposed Action will not have a significant adverse environmental impact on human health from exposure to new or existing sources of contaminants.**

According to information available on the NYS DEC Site Remediation Database, the off-site contamination under the following Site Codes identified in the EAF has either completed a remediation program or does not pose a threat to development on the Edgewater Site: V00293, C314112, V00096, 314069, 546031.

- **Consistency with Community Plans and Community Character: The Proposed Action is not inconsistent with adopted community plans and community character.**

The Project is consistent with the recommendations and goals identified in the 2007 Comprehensive Plan and 2017 Comprehensive Plan Updates regarding density of developments. The Site is the only property in the City classified in the RD-1.7 Zoning District and the number of proposed dwelling units complies with the provisions of the RD-1.7 District. The transit oriented nature of the Project is consistent with the Comprehensive Plan which seeks to encourage development and allow for increased density of housing in the waterfront/train station area of the City. (2007 Comprehensive Plan, pp. 7 & 17; 2017 Comprehensive Plan Update, p. 10). The Project is also consistent with the surrounding neighborhood which includes the existing Tompkins Terrace and Colonial Springs residential developments.

The Project will create an increased demand for community services such as emergency services and the Beacon City School District. The application was referred to the City of Beacon Police and Fire Departments. The Project will be constructed in accordance with all applicable state and local emergency and fire safety requirements. The Applicant also submitted a School Impact Study, dated June 26, 2017, prepared by Cleary Consulting. The School Impact Study concluded that approximately 47 school age children would reside in the new development. This estimate was calculating using the Rutgers University, Center for Urban Policy Research multipliers which tends to be a conservative method for determining the amount of school age children generated by a development project.

The School Impact Study was reviewed by the Planning Board's Planning Consultant. Cleary Consulting's August 7, 2017 letter responds to questions from the Planning Consultant and comments from the public. It clarifies and concludes that the value associated with each unit type in the Rutgers study is based on 2006 market conditions, but it is the ratio of the value to other factors that is more important than the value itself. For example, the values could just as effectively been expressed as low, medium and high, rather than attaching a numeric value to each housing type. The value selected to be utilized in the calculation of the number of

school age children generated by the Project reflects the Applicant's anticipated price point for the market rate units at the proposed transit oriented development project.

The Planning Board's Planning Consultant concludes in his October 6, 2017 review memorandum that the projected 47 school-age children is conservative given (1) average household sizes have declined since the 2006 multipliers were published, (2) several large-scale studies have shown that apartments near train stations generally have lower school children counts, (3) 96 of the 307 proposed units are smaller studio apartments which should have a lower student ratio than the one-bedroom ratio used for studios in the School Impact Study, and (4) the survey of Beacon multifamily housing developments set forth in a chart on page 9 of Cleary Consulting's August 29, 2017 letter, particularly the most recent three projects on the chart (Leonard Street – 74 total units, 49 units rented to date, 0 school-aged children; 1 East Main Street – 19 units, 1 school-aged child; and 11 Creek Drive – 6 units, 0 school-aged children), provides local supporting background information for a lower average number of school age children. The chart of "Actual School-Age Children Residing in Selected Comparable Multi-Family Developments in the City of Beacon," demonstrates an average ratio of 0.71 school-aged children per unit. (August 29, 2017 Cleary Consulting Letter, p. 9) Using this ratio, the Project would produce only 22 school-aged children.

The Beacon City School District has called into question the accuracy of the data and rationale behind the School Impact Study's conclusions in letters dated August 7, 2017, October 12, 2017 and November 3, 2017, and verbal testimony before the Board. The Applicant's consultant responded to the School District's concerns in letters, dated August 29, 2017, September 26, 2017, October 25, 2017 and November 28, 2017. Also, upon request of the Planning Board, in a memorandum dated November 14, 2017 the Beacon City Assessor provided an estimated valuation of Project of \$34-40 million based upon her knowledge of the Project to-date.

Upon review of all correspondence, the Planning Board's Planning Consultant provided his professional opinion regarding the school impacts in his November 9, 2017 memorandum:

*As a summary of the school impact positions, the applicant's June 26, 2017 School Impact Study and supplemental comments conclude that the Beacon City School District (BCSD) has adequate capacity for the projected 47 school-age children and that the proposed project will have a net positive financial impact on the district. Three central assumptions have been disputed by the BCSD: the estimate of public school-age children, the assessed value of the completed project, and the cost per student to be used in the fiscal calculation. The schools have available capacity, since overall enrollment has dropped 20%, or 735 students, between 2004-5 and 2015-16.*

*Both parties agree that the 2006 Rutgers Residential Demographic Multipliers for New York are the industry-accepted standard for estimating school children, but they disagree on what level ratios to*

*apply in this case. The applicant's estimate of 47 appears, if anything, high since the total school-age children table was used from the Rutgers Study, rather than the more targeted public school-age children (PSAC) ratios. Also, 96 of the 307 proposed units are smaller studio apartments, which should have a lower student count than the one-bedroom ratio used in the School Impact Study. My best estimate is below, using the higher 67th-100th percentile PSAC ratio for the market rate units and the medium 34th-66th percentile PSAC ratio for the required workforce units:*

<i>Units</i>	<i>#</i>	<i>Market</i>	<i>Ratio</i>	<i>PSAC</i>	<i>Workforce</i>	<i>Ratio</i>	<i>PSAC</i>	<i>Total PSAC</i>
<i>Studio</i>	<i>96</i>	<i>86</i>	<i>.07</i>	<i>6.02</i>	<i>10</i>	<i>.27</i>	<i>2.7</i>	<i>8.72</i>
<i>1 BR</i>	<i>115</i>	<i>104</i>	<i>.07</i>	<i>7.28</i>	<i>11</i>	<i>.27</i>	<i>2.97</i>	<i>10.25</i>
<i>2 BR</i>	<i>86</i>	<i>77</i>	<i>.16</i>	<i>12.32</i>	<i>9</i>	<i>.45</i>	<i>4.05</i>	<i>16.37</i>
<i>3 BR</i>	<i>10</i>	<i>9</i>	<i>.63</i>	<i>5.67</i>	<i>1</i>	<i>1.3</i>	<i>1.3</i>	<i>6.97</i>
<i>Totals</i>	<i>307</i>	<i>276</i>			<i>31</i>			<i>42.31</i>

*The City of Beacon Assessor has estimated that the assessed value of the completed project will be between \$34 and 40 million. At the midpoint of this estimate, the development will generate \$810,300 of annual tax revenue for the BCSD.*

*For the cost of the additional PSAC, the applicant has proposed using the BCSD 2015-16 Instructional Budget cost of \$17,102 per student, which includes teaching salaries/benefits, special needs, library, attendance, guidance, health and social services, interscholastic and other activities, transportation, and similar more student-sensitive functions. The BCSD has maintained that the total budget cost of \$23,116 per student should be used, which also accounts for the Board of Education, central administration, finance, legal, personnel, records management, supervisors' salaries/benefits, and capital budget items, including central services and debt services. The net fiscal impacts depend on which one of these figures seems most reasonable. As another factor of comparison, the actual local tax levy, after state aid and other revenue, is \$12,653 per student.*

	<i>Cost/Student</i>	<i># Students</i>	<i>Add'l. Costs</i>	<i>Revenue</i>	<i>Net Impacts</i>
<i>Instructional Budget</i>	<i>\$17,102</i>	<i>42</i>	<i>\$718,284</i>	<i>\$810,300</i>	<i>+\$92,016</i>
<i>Total Budget</i>	<i>\$23,116</i>	<i>42</i>	<i>\$970,872</i>	<i>\$810,300</i>	<i>-\$160,572</i>

*Marginally increasing enrollment by about 42 students in a district that is down 735 students since 2004-5 and down 128 students from the previous year should not significantly affect the capital and administrative budget sections. I think that the Instructional Budget calculation is justifiable.*

Based on the information provided the Planning Board's professional planning consultant, the Applicant's professional planning consultant and the BCSD, it is the Planning Board's opinion that the addition of 42 school-age children represents the most accurate application of the Rutgers ratios. After considering all testimony and written submissions to the Planning Board on this subject, the Planning Board determines that the addition of 42 school-age children as a result of this Project will not create a significant increased demand on the School District.<sup>1</sup>

<sup>1</sup> The Planning Board notes that even if the Total Budget is used to calculate the cost/student, the resulting estimated \$160,572 deficit is not significant as compared to the BCSD's annual budget of



Based upon all information before the Planning Board to-date, including the Full Environmental Assessment Form, the Planning Board finds that the Proposed Action will not have any significant adverse impacts upon the environment. This Negative Declaration indicates that no environmental impact statement need be prepared and that the SEQRA process is complete.

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approximately \$66.75 million (2016-2017 final budget), and therefore does not rise to the level of a significant adverse environmental impact.



**FIRE DEPARTMENT**  
**13 South Avenue**  
**Beacon, New York 12508**  
**(845) 765-0899**

To: Planning Board Chairman Sheers and Planning Board Members

From: Fire Chief Gary Van Voorhis

Date: December 4, 2017

Subject: Edgewater Application

I have reviewed the proposed plans for the 12-acre parcel located at 22 Edgewater. I did review the site plans for the seven (7) apartment buildings that would total 307 dwelling units. I consider the building construction, heights, parking, suppression systems, stand pipe locations, stairway locations, size of water mains for hydrants, location of hydrants, road access and widths.

This project has some features that have a positive impact for fire suppression and emergency responses.

- Two access roads to project. One access from Tompkins Avenue and one from Branch Street.
- Eight (8) inch water lines looped through the site.
- This project will have required code fire suppression systems.

This project has some features that will have an impact for fire suppression and emergency responses.

- Building four's (4) roof top terrace may not be reachable by our ladder truck from the parking lot.
- The distance between buildings five (5), six (6), and seven (7) seem close to each other. The building's exterior construction material and location of any windows would be a factor.
- The City of Beacon Fire Department will have a minimum increase in the total of fire and EMS incidents to this site. Fire department responses could include smoke detector activations from cooking appliances, furnaces issues, to malfunctions of the alarm systems. EMS responses would include health issues related to the occupants.

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December 8, 2017

**VIA EMAIL:**

City of Beacon Planning Board  
1 Municipal Plaza  
Beacon, NY 12508

**Re: *Edgewater Residential Development***

Dear Chairperson and Esteemed Members of the City of Beacon Planning Board:

Subject to a full reservation of the District's rights, on behalf of the Beacon City School District ("District"), we are submitting a response to the letter from the firm of Cuddy & Feder, LLP, which included a letter prepared by Cleary Consulting, regarding the Edgewater Project ("Project") owned by Scenic Beacon Developments, LLC ("Applicant"), both of which are dated November 28, 2017.

In addition to our comments, we request that this letter and our prior correspondences be included as part of the official record of the Planning Board for the review of the Project.

Initially, I take this opportunity to thank the Planning Board for its patient and diligent consideration of the District's concerns regarding this Project. We all are grappling with understanding the impacts of this significant Project not only on the District, but ultimately the resident tax payers and community at large. The District has committed considerable resources in investigating and responding to both the requests of the Planning Board and the comments of the developer's consultants.

Our letter today continues to focus on ensuring that the information before the Planning Board is accurate and clearly identifies the impacts of this Project on the District residents.

The Board of Education wants to impress upon the Planning Board the importance of the applicant providing accurate information on the issues critical to determining the potential impact of this project on the school, and that the Planning Board confirm the accuracy of this

critical information, specifically: (1) the assessed valuation of the Project; (2) the number of children to be generated from the Project; and (3) the cost per pupil to educate a student.

Given the inaccuracy of some of the information initially supplied by the developer, and the size of this project, the School Board requests that the Planning Board require the applicant to provide the detailed documentation, including the source of the information and accurate information in order for it to reach its decision.

1. **PROJECTED NUMBER OF CHILDREN:**

Throughout the discussion on identifying the appropriate multiplier, it has been consistently noted that the residential multipliers are effected by:

*“Variations in residential demographic multipliers have been associated with such characteristics as housing type, housing size, housing value, and housing tenure.”*

[Demographic Multipliers: Recent National and State Findings Power point Presentation, October 2016, authors David Listokin and Robert Burchell (“Presentation”)].

Further, in order to deviate from the Rutgers Study multiplier, the only appropriate methodology is for independent authors to engage in the same kind of data collection and analysis undertaken by the authors of the Rutgers Study, but specific for the demographics of the particular region in question, in this case, the Beacon City School District.

As we noted to the Planning Board in our November 3, 2017 correspondence, while the developer had provided some initial student population figures generated from certain housing projects, the developer neither identified the source or age of the information and two of the developments are condominiums that are owner occupied and not for rent – 1 East Main Street and 11 Creek Drive. The multipliers for housing that is owned versus rented are vastly different. Therefore, not only must these 2 developments be eliminated from consideration, but the accuracy of the remaining information must be questioned.

Accordingly, we previously prepared and submitted to the Planning Board an analysis of actual student population data from a number of residential multi-family units located in the Beacon City School District which are comparable to the Edgewater Project for the number of housing units, bedroom count and assessed valuation. That information is included as follows:

**STUDENT POPULATION IN MULTI FAMILY HOUSING UNITS  
LOCATED IN BEACON CITY SCHOOL DISTRICT**

Property Name	Location	Units	Number of Students	Market value
Chelsea Ridge	Wappingers	Combined 835 units (1, 2, 3 bedroom)	138	\$57,110,000
Hudson View Park	Fishkill	500 units (studio, 1,2, 4 bedroom apt. and 4 bedroom townhouse)	106	\$34,700,000
Town View (Vista View)	Wappinger	288 units (1, 2, 3 bedroom)	73	\$34,000,000

Based on this information and factoring for the 300 Edgewater unit count, the comparison of the number of public school age children under the current actual student population for the type of housing and demographics of the Beacon City School District, the number of children that may be generated from this Project is considerably higher as demonstrated below.

**PROJECTED EDGEWATER STUDENT POPULATION BASED ON MULTI FAMILY  
HOUSING UNITS LOCATED IN BEACON CITY SCHOOL DISTRICT**

Property Name	Units	Number of Students	EDGEWATER
Chelsea Ridge	Combined 835 units (1, 2, 3 bedroom)	138	49
Hudson View Park	500 units (studio, 1,2, 4 bedroom apt. and 4 bedroom townhouse)	106	63
Town View (Vista View)	288 units (1, 2, 3 bedroom)	73	76

The School District's actual data projects that averaging these three developments, the number of children projected for the **Edgewater Project is 63**, which far exceeds the data generated from the Rutgers Multiplier and data presented by the developer. As applied below 63 students significantly alters the tax consequences of this Project.

Accordingly, in order to determine the impact on the District, a detailed analysis of housing and the number of children generated is warranted for this and future projects.

2. **CONDITION OF SCHOOL DISTRICT INFRASTRUCTURE:**

At the last public hearing, residents raised valid concerns regarding the condition of the building infrastructure of the District.

Contrary to the representations of the developer, there are numerous public documents available both physically at the District and posted on the District's website regarding the physical conditions of the Beacon City School buildings (see <https://www.beaconk12.org/Page/1537> attached). We have attached one such document.

As the Planning Board will read, the 5-year building condition survey identified over \$18 million in needed improvements. Moreover, the School District has undertaken a significant capital improvement project to address some of these issues, however, due to financial considerations, those improvements were prioritized and the scope of the project reduced.

In order to pay for these improvements, the District has earmarked funds from a remaining Excel Grant, state aid (aid that can only be used to pay for capital improvements), and using the funds currently budgeted to pay for existing bonds for prior capital projects when they are paid off. Subject to the approval of the District's voters, this funding proposal will allow much needed repairs to be completed without increasing taxes.

While the improvements noted above are subject to the approval of the voters, maintenance and improvement of existing infrastructure occurs continuously. Based on current financial projections, the District is planning to address the remaining projects (and, of course, other improvements that might be needed) in 2022.

The costs to maintain the infrastructure of the District is not attributable to any one individual, company or project. However, until now, the cost to maintain the infrastructure was part of the collective responsibility of District residents to educate their children, the costs of which were equally shared by all taxpayers. Now, if the developer's proposal is accepted, the Planning Board by limiting the calculation of the Project's projected real estate taxes solely on an artificial instruction cost, and claiming that the Project will pay a tax surplus, the developer is seeking a benefit afforded to no one else and thereby, limiting his contribution to the collectively shared responsibility of all resident taxpayers.

On a separate note, this may be a future strategy to seek a reduction in the tax assessment of the Project when it is completed.

3. **MARKET VALUE OF EDGEWATER PROJECT**

The assessed value of the Project, as estimated by the Applicant, has changed dramatically.

In June 2017, the Applicant estimated an assessed value of \$60 million; after the District challenged that assertion, the number dropped – by more than a third – to \$34 to \$40 million.

Even according to the Applicant's own calculations, the "significant annual tax revenue surplus" of \$227,548 to \$720,000 per year has now dwindled to a "modest tax surplus" of \$6,506 per year.

4. **TAX CONSEQUENCES**

Further, compounding the inaccuracy of the information provided to the Planning Board is the developers continued reliance only on the alleged instructional costs to calculate the tax impact of the Project.

First, we state again, that the developers so called instructional cost based on the 2015 budget in the amount of \$17, 102 is a **fictional** number.

As we have repeatedly stated, using the developer's instructional cost, which is based solely on a category in the school budget titled "Instruction," distorts the actual total cost to educate a child by ignoring the fact that education is not limited to the teacher in the classroom.

It is beyond dispute that the education and instruction of our children requires a collaboration of all aspects of school operations. This means transporting children to warm, safe, clean environments, where they have access to appropriate technology and dedicated, certified individuals providing different modes and methods of instruction, along with appropriate food and health services and opportunities to become successful participants and contributors to society. Education starts with the basics: sound and safe buildings; the staff to clean and repair those buildings; operational heating, cooling, electrical and plumbing systems; fuel oil to heat the buildings; administrators to ensure that the teachers, teachers' aides, nurses, psychologists, social workers, counselors, cleaners, custodians and all of the support staff have the requisite materials and training to perform their jobs; and the list goes on.

Education simply cannot and has not been limited to the inside of the classroom.

The accurate approach, as the District has repeatedly advocated, is to use the overall cost per student to calculate the impact of the Project. Employing that approach with the new estimated valuation of the Project, and the exact numbers relied upon by the developer's consultant – i.e., an estimated 47 children generated, at an overall cost of \$23,116 per pupil, based upon the 2015 school tax rate – the school tax payment from this Project would result in a net loss of between \$341,852 and \$240,452. These calculations are set forth in full in the table below.

**FISCAL IMPACT SUMMARY EDGEWATER PROJECT**

	34 million	35 million	36 million	38 million	40 million
Number of students	47	47	47	47	47
True cost to educate one student	\$23,116	\$23,116	\$23,116	\$23,116	\$23,116
Total Cost to educate all new students	\$1,086,452	\$1,086,452	\$1,086,452	\$1,086,452	\$1,086,452
Estimated School Tax	\$ 744,600	\$ 766,500	\$ 788,400	\$ 832,220	\$ 876,000
Net	<b>(\$ 341, 852)</b>	<b>(\$ 319, 952)</b>	<b>(\$ 298, 052)</b>	<b>(\$ 254, 232)</b>	<b>(\$ 210, 452)</b>

Even if the Planning Board allowed the developer to use the inaccurately calculated instructional costs (which the District vigorously opposes), based upon the budgets and financial from three years ago, the only purported surplus would occur if the Project was assessed at the higher end of the estimated range, i.e. \$38 to \$40 million dollars (see table below). And even at that, three years ago, the purported surplus was between \$28,000 and \$72,000 dollars, hardly enough to fund infrastructure repairs.

**FISCAL IMPACT SUMMARY EDGEWATER PROJECT**

	34 million	35 million	36 million	38 million	40 million
Number of students	47	47	47	47	47
<b><u>Alleged</u></b> Instructional Cost to educate one student	\$17,102	\$17,102	\$17,102	\$17,102	\$17,102
Total Cost to educate all new students	\$803,794	\$803,794	\$803,794	\$803,794	\$803,794
Estimated School Tax	\$ 744,600	\$ 766,500	\$ 788,400	\$ 832,220	\$ 876,000
Net	<b>(\$ 59,194)</b>	<b>(\$ 37,294)</b>	<b>(\$ 15,394)</b>	\$ 28,426	\$ 72,206

Allowing the developer to parse out supposed instructional costs from the School District budget, based on the budget title of "Instruction" again provides an inaccurate and incomplete picture of instructional costs that is skewed to the favor of the developer at the expense of the District residents.



As we documented for the Board, when comparing “instructional costs between special education and regular education children,” the New York State Education Department (“SED”) uses the costs from various aspects of the budget, including the administrative costs. In this case the developer eliminated those other costs that SED uses. Further, it is significant that the Planning Board recognize that SED does not determine instructional costs for the purpose of calculating tax benefits for good reason.

If the Planning Board were to allow the developer to utilize alleged “instructional cost” to determine the tax consequences, then unless the tax rate based on the entire school district budget is altered accordingly, the developer will always appear to pay more in taxes than the services received. Very simply, because it requires more money to operate the entire district than the instructional costs alone, of course the tax rate for the entire budget is more than what the tax rate would be for a smaller budget. Thereby, resulting in an artificial surplus.

The current tax rate is based on the budget as a whole, including revenue sources such as state aid. And, state aid is not limited to instructional costs. In fact, as noted above, at times, a significant portion of state aid is received for capital improvements.

Therefore, under the instructional cost scenario, in order to arrive at an accurate tax rate upon which to calculate the tax bill for this Project (or any project), a developer must be required to recalculate the school budget for the true instructional costs, minus the state aid revenue received solely for instruction. It is only then that the true tax revenue based on instructional costs for a Project can be determined.

Absent this methodology, what is currently submitted by the developer as an accurate reflection of both the instructional costs and the supposed tax surplus is patently wrong.

Notwithstanding thee above, in addition, based on the District’s current data in Paragraph Number 1 above, the Edgewater Project is projected to generate 63 students. Using the calculator of 63 students, the impact is significant generating a loss of between \$550,000 to \$711,000.

### **FISCAL IMPACT SUMMARY EDGEWATER PROJECT**

	34 million	35 million	36 million	38 million	40 million
Number of students	63	63	63	63	63
True cost to educate one student	\$23,116	\$23,116	\$23,116	\$23,116	\$23,116
Total Cost to educate all new students	\$1,456,308	\$1,456,308	\$1,456,308	\$1,456,308	\$1,456,308
Estimated School Tax	\$ 744,600	\$ 766,500	\$ 788,400	\$ 832,220	\$ 876,000
Net	<b>(\$ 711,708)</b>	<b>(\$ 689,808)</b>	<b>(\$ 667,908)</b>	<b>(\$ 624,088)</b>	<b>(\$ 580,308)</b>

Substituting the developer's incomplete instructional costs into the equation, the impact remains just as significant.

**FISCAL IMPACT SUMMARY EDGEWATER PROJECT**

	34 million	35 million	36 million	38 million	40 million
Number of students	63	63	63	63	63
<b>Alleged</b> Instructional Cost to educate one student	\$17,102	\$17,102	\$17,102	\$17,102	\$17,102
Total Cost to educate all new students	\$ 1,077,426	\$ 1,077,426	\$ 1,077,426	\$ 1,077,426	\$ 1,077,426
Estimated School Tax	\$ 744,600	\$ 766,500	\$ 788,400	\$ 832,220	\$ 876,000
Net	<b>(\$ 332,826)</b>	<b>(\$ 310,926)</b>	<b>(\$ 289,026)</b>	<b>(\$ 245,206)</b>	<b>(\$ 201,426)</b>

In any event, the developer has not engaged in the appropriate evaluation both of the number of children to be generated and the fiscal impacts. Therefore, it is only prudent that the Planning Board require developers to submit information from documented sources and to engage in the appropriate analysis upon which the Planning Board can rely on to reach a decision.

**5. THE CUMULATIVE IMPACTS OF PROPOSED DEVELOPMENTS ON THE SCHOOL DISTRICT HAVE BEEN IGNORED**

Our August 7, 2017 letter to the Planning Board, we noted that omitted from the developer's school impact study was the essential data and resulting financial impact from the growth to both the City's population and the District's enrollment that will be realized from current residential projects in the City. To this date, this issue has been largely ignored.

In addition to this Project, the City Planning Board is currently considering numerous multi-family residential projects, some of which include the View (50 Units), West End Lofts (98 units), 344 Main Street (24 Units) Ferry landing (8 Townhouses) 123 Rombout Ave (10 units), River Ridge Views (18 townhouses), 328 East Main St (8 units), 475 Main St (7 units) and residential subdivision 25 Townsend St. (13 homes), Judson Street (5 homes) which combined would add at least 233 more units that include 2 and 3 bedroom units.

The cumulative impacts of these and the proposed Edgewater project were never addressed. As noted in Paragraph 1 above, adding another 288 units could generate an additional 76 students. These combined with the District's projected number of 63 students from the Edgewater predicated on real time data could result in a total number of 139 additional students. Clearly, this number warrants further investigation.

**6. IT IS NOT APPROPRIATE TO ELIMINATE THE SCHOOL AID REVENUE FROM CALCULATING THE COST TO EDUCATE A STUDENT**

Again contrary to the representations of the developer, we did address the issue of State aid in our last letter to the Planning Board. To repeat, school district aid from whatever source should not be summarily deducted to determine the cost to educate a student.

State aid is unpredictable and is based in some part on the whims of the Governor and Legislature. Calculating State aid is formula-driven and a complicated process explained in a 78-page handbook prepared by the New York State Department of Education.<sup>1</sup> Furthermore, the annual amount of aid received by a school district, including the Beacon City School District, is not limited to offset student instructional costs. For example, school districts regularly receive state aid for capital construction, bus transportation, offsets for the educational costs for nonresident homeless children, smart schools, hazardous materials remediation and more.

But even more importantly, the calculation of the annual tax rate is based on the final amount to be raised in taxes arrived at after deducting all of the revenues, including State aid. Therefore, including a deduction for State aid in calculating the cost to educate a student skews the formulas for calculating the projected tax income from this Project. Specifically, deducting State aid from the cost to educate a student would double the deduction, once, in the student education cost calculation, and twice, in calculating the tax rate. When those numbers are then used in the formula to project tax revenue and District expenses (number of children x cost to educate a student versus the assessed value of project x tax rate), the resulting amount is an artificial surplus and actually doubles the deficit to the District.

**CONCLUSIONS**

The analysis provided by the developer in support of its conclusion that this Project will not have an impact on the Beacon City School District are both flawed and incomplete.

The District documented that the projected number of children from this Project may be woefully underestimated.

Further, using the appropriate cost to educate a student, even at the questionable valuation of between \$34 and \$40 million dollars, this Project will have an impact on the District.

We respectfully repeat that straying from the accepted standards of calculating the cost to educate a student and the resulting tax consequences only benefits the Applicant, but does not accurately reflect the Project impact and unfairly shifts the burden of paying for any impact to the District residents and taxpayers. Moreover, should the Planning Board allow so, it will be setting a precedent for future developments to also reap the same benefits at the unfortunate cost to the residents.

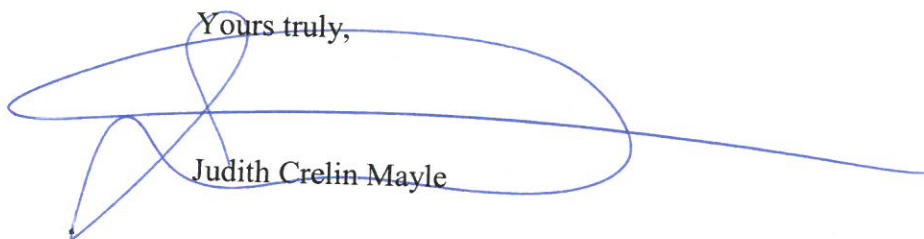
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<sup>1</sup> [stateaid.nysed.gov/publications/handbooks/handbook\\_2017.pdf](http://stateaid.nysed.gov/publications/handbooks/handbook_2017.pdf)

Additionally, in the event the Planning Board does so, it should also condition its approval on this developer executing an agreement (and a similar agreement for future developers), between the City that the developer on behalf of his/herself and his/her assigns, transferees and all others, agrees that for 10 years after the project is fully completed, the assessed value of the property will remain at not less than \$40 million dollars. Further, during those ten years, regardless of the valuation, the assessed value of the property will not be challenged.

We again thank the Planning Board for its kind courtesies and consideration. As always, the District representatives and our firm are available to answer your questions.

Yours truly,

A handwritten signature in blue ink, consisting of several loops and a long horizontal stroke extending to the right.

Judith Crelin Mayle

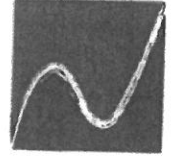
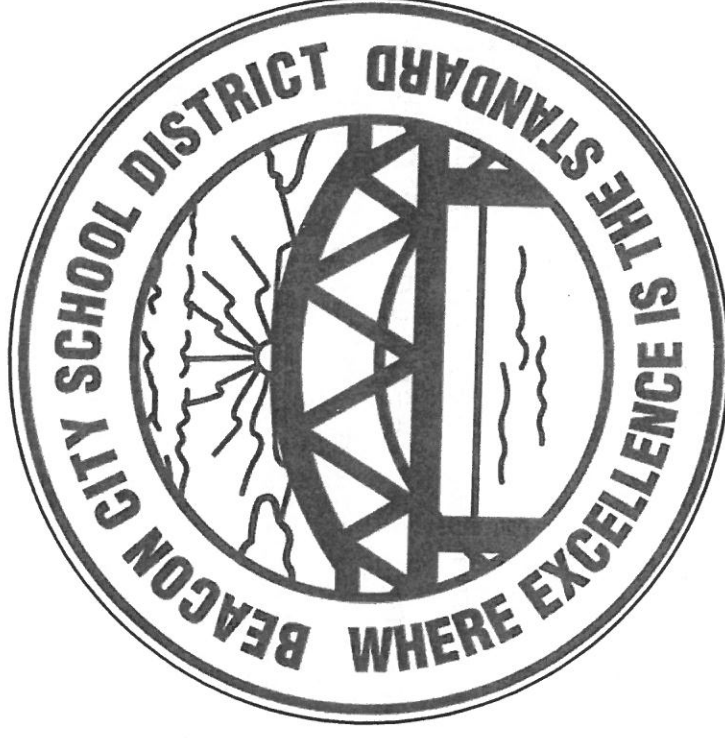
Enclosures

cc: Superintendent Dr. Matthew Landahl  
President Anthony White

# Beacon CSD Capital Project Report

## Contents

- ❖ District Goals and Needs
- ❖ Building Condition Survey  
Overview
- ❖ Proposed Improvements
- ❖ Project Budgets
- ❖ Project Schedules
- ❖ Next Steps



**Capital Project Report**

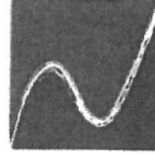
**Beacon City School District**

**RHINEBECK ARCHITECTURE**

August 7, 2017

## **District Facility Improvement Goals**

- ❖ The primary mission of a school district is to educate the children which attend its schools while ensuring their safety. The Beacon City School District's most significant built asset in this mission is its buildings and grounds, and, like most built investments, these facilities must be monitored, maintained and repaired to keep them in service.
- ❖ The District's facilities are well maintained and are inspected every year for safety. However, there are aging systems that have reached the end of their useful lives and improvements are needed to keep up with changing educational goals. These Needs have been identified with input from District Staff and Committees, and the 2015 Building Condition Survey.
- ❖ Based on the findings of its Facilities and Operations Committee and Administrative Staff, the District has prioritized these Needs into a proposed Capital Project to maintain its facilities and improve the educational program.



**Capital Project Report**

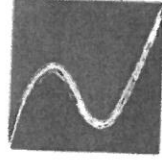
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August 7, 2017

## **District Facility Improvement Needs:**

- ❖ The State Education Department requires that Districts evaluate their facilities every 5 years. In 2015, the Building Condition Survey was performed. Existing facilities were reviewed and conditions noted. The Survey identified over \$18 million of Facility and Program Improvement Needs in the District.
- ❖ The Facility Needs include replacing old mechanical and electrical systems, replacing worn pavements, exterior envelope repairs, interior improvements and accessibility improvements.
- ❖ 2 out of 6 Beacon CSD school buildings were rated Unsatisfactory in the Building Condition Survey due to lack of access to accessible toilet facilities on all floors, and Heating and Ventilating Systems at the end of their useful life.
- ❖ Program Improvements identified by the District include classroom renovations for Science and Home and Careers at the Middle School and a new artificial turf field at Beacon High School.



### **Capital Project Report**

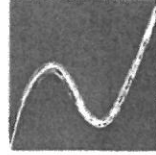
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## Building Condition Survey Rating System

- ❖ Building and Site Systems are reviewed and rated as E-Excellent, S-Satisfactory, U-Unsatisfactory, NF-Non Functional, CF-Critical Failure.
- ❖ Any system that is in a Health, Safety or Structural category found to be Unsatisfactory or worse affects the overall building rating.
- ❖ Based on the System ratings, Buildings are rated as:
  - Excellent (E) All systems classified as Health, Safety or Structural are rated Excellent, no system rated below Satisfactory.
  - Satisfactory (S) All systems categorized as Health, Safety or Structural are rated Satisfactory or better. No system is rated Non Functioning or Critical Failure.
  - Unsatisfactory (U) Any system categorized as Health, Safety or Structural rated unsatisfactory. **No Health, Safety or Structural system is rated Non Functioning or Critical Failure.**
  - Failing (F) Any system categorized as Health, Safety or Structural rated Non Functioning or Critical Failure.



### Capital Project Report

Beacon City School District

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August 7, 2017



# Beacon CSD 2015 Building Condition Survey Recommendations

Building	BCS Bldg. Rating	Total Cost to Fix	Unsatisfactory Systems	Recommended Improvements	Program Improvements
High School	S	\$4,019,000	\$0	\$2,749,000	\$1,270,000
Rombout Middle School	U	\$3,604,000	\$90,000	\$3,244,000	\$270,000
Forrestal ES	S	\$1,821,500	\$0	\$1,101,500	\$720,000
Glenham ES	S	\$1,504,000	\$0	\$1,397,000	\$107,000
Sargent ES	U	\$1,879,000	\$1,080,000	\$799,000	\$0
South Avenue ES	S	\$1,123,000	\$10,000	\$1,113,000	\$0
Administration Building	U	\$755,000	\$555,000	\$106,000	\$94,000
Maintenance Building	U	\$132,000	\$0	\$132,000	\$0
Bus Maintenance	S	\$136,000	\$0	\$136,000	\$0
Bus Storage	S	\$22,000	\$0	\$22,000	\$0
Rosenmeier Field House	U	\$186,000	\$70,000	\$116,000	\$0
Hammond Field House	S	\$85,000	\$0	\$10,000	\$75,000
Press Box	S	\$5,000	\$0	\$5,000	\$0
<b>Total Construction Cost</b>		<b>\$15,271,500</b>	<b>\$1,805,000</b>	<b>\$10,930,500</b>	<b>\$2,536,000</b>
20% Incidental costs		\$3,054,300	\$361,000	\$2,186,100	\$507,200
<b>Total BCS Cost to Correct</b>		<b>\$18,325,800</b>	<b>\$2,166,000</b>	<b>\$13,116,600</b>	<b>\$3,043,200</b>

BCS Building Ratings: S=Satisfactory U=Unsatisfactory

## Capital Project Report

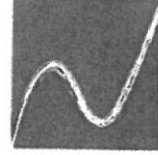
Beacon City School District

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## **District Plan for Improvements**

- ❖ The Board of Education, and the Facilities and Operations Committee have reviewed the Building Condition Survey findings, the District's program needs and the current status of previous Capital Project debt service.
- ❖ The District's teaching and administrative staff, the maintenance staff, the district's fiscal advisor and architect provided suggestions and data to the Facilities and Operations Committee.
- ❖ The Committee has compiled the District's needs and is determining feasible and affordable Capital Improvement Projects.
- ❖ A review of the District's current debt service indicates that retiring debt in 2019 and in 2022 provide the District with funding capacity for two separate Capital Projects in the near future, pending voter approval.
- ❖ The following pages outline the proposed improvements for a 2019 Capital Project that will be scheduled for a public vote on December 5, 2017.



### **Capital Project Report**

**Beacon City School District**

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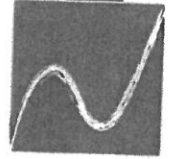
August 7, 2017

## District School Buildings Overview: History

- ❖ The District's School Buildings were built as early as 1928 and as recent as 2002. Additions have been constructed at all schools except the High School. Improvements have been made over the years, the most recent improvements were completed through the EXCEL project from 2008 to 2012. The remaining old systems and components have reached the end of their useful life.

Age of District Buildings	Original Building	Addition 1	Addition 2
Beacon High School	2002		
Rombout Middle School	1963	1975	2005
James V. Forestal ES	1954	1975	
Glenham ES	1956	1975	1998
Sargent ES	1958	1975	1998
South Avenue ES	1928	1987	2008

- ❖ The Americans with Disabilities Act of 1991 (ADA) required that all public buildings be modified to provide access for the handicapped. Most buildings in the District predate this Act, were not designed to be accessible, and not all have yet been suitably renovated to provide full access to the handicapped as required by the ADA.



### Capital Project Report

Beacon City School District

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August 7, 2017

## Unsatisfactory Buildings

The Building Condition Survey identified Unsatisfactory Health and Safety Systems at District School Buildings requiring that the buildings be rated Unsatisfactory. These Unsatisfactory Buildings and the unsatisfactory systems are:

### Rombout Middle School

- ❖ Make 2<sup>nd</sup> floor toilet rooms accessible in A and B wings
- ❖ Add smoke doors at D wing stairs
- ❖ Add an Area of Refuge at A and B wings second floor

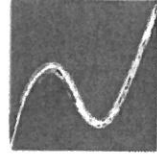
### Sargent Elementary School

- ❖ Make 2<sup>nd</sup> floor and Lower Level floor toilet rooms accessible
- ❖ Replace Kitchen Make up air unit
- ❖ Replace Unit Ventilators

### Rosenmeier Field House

- ❖ Minor upgrades and repairs

These Unsatisfactory Conditions should be addressed first to resolve Health and Accessibility Issues.



## Capital Project Report

Beacon City School District

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August 7, 2017

# Recommended Building and Site Improvements Page 1

## Beacon High School

- *New Artificial Turf Field at Beacon High School*
- *Repair Track*
- *Roof Repairs and Overlay*
- *Exterior Wall Repairs*
- *New Lockers and Scoreboard at Pool*

## Rombout Middle School

- *Repave Front Loop, Improve Drainage*
- *Accessible Toilet Rooms*
- *Add Smoke separation at D Wing stairs*
- *Add Area of refuge at A and B wings*
- *Accessible Handrails*
- *Exterior and Interior Door Replacements*
- *Roof Repairs and Overlay*
- *Replace Wheelchair lift*
- *Upgrade Home and Careers Classroom*
- *Install AC in the West wing*
- *Upgrade Science Labs*

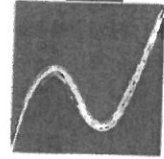
## James V. Forrestal Elementary School

- *Add exit to separate smoke area at Gym*
- *Accessible Handrails*
- *New Toilet Partitions in Kindergarten Classrooms*
- *Exterior Door Replacements*
- *Replace Area Carpets In Kindergartens*
- *Replace Ceilings in Stairs and Ground Floor*
- *Replace Rooftop Ventilation Units*
- *Remove VAT Flooring*

## Glenham Elementary School

- *Exterior and Interior Door Replacements*
- *New Stair Railings at Kindergartens*
- *Replace Carpet with VCT in 4 Classrooms*
- *Replace Egress window and ladder with door to adjacent room in Lower Level Classrooms.*

*(Unsatisfactory Systems are noted in red)*



## Capital Project Report

### Beacon City School District

RHINEBECK ARCHITECTURE

## Recommended Building and Site Improvements Page 2

### Sargent Elementary School

- *Replace Kitchen Make Up Air Unit*
- *Replace Unit Ventilators*
- *Accessible Toilet Rooms*
- *Exterior and Interior Door Replacements*
- *Exterior Masonry Repairs*
- *Replace selected Ceilings*
- *Replace Carpet with VCT in 6 Classrooms*
- *Replace Rooftop Ventilation Units*
- *Add ADA Handrails at Stairs*
- *Interior Finishes repairs*

### Rosenmeier Field House

- *Minor upgrades and repairs*

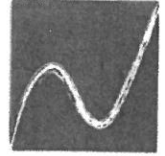
### Hammond Field House

- *Minor upgrades and repairs*

*(Unsatisfactory Systems are noted in red)*

### South Avenue Elementary School

- *Replace Kitchen Make Up Air Unit*
- *Replace Unit Ventilators*
- *Add ADA Handrails at Stairs*
- *Add Area of Refuge at 2<sup>nd</sup> Floor*
- *Exterior Door Replacements*
- *Replace VAT with VCT in Closets*
- *Exterior Repairs at Atrium*
- *Replace Induction fan in Boiler Room*
- *Add Handrails at Gym Bleachers*



## Capital Project Report

Beacon City School District

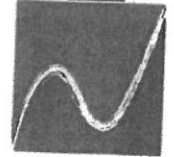
RHINEBECK ARCHITECTURE

August 7, 2017

## Proposed 2019 Capital Project Budget

Building	Project Budget
Beacon High School	\$3,498,000
Rombout Middle School	\$2,209,200
James V. Forrestal Elementary School	\$178,800
Glenham Elementary School	\$195,600
Sargent Elementary School	\$1,650,000
South Avenue Elementary School	\$864,000
Bus Maintenance Facility	\$135,600
Rosenmeier Field House	\$156,000
Hammond Field House and Press Box	\$108,000
<b>Total Project Cost</b>	<b>\$8,995,200</b>

Project Budgets include Construction Cost, Contingency and 20% Incidental Costs Based on retiring debt, the cost of this project will result in no marginal increase of the tax levy.



### Capital Project Report

Beacon City School District

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August 7, 2017





**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**River Ridge - Parcel L**

**Subject:**

Continue public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, public hearings on applications for Site Plan Approval, Wolcott Avenue aka "Parcel L", submitted by River Ridge Views, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
River Ridge Attorney Cover Letter	Cover Memo/Letter
River Ridge Letter from Parks, Recreation & Historical Preservation	Cover Memo/Letter
River Ridge Full EAF	EAF
River Ridge Sheet 1 Site Plan	Plans
River Ridge Sheet 7 Grading & Utilities	Plans
Engineer Review Letter	Consultant Comment
Planner Review Letter	Consultant Comment



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Jennifer L. Van Tuyl  
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November 28, 2017

Hon. Jay Sheers, Chairman  
And Member of the Planning Board  
City of Beacon  
1 Municipal Plaza  
Beacon, New York 12508

Re: River Ridge – Submission cover letter and response to written comments from John Clarke and Lanc & Tully, and comments presented at the public hearing.

Dear Chairman Sheers and Members of the Planning Board:

This letter responds to comments of City consultants presented at the public hearing session on November 14, 2017, and to comments made by the public at the public hearing.

Attached please find five copies of the following documents, which have been updated in response to the comments:

- Updated Sheet 1—Site Plan.
- Updated Sheet 7: Grading and Utility Plan
- Updated EAF Part 1

As a further update, the Applicant's architect met with the Architectural Review Committee on November 20<sup>th</sup>, and is preparing design changes to respond to their comments. Elevations showing these changes will be submitted as soon as they are complete.

**JOHN CLARKE COMMENT LETTER DATED NOVEMBER 9, 2017:**

**Comments and Recommendations**

1. **Comment:** The applicant is requesting the following modification by the Planning Board of the building length limitation. The RD-7.5 district has a building length limit of 150 feet. The row of townhouses south of the entrance exceeds that length by 19 feet. However, the Affordable Workforce Housing provisions in Section 223-41.10 M allow the Planning Board to modify such dimensional standards to accommodate the permitted

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bonus unit, which is 24 feet wide. I recommend that the Planning Board approve this reasonable modification.

**Response:** Comment noted.

- Comment:** The applicant is requesting the following modification by the Planning Board of the building length limitation and two area variances from the ZBA. The Planning Board will need to issue recommendations to the ZBA on the variances. The district requires a minimum separation between buildings of twice the average height of the facing buildings, or 70 feet. The two townhouse rows north of the entrance are proposed to be only 18.9 feet apart. At the October meeting I provided a sketch layout that would comply with the separation requirement, but the applicant prefers to request the variance.

**Response:** Please see summary of discussion at public hearing of these issues, located below, beginning on page 7.

- Comment:** The accessory structure linking the two northern rows has a tower element that is proposed to be 50 feet tall, exceeding the district's maximum height limit of 35 feet and requiring a variance. The applicant should further explain the purpose of the tower, its interior functions, and why it needs to be 50 feet high, especially given its close proximity to the historic church.

**Response:** The applicant has revised its proposal to eliminate the need for this height variance. The architectural review committee requested that the design of the tower be modified to allow more natural light into the tower stairs. This work is in progress.

- Comment:** The East Elevation and View from Rombout Avenue renderings on Sheet 6 and other documents should depict an open view through the entrance drive towards the river, consistent with the recommendations in the LWRP, not a wooded backdrop.

**Response:** Comment acknowledged. The applicant is revising the renderings in response to comments by the Architectural review subcommittee. These revised drawings will also include a more accurate depiction of the view through the site.

- Comment:** The proposed red maple and sugar maple shown on the Landscape Plan to the west of the gazebo should be relocated to the east side of the central green to avoid blocking the river view from the Rombout Avenue intersection.

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**Response:** The Red Maple has been moved to the east, to avoid blocking views of the river from the Rombout Avenue intersection. The sugar maple has been moved south of the retaining walls and replaced with additional native Summersweet shrubs. See updated site plan. The details will also be placed on the Landscape Plan.

6. **Comment:** There are at least seven large trees outside the proposed path in the western woods that are marked for removal without stated reasons.

**Response:** The reasons for the proposed removal of the identified trees are as follows: The four maple trees and the 20" locust are in decline, with branches dying and showing signs of disease. The walnut tree is in the proposed pathway. The 16" Locust tree is located close to the proposed path and will be impacted by construction and grading.

7. **Comment:** Before meeting with the Architectural Review Subcommittee, building elevations will need to be prepared with heights, colors, and materials noted.

**Response:** Comment noted. The applicant met with the Subcommittee on November 20<sup>th</sup>, and plans are being revised to incorporate their comments.

8. **Comment:** The City's consulting traffic engineer suggested a crosswalk at Rombout Avenue. I agree, especially considering that the neighborhood to the east should have direct access across Wolcott Avenue to the new stairs at Ferry Street down to the Train Station. The next crosswalk to the north will be 600 feet or two football fields out of the way.

**Response:** The Applicant is willing to apply to DOT for the crosswalk, and to construct it if DOT approves it. However, the crosswalk is not shown on the plans because the applicant cannot guarantee that DOT will approve the crosswalk. The approvals for the project can therefore not be dependent upon DOT approval of the crosswalk.

9. **Comment:** The Land Use Compliance table on Sheet 1 should show 31 garage parking spaces.

**Response:** The table has been updated to show this information.

10. **Comment:** Since this property is in the Historic Overlay Zone and within the LWRP boundary, the Board will need to approve a Certificate of Appropriateness and LWRP Consistency Statement.

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**Response:** Comment noted.

**LANC & TULLY COMMENT LETTER DATED NOVEMBER 10, 2017:**

**General Comments:**

1. **Comment:** Exhibit "A" of the Project Narrative is not referenced within the document itself. The document should be updated so that a reference to Exhibit "A" is included.

**Response:** The Project Narrative references Exhibit "A" on page 1, second paragraph, beginning of 4<sup>th</sup> line.

2. **Comment:** The Phase I archeological report notes the existence of a brick lined well located in the wooded area along Beekman Street. The applicant should note what the proposed disposition of this well is? Furthermore, the location of this brick-lined well should be shown on the plans.

**Response:** The well has been shown on the plans since the initial submission. It is located on the south side of the walking path to the pocket park, just before the turn. The well is a brick and stone lined hand dug well. It contains no water. While it is mentioned in the Hartgen report, there were no recommendations to preserve it, and the Applicant is not proposing any use of this small former well.

3. **Comment:** The anticipated period for construction of the project should be addressed in question D. 1 .e.i. of the SEQRA form.

**Response:** The EAF has been updated to show the anticipated duration of construction as 24 months. The Applicant expects a duration of between 18 and 24 months, and so has included the more conservative figure.

4. **Comment:** The bedroom count should be provided to verify the proposed water usage noted in question D.2.c.i. of the SEQRA form. We would also recommend that the bedroom count be added to the plans.

**Response:** The bedroom count information has been added to the plans, and incorporated in responding to question D.2.c.i of the EAF: There are 16 3-bedroom units (48 bedrooms). There are 2 2-bedroom units (4 bedrooms), or 52 total bedrooms.

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5. **Comment:** The project consultant submitted a storm water pollution prevention plan (SWPPP) which we have reviewed and provided comments to the project consultant. *The applicant has noted that a revised SWPPP will be submitted in the future.*

**Response:** Comment noted.

6. **Comment:** Section 195-20, Paragraph B(4), of the City Code requires that "The area to be subdivided shall have frontage on and direct access to a street...". The proposed subdivision shows 5 parcels to be created (Lots 14 through 18), that will not have frontage on a street, and are therefore land-locked parcels. These parcels are proposed to have access to the street across a Homeowners Association (HOA) parcel, which we defer to the City's Planning Board Attorney as to whether or not this is the appropriate ownership for the parcel to allow for the development of these land-locked parcels and allowing for access to the street. *The applicant notes that the City Building Inspector has determined that the layout is consistent with the City Code and past practice, subject to the provisions of appropriate HOA documentation to be reviewed by the Planning Board Attorney.*

**Response:** Comment noted.

7. **Comment:** The sight distance to the right and left, for vehicles leaving the site, shall be provided on the plans. The sight distance shall take into account the proposed tree plantings along the front of the project site on Route 9D, as the proposed trees may impact the actual sight distance that can be achieved.

**Response:** Sight distance calculations were provided in the Maser Traffic impact Study, page 10, and have also been added to the Grading and Utility sheet included in this submittal.

8. **Comment:** A cut & fill analysis plan should be provided for the project. *The applicant notes that this will be provided with a future submission.*

**Response:** Comment noted.

9. **Comment:** Profiles shall be provided for the water, sewer and storm drainage utilities proposed. *The applicant notes that this information will be provided with a future submission.*

**Response:** Comment noted.

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Preliminary Subdivision Plat:

1. **Comment:** An easement will be required across the common HOA parcel allowing for ingress and egress to each of the 18 proposed residential lots. *The applicant notes that this should be a condition of Final Approval.*

**Response:** Comment noted.

2. **Comment:** Additional easements may be necessary the running of utilities between the HOA parcel and the individual parcels being created. *The applicant notes that this should be a condition of Final Approval.*

**Response:** Comment noted.

Sheet 7 of 11:

1. **Comment:** Water and sewer service connections for each of the proposed units should be shown on the plan. *The applicant notes that this information will be provided on a future submission.*

**Response:** Comment noted.

2. **Comment:** The lowest sewerable elevation (LSE) be provided for each unit. *The applicant notes that this information will be provided on a future submission.*

**Response:** Comment noted.

3. **Comment:** We would recommend that sleeves be provided on the sanitary sewer line between SMH-4 and SMH-5 where it crosses under the proposed retaining walls. The applicant notes that this information will be provided on a future submission.

**Response:** Comment noted.

4. **Comment:** Given the height and tiering of the proposed retaining walls, the design of these walls shall be prepared by a licensed professional engineer registered in the State of New York, and a design report and plans for these walls should be submitted for review. A note shall be added to the plans and the retaining wall construction detail noting this. *The applicant notes that this information will be provided on future submissions.*

**Response:** Comment noted.

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5. **Comment:** The location of roof leaders should be shown on the plan, along with where the roof leaders will drain to.

**Response:** Upon acceptance of the current layout by the Planning Board and Zoning Board of Appeals, the roof drainage design will be incorporated into the overall site drainage design and will be shown on the grading and utility plan.

Sheet 9 of 11:

1. **Comment:** The pavement restoration details shall be revised to have a minimum of 1 1/2" of top course, 3" binder course, and 3" of base course, unless otherwise approved by the NYSDOT. The *Applicants have noted that an existing watermain stub in to the property from the main between Route 9D and Ferry Street exists, and that they are looking viability of connecting to this stub, in turn eliminating the need for the connection to the existing main in Route 9D and the pavement restoration detail.* Once the use of this reputed watermain stub has been investigated further, the plans shall be updated to reflect the proposed water supply to the project site if coming from this watermain stub between Ferry Street and Route 9D.

**Response:** An existing watermain stub into the property from the main between Route 9D and Ferry Street has been traced. We are in the process of locating the stub, which we believe will eliminate the need for a new service line from the main in Route 9D, which would eliminate the need for the pavement restoration detail. We expect to be able to locate the watermain in the near future.

Sheet 11 of 11:

1. **Comment:** Although the "Meter Pit Detail" does not call for a RPZ, we would recommend that a drain from the pit to daylight be provided.

**Response:** If the meter pit is to be relocated as anticipated based on the previous response, we will take a hard look at a potential drain and discharge location for the meter pit.

**COMMENTS AT PUBLIC HEARING DECEMBER 14, 2017:**

1. **Building Layout:**

**Elder Dan Goldman, Reformed Dutch Church:** We prefer the proposed layout to the other alternatives. The proposed L-shaped layout does the best job of separating the residential uses and the Church. All of the alternate layouts have substantial areas where



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the churchyard would look into paved parking areas next door. Plantings would not totally screen these views, and plantings can lose their screening effect as they get older and more open. The proposed layout provides long-term privacy for the Church by avoiding views from the churchyard into the parking areas of the residential project and present a neat and uniform appearance facing the church. (by letter)

**Dawn Powell, 19 Hammond Plaza:** We support the plan as it is, and don't believe that the extra conditions recommended by Lisa Alvarez are necessary.

**Vercell Hodge, 6 Hammond Plaza:** The L Shape configuration shows consideration to the neighbors. I support the proposed L Shape layout and the necessary variance for that layout, and support the proposal as it stands, except for the pocket park (*see section below for pocket park comments*).

**Lisa Alvarez (speaking for Hammond Plaza unit owners 11, 13, 14, 22, 23, 24, and 26):** We support the variance for the L-shaped layout of the two buildings.

**John Clarke:** The unit layout I proposed frames the greenspace at the entrance with units, and has the rear row of units overlooking the cemetery, not Hammond Plaza. The applicant wants the L-shaped layout because it provides every unit with a river view.

**Lee Kyriacou, 1076 Wolcott:** I am concerned about the length of the buildings, 7 units long and 6 units long, and their relation to the single family homes across the street in the historic overlay district. The Planning Board will be required to adopt a consistency finding. I'm not opposing the density, but am concerned about the long buildings. I would like consideration of 4 unit long buildings to reduce the volume of individual buildings. Smaller buildings would allow more end units, which are desirable.

**Response:** The applicant has looked at various options for site layout, and believes that the proposed layout is the most beneficial for all neighbors, as has been explained at the last two Planning Board meetings.

The proposed layout and design is consistent with the nearby single-family homes locate across Wolcott and in the historic overlay district for the same reasons that it is consistent with the nearby church to the east: the design presents a single-family townhouse façade featuring attractive design, materials, and colors which are consistent with the historic character of the City, and with nearby single-family uses. The design is presently being further improved in response to comments by the architectural review committee. The façade of the townhouse south of the entrance is 167 feet away from the closest house across Route 9D. Most of the historic houses in this area are substantially farther away.

The project is also separated from the historic neighborhood by Wolcott Avenue which is a major collector street with substantial width.

This area of the City is one where a number of land-uses are located in close proximity to each other. Although the land uses are not the same, it is still possible to provide compatibility among the various uses. The chosen design, of single-family townhouses, is one that maximizes compatibility with single-family uses in the area. As to building length, City Planner John Clarke noted at the meeting that the City zoning law exerts pressure for longer buildings because of its "excessive" separation requirements for buildings (approximately 70 feet). Additional, smaller, buildings would likely necessitate additional area variances for building separation and result in development sprawl on the site, which is inconsistent with the goal of presenting more attractive facades to neighboring properties looking into the site. The proposed building lengths are zoning compliant. The building south of the entrance is the longest of the three buildings, because the zoning permits the exclusion of length attributable to a bonus unit from the calculation. The overall L-Shape pattern is congruent with the nearby Hammond Plaza, which also presents an L-shape angle at the intersection of its eastern and northern building. The building separation at Hammond Plaza at the "corner" of the L appears to be approximately 13.3 feet at the narrowest point, and 26.9 at the widest. The eastern and southern buildings are separated by approximately 35.6 feet. The zoning compliance issues may well be totally different in the two projects. Nonetheless, from a perspective of community character, it is manifest that the proposed layout in River Ridge is not out of keeping with the neighborhood.

The building length and design is also meant to be of a scale that relates well to the adjacent Church. In summary, the Applicant submits that this is the best layout considering all the circumstances, and it seems to be favored by the closest neighbors.

2. **Comments relating to the Tower element facing the Church:**

**John Clarke:** There is no reason for a height variance for the tower element. The height of the tower competes with the Church.

**Lisa Alvarez:** We support a well-designed brick archway/walkway reflecting the architecture and containing storage for maintenance. However, the tower element should be eliminated. It should not be built as the steeple is a part of the nautical river view, nothing should obstruct it. The Reformed Church of Beacon was designed by Frederick Clark Withers who also designed Hudson River State Hospital, St. Lukes

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Episcopal Church, President's House Gallaudet College, Trinity Church in NYC, Chapel of the Good Shepard and The Tombs prison in NYC.

**Vercell Hodge, 6 Hammond Plaza:** I support both variances, including the variance for the tower height.

**Lee Kyriacou:** I generally oppose almost all variances:

**Response:** In light of all of the above comments, the Applicant is redesigning the tower to lower its height and avoid the request for this variance, thus minimizing variances.

3. **Comments about building materials:**

**Theresa Kraft, Liberty Street:** I am concerned about the authenticity of materials. Brick should be real brick, celebrating Beacon's history of brickmaking, and not cheap imitations.

**Response:** The proposed brick to be used is bona fide brick material, and the corners will be treated properly, with proper placement of brick, and are working with the architectural review board to create an attractive building constructed with authentic materials.

4. **Comments about landscaping, wall, and privacy between Hammond Plaza and Parcel L:**

**Lisa Alvarez:** During construction, dead trees hanging over Hammond Plaza property or trees removed for construction should be replaced with native trees/grasses. The steep slope plantings and walls behind Units 9-20 should be completed with care, creating privacy and safety from erosion. Wherever possible, porous materials should be used on walkways or parking to help drainage

**Response:** The plantings proposed to screen the wall are native evergreen shrubs, and the trees and meadow grasses proposed for the area between the retaining walls and Hammond Plaza, as well as between the pedestrian path and Hammond Plaza, are native species as well. The proposed landscape screening between the two properties takes a naturalistic form that provides visual interest, rather than a simple, linear buffer planted along the property line. Erosion control measures will be implemented during construction and will be monitored by representatives of the applicant and the City of beacon. All necessary measures to reduce erosion and the transport of sediment will be implemented.

Monitoring will continue until a minimum of 80% of the site is stabilized with permanent vegetation or cover. The proposed trees will enhance long-term erosion control in this area by creating a root system that aids in holding and stabilizing the slopes.

5. **Comments about the proposed Pocket Park and private walkway to Beekman Street:**

**Lisa Alvarez:** The 7 residents I am speaking for oppose the pocket park. We would prefer to just have this area landscaped with native trees and shrubs.

**Vercell Hodge,** 6 Hammond Plaza: I am concerned about the pocket park. It is uncertain that the public would uphold the “good neighbor” promise. Public use could adversely affect Hammond Plaza residents.

**Theresa Kraft,** Liberty Street: I am concerned about issues about the public pocket park. Who will monitor the park? Who will protect neighbors from encroachment or trespass onto private properties. Will the City be responsible for park maintenance or for injuries occurring in the park?

**Lee Kyriacou,** 1076 Wolcott Avenue, supports a public pocket park as shown on the plans. This proposed park is at least 75 feet from Hammond Plaza and allows sufficient distance to allow both uses. The park is additionally small in size. There is plenty of space in this area. And there is potential in the future for some type of interpretive access to the old cemetery.

**Response:** The comments vary. The proposed pocket park was placed on the proposed plan since the Comprehensive Plan update calls for pocket parks along Beekman Street. The park is small, and would only be open to the public between dawn and dusk, in keeping with other City parks. The southerly limit of the proposed public plaza for the pocket park is located approximately 110 feet north of the Hammond Plaza northern property line, and more than 150 feet north of the building. The applicant has proposed planting native trees, shrubs and grasses in the area between the pocket park and the northerly boundary of Hammond Plaza, and along the pathway leading to the pocket park. The decision of whether or not to accept the proposed pocket park is ultimately up to the City Council.

6. **Comments on the public stairs at Ferry Street:**

**Lee Kyriacou:** This improvement is long overdue. The stairs should be dedicated to

the City.

**Lisa Alvarez:** There should be substantial native plantings behind units 9 to 12 to provide screening from the new stairs.

**Response:** The stairs will be dedicated to the City, and are located on City property. The area behind units 9 to 12 is already a woodland area, and is located at the southwest corner of the site between Ferry Street circle and Hammond Plaza, a point very remote from any developed areas of the site. The proposed stairs are also located on the far side of the Ferry Street circle from the rear of these units. The proposed development plans do not propose any disturbance or additional planting in the area behind units 9-12 at Hammond Plaza.

7. **Request for Lighting Plan:**

**Jennifer Gray:** City Planning Board attorney Jennifer Gray requested a photometric plan for the lighting. The City Engineer agreed.

**Lisa Alvarez:** Lighting should be examined to make sure that there are no adverse effects on Hammond Plaza. She supports the minimal solar lighting for the private pathway from the units to Beekman Street.

**Response:** A photometric lighting plan has been submitted as part of the project application.

8. **Other comments:**

**Clark Gebman:** The proposed zoning in this area surrenders property to residential use which would better be put to offices or university use.

**Response:** The proposed residential use of Parcel L is congruent with adjoining residential uses, and a commercial use would not be as compatible with nearby residential uses. In the site plan context, it is the Planning Board's jurisdiction to review proposals that are consistent with existing zoning.

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We look forward to further discussions with the Planning Board at the December 12, 2017 meeting.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'JL Van Tuyl', with a stylized, cursive script.

Jennifer L. Van Tuyl



# Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO  
Governor

ROSE HARVEY  
Commissioner

November 27, 2017

Ms. Shannon Wright  
Hartgen Archeological Associates, Inc.  
1744 Washington Ave, Ext.  
Rensselaer, NY 12144

Re: DEC  
River Ridge Views  
City of Beacon, Dutchess County, NY  
17PR07114

Dear Ms. Wright:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential impacts that must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6NYCRR Part 617).

We have reviewed your submission for the River Ridge Views project. We note that the proposed project is located adjacent to the State and National Register listed Reformed Dutch Church of Fishkill Landing. We understand that the proposed project will include construction of a multi-unit housing complex located between Beekman and Wolburn Streets.

We note that there are no archaeological concerns associated with this project. Based on this review, it is the opinion of the SHPO that the proposed project will have No Adverse Impact to the historic Reformed Dutch Church of Fishkill Landing provided the following conditions are incorporated into the project:

1. A significant vegetative buffer is maintained between the proposed new construction and the historic church property to obscure views of the project from the church.

If you have any questions, I can be reached at (518) 268-2164.

Sincerely,

Weston Davey  
Historic Site Restoration Coordinator  
weston.davey@parks.ny.gov

via e-mail only

**Division for Historic Preservation**

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: River Ridge		
Project Location (describe, and attach a general location map): 12 Ferry Street Beacon, New York 12508 (Location map attached)		
Brief Description of Proposed Action (include purpose or need): Eighteen unit residential attached townhouse project to be subdivided into individual townhouse lots, with access from Wolcott Avenue. Project includes internal pedestrian path to Beekman Street for residents to walk to train, and proposed public pocket park along Beekman Street. See the detailed project narrative submitted with the project documents.		
Name of Applicant/Sponsor: River Ridge Views, LLC	Telephone: (845) 440 - 6926	E-Mail:
Address: 445 Main Street		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Gary Joseph	Telephone: 845-416-1808	E-Mail: garyjoseph625@gmail.com
Address: 445 Main St		
City/PO: Beacon	State: NY	Zip Code: 12508
Property Owner (if not same as sponsor): Beacon Ridge Associates, Inc.	Telephone:	E-Mail:
Address: P.O. Box 391		
City/PO: Beacon	State: NY	Zip Code: 12508



**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Subdivision and Site Plan; Certificate of Appropriateness; LWRP Consistency	07/25/17
c. City Council, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Possible Area Variances (Building Separation and Accessory Building Height)	
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Dutchess County Department Of Health; Dutchess County Planning	08/15/17
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS Dept. of Environmental Conservation; NYS Dept. of Transportation	08/15/17
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• <b>If Yes</b>, complete sections C, F and G.</li> <li>• <b>If No</b>, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
Waterfront and Train Station Area _____	
Historic District Overlay _____	
Waterfront Revitalization Management Area _____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
RD - 7.5, L  
(see overlay districts in C.2.b)

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? Property rezoned October 17, 2016

**C.4. Existing community services.**

a. In what school district is the project site located? City of Beacon

b. What police or other public protection forces serve the project site?  
City of Beacon

c. Which fire protection and emergency medical services serve the project site?  
City of Beacon

d. What parks serve the project site?  
Long Dock Park, Pete Seeger Park and Madame Brett Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential Town Houses

b. a. Total acreage of the site of the proposed action? 2.953 acres  
b. Total acreage to be physically disturbed? 2.35 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 2.953 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Residential consolidation of 3 existing lots into 1 lot; creation of townhouse lots  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? 18  
iv. Minimum and maximum proposed lot sizes? Minimum 1,800 Maximum 2,100

e. Will proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 24 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	18 attached	_____	_____	_____
At completion of all phases	18 attached	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: 52 bedrooms x 110 gpd/br = 5,720 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: City of Beacon
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: 5,720 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary wastewater - (Sixteen 3-bedroom units plus Two 2-bedroom units = 52 bedrooms total @ 110 gallons per day per bedroom)

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: City of Beacon
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

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iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ 1.8 acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ 2.9 acres (parcel size)
- ii. Describe types of new point sources. \_\_\_\_\_ None
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 To a proposed on site underground infiltration/detention system. Overflows from the system will be conveyed via a closed pipe system and connect to the existing City storm sewer system within Ferry Street.

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- ii. In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7 - 5 _____</li> <li>• Saturday: _____ 9 - 5 _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ N/A _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration: \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n.. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Building mounted fixtures and 16' light poles within the parking areas. Fixtures will be directional LED with shields. Lights on internal path will be low-to-ground solar; pocket park near Beekman Street will not be lit.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	+/- 0.1	+/- 1.2	+ 1.1
• Forested	+/- 2.3	+/- 0.7	- 1.6
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.0	+/- 0.4	+ 0.4
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)	+/- 0.5	0.0	- 0.5
• Other Describe: <u>Landscaped Areas</u>	0.0	+/- 0.6	+ 0.6



c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
Rose Hill Manor Daycare

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): V00293 , V00096 , V00299 , 314069 , C314112...  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

Class C (Completed): sites V00239, V00299, C314112  
Class N (No further action at this time): sites V00096, 314069  
Class 02 (ongoing): 546031 (Hudson River PCB Sediments)

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 0.8 to > 5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

DwC	_____	1.2 %
NwC	_____	84.3 %
Ud	_____	14.5 %

d. What is the average depth to the water table on the project site? Average: > 3 to > 6 feet (per soils mapping; greater observed by test pits)

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ 0 % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 35.3 % of site  
 10-15%: \_\_\_\_\_ 13.2 % of site  
 15% or greater: \_\_\_\_\_ 51.5 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

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h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ White Tail Deer _____ Raccoon _____ Grey Squirrel _____	_____ _____ _____
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
A habitat suitability report was prepared by Ecological Solutions dated August 18, 2017. The report indicates potential habitat for Indiana Bat & Northern Long-Eared Bat, and provided measures to be implemented that will avoid significant impacts to the species - the proposed tree cutting mitigation is to generally occur during winter months during the bat's hibernation period, which offers added benefit of frozen ground and less potential sediment transport	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: Reformed Dutch Church of Fishkill Landing

iii. Brief description of attributes on which listing is based:

High Victorian Gothic architecture, designed by Frederick Clark Withers 1859, who also designed St. Luke's, Tioronda, and Tioronda School

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

### F. Additional Information

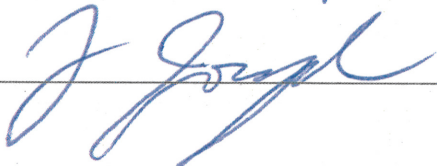
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name River Ridge Views, LLC Date 7/24/2017 updated 10/31/2017

Signature  Title Gary Joseph, member



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	V00293 , V00096 , V00299 , 314069 , C314112 , 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

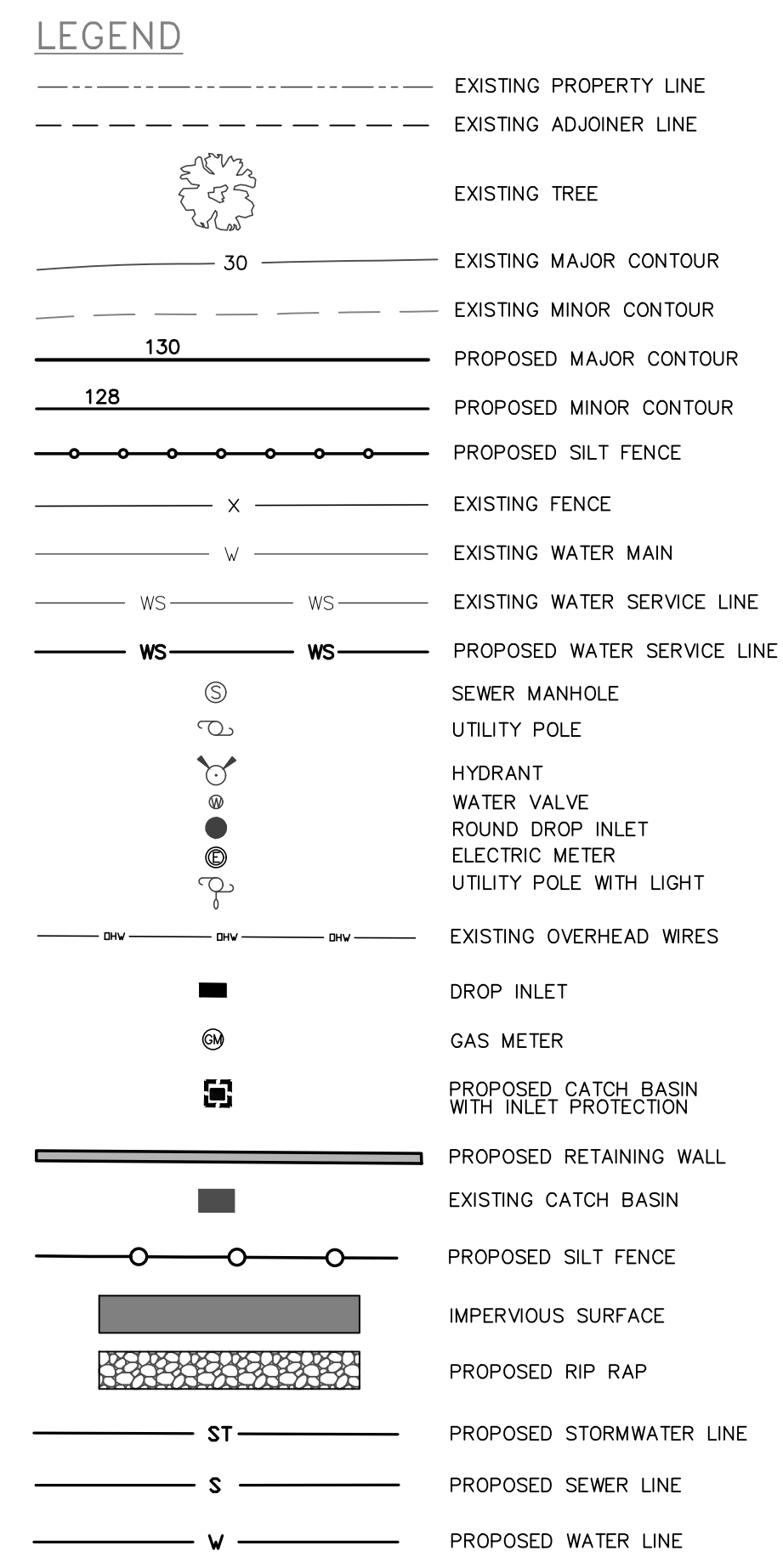
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	Reformed Dutch Church of Fishkill Landing
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



**Note: “Parcel L” is outlined in red.**





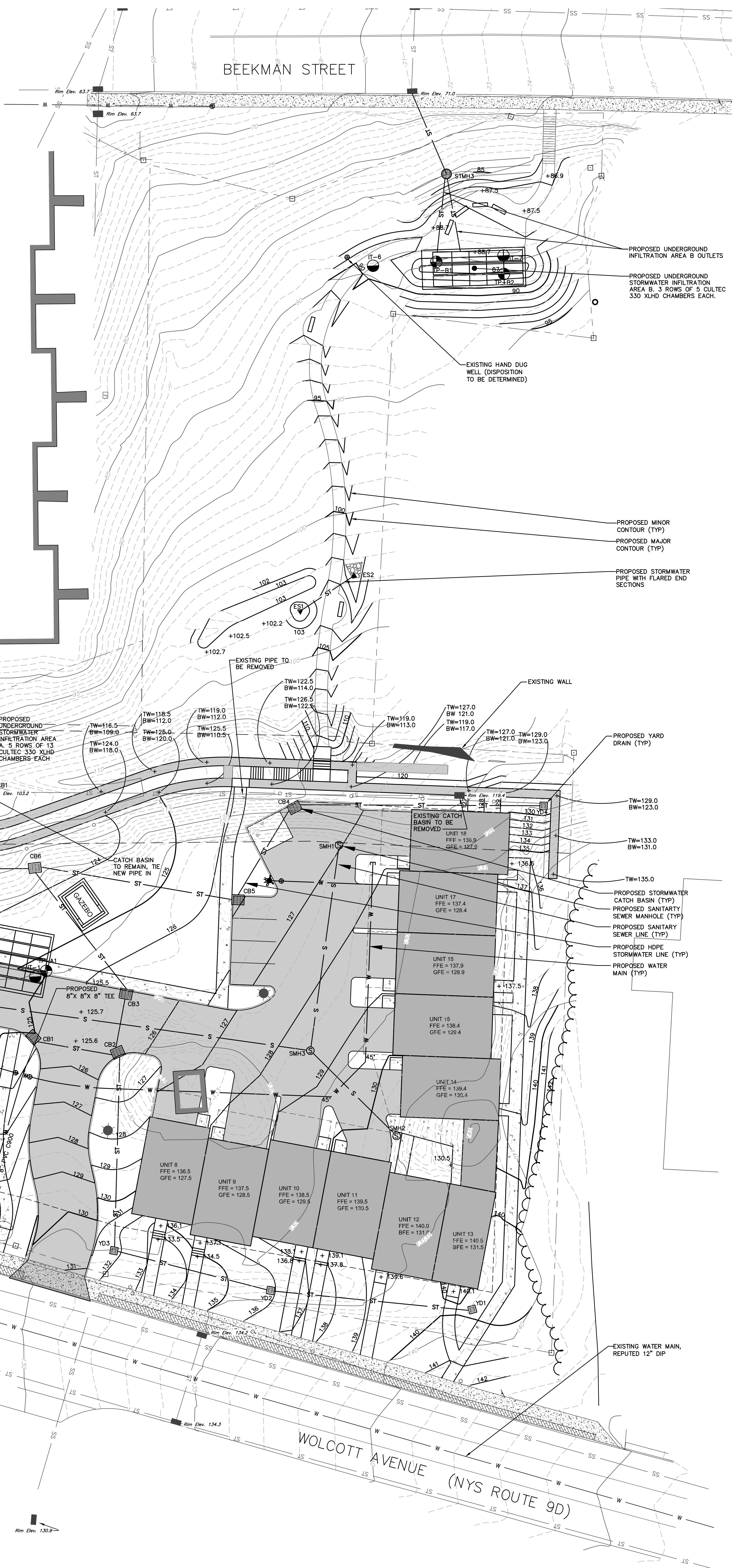


**GENERAL CONSTRUCTION SCHEDULE:**

1. PREPARE THE SITE FOR CONSTRUCTION BY INSTALLING THE PRELIMINARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
2. CLEAR AND GRUB NORTHERN PORTION OF THE SITE FROM THE ACCESS ROAD TO THE RETAINING WALL TO THE WEST AND UP TO THE LIMITS OF CONSTRUCTION ON THE NORTH.
3. CONSTRUCT PORTION OF RETAINING WALL FROM THE POURED CONCRETE SECTION (STAIRS) AND TO THE NORTH. FILL BEHIND WALL (EAST SIDE) AS WALL IS BUILT.
4. MASS EARTHWORK AND UTILITY INSTALLATION ON THE NORTHERN PORTION OF THE SITE (FROM THE ACCESS ROAD NORTH, INCLUDING THE ROAD, PARKING AREAS, FOUNDATION AREAS FOR UNITS 8-18). UTILITIES TO INCLUDE METER PIT, THAT PORTION OF WATER MAIN TO THE NORTH (SUB AND CAP SECTION) TO THE SOUTH OF THE TEE). INDIVIDUAL WATER SERVICES UNITS 8-18, SANITARY SEWER TO THE CONNECTION POINT ON THE SOUTH SIDE OF THE SITE, SANITARY SEWER MAIN AND MANHOLES, SANITARY SEWER SERVICE CONNECTIONS UNITS 8-18; STORMWATER CATCH BASINS AND BRING ON NORTHERN PORTION OF SITE AND STORM MANHOLES 1 & 2 TO THE EXISTING CATCH BASIN ON THE SOUTH SIDE OF THE SITE (STORM SYSTEM ON NORTH TO DISCHARGE TO TEMPORARY SEDIMENT TRAPS ON THE SOUTH PORTION OF THE SITE, WITH TEMPORARY OVERFLOW TO THE STORM MANHOLE 2).
5. CONSTRUCT BUILDING FOUNDATIONS FOR UNITS 8-18, AND BRING PARKING/ROADWAY TO BINDER COURSE.
6. CONSTRUCT UNITS 8-18.
7. CLEAR AND GRUB SOUTHERN PORTION OF THE SITE FROM THE ACCESS ROAD TO THE RETAINING WALL TO THE WEST AND UP TO THE LIMITS OF CONSTRUCTION ON THE SOUTH.
8. INSTALL STAIRS FROM FERRY STREET TO WOLCOTT AVENUE.
9. CONSTRUCT RETAINING WALL FROM THE SOUTH UP TO THE POURED WALL SECTION. FILL BEHIND WALL (EAST SIDE) AS WALL IS BUILT.
10. MASS EARTHWORK AND UTILITY INSTALLATION ON THE SOUTHERN PORTION OF THE SITE (FROM THE ACCESS ROAD SOUTH, INCLUDING THE ROAD, PARKING AREAS, FOUNDATION AREAS FOR UNITS 1-7). UTILITIES TO INCLUDE THAT PORTION OF WATER MAIN TO THE SOUTH, INDIVIDUAL WATER SERVICES UNITS 1-7, SANITARY SEWER SERVICE CONNECTIONS UNITS 1-7, STORMWATER CATCH BASINS AND BRING ON SOUTHERN PORTION OF SITE, UNDERGROUND INFILTRATION SYSTEM.
11. CONSTRUCT BUILDING FOUNDATIONS FOR UNITS 1-7, AND BRING PARKING/ROADWAY TO BINDER COURSE.
12. FINALIZE SITE LANDSCAPING AND INSTALL TOP ASPHALT COURSE.
13. CONSTRUCT PATH TO THE WEST AND THE POCKET PARK, INCLUDING STORMWATER MANAGEMENT PRACTICE ON THE WEST SIDE OF THE SITE.

**SIGHT DISTANCE NOTE:**

PER THE TRAFFIC IMPACT STUDY PREPARED BY MASER CONSULTING AND DATED AUGUST 3, 2017, THE SIGHT DISTANCES AT THE PROPOSED DRIVEWAY LOCATION WERE ALSO ANALYZED, BASED ON FIELD MEASUREMENTS, THE EXISTING SIGHT DISTANCES ARE APPROXIMATELY 350 FEET LOOKING BOTH LEFT (NORTH) AND RIGHT (SOUTH) FROM THE PROPOSED ACCESS. BASED ON AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) CRITERIA THE STOPPING SIGHT DISTANCE (200 FEET) AND INTERSECTION SIGHT DISTANCE (300 FEET) FOR THE 30 MPH POSTED SPEED LIMIT ALONG ROUTE 9D WILL BE SATISFIED. AVAILABLE VISUAL SPEED DATA FOR ROUTE 9D IN THIS AREA INDICATES THAT THE STOPPING SIGHT DISTANCE IS APPROXIMATELY 37 TO 38 FEET FOR A 45 MPH DESIGN SPEED. IN THIS AREA, AASHTO REQUIRES A MINIMUM 300 FEET STOPPING SIGHT DISTANCE TO ALLOW FOR THE SAFE OPERATION OF THE INTERSECTION, THIS REQUIRED STOPPING SIGHT DISTANCE, WILL ALSO BE SATISFIED. IT SHOULD BE NOTED THAT SOME PRUNING/CLEARING OF VEGETATION IMMEDIATELY NORTH OF THE PROPOSED DRIVEWAY LOCATION ON THE WEST SIDE OF ROUTE 9D SHOULD BE COMPLETED IN ORDER TO MAXIMIZE THE SIGHT DISTANCE LOOKING TO THE NORTH FROM THE SITE DRIVEWAY.



**INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES**

**CATCH BASINS AND PIPING:**  
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

**UNDERGROUND INFILTRATION:**  
THE UNDERGROUND INFILTRATION AREA SHALL BE INSPECTED QUARTERLY DURING THE FIRST YEAR OF OPERATION. THE MANUFACTURER'S RECOMMENDATIONS THAT THE CDS UNITS BE INSPECTED BI-ANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL). THE STRUCTURE SHALL BE VISUALLY INSPECTED FOR BLOCKAGES OR OBSTRUCTIONS IN THE INLET OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO QUANTIFY ACCUMULATION OF HYDROCARBONS, SEDIMENT AND TRASH WITHIN THE SYSTEM. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK ONCE A YEAR (EXCEPT FOR THE FIRST YEAR WHERE MORE FREQUENT CLEANINGS MAY BE REQUIRED).

**UNDERGROUND DETENTION/INFILTRATION:**  
THE UNDERGROUND DETENTION/INFILTRATION AREA SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED FOR SEDIMENT AND DEBRIS MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY BY MEANS OF A VACUUM TRUCK. AFTER STORM EVENTS, THE UNDERGROUND DETENTION/INFILTRATION AREA'S DE-WATERING DURATION SHOULD ALSO BE MONITORED. IF IT TAKES LONGER THAN 24 HOURS TO DE-WATER, THE BASIN SHALL BE JET CLEANED TO PROVIDE FULL DE-WATERING IN 24 HOURS. SEDIMENT SHALL BE CLEANED OUT OF THE INFILTRATION BASIN ANNUALLY.

**EXISTING UNDERGROUND UTILITY NOTES:**

1. CONTRACTOR SHALL DIG TEST PITS TO VERIFY LOCATION, SIZE AND PIPE MATERIAL OF EXISTING UNDERGROUND UTILITIES. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

**GENERAL CONSTRUCTION NOTES:**

1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DEGRADATIONS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
2. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPDO @ 1-800-962-7962.
3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
4. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATERTIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

**POST CONSTRUCTION NOTES:**

1. UPON COMPLETION OF CONSTRUCTION OF THE STORMWATER FACILITIES, AS-BUILT DRAWINGS OF ALL STORMWATER PRACTICES AND AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON.

STORM SEWER STRUCTURE TABLE	STRUCTURE	STRUCTURE DETAILS
CB1	RIM = 125.10 SUMP = 121.10	CB1-CB2 INV OUT = 122.10
CB3	RIM = 125.70 SUMP = 121.30	CB2-CB3 INV IN = 121.30 CB3-CB5 INV OUT = 121.20
CB4	RIM = 126.00 SUMP = 121.80	YD4-CB4 INV IN = 123.10 CB4-CB5 INV OUT = 123.00
CB5	RIM = 125.90 SUMP = 120.10	CB4-CB5 INV IN = 122.50 CB5-CB6 INV OUT = 122.40
CB6	RIM = 123.50 SUMP = 118.00	CB5-CB6 INV IN = 120.60 CB6-CB7 INV OUT = 120.50
CB7	RIM = 121.08 SUMP = 117.00	CB6-CB7 INV IN = 118.10 CB7-WQ1 INV OUT = 118.00
CB8	RIM = 118.40 SUMP = 112.50	YD6-CB8 INV IN = 113.60 CB8-WQ1 INV OUT = 113.50

STORM SEWER STRUCTURE TABLE	STRUCTURE	STRUCTURE DETAILS
EX CB1	RIM = 103.16 SUMP = 98.92	EX CB1-YD7 INV OUT = 98.90
EX CB3	RIM = 81.86 SUMP = 76.94	STMH3-EX CB3 INV IN = 67.80 EX CB3 OUT INV OUT = 67.09
STMH1	RIM = 121.00 SUMP = 110.60	INF A OUT-STMH1 INV IN = 111.90 STMH1-STMH2 INV IN = 111.60
STMH2	RIM = 100.07 SUMP = 88.60	YD8-STMH2 INV IN = 89.60 STMH2-EX CB2 INV OUT = 89.60
STMH3	RIM = 84.89 SUMP = 77.50	INF B(1)-STMH3 INV IN = 79.50 INF B(2)-STMH3 INV IN = 80.30 STMH3-EX CB3 INV OUT = 73.30
WQ1	RIM = 120.50 SUMP = 111.80	CB7-WQ1 INV IN = 117.60 CB8-WQ1 INV IN = 112.90 WQ1-CULTREC INV OUT = 112.80
YD1	RIM = 139.00 SUMP = 133.80	YD1-YD2 INV OUT = 136.00

STORM SEWER STRUCTURE TABLE	STRUCTURE	STRUCTURE DETAILS
YD2	RIM = 135.90 SUMP = 131.90	YD1-YD2 INV IN = 133.00 YD2-YD3 INV OUT = 132.90
YD3	RIM = 131.76 SUMP = 127.70	YD2-YD3 INV IN = 128.80 YD3-CB2 INV OUT = 128.70
YD4	RIM = 129.00 SUMP = 125.10	YD4-CB4 INV IN = 126.10
YD5	RIM = 117.20 SUMP = 113.30	YD5-YD6 INV OUT = 114.30
YD7	RIM = 94.50 SUMP = 90.50	EX CB1-YD7 INV IN = 91.60 YD7-YD8 INV IN = 91.50
YD8	RIM = 92.20 SUMP = 85.34	YD7-YD8 INV IN = 89.80 YD8-STMH2 INV OUT = 89.80

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
CB1-CB2	35 LF	15" CORR HDPE	1.15%
CB2-CB3	24 LF	15" CORR HDPE	1.26%
CB3-CB5	63 LF	15" CORR HDPE	0.95%
CB4-CB5	44 LF	15" CORR HDPE	1.14%
CB5-CB6	84 LF	15" CORR HDPE	2.15%
CB6-CB7	93 LF	15" CORR HDPE	2.59%
CB7-WQ1	8 LF	15" CORR HDPE	5.07%
CB8-WQ1	56 LF	15" CORR HDPE	1.07%
ES1-ES2	25 LF	15" CORR HDPE	1.22%

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
EX CB1-YD7	128 LF	15" CORR HDPE	5.70%
INF A OUT-STMH1	8 LF	12" CORR HDPE	1.32%
INF B(1)-STMH3	32 LF	4" CORR HDPE	4.69%
INF B(2)-STMH3	32 LF	6" CORR HDPE	4.69%
STMH1-STMH2	124 LF	15" CORR HDPE	17.72%
STMH2-EX CB2	87 LF	15" CORR HDPE	1.04%
STMH3-EX CB3	37 LF	15" CORR HDPE	14.91%
WQ1-CULTREC	11 LF	15" CORR HDPE	16.52%
YD1-YD2	82 LF	15" CORR HDPE	3.64%

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
YD2-YD3	66 LF	15" CORR HDPE	6.24%
YD3-CB2	81 LF	15" CORR HDPE	8.68%
YD4-CB4	101 LF	15" CORR HDPE	2.96%
YD5-YD6	29 LF	15" CORR HDPE	1.04%
YD6-CB8	24 LF	15" CORR HDPE	1.24%
YD7-YD8	64 LF	15" CORR HDPE	2.64%
YD8-STMH2	38 LF	15" CORR HDPE	0.53%

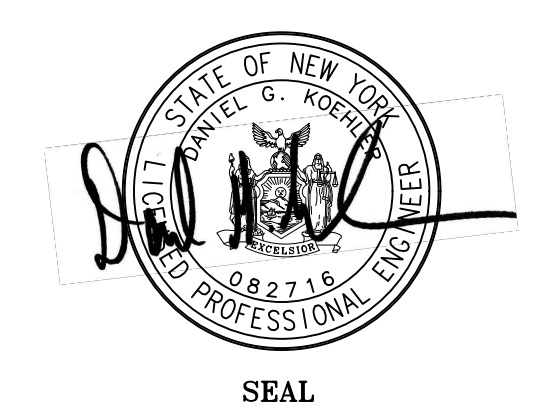
SANITARY SEWER STRUCTURE TABLE	STRUCTURE	STRUCTURE DETAILS
EX SMH	RIM = 89.97	SMH5 TO EX SMH INV IN = 83.75
SMH1	RIM = 126.90	SMH1-SMH2 INV OUT = 120.80
SMH2	RIM = 130.17	SMH2-SMH3 INV OUT = 124.00
SMH3	RIM = 128.54	SMH1-SMH2 INV IN = 120.30 SMH2-SMH3 INV IN = 120.30 SMH3-SMH4 INV OUT = 120.20
SMH4	RIM = 117.59	SMH3-SMH4 INV IN = 112.80 SMH4-SMH5 INV OUT = 95.27
SMH5	RIM = 92.53	SMH4-SMH5 INV IN = 85.00 SMH5 TO EX SMH INV OUT = 84.90

SANITARY SEWER PIPE TABLE	PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
SMH1-SMH2	84 LF	8" SDR-35 PVC	0.59%	
SMH2-SMH3	49 LF	8" SDR-35 PVC	7.51%	
SMH3-SMH4	287 LF	8" SDR-35 PVC	2.58%	
SMH4-SMH5	51 LF	8" SDR-26 PVC	20.00%	
SMH5 TO EX SMH	81 LF	8" SDR-35 PVC	1.42%	

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN  
\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



NO.	DATE	DESCRIPTION	BY
1	8/29/2017	PER PLANNING BOARD COMMENTS	DGK
2	9/28/2017	PER PLANNING BOARD COMMENTS	DGK
3	10/31/2017	REVISED RETAINING WALL	DGK
4	11/28/2017	REVISED STARWAY TO FERRY STREET	DGK

**Grading And Utility Plan**  
Scale: 1" = 20'

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lanc, P.E., L.S.  
Arthur R. Tully, P.E.

December 1, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: River Ridge  
City of Beacon  
Tax Map No. 5954-33-556840

Dear Mr. Sheers:

The applicant proposing the development of 18 residential town house units on 2.95 acres between the end of Ferry Street and Route 9D. We have reviewed the response letter from Cuddy & Feder, dated November 28, 2017, updated Full Environmental Assessment Form dated October 31, 2017, updated River Ridge Project Narrative dated October 31, 2017, and the following plans entitled "River Ridge Townhouses" with the latest revision date of November 28, 2017 as prepared by Aryeh Siegel, Architect and Hudson Land Design, and being the following plans:

- Sheet 1 of 11, entitled "Site Plan"
- Sheet 7 of 11, entitled "Grading and Utility Plan"

Based upon our review of the above referenced plans and EAF, we offer the following comments. It should be noted that some comments from our previous comment letter of November 10<sup>th</sup>, 2017, have not been removed, as they have not been addressed by this submission.

General Comments:

1. As the EAF has been revised to address comments noted in our previous correspondence of November 10<sup>th</sup>, the EAF signature page should be updated to reflect the new revision date, as it still states October 31, 2017.
2. The project consultant submitted a stormwater pollution prevention plan (SWPPP) which we have reviewed and provided comments to the project consultant. *The applicant has noted that a revised SWPPP will be submitted in the future.*

3. The appropriate HOA documentation shall be submitted so that it can o be reviewed by the Planning Board Attorney.
4. A cut & fill analysis plan should be provided for the project. *The applicant notes that this will be provided with a future submission.*
5. Profiles shall be provided for the water, sewer and storm drainage utilities proposed. *The applicant notes that this information will be provided with a future submission.*

Preliminary Subdivision Plat:

1. An easement will be required across the common HOA parcel allowing for ingress and egress to each of the 18 proposed residential lots. *The applicant notes that this should be a condition of Final Approval.*
2. Additional easements may be necessary the running of utilities between the HOA parcel and the individual parcels being created. *The applicant notes that this should be a condition of Final Approval.*

Sheet 1 of 11:

1. A Symbol Legend shall be added to the plan to clearly define what each of the symbols on the plan represent.

Sheet 7 of 11:

1. Water and sewer service connections for each of the proposed units should be shown on the plan. *The applicant notes that this information will be provided on a future submission.*
2. The lowest sewerable elevation (LSE) be provided for each unit. *The applicant notes that this information will be provided on a future submission.*
3. We would recommend that sleeves be provided on the sanitary sewer line between SMH-4 and SMH-5 where it crosses under the proposed retaining walls. *The applicant notes that this information will be provided on a future submission.*
4. Given the height and tiering of the proposed retaining walls, the design of these walls shall be prepared by a licensed professional engineer registered in the State of New York, and a design report and plans for these walls should be submitted for review. A note shall be added to the plans and the retaining wall construction detail noting this. *The applicant notes that this information will be provided on future submissions.*

5. The location of roof leaders should be shown on the plan, along with where the roof leaders will drain to. *The applicant notes that upon acceptance of the current layout by the Planning Board and Zoning Board of Appeals, the roof drainage design will be incorporated into the overall site drainage design and will be shown on the grading and utility plan.*
6. The plan notes that the disposition of the hand dug well is to be determined. We would recommend that this well be filled to ensure the safety of the public.

Sheet 9 of 11:

1. The pavement restoration details shall be revised to have a minimum of 1 ½" of top course, 3" binder course, and 3" of base course, unless otherwise approved by the NYSDOT. *The Applicants have noted that an existing watermain stub in to the property from the main between Route 9D and Ferry Street exists, and that they are looking viability of connecting to this stub, in turn eliminating the need for the connection to the existing main in Route 9D and the pavement restoration detail. Once the use of this reputed watermain stub has been investigated further, the plans shall be updated to reflect the proposed water supply to the project site if coming from this watermain stub between Ferry Street and Route 9D.*

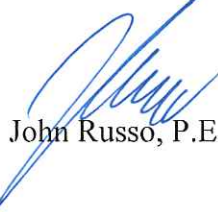
Sheet 11 of 11:

1. Although the "Meter Pit Detail" does not call for a RPZ, we would recommend that a drain from the pit to daylight be provided.

This completes our review at this time. Further comments may be forth coming based upon future submissions. **A written response letter addressing each of the above comments should be provided with the next submission.** If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner  
Jennifer Gray, Esq.  
Tim Dexter, Building Inspector

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: December 7, 2017

Re: **River Ridge Townhouses, Subdivision and Site Plan**

I have reviewed the following new material:

- Response letter from Cuddy + Feder, dated November 28, 2017;
- Updated Full EAF Part 1, dated October 31, 2017;
- Letter from NYS Parks, Recreation, and Historic Preservation, dated November 27, 2017;
- Sheets 1 and 7 of the Site Plan set, with the last revision dates of November 28, 2017.

### **Proposal**

The applicant is proposing to construct 18 for-sale townhouses on a 2.95-acre consolidated parcel in the RD-7.5 zoning district and in the Historic District and Landmark Overlay Zone. The project includes a new stairway to Ferry Street and a walkway and pocket park near Beekman Street.

### **Comments and Recommendations**

The cover letter notes several agreed-to changes in response to previous comments, but not yet shown on these submitted plans, including elimination of the tower and one variance, depiction of the view towards the river on the renderings, and relocation of two proposed trees from the central green area. The elevations will also be revised, based on comments by the Architectural Review Subcommittee at its November 20, 2017 meeting.

1. The applicant is requesting the following modification by the Planning Board of the building length limitation and an area variance from the ZBA. The Planning Board will need to issue recommendations to the ZBA on the variance.
  - The RD-7.5 district has a building length limit of 150 feet. The row of townhouses south of the entrance exceeds that length by 19 feet. However, the Affordable Workforce Housing provisions in Section 223-41.10 M allow the Planning Board to modify such dimensional standards to accommodate the permitted bonus unit, which is 24 feet wide. I recommend that the Planning Board approve this reasonable modification.
  - The district requires a minimum separation between buildings of twice the average height of the facing buildings, or 70 feet. The two townhouse rows north of the entrance are proposed to be only 18.9 feet apart. A sketch layout that would comply with the separation requirement was provided at the October meeting, but the applicant prefers to request the variance with support from a church representative and some neighbors.
2. The NYS Parks, Recreation, and Historic Preservation letter states that the project will have No Adverse Impact, provided a "significant vegetative buffer is maintained between the proposed new construction and the historic church property to obscure views of the project from the church." To comply with this recommendation, the applicant will need to more heavily landscape the property boundary and should consider moving the northern row of townhouses away from the church property line.

3. As to the lower pocket park, the 2017 Comprehensive Plan does show potential pocket parks at two locations along Beekman Street, but those sites are directly along the sidewalk with good visibility from streetlights into the park. The proposed location is in the woods elevated at least 12 feet above the sidewalk with no open visibility from the public way, making security questionable. My suggestion is that the lower woods feature an informal path with several benches overlooking a restored cemetery.
4. The City's consulting traffic engineer suggested a crosswalk at Rombout Avenue and the applicant is willing to apply to the DOT. The crosswalk should be supported by the Board and shown on the plans with a note that it is subject to DOT approval.
5. Since this property is in the Historic Overlay Zone and within the LWRP boundary, the Board will need to approve a Certificate of Appropriateness and LWRP Consistency Statement.

If you have any questions or need more information, please feel free to contact me.

John Clarke, Beacon City Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegal, Project Architect

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**Front Street - Mason Circle**

**Subject:**

Continue review of application to amend an existing Special Use Permit, Artist Live Work/Self Storage, 39 Front Street, submitted by Beacon Lofts & Storage

**Background:**

**ATTACHMENTS:**

Description	Type
Beacon Lofts Architect Cover Letter	Cover Memo/Letter
Beacon Lofts Engineer Cover Letter	Cover Memo/Letter
Beacon Lofts Phase 1A Report	Backup Material
Beacon Lofts Building #16 Letter from M. Day	Cover Memo/Letter
Beacon Lofts Traffic Report	Backup Material
Beacon Lofts Sheet 1 Site Plan	Plans
Beacon Lofts Sheet 2 Survey	Plans
Beacon Lofts Sheet 3 Landscape	Plans
Beacon Lofts Sheet 4 Building Plans	Plans
Beacon Lofts Sheet 5 Building Elevations	Plans
Beacon Lofts Sheet 6 Grading & Utility	Plans
Beacon Lofts Sheet 7 Erosion & Sediment Control	Plans
Beacon Lofts Sheet 8 Site Details	Plans
Beacon Lofts Sheet 9 Stormwater	Plans
Beacon Lofts Sheet 10 Water Sewer	Plans
Engineer Review Letter	Consultant Comment
Planner Review Letter	Consultant Comment
Beacon Lofts EAF Part 2	EAF

**ARYEH SIEGEL**  
ARCHITECT

---

Jay Sheers - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: Beacon Lofts**  
*Special Use Permit Application – Comment Letters*

November 28, 2017

Dear Mr. Sheers & Board Members,

Please find below the Applicant's response to John Clarke Planning & Design comments in his Memorandum dated November 9, 2017; and in Lanc & Tully's Memorandum dated November 7, 2017 regarding the Beacon HIP Lofts application. Hudson Land Design will provide a separate letter in response to Engineering comments.

**John Clarke Planning & Design Comment Responses:**

1. Comment acknowledged. A height variance will be requested at the Zoning Board to allow Building 16 to exceed the normally required maximum height. Note that a similar variance was granted previously for the new construction of building 9A. Building 9A is now removed from the scope of work and consolidate with the new construction of Building 16. Additional photographs were presented at the October Planning Board meeting to demonstrate that the additional building height complements the overall design of the site, and is not out of place in relation to the adjacent buildings, some of which are nearly as high or higher than the proposed reconstruction of Building 16. It should also be noted that the majority of buildings on the property are higher than what is currently allowed by Zoning Code.
2. Comment acknowledged. The application will require the previously approved Certificate of Appropriateness to be updated to include the newly proposed scope of work. Building 16 is designed to complement and reflect the same industrial detailing as can be found in all of the other buildings on the property. Brick material, window sizes and proportions all correspond to the original Building 16 and the other adjacent buildings.
3. Comment acknowledged. The Traffic Impact Study will be reviewed by the City's consultant. Note that an updated traffic report summary from the applicant's consultant is included in this submission.
4. The relocated ADA spaces are located as close as possible to the Elevator lobby, given the available required space for the sidewalk ramps.



**Lanc & Tully Comment Responses:**

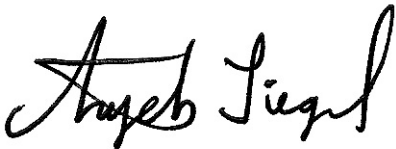
**Traffic Report**

1. Comment acknowledged. An updated report summary is included in this submission.

**General**

1. Comment acknowledged. The Zoning Variance, when granted, will be noted on the plans.
2. Refer to Hudson Land Design response.
3. Refer to Hudson Land Design response.
4. Refer to Hudson Land Design response.
5. Notes and labels have been corrected in the area of work.

Thank you. Please let me know if you have any questions.



Sincerely,  
Aryeh Siegel  
*Aryeh Siegel, Architect*



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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November 28, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: Beacon HIP Lofts & Storage  
Amended Site Plan  
39 Front Street  
Beacon, NY

Dear Chairman Sheers:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the previously approved plan for the above reference project in response to Lanc & Tully's November 7, 2017 comment letter and John Clarke Planning and Design comment memorandum dated November 9, 2017. Below is a point by point response to the comments received.

**Lanc & Tully November 7, 2017 comment letter:**

**Traffic Report**

1. Comment noted. The Traffic Consultant has provided a revised traffic report which is included with this submission.

**General Comments**

1. Comment noted. Once SEQR is closed, the Applicant will seek a variance with the ZBA.
2. There is an existing water main and sewer main that run parallel to Building 16 which prohibits trees from being planted within any landscape islands along the building's frontage. As such, the tree has been moved to the southeast side of the round-about where no live utilities exist. The tree will provide shade for the Dog Park. We are meeting with the planning board consultants on Wednesday November 29<sup>th</sup> to discuss the new proposed location of the tree.
3. A drop curb accessible ramp is now provided at the proposed ADA spaces. The proposed accessible spaces have been moved slightly to the south as their current location would not allow for a ramp to be installed without interfering with the access to two of the units' entrance. The new proposed location provides adequate space for the ramp without interfering with proposed door entrances. An Accessible Pedestrian Drop Curb Ramp detail is now provided on Sheet 8 of the plan set.

4. Additional finished floor elevation notes have been added to the "Flood Plain Notes" on Sheet 6 of the Site Plan set.
5. Aryeh Siegel has responded to this comment.

**John Clarke Planning and Design Comment Memorandum dated November 9, 2017:**

1. Comment noted. Once SEQR is closed, the Applicant will seek a variance with the ZBA.
2. This comment has been addressed by Aryeh Siegel.
3. A revised TIS is provided in response to Lanc & Tully's comments.
4. Please see response to Lanc & Tully's General Comment #3. The close proximity of proposed door openings prevent a ramp from being installed without interfering with ingress/egress of the building. The current location will be discussed at the meeting, and other options will be explored if necessary.

Enclosed are five (5) copies of the revised plan Sheets 6 and 8 (Sheets 1 and 3 provided by Aryeh Siegel), and five (5) copies of the revised traffic report for review. We look forward to further discussing the project with you at your next available planning board meeting, and hope that there is enough information to make a SEQR determination. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Michael A. Bodendorf, P.E.  
Principal

cc: Beacon HIP Lofts and Storage  
Aryeh Siegel, AIA

# **Phase 1A Literature Search and Sensitivity Assessment**

## **Beacon Lofts Site Plan Amendment**

### **Building 16 and Building 9 Addition**

Front Street and Mason Circle  
City of Beacon, Dutchess County, New York

Prepared for:

Beacon HIP Lofts, LLC  
16 Squadron Boulevard  
New City NY 10956



HUDSON VALLEY  
Cultural Resource Consultants, Ltd.  
3 Lyons Drive Poughkeepsie, NY 12601

November 2017

## MANAGEMENT SUMMARY

SHPO Project Review Number (if available):

Involved State and Federal Agencies:

Phase of Survey: **Phase 1A Literature Search & Sensitivity Assessment**

Location Information:

Location: **Front Street & Mason Circle**

Minor Civil Division: **City of Beacon**

County: **Dutchess County**

Survey Area (Metric & English)

Length: **292'/89 m**

Width: **355'/108.2 m**

Depth (when appropriate):

Number of Acres Surveyed: **2.37 acres (.96 ha)**

Number of Square Meters & Feet Excavated (Phase II, Phase III only): **N/A**

Percentage of the Site Excavated **Wappingers Falls Quadrangle**

Results of Architectural Survey

Number of buildings/structures/cemeteries within project area: **3 Buildings**

Number of buildings/structures/cemeteries adjacent to project area: **9**

Number of previously determined NR listed or eligible buildings/structures/cemeteries/districts:  
**Groverville Historic District**

Number of identified eligible buildings/structures/cemeteries/districts:

Report Author (s): **Beth Selig, MA, RPA. Stephanie Roberg-Lopez MA, RPA.**

Date of Report: **November 9, 2017**

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- Figure 4: 1850 J.C. Sidney Map of *Dutchess County, New York*. (Source: Library of Congress) Scale: 1"=1460'.
- Figure 5: 1858 Bachman & Corey. *Atlas of Dutchess County New York*. (Source: Library of Congress) Scale: 1"=1460'.
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- Table 1: Previously identified archaeological sites within a one mile radius

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- Photo 2: View to the south of the Community Garden (Building 12). This structure will be retained as part of the proposed plan.
- Photo 3: View to the northeast of the Community Garden Building. Building 11 and Building 4 within the Beacon Lofts complex can be seen in the far ground.
- Photo 4: View to the north of Building 16. The existing structure is unsound, and will be replaced with a similar style building.
- Photo 5: View to the north of Building 16 which is located adjacent to Building 10. Building 10 is currently residential apartments.
- Photo 6: View to the southeast of Building 11 (left) and Building 12 (right) which are adjacent to Building 16. Building 11 is an apartment building.
- Photo 7: View to the north of the hydroelectric facilities located adjacent to the Groverville Mill Dam. These structures are located to the northeast of the proposed site plan amendment area.
- Photo 8: View to the east of the existing dam along Fishkill Creek.
- Photo 9: View to the northwest from the hydroelectric facility along Mason Circle between Building 11 (left) and Buildings 1-4 and 19-20 (right).
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- Photo 11: View to the northeast of Building 16 (left) and Building 9 (right) within the Proposed Site plan Amendment area.
- Photo 12: View to the southeast across the historic complex from Front Street.
- Photo 13: View to the southwest of the residential buildings located along Front Street. These structures will not be impacted by the proposed undertaking.
- Photo 14: View to the northeast along Front Street. The Beacon Lofts Offices and self-storage building are located at the end of the road.



## I. Phase 1A Literature Search and Sensitivity Assessment

### A. Beacon Lofts Building 16 & Building 9 Addition Project Description

In October of 2017, Hudson Valley Cultural Resource Consultants (HVCRC) was retained by Beacon HIP Lofts, LLC, to complete a Phase 1A Literature Search and Sensitivity Assessment of the area of the proposed amendment to the Beacon Lofts site plan. This includes the Beacon Lofts Building 16 and Building 9, located on the southeastern side of Front Street in the City of Beacon, Dutchess County, New York.

All work was completed in accordance with the Standards for Cultural Resource Investigations and the Curation of Archeological Collections published by the New York Archeological Council (NYAC) and recommended for use by New York State Office of Parks, Recreation and Historic Preservation (OPRHP). The report complies with New York State OPRHP's Phase 1 Archaeological Report Format Requirements, established in 2005.

The proposed undertaking involves the removal of Building 16, which has been assessed as structurally unstable, and the construction of a similar style building in its place to house residential apartments. The proposed changes to the project have necessitated an amendment to the approved special use permit for the project. In addition to the reconstruction of Building 16, the proposed amendment includes a small addition to Building 9, which will consist of a single apartment. These buildings are located within the boundaries of the National Register Eligible Groveville Historic District. The historic district is comprised of nineteenth century factory buildings and its related tenements and work housing. The Groveville Mill Dam is a modern inclined concrete spillway dam and headworks located adjacent to the southeastern boundary of the Beacon Lofts Parcel. The dam is a component of a small operating hydroelectric generating facility that provides water to generators housed in the mill's historic brick wheelhouse building.

In 2012, Rabin Alexander LLC purchased the vacant and derelict industrial complex and began transforming the space into residential apartments, storage units, gallery space, artist workshops and meeting spaces. As stated the proposed amendment to the existing special use permit includes the reconstruction of Building 16 and the addition to Building 9. The locations of the proposed buildings and addition will take place within the location of previous structures.



Figure 1: Detail of the 2016 USGS Topographical Map. Wappinger Falls Quadrangle. 7.5 Minute Series. (Source: USGS.gov.) Scale: 1"=975'.



Photo 1: View to the east of the existing red brick building that will be replaced and renamed Building 16.



Photo 2: View to the south of the Community Garden (Building 12). This structure will be retained as part of the proposed plan.



Photo 3: View to the northeast of the Community Garden Building. Building 11 and Building 4 within the Beacon Lofts complex can be seen in the far ground.



Photo 4: View to the north of Building 16. The existing structure is unsound, and will be replaced with a similar style building.



Photo 5: View to the north of Building 16 which is located adjacent to Building 10. Building 10 is currently residential apartments.

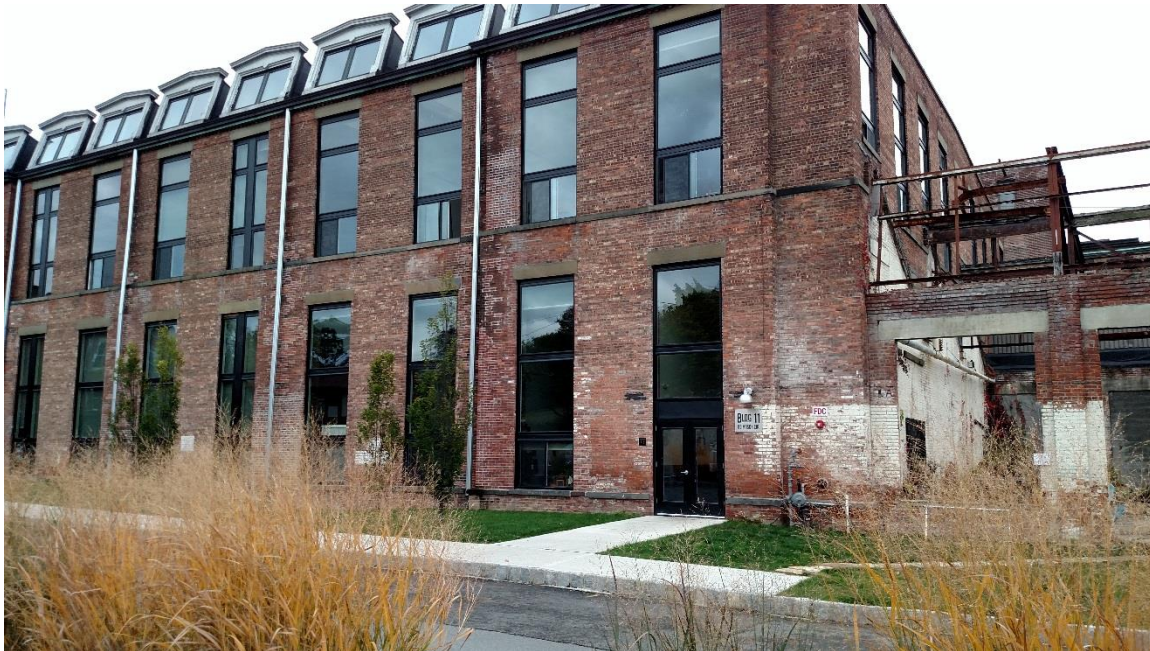


Photo 6: View to the southeast of Building 11 (left) and Building 12 (right) which are adjacent to Building 16. Building 11 is an apartment building.

## B: ENVIRONMENTAL CONDITIONS

The landscape within the project area is characterized as suburban residential.

The elevation is 146' Above Mean Sea Level (AMSL). Elevations rise from the northern edge of Fishkill Creek north to Front Street.

### ECOLOGY

The project area lies in a vegetation zone where the Northern Hardwood Forest Zone meets the Appalachian Oak Forest Zone. In the Northern Hardwood Forest Zone, sugar maple, birch, beech and hemlock are the predominant trees in this type of forest (Bailey 1995). In the Appalachian Oak Forest Zone, tall, broad-leafed deciduous trees predominate, particularly Red Oak and White Oak. The wooded areas of the site contain trees with diameters that suggest relatively recent reforestation, probably within the last 30 to 50 years.

### GEOLOGY

The project area is situated within the Ridge and Valley physiographic province, which extends from Lake Champlain to Alabama. The portion of the Ridge and Valley Province in which the project area is located is specifically identified as the Taconic Allochthon, bordered on the east by the Manhattan Prong and on the west by the Great Valley province (Schuberth, 1968).

The Hudson Highlands area is a northeast-southwest trending band of igneous and metamorphic rocks, which extend from New England through New York, crossing the Hudson River in the vicinity of Cold Spring and West Point. Because of their structural origin and their durability, the Hudson Highlands reach a higher elevation than the physiographic provinces that border them, such as the Hudson-Mohawk Lowlands to the north and the Piedmont Triassic Lowlands to the south. The Hudson Highlands are almost entirely blanketed by a thin layer of glacial till, with frequent bedrock outcrops. Outwash sand and gravel occupy some of the river and stream valleys that border and run through the Highlands (Spectra 2004: Appendix C).

### DRAINAGE

Drainage on the site is into Fishkill Creek which is located to the southeast of the project area. Numerous pre-contact sites have been identified adjacent to Fishkill Creek, a tributary of the Hudson River.

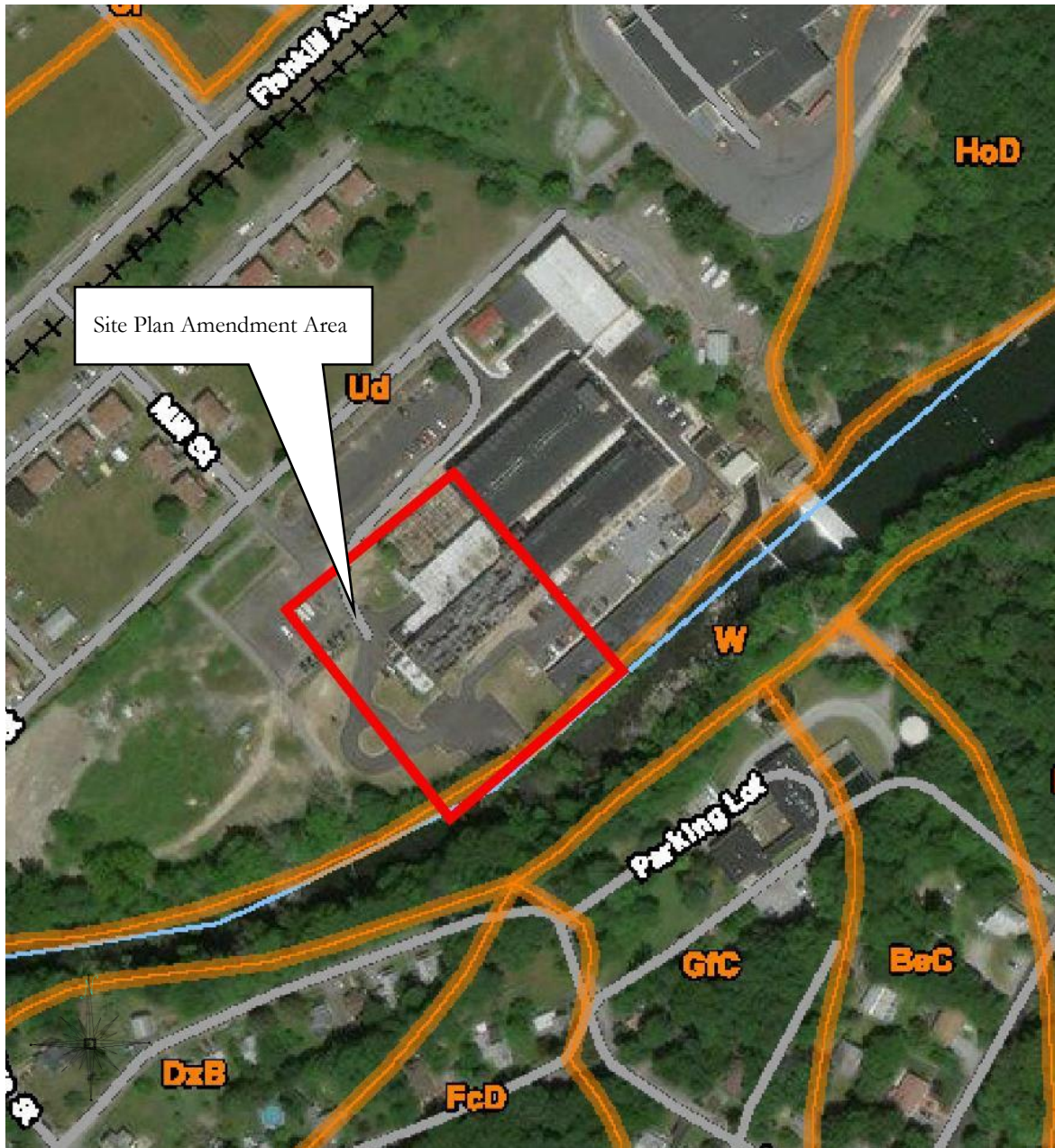


Figure 2: Aerial Image showing soil units within the project area. (Source: Natural Resources Conservation Service.) Scale: 1"=225'.

## SOILS

The characteristics of the soils within the project area have an important impact on the potential for the presence of pre-contact cultural material, since the type of soils present affects the ability of an area to support human populations.

The soils located within the project area are Udorthents, smoothed, which consists of areas from which soil material has been excavated, and nearby areas in which this material has been deposited. The soils within the project area consists of gravelly loam (0-4") and very gravelly loam (4-70") and are characterized as made lands.

C: RECORDED ARCHAEOLOGICAL SITES AND SURVEYS

To gather information on the history and prehistory of the Project Area and the surrounding region, HVCRC consulted historical documents and maps available at the Library of Congress, David Rumsey Cartography Associates and the New York Public Library. HVCRC reviewed the combined site files of the New York State Office of Parks, Recreation, and Historic Preservation (OPRHP) and the New York State Museum (NYSM) for information regarding previously recorded archeological sites within one mile (1.6 km) of the Project Area. HVCRC also consulted OPRHP and regional pre-contact sources (e.g. Beauchamp 1900; Parker 1920; Ritchie 1980; Ritchie and Funk 1973) for descriptions of regional archeological sites. In addition, HVCRC consulted the files at the OPRHP for information regarding cultural resources within one mile of the Project Area that might be listed on the State and/or National Register of Historic Places (S/NRHP).

PREVIOUSLY RECORDED ARCHAEOLOGICAL SITES

Four previously documented archaeological sites have been identified within a one mile radius of the project area boundaries

<b>Table 1: Previously Recorded Archaeological Sites within 1- mile radius</b>				
<b>Site Number</b>	<b>Site Name</b>	<b>Distance from Project Area</b>	<b>Time Period</b>	<b>Site Type/ Materials Recovered</b>
02741.000343	Groveville Mill	350' / 1.2 k	Historic	Post 1930 concrete foundation
NYSM 6621	AC Parker Dutchess	600' / 800 m	Historic	Traces of Occupation
NYSM 7856	AC Parker Dutchess 13A	2640' / 800 m	Pre-contact	Burial site, location of several pre-contact cemeteries
NYSM 9055	AC Parker Dutchess	3960' / 1.2 k	Pre-contact	A.C. Parker reference to a Wappinger Village site located near Castle Point

PREVIOUSLY COMPLETED ARCHAEOLOGICAL SURVEYS

As part of the research for this project, surveys completed for sites in the general area were consulted. A total of three surveys have been completed within a one mile radius of the project area. These surveys were completed for both municipal undertakings as well as residential developments. These surveys did not identify any archaeological sites.

D: NATIONAL REGISTER ELIGIBLE/LISTED SITES

The National Register Database and OPRHP files were reviewed to identify structures on or in the vicinity of the project area that have been listed on the National Register of Historic Places or identified as National Register Eligible. The project area is located within the boundaries of the Groveville Mill Historic District, a National Register Eligible District. The district is a self-contained unit that consists of a nineteenth century factory and its related tenement buildings that provided factory worker housing. The property operated in the mid twentieth century as a carpet factory, but then in the late 1970s became vacant, standing empty through the end of the twentieth century. In 2012, the current owners purchased the property and began renovating and restoring the buildings. The buildings are currently residential apartments, artist studios, controlled storage and offices.



## E: NATIVE AMERICAN CONTEXT

The following discussion of historic and cartographic research provides information concerning the likelihood of locating prehistoric sites on the project area.

During the Paleo-Indian period, mobile bands of hunter-gatherers occupied what is now New York State. These bands exploited the resources of the landscape by hunting game and gathering plants. Paleo-Indian sites have been in the upland regions a short distance from the Hudson River. Frequently these sites are associated with sources of stone, as is the case on one site in Greene County where a quarry-workshop complex has been excavated. More frequently, the sites appear to have been temporary campsites. These are located where it would be possible to watch for game as it moved across the landscape.

With the lowering of the water table during the Archaic period, subsistence methods and technologies changed in response to climatic warming. This was accompanied by and an increase in vegetation density and diversity, changing faunal migrations and change in sea levels (Sirkin 1977). The Archaic Period was likely a time of incipient sedentism among the inhabitants of the area.

Changes in settlement and subsistence patterns that occurred during the Late Archaic period reflect an increased utilization of coastal and riverine resources. Ground stone food processing tools are more common, reflecting an increase in processed plant resources in the diet. Projectile points commonly found at Late Archaic sites include narrow stemmed, broad stemmed and side notched types. The Laurentian Tradition of the Late Archaic is the most represented throughout New York State, and is subdivided into a series of phases: Vergennes, Vosburg, Sylvan Lake, River and Snook Kill. Archaic period sites have been identified along the banks of the Hudson River, as well as at Bannermans Island.

The Woodland period, is distinguished from the Archaic in part, by the use of ceramics. Horticulture, although practiced in other parts of North America at an earlier date, does not appear in the Hudson River Valley until c. 1000 AD. The requirements of the cultivation of maize, beans, and squash created a marked change in the pattern of land use and the selection of locations for villages. It was no longer necessary for the entire group to move from place to place following a seasonal round of migration fueled by fluctuating sources of food. Cord marked ceramics became common during the Middle Woodland period, and incised vessels, many with a collar area, are typical of Late Woodland cultures. In central and western New York State, the Late Woodland stage is known as the Owasco; no evidence for the Owasco culture has been identified in the Hudson Valley. The land along the banks of the Hudson River was purchased by the early European Settlers, from the Wappinger Indians, an Algonquin speaking group who inhabited the area.

## F: HISTORIC BACKGROUND

The following discussion of historic and cartographic research provides information concerning the likelihood of encountering Map Documented Structures (MDS) and other intact historic cultural resources within the boundaries of the project area.

The project area falls within a landscape that was originally part of the 85,000 acre Rombout Patent, which was granted to Francis Rombout, Gulian Verplanck, and Stephanus Van Cortland in 1685. The land was originally purchased from the Wappingers Indians for real estate speculation. As payment, the Wappingers received one hundred royals and trade items such as wampum, bars of lead, tobacco, guns, powder, cloth, kettles and horses (Smith 1882).

The patent was soon after divided into three sections. The southernmost section includes the City of Beacon and what is now the Fishkill Correctional Facility. It was inherited by Catherine Brett, Francis Rombout's only child. Madam Brett and her husband built a house around 1709, which still stands in Beacon and is listed on the National Register.

Following her husband's death, Madam Brett was instrumental in developing the Beacon area. She established mills and encouraged settlers from western Long Island and elsewhere to build houses. Among the early families to purchase land from Madame Brett were the Van Wyck, Swartwout, Wiltse, Hasbrouck, DuBois and Verplanck families.

The City of Beacon was formed in 1913 from the villages of Fishkill Landing and Matteawan (Lamson 1937). The name Beacon is derived from nearby Beacon Mountain (known in the Colonial period as "The Grand Sachem"), upon which patriots would light signal fires to warn of British movements during the American Revolution (Verplanck 1909). The project area is located in the former hamlet of Groveville, which sat north of Fishkill Creek between Matteawan to the west and Fishkill to the east.

During the nineteenth century, Matteawan was an important manufacturing center in the Middle Hudson Valley. The Matteawan Manufacturing Company was founded in 1812 and engaged in the cotton milling industry. Another important textile factory was the Glenham Mill, which produced woolen goods from 1823 through the 1870s. The mill's most active period was during the Civil War, which spurred a huge demand for indigo blue goods for the Union Army. The factory was greatly enlarged, and scores of tenement houses for workers were built (Hasbrouck 1909). Other factories were built along Fishkill Creek, including the Wiccapee Company, the Fishkill Landing Machine Company and several brickyards. Manufacturing was still a vital part of the local economy as late as the mid-twentieth century; in the 1960s the City of Beacon represented 7% of Dutchess County's labor force, but had over 11 % of the county's industrial jobs (Hudson River Valley Commission 1970).

After the Civil War, the railroad facilitated the growth of a summer resort industry in the Beacon area. The National Register listed Mount Beacon Incline Railway was built in 1902 to shuttle passengers via an electric cable railway, to hotels at the top of Beacon Mountain. A Colonial period roadway, the "Old Road" laid for Madame Brett between the Hudson River and the eastern limits of her landholdings, linked villages along Fishkill Creek (Hasbrouck 1909). The "Old Road" ran on the high ground north of the stream, and is now New York State Route 52.

#### GROVEVILLE MILLS

The history of the Groveville Mills site dates to the late eighteenth and early nineteenth century when the property was owned by Abraham Dubois. Dubois operated a grist mill along Fishkill Creek, which he sold to Samuel Upton in 1820. Upton tore down the existing grist mill and built a larger one. He also built a stone fulling mill. Between 1830 and 1840, Upton sold the property, which also included six acres of land, to Peter Cromwell and Epenetus Crosby.

Shortly thereafter, Cromwell and Crosby sold the property to the Glenham Co., who converted it to a woolen mill and did carding, spinning and weaving. The Glenham Company also owned a much larger fulling mill to the north along Fishkill Creek (Smith 1882).

The Glenham Company operated its mills with varying degrees of success until the onset of the Civil War, when the demand for indigo blue goods to clothe the army became so great that the company was compelled to enlarge their mills. It was during this period that the many tenement buildings were built on the property. Unfortunately, the cost of building the tenement housing as well as the new factory buildings depleted the company's capital. The Glenham Company was unable to withstand the financial panic in the 1870s, and in 1873 filed for bankruptcy (Hasbrouck 1909).

The property was sold by B. Platt Carpenter, the commissioner of the bankruptcy filings, to A.T. Stewart, a noted dry goods merchant from New York City. The sale included the original Glenham factory, approximately one hundred tenements and a farm belonging to the Roger's family. In addition, the conveyance of property included the former Rocky Glen Cotton Mills and the factory at Groveville. Mr. Stewart kept the mills in Glenham in operation, but demolished the existing mills at Groveville, and in 1876 Stewart built extensive carpet factories at Groveville.

In addition to the new factory buildings at Groveville, Stewart built Italianate-style worker housing located to the north of the factory buildings. In addition to the residential structures on the property, Stewart constructed a bridge over Fishkill Creek to connect the factory property to the residential community of Matteawan, where many of the mill workers lived (Hasbrouck 1909). Stewart died in 1876, leaving the operation of the mills to his friend Judge Henry Hilton, who oversaw the mills as well as Stewart's personal affairs. Later, Stewart's sons managed the property. In the 1880's the Groveville Carpet Mill Complex employed over 700 people. The Carpet factory closed on the eve of the 1893 financial panic, and moved its operations to Yonkers (Smith 1882).

Hasbrouck (1909) reports at the time of his writing of Dutchess County's history that the machinery at the Groveville Mills had been sold for junk and the buildings remained unoccupied. This is shown on the 1904 Sanborn Fire Insurance Map of the property. By 1912 the Sanborn maps indicate that the factory was occupied by the Glenham Embroidery Company. The property changed hands multiple times in the early twentieth century, from the Beacon Bronze Co. in 1922, the Beacon Rayon Fabrics Co. in 1935, and the Groveville Furniture Company in 1937, to the Lewittes Furniture Company in 1939. Lewittes Furniture Company operated at Groveville Mills until 1962 (Murphy 2003). By the 1970s the factory was manufacturing carpets, however that lasted only a short time. The Building Inventory site form on file at OPRHP indicates that in 1979, when the form was completed, the property was owned by the Beacon Piece Dye Company, and that the factory buildings were vacant. Despite the vacancy of the factory buildings the residential properties were occupied. The property was purchased in 2012 by the current owners.

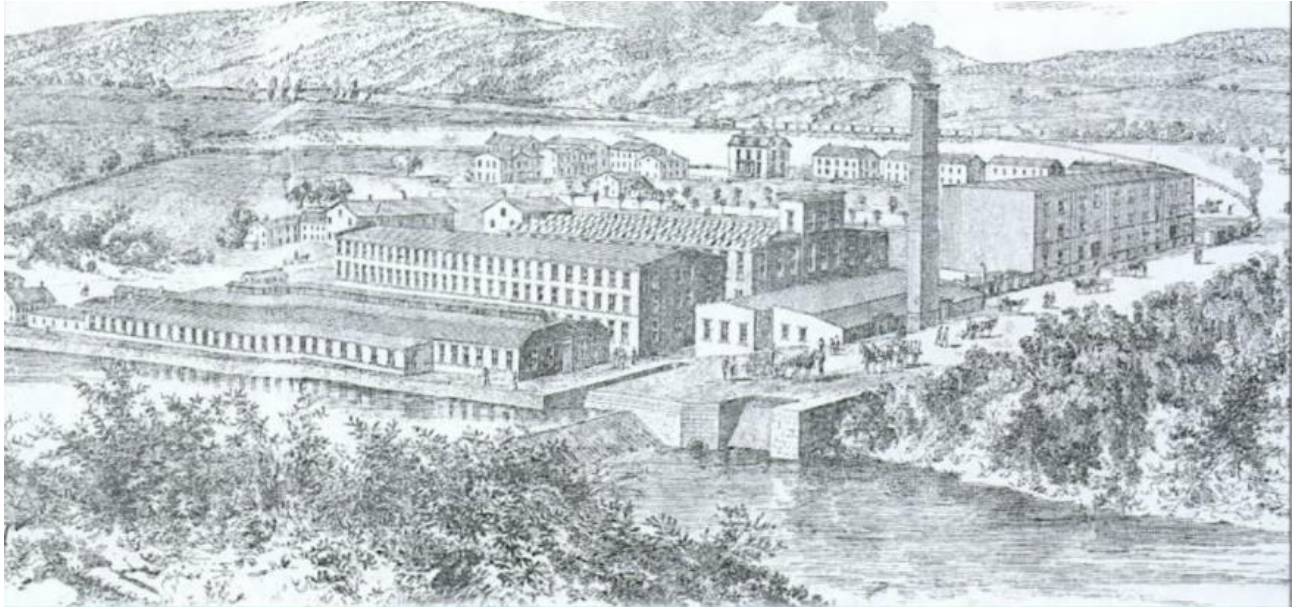


Figure 3: Groveville Mills, circa 1879. (Source: Robert Murphy, *History of Beacon* 1998)

CARTOGRAPHIC RESEARCH

HVCRC examined historical maps of Dutchess County to identify possible structures, previous road alignments and other landscape features or alterations that could affect the likelihood that archeological and/or historic resources could be located within the project area. These maps are included in this report, with the boundaries of the Project Area superimposed. Nineteenth century maps frequently lack the accuracy of location and scale present in modern surveys. As a result of this common level of inaccuracy on the historic maps, the location of the project area is drafted relative to the roads, structures, and other features as they are drawn, and should be regarded as approximate. The historic maps included in this report depict the sequence of road construction and settlement/development in the vicinity of the project area.



Figure 4: 1850 J.C. Sidney Map of Dutchess County, New York. (Source: Library of Congress) Scale: 1"=1460'.

The earliest map examined is the 1850 J.C. Sidney Map of Dutchess County, New York. The project area on the northern side of Fishkill Creek on the southern extent of the hamlet of Glenham. This map shows a woolen factory within the vicinity of the project area. Abraham Dubois is shown as owning a property to the northwest of the wool factory. The woolen factory is shown as two structures. Despite the proximity of the Dubois properties along Fishkill Avenue, this mill was owned by Cromwell and Crosby or by the Glenham Company. The date the Glenham Company purchased the mill is not mentioned in the written histories of the mill.

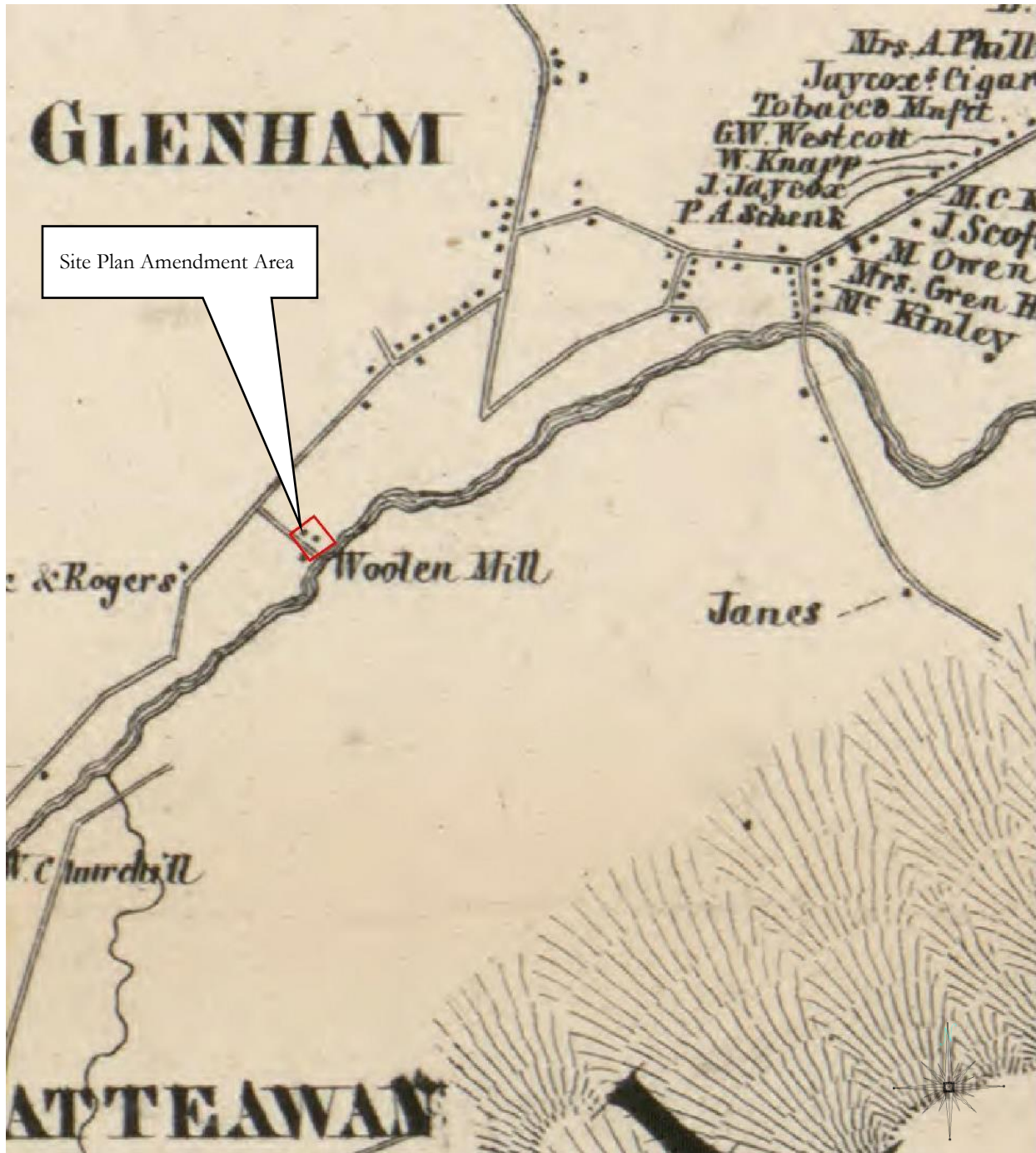


Figure 5: 1858 Bachman & Corey. *Atlas of Dutchess County New York*. (Source: Library of Congress) Scale: 1"=1460'.

The 1858 Bachman & Corey *Atlas of Dutchess County* shows that the woolen factory now includes three structures located on the northern side of Fishkill Creek. Like the previous map, the ownership of the mill property is not indicated, but is either the Cromwell and Crosby or the Glenham Company. This map shows that the Abraham Dubois farm along Fishkill Avenue is now the Du Boise and Rogers property.

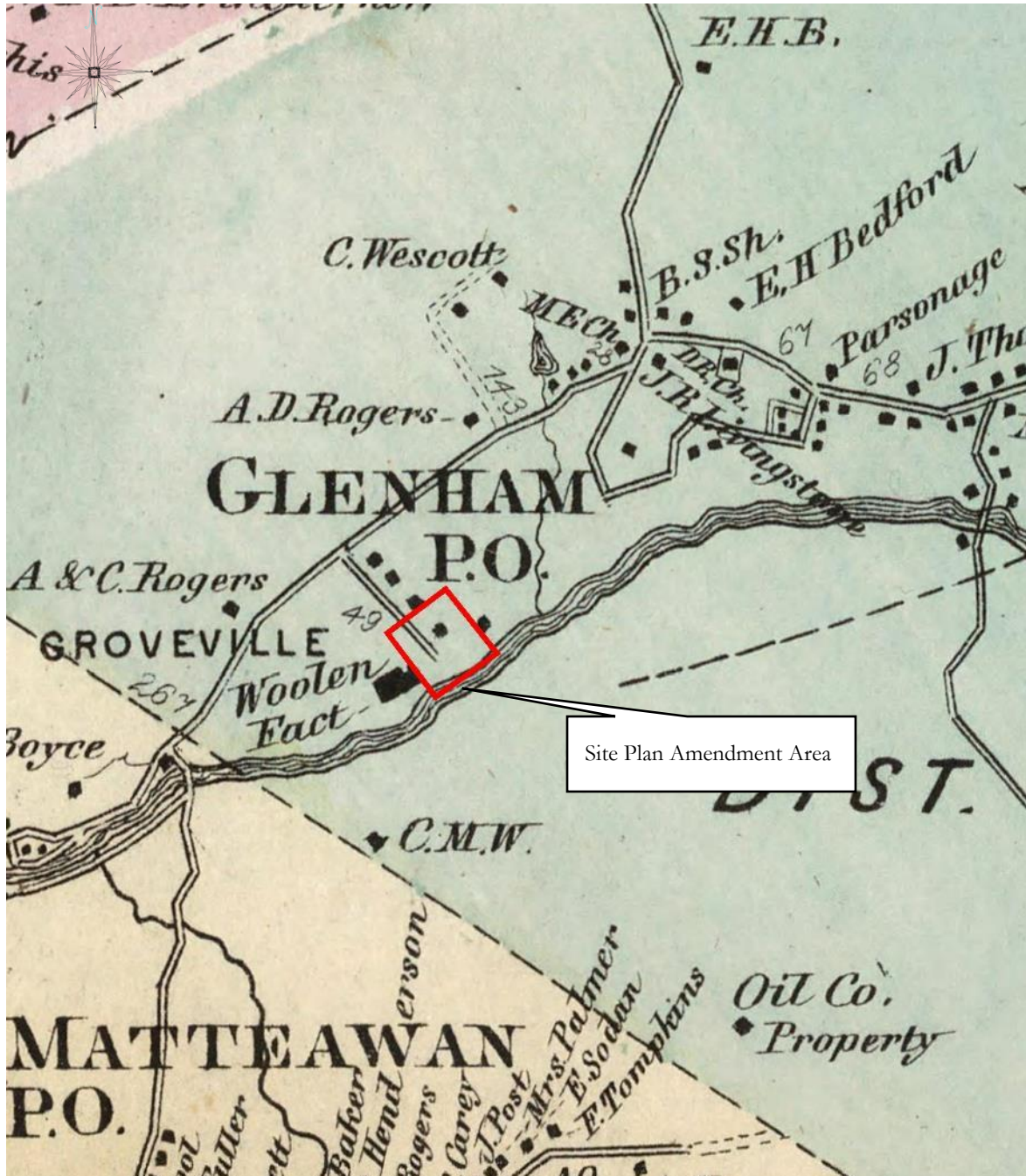


Figure 6: 1867 Beers, F.W. *Atlas of New York and Vicinity Town of Fishkill Dutchess County*. (Source: David Rumsey Cartography Associates) Scale: 1"=650'.

The 1867 Beers Map shows that the Woolen factory has been expanded, with a number of buildings located along Mill Street and a large factory building located to the southwest of Mill Street. This map does not identify the ownership of the buildings, but they are shown with in the hamlet of Glenham. The written histories (Hasbrouck 1909) indicate that the Glenham Company had acquired the former Cromwell and Cosby mill by 1862. This map shows the A. & C. Rogers farm located on the northern side of Fishkill Avenue, as well as the A.D. Rogers farm. Portions of the Rogers Farm were later acquired by A.T. Stewart when he purchased the property in 1843.

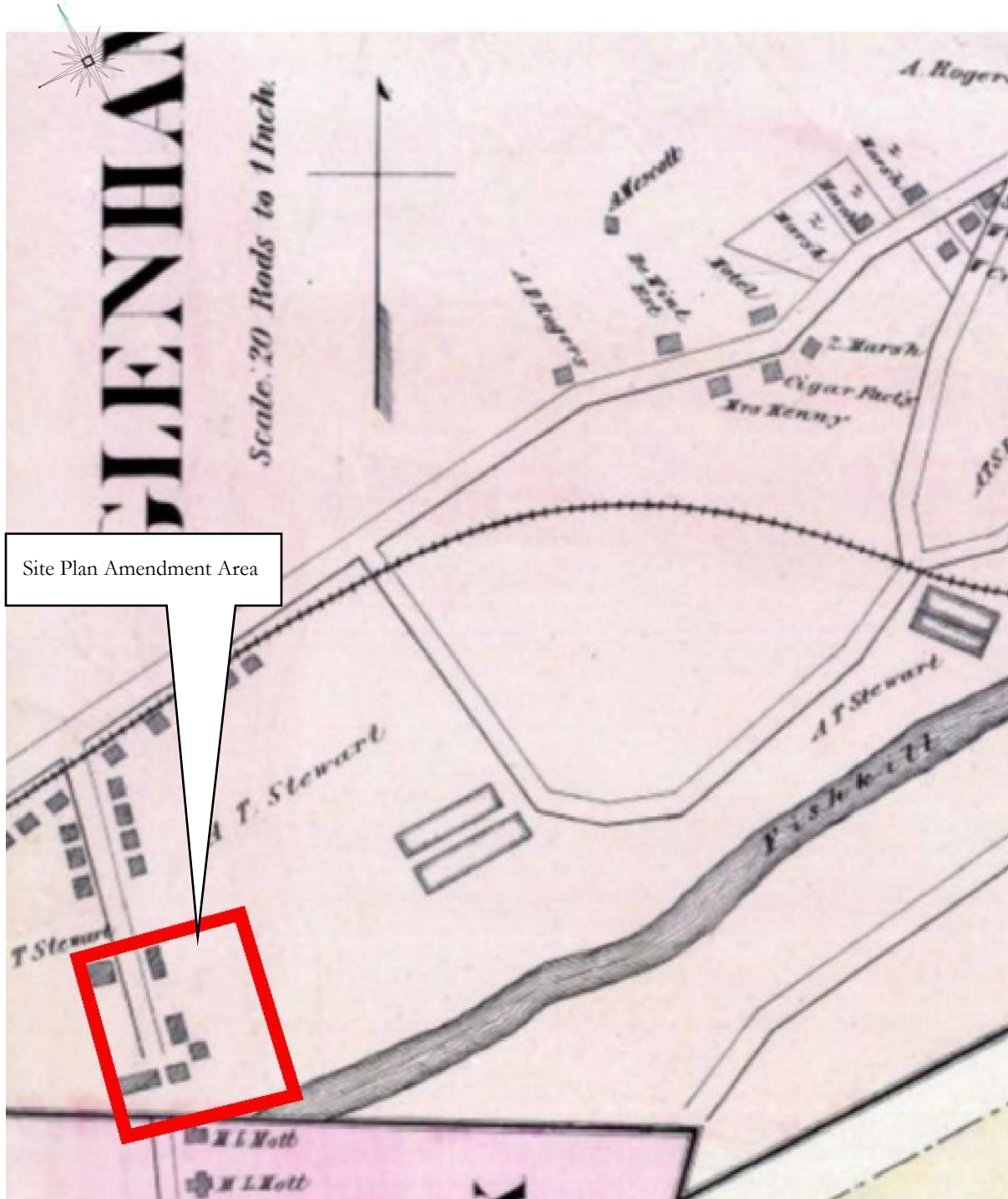


Figure 7: 1876 O.W. Gray & Sons *New Illustrated Atlas Of Dutchess County, New York*. (Source: New York Public Library) Scale: 1"=300'.

The 1876 Gray & Sons *New Illustrated Atlas of Dutchess County, New York* indicates that the mill property is now owned by A.T. Stewart. Additional buildings have been constructed along Mill Street and on the southern side of Fishkill Avenue, and are predominantly residential buildings. Factory buildings are shown at the end of Mill Street, as well as to the northeast.





Figure 8: 1891 Beers Atlas of the Hudson River New York City to Troy. (Source: David Rumsey Cartography Associates) Scale: 1"=1460'.

By 1891 there have been significant changes to the property, including the construction of Front Street and Lydia Drive as well as the extension of Front Street across Fishkill Creek. The structures shown on the 1876 map fronting along Fishkill Avenue have been removed, and additional residential properties have been built along the new roads. The factory building is shown along Mill Street and is identified as a Carpet Factory. This map indicates that this complex of buildings is located in a hamlet identified as Groveville.



Figure 9: 1956 Wappingers Falls Topographical Maps. 7.5 Minute Series (Source: USGS.gov) Scale: 1"=1460'.

The 1956 topographical map shows that the Groveville mill factories have been expanded, and occupy the present day building footprint. The residential structures are shown to the north of Front Street. The Groveville Mill Dam is visible within Fishkill Creek, to the east of the factory buildings.

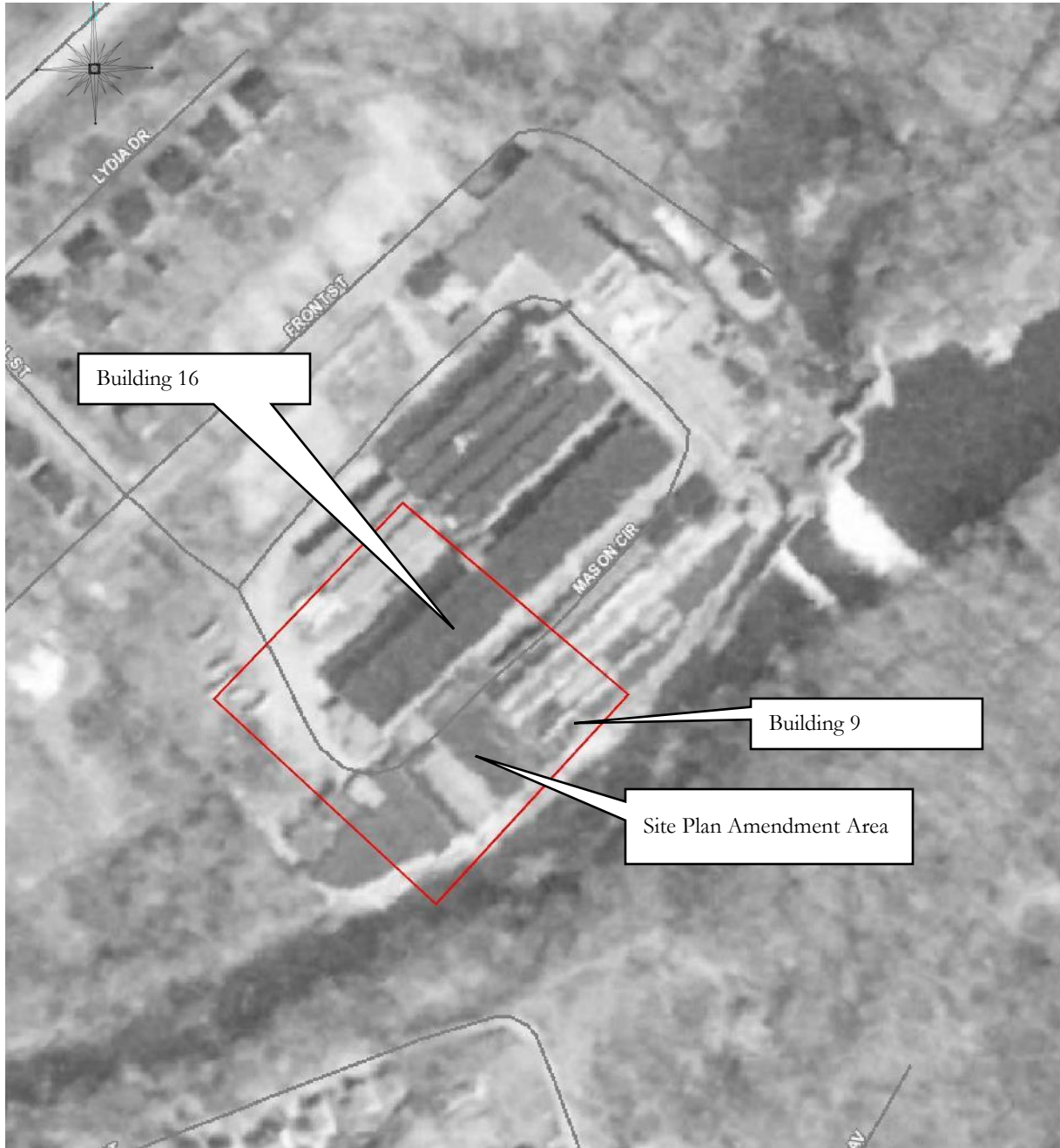


Figure 10: 1955 Aerial Image. Dutchess County, New York. (Source: Dutchess County Parcel Access) Scale: 1"=175'.

The 1955 aerial image shows the factory buildings within the within the Groverville complex. This aerial shows that Building 9 extends south along Fishkill Creek. Building 16 is located in the center of the site.

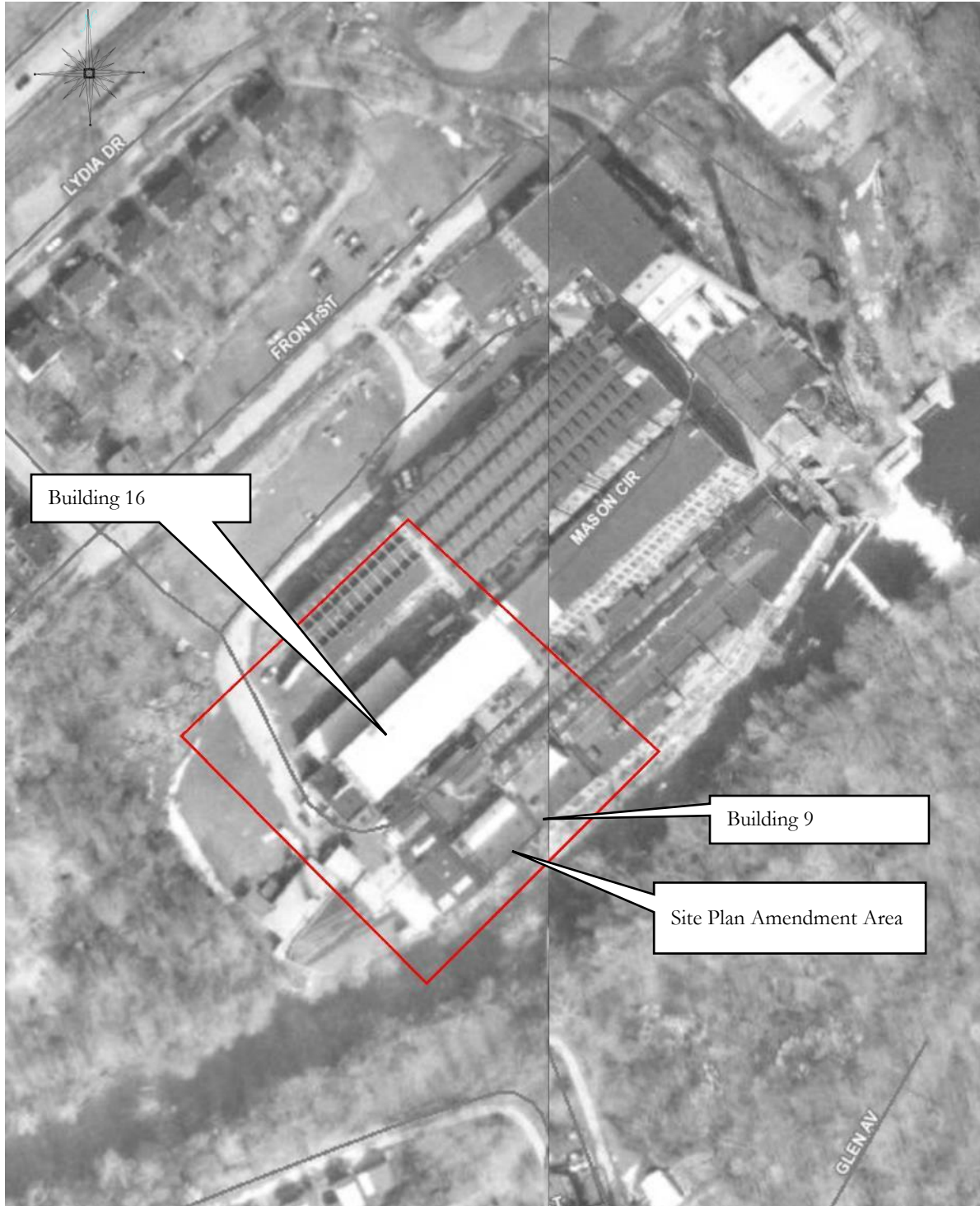


Figure 11: 1974 Aerial Image. Dutchess County, New York. (Source: Dutchess County Parcel Access) Scale: 1"=145'.

The 1974 aerial image shows that additional structures have been built between Building 16 and Building 9. Mason Circle, which currently passes along the southeastern side of building 16, is blocked by the additional structures between Buildings 16 and 9.



Photo 7: View to the north of the hydroelectric facilities located adjacent to the Groveville Mill Dam. These structures are located to the northeast of the proposed site plan amendment area.



Photo 8: View to the east of the existing dam along Fishkill Creek.



Photo 9: View to the northwest from the hydroelectric facility along Mason Circle between Building 11 (left) and Buildings 1-4 and 19-20 (right).



Photo 10: View to the southwest of Buildings 11 (right) and Building 16 (far ground).

## G: ASSESSMENT OF SENSITIVITY FOR CULTURAL RESOURCES

An assessment of whether significant cultural resources are likely to be present within the project area must consider what is known of the prehistory of the area, including likely locations of archaeological sites and proximity to known sites. In addition, the history of the immediate area, including whether any historic structures or features are known to exist within the project area boundaries, must be considered. Disturbance to the landscape and the soils on the property are also considered in this assessment.

### PRE-CONTACT SENSITIVITY

Four previously identified pre-contact archaeological sites have been identified within the vicinity of the project area. In addition, the proximity of the project area to Fishkill Creek heightens the pre-contact sensitivity of the property. The property has experienced commercial development for nearly 200 years. The disturbances created by the industrial development has reduced the pre-contact potential of the property to low.

### HISTORIC SENSITIVITY

Cartographic research confirmed that the property has been occupied by industrial mills and factory structures throughout the nineteenth and twentieth century. In addition, the early to mid-nineteenth century buildings were removed prior the construction of a carpet mill in the 1870's. The carpet mill was expanded at the turn of the century. The manufacturing structures were again expanded in the 1950s and once more in the 1970s. The property was listed as National Register Eligible in 1979.

The Groveville Mill Historic District is unique as a surviving example of integrated work housing in a factory setting in the Hudson Valley. While the residents on the property did not necessarily work at the factory, the buildings were occupied by local working class families through the twentieth century.

The Beacon Lofts project has retained the integrity of the property in the overall redevelopment concept, and has maintained the nineteenth century model of providing work space and housing within the same complex. The proposed undertaking consists of removing the unsafe factory building and constructing a similar style apartment building in its place. The amendment of the approved site plan includes an addition to Building 9 in a location occupied by factory buildings until 2004.

## H: SUMMARY AND RECOMMENDATIONS

The proposed Amendment to the Site Plan for the Beacon Lofts Project involves the construction of a compatibly styled building to replace Building 16, a late nineteenth to early twentieth century three story brick factory building. The proposed plan for the new Building 16 is to construct a similarly styled four story brick building within the footprint of the earlier factory building. The additional story of the new building, which is setback from exterior walls to differentiate the structure from the historic buildings, incorporates brick construction compatible with the overall character of the Groveville Mill Historic complex.

The proposed addition to Building 9 will include a two unit apartment building adjacent to the southern end of the existing structure. As with Building 16 the proposed addition will be constructed in a style compatible with the overall character of the Groveville Mill Historic Complex.

Based on the results of the background research and the site assessment, it can be confirmed that the property has experienced profound disturbance through the past two centuries through the phases of construction,

demolition and reconstruction than the property has experienced. Therefore, It is the opinion of Hudson Valley Cultural Resource Consultants that no further archaeological investigation of the project area is warranted.

The proposed removal of the existing Building 16 from the historic district is considered an adverse impact. However, the proposed design of reconstruction for Building 16 and the design of the addition to Building 9 are in compliance with the Sectary of the Interiors Standards for the Treatment of Historic Properties and effectively mitigate any adverse impacts to the Grovesville Mill Historic District.





Photo 11: View to the northeast of Building 16 (left) and Building 9 (right) within the Proposed Site plan Amendment area.



Photo 12: View to the southeast across the historic complex from Front Street.



Photo 13: View to the southwest of the residential buildings located along Front Street. These structures will not be impacted by the proposed undertaking.



Photo 14: View to the northeast along Front Street. The Beacon Lofts Offices and self-storage building are located at the end of the road.

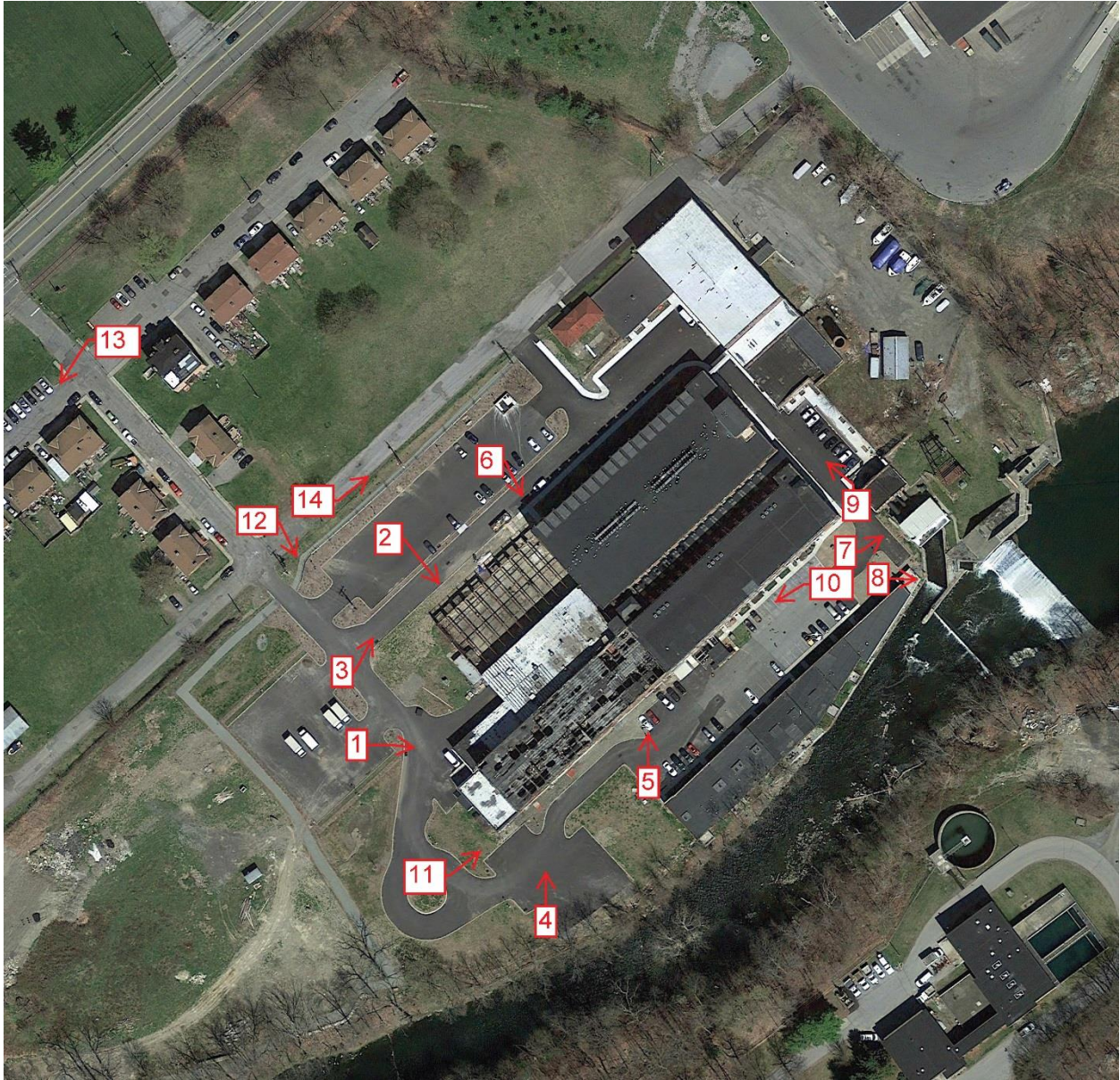


Figure 12: Photographic view map. Not to Scale.

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## APPENDIX A: SANBORN FIRE INSURANCE MAPS



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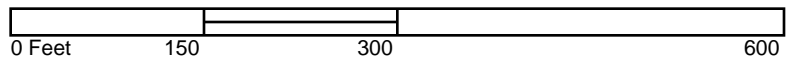
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 Client: Hudson Valley Cultural Resource Consultants  
 EDR Inquiry: 5098293.1  
 Order Date: 11/06/2017  
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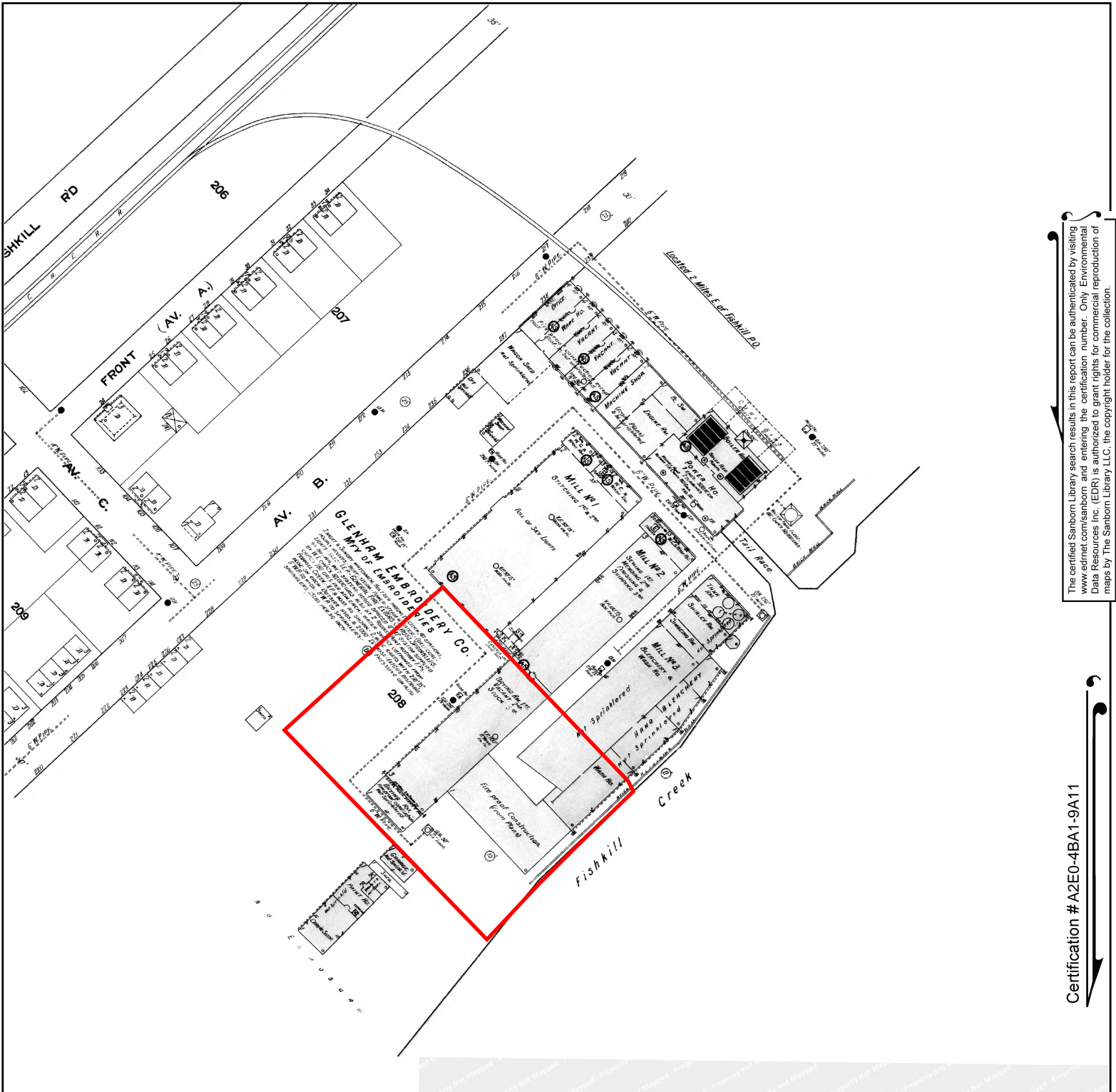
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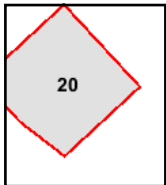
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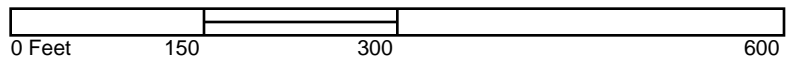
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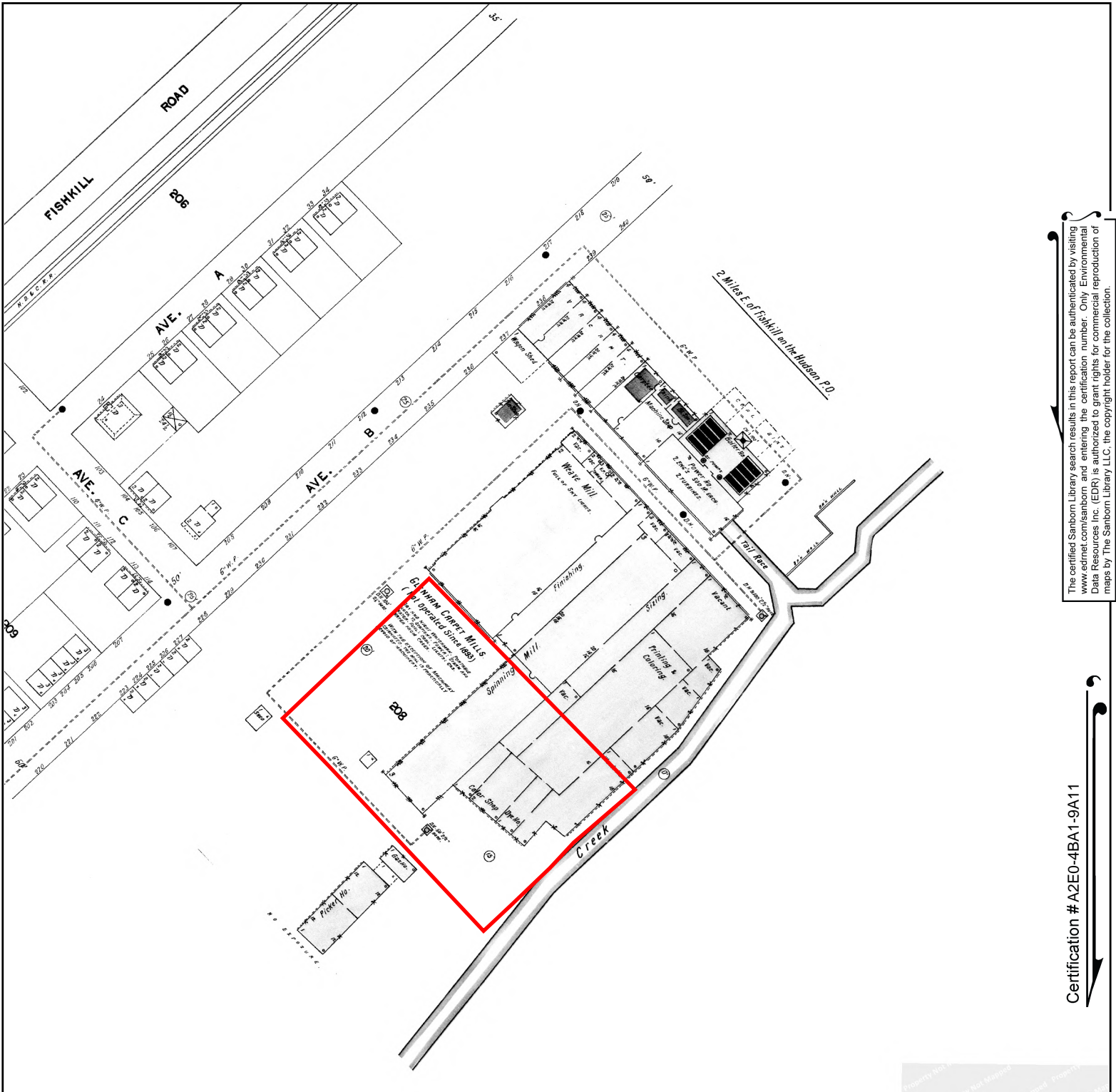


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Volume 1, Sheet 20





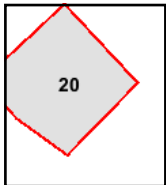
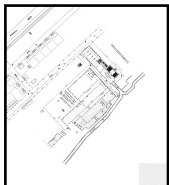
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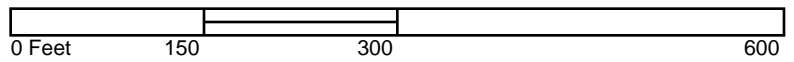
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 Order Date: 11/06/2017  
 Certification # A2E0-4BA1-9A11  
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This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 20



# M. A. Day Engineering, PC

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3 Van Wyck Lane  
Suite 2  
Wappingers Falls, New York 12590  
Phone: 845-223-3202

December 6, 2016

Mr. Timothy Dexter, Building Inspector  
City of Beacon Building Department  
City of Beacon City Hall  
1 Municipal Plaza  
Beacon, New York 12508

Re: Building #16  
Beacon Lofts

Mr. Dexter,

I am writing this letter to state that I have inspected the building known as #16 at the Beacon Lofts project in the City of Beacon. The purpose of inspecting the building was to determine the viability of restoring the building in its current condition. Based on my review, I offer the following:

The building is a 3-story masonry and timber structure that is currently in poor condition. The roof consists of timber trusses that span from front to back of the building. The trusses are supported with masonry piers on both the front and rear walls.

I have looked at this building a number of times over the last few years in order to develop a plan to reconstruct it. The first time that I had looked at the structure, the roof trusses on the east end of the building had collapsed on the upper floor. Over time the floor framing had collapsed onto the lower floors. The goal then was to reinforce the existing masonry walls with a bond beam and install new trusses on the roof.

Currently most of the roof has deteriorated. The remaining trusses are in very poor condition and some have begun to fail. Some of the framing from the lower floors have also begun to fail.

At this point, it is my opinion that reconstruction of the building may not be a viable option due to the cost of supporting the building while trying to reestablish lateral reinforcement of the masonry walls.

It is my opinion that the building should be carefully razed in order to protect the attached structures.

Shoring may be necessary to support the south wall of the laundry facility as this wall is a common wall. A portion of that wall and east wall may need to remain. This will be determined prior to the demolition of the building.



**Figure 1 – Recent Excerpt from Google Earth**

In summary, it is my opinion that the existing structure should be razed and replaced in-kind due to its current condition.

Please feel free to contact me if you require any further information on this matter.

Very truly yours,



Mark A. Day, PE

At the request of the reviewing agency, we have prepared a comparison of the original 140 unit development vs. the current proposed 172 unit development. The remainder of the development does not change.

If we compare **Tables 1 and 2**, there will be a net increase of 11 vehicle trips in the morning peak hour, 13 vehicle trips in the evening peak hour, and 21 vehicle trips in the Saturday peak hour. These additional trips represent the increase in residential units from 140 to 172.

We also compared the results of the Level of Service analysis which is shown in **Table 3**. We have highlighted the changes in yellow between the 140 unit and 172 unit development. There are no changes to the Level of Service (LOS). There are minor changes to the volume/capacity (v/c) ratio and average vehicle delay. In almost every case, the change in the v/c ratio is no greater than 0.2 except of one case where the change is 0.16 in the Saturday peak hour. The changes in the average vehicle delay are also undiscernible to the driver with changes being 0.2 seconds or less except for the Saturday peak hour where the change is 2.0 seconds. This is at the intersection of Route 52/Main Street/Teller Avenue for Route 52 westbound approach.

Since there is no change in the LOS and the changes to the v/c ratio and delays are de minimis, the plan with the 172 unit should be approved.

<b>TABLE 1A - Calculation of Weekday Peak Hour Trips</b>	
Mid-Rise Apartments Land Use 223 – 140 units	
Morning Peak Hour	Afternoon Peak Hour
Total Trips = $0.32 \times 140$ units = 45 trips	Total Trips = $0.40 \times 140$ units = 56 trips
Trips Entering = $0.31 \times 45$ trips = 14 trips	Trips Entering = $0.58 \times 56$ trips = 32 trips
Trips Exiting = $0.69 \times 45$ trips = 31 trips	Trips Exiting = $0.42 \times 56$ trips = 24 trips

<b>TABLE 1B - Calculation of Weekday Peak Hour Trips</b>	
Storage Facility Land Use 151 – 25,000 sq. ft.	
Morning Peak Hour	Afternoon Peak Hour
Total Trips = $0.14 \times 25,000$ sq. ft. = 4 trips	Total Trips = $0.26 \times 25,000$ sq. ft. = 7 trips
Trips Entering = $0.55 \times 4$ trips = 2 trips	Trips Entering = $0.50 \times 7$ trips = 4 trips
Trips Exiting = $0.45 \times 4$ trips = 2 trips	Trips Exiting = $0.50 \times 7$ trips = 3 trips

<b>TABLE 1C - Calculation of Weekend Day Peak Hour Trips</b>	
Mid-Rise Apartments Land Use 223 – 140 units	
Saturday Peak Hour	
Total Trips = $0.64 \times 140$ units = 90 trips	
Trips Entering = $0.43 \times 77$ trips = 39 trips	
Trips Exiting = $0.57 \times 77$ trips = 51 trips	

<b>TABLE 1D - Calculation of Weekend Day Peak Hour Trips</b>	
Storage Facility Land Use 151 – 25,000 sq. ft.	
Saturday Peak Hour	
Total Trips = $0.40 \times 25,000$ sq. ft. = 10 trips	
Trips Entering = $0.50 \times 10$ trips = 5 trips	
Trips Exiting = $0.50 \times 10$ trips = 5 trips	

<b>TABLE 2A - Calculation of Weekday Peak Hour Trips</b>	
Mid-Rise Apartments Land Use 223 – 172units	
Morning Peak Hour	Afternoon Peak Hour
Total Trips = $0.32 \times 172 \text{ units} = 56 \text{ trips}$	Total Trips = $0.40 \times 172 \text{ units} = 69 \text{ trips}$
Trips Entering = $0.31 \times 56 \text{ trips} = 18 \text{ trips}$	Trips Entering = $0.58 \times 69 \text{ trips} = 41 \text{ trips}$
Trips Exiting = $0.69 \times 56 \text{ trips} = 38 \text{ trips}$	Trips Exiting = $0.42 \times 69 \text{ trips} = 28 \text{ trips}$

<b>TABLE 2B - Calculation of Weekday Peak Hour Trips</b>	
Self-Storage Land Use 151 – 25,000 sq. ft.	
Morning Peak Hour	Afternoon Peak Hour
Total Trips = $0.14 \times 25,000 \text{ sq. ft.} = 4 \text{ trips}$	Total Trips = $0.26 \times 25,000 \text{ sq. ft.} = 7 \text{ trips}$
Trips Entering = $0.55 \times 4 \text{ trips} = 2 \text{ trips}$	Trips Entering = $0.50 \times 7 \text{ trips} = 4 \text{ trips}$
Trips Exiting = $0.45 \times 4 \text{ trips} = 2 \text{ trips}$	Trips Exiting = $0.50 \times 7 \text{ trips} = 3 \text{ trips}$

<b>TABLE 2C - Calculation of Weekend Day Peak Hour Trips</b>	
Mid-Rise Apartments Land Use 223 – 172 units	
Saturday Peak Hour	
Total Trips = $0.64 \times 172 \text{ units} = 111 \text{ trips}$	
Trips Entering = $0.43 \times 111 \text{ trips} = 48 \text{ trips}$	
Trips Exiting = $0.57 \times 111 \text{ trips} = 63 \text{ trips}$	

<b>TABLE 2D - Calculation of Weekend Day Peak Hour Trips</b>	
Self-Storage Land Use 151 – 25,000 sq. ft.	
Saturday Peak Hour	
Total Trips = $0.40 \times 25,000 \text{ sq. ft.} = 10 \text{ trips}$	
Trips Entering = $0.50 \times 10 \text{ trips} = 5 \text{ trips}$	
Trips Exiting = $0.50 \times 10 \text{ trips} = 5 \text{ trips}$	

**TABLE 3**

CAPACITY ANALYSIS SUMMARY  
2016 BUILD 140 Units VS 2016 BUILD CONDITIONS 172 Units  
SIGNALIZED INTERSECTIONS

	2016 BUILD CONDITIONS - 140 Units						2016 BUILD CONDITIONS - 172 Units					
	Weekday AM Peak			Saturday Peak			Weekday AM Peak			Saturday Peak		
	V/C	Ratio	Delay	V/C	Ratio	Delay	V/C	Ratio	Delay	V/C	Ratio	Delay
<b>Route 52/Verplanck Avenue</b>												
Route 52	0.40	11.7	B	0.40	11.6	B	0.40	11.7	B	0.40	11.8	B
Eastbound LTR	0.51	13.3	B	0.58	14.5	B	0.57	14.1	B	0.52	13.5	B
Westbound LTR												
Verplanck Avenue												
Northbound LTR	0.44	24.5	D	0.75	38.0	C	0.32	22.4	C	0.44	24.5	D
Southbound Lt	0.37	14.8	B	0.34	16.1	B	0.29	14.1	B	0.37	14.8	B
Southbound Th + Rt	0.28	13.7	B	0.26	13.3	B	0.28	13.5	B	0.28	13.7	B
Overall		14.6	B		18.2	B		14.1	B		14.6	B
<b>Route 52/Main Street/Teller Avenue</b>												
Teller Avenue												
Eastbound LTR	0.39	15.8	B	0.43	16.2	B	0.40	15.5	B	0.40	15.8	B
Westbound LTR												
Route 52	0.51	17.3	B	0.50	16.1	B	0.43	16.0	B	0.52	17.5	B
Westbound LTR												
Main Street												
Northbound LTR	0.24	8.8	B	0.40	10.2	B	0.50	12.9	A	0.24	8.8	B
Southbound LTR	0.25	9.1	A	0.32	9.8	B	0.49	11.2	A	0.26	9.1	A
Overall		13.5	B		13.1	B		13.6	B		13.6	B

**TABLE 3**

CAPACITY ANALYSIS SUMMARY  
2016 BUILD 140 Units VS 2016 BUILD CONDITIONS 172 Units  
UNSIGNALIZED INTERSECTIONS

	2016 BUILD CONDITIONS - 140 Units						2016 BUILD CONDITIONS - 172 Units					
	Weekday AM Peak			Saturday Peak			Weekday AM Peak			Saturday Peak		
	V/C	Ratio	Delay	V/C	Ratio	Delay	V/C	Ratio	Delay	V/C	Ratio	Delay
<b>Route 52/Mill Street</b>												
Route 52	0.00	0.0	A	0.00	0.0	A	0.00	0.0	A	0.00	0.0	A
Eastbound Th + Rt	0.02	8.3	A	0.04	8.6	A	0.03	8.8	A	0.02	8.3	A
Westbound Lt + Th												
Mill Street												
Northbound Lt + Rt	0.16	15.3	C	0.21	19.5	D	0.35	27.4	C	0.18	15.7	C
<b>Route 52/Delavan Avenue/STS Tire Driveway</b>												
Route 52	0.04	8.6	A	0.02	8.6	A	0.02	8.8	A	0.04	8.6	A
Eastbound LTR	0.01	8.4	A	0.01	8.4	A	0.01	8.4	A	0.00	8.4	A
Westbound LTR												
STS Tire Driveway												
Northbound LTR	0.01	11.4	B	0.04	14.8	D	0.01	28.7	B	0.01	11.4	B
Delavan Avenue												
Southbound LTR	0.31	27.6	C	0.17	19.1	C	0.17	22.1	D	0.31	27.8	C







NOTE: ALL EXTERIOR LIGHTING ON THE SITE SHALL BE DIRECTED AND/OR SHIELDED SO AS NOT TO CAUSE ANY OBJECTIONABLE GLARE OBSERVABLE FROM NEIGHBORING STREETS AND PROPERTIES. THE SOURCE (BULBS) OF SUCH LIGHTING SHALL NOT BE VISIBLE FROM SAID NEIGHBORING STREETS AND PROPERTIES. PHOTOMETRIC DIAGRAMS ARE SHOWN WITH SHIELDED CONDITIONS.



**POLE MOUNTED LIGHT (L1A)**  
SELUX LIGHTING "BETA PENDANT" POLE MOUNTED 100W FIXTURE, MODEL #BPC-LR2-1-H100-BK-120-HS-PC WITH LOW GLARE CUTOFF SHIELD, COLOR: BLACK, PHOTOCELL CONTROL, OR APPROVED EQUAL, MOUNTING HEIGHT ON A35 SERIES BLACK ALUMINUM POLE = 10 FEET

**POLE MOUNTED LIGHT (L1B)**  
SELUX LIGHTING "BETA PENDANT" POLE MOUNTED 150W FIXTURE, MODEL #BPC-LR2-1-H150-BK-120-HS-PC WITH LOW GLARE CUTOFF SHIELD, COLOR: BLACK, PHOTOCELL CONTROL, OR APPROVED EQUAL, MOUNTING HEIGHT ON A35 SERIES BLACK ALUMINUM POLE = 12 FEET

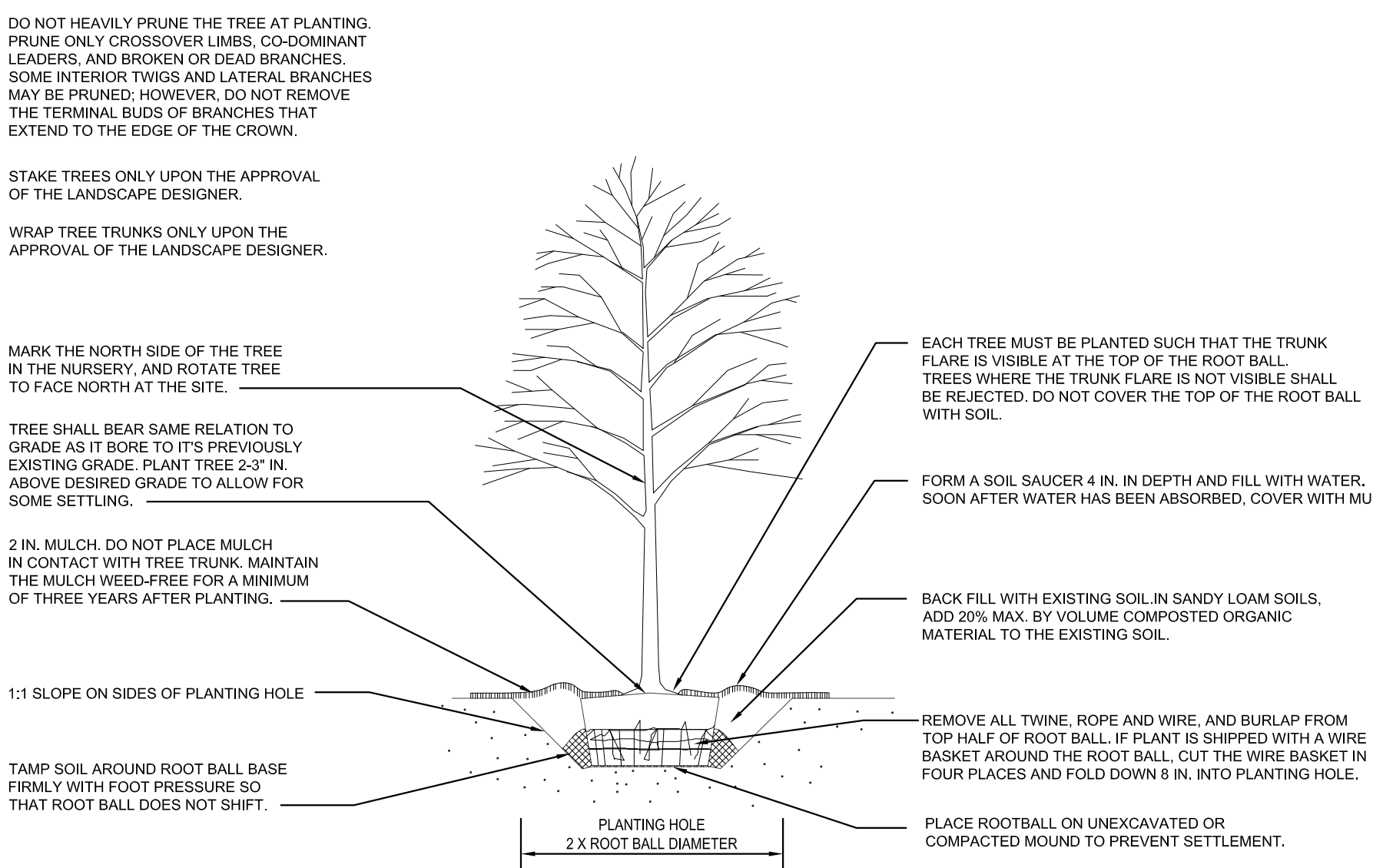
NOTE: AS AN ALTERNATE, THE OWNER MAY INSTALL EQUIVALENT WATTAGE LED FIXTURES IN PLACE OF THE INCANDESCENT FIXTURES SHOWN. LED LIGHTING WILL MEET THE SAME SPECIFICATIONS FOR LOW GLARE CUT OFF CONTROLS, EITHER BY SHIELDING OR INTERNAL CONTROLS.

**WALL MOUNTED LIGHT (L2)**  
SELUX LIGHTING "BETA PENDANT" WALL MOUNTED FIXTURE, MODEL #BPC-LR2-1-H100-BK-120-HS-PC WITH LOW GLARE CUTOFF SHIELD, COLOR: BLACK, PHOTOCELL CONTROL, OR APPROVED EQUAL, MOUNTING HEIGHT = 12 FEET

**WALL MOUNTED HOUSE LIGHT (L3)**  
BRANIKT ELECTRIC WALL MOUNTED FIXTURE, MODEL "WESCO GOOSENECK", 100W, COLOR: DARK GREEN METAL SHADE, OR APPROVED EQUAL, MOUNTING HEIGHT = 7 FEET

NOTE THAT THE MANUFACTURER DOES NOT PROVIDE FOOTCANDLE DIAGRAMS FOR THIS FIXTURE. THE FIXTURE IS SHARED AND DOES NOT EMIT GLARE

NOTE THAT PARKING LOT LIGHTING SHOWS A RECONFIGURATION OF THE PREVIOUSLY APPROVED FIXTURES. NO NEW PARKING LOT FIXTURES ARE PROPOSED. NEW HOUSE LIGHTING (L3) IS SHOWN AT BUILDING 16 AND THE ADDITION TO BUILDING 9. THIS MATCHES EXISTING INSTALLED LIGHTING THROUGHOUT THE PROPERTY



**TREE PLANTING DETAIL**

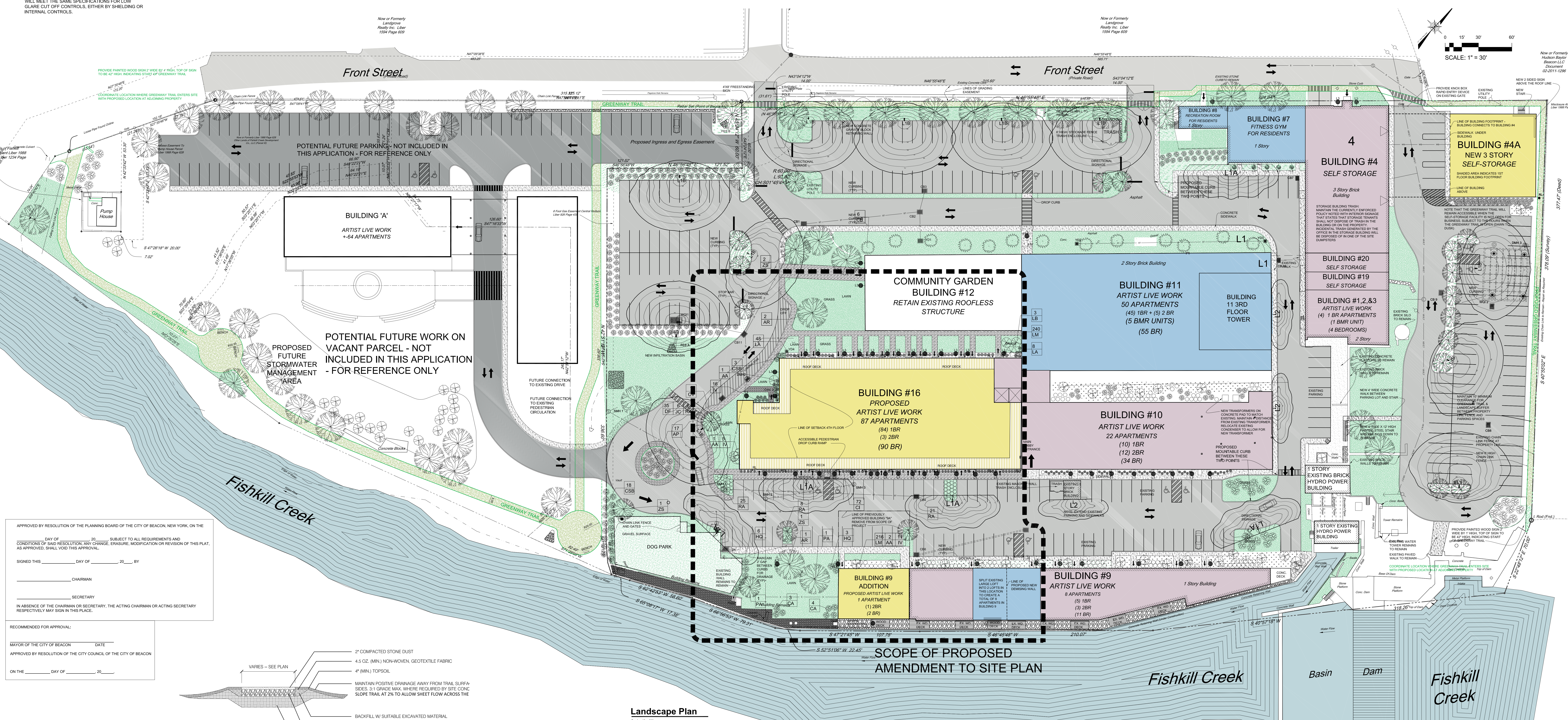
NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8 FT SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY RAILING OR GRATING.

**PLANT SCHEDULE - AMENDMENT TO SPECIAL USE PERMIT**

KEY	BOTANICAL NAME	QTY.	SIZE	ROOT	SPACING	COMMENTS
<b>TREES</b>						
AR	ACER RUBRUM	4	3" - 3.5"	B&B	SEE DRAWING	
AA	AMELANCHIER ARBOREA 'AUTUMN BRILLANCE' (SERVICEBERRY)	4	6"-7"	B&B	SEE DRAWING	MULTISTEM FORM
CB	CARPINUS BETULUS 'FASTIGIATA' (HORNBEAM)	6	6"-10"	B&B	SEE DRAWING	COLUMNAR FORM
CV	CRATAEGUS VIRIDIS 'WINTER KING' (HAWTHORN)	1	2.5" - 3"	B&B	SEE DRAWING	
LB	LINDERA BENZOIN (SPICEBUSH)	3	7 GAL.		SEE DRAWING	MULTISTEM FORM
PA	PLATANUS ACERIFOLIA	2	3" - 3.5"	B&B	SEE DRAWING	
ZS	ZELKOVA SERIRATA 'GREEN VASE'	4	3" - 3.5"	B&B	SEE DRAWING	
<b>SHRUBS</b>						
AP	AESCALUS PARVIFLORA (BOTTLEBRUSH BUCKEYE)	17	5 GAL.		8' O.C.	STAGGERED ROWS
CI	CARYOPTERIS INCANA 'JASON'	72	3 GAL.		4' O.C.	STAGGERED ROWS
CA	CLETHRA ALNIFOLIA 'RUBY SWEET'	7	3 GAL.		4' O.C.	STAGGERED ROWS
CSB	CORNUS SERICEA 'BAILEY' (REDTWIG DOGWOOD)	21	5 GAL.		4' O.C.	STAGGERED ROWS
HD	HYDRANGEA QUERCIFOLIA	9	5 GAL.		4' O.C.	STAGGERED ROWS
IV	ITEA VIRGINICA 'LITTLE HENRY' (VIRGINIA SWEETSPIRE)	46	2 GAL.		3.5' O.C.	STAGGERED ROWS
JC	JUNIPERUS CONFERTA 'BLUE STAR'	6	2 GAL.		3.5' O.C.	STAGGERED ROWS
LA	LEUCOTHEA AUXALIS	56	2 GAL.		3.5' O.C.	STAGGERED ROWS
RA	RHUS ARMATA 'GRO-LOW'	67	2 GAL.		4' O.C.	STAGGERED ROWS
<b>HERBACIOUS</b>						
DF	DESCHAMPSIA FLEXUOSA 'AUREA'	35	1 GAL.		18" O.C.	STAGGERED ROWS
LM	LIRIOPE MUSCARI 'VARIEGATA'	635	BR		6" O.C.	STAGGERED ROWS
<b>LAWN</b>						
SEEDED WITH CONTRACTOR'S LAKEVIEW CONSERVATION MIX (OR APPROVED EQUAL), APPLIED AT 3 LBS PER 1000SF. 45% PERENNIAL RYEGRASS, 30% ANNUAL RYEGRASS, 12% CREEPING RED FESCUE, 11% KENTUCKY BLUEGRASS, ALLEY CAT, 2% WHITE CLOVER, DUTCH. SOURCE: ERNST CONSERVATION SEEDS						

**LEGEND**

- X QUANTITY
- XX PLANT KEY
- PROPOSED SHRUB
- PROPOSED TREE
- PROPOSED LAWN
- PROPOSED GROUNDCOVER - HERBACIOUS



APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

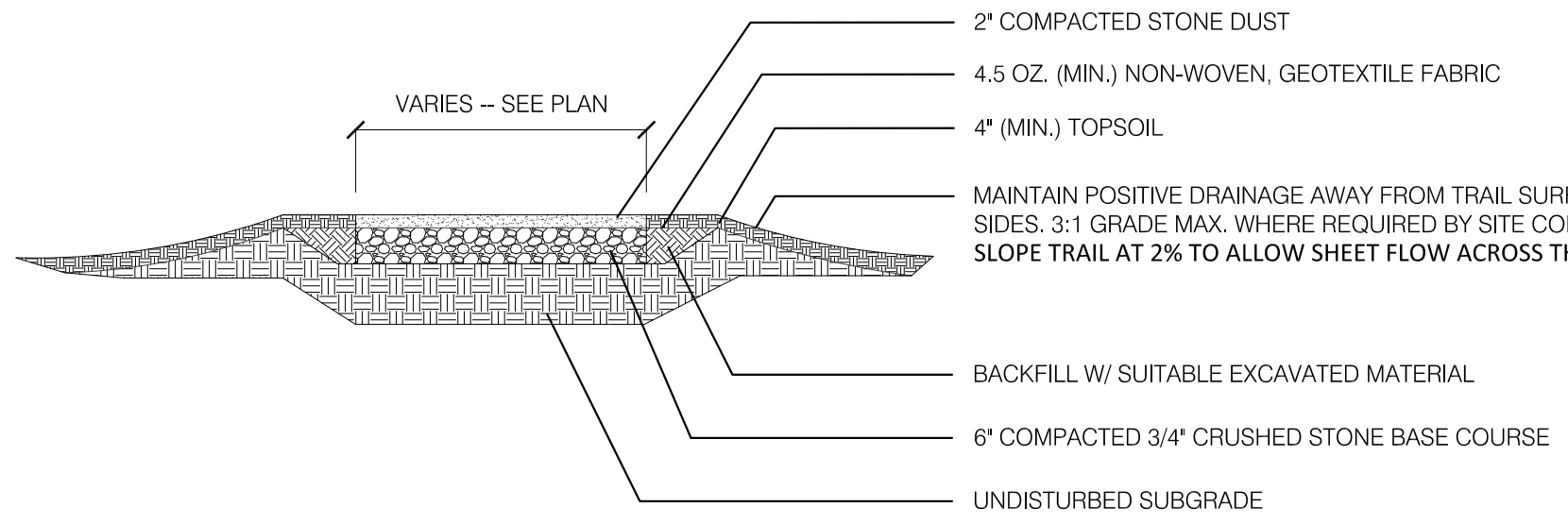
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN HIS PLACE.

RECOMMENDED FOR APPROVAL:

MAYOR OF THE CITY OF BEACON \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON \_\_\_\_\_

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_



**Typical Greenway Trail Cross Section**  
Scale: NTS

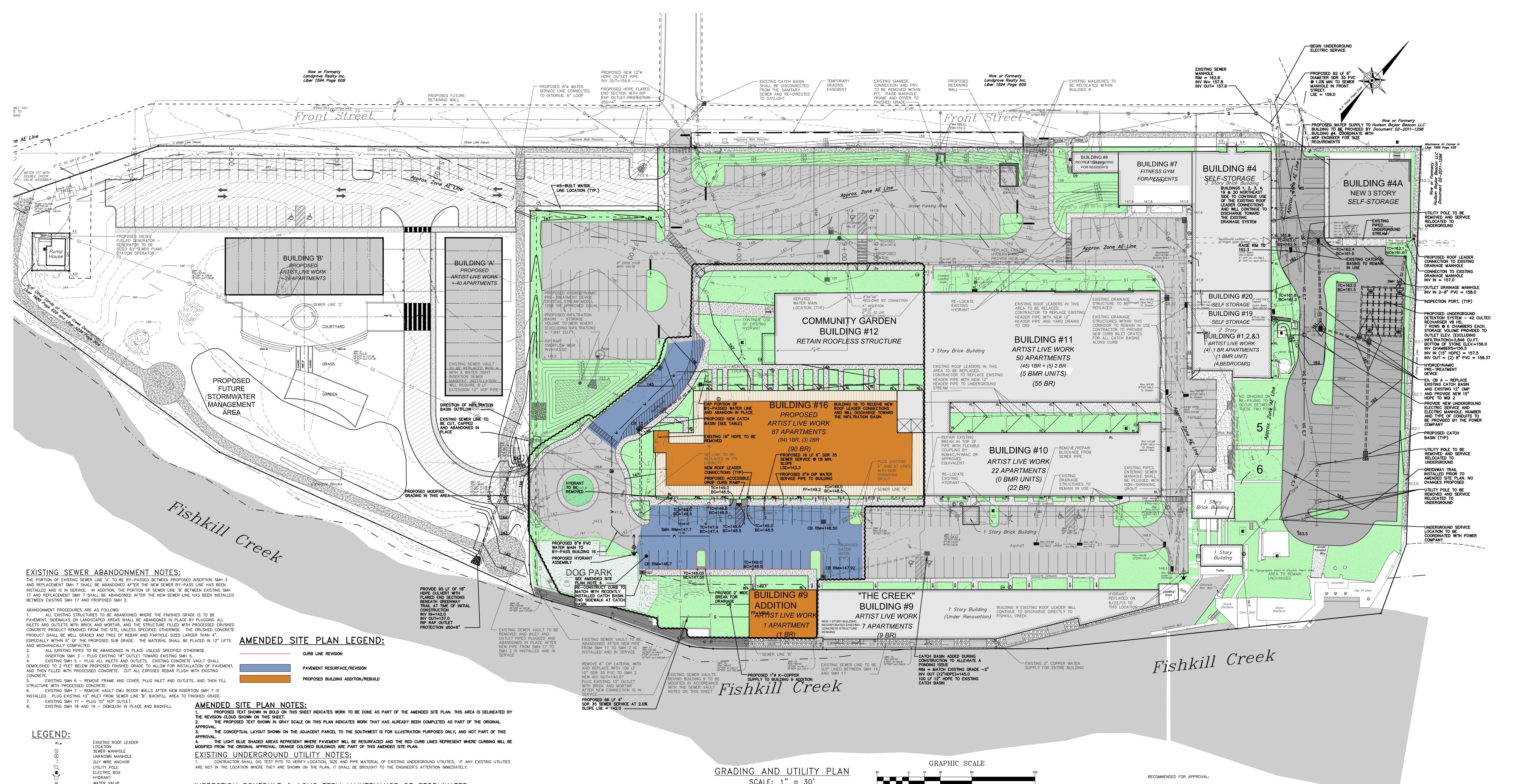
**Landscape Plan**  
Scale: 1" = 30'

NO.	DATE	REVISIONS:	DESCRIPTION	BY
1	08/29/17	REVISED PER PLANNING BOARD COMMENTS	AJS	
2	09/26/17	REVISED PER PLANNING BOARD COMMENTS	AJS	
3	10/31/17	REVISED PER PLANNING BOARD COMMENTS	AJS	
4	11/28/17	REVISED PER PLANNING BOARD COMMENTS	AJS	

**Amendment to Special Use Permit Application  
Landscape Plan & Lighting - Sheet 3 of 10**







**EXISTING SEWER ABANDONMENT NOTES:**

THE PORTION OF EXISTING SEWER LINE "A" TO BE BY-PASSED BETWEEN PROPOSED INSERTION SMH 3 AND REPLACEMENT SMH 7 SHALL BE ABANDONED AFTER THE NEW SEWER BY-PASS LINE HAS BEEN INSTALLED AND IS IN SERVICE. IN ADDITION, THE PORTION OF SEWER LINE "B" BETWEEN EXISTING SMH 17 AND REPLACEMENT SMH 7 SHALL BE ABANDONED AFTER THE NEW SEWER LINE HAS BEEN INSTALLED BETWEEN EXISTING SMH 17 AND PROPOSED SMH 2.

ABANDONMENT PROCEDURES ARE AS FOLLOWS:

1. ALL EXISTING STRUCTURES TO BE ABANDONED WHERE THE FINISHED GRADE IS TO BE PAVED, SIDEWALKS OR LANDSCAPED AREAS SHALL BE ABANDONED IN PLACE BY FILLING ALL INLETS AND OUTLETS WITH BRICK AND MORTAR, AND THE STRUCTURE FILLED WITH PROCESSED CRUSHED CONCRETE PRODUCT REMOVED FROM THE SITE, UNLESS SPECIFIED OTHERWISE. THE CRUSHED CONCRETE PRODUCT SHALL BE WELL GRADED AND FREE OF REBAR AND PARTICLES LARGER THAN 4" ESPECIALLY WITHIN 6" OF THE PROPOSED SUB GRADE. THE MATERIAL SHALL BE PLACED IN 12" LIFTS AND MECHANICALLY COMPACTED.
2. ALL EXISTING PIPES TO BE ABANDONED IN PLACE UNLESS SPECIFIED OTHERWISE.
3. INSERTION SMH 3 - PLUS EXISTING 18" OUTLET TOWARD EXISTING SMH 5.
4. EXISTING SMH 5 - PLUS ALL INLETS AND OUTLETS. EXISTING CONCRETE WALL SHALL DEMOLISHED TO 2 FEET BELOW PROPOSED FINISHED GRADE TO ALLOW FOR INSTALLATION OF PAVEMENT, AND THEN FILLED WITH PROCESSED CONCRETE. CUT ALL EXPOSED REBAR FLUSH WITH EXISTING CONCRETE.
5. EXISTING SMH 6 - REMOVE FRAME AND COVER, PLUG INLET AND OUTLETS, AND THEN FILL STRUCTURE WITH PROCESSED CONCRETE.
6. EXISTING SMH 7 - REMOVE VAULT CMU BLOCK WALLS AFTER NEW INSERTION SMH 7 IS INSTALLED. PLUS EXISTING 10" INLET FROM SEWER LINE "B" BACKFILL AREA TO FINISHED GRADE.
7. EXISTING SMH 17 - PLUS 10" VCP OUTLET.
8. EXISTING SMH 18 AND 19 - DEMOLISH IN PLACE AND BACKFILL.

**AMENDED SITE PLAN LEGEND:**

- CURB LINE REVISION
- PAVEMENT RESURFACE/REVISION
- PROPOSED BUILDING ADDITION/REBUILD

**AMENDED SITE PLAN NOTES:**

1. PROPOSED TEXT SHOWN IN BOLD ON THIS SHEET INDICATES WORK TO BE DONE AS PART OF THE AMENDED SITE PLAN. THIS AREA IS DELINEATED BY THE REVISION CLOUD SHOWN ON THIS SHEET.

2. THE PROPOSED TEXT SHOWN IN GRAY SCALE ON THIS PLAN INDICATES WORK THAT HAS ALREADY BEEN COMPLETED AS PART OF THE ORIGINAL APPROVAL.

3. THE CONCEPTUAL LAYOUT SHOWN ON THE ADJACENT PARCEL TO THE SOUTHWEST IS FOR ILLUSTRATION PURPOSES ONLY, AND NOT PART OF THIS APPROVAL.

4. THE LIGHT BLUE SHADED AREAS REPRESENT WHERE PAVEMENT WILL BE RESURFACED AND THE RED CURB LINES REPRESENT WHERE CURBING WILL BE MODIFIED FROM THE ORIGINAL APPROVAL. GRAY COLORED BUILDINGS ARE PART OF THIS AMENDED SITE PLAN.

**LEGEND:**

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**INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES**

**CATCH BASINS AND PIPING:**

ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATED WITHIN THE CATCH BASIN REACHES 1/2 OF THE CATCH BASIN DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

**HYDRODYNAMIC DEVICES:**

THE VORTEX UNITS SHALL BE INSPECTED QUARTERLY DURING THE FIRST YEAR OF OPERATION. THE MANUFACTURER RECOMMENDS THAT THE CDS UNITS BE INSPECTED BI-ANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL). THE STRUCTURE SHALL BE VISUALLY INSPECTED FOR BLOCKAGES OR OBSTRUCTIONS IN THE INLET OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO QUANTIFY ACCUMULATION OF HYDROCARBONS, SEDIMENT AND TRASH WITHIN THE SYSTEM. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK ONCE A YEAR (EXCEPT FOR THE FIRST YEAR WHERE MORE FREQUENT CLEANINGS MAY BE REQUIRED).

**INFILTRATION BASIN:**

THE INFILTRATION BASIN SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED FOR SEDIMENT AND DEBRIS MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY. PLANNINGS SHALL BE INSPECTED MONTHLY FOR HEIGHT, FERTILIZER, QUANTITY AND UNAUTHORIZED INVASIVE OR INAPPROPRIATE SPECIES. AFTER STORM EVENTS, THE INFILTRATION BASIN DEWATERING DURATION SHOULD ALSO BE MONITORED. THE BASIN FLOOR SHALL BE CLEANED AS REQUIRED; HOWEVER, THE GRASS HEIGHT SHALL NOT EXCEED 18". SEDIMENT SHALL BE CLEANED OUT OF THE INFILTRATION BASIN ANNUALLY.

**BIODETERIORATION AREAS:**

BIODETERIORATION AREAS SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED FOR SEDIMENT AND DEBRIS MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY. PLANNINGS SHALL BE INSPECTED MONTHLY FOR HEIGHT, FERTILIZER, QUANTITY AND UNAUTHORIZED INVASIVE OR INAPPROPRIATE SPECIES. GRASS HEIGHT SHALL BE KEPT BELOW 6" IN HEIGHT. AFTER STORM EVENTS, THE BIODETERIORATION'S DEWATERING DURATION SHOULD ALSO BE MONITORED. SEDIMENT SHALL BE CLEANED OUT OF THE BIODETERIORATION AREA ANNUALLY.

**GENERAL CONSTRUCTION NOTES:**

1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
2. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPDS @ 1-800-962-7962.
3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
4. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATER-TIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

**POST CONSTRUCTION NOTES:**

1. UPON COMPLETION OF CONSTRUCTION OF THE STORMWATER FACILITIES, AS-BUILT DRAWINGS OF ALL STORMWATER PRACTICES AND AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON.

**EXISTING SEWER VAULT NOTES:**

1. ALL EXISTING SEWER VAULTS BEHIND BUILDING 9 (SMH 14, 15, 16, AND 17) ALONG FISHKILL CREEK SHALL BE MADE WATER-TIGHT BY REPAIRING LEAKS WITH NON-SHRINKING GROUT, AND THEN BY APPLICATION OF TWO COATS OF BITUMINOUS COATING WITHIN THE VAULT.
2. ANY LATERAL CONNECTIONS TO SEWER VAULTS THAT WILL NOT BE USED SHALL BE PLUGGED WITH BRICK AND MORTAR FOR LARGER PIPES, OR NON-SHRINKING GROUT FOR SMALLER PIPES.
3. REFER TO SEWER INFILTRATION AND INFLOW REPORT AND SANITARY STRUCTURE REPAIR SCHEDULE ON THIS SHEET FOR ADDITIONAL REPAIRS AND CORRECTIVE MEASURES TO BE TAKEN.

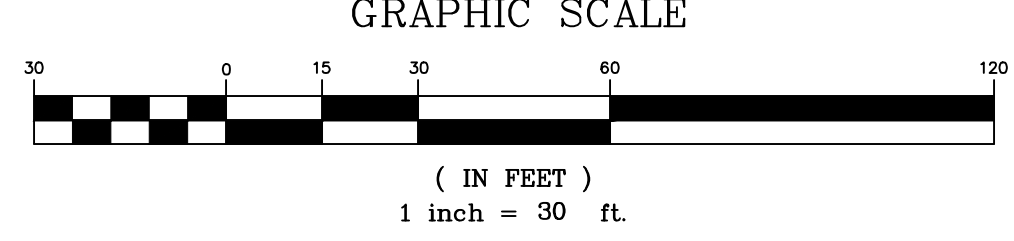
**DRAINAGE STRUCTURE SCHEDULE**

STRUCTURE ID	RM ELEVATION (FT)	IN (FT)	IN (FT)	IN (FT)	OUT (FT)	LENGTH (FT)	SLOPE (%)	PIPE # (INCHES)	DOWNSTREAM STRUCTURE	
WOJ 1	145.0			140.54 (CB 11)	140.34	18	1.89	24	FES 4	
CB 1	146.8			142.13	141.89	110	0.50	18	CB 11	
CB 2	145.8	142.9 (10")		142.8 (CB 3)	142.7	105	0.54	15	CB 1	
WOJ 2	147.3			143.7	18	5.63	15	18	CB 2	
WOJ 3	146.2			143.5	25	1.00	12	12	CB 2	
CB 4	147.5	144.30 (12" RL)		144.05 (CB 6)	144.05	170	0.50	15	DMH 1	
DMH 1	147.8	144.0 (12" RL)	143.2 (CB 5)	143.2 (CB 4)	142.90	82	0.95	18	CB 12	
DMH 2	145.0	142.30 (10")		142.30 (12" RL)	141.80	40	1.12	18	CB 11	
CB 6	147.3	142.30 (10")		144.3	50	0.50	15	18	CB 6	
CB 11	144.4			141.33 (CB 1)	141.33 (DMH 2)	140.53	37	1.00	24	WOJ 3
CB 7	147.0			144.0	13	1.00	15	12	UG STREAM	
WOJ 4	160.7			157.7 (CB 6)	157.95 (EX CB A)	156.6	5	2.00	15	UG DETENTION
CB 8	162.5			159.9	102	1.76	15	12	WOJ 3	
CB 9	160.85			158.7	158.6	45	1.44	12	WOJ 3	
DMH 3	161.4			158.0	157.42	37	1.44	15	EX DMH	
CB 10	147.0			144.07	144.0	7	0.50	12	UG STREAM	
WOJ 5	147.0			145.1	166	0.50	12	12	WOJ 5	
WOJ 6	147.8			144.27	144.17	20	0.50	12	CB 9	
FES 4									140.00	
UG DET 1				156.5	158.37	7	2.37	(2) 8" PVC	DMH 3	
CB 12	145.3	142.1 (DMH 1)		142.1	27	1.0	18	12	DMH 2	
WOJ 4	146.0	142.7		142.7	41	1.0	12	12	DMH 2	

**FLOOD ELEVATION NOTES:**

1. THE 100 YEAR FLOOD ELEVATION SHOWN ON THIS PLAN WAS TAKEN FROM FEMA FLOOD PANEL 300217 020464, COMPLETED IN MAY, 2012.
2. THE 100 YEAR FLOOD ELEVATION WITHIN THE VICINITY OF THE EXISTING BUILDINGS IS 147.0. THE LOWEST FINISHED FLOOR ELEVATION OF THE BUILDINGS SHALL BE LOCATED A MINIMUM OF 2 FEET ABOVE THE 100 YEAR FLOOD ELEVATION.
3. THE FFE OF BUILDING 16 AND BUILDING 9 ADDITION ARE SET AT 146.2.

**GRADING AND UTILITY PLAN**  
SCALE: 1" = 30'



**EXISTING SANITARY STRUCTURE REPAIR SCHEDULE**

STRUCTURE ID OR PIPE/STATION	REQUIRED REPAIRS/IMPROVEMENTS
EX SMH 1	RE-PAVE MANHOLE
EX SMH 2	RE-PAVE MANHOLE
LINE A STA. 44.83	CUT OUT PIPE SECTION WITH BLOCKAGE AND REPLACE WITH 18" SER 35 AND FLEXIBLE PIPE COUPLERS
LINE A STA. 34.76	REPAIR BREAK IN TOP OF PIPE WITH FLEXIBLE COUPLER
EX SMH 4	PLUS 4" & 6" CP PIPES FROM FLOOR DRAINS, RE-PAVE MANHOLE
LINE A STA. 24.26	PLUG INSERTION MANHOLE ON LINE, PLUS EXISTING 18" VCP OUTLET AFTER NEW PIPES ARE INSTALLED
EX SMH 5	FILL VAULT WITH GRAVEL AFTER NEW GRAVITY SEWER BY-PASS IS INSTALLED
EX SMH 6	PLUS 10" PIPE FROM SMH 19, REPLACE VAULT WITH NEW CONCRETE INSERTION 'DOGGHOUSE' MANHOLE
EX SMH 8 & 9	RE-PAVE MANHOLE
EX SMH 11 & 12	LOCATE MANHOLES AND PROVIDE EXTENSION RINGS TO GRADE. RE-PAVE MANHOLES IF NECESSARY
EX SMH 14, 15, 16, & 17	PROVIDE WATER-TIGHT COVER, PROVIDE 2 COATS OF BITUMINOUS COATING WITHIN MANHOLE INTERIOR. REMOVE ALL BRUSH AND TREES LOCATED OVER SEWER LINE TO PREVENT FUTURE ROOT INTRUSION.
EX SMH 19	REMOVE VAULT AND PLUS PIPES AFTER NEW PIPE IS INSTALLED FROM SMH 17 TO PROPOSED SMH 2.

**SANITARY SEWER STRUCTURE SCHEDULE**

STRUCTURE ID	RM ELEVATION (FT)	IN (FT)	IN (FT)	IN (FT)	OUT (FT)	LENGTH (FT)	SLOPE (%)	PIPE # (INCHES)	DOWNSTREAM STRUCTURE
EX SMH 17	147.92			146.07	157	1.29	10	10	SMH 2
SMH 1	146.2	137.87 (18")		140.0 (12")	137.27	137.87	15.7	18	EX SMH 8
SMH 2	147.2	138.18 (18")		138.68 (10")	140.0 (6")	138.18	15.7	18	SMH 1
SMH 3	148.0	138.34 (18")		138.34	76	0.211	18	SMH 2	

**NOTES:**

- 1) SMH = SEWER MANHOLE, LSE = LOW SEWER INVERT, VCP = VITRIFIED CLAY PIPE, EX = EXISTING
- 2) CB = CATCH BASIN, OCS = OUTLET CONTROL STRUCTURE, YO = YARD DRAIN, WOJ = HYDRODYNAMIC WATER QUALITY INLET, RL = ROOF LEADER
- 3) PROPOSED SMH 1 WILL REQUIRE AN 8' LF EXTENSION TO BE PLACED ON THE END OF THE 12" VCP

RECOMMENDED FOR APPROVAL: \_\_\_\_\_ DATE \_\_\_\_\_

MAYOR OF THE CITY OF BEACON

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION ANY CHANGE, ENLARGEMENT, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 088716

NO.	DATE	DESCRIPTION	BY
1	8/29/17	PER PLANNING BOARD COMMENTS	CMB
2	9/26/17	PER PLANNING BOARD COMMENTS	CMB
3	10/31/17	PER PLANNING BOARD COMMENTS	CMB
4	11/21/17	PER PLANNING BOARD COMMENTS	CMB

**Amendment to Special Use Permit**  
**Grading And Utility Plan**  
Sheet 6 of 10

Owner:  
**Beacon HIP Lofts, LLC**  
30 Front Street  
Beacon, NY 12508

Architect:  
**Aryeh Siegel, Architect**  
514 Main Street  
Beacon, New York 12508

Site/Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

Landscape Design:  
**Landscape Design**  
P.O. Box 244  
Beacon, NY 12508

Surveyor:  
**TEC Land Surveying**  
Main Street  
Beacon, New York 12508

**Beacon HIP Lofts**  
Beacon, New York  
Scale: As Noted  
July 25, 2017

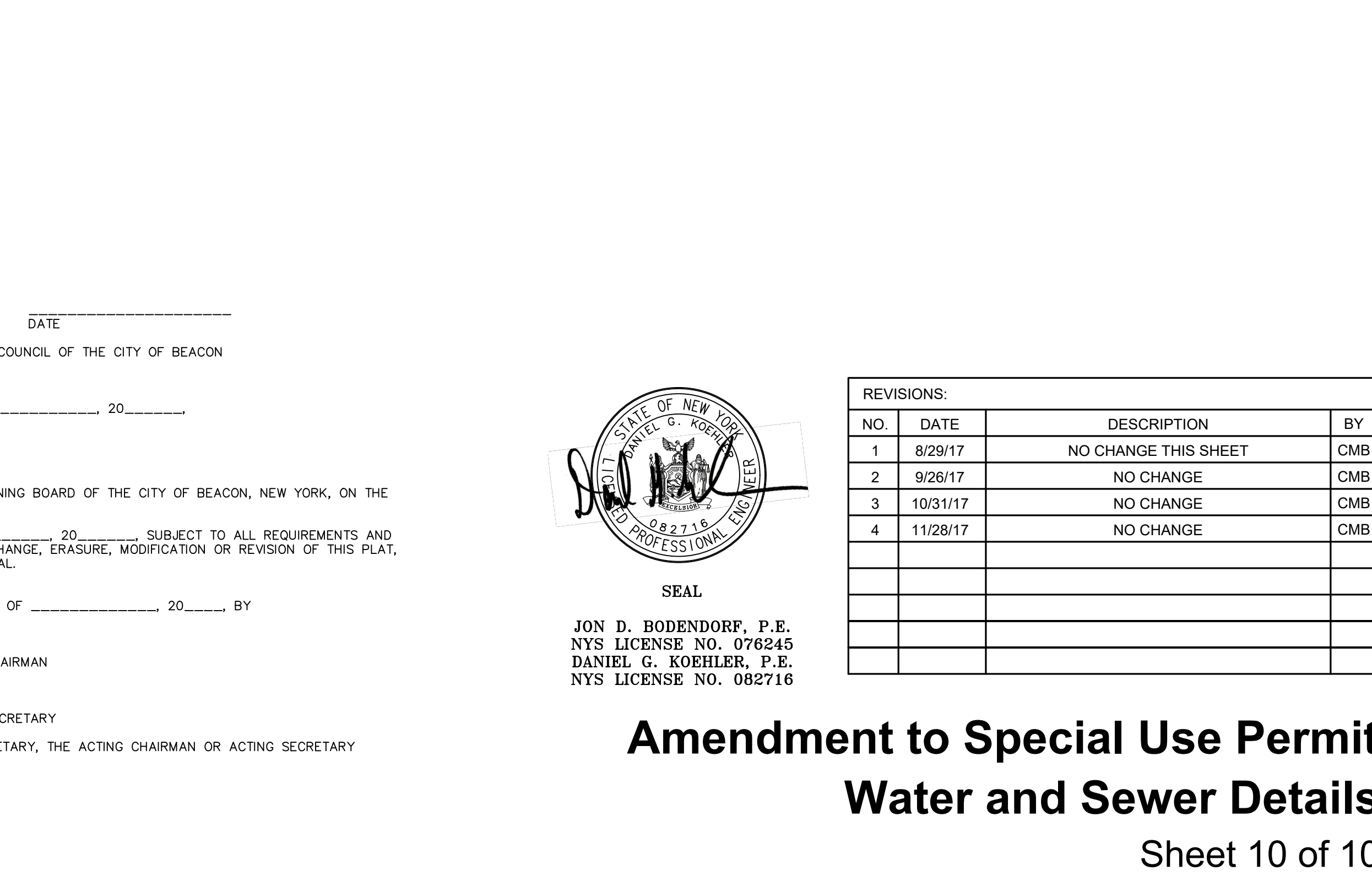
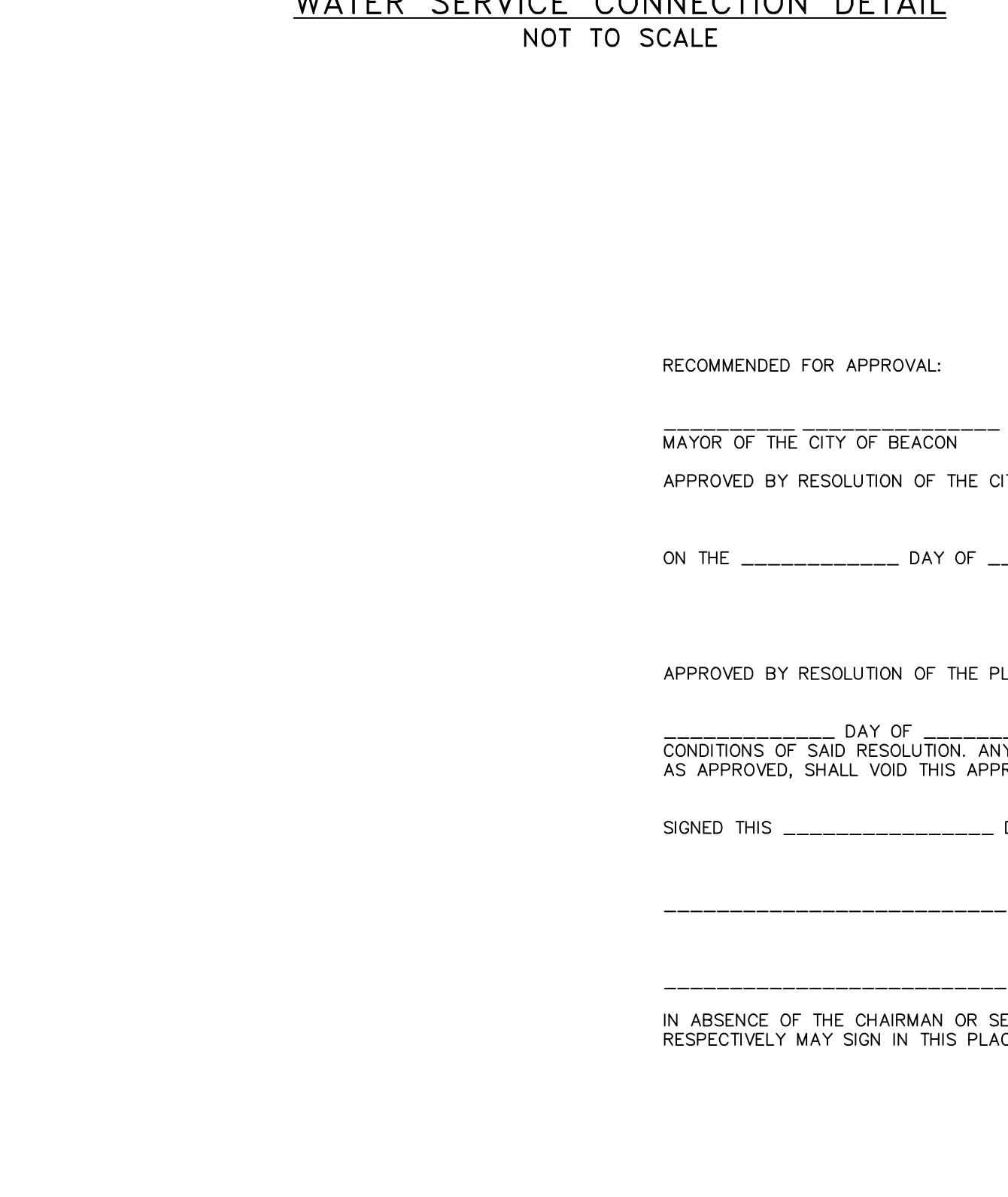
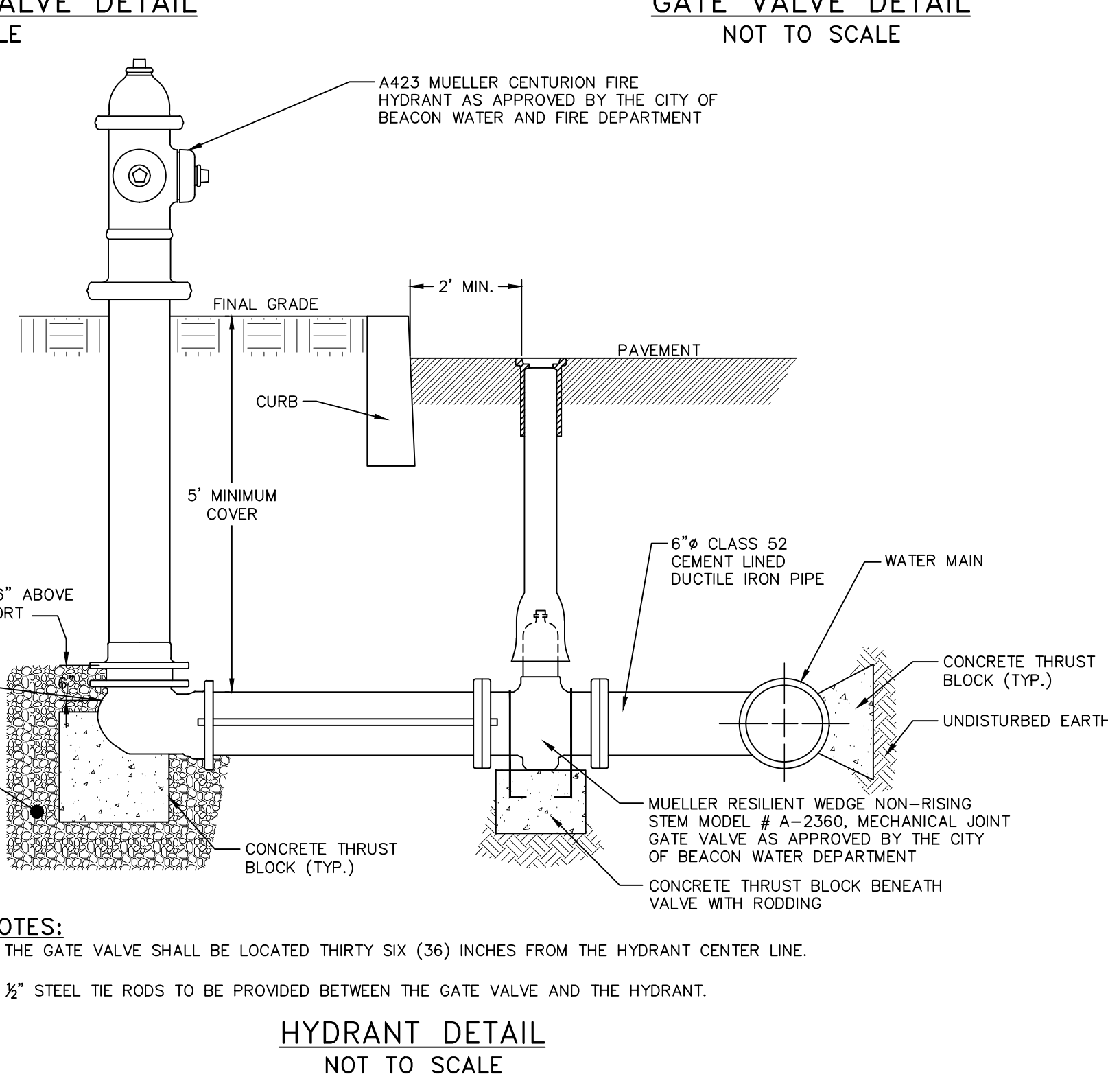
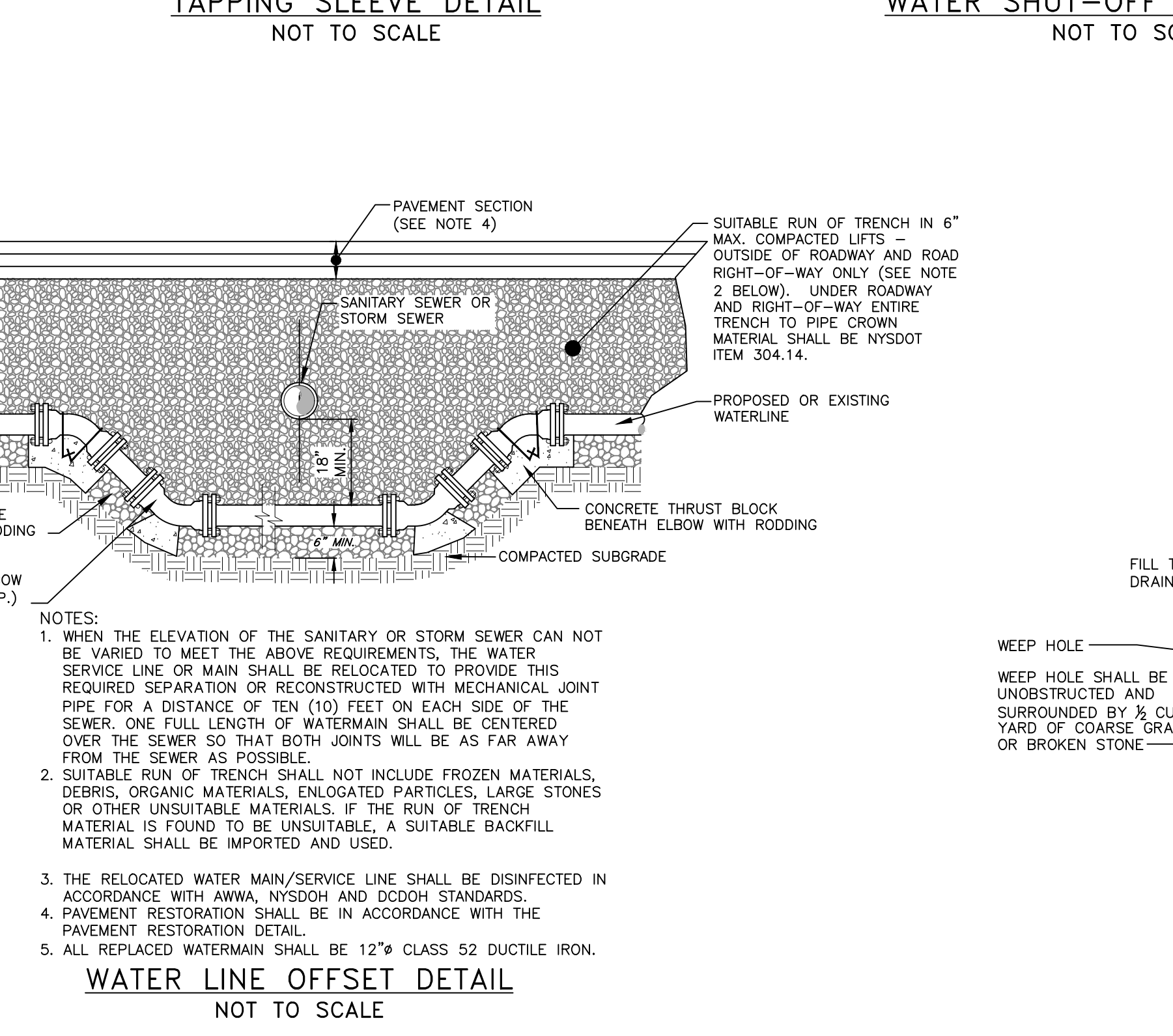
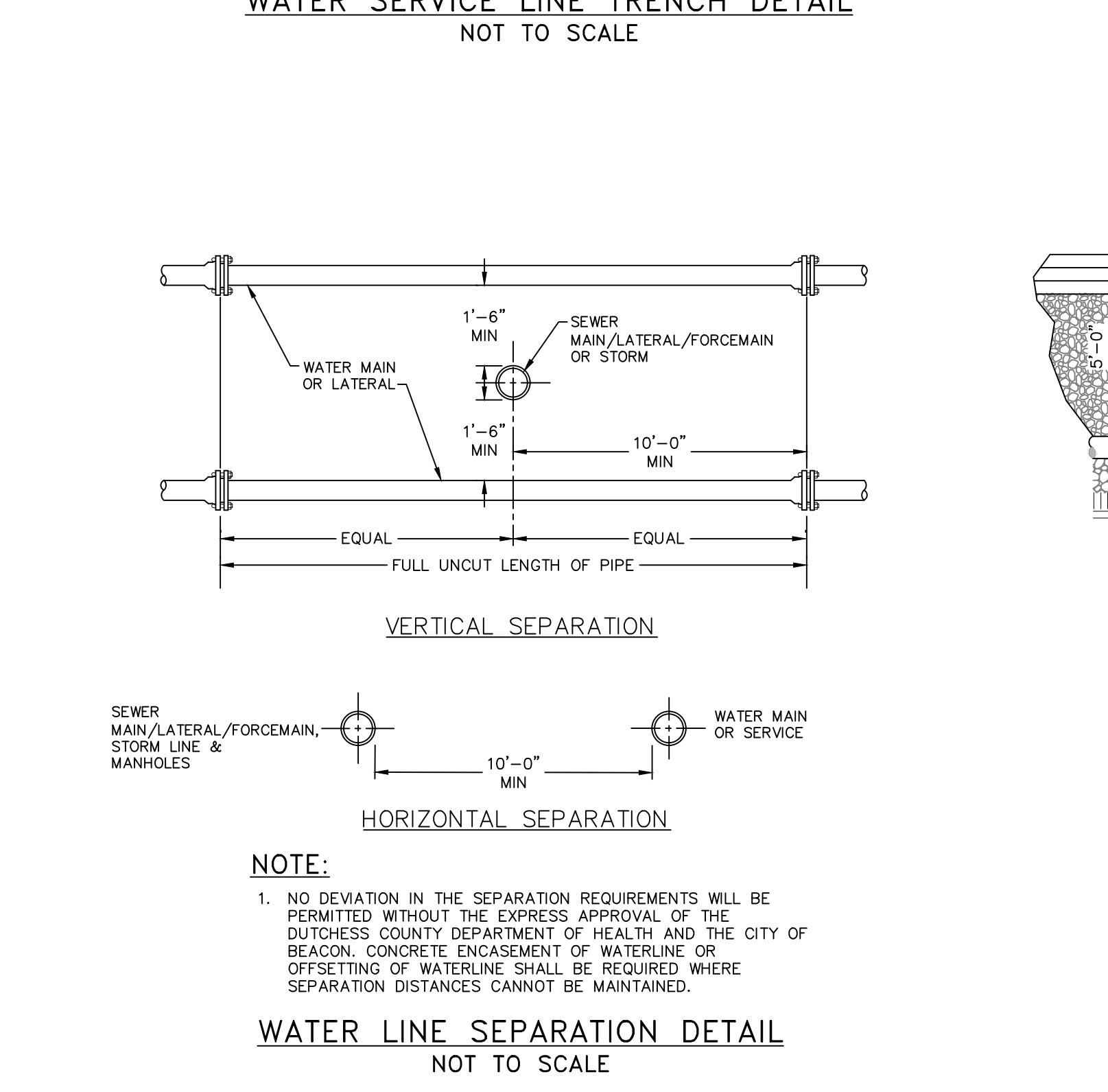
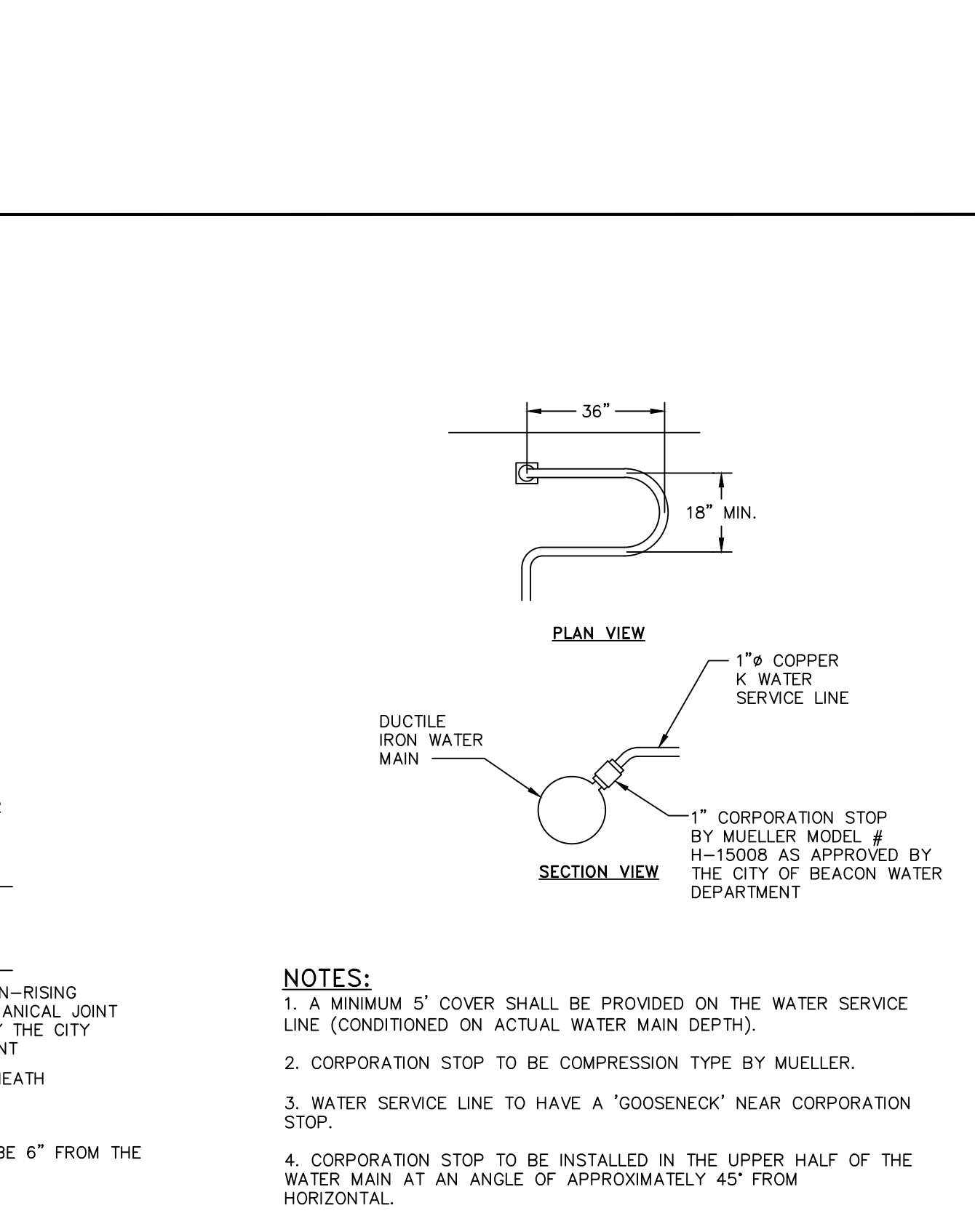
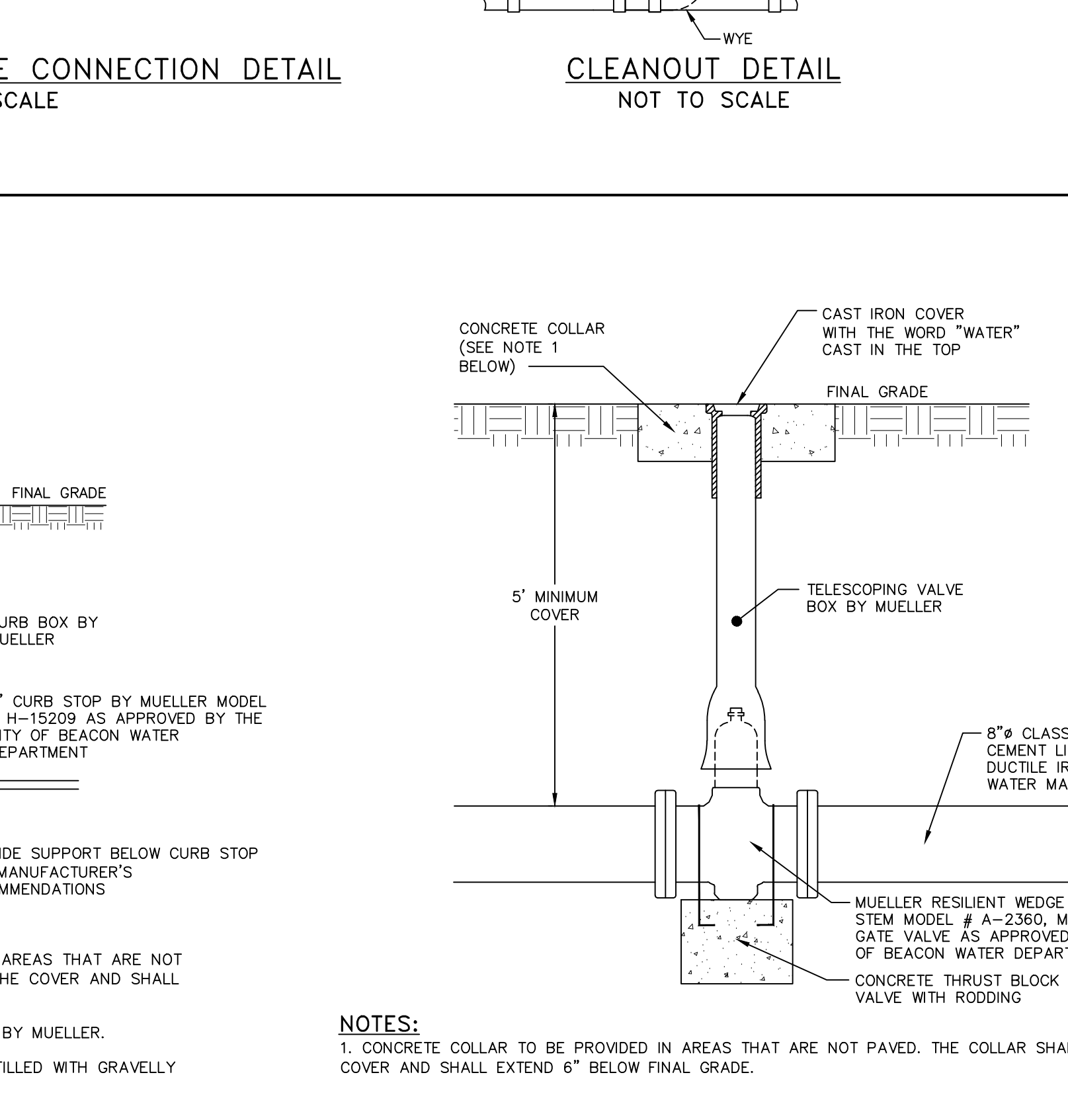
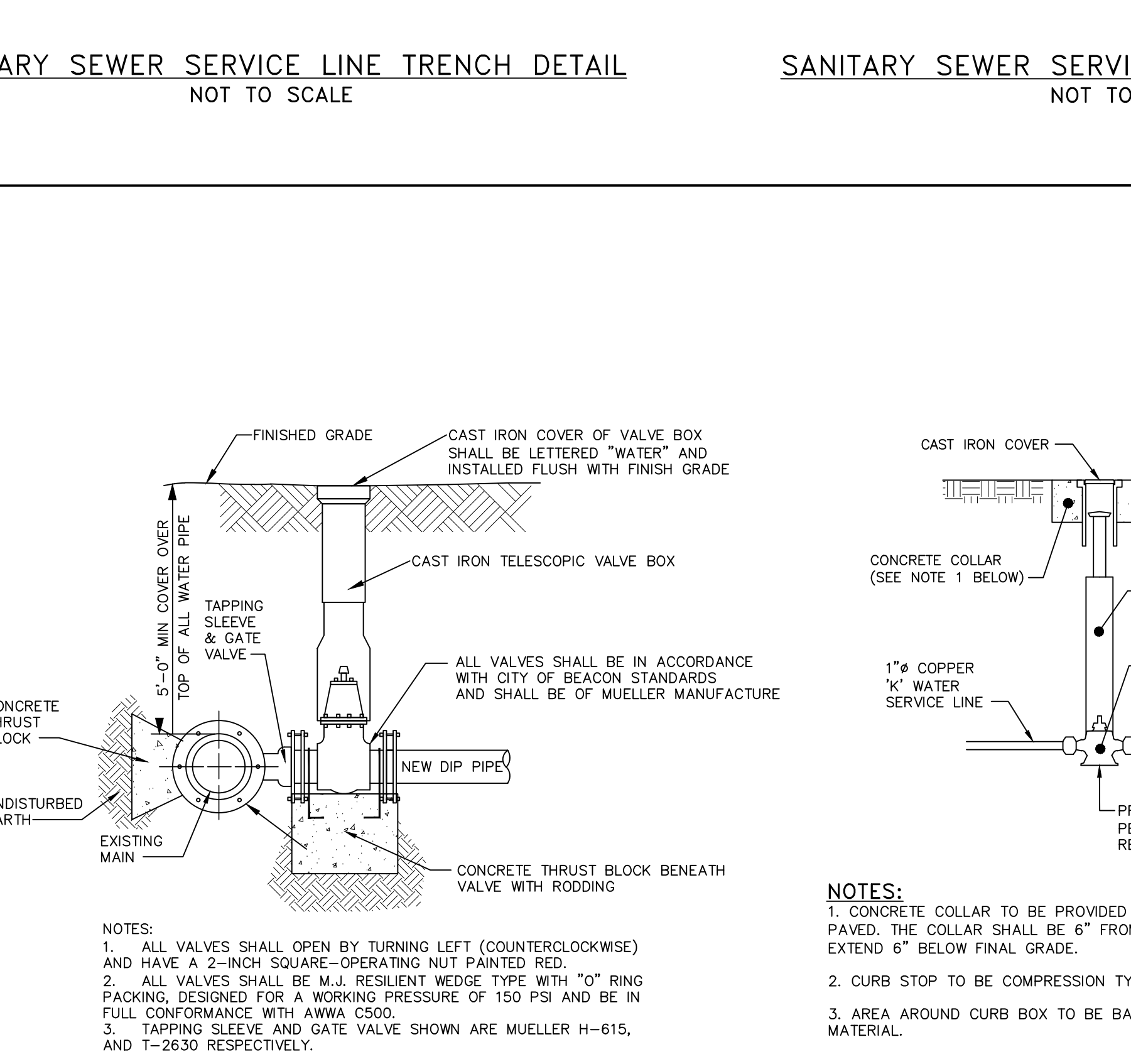
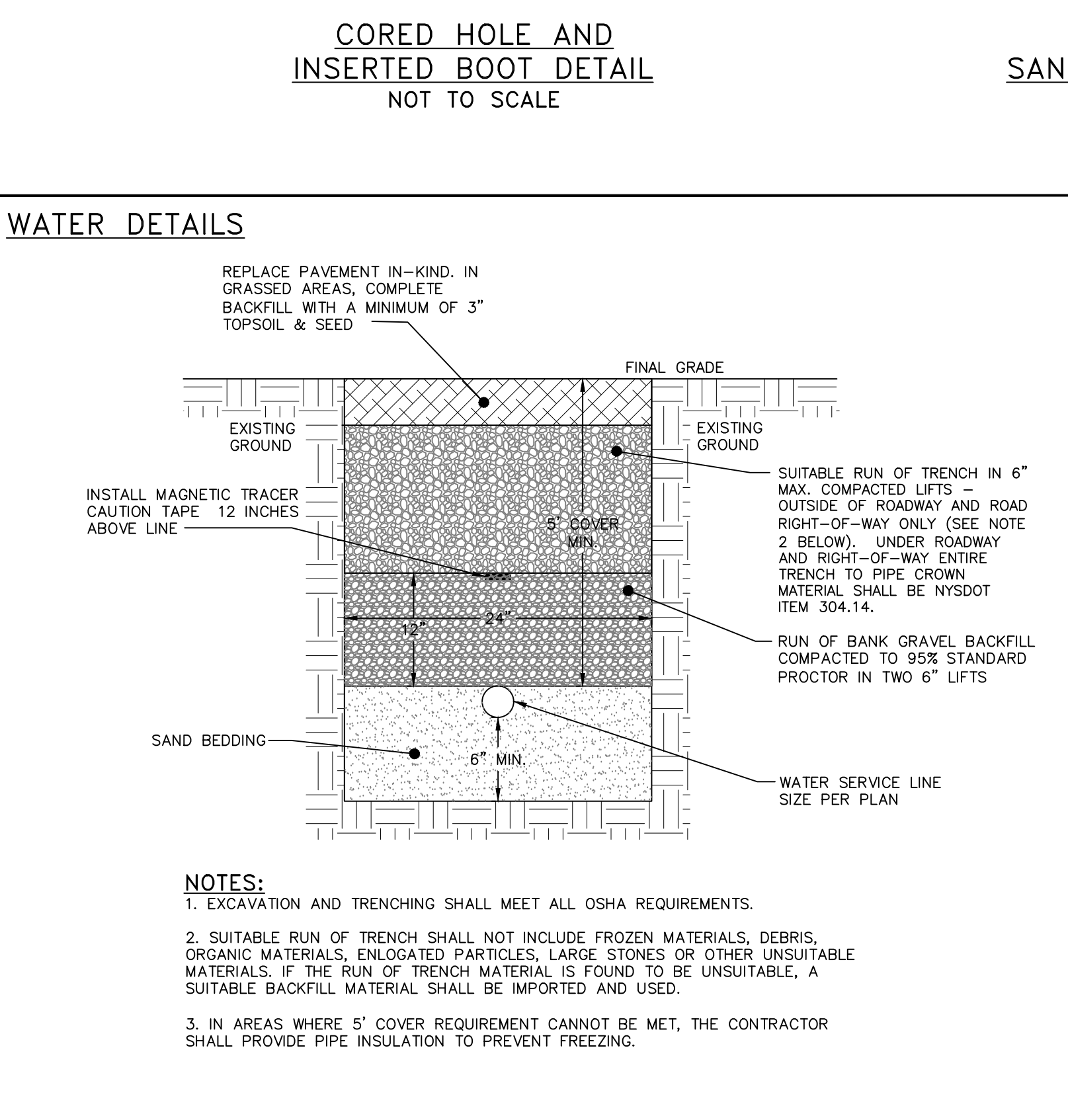
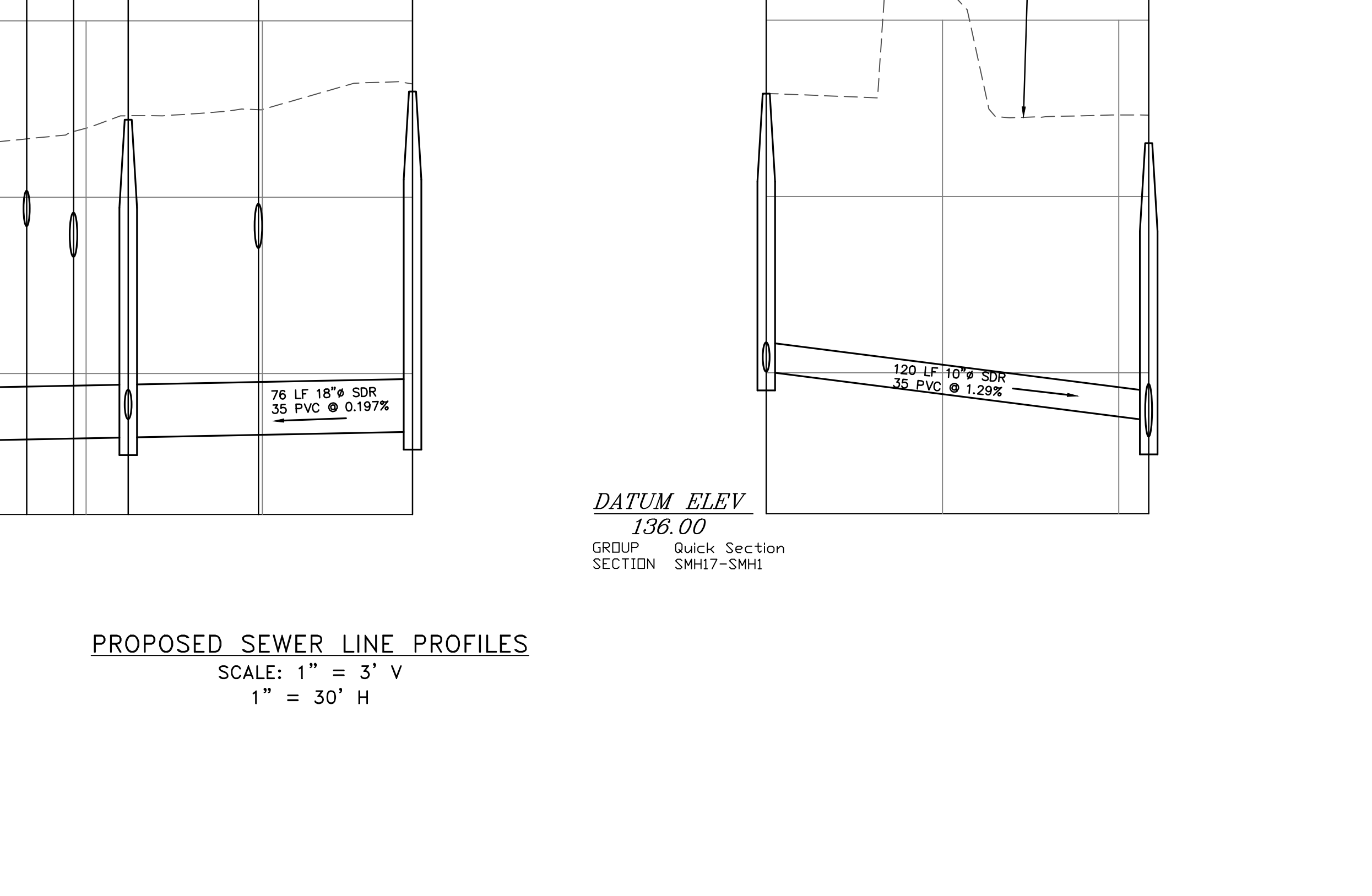
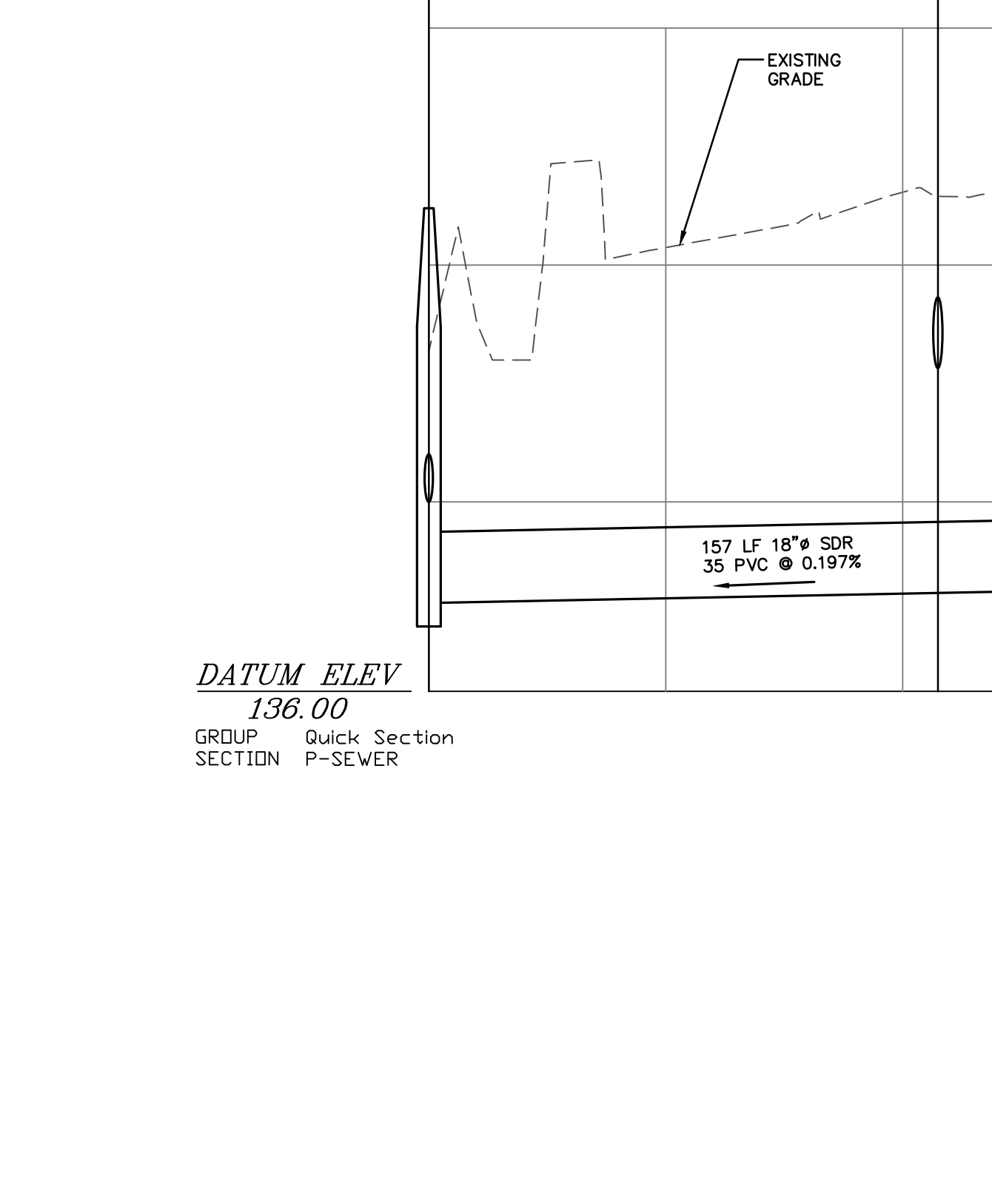
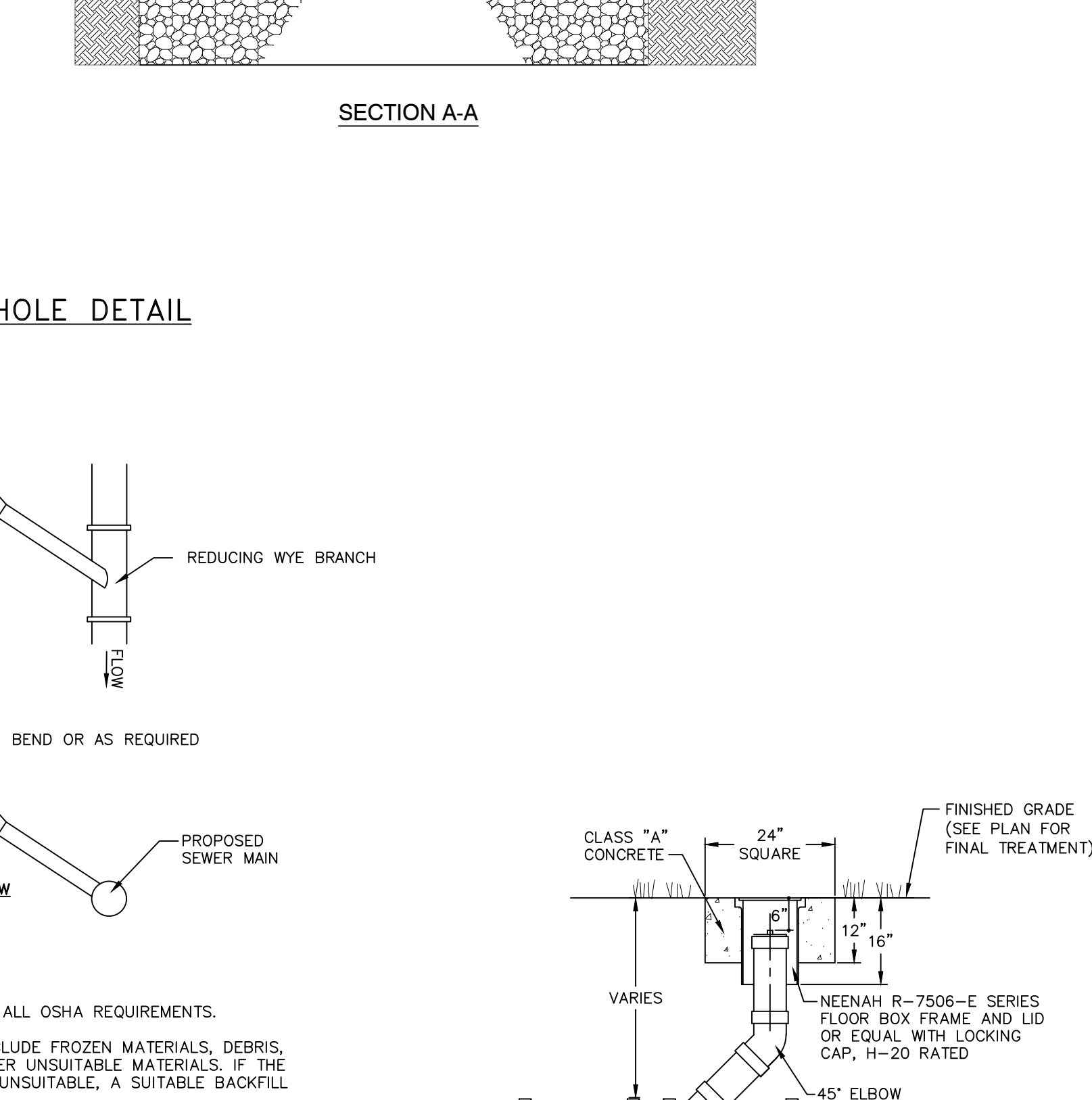
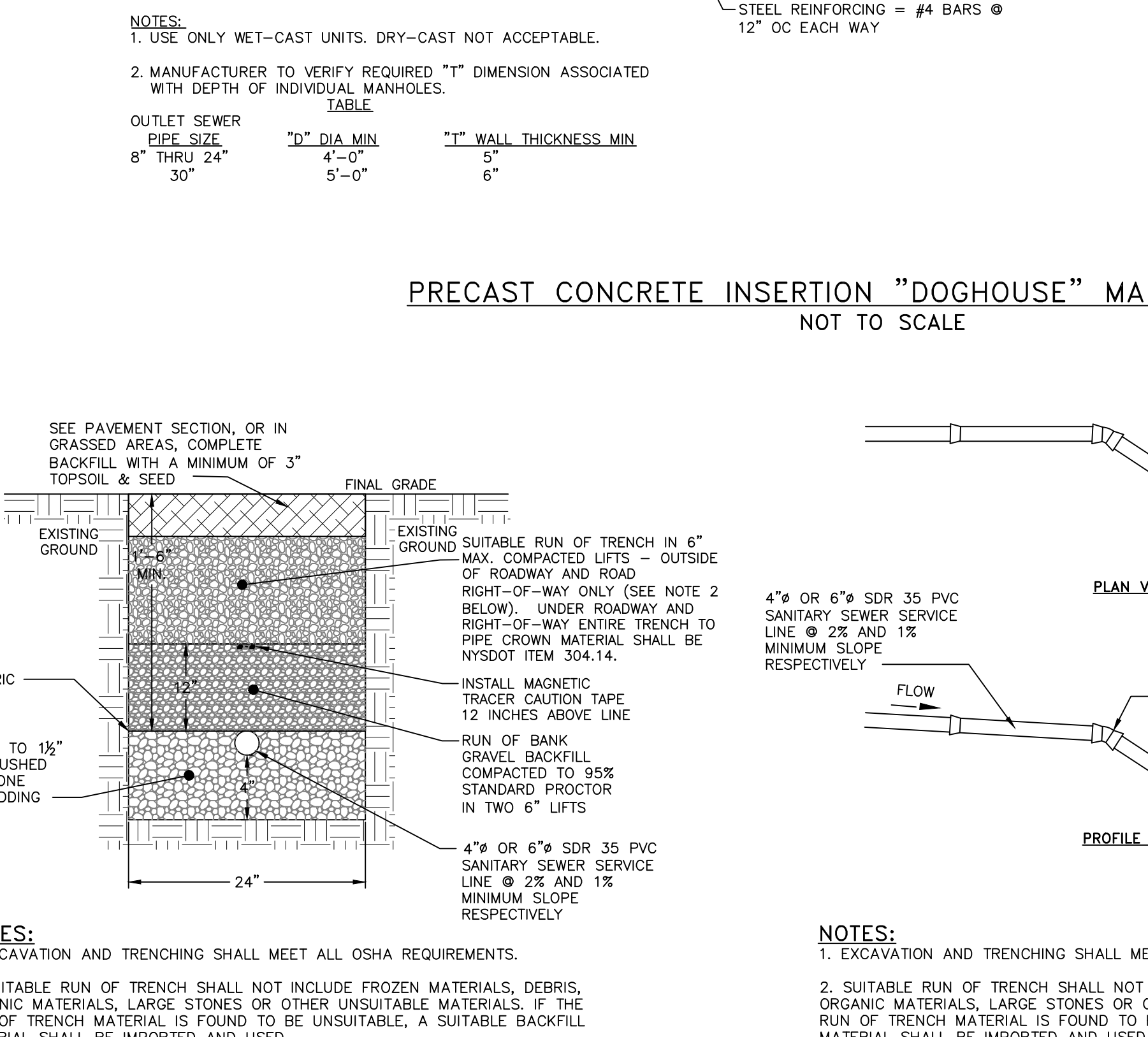
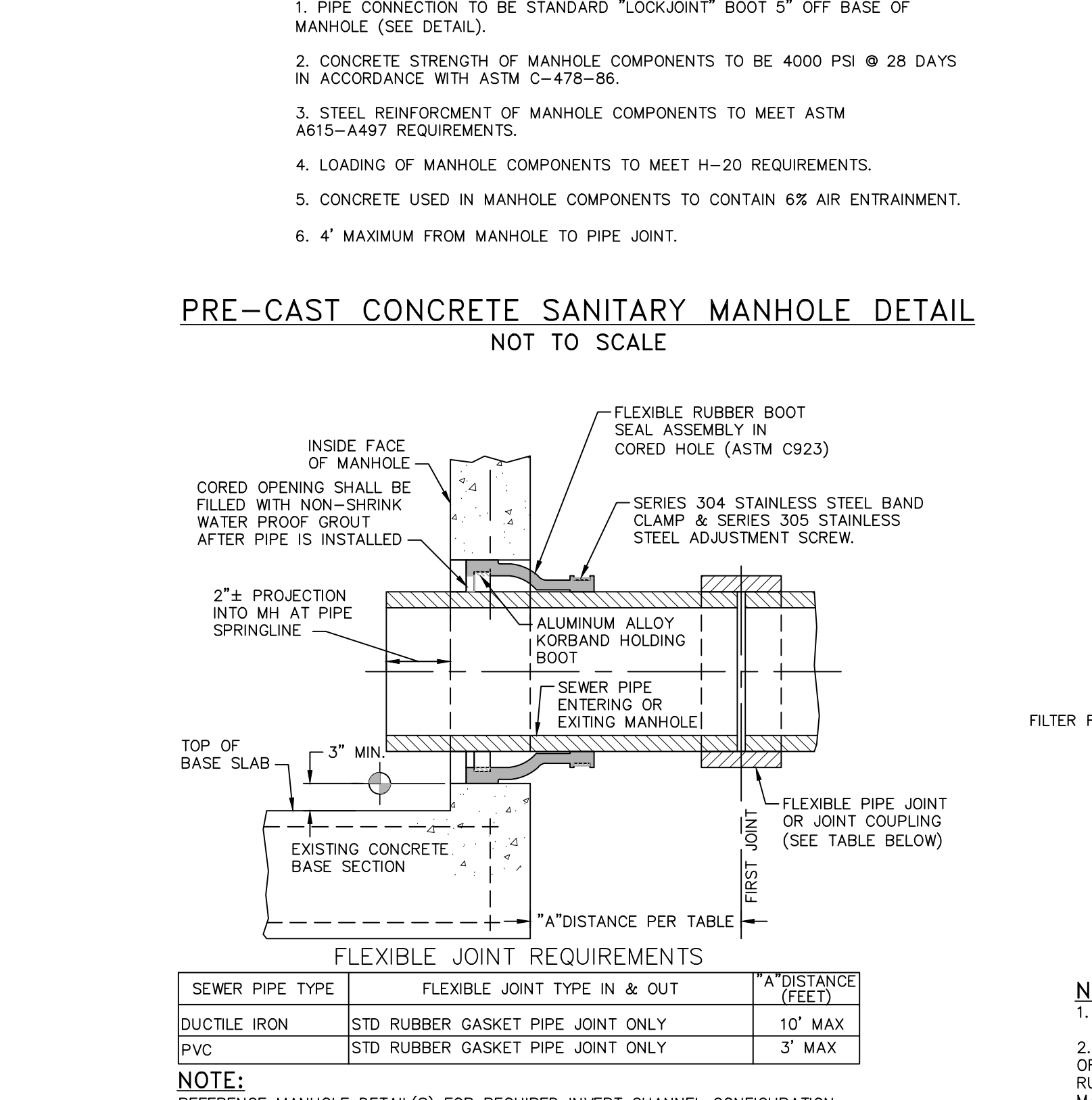
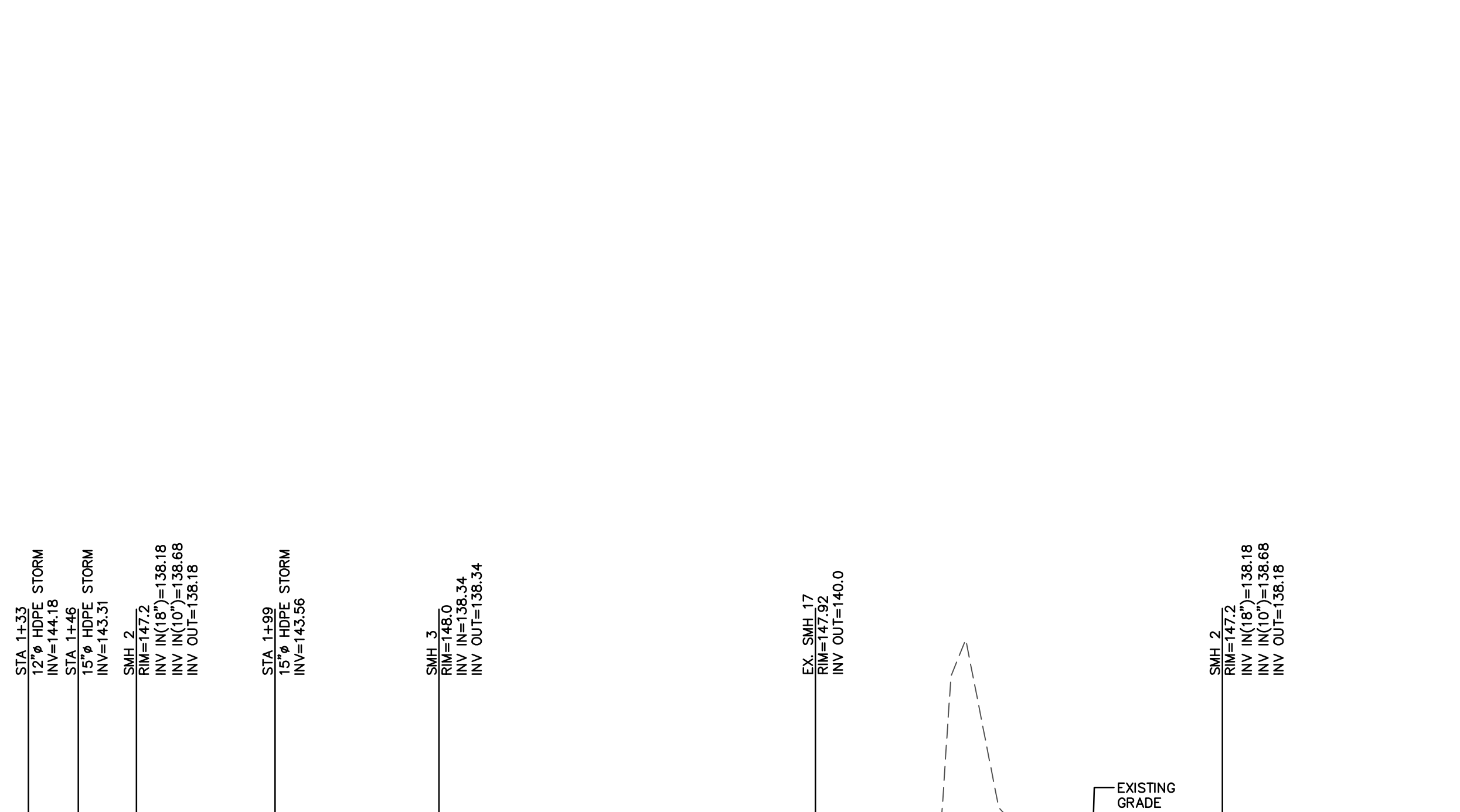
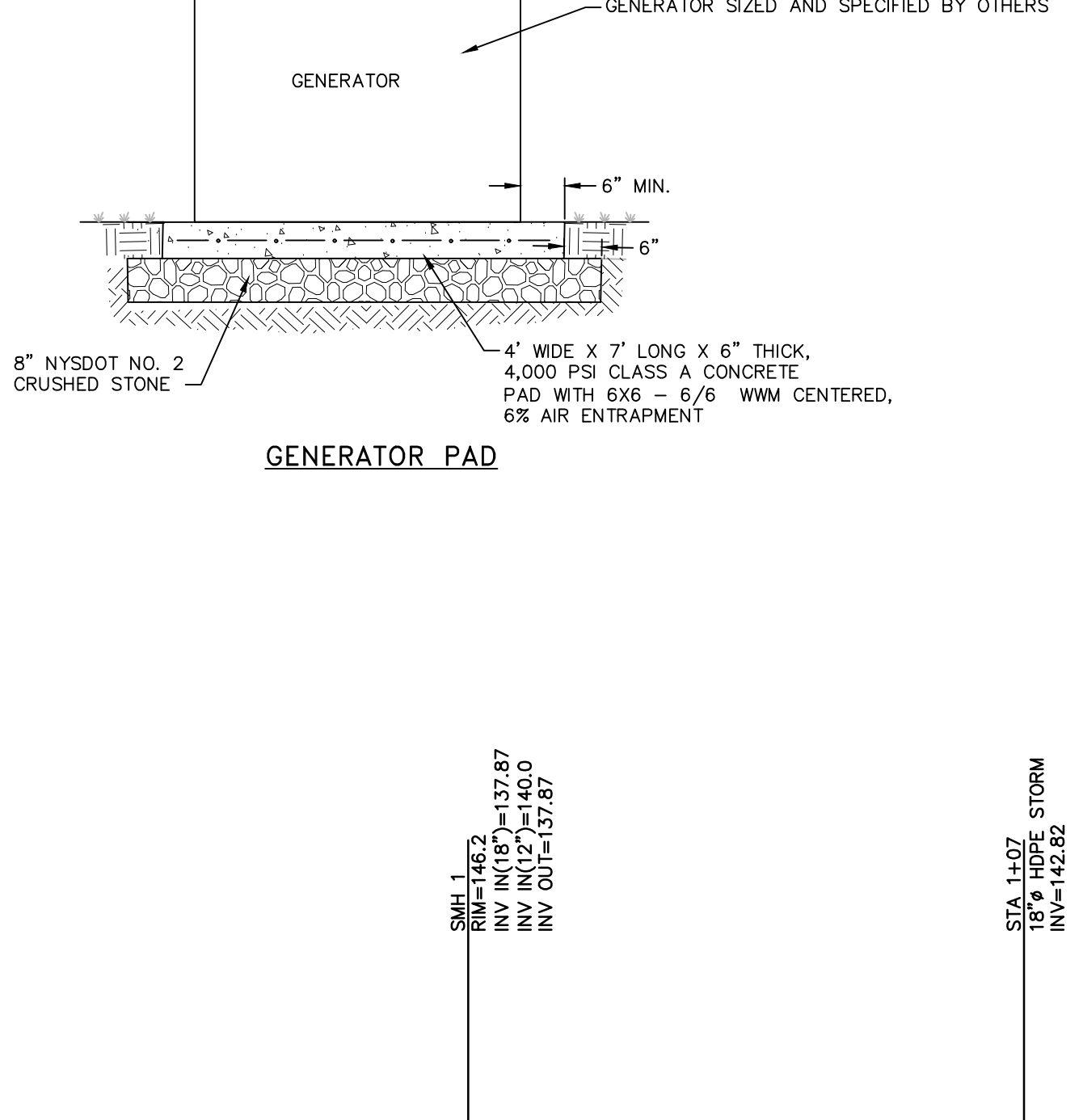
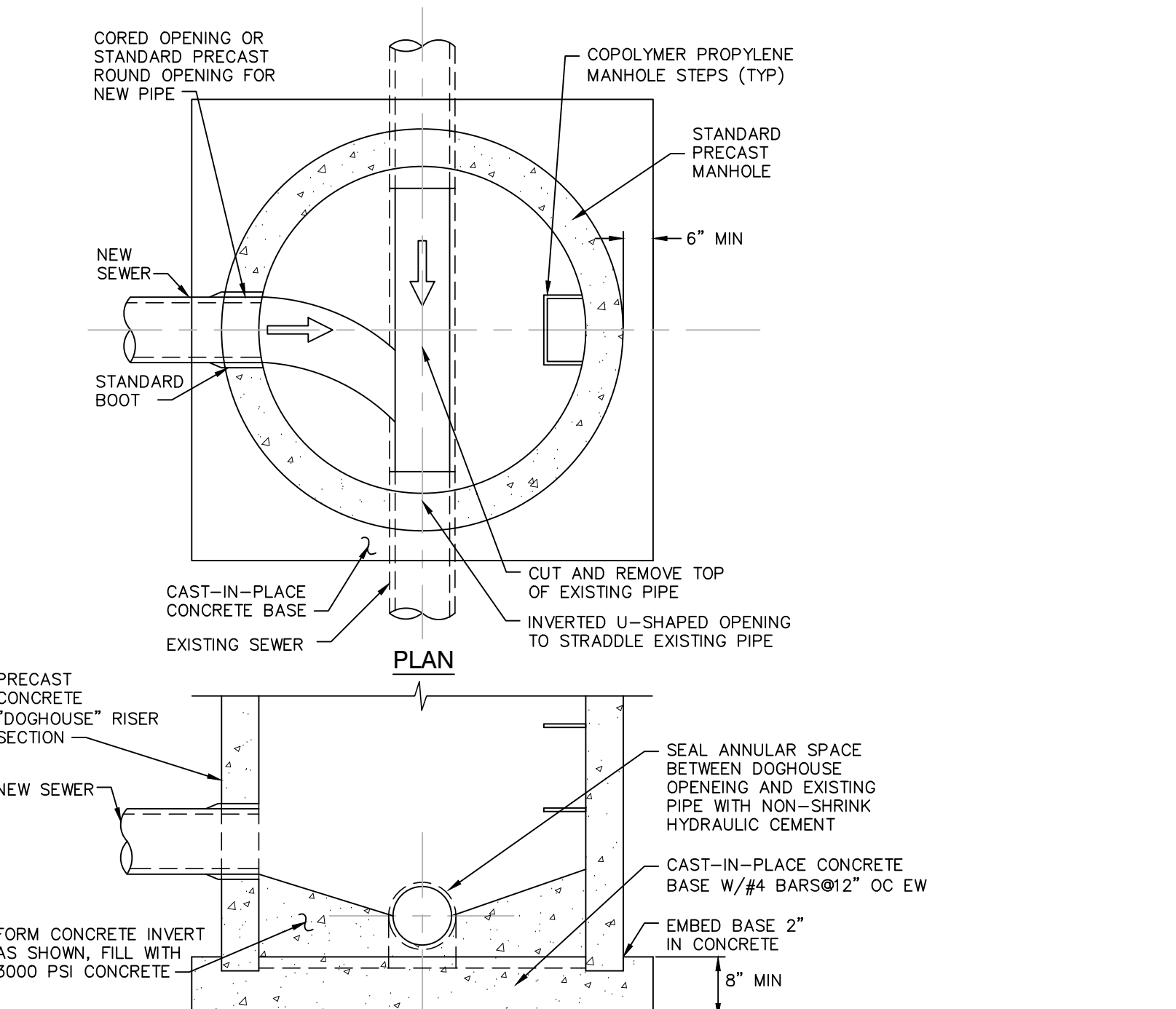
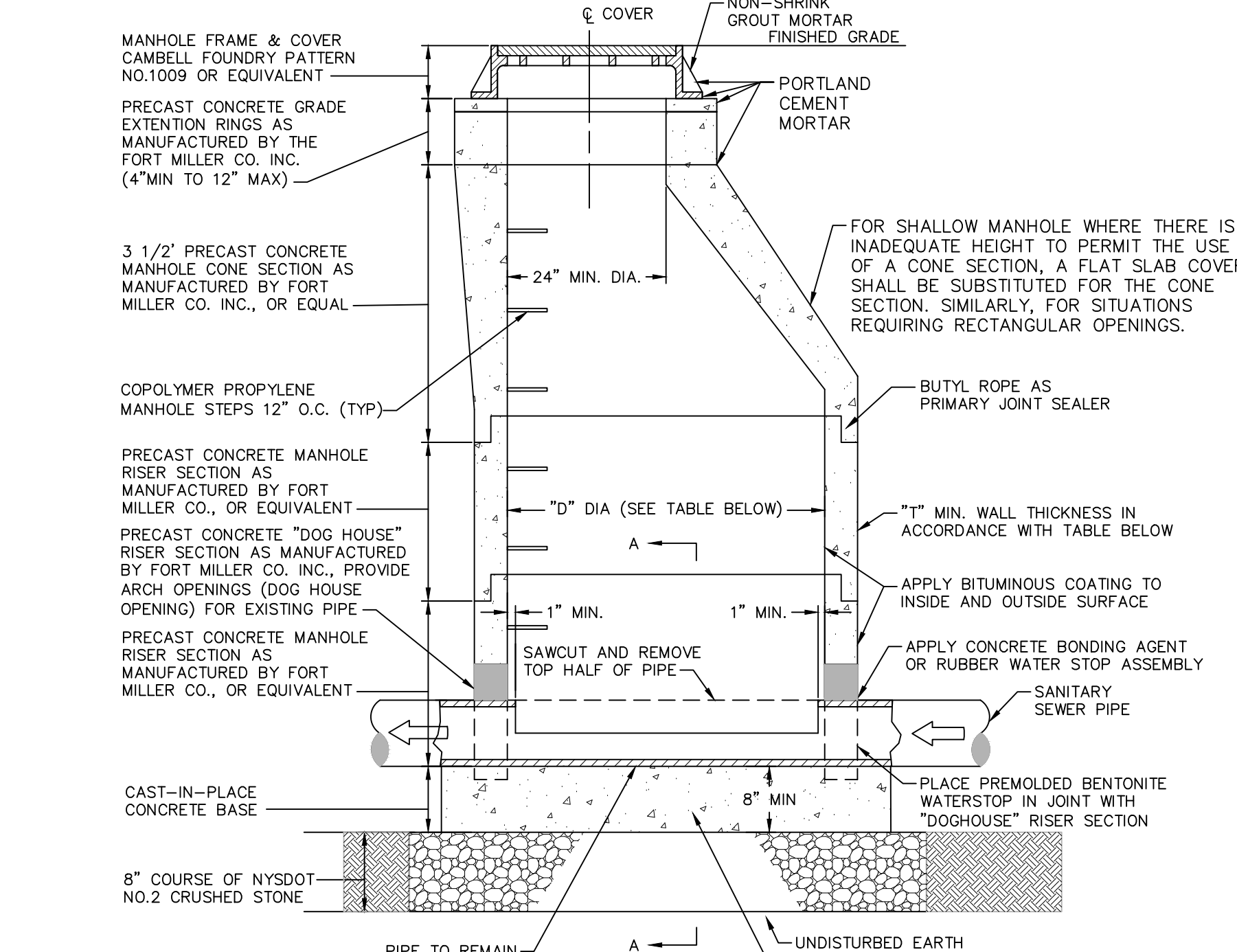
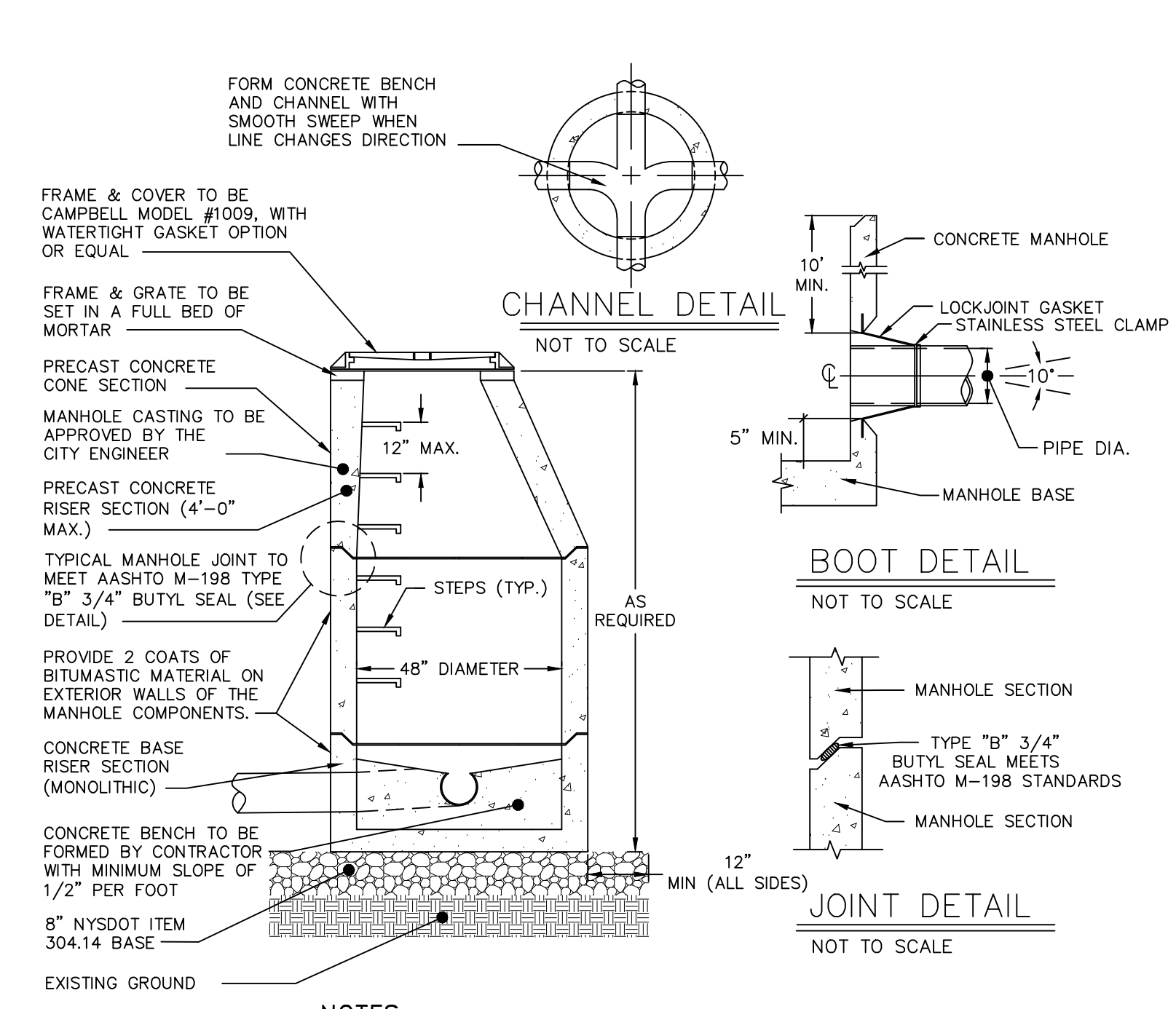








**SEWER DETAILS**



**REVISIONS:**

NO.	DATE	DESCRIPTION	BY
1	8/29/17	NO CHANGE THIS SHEET	CMB
2	9/26/17	NO CHANGE	CMB
3	10/31/17	NO CHANGE	CMB
4	11/28/17	NO CHANGE	CMB

**SEAL**  
JON D. BOBENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KORBELER, P.E.  
NYS LICENSE NO. 082716

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lanc, P.E., L.S.  
Arthur R. Tully, P.E.

December 1, 2017

Mr. Jay Sheers  
Planning Board Chairman  
City of Beacon City Hall  
1 Municipal Plaza  
Beacon, NY 12508

RE: Beacon HIP Lofts - 39 Front Street  
City of Beacon

Dear Mr. Sheers:

We have reviewed the revised report entitled "Traffic Impact of Comparing 140 vs. 172 Mid-Rise Apartment Units", dated November 28, 2017, as prepared by Harry Baker & Associates; and plans (Sheets 1, 3, 6 and 8 of 10) for the project entitled "Amendment to Special Use Permit Application - Beacon HIP Lofts", as prepared by Aryeh Siegel, Architect and Hudson Land Design, and all last revision date of November 28, 2017. The plans reviewed are as follows:

- Sheet 1 of 10, entitled "Site Plan"
- Sheet 3 of 10, entitled "Landscape Plan & Lighting"
- Sheet 6 of 10, entitled "Grading and Utility Plan"
- Sheet 8 of 10, entitled "Site, Landscaping and Erosion & Sediment Control Details"

A consultant meeting was held at City Hall on November 29<sup>th</sup>, 2017, to discuss the project and the previous planning and engineering comments as related to the project. Based upon our review of the submitted revised traffic report and plans, and the consultants meeting, we offer the following comments:

Traffic Report:

1. The traffic report has been revised to show a clear comparison of the traffic impacts for the previously approved project to that of the currently proposed project. Although there are minor changes to the volume to capacity (v/c) ratio, the comparison shows that there is no adverse impact to the Level-of-Service (LOS) to the intersections previously studied for the project.

General Comments:

1. The applicant will require a variance for the proposed height of Building #16. When this variance is granted, it should be noted on the plans.

2. Based upon the consultants meeting, the ADA accessible ramps will be shifted to the easterly end of Building No 16, so that they are close to the lobby entrance. The plans should be revised to show the new ramp locations, along with spot elevations for the ramps.
3. As previously noted, labels overlap each other on Sheets 1 and 3 at several locations, and in other areas the labels blend into the hatch, making them illegible. Examples would be:
  - a. the text in the wood decking area is hidden by the hatch,
  - b. labeling for tower remains near end of parking lot on east side of project,
  - c. labeling at start of trail on east side of project below parking lot, and
  - d. the metes and bounds along southerly side of Front Street to the left of the entrance near the corner of the Greenway Trail.

This completes our review at this time. Further comments may be forthcoming based upon future submissions. A written response letter addressing each of the above comments shall be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: Jennifer Gray, Esq.  
Tim Dexter, Building Inspector  
John Clarke, City Planner

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: December 7, 2017

Re: **39 Front Street, HIP Lofts & Storage Amended Special Use Permit**

I have reviewed the November 28, 2017 response letters from Hudson Land Design and Aryeh Siegel, December 6, 2017 structural analysis of Building 16 by M. A. Day Engineering, supplemental Traffic Impact tables by Harry Baker and Associates, and revised sheets 1, 3, 6, and 8 of the Amended Special Use Permit set, with revision dates of November 28, 2017.

### **Proposal**

The project would eliminate the previously approved construction of Buildings 9A and 12, demolish Buildings 16, 18, 24, and 25, construct a larger Building 16, and extend existing Building 9 to include one live-work loft. This will increase the previously approved unit count from 143 to 172 lofts. The 8.7-acre parcel is in the Light Industrial district and Historic District and Landmark Overlay Zone.

### **Comments and Recommendations**

1. The new Building 16 would be three stories at 52 feet 6 inches with a stepbacked fourth floor for a total height of 66 feet. Nine additional units are to be located on the fourth floor. The requested variance should be compared to the previously approved 4-story Building 9A at 47 feet and the LI height limit of 35 feet. The applicant should provide the height of the adjacent existing 3-story building to the north. The Planning Board will need to make a variance recommendation to the ZBA.
2. Since this application involves alterations to a property in the Historic Overlay Zone, the Board will need to approve a Certificate of Appropriateness under Chapter 134, Historic Preservation. The Board may want to refer the design of the new buildings to the Architectural Review Subcommittee.
3. At a November 29, 2017 meeting with the project consultants, they agreed to relocate the ADA spaces closer to the elevator lobby entrance of Building 16 and add a street tree near the driveway circle and dog park entrance.

If you have any questions or need more information, please feel free to contact me.

John Clarke, Beacon City Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegal, Project Architect

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]

Project :	39 Front Street Hip Lofts
Date :	November 14, 2017

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “Yes” to a numbered question, please complete all the questions that follow in that section.
- If you answer “No” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b>			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
<i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**  
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)  NO  YES  
*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**  
 The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)  NO  YES  
*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in development in a designated floodway.	E2i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
----------------------------------	--	--------------------------	--------------------------

6. Impacts on Air			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflouorocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>



e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b>			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

**11. Impact on Open Space and Recreation**  
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.  NO  YES  
(See Part 1. C.2.c, E.1.c., E.2.q.)  
*If "Yes", answer questions a - e. If "No", go to Section 12.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**12. Impact on Critical Environmental Areas**  
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d)  NO  YES  
*If "Yes", answer questions a - c. If "No", go to Section 13.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1. D.2.j)  
 If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**  
 The proposed action may cause an increase in the use of any form of energy.  NO  YES  
 (See Part 1. D.2.k)  
 If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**15. Impact on Noise, Odor, and Light**  
 The proposed action may result in an increase in noise, odors, or outdoor lighting.  NO  YES  
 (See Part 1. D.2.m., n., and o.)  
 If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>16. Impact on Human Health</b>			
The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>17. Consistency with Community Plans</b> The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>18. Consistency with Community Character</b> The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**226 Main Street**

**Subject:**

Continue public hearing for Site Plan Approval, retail/residential building, 226 Main Street, submitted by 328 Main Street, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
226 Main Architect Cover Letter	Cover Memo/Letter
226 Main Engineer Cover Letter	Cover Memo/Letter
226 Main ZBA Resolution	Resolution
226 Main Off Street Parking Plan	Backup Material
226 Main Sheet 1 Site Plan	Plans
226 Main Sheet 2 Survey	Plans
226 Main Sheet 3 Plans	Plans
226 Main Sheet 4 Utility Plans	Plans
226 Main Sheet 5 Details	Plans
Engineer Review Letter	Consultant Comment
226 Main EAF Part 2	EAF

**ARYEH SIEGEL**  
ARCHITECT

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Jay Sheers - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 226 Main Street**  
*Site Plan Application*

November 28, 2017

Dear Mr. Sheers,

Please find below our response to John Clarke Planning & Design comments in his Memorandum dated July 6, 2017 regarding the 226 Main Street project; as well as engineering comments from Lanc & Tully's July 6, 2017 Memorandum.

**John Clarke Planning & Design Comment Responses:**

1. The Zoning Board granted a variance to allow a 10 foot rear yard setback at their November meeting. The Zoning Board granted a variance to allow zero parking spaces where 8 were required at their November meeting.
2. A street tree has been shown on the site plan along North Elm Street.
3. The Architectural Review Subcommittee approved the building design as shown, without conditions.

**Lanc & Tully Comment Responses:**

**General Comments**

1. Lanc & Tully did not have any remaining engineering comments to address.

Thank you. Please let me know if you have any questions.

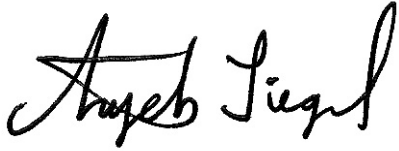


# ARYEH SIEGEL

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ARCHITECT

Sincerely,

A handwritten signature in black ink that reads "Aryeh Siegel". The script is fluid and cursive, with the first letters of both words being capitalized and prominent.

Aryeh Siegel  
*Aryeh Siegel, Architect*



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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November 28, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 226 Main Street Site Plan  
Tax ID: 5954-27-860918  
City of Beacon, New York

Dear Chairman Sheers:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the plan in response to John Clarke Planning and Design comment memorandum dated July 6, 2017. Below is a point by point response to the comments received.

**John Clarke Planning and Design Comment Memorandum dated July 6, 2017:**

1. Comment noted. Aryeh Siegel has responded to this comment.
2. The proposed tree along North Elm is now shown on the plans. The drainage system has been revised because the tree is located on top of the previous drainage line location. An additional yard drain has been added to the plan to allow for connection to the existing catch basin. It should be noted that the tree roots may interfere with the drainage line in the future due to its close proximity to the tree.
3. Comment noted. Aryeh Siegel has responded to this comment.
4. Comment noted. Aryeh Siegel has responded to this comment.

Enclosed are five (5) copies of the revised plan Sheets 1 through 5 for review, and five (5) copies of a reduced size "Offsite Parking Plan" that was presented to the ZBA in support of the parking variance for reference purposes only. A CD of the enclosed materials is also included with this submission. We look forward to further discussing the project with you at your next available planning board meeting. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael A. Bodendorf". The signature is fluid and cursive, with the first name "Michael" and last name "Bodendorf" clearly distinguishable.

Michael A. Bodendorf, P.E.  
Principal

cc: Brendan McAlpine - Highview Development Corp.  
Aryeh Siegel, AIA

City of Beacon  
Zoning Board of Appeals

**RESOLUTION**

**WHEREAS**, an application has been made to the City of Beacon Zoning Board of Appeals by Highview Development, LLC and 226 Main Street Beacon, LLC (the “Applicants”) for relief from (1) Section 223-41.18(D)(5) of the City of Beacon Zoning Code (the “Zoning Code”) to construct a new building with a 10 ft. rear yard setback where 25 ft. is required, and (2) Section 223-41.18(F)(2)(a) of the Zoning Code to provide no off-street parking spaces where 8 spaces are required on property located at **226 Main Street** (the “Premises”) in the Central Main Street Zoning District (the “CMS Zoning District”). Said premises being known and designated on the City of Beacon Tax Map as **Parcel ID# 30-5954-27-860918-00**; and

**WHEREAS**, the Applicants are proposing to construct a 4-story mixed-use retail and multifamily residential building containing ground-floor retail space and 8 apartment units on the second through fourth floors (the “Proposed Use”); and

**WHEREAS**, duly advertised public hearing on the application were held on July 18, 2017, October 17, 2017 and November 21, 2017 at which time all those wishing to be heard on the application were given such opportunity; and

**WHEREAS**, the Board closed the public hearing on November 21, 2017; and

**WHEREAS**, the proposed action is an Unlisted action pursuant to the New York State Environmental Quality Review Act; and

**WHEREAS**, on November 21, 2017, after taking a “hard look” at the EAF and all of the associated materials prepared in connection with the variance requests, undergoing an uncoordinated review, the Board herein adopts the attached Negative Declaration regarding the area variance requests; and

**WHEREAS**, the Applicants met with City Staff on November 1, 2017 to discuss potential options to “enhance” the available parking in the Main Street area near the property; and

**WHEREAS**, pursuant to Zoning Code Section 223.55(C)(2)(b), when deciding the request for a variance:

In making its determination, the Zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such a determination, the board shall also consider:

[1] Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby

properties will be created by the granting of the area variance;

- [2] Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;
- [3] Whether the requested area variance is substantial;
- [4] Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
- [5] Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.

**WHEREAS**, pursuant to Zoning Code Section 223.55(C)(2)(c) “the Board of Appeals, in granting of area variances, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.”

**NOW THEREFORE, BE IT RESOLVED**, that the Board finds that the benefits to the Applicants from granting the variances, which includes relief from (1) Section 223-41.18(D)(5) to construct a new building with a 10 foot rear yard setback where 25 feet is required and (2) Section 224-41.18(F)(2)(a) to provide no off-street parking spaces where 8 new spaces are required, outweigh any detriment to the health, safety and welfare of the neighborhood or community resulting from granting the variance, for the following reasons:

- 1. The variances will not produce an undesirable change in the character of the neighborhood and there will not be a detriment to nearby properties created by the granting of the area variances.**

The existing building on the Premises sits less than one foot from the rear property line. The proposed rear yard setback variance increases the setback from one foot to 10 feet. A Shadow Impact Study submitted by the Applicants on September 15, 2017, also demonstrates that there is no perceptible difference in the nature of the shadows created by the proposed building under the 10 foot setback as compared to the 25 foot as-of-right setback. As a result, the Board finds that the granting of the variance will not produce an undesirable change in the character of the neighborhood and there will not be a detriment to nearby properties.

The Premises is located near two municipal parking lots and there is also adequate street parking surrounding the Premises. The Premises is located within 800 feet of the Pleasant Ridge Plaza lot and the Dutchess County Motor Vehicles Lot. The Applicants also propose to add up to at least 20 parking spaces by restriping and paving the nearby municipal lots and closing curb cuts. The existing available parking in the community, combined with creation of additional spaces, is sufficient to meet the residential parking needs for the Proposed Use. Therefore, the Board finds that the granting of the requested off-street parking variance will not be a detriment

to the neighborhood.

**2. The benefit sought by the Applicants cannot be achieved by some method feasible for the applicants to pursue, other than the requested area variances.**

The location of the lot on the corner of Main Street and North Elm Street combined with the shape and the shallow nature of the Premises creates the need for the rear yard setback and parking variances. While the Premises is comparable in lot size to other nearby lots, the Premises is distinguishable from most of the other properties because it is a shallow corner lot. The lot is only 57 feet deep. The 10 foot rear yard setback allows a building depth of approximately 47 feet which is the minimum depth required to construct the proposed building with apartments of viable size located on either side of a central 5-foot wide corridor. Thus, the benefit the Applicants seek cannot be achieved by reducing the rear-yard setback.

Due to the narrow shape of the lot, it would be extremely difficult to develop the premises with the required off-street parking. There is insufficient space on the site to construct off-street parking, while still maintaining the minimum feasible depth of the building to support the layout of the proposed building . A minimum 42 foot rear yard setback would be required to provide any parking at the rear of the premises because the required width/length of a parking space is 9 feet by 18 feet and a drive aisle requires a width of 24 feet. This would leave approximately 23 feet in depth for a building. A building only 23 feet in depth is impractical. In effect, off-street parking cannot be properly developed on the site without restricting further development of the site.

In addition, the Zoning Code prohibits parking within a front yard, because the Premises is located on a corner lot it is treated as having two front yards. The location of the building on a corner lot makes it increasingly difficult to provide off street parking on this lot. Thus, the benefit the Applicants seek, to develop a mixed residential and retail building, cannot be achieved without the requested variance.

**3. The requested variances are mathematically substantial; however, this does not outweigh the other factors meriting the granting of the variance.**

The requested variance is mathematically substantial. However, in considering whether a variance is substantial, the Board must examine the totality of the circumstances within the application and the overall effect of granting the requested relief. Here, the variance is not substantial in its effect because a 10 foot rear yard setback is greater than the existing one foot rear yard setback. The 10 foot rear yard setback is consistent with the rear yard setbacks of other properties in the CMS Zoning District. Moreover, even though the requested variance is mathematically substantial, this factor alone does not preclude the granting of the variance.

The Board reviewed the overall effect of the requested variance to permit zero parking spaces where 8 are required in the community. While the requested variance is mathematically substantial, the variance will result in minimal impacts to the surrounding neighborhood. The premises is located in close proximity to two nearby municipal parking lots and the Applicants will create additional parking by restriping and paving these lots. Furthermore, there is available street parking on Main Street and several side streets. The Applicants will add additional street parking by closing curb cuts on North Elm Street and Main Street. Therefore, the Board finds

that the requested variance is not substantial.

**4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.**

The Board finds that there will be no adverse effects of noise, vibrations, odor, traffic, or impact on public services caused by a 15 foot reduction in the rear yard setback. As discussed above, the existing rear yard setback is one foot and the proposed variance is 10 feet. The public has expressed concerns pertaining to the impacts of shadows on neighboring properties. However, the Applicant's Shadow Impact Study demonstrates that there is a negligible difference in shadow impacts if the building was constructed with a 10 foot rear yard setback or with a 25 foot rear yard setback.

As discussed above, the requested off-street parking variance will not result in an adverse effect or impact on the physical or environmental conditions of the neighborhood or district because there is other parking available in the community.

**5. The alleged difficulty was self-created but his factor does not preclude the granting of the area variances.**

The need for the variances is self-created since it is presumed the Applicants selected the Property as the location for its proposed development knowing the setback and parking requirements. However, this does not preclude the granting of the area variance.

**BE IT FURTHER RESOLVED**, that, for the reasons set forth above, the application of Highview Development, LLC and 226 Main Street Beacon, LLC, to construct a new building with a 10 foot rear yard setback where 25 feet is required pursuant to Section 223-41.18(D)(5), is hereby **GRANTED** subject to the following conditions:

**A. General Conditions**

1. No permit or Certificate of Occupancy shall be issued until the Applicants have paid in full all application and consultant fees incurred by the City of Beacon in connection with the review of this application.
2. The Applicant shall obtain a building permit within six months from the date of the variance approval and shall complete construction within eighteen (18) months from the date of the building permit.
3. The variance shall terminate in the event that the Applicants fail to commence construction within one year.

**B. Rear yard setback variance conditions**

1. Fencing and trees shall be installed in the rear yard to the satisfaction of the Planning Board to be maintained and replaced as necessary for the life of the property.
2. Lighting shall be designed to minimize spill over onto the private property located behind the subject Premises.

3. Mechanical equipment located on the roof shall not be located within 25 feet from the rear yard property line, unless the Applicants first constructs adequate sound attenuation measures approved by the Building Inspector.
4. No mechanical equipment shall be installed or stored in the 10 foot setback.
5. The height of the building shall not be increased beyond four stories within 25 feet of the rear yard property line.
6. The conditions set forth herein shall be enforced against the Applicants and its successors and assigns.

**BE IT FURTHER RESOLVED**, that for the reasons set forth above, the application of Highview Development, LLC and 226 Main Street Beacon, LLC, to provide no off-street parking spaces where 8 spaces are required pursuant to Section 223-41.18(F)(2)(a), is hereby **GRANTED** subject to the following conditions:

**A. General Conditions**

1. No permit or Certificate of Occupancy shall be issued until the Applicants have paid in full all application and consultant fees incurred by the City of Beacon in connection with the review of this application.
2. The Applicant shall obtain a building permit within six months from the date of the variance approval and shall complete construction within eighteen (18) months from the date of the building permit.
3. The variance shall terminate in the event that the Applicants fails to commence construction within one year.

**B. Off-street parking variance conditions**

1. Prior to issuance of the Building Permit, weather permitting, but no later than the issuance of the first certificate of occupancy subject to approval by Building Inspector, the Applicants shall restripe and reseal the existing municipal parking lot at 214 Main Street, using newly adopted parking dimensions of 9' wide by 18' long parking stalls with a 24' wide travel lane. The Applicants shall restripe the 214 Main Street Lot one time within five years of the date of the Building Permit.
2. Prior to the issuance of the first certificate of occupancy, the Applicants shall install a new sign at the 214 Main Street lot, designating the lot as a Municipal Parking Lot. Said sign shall be designed and approved by the City Planner and shall be ordered and installed at the Applicant's sole cost and expense.
3. Prior to the issuance of the first certificate of occupancy, the Applicants shall provide landscaping in the 214 Main Street parking lot. Said landscaping shall be approved by the City Planner and the Department of Public Works.



4. Prior to the issuance of the first certificate of occupancy, the Applicants shall restore and/or replace in kind the fencing in the 214 Main Street parking lot, as recommended and approved by the Highway Department.
5. Prior to the issuance of the first certificate of occupancy, the Applicants shall coordinate with the Department of Public Works and at its own cost create at least two new on-street spaces by closing existing curb cuts on North Elm Street and Main Street.
6. Within three months of the issuance of the Building Permit for the Project, the Memorandum of Understanding between the County and the City pertaining to the County Lot located on Main Street and Elm Street must be fully executed. After the City obtains the County lot and prior to the issuance of the first Certificate of Occupancy for the Project, the Applicants shall provide all improvements in the existing County Lot identified on the Plan entitled Site Plan Application, *Offsite Parking Plan* dated October 25, 2017 by Hudson Land Design. Such renovations include restriping and widening the existing County Lot to provide at least 18 new spaces, extending pavement and providing new pavement in specified areas, removing specified sidewalk, providing new concrete curbing, and replacing the wood guardrail. All construction shall comply with any applicable stormwater management requirements. The Applicants shall provide signage designating the lot as a Municipal Parking Lot. Said sign shall be designed and approved by the City Planner and shall be ordered and installed at the Applicant's sole cost and expense. The Applicants shall provide all improvements identified on the *Offsite Parking Plan* prior to the issuance of the first Certificate of Occupancy, or in the alternative, at the discretion of the Building Inspector, the Applicants may fulfill this condition by depositing a sum with the Building Department for the cost of completing the improvements. The Applicants shall submit a cost estimate of the sum based on prevailing wage contractors completing the improvements to the Building Inspector for review and approval, and once the Building Inspector approves the estimate, the Applicants shall deposit the sum with the City prior to receiving the first Certificate of Occupancy.
7. Prior to the issuance of the first Certificate of Occupancy for the Project, the Applicants shall delineate and restripe parking spaces on North and South Elm Street between Dewindt Street and Church Street, to the satisfaction of the Department of Public Works.
8. The conditions set forth herein shall be enforced against the Applicants and its successors and assigns.

Dated: November 21, 2017

**REAR YARD SETBACK VARIANCE**

<b>Mr. Dunne called the roll</b>							
<b>Motion</b>	<b>Second</b>	<b>Zoning Board Member</b>	<b>Aye</b>	<b>Nay</b>	<b>Abstain</b>	<b>Excused</b>	<b>Absent</b>
	<b>X</b>	John Dunne	<b>X</b>				
		Jordan Haug	<b>X</b>				
		Robert Lanier	<b>X</b>				
<b>X</b>		Judy Smith	<b>X</b>				
		John Gunn			<b>X</b>		
<b>Motion Carried</b>			<b>4</b>	<b>1</b>			

**OFF-STREET PARKING VARIANCE**

<b>Mr. Dunne called the roll:</b>							
<b>Motion</b>	<b>Second</b>	<b>Zoning Board Members</b>	<b>Aye</b>	<b>Nay</b>	<b>Abstain</b>	<b>Excused</b>	<b>Absent</b>
		John Dunne	<b>X</b>				
		Jordan Haug		<b>X</b>			
	<b>X</b>	Robert Lanier	<b>X</b>				
<b>X</b>		Judy Smith					
		John Gunn	<b>X</b>				
<b>Motion Carried:</b>			<b>4</b>	<b>1</b>			

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

<b>Agency Use Only (If applicable)</b>	
Project :	228 Main Street
Date :	November 21, 2017

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b>		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1, D.1)			
<i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2c, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**  
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)  NO  YES  
*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**  
 The proposed action may affect one or more wetlands or other surface water bodies (c.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)  NO  YES  
*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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**4. Impact on groundwater**  
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer.  NO  YES  
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)  
 If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2i	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2i	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2i, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**5. Impact on Flooding**  
 The proposed action may result in development on lands subject to flooding.  NO  YES  
 (See Part 1. E.2)  
 If "Yes", answer questions a - g. If "No", move on to Section 6.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>6. Impacts on Air</b> The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels:			
i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> )	D2g	<input type="checkbox"/>	<input type="checkbox"/>
ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> )	D2g	<input type="checkbox"/>	<input type="checkbox"/>
v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions	D2g	<input type="checkbox"/>	<input type="checkbox"/>
vi. 43 tons/year or more of methane	D2h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b> The proposed action may result in a loss of flora or fauna. (Sec Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b>			
The proposed action may impact agricultural resources. (See Part 1, E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**9. Impact on Aesthetic Resources**  
 The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1, E.1.a, E.1.b, E.3.h.)  
*If "Yes", answer questions a - g. If "No", go to Section 10.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2-3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**10. Impact on Historic and Archeological Resources**  
 The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1, E.3.c, f. and g.)  
*If "Yes", answer questions a - e. If "No", go to Section 11.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>



d. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b> The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>12. Impact on Critical Environmental Areas</b> The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1, D.2.j)  
 If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**  
 The proposed action may cause an increase in the use of any form of energy.  NO  YES  
 (See Part 1, D.2.k)  
 If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

**15. Impact on Noise, Odor, and Light**  
 The proposed action may result in an increase in noise, odors, or outdoor lighting.  NO  YES  
 (See Part 1, D.2.m., n., and o.)  
 If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**16. Impact on Human Health**  
The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)  NO  YES  
*If "Yes", answer questions a - m. If "No", go to Section 17.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____			

**17. Consistency with Community Plans**  
 The proposed action is not consistent with adopted land use plans.  
 (See Part 1. C.1, C.2, and C.3.)  
*If "Yes", answer questions a - h. If "No", go to Section 18.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____		<input type="checkbox"/>	<input type="checkbox"/>

**18. Consistency with Community Character**  
 The proposed project is inconsistent with the existing community character.  
 (See Part 1. C.2, C.3, D.2, E.3)  
*If "Yes", answer questions a - g. If "No", proceed to Part 3.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	F3c, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**PRINT FULL FORM**

Project : 226 Main Street

Date : November 21, 2017

**Full Environmental Assessment Form**  
**Part 3 - Evaluation of the Magnitude and Importance of Project Impacts**  
**and**  
**Determination of Significance**

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

See attached.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status:  Type 1  UnlistedIdentify portions of EAF completed for this Project:  Part 1  Part 2  Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information Site Plan, Existing Conditions, Survey, Building Plans and Elevations, Utility and Erosion and Sediment Control Plan, Letter from Dutchess County Department of Planning and Development, September 15, 2017 letter from the Applicant, October 13, 2017 letter from the Applicant September 16, 2017 Shadow Impact Study, November 17, 2017 submission and Offsite Parking Plan.

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the City of Beacon Zoning Board of Appeals \_\_\_\_\_ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

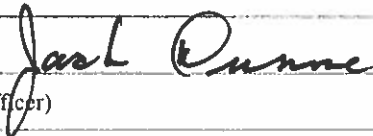
Name of Action: 226 Main Street Variance Application

Name of Lead Agency: Zoning Board of Appeals

Name of Responsible Officer in Lead Agency: Jack Dunne

Title of Responsible Officer: Chairman

Signature of Responsible Officer in Lead Agency:



Date: 11-21-17

Signature of Preparer (if different from Responsible Officer)

Date:

**For Further Information:**

Contact Person: Timothy Dexter

Address: 1 Municipal Plaza Beacon, NY

Telephone Number: 845-838-5020

E-mail: [Tdexter@cityofbeacon.org](mailto:Tdexter@cityofbeacon.org)

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

**PRINT FULL FORM**

226 Main Street

**Full Environmental Assessment Form**  
**Part 3- Evaluation of the Magnitude and Importance of Project Impacts and**  
**Determination of Significance**

The project will not result in a significant adverse impact on the environment. The applicant is proposing to demolish an existing one-story structure and construct a four-story mixed use building, creating eight apartment and ground-floor storefronts. The building is located in the Central Main Street Zoning District ("CMS"). The proposed use is permitted in the CMS District subject to Zoning Board variance approval for rear yard setback requirements and off-street parking requirements, and Planning Board Site Plan Approval. The proposed action will result in the physical alteration of the land surface as the Applicant demolishes the existing structure and buildings a new four-story building. However, the construction will not impact any geographic features, the water table, or steep slopes and will not require the removal of natural material.

To further minimize potential impacts the Applicants will landscape at least 15% of the site and provide additional off-street parking to benefit the public as well as its residents. Furthermore, the site does not have any illegal water connections. The Applicant will also increase off-street parking on the site, improve the quality of the neighboring lots and provide signage on nearby municipal lots as recommended in the City's Center City Parking Analysis.

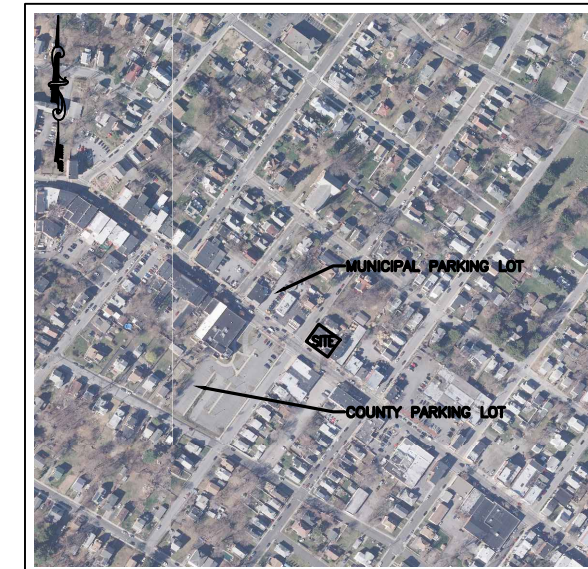
The proposed action will not result in any significant adverse impacts to air quality, surface or ground water quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or cause flooding problems. The Applicant has provided an inflow and infiltration investigation and determined that there are no illicit stormwater connections from the building located at 226 Main Street to the City of Beacon's sanitary sewer collection system.

The property is located in a commercial zoning district and is being developed on an existing vacant lot. The proposed action will not result in any significant adverse impacts to aesthetic, agricultural, archaeological, historic, or other natural or cultural resources, or community or neighborhood character. The proposed use will utilize an existing lot with a vacant structure to develop a mixed use building that will create economic activity in the community and create residential space. Furthermore, the proposed project will not impact any vegetation or fauna or impact any other wildlife as the site is located in a developed commercial district.

Therefore, the City of Beacon Zoning Board determines that the Proposed Action will not have a significant adverse effect on the environment and a Draft Environmental Impact Statement is not required.







SITE LOCATION MAP SCALE: 1" = 300'

**LEGEND:**

- EXISTING CURB
- APPROXIMATE SITE PROPERTY LINE
- PROPOSED CURB
- EXISTING FENCE
- NEW PAVEMENT

REVISIONS:			
NO.	DATE	DESCRIPTION	BY

**REDUCED SIZE  
NOT TO SCALE**

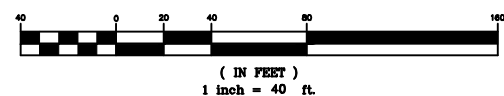
**Site Plan Application**  
Sheet 1 of 1 - Offsite Parking Plan

**226 Main Street**  
Beacon, New York  
Scale: As noted  
October 25, 2017

**MUNICIPAL LOT RE-STRIPING PLAN  
AND COUNTY LOT MODIFICATION PLAN**

SCALE: 1" = 40'

GRAPHIC SCALE



**MAP REFERENCE:**

1. EXISTING FEATURES AS SHOWN ON THIS PLAN PROVIDED BY GIS INFORMATION. THIS MAP IS FOR ILLUSTRATION PURPOSES ONLY AND SHALL NOT BE CONSIDERED TO BE ACCURATE. FINAL STRIPING PLAN FOR PARKING AND SIGHT TRIANGLES AT EXISTING DRIVEWAYS ARE SUBJECT TO AN ACTUAL SURVEY OF NORTH ELM STREET.

Owner:  
**Highview Development, LLC**  
226 Main Street  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
514 Main Street  
Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

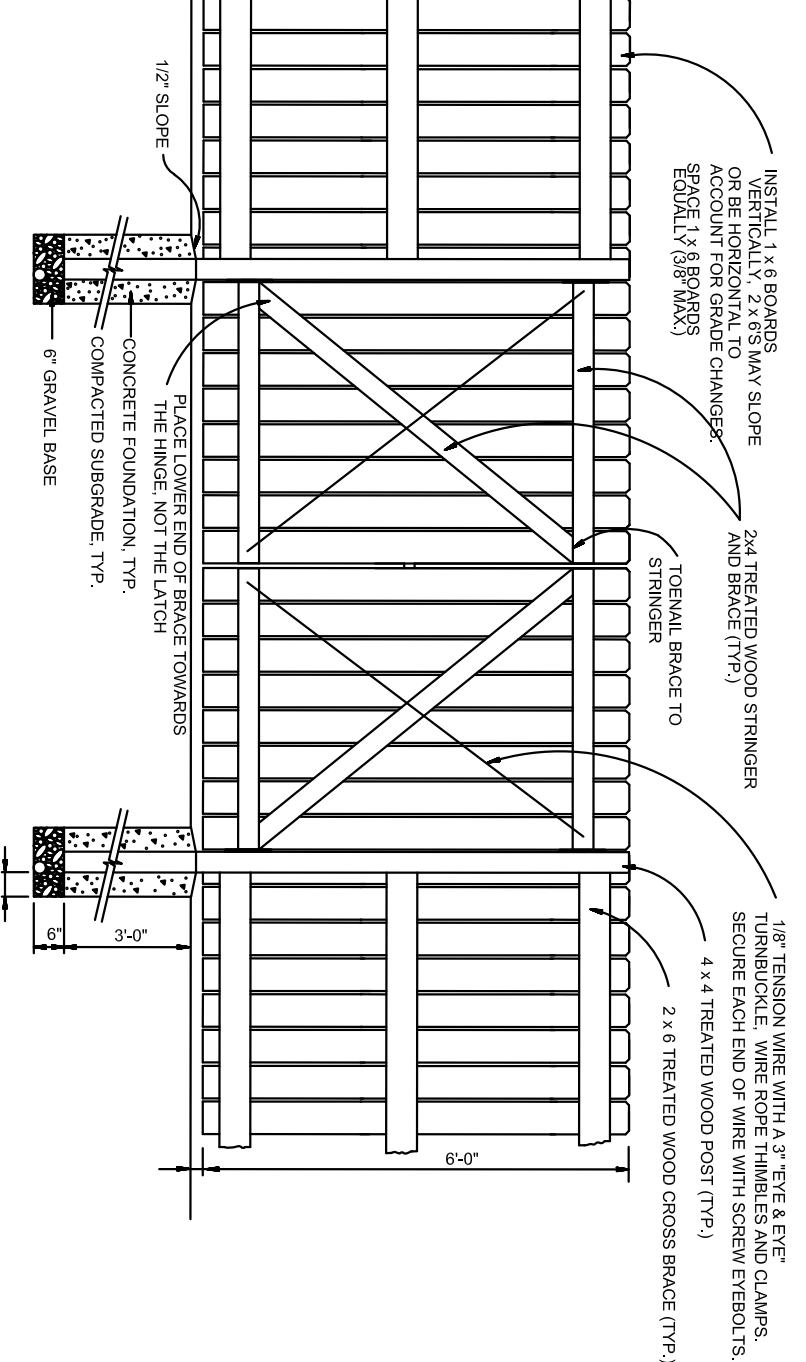
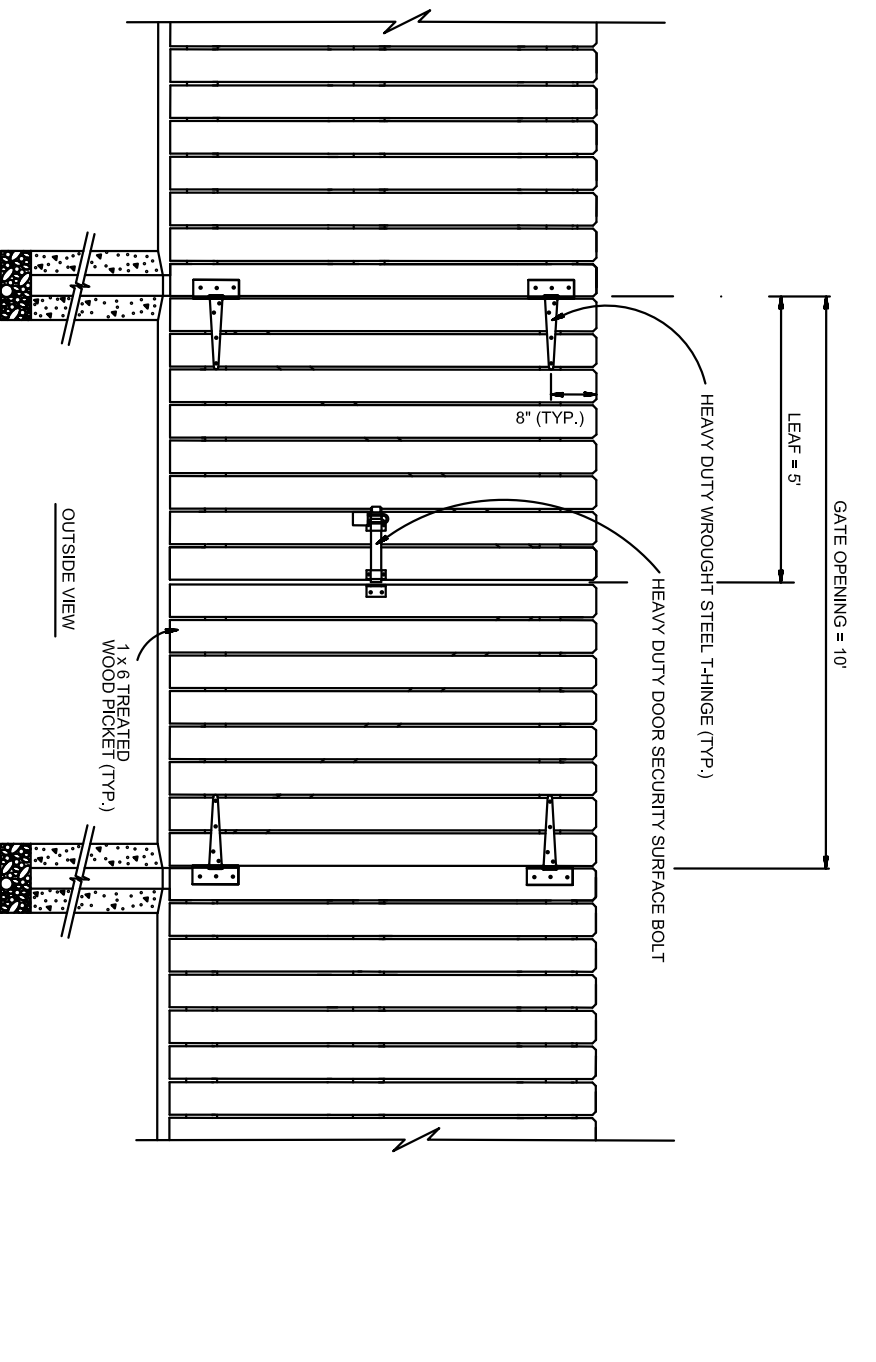


APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, EMASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_, SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTFULLY SIGN IN THIS PLACE.



## Wood Fence & Gate Details

Not to Scale



L1: Wall Mounted

## Lighting

Not to Scale

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOGRAPHIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY.

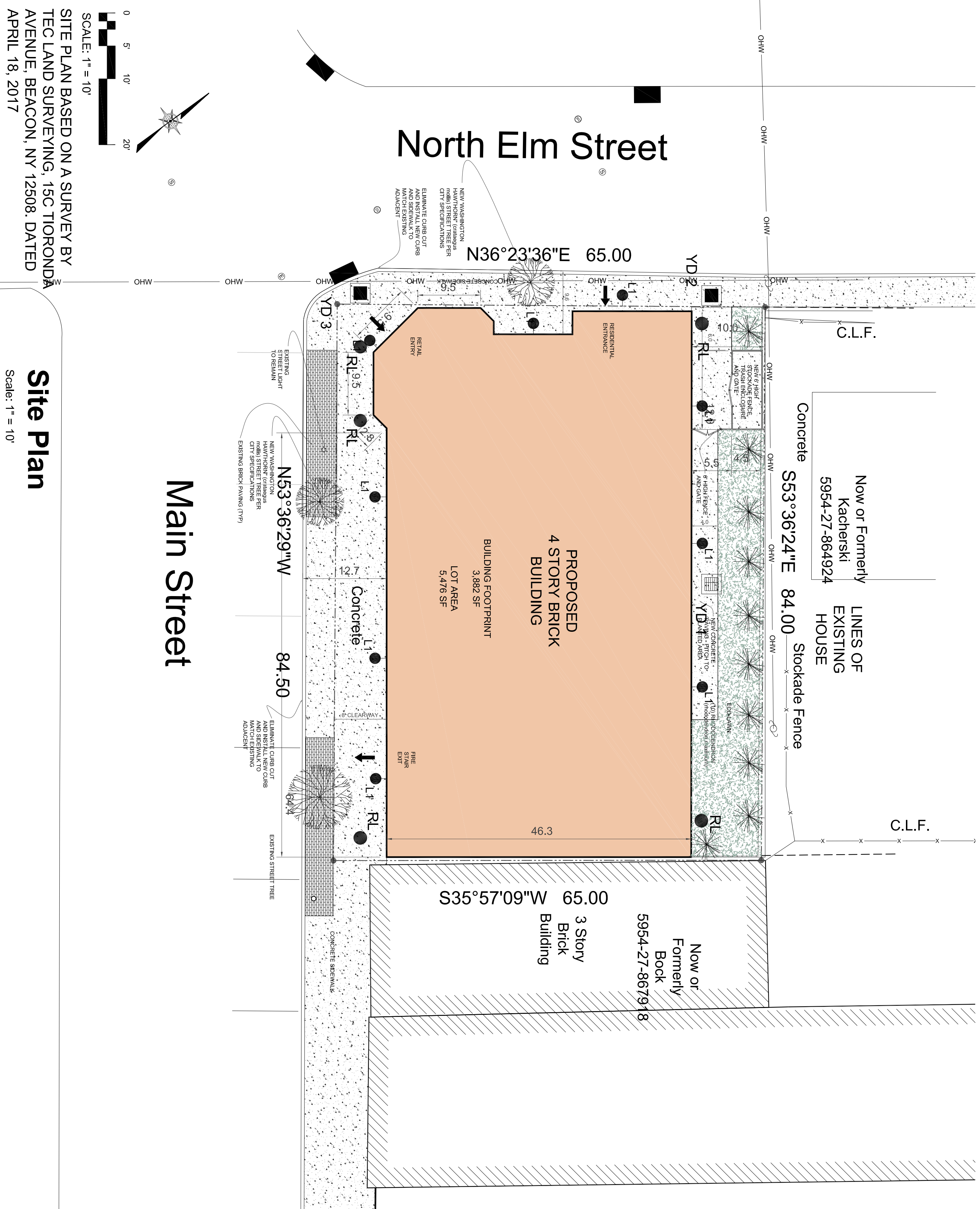
Owner:  
**Estate of Jeffrey McGarvey**  
C/O Epstein & Epstein,  
PO Box 2, Beacon, NY 12508

Applicant  
**226 Main Street, LLC**  
445 Main Street  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

Surveyor:  
**TEC Surveying**  
15C Toronda Avenue  
Beacon, New York 12508

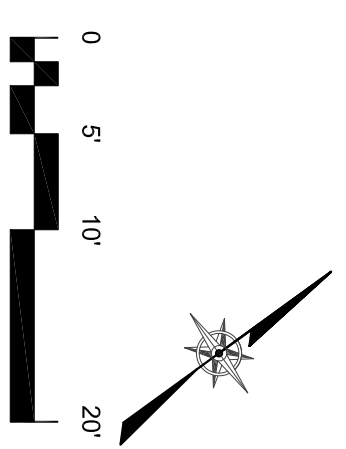


## Main Street

## Site Plan

Scale: 1" = 10'

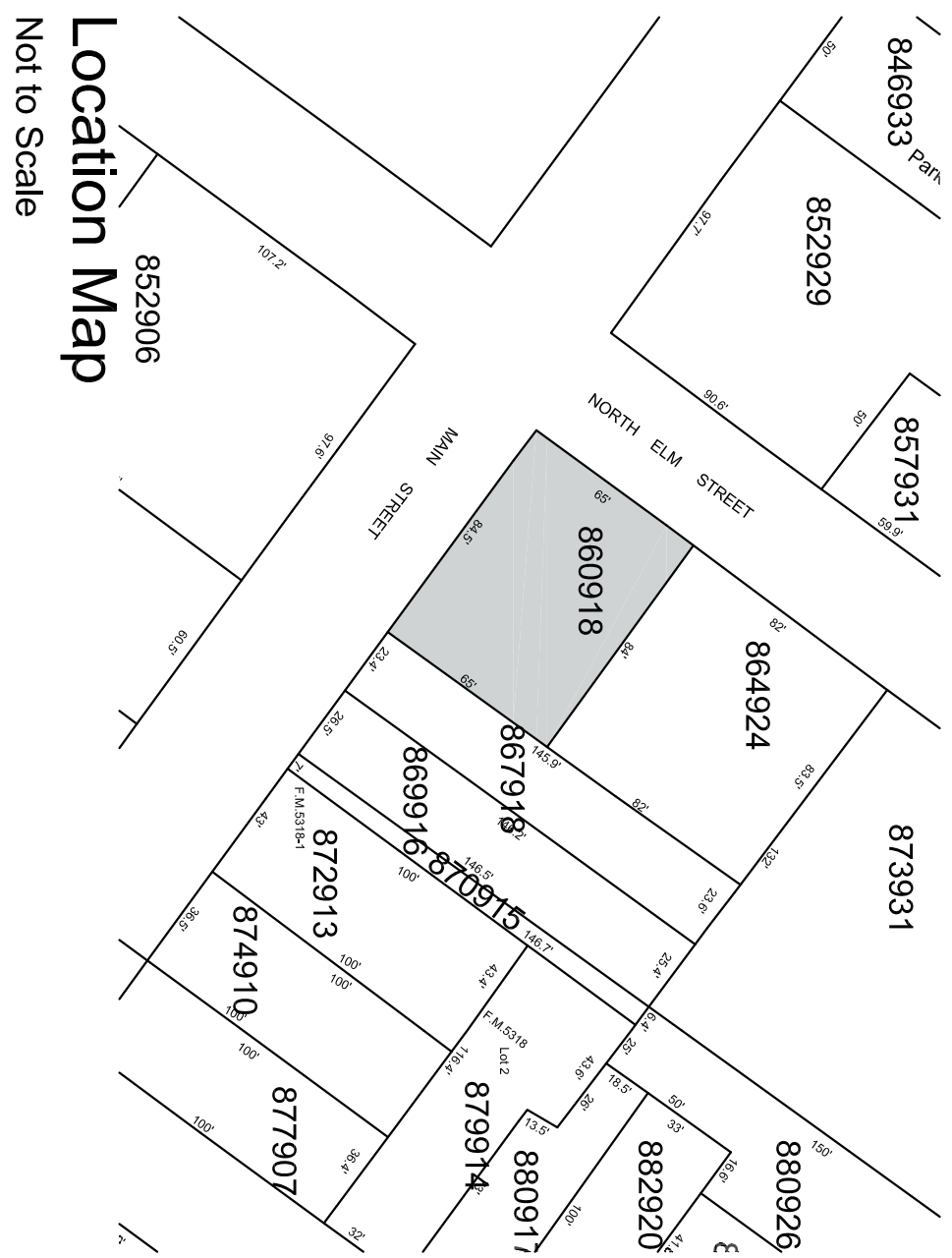
SITE PLAN BASED ON A SURVEY BY  
TEC LAND SURVEYING, 15C TORONDA  
AVENUE, BEACON, NY 12508. DATED  
APRIL 18, 2017



Zoning District	Required Setbacks		Proposed Setbacks		Frontage Required	Frontage Proposed	Minimum Lot Depth	Proposed Lot Depth	Automobile Height	Proposed Height	Lot Area	Proposed Floor Area
	Front	Rear	Front	Rear								
ONS	0'	0'	25'	0'	10%	100%	75'	69'	4 stories	4 stories	5,476 SF	15,528

\* To conform with neighboring building setbacks  
\*\* Existing pre-existing condition

PLANT SCHEDULE	QUANTITY	KEY	BOTANIC NAME	COMMON NAME	SIZE	COMMENTS
Shrubs	10	S-R	Rhododendron maximum	Rhododendron	30-35"	
Grass	105	ECO-LAWN	Bouteloua distachyoides 'Torocho'	ECO Lawn	Seed	April-October planting



## Location Map

Not to Scale

**Zoning Summary**

Zoning District: OMS (Central Main Street)  
Tax Map No.: 5954-27-86391  
Lot Area: 5,476 SF  
Building Footprint: 3,882 square feet  
Historical Overlay District: No  
Easement Overlay District: No  
Existing Utility: Automobile Service Station  
Proposed Use: R-2 Residential / Retail

**Parking & Loading**

Use & Parking Requirements	Proposed Area	Current Parking Requirement
Residential	(B) apartments	8 parking spaces
Retail	3 spaces per 1,000 sf of floor area	11 parking spaces
<b>Total Required Parking Spaces</b>		<b>19 Parking Spaces</b>
<b>Total Proposed Parking Spaces</b>		<b>9 Parking Spaces</b>

**Notes:**

- There are no public utilities below 80" of the property.
  - Pleasant Ridge Plaza
  - Dutchess County Motor Vehicles
- The Applicant proposes a rear yard setback of 10' instead of the required setback of 25'. This allows the building to be large enough to feasibly support the creation of a minimum number of apartments.
- 8 apartments are proposed. Therefore, the project is not required to comply with Workforce Housing requirements.
- Retail hours of operation: 7am - 10pm, Monday through Sunday, inclusive
- No signage is proposed as part of the application. Retail tenants will apply separately to the Planning Board for their own signage.

**Zoning Board**  
RESOLUTION # 2017-X - NOVEMBER 21, 2017  
THE ZONING BOARD GRANTED A VARIANCE TO ALLOW A 10' SETBACK INSTEAD OF A 25' SETBACK. THE ZONING BOARD ALSO GRANTED A VARIANCE TO ALLOW ZERO PARKING SPACES WHERE 9 ARE REQUIRED.

**Architectural Review Board**  
NOVEMBER 20, 2017  
THE ARCHITECTURAL REVIEW BOARD SUBCOMMITTEE APPROVED THE BUILDING DESIGN AS PRESENTED AT THE MEETING WITHOUT FURTHER CONDITIONS. THIS WAS THE SECOND MEETING IN RESPONSE TO COMMENTS RECEIVED AT THE FIRST MEETING ON JUNE 29, 2017. THE PROJECT DOES NOT REQUIRE A CERTIFICATE OF APPROPRIATENESS.

### Index of Drawings

NO.	DATE	DESCRIPTION	BY
1	05/30/17	REVISED PER PLANNING BOARD COMMENTS	AJS
2	06/27/17	REVISED PER PLANNING BOARD COMMENTS	AJS
3	11/28/17	REVISED PER PLANNING BOARD COMMENTS	AJS

REVISIONS:

NO.	DATE	DESCRIPTION	BY

# Site Plan Application

Sheet 1 of 5 - Site Plan

**226 Main Street**  
Beacon, New York  
Scale: 1" = 10'  
April 25, 2017

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	05/30/17	REVISED PER PLANNING BOARD COMMENTS	AJS
2	06/27/17	NO CHANGE	AJS
3	11/28/17	NO CHANGE	AJS

**SURVEY NOTES**

- Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
- Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
- Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
- Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
- The certifications herein are not transferable.
- The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
- Subject to the findings of a current title search.
- Subject to covenants, easements, restrictions, conditions and agreements of record.
- Subject to any right, title or interest the public may have for highway use.

**DEED REFERENCE**

LIBER 1380 PAGE 238  
 JOHN J. HETLING  
 To  
 JEFFEREY MCGARVEY  
 APRIL 1, 1974

**TAX PARCEL NUMBER**

City of Beacon, Dutchess County, New York  
 130200-5954-27-860918-0000

**AREA**

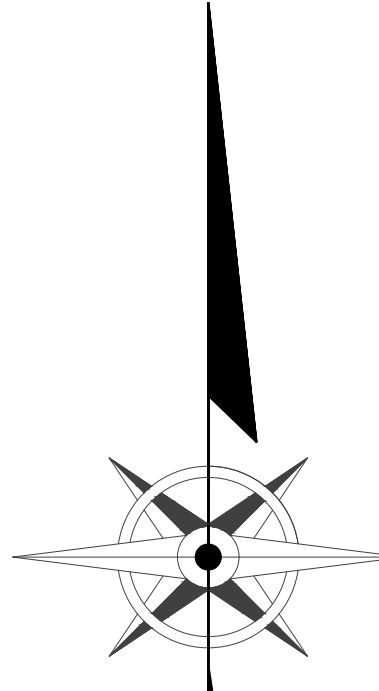
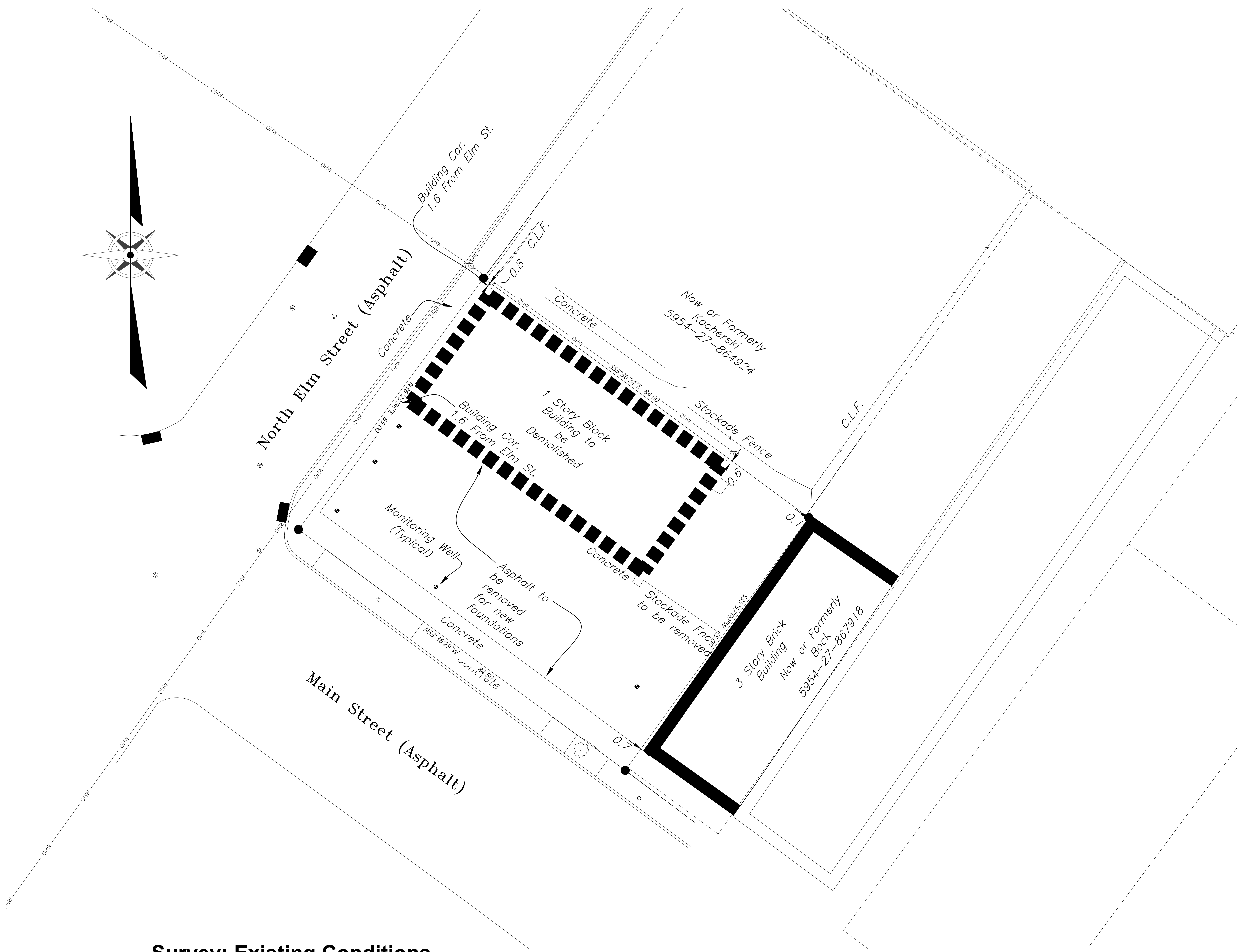
5,476 Square Feet  
 0.126 Acres

**CERTIFICATIONS**

High View Development

**DATE OF SURVEY**

Field Completion: February 28, 2017



**Survey: Existing Conditions**

Scale: 1" = 10'

**Site Plan Application**  
 Sheet 2 of 5 - Survey: Existing Conditions

Owner:  
**Estate of Jeffrey McGarvey**  
 C/O Epstein & Epstein,  
 PO Box 2, Beacon, NY 12508

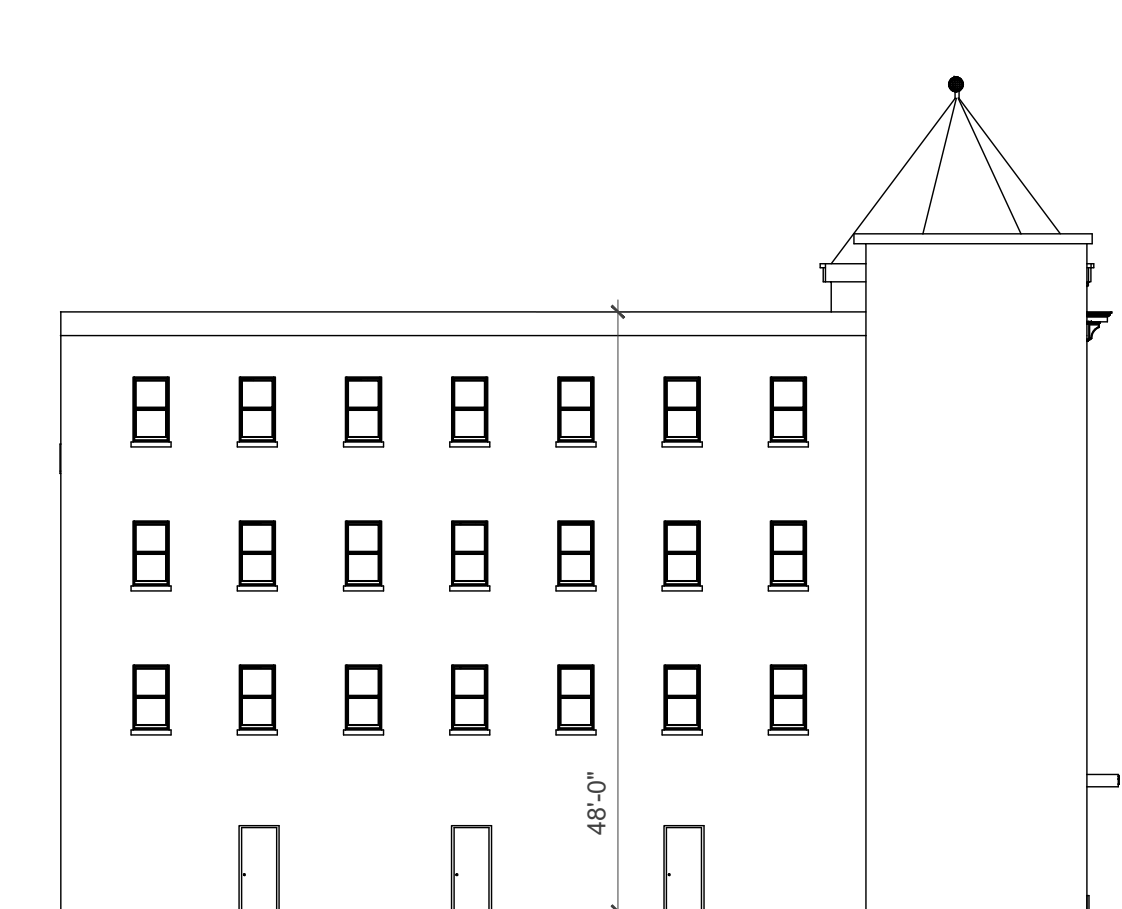
Applicant  
**226 Main Street, LLC**  
 445 Main Street  
 Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
 84 Mason Circle  
 Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
 174 Main Street  
 Beacon, New York 12508

Surveyor:  
**TEC Surveying**  
 15C Tioronda Avenue  
 Beacon, New York 12508

**226 Main Street**  
 Beacon, New York  
 Scale: 1" = 10'  
 April 25, 2017



**Elevation: Rear**

Scale:  $\frac{1}{16}'' = 1'-0''$

8" PRECAST CONCRETE CORNING AT ELEVATOR TOWER

TRIM AT HARDIE BOARD, COLOR: BENJAMIN MOORE HC-162 BREWSTER GRAY

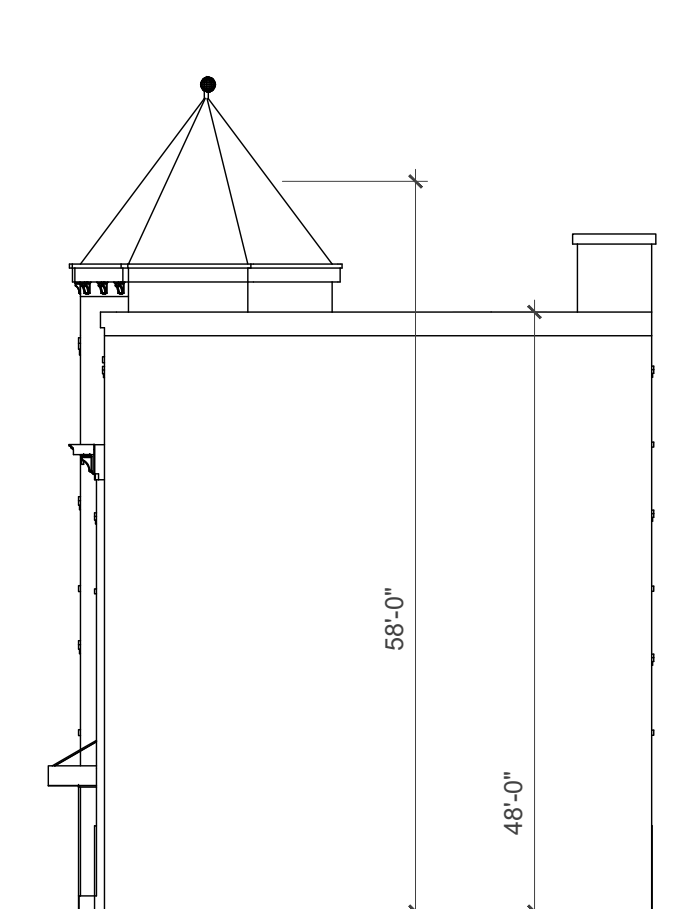
HARDIE BOARD SIDING - COLOR: NIGHT GRAY, SMOOTH FINISH

DOUBLE GLAZED INSULATED CLAD WOOD WINDOWS - ANDRESEN 400 SERIES OR APPROVED EQUAL - COLOR: CHARCOAL GRAY

BRICK - COLOR AND FINISH SIMILAR TO TYPICAL MAIN STREET HISTORIC BUILDINGS, GLEN GARY 5600 OR APPROVED EQUAL

ALUMINUM AWNINGS: BENJAMIN MOORE COLOR HC-159 PHILPSBURG BLUE

PAINTED HOLLOW METAL DOORS, BENJAMIN MOORE COLOR HC-159 PHILPSBURG BLUE

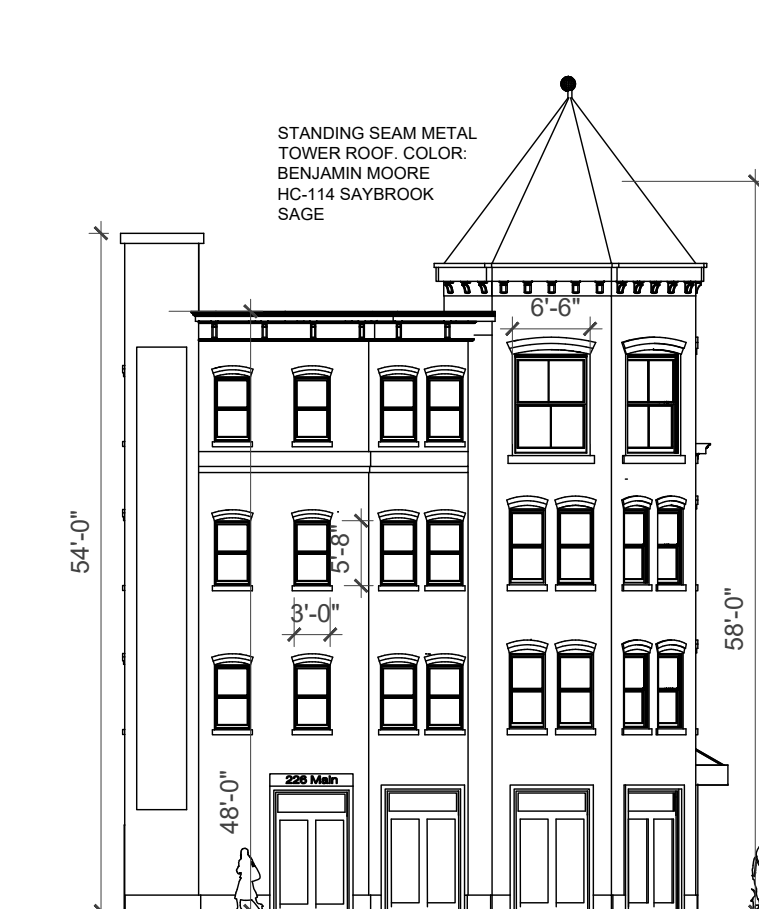


**Elevation: East**

Scale:  $\frac{1}{16}'' = 1'-0''$

TRIM AT HARDIE BOARD, COLOR: BENJAMIN MOORE HC-162 BREWSTER GRAY

HARDIE BOARD SIDING - COLOR: NIGHT GRAY, SMOOTH FINISH



**Elevation: West**

Scale:  $\frac{1}{16}'' = 1'-0''$

PAINTED WOOD TOWER CORNICE AND BRACKETS, COLOR: BENJAMIN MOORE HC-159 PHILPSBURG BLUE

TRIM AT HARDIE BOARD, COLOR: BENJAMIN MOORE HC-162 BREWSTER GRAY

HARDIE BOARD SIDING - COLOR: NIGHT GRAY, SMOOTH FINISH

CORNICE: BENJAMIN MOORE COLOR HC-159 PHILPSBURG BLUE

BRACKETS: BENJAMIN MOORE COLOR HC-50 GEORGIAN BRICK

DOUBLE GLAZED INSULATED CLAD WOOD WINDOWS - COLOR: CHARCOAL GRAY, ARCHED BRICK HEADERS, 4" THICK PRECAST CONCRETE SILL

BRICK - COLOR AND FINISH SIMILAR TO TYPICAL MAIN STREET HISTORIC BUILDINGS, GLEN GARY 5600 OR APPROVED EQUAL

STONE: MEDIUM GRAY HONED FINISH GRANITE



**Elevation: Main Street**

Scale:  $\frac{1}{16}'' = 1'-0''$

PAINTED WOOD TOWER CORNICE AND BRACKETS, COLOR: BENJAMIN MOORE HC-159 PHILPSBURG BLUE

TRIM AT HARDIE BOARD, COLOR: BENJAMIN MOORE HC-162 BREWSTER GRAY

HARDIE BOARD SIDING - COLOR: NIGHT GRAY, SMOOTH FINISH

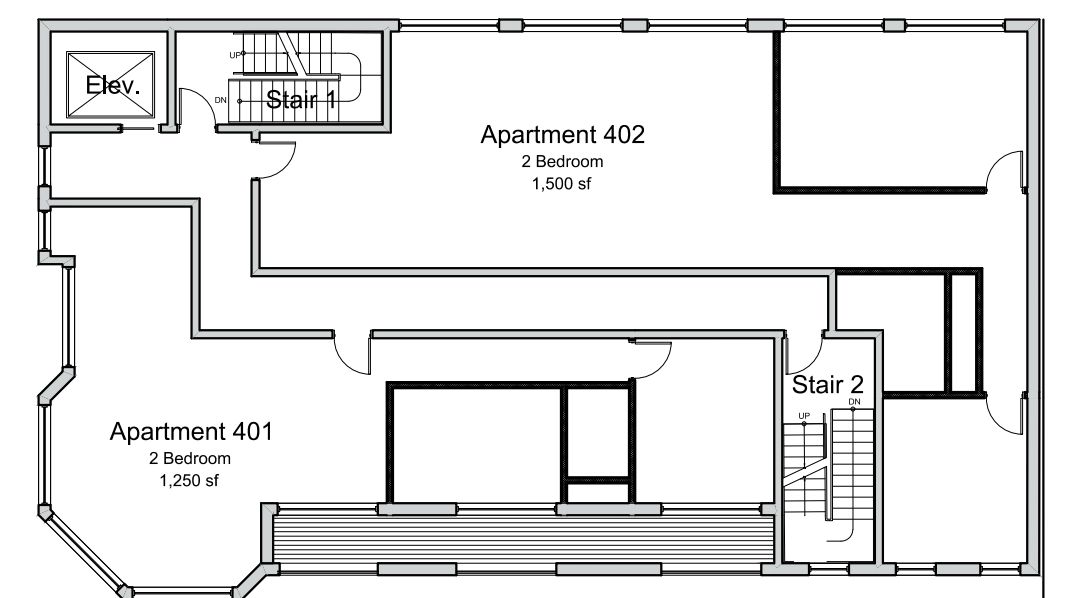
CORNICE: BENJAMIN MOORE COLOR HC-159 PHILPSBURG BLUE

BRACKETS: BENJAMIN MOORE COLOR HC-50 GEORGIAN BRICK

DOUBLE GLAZED INSULATED CLAD WOOD WINDOWS - COLOR: CHARCOAL GRAY, ARCHED BRICK HEADERS, 4" THICK PRECAST CONCRETE SILL

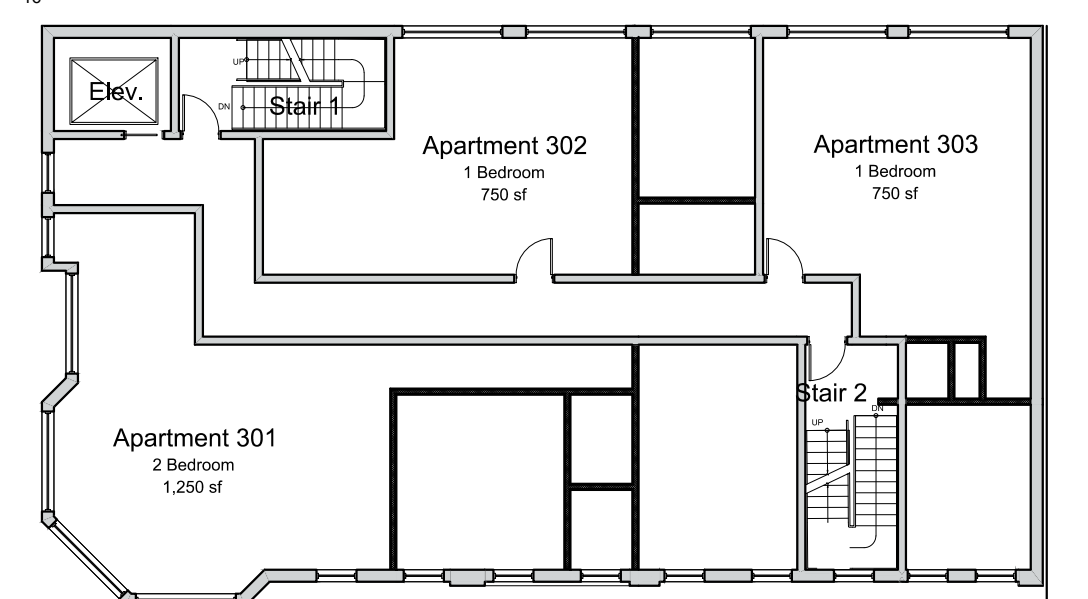
BRICK - COLOR AND FINISH SIMILAR TO TYPICAL MAIN STREET HISTORIC BUILDINGS, GLEN GARY 5600 OR APPROVED EQUAL

DOUBLE GLAZED INSULATED PAINTED WOOD STOREFRONT DOORS AND WINDOWS, BENJAMIN MOORE COLOR HC-159 PHILPSBURG BLUE



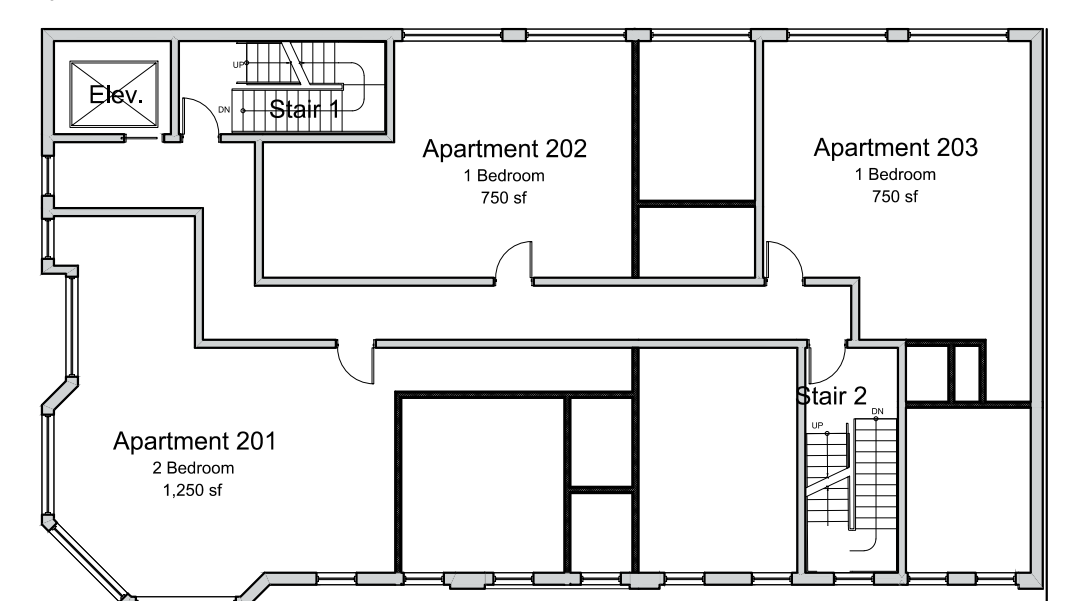
**4th Floor Plan**

Scale:  $\frac{1}{16}'' = 1'-0''$



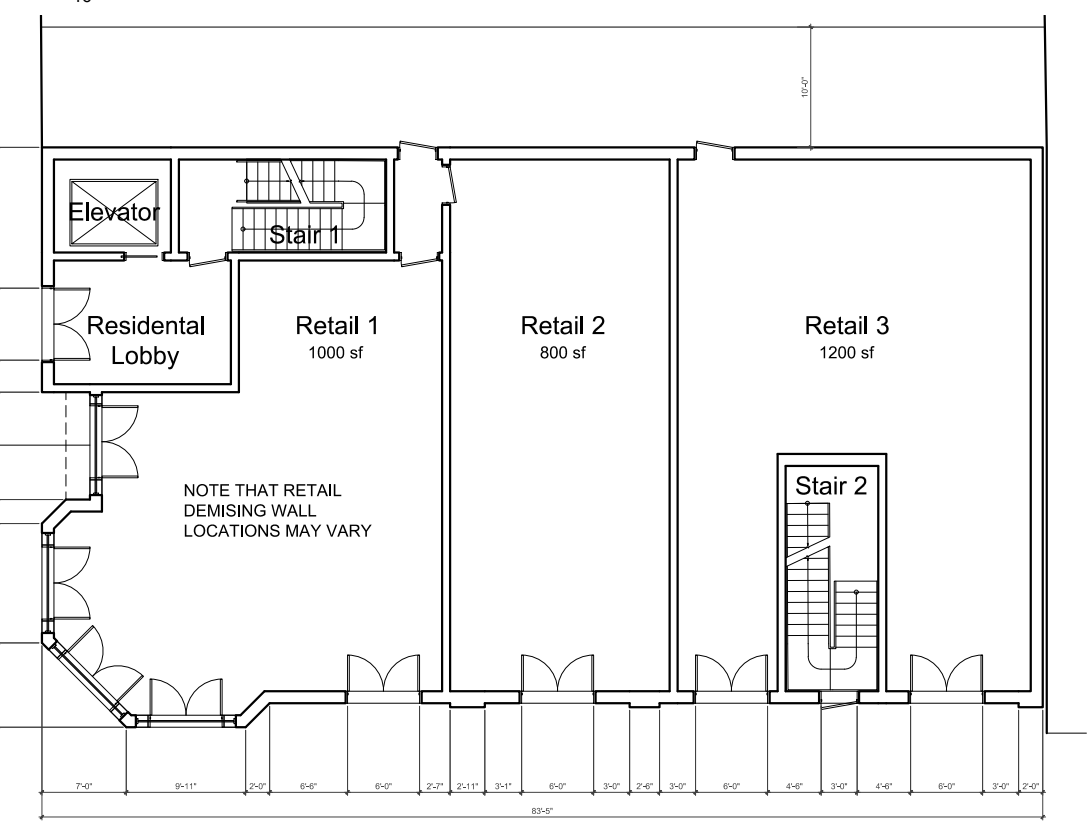
**3rd Floor Plan**

Scale:  $\frac{1}{16}'' = 1'-0''$



**2nd Floor Plan**

Scale:  $\frac{1}{16}'' = 1'-0''$



**1st Floor Plan**

Scale:  $\frac{1}{16}'' = 1'-0''$



**View**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

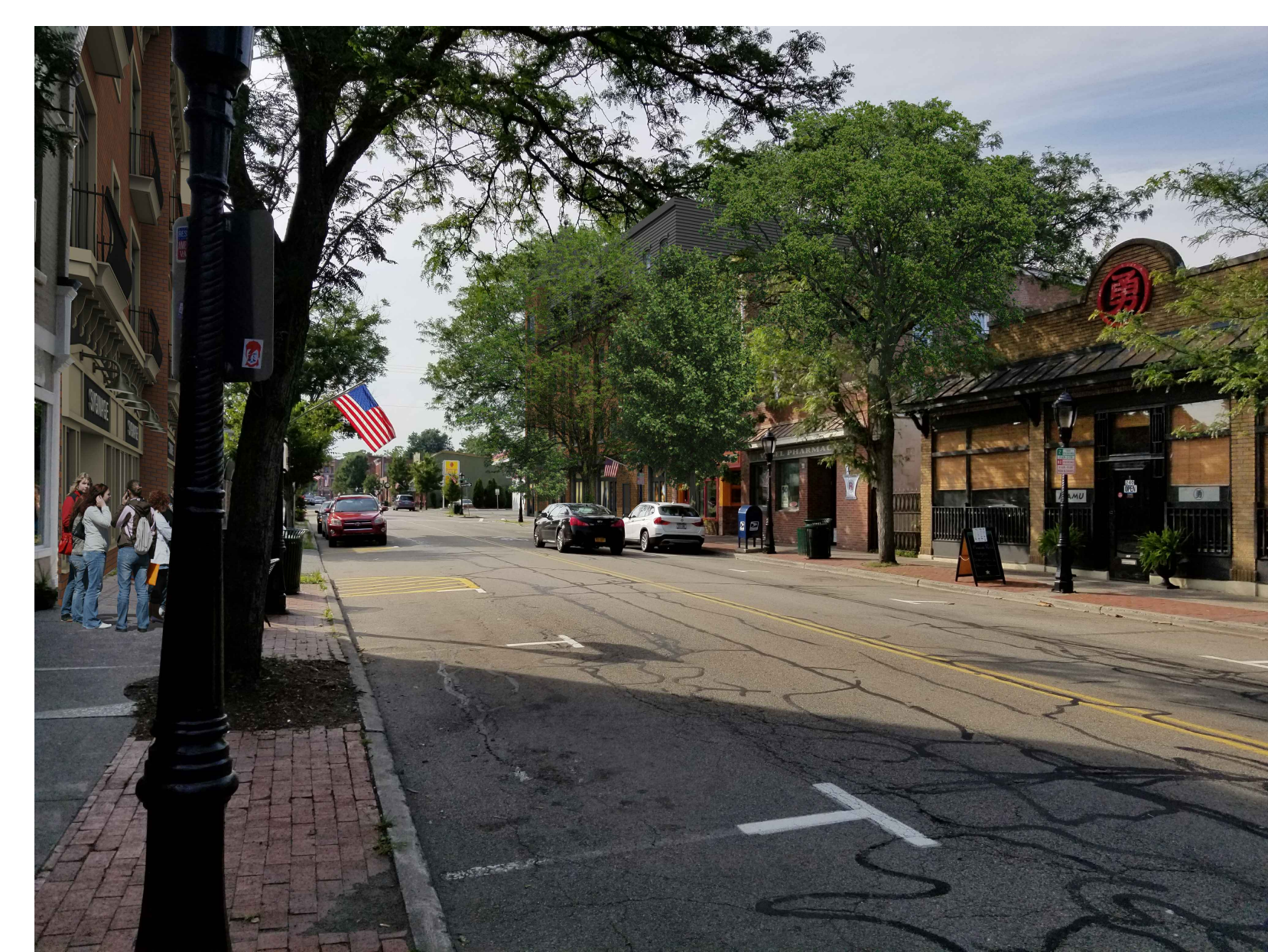
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	05/30/17	REVISED PER PLANNING BOARD COMMENTS	AJS
2	06/27/17	NO CHANGE	AJS
3	11/28/17	REVISED PER PLANNING BOARD COMMENTS	AJS



**View**



**View**



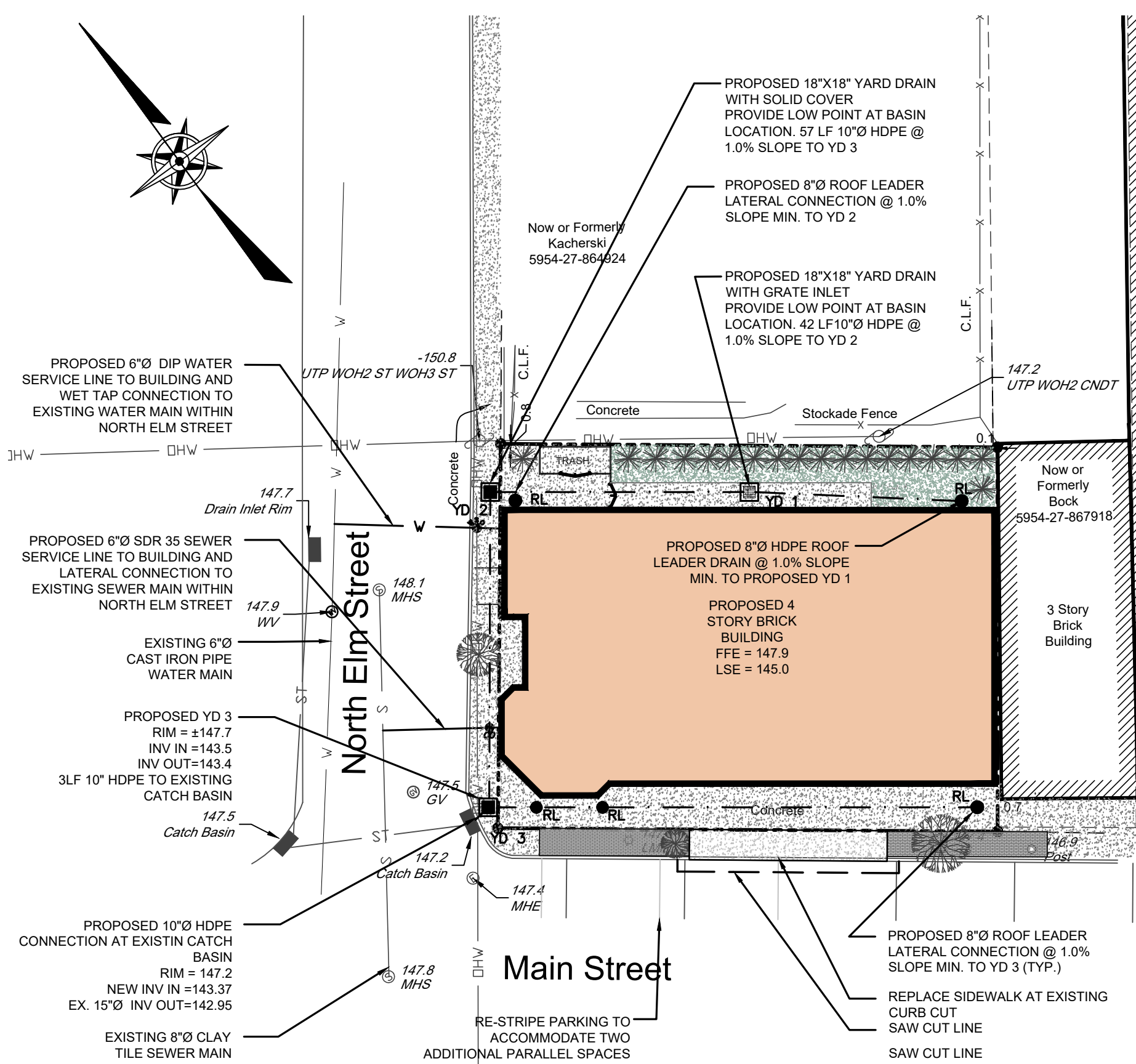
**View**

**Site Plan Application**  
 Sheet 3 of 5 - Plans & Elevations  
**226 Main Street**  
 Beacon, New York  
 Scale: 1" = 10'  
 April 25, 2017

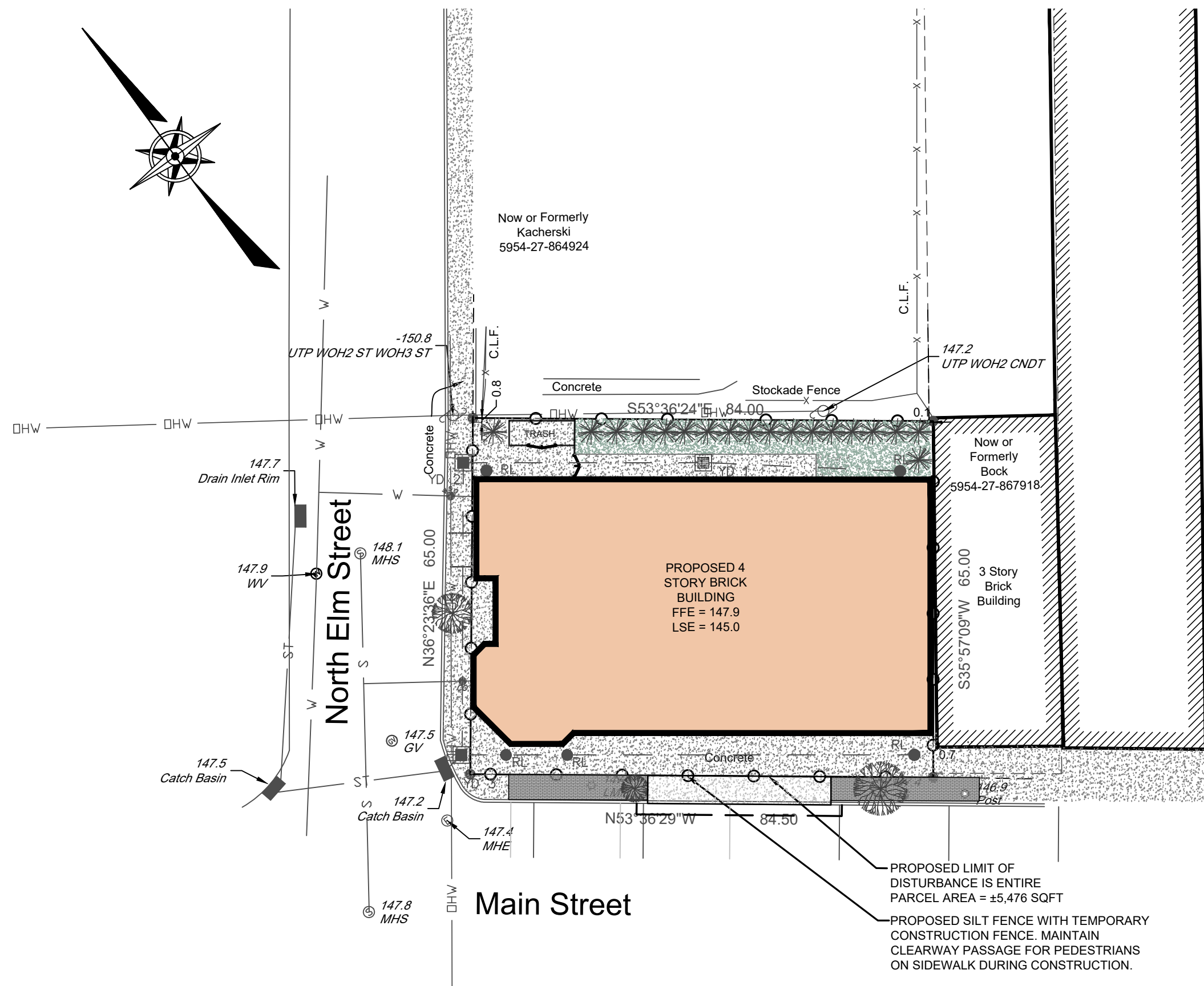
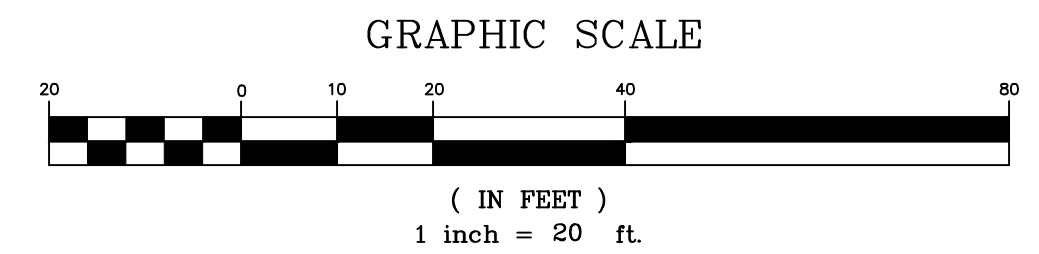
**Owner:**  
 Estate of Jeffrey McGarvey  
 C/O Epstein & Epstein,  
 PO Box 2, Beacon, NY 12508

**Applicant:**  
 226 Main Street, LLC  
 445 Main Street  
 Beacon, New York 12508

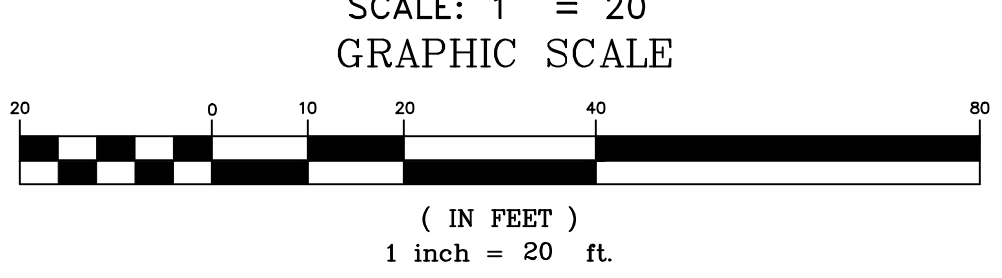
**Architect:**  
 Aryeh Siegel, Architect  
 84 Mason Circle  
 Beacon, New York 12508



UTILITY PLAN  
SCALE: 1" = 20'



EROSION & SEDIMENT CONTROL PLAN  
SCALE: 1" = 20'

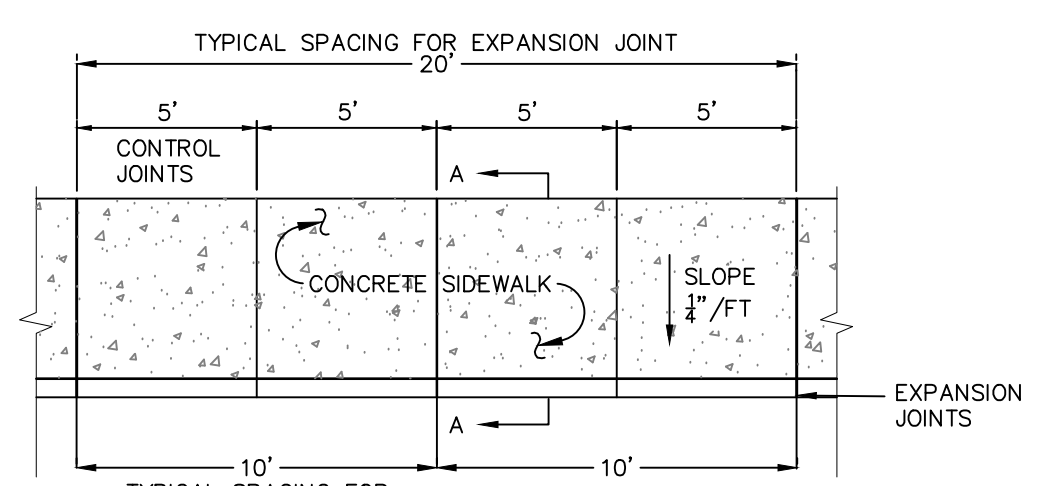


LEGEND

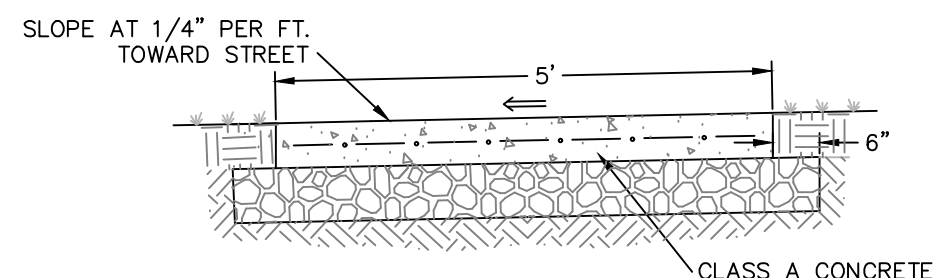
- EXISTING PROPERTY LINE
- EXISTING ADJOINER LINE
- S --- EXISTING SEWER MAIN
- W --- EXISTING WATER MAIN
- S --- PROPOSED SEWER SERVICE LINE
- W --- PROPOSED WATER SERVICE LINE
- PROPOSED WATER SHUT-OFF VALVE
- PROPOSED CLEAN OUT
- PROPOSED SILT FENCE

SITE SPECIFIC NOTES:

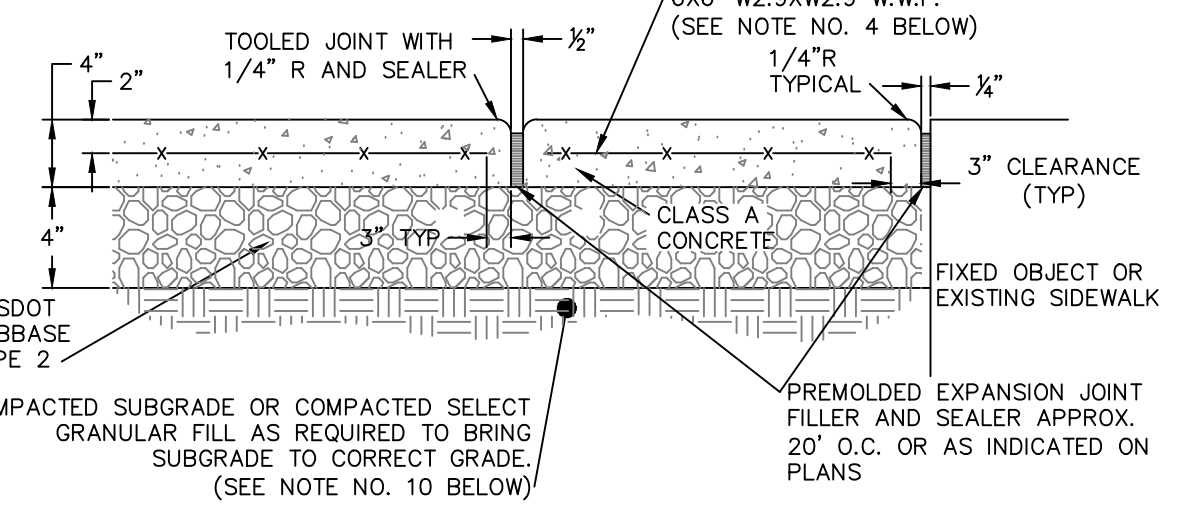
1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UTP@ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS, WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL DRAINAGE, SANITARY SEWER, WATER AND GAS LINES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT.
3. THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES. AS SUCH, THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
4. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
5. THE WATER SERVICE LINE SHALL BE 6" DIP.
6. THE SEWER SERVICE LINE SHALL BE 6" SDR-35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
7. STREET CLOSURE FOR WATER, SEWER AND GAS SERVICE CONNECTIONS AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS. A PLAN SHALL BE IN PLACE FOR MAINTENANCE AND PROTECTION OF TRAFFIC.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. MAIN STREET AND NORTH ELM STREET SHALL BE KEPT CLEAN AND SWEEP DURING CONSTRUCTION.
9. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, AS REQUIRED. THE TYPES OF PUMPS AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
10. THE TOTAL DISTURBANCE ASSOCIATED WITH THE PROJECT HAS BEEN ESTIMATED TO BE 5,476 SQUARE FEET (±0.13 ACRE).
11. THE BUILDING DEPARTMENT SHALL INSPECT THE EXISTING BUILDING TO CONFIRM THAT THERE ARE NOT EXISTING STORMWATER CONNECTIONS TO THE CITY'S SANITARY SEWER SYSTEM PRIOR TO THE MAP BEING SIGNED.
12. THE EXISTING WATER SERVICE LINE SHALL BE CUT, CAPPED AND ABANDONED IN-PLACE.
13. THE EXISTING SEWER SERVICE LATERAL SHALL BE REMOVED AND PLUGGED TO PREVENT ANY GROUNDWATER INFLOW INTO THE CITY SEWER SYSTEM.



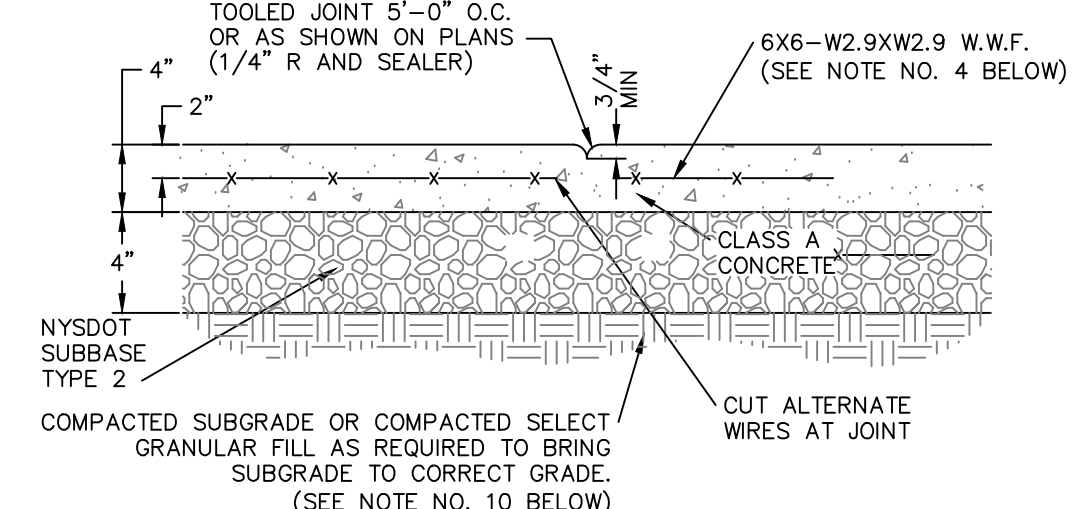
EXPANSION JOINT



SECTION A-A



EXPANSION JOINT



CONTROL JOINT

- NOTES:
1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.
  2. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYS DOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002, AND ALL ADDENDA THERETO; THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
  3. ALL CONCRETE SHALL BE 3,500 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.
  4. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
  5. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
  6. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20' ON CENTER, OR AS INDICATED ON PLANS.
  7. JOINTS SHALL NOT BE SAW CUT.
  8. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFEBOB"SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  9. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYS DOT STANDARD.
  10. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.
  11. ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.

CONCRETE SIDEWALK DETAIL  
NOT TO SCALE

PROJECT INFORMATION:

PARCEL OWNER:	328 MAIN, LLC.
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	226 MAIN STREET BEACON, NEW YORK 12508
TAX PARCEL ID:	5954-27-860918
PARCEL AREA:	±0.13-ACRE
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL
ZONING DISTRICT:	CENTRAL MAIN STREET (CMS)

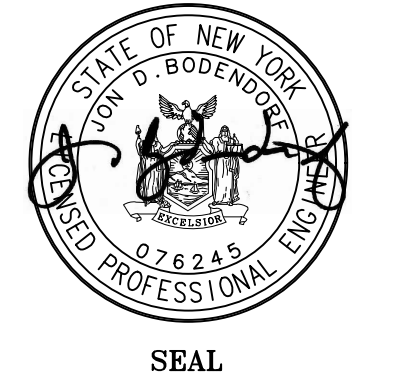
MAP REFERENCES:  
1. EXISTING FEATURES AS SHOWN ON THIS SKETCH PLAN PROVIDED BY A SURVEY BY TEC LAND SURVEYING.

UTILITY AND EROSION & SEDIMENT CONTROL PLAN  
226 MAIN STREET

226 MAIN STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5954-27-860918  
SCALE: AS NOTED  
APRIL 25, 2017



HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637

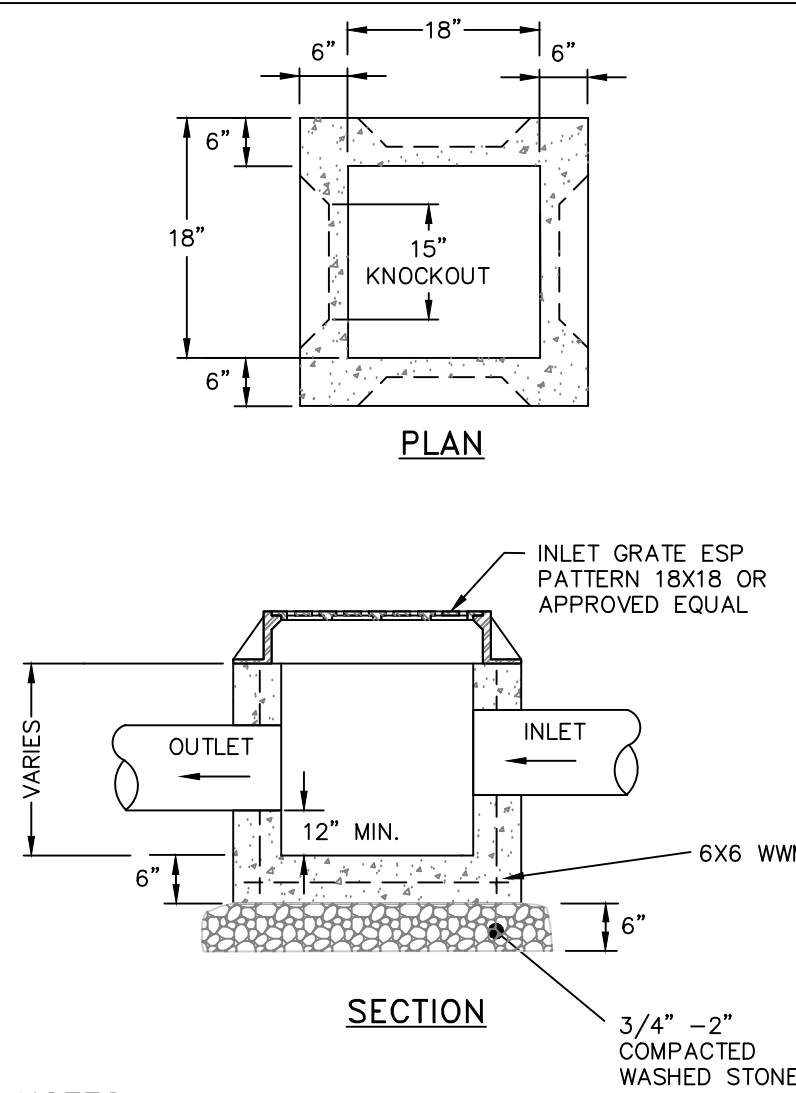


SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.org

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- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

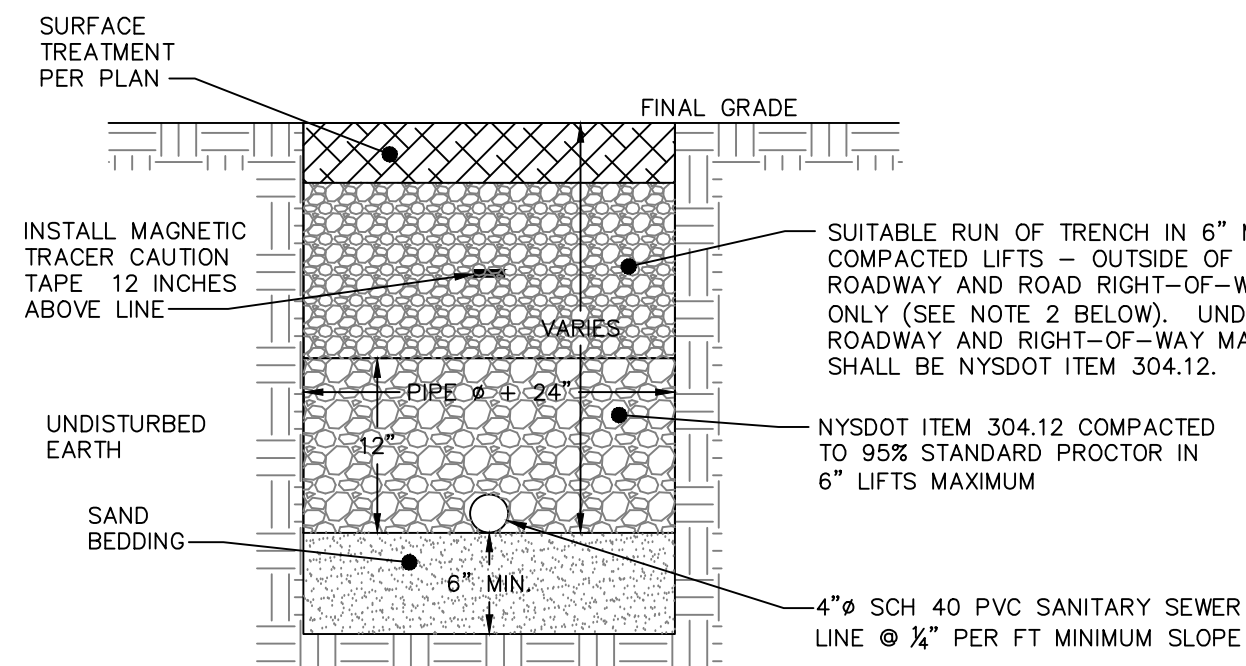
NO.	DATE	DESCRIPTION	BY
1	5/30/17	PER CITY OF BEACON COMMENTS	MAB
2	6/27/17	PER CITY OF BEACON COMMENTS	MAB
3	11/28/17	PER CITY OF BEACON COMMENTS	MAB



**NOTES:**

1. YARD INLET BASINS SHALL BE PRE CAST REINFORCED CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND SHALL BE IN CONFORMANCE WITH ASTM 478-68. WALLS AND BASE SHALL BE ONE PIECE CONSTRUCTION. YARD INLET BASIN SHOWN BY EXPANDED SUPPLY PRODUCTS (ESP), 3330 ROUTE 9, COLD SPRING, NY (845) 265-3771.
2. BACKFILL USING SELECT MATERIAL, COMPACTED IN 6" LIFTS.
3. SUMP SHALL BE 12".
4. FRAMES AND GRATES SHALL BE SET IN A FULL BED OF MORTAR.

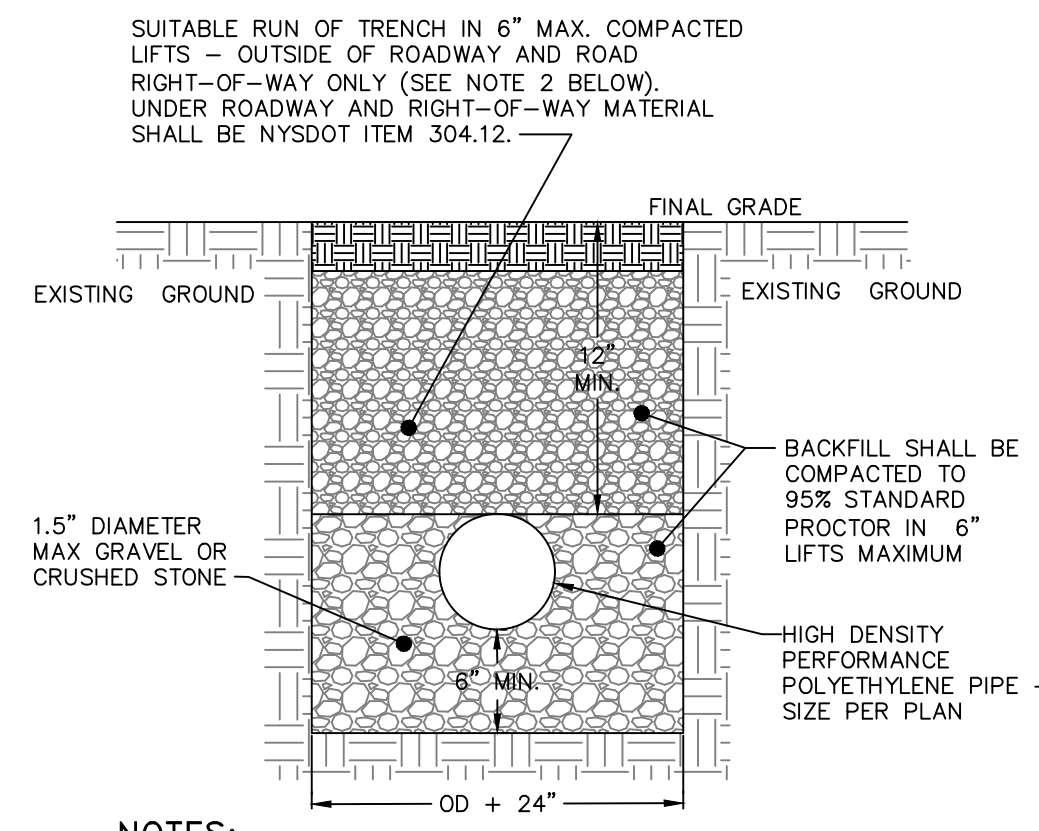
**PRE-CAST CONCRETE YARD INLET DETAIL**  
NOT TO SCALE



**NOTES:**

1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

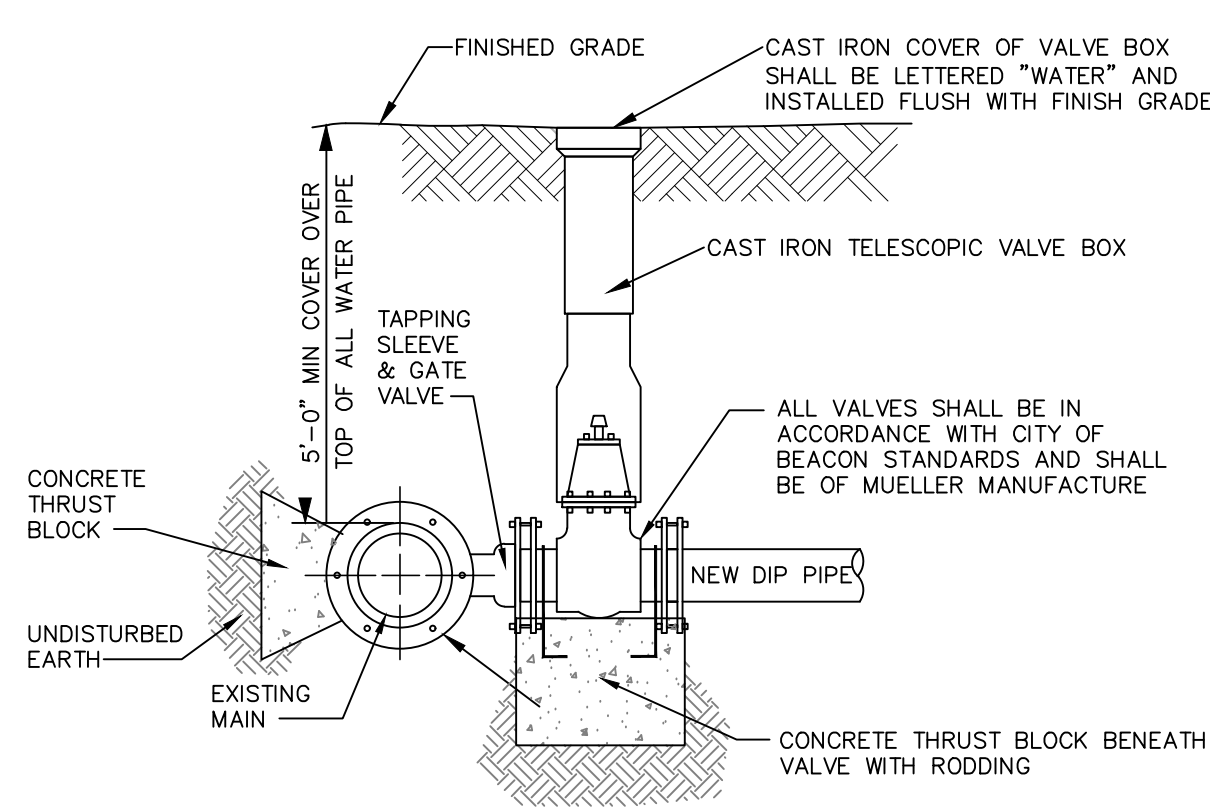
**SANITARY SEWER SERVICE TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

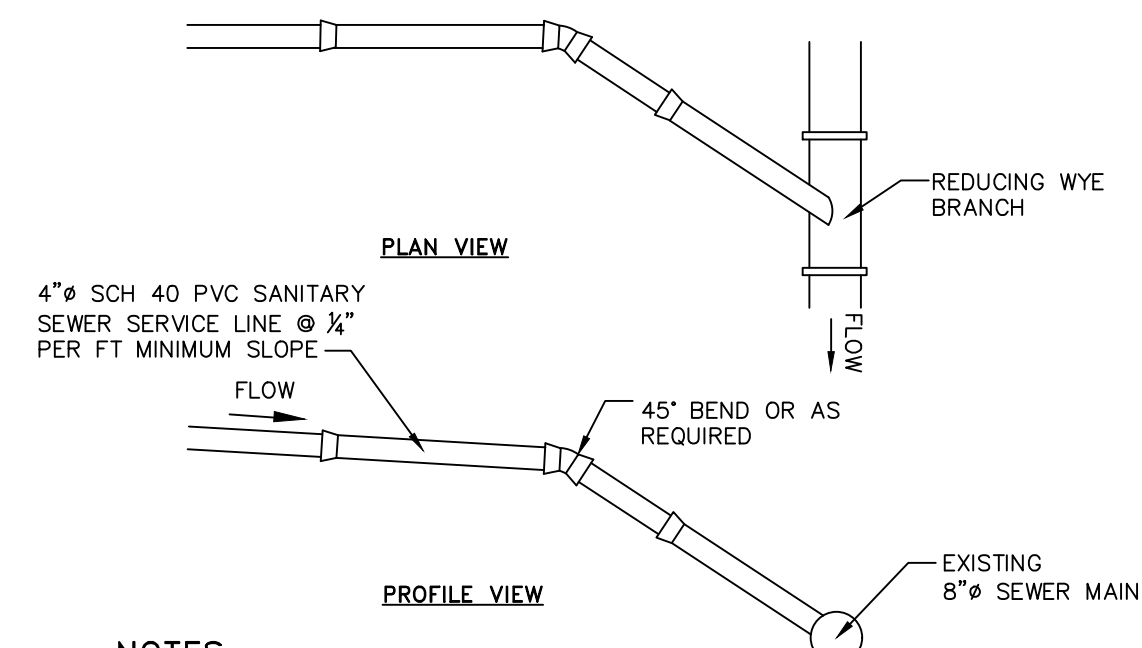
**STORM LINE TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

1. ALL VALVES SHALL OPEN BY TURNING LEFT (COUNTERCLOCKWISE) AND HAVE A 2-INCH SQUARE OPERATING NUT PAINTED RED.
2. ALL VALVES SHALL BE M.J. RESILIENT WEDGE TYPE WITH "O" RING PACKING, DESIGNED FOR A WORKING PRESSURE OF 150 PSI AND BE IN FULL CONFORMANCE WITH AWWA C500.
3. TAPPING SLEEVE AND GATE VALVE SHOWN ARE MUELLER H-615, AND T-2630 RESPECTIVELY.

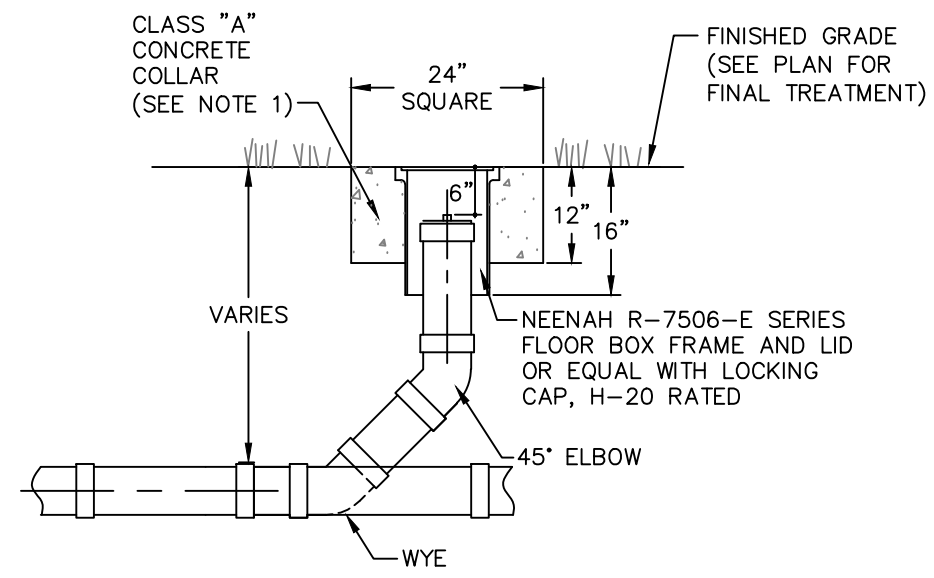
**TAPPING SLEEVE DETAIL**  
NOT TO SCALE



**NOTES:**

1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
3. TAPPING SADDLE FOR CONNECTION OF THE PROPOSED SERVICE LINE TO THE EXISTING SEWER MAIN TO BE A 4" PREDCO HUB TAP SADDLE - MODEL #HTS4/E.

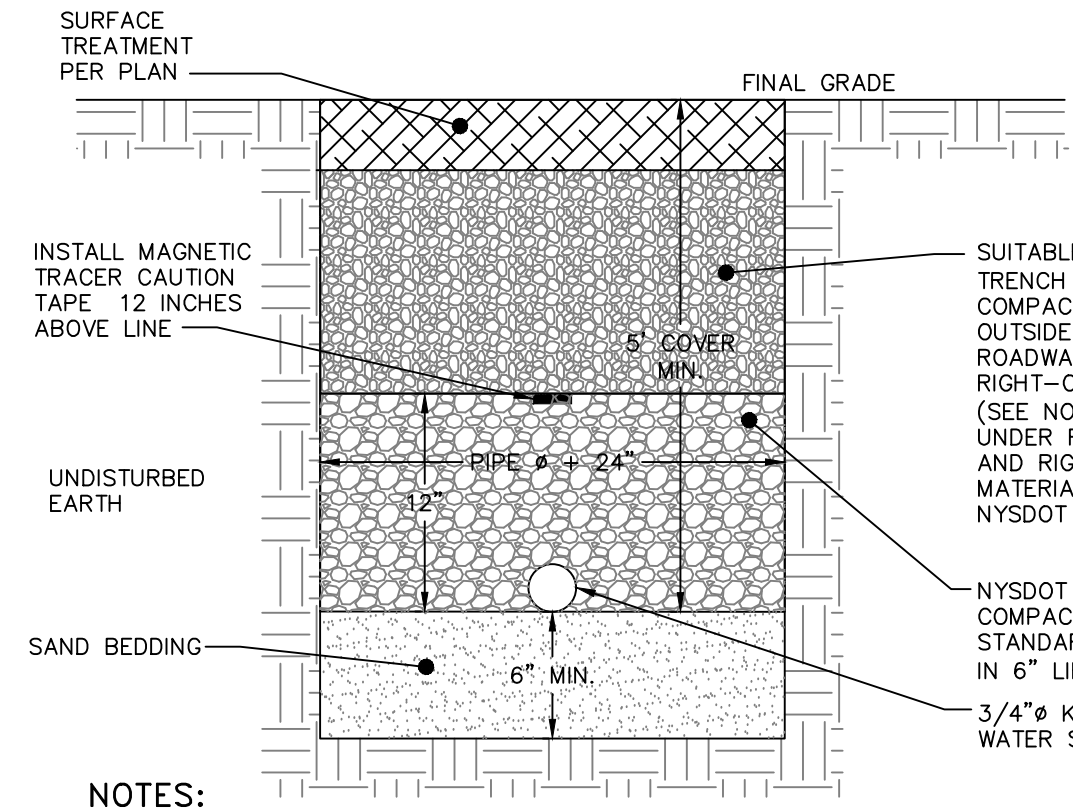
**SANITARY SEWER SERVICE CONNECTION DETAIL**  
NOT TO SCALE



**NOTES:**

1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.

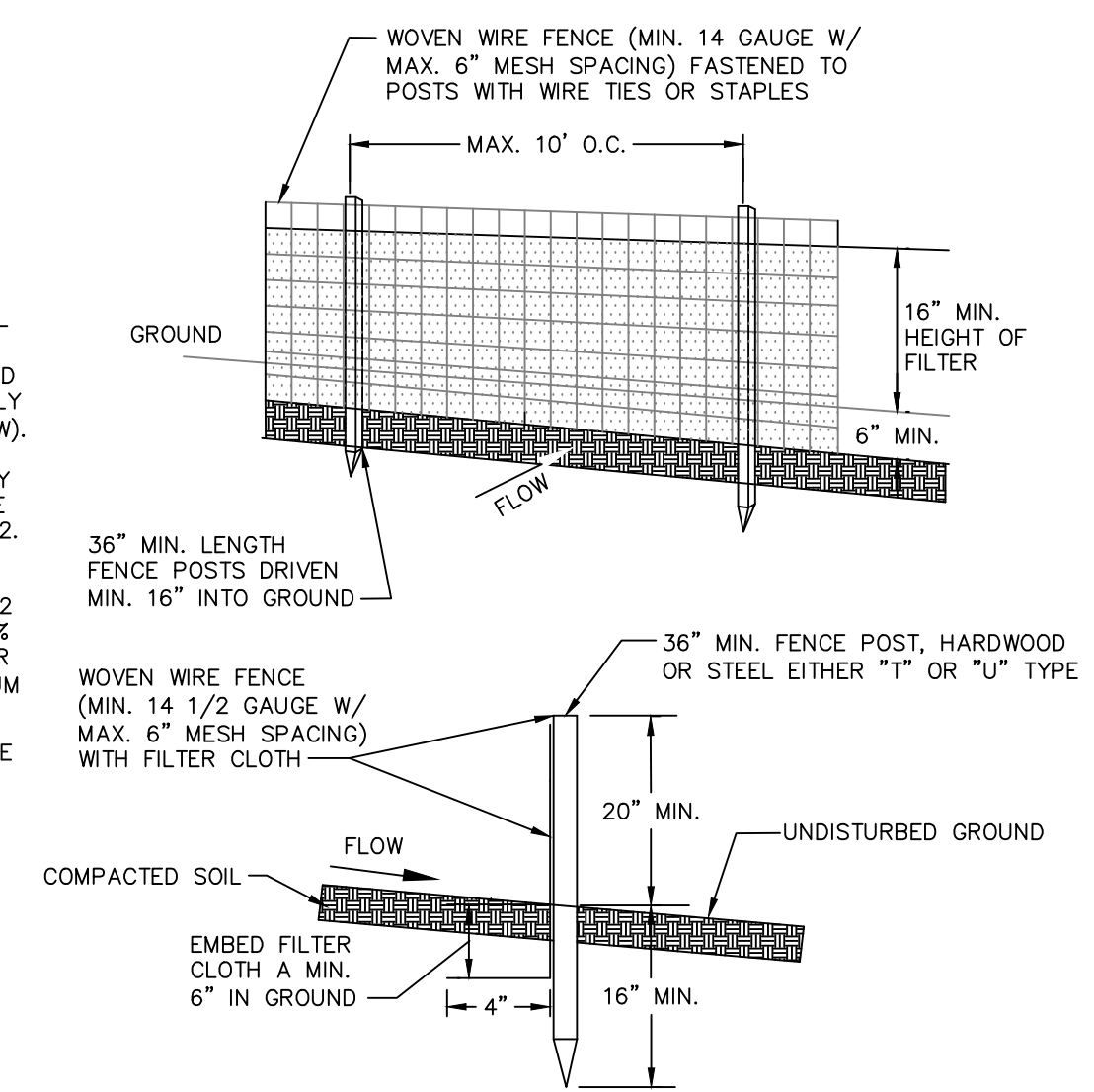
**CLEANOUT DETAIL**  
NOT TO SCALE



**NOTES:**

1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
3. IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.
4. IF WATER SERVICE AND SEWER SERVICE LINE CROSSINGS ARE NEEDED, PROVIDE 18" OF VERTICAL SEPARATION.

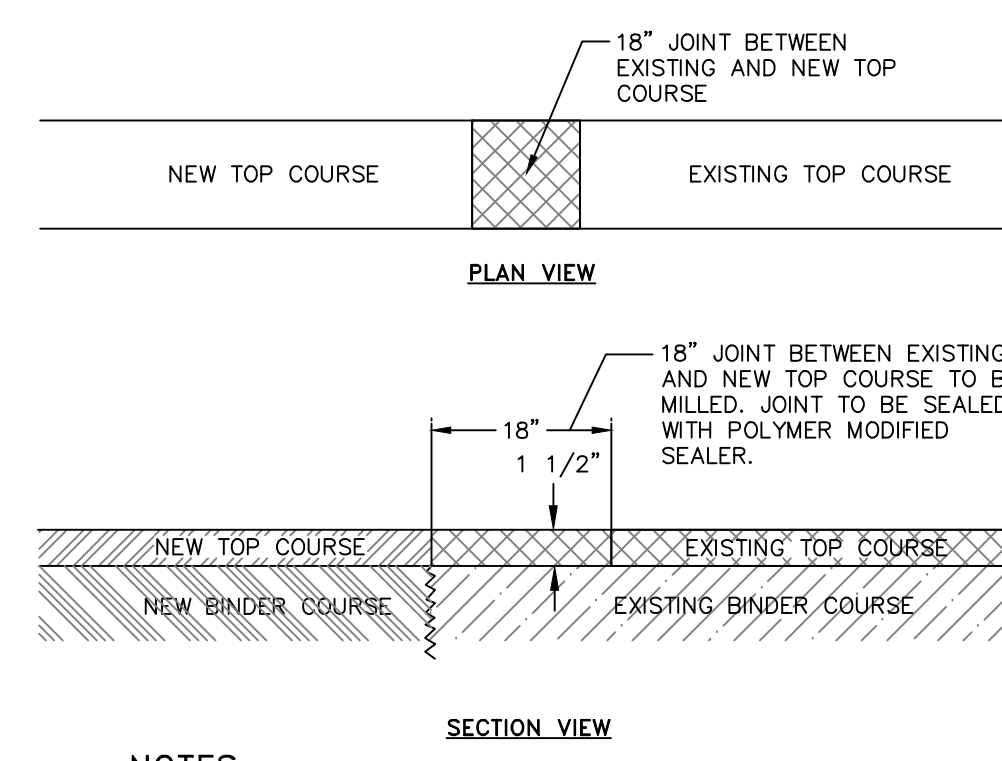
**WATER SERVICE LINE TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE EITHER LAPPED BY SIX INCHES AND FOLDED, FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILINKA T140N OR APPROVED EQUAL.
3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

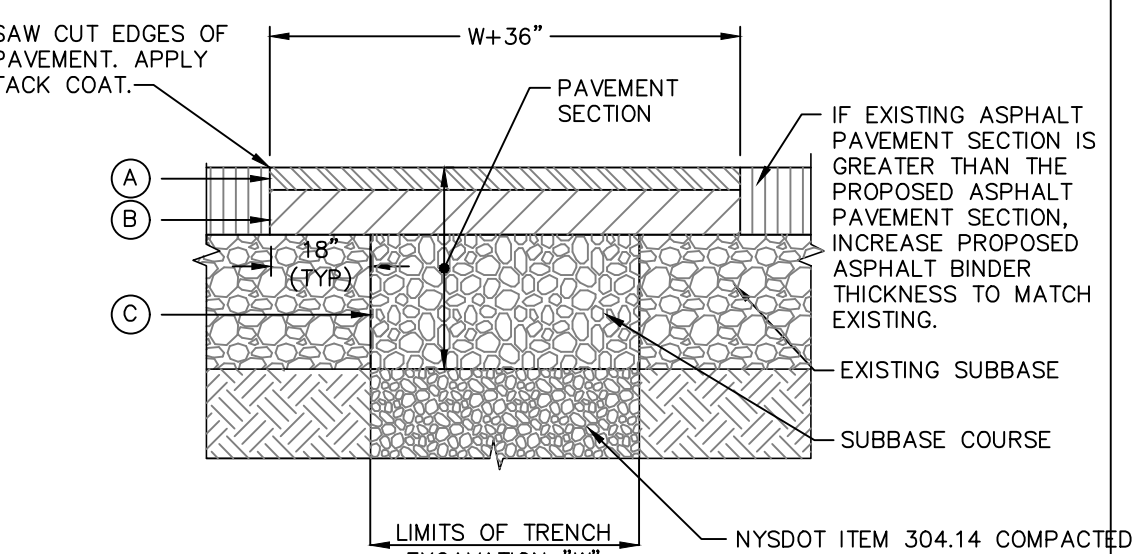
**SILT FENCE DETAIL**  
NOT TO SCALE



**NOTES:**

1. 3" BINDER COURSE AND 1 1/2" TOP COURSE TO BE USED FOR RESTORATION OF PAVEMENT WITHIN CITY ROADS.
2. EXCAVATIONS ARE TO BE SAW CUT SMOOTH, ALL EDGES TACK COATED, AND ALL SEAMS SEALED WITH A HOT POLYMER MODIFIED CRACK SEALANT.
3. IF EXISTING ASPHALT PAVEMENT DEPTH IS GREATER THAN THE PROPOSED ASPHALT PAVEMENT SECTION, INCREASE PROPOSED ASPHALT BINDER THICKNESS TO MATCH EXISTING.

**MILLED KEYWAY DETAIL**  
NOT TO SCALE



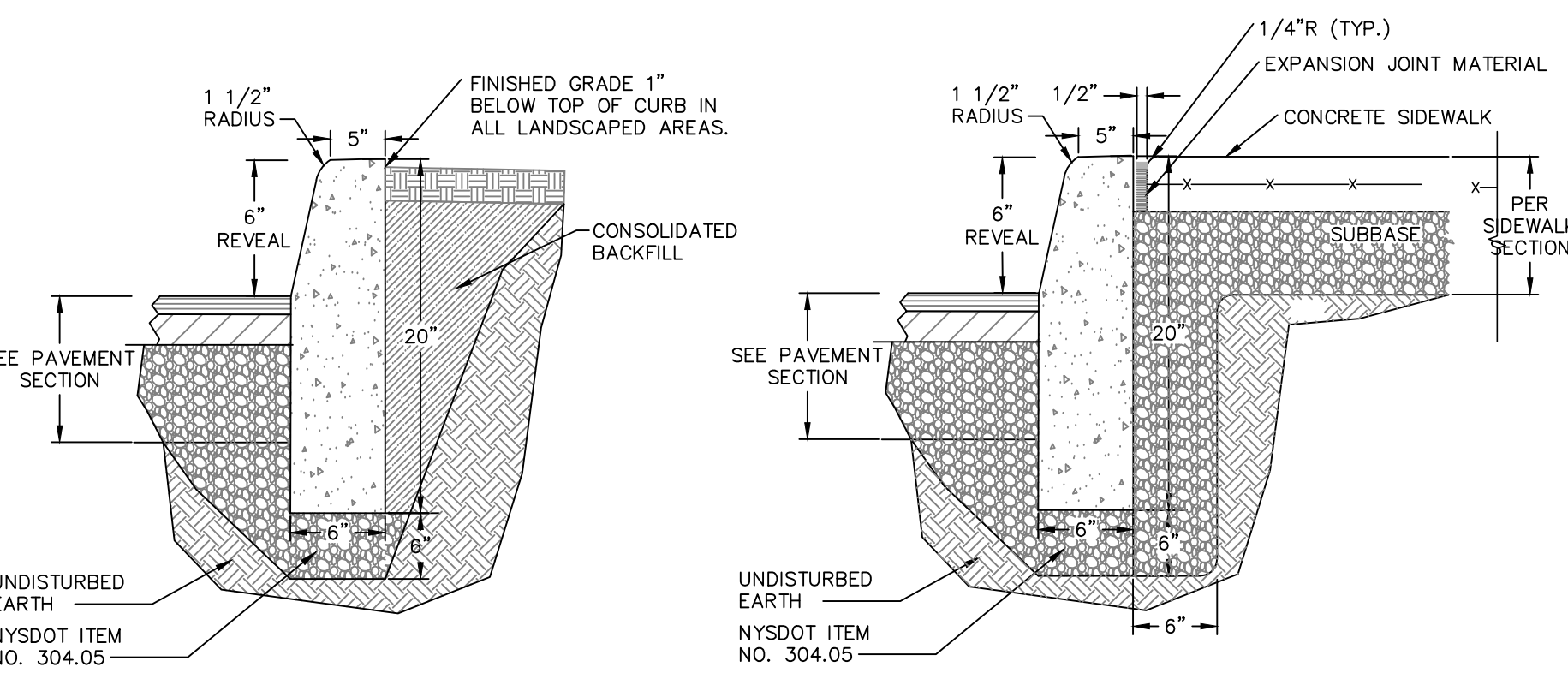
**LEGEND**

- (A) 1-1/2" ASPHALT CONCRETE TOP COURSE- NYS DOT TYPE 6F
- (B) 2 1/2" ASPHALT CONCRETE BINDER COURSE- NYS DOT TYPE 3
- (C) 6" GRANULAR SUBBASE COURSE- NYS DOT ITEM 304.14

**NOTES:**

1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES.
2. 18" JOINT BETWEEN EXISTING AND NEW TOP COURSE TO BE MILLED, JOINT TO BE SEALED WITH POLYMER MODIFIED SEALER.
3. FURNISH, PLACE, AND COMPACT SUBBASE.
4. TACK COAT IN ACCORDANCE WITH NYS DOT STANDARD SPEC.
5. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

**PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE



**NOTES:**

1. CONCRETE CURB SHALL BE 4,000 PSI CAST-IN-PLACE, AND IN ACCORDANCE WITH NYS DOT STANDARD SPECIFICATION SECTION 609.
2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS.
3. FOR MOUNTABLE CURBS ABUTTING SIDEWALK OR OTHER HARDSCAPE, REFER TO "ABUTTING SIDEWALK" DETAIL.

**CAST-IN-PLACE CONCRETE CURB DETAIL**  
NOT TO SCALE

**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

NO.	DATE	DESCRIPTION	BY
1	5/30/17	ADDED SHEET	MAB
2	6/27/17	NO CHANGE THIS SHEET	MAB
3	11/28/17	NO CHANGE THIS SHEET	MAB

# CONSTRUCTION DETAILS

## 226 MAIN STREET

226 MAIN STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5954-27-860918  
SCALE: AS NOTED  
APRIL 25, 2017

**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637

STATE OF NEW YORK  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

December 1, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 226 Main Street  
City of Beacon  
Tax Map No. 5954-27-86091

Dear Mr. Sheers:

The applicant is looking to redevelop the parcel located in the easterly corner of the Main Street and North Elm intersection with a new 4 story building. The new building is proposed to house 3,465 square feet of retail space and 8 apartments. We have reviewed the following plans as related to site plan for this project:

- Sheet 1 of 5, entitled "Site Plan", with the latest revision date of November 28, 2017, as prepared by Hudson Land Design and Aryeh Siegel, Architect.
- Sheet 2 of 5, entitled "Survey – Existing Conditions", with the latest revision date of November 28, 2017, as prepared by TEC Surveying and Aryeh Siegel, Architect.
- Sheet 3 of 5, entitled "Plans & Elevations", with the latest revision date of November 28, 2017, as prepared by Aryeh Siegel, Architect.
- Sheet 4 of 5, entitled "Utility and Erosion & Sediment Control Plan", with the latest revision date of November 28, 2017, as prepared by Hudson land Design, P.C.
- Sheet 5 of 5, entitled "Construction Details", with the latest revision date of November 28, 2017, as prepared by Hudson Land Design, P.C.

A consultant meeting was held at City Hall on November 29<sup>th</sup>, 2017, to discuss the layout of the project, and the previous planning and engineering comments as related to the project. Based upon our review of the above referenced submitted plans, and the consultants meeting, we offer the following comments:

Sheet 1 of 5:

1. The plan should be updated to show ADA compliant accessible ramps at the intersection at the corner of North Elm and Main Street. Ramps shall be provided to allow pedestrian to cross Main Street, as well as North Elm Street.

Sheet 4 of 5:

1. The plan should be updated to reflect ADA compliant accessible ramps, as requested in Comment No. 1 for Sheet 1 of 5.
2. Based upon the consultants meeting, the proposed drainage for the roof will now be interconnected internally and connected to the catch basin at the corner, so as to avoid possible issues between the proposed tree and previously proposed drainage. The area behind the proposed building will have a slight landscape mound where the shrubs are to be installed, and the entire area behind the building shall be graded so that it pitches towards North Elm Street. The plans should be revised to reflect this, and shall also include existing and proposed spot elevations to show the grading of the area. This should also be reflected on Sheet 1 of 5.

Sheet 5 of 5:

1. Construction details for ADA compliant accessible ramps shall be provided on the plan.

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner  
Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector



**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]

Project :	226 Main Street
Date :	December 12, 2017

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b>			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
<i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a.	The proposed action may involve construction on land where depth to water table is less than 3 feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	The proposed action may involve construction on slopes of 15% or greater.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c.	The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d.	The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e.	The proposed action may involve construction that continues for more than one year or in multiple phases.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f.	The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g.	The proposed action is, or may be, located within a Coastal Erosion hazard area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h.	Other impacts: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)  
 If "Yes", answer questions a - c. If "No", move on to Section 3.

NO  YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)  
 If "Yes", answer questions a - l. If "No", move on to Section 4.

NO  YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>6. Impacts on Air</b> The proposed action may include a state regulated air emission source. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.f., D,2,h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflouorocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b> The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b>			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a.	Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	<input type="checkbox"/>	<input type="checkbox"/>
b.	The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	<input type="checkbox"/>	<input type="checkbox"/>
c.	The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d.	The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e.	The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	<input type="checkbox"/>	<input type="checkbox"/>
f.	There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	<input type="checkbox"/>	<input type="checkbox"/>
g.	Other impacts: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a.	The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	<input type="checkbox"/>	<input type="checkbox"/>
b.	The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	<input type="checkbox"/>	<input type="checkbox"/>
c.	The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

**11. Impact on Open Space and Recreation**

The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.  NO  YES

(See Part 1. C.2.c, E.1.c., E.2.q.)

*If "Yes", answer questions a - e. If "No", go to Section 12.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**12. Impact on Critical Environmental Areas**

The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d)  NO  YES

*If "Yes", answer questions a - c. If "No", go to Section 13.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1. D.2.j)  
 If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**  
 The proposed action may cause an increase in the use of any form of energy.  NO  YES  
 (See Part 1. D.2.k)  
 If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**15. Impact on Noise, Odor, and Light**  
 The proposed action may result in an increase in noise, odors, or outdoor lighting.  NO  YES  
 (See Part 1. D.2.m., n., and o.)  
 If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>



d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>16. Impact on Human Health</b>			
The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)			
<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			
<i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

<b>17. Consistency with Community Plans</b> The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>		
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>		
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>		
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

<b>18. Consistency with Community Character</b> The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>		
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**25 Townsend Street**

**Subject:**

Continue review of application for Subdivision Approval, 13-lot residential, submitted by AK Property Holding, LLC, 25 Townsend Street

**Background:**

**ATTACHMENTS:**

Description	Type
Townsend Street Engineer Cover Letter	Cover Memo/Letter
Townsend Street I & I Report	Backup Material
Townsend Street Sheet 1 Existing Conditions	Plans
Townsend Street Sheet 2 Subdivision Plat	Plans
Townsend Street Sheet 3 Utility Plan	Plans
Engineer Review Letter	Consultant Comment
Planner Review Letter	Consultant Comment



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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November 28, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 25 Townsend Street  
Tax ID 6055-03-383149 (±5.0 acres)  
City of Beacon, New York

Dear Chairman Sheers:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the subdivision plan set in response to Lanc & Tully's September 8, 2017 comment letter, and John Clarke Planning and Design comment letter dated September 8, 2017. Below is a point-by-point response to the comments received.

**Lanc & Tully's September 8, 2017 Comment Letter**

1. An Inflow and Infiltration investigation was performed at the site on October 2, 2017, and no illegal cross connections between the existing site and City of Beacon's sanitary collection system were found. There are a few small floor drains in the existing building, and it is not clear where they discharge to; however, even if they happen to be connected to the site's sanitary line, no credit would be sought for eliminating the connections. We have enclosed a copy of the report for the City's file.
2. The infiltration basin has been reconfigured so that it is now further away from the existing homes on DeSoto Avenue.
3. An exhibit that depicts information from the "Highlands at Beacon" plans previously submitted for the parcel to the southwest will be provided under separate cover.
4. The location of the drainage line running along the southeasterly property line has been further shifted to the northwest to minimize the clearing of existing mature trees. Furthermore, once the layout has been accepted by the City, additional plantings will be shown along the southeasterly property line to provide additional screening between the proposed homes and the existing homes along DeSoto Avenue.
5. The proposed Homeowner's Association will be responsible for maintaining all storm lines outside of the proposed road right-of-way, and notes regarding this have been added to the plans.
6. The location of downspouts and roof leaders will be added to the plans once the layout and location of the stormwater management facility have been accepted, as well as receipt of public comment.
7. The LSE for each proposed residence will be provided in a future submission.

**John Clarke Planning and Design September 8, 2017 Comment Letter**

1. Comment noted – the approximate footprints of adjacent dwellings based on available GIS information are now shown on the existing conditions plan. The remainder of the outstanding items listed will be addressed upon acceptance of the layout and the stormwater management facility, as well as receipt of public comment.
2. We are now showing the proposed right-of-way connection to the adjacent property angled more toward Conklin Street.
3. Comment noted.
4. Comment noted – we will revise the proposed sidewalk layout to mimic the one provided for Victor Road.

Please find enclosed the following materials for the Planning Board’s consideration at your next available regularly scheduled meeting:

- Revised Subdivision Plan Set – Sheets 1-3 of 4 (Detail Sheet has not changed so is not submitted with the package - 5 copies);
- Inflow and Infiltration Investigation Report (5 copies); and
- Copy of the above materials on CD, including this cover letter.

We look forward to continue discussing the design details of the project with you and your Board members, and will request that a public hearing be scheduled at your next available meeting (i.e., the first meeting in 2018). Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Jon D. Bodendorf, P.E.  
Principal

cc: Alla Bares  
Taylor M. Palmer, Esq., Cuddy & Feder LLP  
Michael A. Bodendorf, P.E. (HLD File)



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November 28, 2017

Lt. Timothy Dexter, Building Inspector  
City of Beacon City Hall  
1 Municipal Plaza  
Beacon, NY 12508

Re: Infiltration and Inflow Investigation  
Knights of Columbus Site  
25 Townsend Street  
City of Beacon, New York

Dear Mr. Dexter:

Hudson Land Design (HLD) has completed an infiltration and inflow investigation at the above referenced parcel as required by the City of Beacon. The investigation was conducted on October 2, 2017 at the existing building at 25 Townsend Street, which consists of a one-story building that is the former Knights of Columbus meeting hall. The approximate 8,072 sf building was constructed in 1970 and is located at the end of Townsend Street.

The first phase of the study consisted of an exterior inspection of the building to determine the location of roof leader discharge points. The front (east) portion of the building has a flat roof that discharges northerly (to the rear of the building) where there is a gutter that collects and conveys the runoff westerly from the back half of the building, which has a pitched roof. At the northwest corner of the building, there is a downspout that discharges to the west of the main building. The south portion of the building also has a pitched roof that slopes southerly and sheet flows in a southerly direction.

The second phase of the study consisted of interior inspection of the building in an attempt to determine if there are any illicit connections to the building sewer line from sump pumps, floor drains and the like. HLD personnel were unable to observe significant sections of interior plumbing beneath the building's floor, and there is not basement in the building. HLD observed a few small floor drains but it was unclear where they discharge to. There were no sump pumps or unidentified pipes observed.

Based on our observations, HLD does not believe that there are any illicit connections from the building located at 25 Townsend Street to the City of Beacon's sanitary sewer collection system.

Should you have any questions, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Jon D. Bodendorf". The signature is fluid and cursive, with a large initial "J" and "B".

Jon D. Bodendorf, P.E.  
Principal

cc: Alla Bares  
Taylor M. Palmer, Esq., Cuddy & Feder  
John D. Russo, P.E., Lanc & Tully  
Michael A. Bodendorf, P.E. (HLD file)

PROJECT INFORMATION:	
PARCEL OWNER:	AK PROPERTY HOLDING LLC, 730 COLUMBUS AVE - APT 3D NY, NY 10025
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	25 TOWNSEND STREET, BEACON NY
TAX PARCEL ID:	6055-03-383149
PARCEL AREA:	±5.0-ACRES
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

**MAP REFERENCES:**

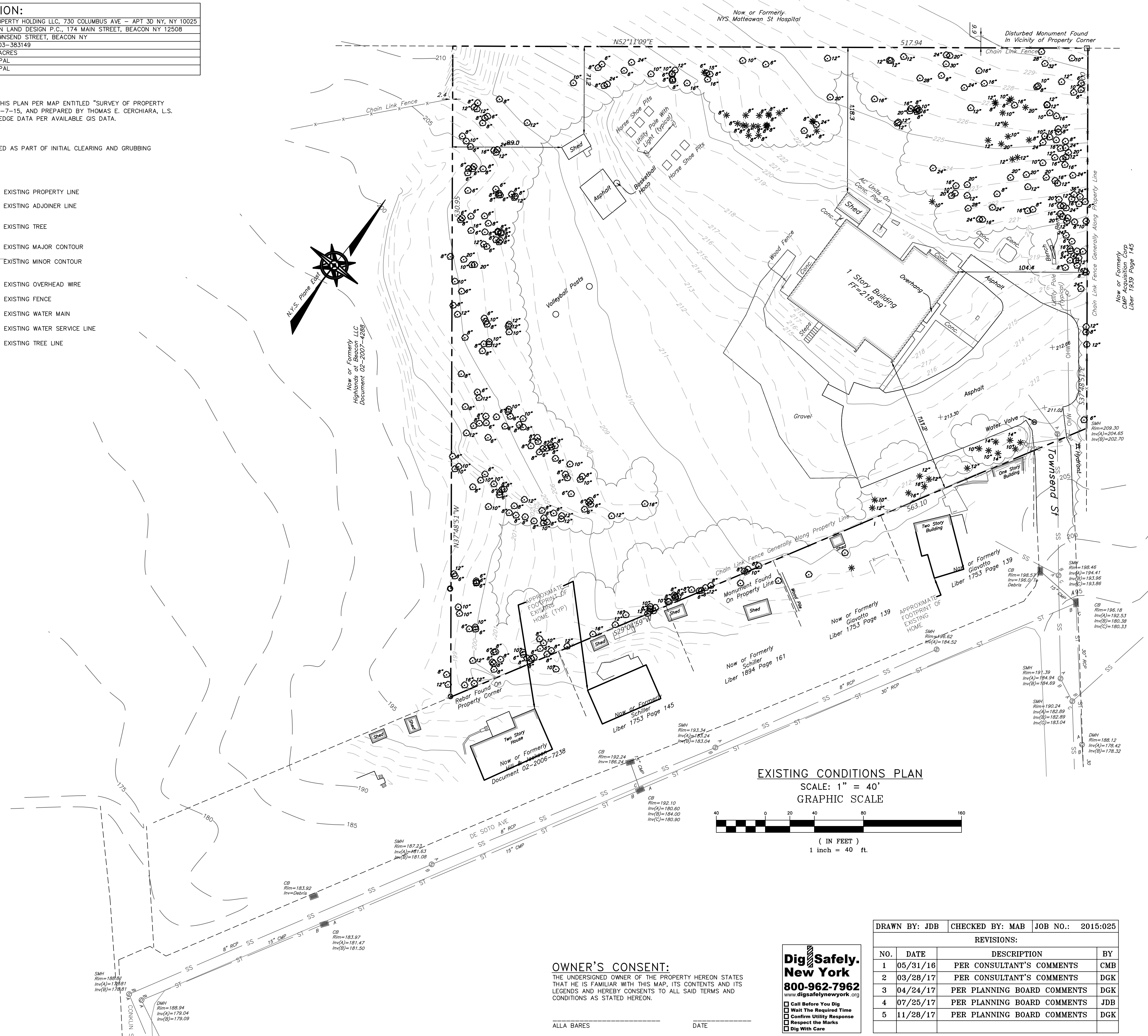
- EXISTING FEATURES AS SHOWN ON THIS PLAN PER MAP ENTITLED "SURVEY OF PROPERTY PREPARED FOR ALLA BARES", DATED 7-7-15, AND PREPARED BY THOMAS E. CERCHIARA, L.S.
- OFF-SITE 5' CONTOURS AND ROAD EDGE DATA PER AVAILABLE GIS DATA.

**DEMOLITION NOTE:**

- EXISTING STRUCTURES TO BE REMOVED AS PART OF INITIAL CLEARING AND GRUBBING ACTIVITIES.

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING ADJOINER LINE
- EXISTING TREE
- 30 --- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING OVERHEAD WIRE
- x --- EXISTING FENCE
- v --- EXISTING WATER MAIN
- WS --- WS EXISTING WATER SERVICE LINE
- EXISTING TREE LINE

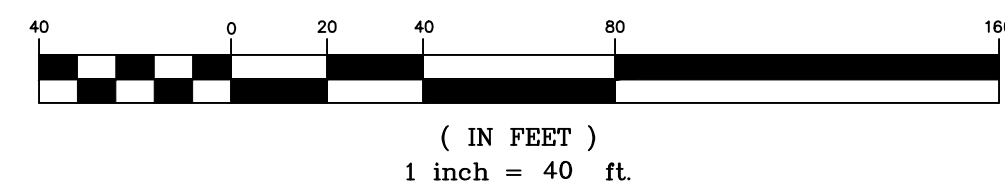


SITE LOCATION MAP SCALE: 1" = 400'

**ADJOINING OWNERS:**

PARCEL	OWNER & MAILING ADDRESS
1:	NYS MATTEAWAN HOSPITAL, 36 DEER RUN, BEACON NY 12508
2:	CMP ACQUISITION CORP, 483 FISHPILL AVE, BEACON NY 12508
3:	NUNZIO GIAVATTO, 19 TOWNSEND STREET, BEACON NY 12508
4:	NUNZIO GIAVATTO, 19 TOWNSEND STREET, BEACON NY 12508
5:	DONALD & GIOVANNA SCHILLER, 35 DESOTO AVENUE, BEACON NY 12508
6:	DONALD & GIOVANNA SCHILLER, 35 DESOTO AVENUE, BEACON NY 12508
7:	CHRISTOPHER HILL & CHRISTINE JACKSON, 23 DESOTO AVENUE, BEACON NY 12508
8:	HIGHLANDS AT BEACON LLC, 2847 CHURCH STREET, PINE PLAINS NY 12567

EXISTING CONDITIONS PLAN  
SCALE: 1" = 40'  
GRAPHIC SCALE



**OWNER'S CONSENT:**  
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES \_\_\_\_\_ DATE \_\_\_\_\_

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www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

DRAWN BY:	JDB	CHECKED BY:	MAB	JOB NO.:	2015-025
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	05/31/16	PER CONSULTANT'S COMMENTS	CMB		
2	03/28/17	PER CONSULTANT'S COMMENTS	DGK		
3	04/24/17	PER PLANNING BOARD COMMENTS	DGK		
4	07/25/17	PER PLANNING BOARD COMMENTS	JDB		
5	11/28/17	PER PLANNING BOARD COMMENTS	DGK		

EXISTING CONDITIONS PLAN  
**25 TOWNSEND STREET**

25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-03-383149  
SCALE: 1" = 40'  
NOVEMBER 19, 2015

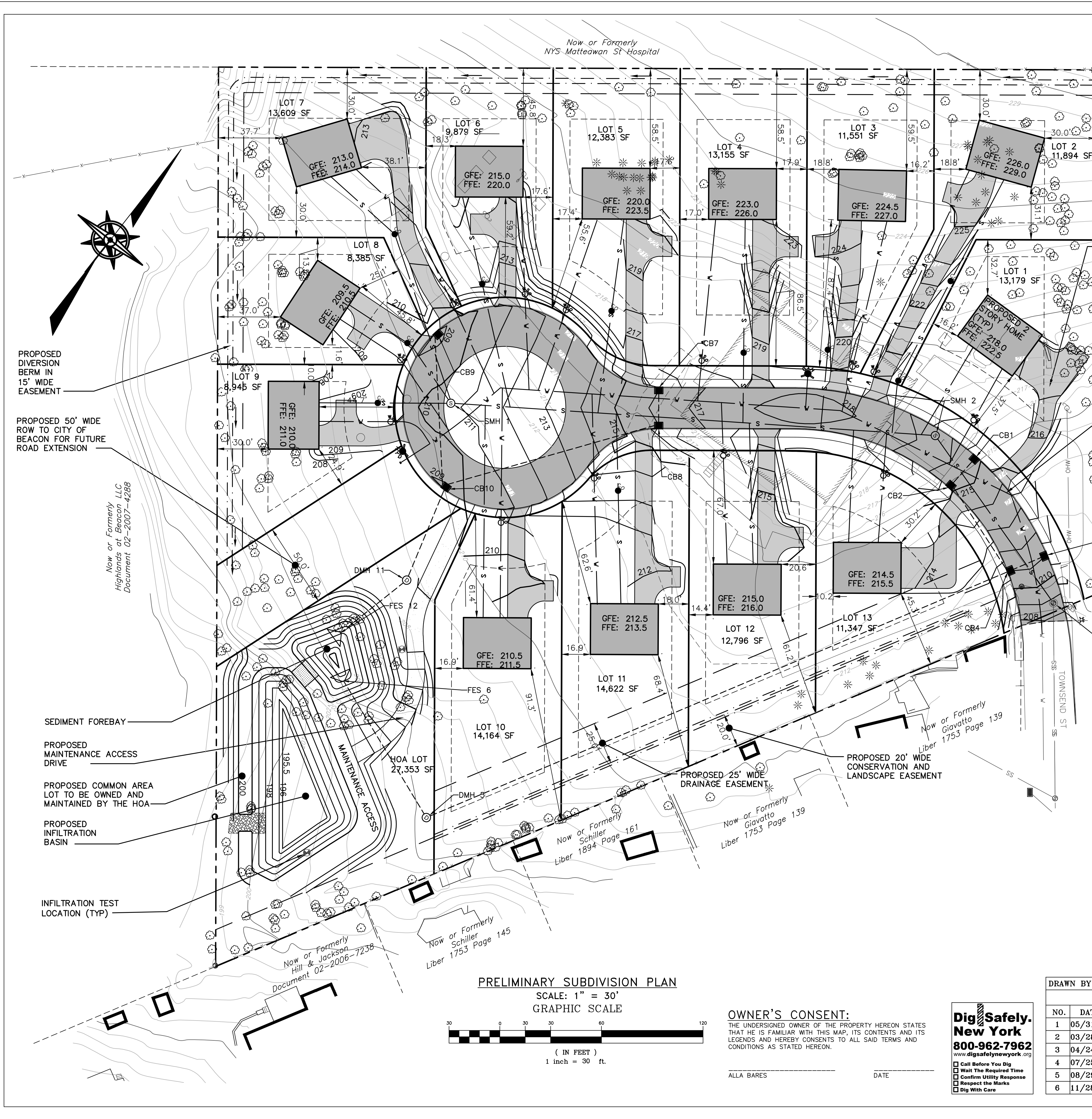


HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716





**LEGEND**

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING ADJOINER LINE
- EXISTING TREE
- 30' EXISTING MAJOR CONTOUR
- 30' EXISTING MINOR CONTOUR
- 28' PROPOSED MAJOR CONTOUR
- 28' PROPOSED MINOR CONTOUR
- S PROPOSED SEWER MAIN
- ○ PROPOSED SILT FENCE
- ○ EXISTING OVERHEAD WIRE
- x EXISTING FENCE
- v EXISTING WATER MAIN
- WS EXISTING WATER SERVICE LINE
- PROPOSED DRAINAGE LINE
- v PROPOSED WATER MAIN
- PROPOSED WATER SHUT-OFF VALVE
- PROPOSED HYDRANT
- PROPOSED SEWER MANHOLE
- PROPOSED CATCH BASIN

- SITE SPECIFIC NOTES:**
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPFD @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
  - THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
  - THE PROPOSED LOTS SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
  - THE WATER SERVICE LINES AND METERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
  - THE WATER SERVICE LINES SHALL BE 1" K-COPPER.
  - THE SEWER SERVICE LINES SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
  - A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE EXTENSION OF THE PROPOSED WATER AND SEWER MAINS TO SERVICE THE NEW LOTS. STREET CLOSURE FOR WATER AND SEWER CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
  - ROOF LEADER AND FOOTING DRAIN CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 0.5% MIN.
  - SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
  - A HOMEOWNER'S ASSOCIATION (HOA) WILL BE FORMED AND WILL OWN AND MAINTAIN THE HOA LOT, INCLUDING THE STORMWATER MANAGEMENT FACILITY AND ALL PIPES, SWALES AND STRUCTURES THAT CONVEY STORMWATER THROUGH THE SITE.
  - THE HOA WILL BE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF THE PLANTED ISLAND WITHIN THE CUL-DE-SAC.

**SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	ALL PROPOSED LOTS
LOT AREA:	7,500 SQUARE FEET MIN.	>7,500 SF
LOT WIDTH:	75 FEET MINIMUM	>75 FT
LOT DEPTH:	100 FEET MINIMUM	>100 FT
<b>YARD SETBACKS (RESIDENTIAL USE):</b>		
FRONT YARD:	30 FEET MINIMUM	>30 FT
SIDE YARD:	*10 FEET MINIMUM	>10 FT
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	>20 FT
REAR YARD:	*30 FEET MINIMUM	>30 FT
BUILDING COVERAGE:	MAX 30%	<30%
DWELLING UNITS PER LOT:	MAX 1	1

\* 5' MINIMUM FOR ACCESSORY BUILDINGS

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

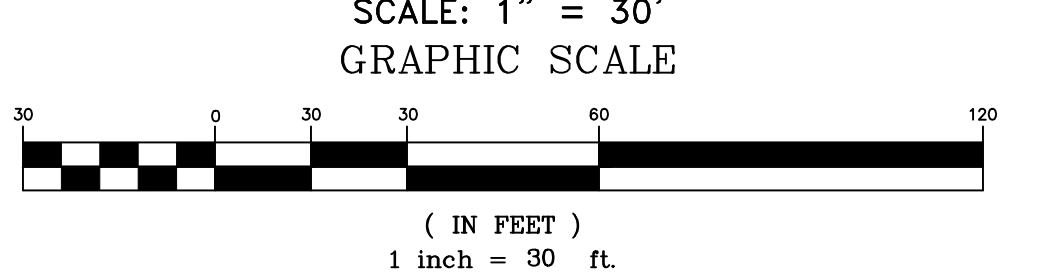
\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**ROAD WIDTH TRANSITION NOTES:**

- TOWNSEND ROAD IS APPROXIMATELY 29.5 FEET WIDE NEAR ITS CURRENT TERMINATION.
- THE PROPOSED ROAD IS CLASSIFIED AS A LOCAL ROAD BY CITY OF BEACON STANDARDS AND IS THEREFORE 24 FEET WIDE.
- THE TRANSITION TO 12-FOOT LANES IS AS FOLLOWS:
  - STATION 0+00 O/S RIGHT 14.88' TO 0+91.37 O/S RIGHT 12.00' - REQUIRES REMOVAL OF EXISTING CURB AND PAVEMENT, AND NEW CURB TO TIE INTO START OF TRANSITION.
  - STATION 0+38.48 O/S LEFT 14.73' (EDGE OF EXISTING DRIVEWAY - TO BE CONFIRMED BY CONTRACTOR) TO 1+28.46 O/S LEFT 12.00' - GENERALLY FOLLOWS THE EXISTING EDGE OF PAVEMENT TO THE PROPERTY LINE.

**PRELIMINARY SUBDIVISION PLAN**



**OWNER'S CONSENT:**  
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES \_\_\_\_\_ DATE \_\_\_\_\_

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NO.	DATE	DESCRIPTION	BY
1	05/31/16	PER PLANNING BOARD COMMENTS	CMB
2	03/28/17	PER PLANNING BOARD COMMENTS	DGK
3	04/24/17	PER PLANNING BOARD COMMENTS	DGK
4	07/25/17	PER PLANNING BOARD COMMENTS	JDB
5	08/29/17	PER PLANNING BOARD COMMENTS	JDB
6	11/28/17	PER PLANNING BOARD COMMENTS	JDB

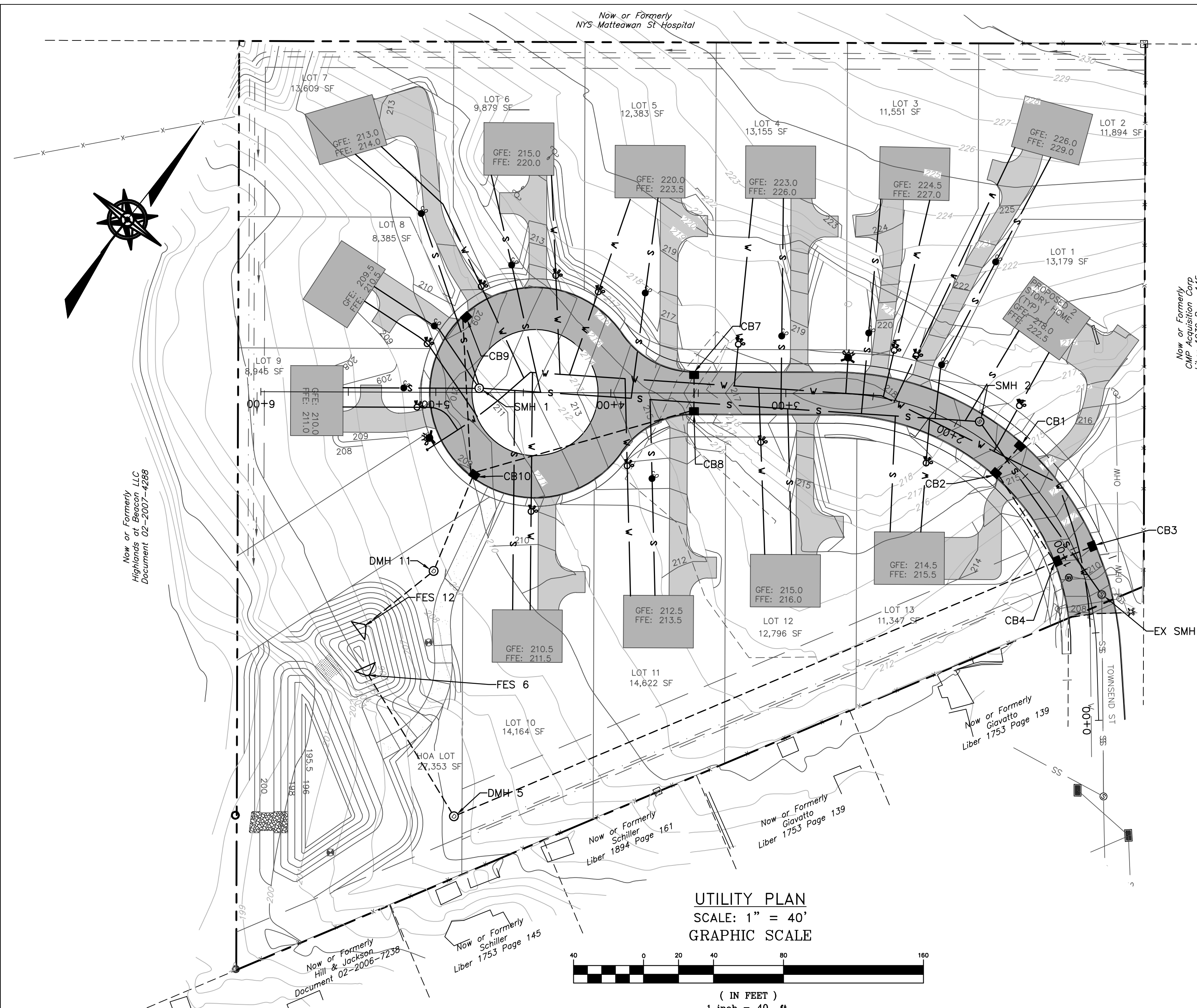
**PRELIMINARY SUBDIVISION PLAN**  
**25 TOWNSEND STREET**

25 TOWNSEND STREET  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6055-03-383149  
 SCALE: 1" = 30'  
 DECEMBER 7, 2015

**HUDSON LAND DESIGN**  
 HUDSON LAND DESIGN  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN STREET  
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SEAL  
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 NYS LICENSE NO. 082716



- LEGEND**
- EXISTING PROPERTY LINE
  - - - PROPOSED PROPERTY LINE
  - - - EXISTING ADJOINER LINE
  - EXISTING TREE
  - 30 --- EXISTING MAJOR CONTOUR
  - 30 --- EXISTING MINOR CONTOUR
  - 28 --- PROPOSED MAJOR CONTOUR
  - 28 --- PROPOSED MINOR CONTOUR
  - PROPOSED SEWER MAIN
  - PROPOSED SILT FENCE
  - EXISTING OVERHEAD WIRE
  - x EXISTING FENCE
  - w EXISTING WATER MAIN
  - ws ws EXISTING WATER SERVICE LINE
  - - - PROPOSED DRAINAGE LINE
  - PROPOSED WATER MAIN
  - PROPOSED WATER SHUT-OFF VALVE
  - PROPOSED HYDRANT
  - PROPOSED SEWER MANHOLE
  - PROPOSED CATCH BASIN

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

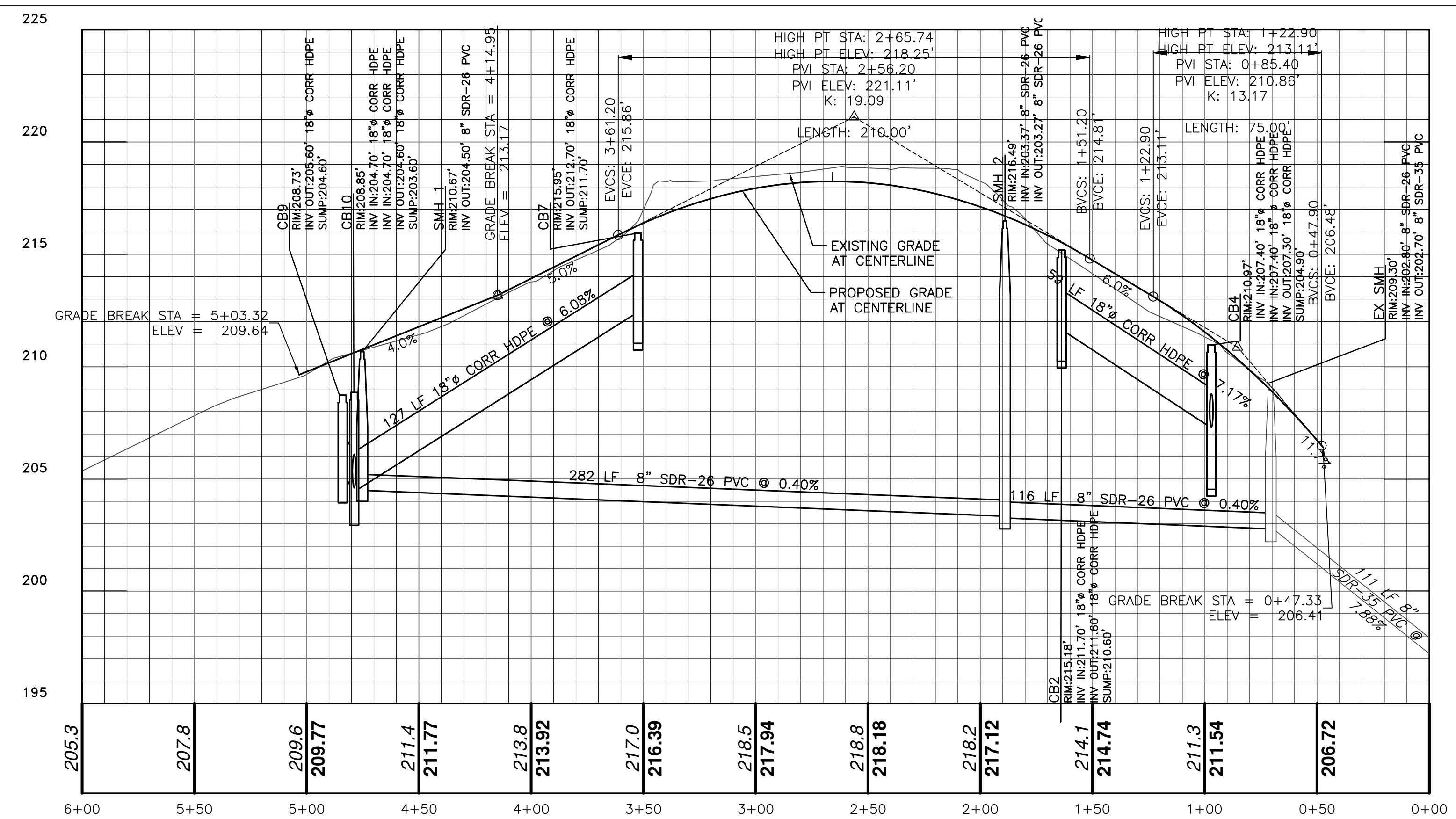
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**OWNER'S CONSENT:**  
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES \_\_\_\_\_ DATE \_\_\_\_\_



**STORM SEWER STRUCTURE TABLE**

STRUCTURE	STRUCTURE DETAILS
CB1	RIM = 215.18 SUMP = 210.90 PIPE 1-2 INV OUT = 211.90
CB2	RIM = 215.18 SUMP = 210.60 PIPE 1-2 INV IN = 211.70 PIPE 2-4 INV OUT = 211.60
CB3	RIM = 210.97 SUMP = 205.20 PIPE 3-4 INV OUT = 207.70
CB4	RIM = 210.97 SUMP = 204.90 PIPE 2-4 INV IN = 207.40 PIPE 3-4 INV IN = 207.40 PIPE 4-5 INV OUT = 207.30
CB7	RIM = 215.95 SUMP = 211.70 PIPE 7-8 INV OUT = 212.70
CB8	RIM = 215.95 SUMP = 211.40 PIPE 7-8 INV IN = 212.50 PIPE 8-10 INV OUT = 212.40
CB9	RIM = 208.73 SUMP = 204.60 PIPE 9-10 INV OUT = 205.60
CB10	RIM = 208.85 SUMP = 203.60 PIPE 8-10 INV IN = 204.70 PIPE 9-10 INV IN = 204.70 PIPE 10-11 INV OUT = 204.60
DMH 5	RIM = 205.39 SUMP = 201.00 PIPE 4-5 INV IN = 202.10 PIPE 5-6 INV OUT = 202.00
DMH 11	RIM = 209.47 SUMP = 202.90 PIPE 10-11 INV IN = 204.00 PIPE 11-12 INV OUT = 203.90

**FLARED END SECTION TABLE**

STRUCTURE	STRUCTURE DETAILS
FES 6	PIPE 5-6 INV IN = 197.00
FES 12	PIPE 11-12 INV IN = 197.00

**STORM SEWER PIPE TABLE**

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
PIPE 1-2	20 LF	18" CORR HDPE	0.98%
PIPE 2-4	59 LF	18" CORR HDPE	7.17%
PIPE 3-4	25 LF	18" CORR HDPE	1.20%
PIPE 4-5	373 LF	18" CORR HDPE	1.39%
PIPE 5-6	94 LF	18" CORR HDPE	5.30%
PIPE 7-8	17 LF	18" CORR HDPE	1.19%
PIPE 8-10	127 LF	18" CORR HDPE	6.08%
PIPE 9-10	87 LF	18" CORR HDPE	1.03%
PIPE 10-11	58 LF	18" CORR HDPE	1.03%
PIPE 11-12	50 LF	18" CORR HDPE	13.82%

**SANITARY SEWER STRUCTURE TABLE**

STRUCTURE	STRUCTURE DETAILS
EX SMH	RIM = 209.30 SUMP = 202.70 PIPE 2-EX INV IN = 202.80 EX. PIPE INV OUT = 202.70
SMH 1	RIM = 210.67 SUMP = 204.50 PIPE 1-2 INV OUT = 204.50
SMH 2	RIM = 216.49 SUMP = 203.27 PIPE 1-2 INV IN = 203.37 PIPE 2-EX INV OUT = 203.27

**SANITARY SEWER PIPE TABLE**

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
PIPE 1-2	282 LF	8" SDR-26 PVC	0.40%
PIPE 2-EX	116 LF	8" SDR-26 PVC	0.40%
EX. PIPE	111 LF	8" SDR-35 PVC	7.88%

## UTILITY PLAN & PROFILE 25 TOWNSEND STREET

25 TOWNSEND STREET  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6055-03-383149  
 SCALE: 1" = 40'  
 DECEMBER 7, 2015

**HUDSON LAND DESIGN**  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN STREET  
 BEACON, NEW YORK 12508  
 PH: 845-440-6926 F: 845-440-6637



SEAL  
 JON D. BODENDORF, P.E.  
 NYS LICENSE NO. 076245  
 DANIEL G. KOEHLER, P.E.  
 NYS LICENSE NO. 082716

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- Dig With Care

**REVISIONS:**

NO.	DATE	DESCRIPTION	BY
1	07/25/17	ADDED SHEET	JDB
2	08/29/17	PER PLANNING BOARD COMMENTS	JDB
3	11/28/17	PER PLANNING BOARD COMMENTS	JDB

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lanc, P.E., L.S.  
Arthur R. Tully, P.E.

December 7, 2017

Mr. Jay Sheers, Chairman  
Beacon Planning Board  
City of Beacon City Hall  
1 Municipal Plaza  
Beacon, NY 12508

RE: 25 Townsend Street  
City of Beacon  
Tax Map No. 6055-03-383149

Dear Mr. Sheers:

Our office has reviewed the plans entitled "25 Townsend Street", as prepared by Hudson Land Design, and consisting of the following sheets:

- Sheet 1 of 4, entitled "Existing Conditions Plan", with the latest revision date of November 28, 2017.
- Sheet 2 of 4, entitled "Preliminary Subdivision Plan", with the latest revision date of November 28, 2017.
- Sheet 3 of 4, entitled "Utility Plan & Profile", with the latest revision date of November 28, 2017.

Based on our review of the submitted plans, we find many our comments in our April 5, 2017 correspondence have not been addressed. The recently submitted plans have been revised to address our concerns with regards to the location of the storm water pond, the area previously proposed to be disturbed along the south-easterly property line and the location of the right-of-way extension from the cul-de-sac to the south-west.

In a recent conversation with the project engineer, they understand that there are still outstanding engineering comments that need to be addressed but would like to get acceptance from the Planning Board with regards to the proposed site layout and comments from the public, prior to providing other engineering responses.

This completes our review at this time. Further comments may be forth coming based upon future submissions. **A written response letter addressing each of the above comments should be provided with the next submission.** If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,  
LANC & TULLY, P.C.

  
John Russo, P.E.

Cc: John Clarke, City Planner  
Jennifer Gray, Esq.  
Tim Dexter, Building Inspector

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: December 7, 2017

Re: **25 Townsend Street Subdivision**

I have reviewed a response letter and Infiltration and Inflow Investigation letter from Hudson Land Design and sheets 1-3 of a 4-sheet Preliminary Subdivision Plan, all dated of November 28, 2017.

### **Proposal**

The applicant is proposing to subdivide a 5-acre parcel in the R1-7.5 zoning district into 13 single-family house lots with an additional common lot for stormwater infiltration.

### **Comments and Recommendations**

1. A number of recommendations from previous comment letters have not yet been addressed, including:
  - The boundary measurements should be shown for each lot;
  - Existing major trees to be removed should be shown on the plat;
  - Additional evergreen screening should be included, particularly along the eastern boundary;
  - Street lighting should also be provided on the plat.
2. The applicant will look at the existing Victor Road cul-de-sac as an appropriate example of low-maintenance landscaping for the central island.
3. The conceptual house layouts should promote side yard parking on the plans, rather than front yard driveway turnarounds.
4. The applicant should set the sidewalks back behind a 5-foot planting strip along the non-turnaround portion of the street. This will allow space for street trees, snow storage off the sidewalk, and prevent sidewalk ramps and side slopes at every driveway. The sidewalks should continue across the driveways.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Jon D, Bodendorf, P.E., Hudson Land Design

**City of Beacon Planning Board  
12/12/2017**

**Title:**

**Zoning Board of Appeals**

**Subject:**

Zoning Board of Appeals – December Agenda

**Background:**

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**300-310 South Avenue**

**Subject:**

Discussion of the BMR unit mix - 30 Beekman Street "The View"

**Background:**

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**30 Beekman Street "The View"**

**Subject:**

Discussion of the BMR unit mix – 30 Beekman Street "The View"

**Background:**

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**City Council Request for Review Zoning Districts**

**Subject:**

City Council request to review Comprehensive Plan Amendment, changes to the Zoning Map, and changes to the text of the CMS and FCD zoning districts

**Background:**

**ATTACHMENTS:**

Description	Type
Local Law CMS	Local Law
Local Law FCD	Local Law
Local Law Zoning Map	Local Law
Local Law Comp Plan	Local Law
Local Law Comp Plan EAF	Local Law



**LOCAL LAW NO. \_\_\_\_ OF 2017**

**CITY COUNCIL  
CITY OF BEACON**

**LOCAL LAW AMENDING CHAPTER 223  
OF THE CODE OF THE CITY OF BEACON**

A LOCAL LAW to amend Chapter 223 of the Code of the City of Beacon regarding the Central Main District.

**BE IT ENACTED** by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 223 of the City Code, Article IVD entitled “Central Main Street (CMS) District,” is hereby amended as follows:

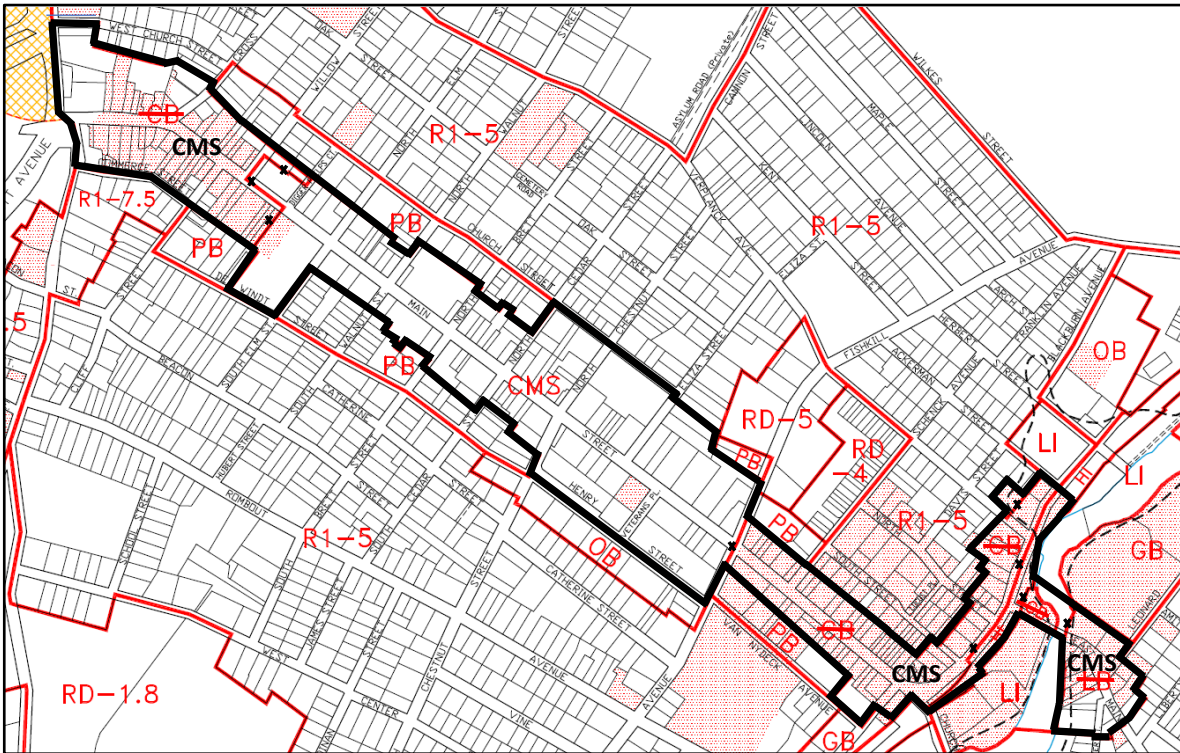
**Chapter 223. Zoning - Article IVD. Central Main Street (CMS) District**

**§ 223-41.16 Purpose.**

The purpose of this Article IVD is to increase the vitality, attractiveness, and marketability of Main Street and the Central Business District by providing more flexibility of land use while maintaining and enhancing urban form as recommended in the City of Beacon Comprehensive Plan Update adopted on ~~December 17, 2007~~ April 3, 2017. This article promotes a vibrant, economically successful, and environmentally sustainable Main Street with a pedestrian-oriented public realm and mixed uses. This article is also intended to provide a simplified and streamlined review process that facilitates redevelopment in accordance with its provisions and the intent of the Comprehensive Plan. ~~See Figure 18-15: Main Street Infill Strategies Illustrative Sketch Plan, [1] adapted from the Appendix to the Comprehensive Plan.~~  
~~[1] Editor's Note: See § 223-41.18L.~~

**§ 223-41.17 Applicability and boundaries.**

The provisions of this article apply to the area shown as the Central Main Street District (CMS) on the City of Beacon Zoning Map, a portion of which is annexed hereto to amend said Zoning Map.[1] All new uses of land and structures and changed uses of land and structures shall comply with this article. Existing nonconforming uses may continue as provided in § 223-10, Nonconforming uses and structures, except as may be otherwise provided in this article. Any existing conforming building that is destroyed by fire or casualty to an extent of more than 50% may be rebuilt on the same footprint and with the same dimensions and may be extended at the same height along its frontage. Any existing building that does not satisfy the minimum building height requirements in the district may continue and may be expanded at the same height, provided that it is in conformity with all other dimensional requirements in the district. In case of any conflict between this article and other provisions of this Zoning Chapter, this article shall control. In order to encourage mixed uses, more than one permitted use shall be allowed on any lot or parcel, subject to all approval criteria contained herein.



**Figure 17-1: Central Main Street Zone Map**

[1] Editor's Note: The Zoning Map is on file in the City offices.

**§ 223-41.18 Regulations.**

A. Uses by right. The uses listed below are permitted by right in the CMS district, in the manner and under the conditions specified below. Unless otherwise indicated in this § 223-41.18, all such uses require site plan review, to be conducted in an expedited fashion pursuant to Subsection H below. Site plan review shall not be required for a change of use in an existing building where the new use is allowed by right, the building will not be expanded, and the minimum number of off-street parking spaces required for the new use in § 223-41.18 G(2) is not more than 25% greater than the requirement for the existing use in § 223-26F herein.

- (1) Apartments, provided that ~~for parcels fronting on Main Street or East Main Street they may~~ shall only be located on upper stories or at least ~~35~~ 50 feet behind the facade in the rear portion of a ground floor, ~~along Main Street.~~ The ~~limitations on~~ nonconforming residential uses on Main Street in § 223-10H shall not apply in the CMS District.
- (2) One-family, two-family, attached, and multifamily dwellings, provided that ~~they do not have ground floor frontage on Main Street for parcels fronting on Main Street or East Main Street~~ such uses are not permitted on the ground floor in the first 50 feet from the facade.
- (3) Hotel, subject to § 223-20, inn, or bed-and-breakfast establishment, subject to § 223-24.4.
- (4) Offices of any kind, including professional, medical, ~~or~~ business, and banks or other financial institutions.
- (5) Artist studio.
- (6) Art gallery.
- (7) Restaurant, coffee house, brew pub, and other establishments that serve food with or without alcoholic beverages.

- (8) Food preparation business.
- (9) Retail and personal services.
- (10) Funeral home.
- (11) Off-street parking lot facilities, provided that ~~it is~~ they are set back at least 40 feet from the Main Street or East Main Street property line and screened from the main street by buildings and/or landscaping.
- (12) Public garage, as defined in this Chapter, without motor vehicle repair, vehicle sales, or fuel sales, provided that it is set back at least 40 feet and screened from the main street by buildings and/or landscaping. ~~[See "Parking" in F(1).]~~
- (13) School, public or not-for-profit educational institution, trade or vocational school, job placement or training program, continuing education program or instructional school such as karate school, dance school or studio, language school or vehicular driving school.
- (14) Indoor commercial recreation.
- (15) Park, plaza, green, community garden, and other forms of outdoor plant cultivation.
- (16) Artist live/work space subject to § 223-24.3, provided that they may only be located on upper stories or at least ~~35~~ 50 feet behind the facade, in the rear portion of a ground floor, along Main Street or East Main Street, unless the space in the ~~35~~ 50 feet behind the façade is used for the retail sale of the artist's wares.
- (17) Theater, museum, library, concert hall and other music venues, and other similar kinds of cultural facilities.
- (18) ~~Schools and other public or nonprofit educational institutions~~ Auction gallery.
- (19) Wireless telecommunications services facilities, provided that they are mounted on a building and do not increase its height by more than 15 feet above applicable height limits and consistent with § 223-24.5.
- (20) Buildings, structures and uses owned or operated by the City of Beacon or any department or agency thereof.
- (21) Spa, health club, gym, yoga and pilates studio, and similar kinds of fitness centers.
- (22) Microbrewery or microdistillery which has a retail or tasting room component of at least 200 square feet of floor area.
- (23) Retail sales from a truck or trailer, subject to § 223-26.3.
- (24) Workshop for the making or repair of clocks, watches, jewelry, musical instruments or similar ~~items~~ artisan workshops, ~~having a total floor area of not more than 800 square feet and~~ having a retail component of at least 200 square feet.
- (25) Tattoo parlor, subject to 223-26.2.
- (26) Club, civic or fraternal, subject to § 223-24.2, provided that for parcels fronting on Main Street or East Main Street such uses are not permitted on the ground floor in the first 50 feet from the facade.

B. Uses by special permit.

- (1) The following uses are allowed by special permit from the Planning Board, upon a finding that the proposed use is consistent with the City of Beacon Comprehensive Plan Update, will enhance the architectural character of the street and will benefit the urban, pedestrian-friendly qualities of Main Street, and that the conditions and standards in § 223-18 B(1)(a) through (d) have been met:
  - (a) Any new project with over 10,000 square feet in building footprint area.

- (b) ~~A five-story building or corner tower of one additional story on a four-story building,~~ provided that it complies with Subsection E(7) below, ~~and that the Planning Board finds that there are no substantial detrimental effects on parking, traffic, shadows, or specific views designated as important by the City Council,~~ A five-story building with a stepback of at least 15 feet behind the facade above the fourth story may be permitted on the north side of Main Street where it can call attention to a significant intersection. Corner locations are deemed most appropriate for such buildings, but they may be permitted elsewhere on the north side if they are that the proposed corner tower is compatible with the scale of the block on which they are located, and that it will contribute architecturally to the block face. ~~A five-story building will only be permitted if at least 15% of its residential units, and not less than five residential units, are designated as below market rate housing pursuant to Article IVB and/or at least 15% of the property's street-level lot area adjacent to Main Street is available for public uses such as an outdoor dining area for a restaurant, pocket park or plaza.~~
- (c) A public garage, as defined in this chapter, containing facilities used for repair of motor vehicles, but not for the sale of motor fuel. Such repair facilities shall ~~be located in the interior of a block and not front on or be visible from any public street Main Street or East Main Street except for a sign not larger than 24 square feet in area.~~
- (d) A bar in which the primary product is alcoholic beverages and food service is incidental. Any establishment that serves alcoholic beverages and is open later than 1:00 a.m. on any night shall be presumed to be a bar for purposes of this section.
- (e) ~~Artist live/work space in accordance with § 223-24.3~~ Cigar and other lawful smoking establishments.
- (2) In considering the appropriateness of the proposed use, the Planning Board shall consider impacts on shadows, traffic, and parking and may impose traffic and parking mitigation measures. When making a decision on a special permit, the Planning Board shall follow the procedures in § 223-41.18 I(2) of this chapter.

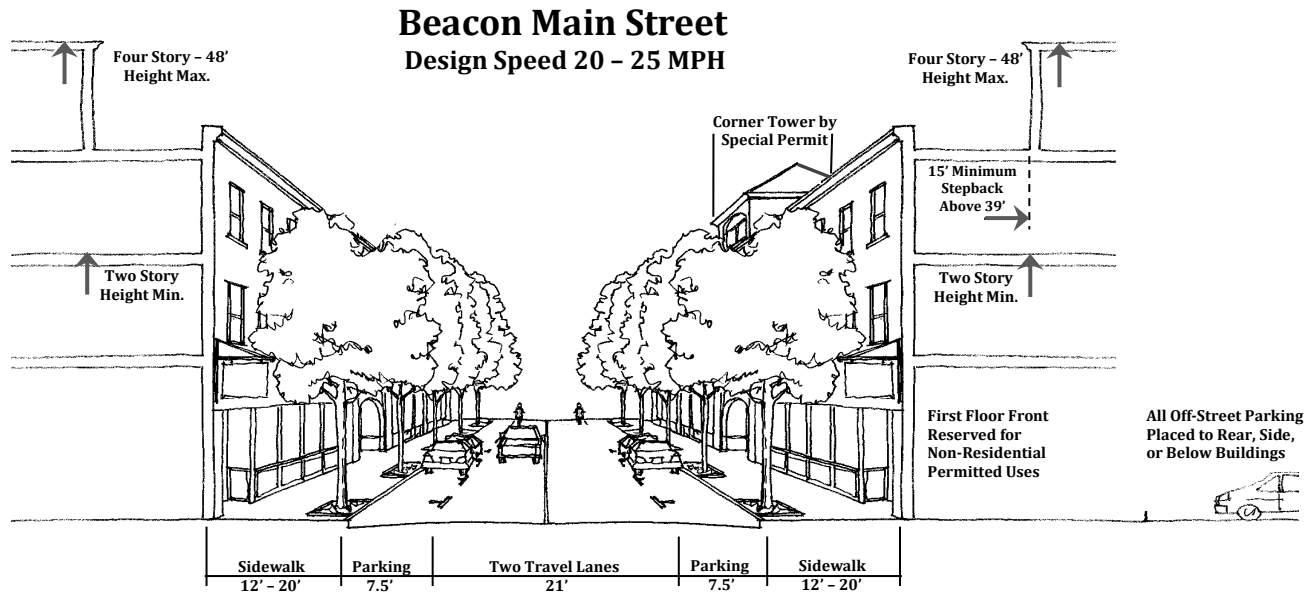
C. Accessory uses. The following are permitted accessory uses in the CMS District:

- (1) Any accessory building or use customarily incident to a permitted use, except outside storage.
- (2) Signs, in accordance with the provisions of § 223-15, as applicable.
- (3) Off-street parking areas, in accordance with § 223-41.18G.
- (4) Exterior lighting, in accordance with the provisions of § 223-41.18 L(13).
- (5) Home occupation, subject to 223-17.1.
- (6) Roof garden.
- (7) Greenhouse.

D. Prohibited uses. Uses not listed in Subsection A or B above and the following specific uses are prohibited in the CMS District:

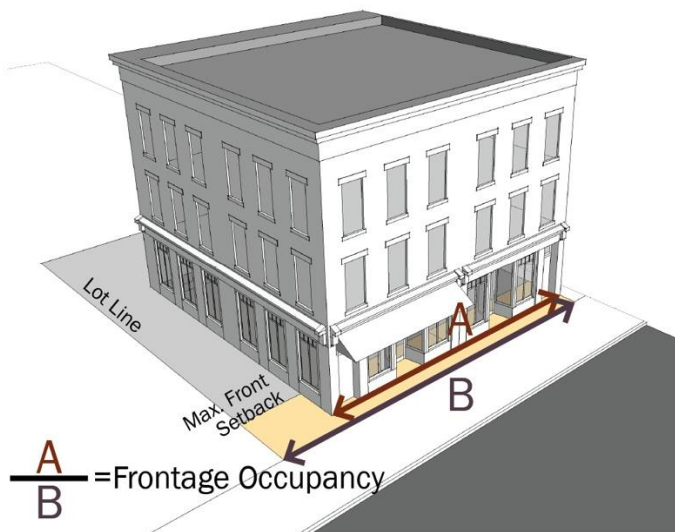
- (1) Gasoline filling stations.
- (2) Drive-through facilities, stand-alone or used in connection with any other use.

E. Dimensional regulations. All new construction or enlargement of existing structures in the CMS District shall be subject to the following minimum and maximum dimensional regulations. These may be modified as provided in Subsection L(15).



**Figure 18-1: Central Main Street Zoning Requirements Illustrative View**

- (1) Front setback on Main Street or East Main Street: minimum zero, maximum 10 feet, except that a larger maximum may be allowed if the area in front of a building has no parking spaces and is landscaped and used in a manner that enhances the street life ~~on Main Street~~ by such means as pocket parks or plazas, fountains, outdoor dining, public art, and outdoor display of items for sale on the premises. Such outdoor space shall be landscaped with plant materials as appropriate to the use, in a configuration approved by the Planning Board.
- (2) Front setback on other streets: minimum zero, maximum 25 feet. If surrounding buildings have a larger setback, the setback line may be placed in a location that harmonizes with the prevailing setbacks, provided that there is no parking in the front yard other than on a driveway accessing a rear garage.
- (3) Corner buildings: Corner buildings shall be treated as having frontage on both streets and front yard setbacks shall apply to both, as appropriate to the street. Corner buildings with frontage on Main Street or East Main Street shall wrap around corners and maintain a consistent yard setback line along the side.
- (4) Side setbacks: minimum of zero on Main Street or East Main Street, minimum of 10 feet on side streets. The minimum side setback on Main Street or East Main Street may be increased by the Planning Board to allow light and air to continue to penetrate an existing building that has side windows or other openings.
- (5) Rear setbacks on Main Street or East Main Street: minimum 25 feet for parcels 100 feet deep or more and minimum 10 feet for parcels under 100 feet deep. Rear setbacks on side streets: minimum 25 feet. ~~except that~~ If the rear yard is voluntarily dedicated to the City of Beacon as all or part of a public parking lot or parking structure, the minimum setback shall be 10 feet with landscaping to screen adjacent uses.
- (6) Minimum frontage occupancy on Main Street or East Main Street: 100% for buildings with a shared side wall and 80% for detached buildings. Frontage occupancy is the percentage of the lot width which must be occupied by either a front building facade or structures that screen parking, located within the area between the minimum and maximum front setback. The purpose of this requirement is to maintain a sense of enclosure of the street. This requirement may be reduced by the Planning Board a) to the extent necessary to allow light and air into an adjacent building that has side windows; or b) if the applicant provides a suitably surfaced and lighted pedestrian passageway between ~~Main the~~ street and parking areas, public open spaces, or other streets, located behind the building.



**Figure 18-2: Frontage Occupancy**

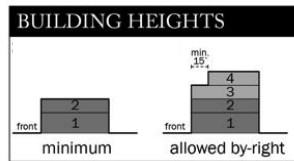
- (7) Building height for a building fronting on Main Street or East Main Street: minimum two stories, maximum four stories and 48 feet, as determined from the average street front level. Stories built below the grade of the street shall not be counted toward building height. The second story of a two-story building shall be built in a manner that allows actual occupancy for one or more permitted uses and does not create the mere appearance of a second story. A special permit may be granted pursuant to Subsection B above ~~for a five-story building on the north side of Main Street. A special permit may also be granted for a four-story tower without a setback at a corner on the south side of Main Street.~~ Corner towers shall face facing an intersection and occupying no more than 25 % feet of the roof area frontage of the building. For any building over three stories or 39 feet fronting on the south side of Main Street or East Main Street four stories on the north side, a setback of at least 15 feet behind the facade shall be required for the top story, except for corner towers allowed by special permit. A 15-foot building setback above 39 feet shall be required for any side of such a building within 40 feet of a lot line abutting a residential district.

Chimneys, vent pipes, mechanical systems, elevator shafts, antennas, wireless communications facilities, roof gardens and fences, greenhouses, solar collectors, wind energy systems, and other rooftop accessory structures may project up to 15 feet above the maximum height. With the exception of roof gardens and solar collectors, such projections may occupy no more than 20% of the roof area and must be set back at least 15 feet from the front edge of the roof.

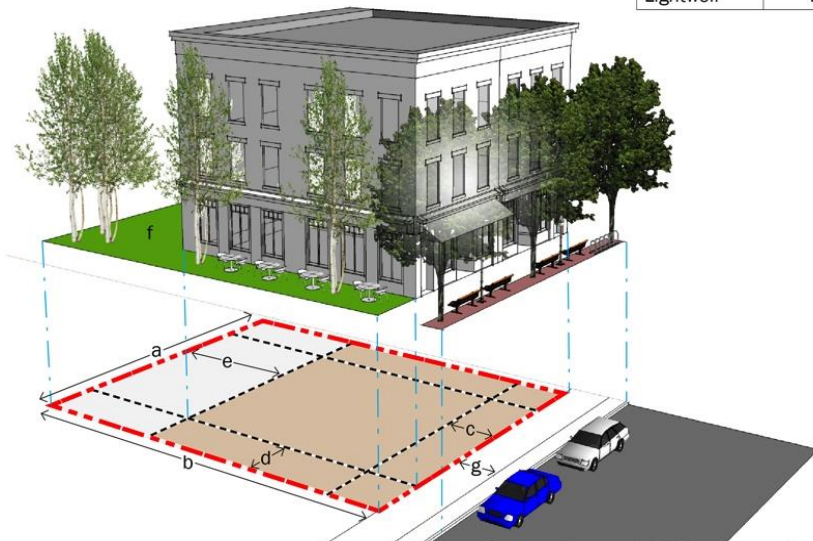
- (8) Building height for a building not fronting on Main Street or East Main Street: maximum three stories and 35 feet. Chimneys, vent pipes, roof gardens and fences, greenhouses, solar collectors, wind energy systems, and other rooftop accessory structures may project up to eight feet above the maximum height, provided that, with the exception of roof gardens and solar collectors, they occupy no more than 15% of the roof area and are set back at least 15 feet from the front edge of the roof.
- (9) Lot area and lot width: There are no minimum lot area or lot width requirements.
- (10) Lot depth: Minimum lot depth is 75 feet, except that on any lot in which the area behind a building is voluntarily dedicated to the City as public parking, there shall be no minimum depth requirement.
- (11) Floor area ratio: There is no maximum floor area ratio.
- (12) Landscaped area: For lots fronting on Main Street or East Main Street, a minimum of 10% of the lot shall be landscaped with trees, shrubs, or grass, in locations approved by the Planning Board that enhance the streetscape or provide a landscaped interior courtyard, and are found to be consistent with the intent of the CMS District. This requirement shall be reduced to 5% if the landscaped area is accessible to the public. For lots not fronting on Main Street or East Main Street, a minimum of 15% of the lot shall be landscaped with trees and shrubs. These requirements may be waived for lots of 5,000 square feet or less.

(13) Lots that front on Main Street or East Main Street.

LOT STANDARDS			
		Min.	Max.
	Lot Area	--	--
(a)	Lot Width	--	--
(b)	Lot Depth	75'	--
	F.A.R.	--	--
(c)	Front Setback	0'	10'
(d)	Side Setback	0'	--
(e)	Rear Setback	25'	--
(f)	Landscaped Area	10%	--
	Frontage Occupancy, detached building	80%	--
	Frontage Occupancy, buildings w/shared side wall	100%	--
(g)	Pedestrian Clearway	8'	--



FRONTAGE TYPES	
	Allowed
Storefront	yes
Forecourt	yes
Stoop	no
Porch	no
Lightwell	no

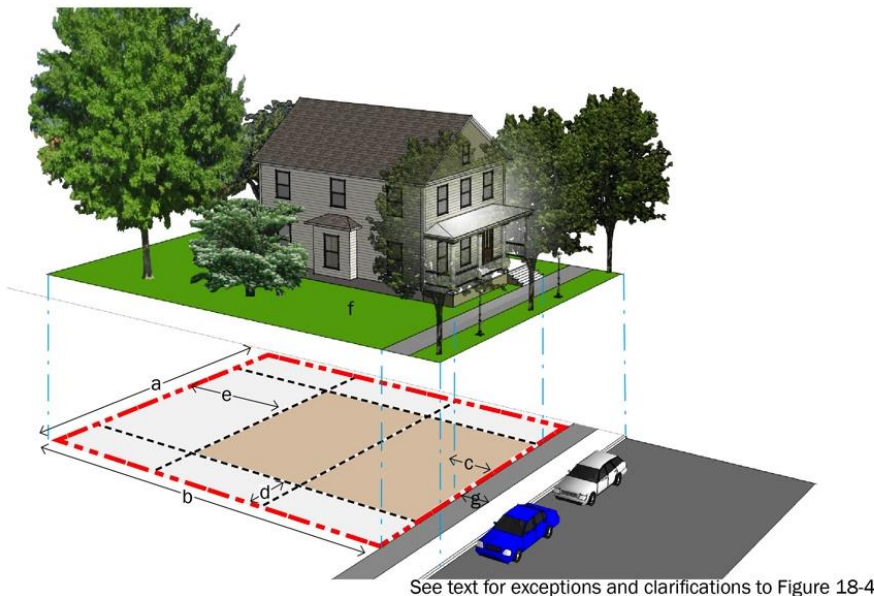
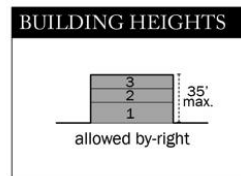


See text for exceptions and clarifications to Figure 18.3. Rear setback 10 feet for lots less than 100 feet deep.

Figure 18.3: Lots that Front on Main Street or East Main Street

(14) Lots that do not front on Main Street or East Main Street.

LOT STANDARDS			
		Min.	Max.
	Lot Area	--	--
(a)	Lot Width	--	--
(b)	Lot Depth	75'	--
	F.A.R.	--	--
(c)	Front Setback	0'	25'
(d)	Side Setback	10'	--
(e)	Rear Setback	25'	--
(f)	Landscaped Area	15%	--
	Frontage Occupancy, detached building	--	--
	Frontage Occupancy, buildings w/shared side wall	--	--
(g)	Pedestrian Clearway	8'	--

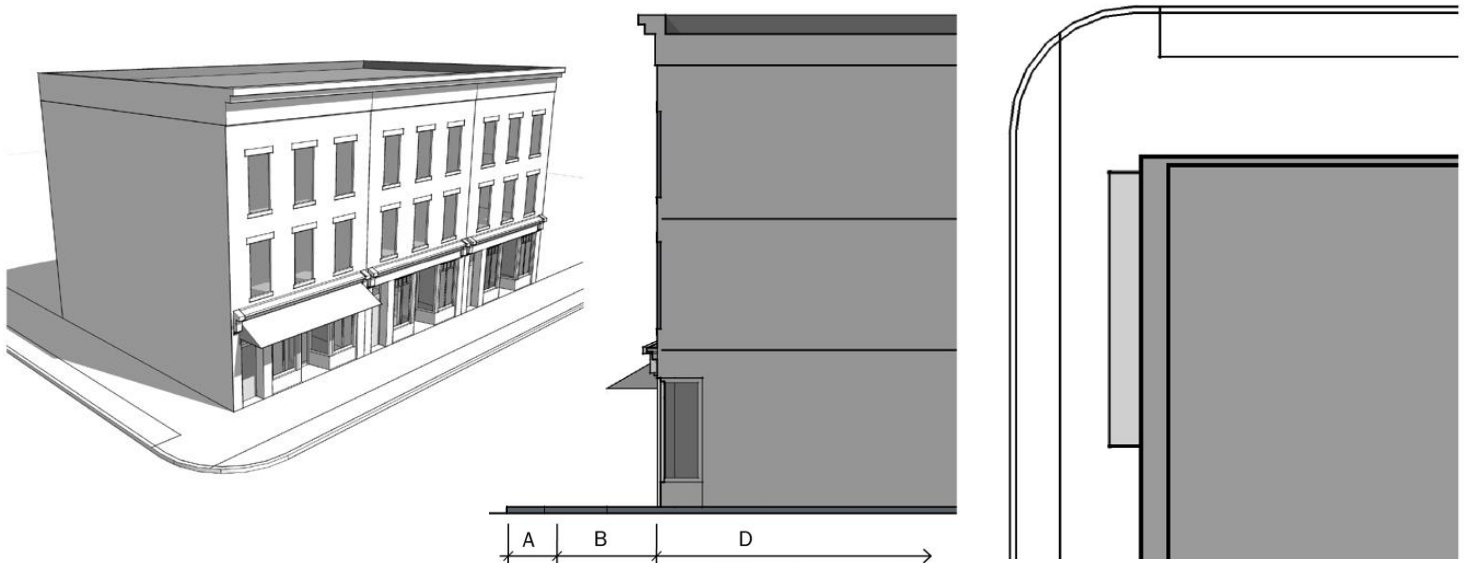


**Figure 18-4: Lots That Do Not Front on Main Street or East Main Street**

F. Frontage types.

- (1) For new buildings, along Main Street or East Main Street, only the following building frontage types are permitted:
  - (a) Storefront.
  - (b) Forecourt.
- (2) On other streets, there is no prescribed building or frontage type, except that no private garage may be located less than 20 feet behind the front facade of a building.
- (3) Storefront frontage type: a frontage type where the building facade is placed at or close to the right-of-way line, with the entrance at sidewalk grade. This building frontage type is conventional for retail use. It is characterized by a high percentage of glazing on the first floor, a prominent entrance, and often an awning. Recessed doors on storefronts are acceptable typically used to avoid doors opening into the sidewalk.

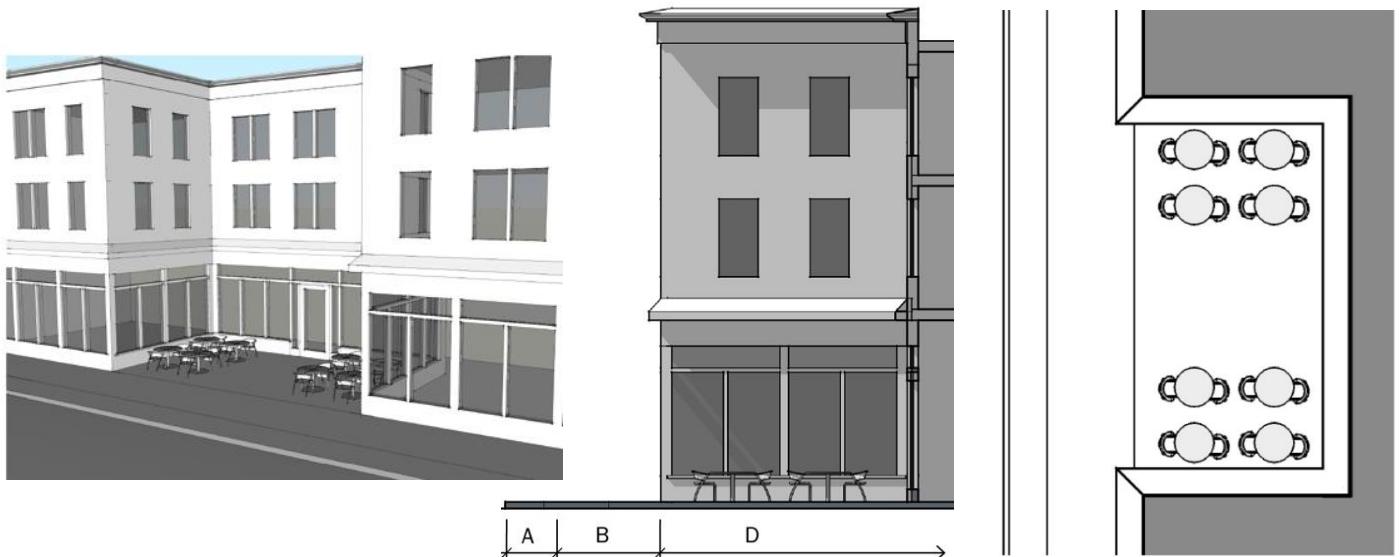




See Figure 18-7 for key to letters

**Figure 18-5: Illustrative View, Section View, and Plan View of Storefront Frontage Type**

- (4) Forecourt frontage type. A forecourt is a semi-public exterior space whose back and sides are surrounded by a building and whose front opens to a thoroughfare — forming a court. The court is suitable for gardens, gathering space, and outdoor dining.



See Figure 18-7 for key to letters

**Figure 18-6: Illustrative View, Section View, and Plan View of Forecourt Frontage Type**

G. Parking location and quantity.

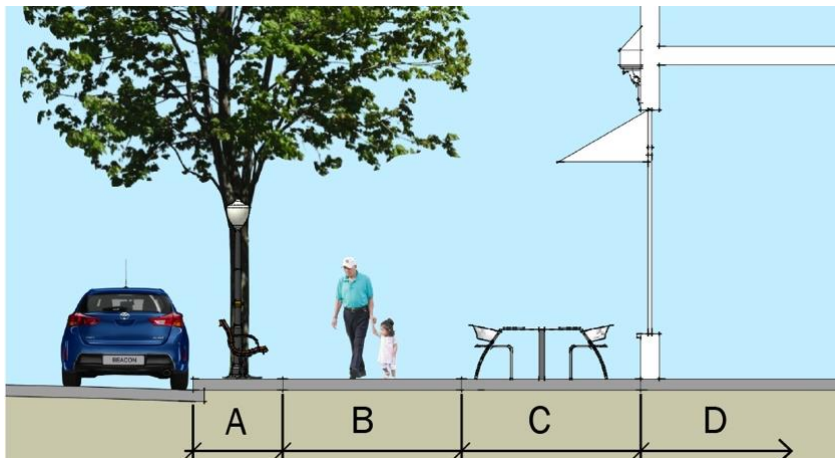
- (1) All off-street parking for buildings that have Main Street or East Main Street frontage shall be located behind, underneath under the ground floor, or to the side of a building. If on the side, the parking area shall be located at least 40 feet from the Main Street or East Main Street property line and be screened by a low brick or stone wall, hedge, ornamental fence, and/or other landscaping that maintains the continuity of the street wall in compliance with frontage occupancy requirements, and that screens parked cars from view from the street. A public garage on a lot with Main Street or East Main Street frontage shall have a storefront "liner building" at least 40 feet deep and one story high between the parking structure and the main street, but may have a zero-foot setback on the upper floors of the parking structure (over the storefront) and along any street that intersects the main street. Parking areas fronting on side streets shall have a minimum setback of five feet in which ornamental and/or buffer landscaping is planted.

- (2) The minimum quantity of required on-site parking spaces shall be as follows:
  - (a) Residential: one space per unit.
  - (b) Office and nonretail commercial: 2.5 spaces per 1,000 square feet of floor area.
  - (c) Retail commercial and personal services: three spaces per 1,000 square feet of floor area.
  - (d) Other uses: as determined to be appropriate by the Planning Board in the course of site plan review.
- (3) The requirements in Subsection G(2) above may be modified by the Planning Board, in its discretion, based upon information submitted by the applicant or otherwise made available in the public record, demonstrating one or more of the following:
  - (a) That the projected operational characteristics of the proposed use require a different amount of parking.
  - (b) That adequate shared parking, contractually obligated for the duration of the proposed use, is available within 500 feet of the site and within the CMS or PB Districts.
  - (c) That the applicant has provided sufficient bicycle parking to reduce anticipated vehicular travel demand.
  - (d) That there is sufficient public parking available within 800 feet of the site and within the CMS or PB Districts to meet foreseeable parking needs of the proposed use and surrounding uses for the duration of the proposed use.
  - (e) That the applicant will voluntarily dedicate land for public parking on site or will acquire land by purchase or long-term lease (for the duration of the proposed use) within 800 feet of the site and within the CMS or PB Districts and voluntarily dedicate such land to the City for public parking.
  - (f) That a professional parking study of the proposed use and the surrounding area demonstrates that a different amount of parking would be appropriate for the use in its particular location and/or that existing and/or proposed off-site parking is sufficient.
- (4) For lots of 8,000 square feet or less, where the provision of on-site parking is infeasible, the Planning Board may waive all parking requirements, provided that the total floor area of the building is no greater than 5,000 square feet.
- (5) Section 223-26B of this Chapter shall apply in the CMS District.

#### H. Streetscape improvements.

- (1) Within the building transition zone, the Planning Board may require the lot owner to provide planters, trees, shrubs, or other landscaping to enhance the appearance of the streetscape. Ornamental fencing four feet or less in height may be provided to separate privately owned space from public space. Chain link, vinyl, and solid fencing shall be prohibited. For commercial uses, display areas, and outdoor dining and seating areas may be provided.
- (2) A pedestrian clearway, at least eight feet wide, with unobstructed space for pedestrian activity shall be provided along the sidewalk, unless site conditions require a narrower clearway. Within the street transition zone, if space permits, lot owners may plant trees and place benches, tables, and outdoor seating areas with the approval of the Department of Public Works. The Planning Board may require the planting of street trees on average 30 feet to 40 feet apart as a condition of site plan approval.
- (3) The Planning Board may require the placement of bicycle racks of an approved design within the street transition and building transition zones. ~~Each bicycle rack holding two bicycles may be used to reduce the required parking by one parking space.~~ The Planning Board may require any building containing 5,000 square feet or more of floor area to provide one bicycle rack or equivalent indoor bicycle parking space for every 2,000 square feet of floor area.

- (4) The Planning Board may require that an applicant constructing a building greater than 10,000 square feet in floor area pay for the provision of related street improvements to improve pedestrian and/or bicycle safety.



A = Street Transition Zone  
B = Pedestrian Clearway  
C = Building Transition Zone  
D = Building Frontage

**Figure 18-7: Parts of the Streetscape**

I. Site plan review/special permit procedures and criteria.

- (1) In order to ensure an expedited review of site plans, this article contains a streamlined site plan review procedure for any proposed building project of 10,000 square feet or less in footprint area, as follows:
- (a) The applicant shall meet with the Building Inspector, who shall provide a site plan application and instruction sheet describing the requirements for site plan approval and who may recommend that the applicant have a preapplication meeting with the Planning Board to determine application submission requirements.
  - (b) The applicant shall prepare a site plan with sufficient information for the Planning Board to determine whether or not it complies with the provisions of this article.
  - (c) If no special permit is required, the applicant shall then meet with the Planning Board to discuss the proposal. No public hearing will be required, unless the Planning Board determines that the proposal may have substantial detrimental effects or may cause public controversy.
  - (d) Within 45 days after such meeting, or if there is a public hearing, within 45 days after the closing of the public hearing, the Planning Board shall issue an approval, approval with modifications, or denial of the application, stating the reasons for any modifications or denial. The Planning Board shall also issue a required schedule for initiation and completion of the project. Such approval shall lapse within two years if the applicant does not diligently pursue construction of the project, unless the applicant requests an extension, which may only be granted for good cause by the Planning Board.
- (2) For projects with over 10,000 square feet in building footprint area, or that otherwise require a special permit, the applicant shall follow the procedures in §§ 223-18 and 223-25, except that the Planning Board shall take the place of the City Council in § 223-18. Such applications shall comply with those sections to the extent that such sections do not contain standards that conflict with this article. In case of a conflict, this article shall control.
- (3) The Planning Board may require a performance guarantee for the construction of public improvements in connection with any project of 10,000 square feet or more in floor area.
- (4) After completion of construction of new buildings, the applicant shall submit as-built plans to the Building Inspector showing the exact location of all site alterations and construction.

J. Site plan and special permit amendments. For any proposed change to an approved site plan, the applicant shall meet with the Building Inspector who shall make a determination as to whether or not the proposed change is significant. If the Building Inspector determines that the change is significant (e.g., a change in dimensions of more than 10% shall be presumed to be significant), the application shall be referred to the Planning Board for an amendment to the site plan or special permit, as appropriate. If the Building Inspector determines that the change is not significant and otherwise complies with applicable requirements, the Building Inspector is authorized to issue a building permit without further review.

K. Compliance with below market rate housing requirements. All applications involving residential development shall comply with Article IVB of this Chapter (Affordable-Workforce Housing).

L. Design standards.

(1) Because of the design standards in this section, the architectural review provisions of Chapter 86 shall not apply within the CMS District. In addition to the preceding sections of this article, all new buildings or substantial alterations of existing buildings shall comply with the following design requirements. These design standards are intended to promote the following purposes:

(a) Preserve and enhance the unique character and general public welfare of the City of Beacon;

(b) Promote pedestrian access and activity, as well as a general sense of area security;

(c) Restore and maintain the role of streets as civic and social spaces, framed by active uses;

(d) Encourage economic development and a convenient mix of uses and services; and

(e) Support a sense of design context that appropriately relates historic buildings, general facade and window patterns, and traditional streetscapes in the area to new redevelopment efforts, while still allowing contemporary architectural flexibility.

(2) Key Terms: Standards using the verb "shall" are required; "should" is used when the standard is to be applied unless the Planning Board finds a strong justification for an alternative solution in an unusual and specific circumstance; and "may" means that the "standard" is an optional guideline that is encouraged but not required.

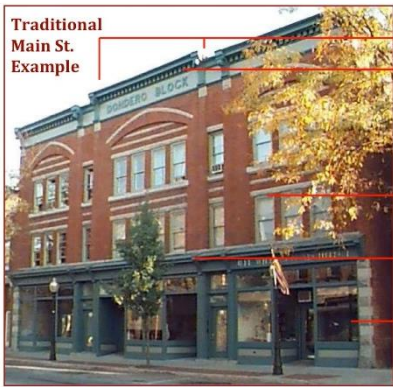
(3) Proposed new buildings should be compatible with nearby historic-quality buildings along Main Street. References to the existing context should include type and texture of materials, massing, spacing and proportion of windows and doors, horizontal alignments, and street-front fixtures, but architectural features and details may be more traditional or may be simpler and more modern, signaling a contemporary building. Building exteriors in or directly adjoining the Historic District and Landmark Overlay sections of the CMS District should reinforce historic patterns and neighboring buildings with an emphasis on continuity and compatibility, not contrast, but new construction may still be distinguishable in architectural details, windows, and interiors.

(4) Buildings should have a top-floor cornice feature and first-floor architectural articulation, such as a storefront with a secondary cornice or an architecturally emphasized entrance doorway, to accent the central body of the building.

(5) Architectural features and windows should be continued on all sides of the building that are clearly visible from a street or public parking area, avoiding any blank walls, except in cases of existing walls or potential common property walls. Larger buildings shall incorporate significant breaks in the facades and rooflines at intervals of no more than 35 feet.

(6) Building elements that provide additional architectural interest, such as balconies, bay windows, open porches, and cornices, may encroach up to four feet beyond the front lot line if the bottom of the encroaching building elements is at least 12 feet above grade.

- (7) Metal, glass or canvas-type awnings and canopies or projecting signs are encouraged and may encroach up to six feet into the front setback and over the sidewalk above seven feet. Vinyl awnings are discouraged unless the applicant can demonstrate to the Planning Board's satisfaction that the finish and design of such awning are of high quality, aesthetically pleasing and meet the intended standards of the district, ~~as determined by said Board.~~
- (8) Buildings shall have a front entrance door facing the primary street and connected to the sidewalk. Front entrance doors for commercial buildings and retail storefronts shall be active and provide main access during business hours.
- (9) Primary individual window proportions shall be greater in height than in width, but the Planning Board may allow exceptions for storefront, transom, and specialty windows. Mirrored, reflective, or tinted glass, all-glass walls, and exterior roll-down security gates shall not be permitted. Any shutters shall match the size of the window opening, and appear functional, and be attached to the window frame.
- (10) Commercial buildings shall have at least 70% glass on the first-floor facades, located between two feet and 10 feet above the sidewalk. ~~Residential buildings shall~~ Main Street or East Main Street buildings should have at least 30% glass on the ~~first floor~~ upper floor facades.
- (11) Finish building materials should be wood, brick, traditional cement-based stucco, stone, smooth cast stone, ~~or smooth-finished~~ fiber-cement siding, or other material deemed acceptable by the Planning Board. Vinyl, aluminum or sheet metal siding or sheet trim, exposed concrete blocks or concrete walls, plywood or other similar prefabricated panels, unpainted or unstained lumber, synthetic rough-cut stone, ~~or synthetic~~ brick, ~~or synthetic~~ stucco, exterior insulation and finishing system (EIFS), ~~or direct-applied finish system (DAFS),~~ and chain link, plastic, or vinyl fencing shall not be permitted.
- (12) Materials and colors should complement historic buildings on the block. Fluorescent, neon, metallic, or other intentionally garish colors, as well as stripes, dots, or other incompatible patterns, shall be prohibited.
- (13) Lighting fixtures shall be a maximum of 15 feet in height, except pole lights in rear parking lots shall be a maximum of 20 feet high. Lighting shall be energy efficient, have full spectrum color quality, and, except for short-term event lighting, shall prevent any lighting above ~~60 watts~~ 500 lumens that directly projects above the horizontal level into the night sky with full cut-off fixtures.
- (14) Mechanical equipment and refuse containers shall be concealed from public view by approved architectural or landscaping elements and shall be located to the rear of the site. Window or projecting air conditioners shall not be permitted on the front façade of new buildings or additions.
- (15) The Planning Board may waive setback requirements for landmark civic buildings, including government buildings, schools, libraries, or places of worship, and for pedestrian-oriented places, such as public greens or plazas and outdoor eating areas.
- (16) The following Figure 18-8 provides annotated photographs to illustrate design standards in this section:



**Traditional Main St. Example**

- Façade and roof line breaks at intervals of no more than 35'
- Top floor cornice feature
- Bay windows, balconies and open porches may encroach up to 4' over the sidewalk
- Primary window proportions greater in height than in width
- Secondary storefront cornice or first floor articulation
- Commercial first floor facing Main Street

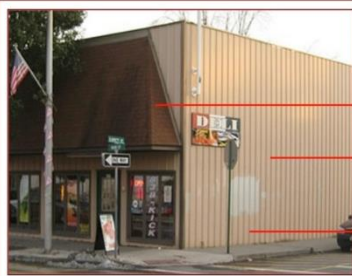
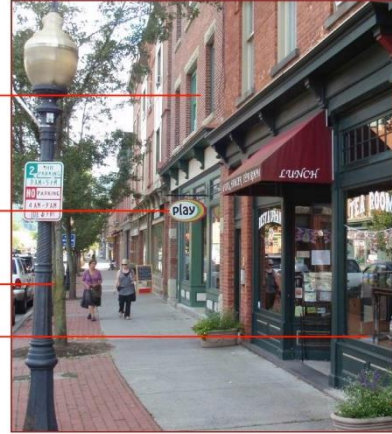


**More Modern Example**

**Design Standards Consistent Examples**



- Wood, brick, stucco, stone, or fiber-cement siding and trim recommended
- Metal, glass, or canvas-type awnings and canopies or projecting signs may encroach up to 6 feet over the sidewalk above 7 feet
- Street trees planted on average 30' - 40' apart
- Commercial buildings shall have at least 70% glass on first floor facades between 2' and 10' above the sidewalk



**Design Standards Inconsistent Examples**

- Two-story minimum required, allowing second floor occupancy
- Architectural features and windows should be continued on all sides, avoiding any blank walls
- Vinyl, aluminum, or sheet metal siding or sheet trim shall not be permitted



- Buildings should have a top floor cornice feature
- Primary window proportions shall be greater in height than in width
- Commercial buildings shall have at least 70% glass on the first floor facade



Vinyl awnings are discouraged, but metal, glass, and canvas-type awnings are encouraged



**Design Standards Consistent Examples**

- Wood, brick, stucco, stone, or fiber-cement siding and trim recommended
- Bay windows, balconies and open porches may encroach up to 4' into the setback
- Required landscaping between the sidewalk and building to enhance the streetscape



- In the Linkage District, a step-back of at least 15' behind the façade above the third story
- Primary window proportions greater in height than in width
- Secondary cornice or first floor articulation
- Residential buildings shall have at least 30% glass on first floor facades



- Top floor cornice feature
- Façade and roof line breaks at intervals of no more than 35'
- Street trees planted on average 30' - 40' apart
- Metal, glass, or canvas-type awnings and canopies may encroach up to 6 feet over the sidewalk above 7 feet

**Figure 18-8: Design Illustrations**

M. Main Street infill strategies illustrative sketch plan. This sketch plan provides one possible set of design solutions for infill development, which was included in the 2017 Comprehensive Plan Update as an illustration of planning principles for the Central Main Street District.



Figure 18-9: Central Main Street Infill Strategies and Illustrative Sketch Plan

## **Section 2. Ratification, Readoption and Confirmation**

Except as specifically modified by the amendments contained herein, the Chapter 223 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

## **Section 3. Numbering for Codification**

It is the intention of the City of Beacon and it is hereby enacted that the provisions of this Local Law shall be included in the Code of the City of Beacon; that the sections and subsections of this Local Law may be re-numbered or re-lettered by the Codifier to accomplish such intention; that the Codifier shall make no substantive changes to this Local Law; that the word "Local Law" shall be changed to "Chapter," "Section" or other appropriate word as required for codification; and that any such rearranging of the numbering and editing shall not affect the validity of this Local Law or the provisions of the Code affected thereby.

## **Section 4. Severability**

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local Law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**Section 5.** This local law shall become effective immediately upon filing with the Office of the Secretary of State.



**LOCAL LAW NO. \_\_\_\_ OF 2017**

**CITY COUNCIL  
CITY OF BEACON**

**LOCAL LAW AMENDING CHAPTER 223  
OF THE CODE OF THE CITY OF BEACON**

A LOCAL LAW to amend Chapter 223 of the Code of the City of Beacon regarding the Fishkill Creek Development District.

**BE IT ENACTED** by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 223 of the City Code, Article IVC entitled “Fishkill Creek Development District,” is hereby amended as follows:

**Article IVC: Fishkill Creek Development District** ~~[Added 11-1-2010 by L.L. No. 14-2010]~~

**§ 223-41.12 Purposes.**

Purposes of the Fishkill Creek Development (FCD) District are to:

- A. Encourage the development and/or redevelopment of undeveloped or underutilized industrial properties along the Fishkill Creek in a manner that provides a mix of residential and nonresidential uses. Properties in this category are generally more remote from the Central Business District than other under-utilized industrial sites, and are not as well suited to continued industrial development ~~as properties on the north end of the Fishkill Creek corridor.~~
- B. Establish and preserve open space corridors along Fishkill Creek and the Hudson River, and seek open space linkages to the large areas of open space in the Hudson Highlands on the slopes of Mount Beacon.
- C. Continue to develop greenways along the Hudson River and Fishkill Creek for public recreation, and provide linkages to trails towards the Hudson Highlands and the slopes of Mount Beacon. Improve boat access to Fishkill Creek and the Hudson River. Determine the future use of the railroad tracks along Fishkill Creek for vehicles capable of utilizing the tracks or for a bicycle and pedestrian path, and implement the decision.

**§ 223-41.13 Uses; plan review; design standards.**

- A. This article establishes a comprehensive review for land uses in the Fishkill Creek Development District. Development within the Fishkill Creek Development District shall be governed by this article, except to the extent that this article specifically incorporates by reference other sections of this chapter. In the event that any other provision of this chapter is inconsistent with the provisions of this article, then the provisions of this article shall control.
- B. Principal uses permitted by special permit. A Fishkill Creek development may be a single use, or a mixed use which incorporates various permitted land use elements as part of a comprehensive development plan. These elements may include:

- (1) Apartment, attached and multifamily dwellings.
- (2) Artist live/work spaces, artist studios and workshops of artisans.
- (3) Bed-and-breakfast establishments and inns.
- (4) Spas, fitness centers/noncommercial swimming pools, exercise studios, day-care centers, and similar uses as determined by resolution of the City Council. Such uses shall be permitted ~~on the ground floor and second floor of the~~ in buildings ~~facing~~ that face streets.
- (5) Restaurants and other eating and drinking establishments. Such restaurants and other eating and drinking establishments shall be permitted ~~on the ground floor and second floor of the~~ in buildings ~~facing~~ that face streets. No individual restaurant use shall contain more than 5,000 square feet of gross floor area.
- (6) Professional and ~~small~~ business offices ~~on the ground floor and second floor of~~ in buildings ~~facing the~~ that face streets.
- (7) Galleries, exhibit spaces and museums.
- (8) Community facilities that complement residential and commercial uses, such as public or semipublic performance and cultural centers, live theaters, concert halls, meeting rooms suitable for social, civic, cultural or education activities, bandshells, kiosks and gazebos.
- (9) Assembly and other light industrial uses, as determined by the City Council, in fully enclosed buildings and not including any form of outdoor storage.
- (10) Other uses similar to the above uses as determined by resolution of the City Council.

C. Permitted accessory uses. Permitted accessory uses may include:

- (1) Uses which are clearly incidental to, and customarily found in connection with, the permitted principal uses. Exterior display of goods on special event days/weeks may be permitted, subject to the issuance of a permit by the City. Exterior storage is not allowed. Outdoor seating for restaurants and pedestrian-oriented accessory uses, such as flower, food or drink stands, are permitted.
- (2) Parking and bicycle facilities, including parking structures.

D. Procedure for review of Fishkill Creek development proposals.

- (1) Each Fishkill Creek development project shall require:
  - (a) Concept plan approval by the City Council; and
  - ~~(b) Special permit approval by the City Council; and~~
  - (b) Site plan approval by the Planning Board.
- ~~(2) The City Council's review of a special permit application for a Fishkill Creek development project shall include review of a Fishkill Creek development concept plan, which contains a proposed designation of the appropriate land uses, or a range of land uses, for the overall development of the applicant's land holdings in the FCD District. The purpose of this review is to assure that the FCD District will be developed in accordance with an overall comprehensive plan, even though the total Fishkill Creek Development District may consist of more than one separate FCD project, which might be constructed at different times.~~

(2) The Planning Board may commence its review of a site plan for one or more Fishkill Creek development projects as soon as an application for such Fishkill Creek development ~~special permit~~ concept plan has been submitted to the City Council, ~~and such reviews may proceed simultaneously.~~ However, no final approval of a site plan for any FCD project shall precede the issuance of a ~~special permit~~ concept plan approval for such FCD project by the City Council.

E. Application fees. Applications to the City Council and Planning Board as provided herein shall be accompanied by the appropriate fees which may be set from time to time by the City Council for such applications. If such fees are not sufficient to defray the costs of review, the applicant shall also be required to pay such additional fees as may be necessary for the reasonable expenses of technical assistance to the City in reviewing the technical aspects of the application.

F. Procedure for ~~special permit and~~ Fishkill Creek development concept plan review.

(1) Application. The concept plan application for a Fishkill Creek development ~~special permit~~ for one or more FCD projects shall be submitted to the City Council. The application shall consist of narrative text, drawings and/or illustrations describing the proposed Fishkill Creek development project ~~and concept plan~~. All application materials, including plans, shall be submitted in electronic file format acceptable to the Building Department, in addition to at least five paper copies (or such other format or amount as determined by the Building Department), at least two weeks prior to the City Council meeting at which it will be considered. Drawings shall be submitted approximately to scale, but need not be to the precision of a finished engineering drawing or a final site plan. The application shall include the following: ~~[Amended 4-21-2014 by L.L. No. 1-2014]~~

- (a) A written description of the Fishkill Creek development project(s) ~~and concept plan~~, and a description of the manner in which such proposal meets the purposes of the Fishkill Creek Development District; how it is consistent with the City of Beacon Comprehensive Plan and, if applicable, Local Waterfront Revitalization Plan; and the manner in which the public interest would be served by the proposed Fishkill Creek development, including a description of the benefits to the City.
- (b) A land use plan showing the various proposed land uses and their spatial arrangement, including the proposed general location of buildings, parking areas, public, community and/or recreation facilities, utility and maintenance facilities and open space.
- (c) An indication of the approximate square footage of buildings, the approximate number of dwelling units of each housing type and size, and the approximate amount of floor area of each type of nonresidential use.
- (d) An indication of the appropriate number of parking and loading spaces in relation to their intended use.
- (e) A general indication of any phasing of construction.
- (f) The general configuration of the interior road system, connection/access to the adjoining road system, and an analysis of the need for and the feasibility of providing emergency access.
- (g) A ~~Fishkill Creek development concept plan~~ showing the relation of the proposed uses to existing and proposed uses adjacent to the site that are not part of the application. ~~If no such adjacent uses have been proposed, the applicant shall discuss potential uses for such other parcels.~~
- (h) The general configuration of the pedestrian circulation system, ~~and~~ the connection of such pedestrian passageways to adjoining properties, and a description of how the proposal is consistent with the Fishkill Creek Greenway and Heritage Trail Master Plan.
- (i) The proposed architectural treatment of views and viewing points from the site to Fishkill Creek; to the site from Fishkill Creek; and over the site from important viewsheds, including those identified in the LWRP.
- (j) Descriptions, sketches, and sections ~~and elevations~~ showing the ~~general architectural treatment and~~ design scheme contemplated for the entire development and specifically for any public spaces or major elements of the plan.

- (k) Such additional information as the City Council may deem necessary in order to properly evaluate the application.
- (2) City Council review of ~~special permit and~~ Fishkill Creek development concept plan application.
- ~~(a) Environmental compliance.~~
- (a) The approval of a Fishkill Creek development project is an action subject to the State Environmental Quality Review Act (SEQRA), and all proceedings to review such project shall comply with the applicable requirements of SEQRA.
- ~~[2] Upon receipt of an application for a special permit and Fishkill Creek development concept plan, the City Council shall commence a coordinated review under SEQRA and institute lead agency procedures after identifying all involved and interested agencies, as provided by law.~~
- ~~[3] To the extent possible in accordance with law, any draft environmental impact statement (DEIS) required in connection with the special permit and Fishkill Creek development concept plan approval shall be sufficiently specific so as to eliminate the need for additional and/or supplemental DEIS's during the site plan stage of the approval process.~~
- ~~[4] To the extent possible in accordance with law, the preparation of any required DEIS shall be integrated into the existing agency review processes and should occur at the same time as the other agency reviews, including the special permit and Fishkill Creek development concept plan review. When a SEQRA hearing is held, it should be conducted jointly with other public hearings on the proposed action, whenever practicable.~~
- (b) Enhanced public transportation, jitneys and other alternative means of travel between the FCD, Main Street and the Hudson Riverfront, as well as the developer providing his a fair share of the funding of such alternative means of travel, shall be considered as important methods of mitigating potential traffic and parking impacts resulting from the FCD.
- (c) City Council referrals.
- [1] The City Council shall refer the application for a special permit and Fishkill Creek development concept plan approval to the Planning Board for a ~~report and~~ recommendation. The Planning Board shall review all documents and materials relating to the application and ~~shall render a report to the City Council and~~ may make any advisory recommendations it deems appropriate. ~~Where the City Council is serving as the lead agency under SEQRA, where the Planning Board is an involved agency, and where a DEIS is required, then this referral may be coordinated with the comment period under SEQRA. The report of the Planning Board shall be due on the date set for receipt of written comments on the DEIS or a date 45 days from the referral by the City Council, whichever is greater.~~
- [2] Other referrals. The City Council shall comply with the applicable provisions of General Municipal Law §§ 239-l and 239-m. ~~Where the City Council is serving as lead agency under SEQRA, and where a DEIS is required, it shall circulate the DEIS and FEIS as provided by law.~~ In addition to any referrals required by law, the City Council may refer the application to any other City board, department, official, consultant or professional it deems appropriate.
- (d) City Council Public hearing. The City Council shall hold a public hearing, ~~with the same notice required by law for zoning amendments,~~ on the application for a ~~special permit and~~ Fishkill Creek development concept plan approval. ~~Where the City Council is serving as lead agency under SEQRA, and where a DEIS is required, the~~ Any required SEQRA hearing shall be conducted jointly with this public hearing, if practicable.
- (3) City Council decision on ~~special permit and~~ Fishkill Creek development concept plan.

(a) The City Council shall render a decision on the application for Fishkill Creek development concept plan approval ~~and for a special permit~~ after it has held the required public hearing ~~herein~~, completed the SEQRA process and has made the requisite SEQRA determination of significance and/or findings, and, if applicable, has made the consistency determination ~~as required~~ under the City's Local Waterfront Consistency Law.[1]

[1] Editor's Note: See Ch. 220, Waterfront Consistency Review.

(b) Concept plan approval. ~~Prior to granting any special permit for a Fishkill Creek development project, the City Council shall review a Fishkill Creek development concept plan, which contains a proposed designation of appropriate land uses, or a range of land uses, for the overall development of the FCD District. The City Council shall may approve the concept plan upon a finding that it:~~

~~[1] Will fulfill the purposes of the Fishkill Creek Development District; and~~

~~[2] Will be in harmony with the appropriate and orderly development of the City.~~

(a) ~~Special permit approval. The City Council may authorize the issuance of a special permit for a Fishkill Creek development project, provided that it shall find that the following conditions and standards have been met:~~

~~[1] The proposed Fishkill Creek development project will fulfill is consistent with the purposes and requirements of the Fishkill Creek Development District and is otherwise in the public interest.~~

~~[2] The proposed Fishkill Creek development project complies with § 223-41.13 I(16), Fishkill Creek buffer, of this chapter.~~

~~[3] The proposed Fishkill Creek development project meets the Fishkill Creek development design standards set forth in § 223-41.13 I, to the extent applicable at the special permit concept plan stage.~~

~~[4] The proposed Fishkill Creek development project is consistent with the City's Comprehensive Plan, Local Waterfront Revitalization Program (if applicable), and Fishkill Creek Greenway and Heritage Trail Master Plan and will not hinder or discourage the appropriate development and use of adjacent lands.~~

~~[5] The Fishkill Creek development is in accordance with the approved FCD concept plan.~~

~~[5] The proposed Fishkill Creek development project is planned as a cohesive unit; with a comprehensive plan for ingress, egress, open space, landscaping, signage, circulation and utility service; and the land uses are complementary; and the architectural styles are compatible and attain high standards of design.~~

~~[6] The land uses in the proposed Fishkill Creek development project relate, visually and functionally, with surrounding land areas and land uses, and shall relate compatibly with other elements of the Fishkill Creek corridor.~~

~~[7] The Fishkill Creek development project shall be sensitive to the site's relationship to the Fishkill Creek and shall be designed accordingly.~~

~~[8] The FCD site is proposed to be developed in such a way as to maximize important views and view corridors throughout the development; and site layout and design has incorporated, protected and/or enhanced important views and view corridors, including those identified in the LWRP.~~

(c) ~~Conditions. In approving any Fishkill Creek development concept plan and special permit, the City Council may attach such conditions, safeguards and mitigation measures as it deems necessary or appropriate to assure continual conformance to all applicable standards and requirements and to fulfill the intent and purposes of this chapter.~~

(4) Time periods for development pursuant to special permit. At the time of approving a special permit, the City Council may set forth the time period in which construction is to begin and be completed. The City Council may, in its discretion, extend any time period it has previously set where it finds that changing market conditions or other circumstances have acted to prevent the timely commencement or completion of work, and that the developer has proceeded with reasonable diligence in an effort to assure completion of the work within the permitted time period. The extension of these time periods shall not require the holding of a new public hearing.

(4) Revisions to FCD concept plan special permit. After approval of a FCD special permit, any proposed revisions in the approved special permit shall be submitted to the City Council. The City Council, in its discretion, shall determine the appropriate procedures for consideration of the proposed revisions, and whether such revision is material enough to require further environmental analysis, further project review and/or a further hearing, as it may deem appropriate.

G. Site development plan review. After approval of the Fishkill Creek development ~~special permit~~ concept plan by the City Council, the Planning Board may grant site plan approval to a Fishkill Creek development project.

(1) Application for site plan approval. The application for site development plan approval shall contain all the material set forth in § 223-25 B of this chapter. In addition, the applicant shall submit the following:

(a) Information to establish that the proposed site plan complies with § 223-41.13 I(16), Fishkill Creek buffer, of this chapter.

(b) Information to establish that the proposed site plan meets the Fishkill Creek development standards set forth in Subsection I below.

(c) Information to establish that the proposed site plan is in substantial conformance with the approved Fishkill Creek development concept plan ~~and special permit~~.

(d) Elevations showing the architectural and design treatment of all buildings, public and open spaces and other site plan elements.

(e) Information to establish the relationship of the proposed project to later elements of the development of the FCD District, including any other adjacent and nearby lands that are not part of the applicant's Fishkill Creek development project(s).

(f) Such other information as the Planning Board may reasonably require in order to evaluate the site plan application.

(g) Application fees as required pursuant to Subsection E above.

(2) Planning Board review of site plan.

(a) The Planning Board shall conduct a detailed review of the adequacy, location, arrangement, design and appearance of each aspect of the proposed development. ~~While the scope of the Planning Board's review of the site plan will generally relate to the FCD project at issue,~~ The Planning Board shall have the authority to assure that aspects of the overall development of the FCD District (e.g., stormwater management, domestic water and fire protection, sanitary sewer, all utilities, streets, etc.) shall be adequate to suit the purposes and needs of the entire FCD District, as it is finally developed.

(b) In acting on any site development plan application, the Planning Board shall take into consideration ~~any approved special permits and~~ the Fishkill Creek development concept plans, the proposed design and layout of the entire FCD District, including the proposed location, height and landscaping of buildings, traffic circulation within and without the site, provision of off-street parking, exterior lighting, display of signs, landscaping, buffer areas and open spaces, and architecture and design, so that any development will have a harmonious relationship with the existing or permitted development of contiguous land and of adjacent neighborhoods, and so that pedestrian and vehicular traffic will be handled adequately and safely within the site and in relation to the adjoining street system. Particularly, the Planning Board shall assure that the proposed site plan meets the Fishkill Creek development design standards set forth in Subsection I below.

(c) The proposed site development plan shall be in general substantial conformance with the Fishkill Creek development concept plan. The site plan for a particular Fishkill Creek development project will provide detailed building envelopes, elevations and site design details. The Planning Board may exercise its discretion in allowing minor variations from the Fishkill Creek development concept plan so long as the site plan is, in the Planning Board's judgment, generally in keeping with the Fishkill Creek development concept plan approved by the City Council. In no case, however, shall the Planning Board have the authority to approve a total number of dwelling units and/or an amount of nonresidential floor area in the Fishkill Creek development project which exceeds the number(s) approved as part of the ~~special permit and~~ Fishkill Creek development concept plan.

(3) Time period for construction. ~~Notwithstanding § 223-41.13 F(4) of this chapter,~~ At the time of approving the site plan, the Planning Board may set forth the time period in which construction is to begin and be completed. The Planning Board may, in its discretion, extend any time period it has previously set where it finds that changing market conditions or other circumstances have acted to prevent the timely commencement or completion of work, and that the developer has proceeded with reasonable diligence in an effort to assure completion of the work within the permitted time period. The extension of these time periods shall not require the holding of a new public hearing. ~~Where the authority granted under this section and § 223-41.13 F(4) may be in conflict, the latter section shall control.~~

(4) Adjustments to site plan during construction. During the construction of an approved site plan, the Building Inspector or the City Engineer may authorize minor adjustments to the approved plans which are consistent with the overall approved site plan, when such adjustments appear necessary in the light of technical or engineering considerations which develop during actual construction, or when such adjustments are required in order to comply with law, rules or regulations made applicable to the subject property by any agency or instrumentality of the United States, New York State, Dutchess County or City government. The Building Inspector or City Engineer may, in his discretion, refer any such proposed change to the Planning Board for review. The Planning Board may determine to treat the modification as a minor site plan adjustment under this section or to treat it as a site plan amendment under Subsection G(5) below. If treated as a minor site plan adjustment, the Planning Board may authorize the Engineer or Building Inspector to approve the requested change.

(5) Site plan amendments. If the Planning Board determines that the character of the proposed changes requires a site plan amendment, the Planning Board shall process the application as an amended site plan under this Subsection G(5) and shall have the discretion to determine the extent of further environmental analysis and project review that is required. After appropriate review, the Planning Board shall approve any site plan amendment by resolution.

H. Subdivision within a Fishkill Creek development. The Planning Board may review any proposed subdivision application within a Fishkill Creek development at any time. Any requests for subdivision approval shall follow the procedures set forth in Chapter 195, Subdivision of Land, of the City Code. The ~~bulk standards,~~ setbacks and other dimensional requirements of the FCD District shall apply to the gross land area of the total Fishkill Creek development project, whether or not the gross land area is or will remain in one ownership, and shall not apply to individual or subdivided lots.

I. Fishkill Creek Development design standards. ~~Fishkill Creek development shall meet the following standards:~~

~~(1) Comprehensive design. The FCD District allows for flexibility of design to encourage innovative site planning. While the FCD District may contain various use elements (e.g., residential, retail, restaurant, etc.), the FCD District must be planned as a cohesive unit, with a comprehensive plan for ingress, egress, open space, landscaping, signage, circulation and utility service. Additionally, proposed land uses must be complementary. The architectural styles must be compatible and must attain high standards of design.~~

~~(2) Relationship to uses on surrounding public property. The land uses in a Fishkill Creek development project shall relate, visually and functionally, with surrounding land areas and land uses, and shall relate compatibly with other elements of the Fishkill Creek corridor.~~

~~(3) Relationship to Fishkill Creek. The FCD project shall be sensitive to the site's relationship to the Fishkill Creek and shall be designed accordingly.~~

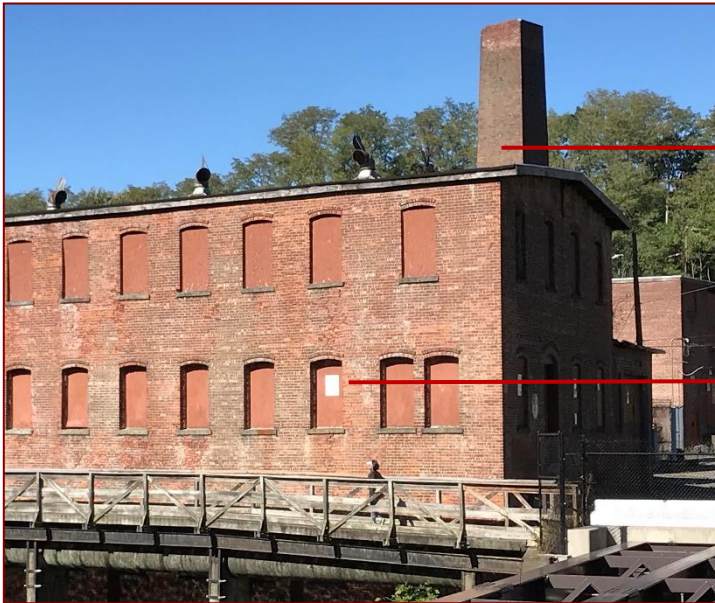
- (4) Provision of view corridors. The site shall be developed in such a way as to maximize important public views and view corridors throughout the development. Site layout and design shall consider important public views and view corridors including those identified in the LWRP. Important views shall be protected and/or enhanced to the maximum extent practicable.
- (5) FCD design principles and standards.
- (a) Architecture and building materials shall be evaluated in the context of high quality examples of Hudson Valley regional and Beacon architecture.
  - (b) Buildings shall be designed in consideration of appearance from all vantage points. Blank or long, uninterrupted walls, both horizontally and vertically, and tinted or mirrored windows shall be avoided. Commercial storefronts and restaurants shall have a minimum of 70% glass frontages.
  - (c) Architectural elements shall be used to provide visual interest, reduce apparent scale of the development, and promote integration of the various design elements in the project.
  - (d) Groups of related buildings shall be designed to present a varied, yet compatible appearance in terms of architectural style.
  - (e) Building facade setbacks shall be varied to the extent practicable in order to provide an interesting interplay of light, shadows, colors, window openings, terraces, balconies and cornice features.
  - (f) Appurtenances on buildings and auxiliary structures, such as mechanical equipment or water towers, carports, garages or storage buildings, shall receive architectural treatment consistent with that of principal buildings.
  - (g) The ground floor of buildings for residential use, whenever practical, shall may be designed so as to be convertible in the future to nonresidential use, . This shall include, but shall not necessarily be limited to, the inclusion of including floor to ceiling dimensions appropriate to future nonresidential usage of the buildings.
- (1) All new buildings or substantial alterations of existing buildings in the Fishkill Creek Development District, shall comply with the following design standards. These standards are intended to supplement the provisions in Chapter 86, Architectural Design, and to relate historic buildings and traditional streetscapes in the area to new redevelopment efforts, while still allowing contemporary architectural flexibility.
  - (2) Key terms. Standards using the verb "shall" are required; "should" is used when the standard is to be applied unless the City Council or Planning Board, as applicable, finds a strong justification for an alternative solution in and unusual and specific circumstance; and "may means that the standard is an optional guideline that is encouraged but not required.
  - (3) General district standards. While the FCD District may contain various uses, development shall be planned as a cohesive unit, with a comprehensive plan for access, connected greenspace, landscaping, signs, circulation, and compatible architectural elements. Plans should build on the existing Beacon environmental and historic context.
    - a) Proposals shall show previous buildings on the site and document inspiration from the City's industrial past along the riverfront and creek frontage, including the type and texture of materials, roof forms, spacing and proportions of windows and doors, and exterior architectural features. Building details may be traditional or may be more modern and simple.
    - b) Construction on parcels in or directly adjoining the Historic District and Landmark Overlay Zone should reinforce historical patterns and neighboring buildings with an emphasis on continuity and historic compatibility, not contrast. The goal is to renew and extend the traditional character of the district, but new construction may still be distinguishable in up-to-date technologies and details, most evident in windows and interiors (see also Chapter 134, Historic Preservation).



- c) The plan shall be sensitive to the site's relationship to the Fishkill Creek and developed in such a way as to maximize important public views and view corridors throughout the development.
- (4) Specific standards. See also the annotated photo examples in Figures 13-1-3, illustrating the design standards.
- a) Historic mill buildings in Beacon generally had simple forms and repetitive window openings with flat or low-pitched gable roofs. Groups of related buildings shall be designed to present a varied, but compatible mix. New construction should have rooftop cornices, capstones, parapets, railings, or projecting eaves.
  - b) Architectural features, materials, and windows shall be continued on all sides of the building, avoiding any blank walls. Larger buildings should incorporate subtle breaks in the façade and window surrounds with projecting sills, lintels, or crowns to add some depth, shadow, and detail.
  - c) Buildings shall have an emphasized entrance doorway to visually connect the building to the street frontage and an interconnected sidewalk and walking/bicycle path system to allow residents access to the street and Greenway Trail along the creek frontage.
  - d) Industrial artifacts, such as stacks, towers, skylights, window frames, loading doors, and docks, should be retained or reproduced and incorporated into the design, whenever possible. Railings, balconies, entrance canopies, lighting fixtures, and other functional details should use industrial styles, metal materials, and darker colors.
  - e) Windows shall be divided into smaller panes to break up large areas of glass. Individual panes shall be greater in height than width, but the Planning Board may allow exceptions for transom lights, storefronts, and other specialty windows. Tinted or mirrored glass and large glass wall areas shall not be permitted.
  - f) Commercial buildings shall have at least 70% glass on the first-floor facades. Residential floors shall have at least a 30% glass to wall ratio.
  - g) For finish building materials, traditional brick is recommended with secondary elements of cement-based stucco, stone, smooth-finished fiber-cement siding, metal, or other material deemed acceptable by the Planning Board. Vinyl, aluminum or sheet metal siding or sheet trim, exposed concrete blocks or concrete walls, plywood or other similar prefabricated panels, unpainted or unstained lumber, synthetic stone or brick, synthetic stucco, exterior insulation and finishing system (EIFS), or direct-applied finish system (DAFS), and chain link, plastic, or vinyl fencing shall not be permitted.
  - h) Greenhouses, solar collectors, mechanical systems, and other rooftop accessory structures may project up to 15 feet above the maximum height, if set back at least 15 feet from the edge of a flat roof.
  - i) Off-street parking, mechanical equipment, and refuse containers shall be located toward the rear or side of the site, under the ground floor of buildings, and/or screened from public views by approved landscaping or architectural elements. Window or projecting air conditioners shall not be permitted.
  - j) Every site should include at least one pedestrian-oriented gathering place, green, landscaped plaza, courtyard, terrace, or outdoor eating area, using the building forms to frame, overlook, or complement the space.
- (5) Energy efficiency. The plan for the Fishkill Creek development project shall be designed and arranged in such a way as to promote energy efficiency to the maximum extent practicable for all buildings, such as taking advantage of passive solar and solar panel opportunities.
- (6) Landscaping, screening and buffering. A comprehensive landscaping plan, including proposed streetscape and rooftop elements, shall be submitted for the project.

- (a) Sidewalks, open spaces, parking areas and service areas shall be landscaped and/or paved in a manner which will harmonize with proposed buildings. Materials for paving, walls, fences, curbs, benches, etc., shall be attractive, durable, easily maintained and compatible with the exterior materials of adjacent buildings.
  - (b) The Planning Board may require street trees, buffer landscaping, fencing or screening to separate land uses and to screen parking lots or structures, utility buildings, refuse collection areas, cooling systems and other similar installations and features.
  - (c) All plants, trees and shrubs shall be installed in accordance with a planting schedule provided by the developer and approved by the Planning Board. Landscape materials selected shall emphasize native species, not include invasive species, and shall be appropriate to the growing conditions of the environment and this climatic zone.
  - (d) Green roofs and rooftop terraces and gardens are encouraged for visual and environmental reasons.
- (7) Lighting. A comprehensive lighting plan which includes pedestrian-scale lighting with photometric measurements and fixture specifications shall be submitted for the project. Streets, drives, walks and other outdoor areas shall be properly lighted to promote safety and encourage pedestrian use. All exterior lighting for the project shall be directed downward or otherwise appropriately shielded and designed to minimize excessive light. Such lighting shall have an attractive appearance compatible with the overall project design and FCD character. Lighting type, number and locations shall be subject to Planning Board review and approval as part of the site plan review process. Lighting fixtures shall be a maximum of 15 feet in height, except pole lights in parking lots shall be a maximum of 20 feet high. Lighting shall be energy efficient, have full spectrum color quality, and, except for short-term event lighting, shall use full cut-off fixtures to prevent any lighting that directly projects above the horizontal level into the night sky.
- (8) Signage.
- (a) All signs shall be planned and designed in accordance with an overall comprehensive signage plan, which shall be subject to Planning Board review and approval as part of site plan review process.
  - (b) All signs shall be of a size and scale as determined appropriate by the Planning Board to accomplish their intended purpose.
- (9) Vehicle, bicycle and pedestrian circulation system and traffic access. The rights-of-way and pavement widths for all internal streets, drives, walks or other accessways for vehicles, bicycles and/or pedestrians shall be determined on the basis of sound current planning and engineering standards, which shall accommodate projected demand but minimize impervious surface to the maximum extent practicable and be narrow enough to slow traffic speeds. Commercial uses should be pedestrian oriented and assist in building walkable streets and a connection to downtown Beacon.

**FCD Design Standards  
Illustrative Examples  
Figure 13-1**



555 South Avenue and Tioronda Bridge

Industrial artifacts, such as stacks, towers, skylights, window frames, loading doors, and docks, should be retained or reproduced and incorporated into the design, whenever possible.

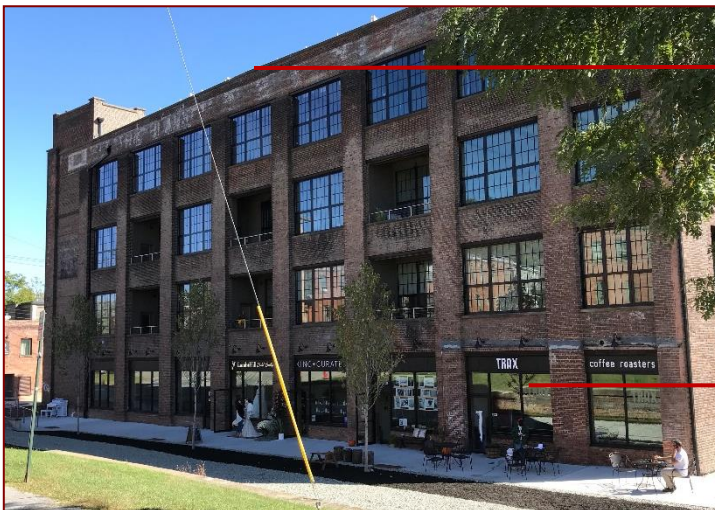
Historic mill buildings in Beacon generally had simple forms and repetitive window openings with flat or low-pitched gable roofs.



Former Factory Buildings at 248 Tioronda Avenue

A corner or centrally located tower projecting one story above the permitted building height may be approved to add architectural interest and to encourage access to rooftop gardens.

Buildings shall have an emphasized entrance doorway to visually connect the building to the street frontage and an interconnected sidewalk and walking/bicycle path system.



One East Main Street

New construction should have rooftop cornices, capstones, parapets, railings, or projecting eaves.

Commercial buildings shall have at least 70% glass on the first-floor facades. Residential floors shall have at least a 30% glass to wall ratio.

Rob Yasinsac

## FCD Design Standards Illustrative Examples Figure 13-2



Front Street Building #4

Architectural features, materials, and windows shall be continued on all sides of the building, avoiding any blank walls.

Larger buildings should incorporate subtle breaks in the façade and window surrounds with projecting sills, lintels, or crowns to add some depth and detail.



12 East Main Street

Windows shall be divided into smaller panes to break up large areas of glass. Individual panes shall be greater in height than width.

For finish building materials, traditional brick is recommended with secondary elements of fiber-cement siding, metal, or other material deemed acceptable by the Planning Board.

Off-street parking, mechanical equipment, and refuse containers shall be located toward the rear or side of the site, under the ground floor of buildings, and/or screened from public views by approved landscaping or architectural elements.



11 Creek Drive

**FCD Design Standards  
Illustrative Examples  
Figure 13-3**



**The Roundhouse at Beacon Falls**

Every site should include at least one pedestrian-oriented gathering place, green, landscaped plaza, courtyard, terrace, or outdoor eating area, using the building forms to frame, overlook, or complement the space.



**Beacon HIP Lofts, Mason Circle**

Groups of related buildings shall be designed to present a varied, but compatible mix.

Railings, balconies, entrance canopies, lighting fixtures, and other functional details should use industrial styles, metal materials, and darker colors.



**Beacon HIP Lofts, Mason Circle**

Industrial artifacts, such as stacks, towers, window frames, loading doors, and docks, should be incorporated into the design.

Lighting fixtures shall use full cut-off fixtures to prevent any lighting that directly projects above the horizontal level into the night sky.

(10) Public access for greenway trails.

- (a) While a Fishkill Creek development will require certain private elements for the security and benefit of its residents and property owners, a Fishkill Creek development shall provide public pedestrian access in a manner which enhances existing public access opportunities, and coordinates such public access with existing or anticipated opportunities for public access on adjacent lands to facilitate future linkages in a continuous pedestrian path system.
- (b) In order to foster the purposes of this article, in order to implement the policies expressed in the City's Comprehensive Plan and the Fishkill Creek Greenway and Heritage Trail Master Plan, including the creation of greenway trails, and in order to increase public pedestrian access to and the potential for enjoyment of Fishkill Creek, each FCD project shall show a dry-land right-of-way or easement for the enjoyment of the public, which easement shall be not less than 20 feet in width traversing the entire length of the site unless configured otherwise by the Planning Board during the site development plan review process. To the maximum extent practicable, said right-of-way or easement shall be integrated so as to create linkages with existing and anticipated public pedestrian and bicycle trail systems on adjacent lands.
- (c) The trail within said right-of-way or easement shall be constructed by the project developer and shall be maintained by the property owner. Said trail may be located in the Fishkill Creek buffer.

(11) Off-street parking and loading.

(a) General parking requirements.

[1] Off-street parking and loading areas shall be designed with careful regard to their relation to the uses served. They shall be coordinated with the public street system serving the project in order to avoid conflicts with through traffic or obstruction to pedestrian walks.

[2] Parking and loading facilities not enclosed in structures shall be suitably landscaped and/or screened as determined appropriate by the Planning Board. Off-street parking shall be located toward the rear or side of the site, under the ground floor of buildings, and/or screened from public views by approved landscaping or architectural elements.

[3] The construction of any proposed parking structures to accommodate the FCD project shall be integrated into the development.

- (b) Parking requirements. The FCD District parking requirements shall be in accordance with § 223-26 F of this chapter, except that the requirements in ~~said section~~ § 223-26 F shall be both the minimum and maximum requirements for a FCD project.
- (c) With respect to any building, structure or use for which the required number of parking spaces is not specifically set forth in § 223-26 F of this chapter, the Planning Board, in the course of site plan review, shall determine the number of off-street parking spaces required, which number shall bear a reasonable relation to the minimum off-street parking requirements for specified uses as set forth in the above schedule.
- (d) Up to ~~30~~ 20% of the required parking may be designated for compact automobiles at the discretion of and in accordance with standards as determined by the Planning Board.
- (e) ~~Off-street loading.~~ Off-street loading shall be provided as the Planning Board may find appropriate.

(12) Utilities and services.

- (a) Underground lines. All on-site television, power and communication lines, as well as all on-site water, sewer and storm drainage lines, shall be installed underground in the manner prescribed by the regulations of the government agency or utility company having jurisdiction. Any utility equipment to be necessarily located above ground shall be adequately screened from view in an attractive manner.

- (b) Approval of appropriate jurisdictions. All buildings within Fishkill Creek development projects shall be served by water supply, sanitary sewage and stormwater drainage systems as approved by the appropriate government agency or agencies having jurisdiction thereof. Stormwater drainage shall minimize siltation and nonpoint source discharge of salted areas and any other pollutants. Best management practices shall be required.
- (c) Television hookups. Television hookups shall either be by cable television or a central antenna system designed to minimize adverse aesthetic impact and shall not be by multiple individual satellite dishes.
- (d) Refuse collection. The Fishkill Creek development project shall provide an adequate means of storing refuse between collections, and shall comply with all applicable City requirements, including recycling requirements. Such storage systems shall be designed to minimize adverse aesthetic impact.
- (e) Cooling systems. Cooling systems shall be designed so as to minimize adverse aesthetic impact.
- (f) Placement of utilities. Where possible, all utilities shall be placed within the right-of-way, ~~and all possible steps shall be taken to avoid the placement of utilities under the pavement, in order to assure ease of future maintenance.~~
- (g) Utility deficiencies. The FCD project shall address all known utility deficiencies which have a relationship to the project, the project's impact upon said utilities, and the project's implementation and/or financing of its fair share of the mitigation of said impact and deficiencies, including the dedication of utility easements to the City.
- (13) Floodplain. The Fishkill Creek development project shall comply with the applicable provisions of Chapter 123, Flood Damage Prevention, of the City Code. All habitable stories shall be elevated above the one-hundred-year floodplain elevation.
- (14) Historic preservation. Every reasonable effort shall be made to preserve and/or incorporate significant historic structures and artifacts as part of the FCD project.
- (15) Fishkill Creek vegetative buffer.
  - (a) A protective creekside buffer measured from the top of the creek bank shall be observed. "Top of the creek bank" shall mean the highest elevation of land which confines Fishkill Creek.
  - (b) The protective creekside buffer dimension in § 223-41.15 J of this chapter is a minimum and may be increased if necessary to mitigate the impact of the proposed development.
  - (c) With respect to development near the creekside buffer, the site plan shall address the following requirements:
    - [1] Site development shall be fitted to the topography and soil so as to create the least potential for vegetation loss and site disturbance.
    - [2] Vegetation removal shall be limited to that amount necessary for the development of the site. Protection of tree crowns and root zones shall be required for all trees planned for retention.
    - [3] Vegetation indigenous to the site or plant community shall be restored in areas affected by construction activities. Temporary vegetation, sufficient to stabilize the soil, may be required on all disturbed areas as needed to prevent soil erosion. New planting shall be given sufficient water, fertilizer and protection to ensure reestablishment.
  - (d) All approved measures to mitigate the loss or impact to riparian habitat shall become conditions of approval of the project.
  - (e) The creekside buffer shall be protected by a conservation easement and/or covenants and restrictions which provide for the preservation of existing and proposed vegetation within said buffer.

## **§ 223-41.14 Definitions.**

The following definitions are unique to this Article IVC. If any conflict exists between the definitions contained in this article and the general definitions and provisions contained elsewhere in this chapter, or any amendments thereto, then for the purposes of any development pursuant to this article, the definitions contained herein shall govern.

### **BUILDING HEIGHT**

The vertical distance of a building, measured from the average elevation of the finished grade adjacent to a street, to the highest point of the roof if the roof is flat (excluding elevator structures, solar panels and other accessory rooftop features), or to the midpoint between the eaves and the highest point of the roof if the roof is of any other type. Where there is more than one street adjacent to a building, the average elevation of the finished grade of the lower street shall be used as the base elevation for measuring building height. Only those stories above grade are counted towards maximum height in stories or feet; a maximum of one story below grade used as a basement, cellar parking, underground parking or parking under buildings will not count towards total height or number of stories.

### **NONRESIDENTIAL FLOOR AREA**

Floor area of permitted principal uses other than dwelling units and artist live/work spaces.

## **§ 223-41.154 Bulk regulations.**

- A. Minimum size of FCD site: four acres. Notwithstanding the above, the owner of less than four acres of land may apply for approval of a FCD project, where such land is adjacent to a proposed, approved or constructed FCD project.
- B. Development Potential. Maximum number of dwelling units per acre of gross lot area, after deducting any lot area with slopes over 20%, covered by surface water, within a federal regulatory floodway, or within a state or federally regulated wetland: 11. Additionally, a minimum of 25 percent of the total development's floor area shall be permitted nonresidential uses. Notwithstanding the above, the maximum number of dwelling units shall be increased by one unit per gross acre to a maximum of 15 units per gross acre, based on the amount of nonresidential floor area, as defined in this article, which is must be built out before or concurrently with the residential development of the site. For each additional dwelling unit built, 1,000 square feet of nonresidential floor area must be built. Any approvals granted for an FCD project with such increased density shall require that the issuance of the building permits for the residential development are contingent upon the diligent construction of the nonresidential portion of the project. Such increased density Less nonresidential square footage may also be granted by the City Council for the voluntary and guaranteed inclusion in the project of desirable environmental, transportation, or other substantial public benefits which would not otherwise be required of the project, as determined at the sole discretion of the City Council as part of the concept plan approval.
- C. Maximum dwelling unit size: 2,000 square feet of gross floor area.
- ~~D. Maximum floor area ratio of commercial space: 1.0.~~
- D. Maximum building coverage, including parking structures: 35%.
- E. Minimum open space: 30%.
- F. Maximum building height: 2 1/2 stories and 35 feet, except that height may be increased to a maximum of 3 1/2 stories and 45 feet, provided that such buildings are set back at least five additional feet from Fishkill Creek for each one foot increase in height 3 stories and 40 feet, as determined from the average grade level of the side of the building facing the primary street view. A corner or centrally located elevator or stair tower projecting one story above the permitted building height may be approved by the Planning Board to add architectural interest and to encourage access to rooftop gardens.
- G. Minimum building setback from edge of pavement of public and private streets: 12 feet.
- H. Minimum frontage of overall FCD site on public street right-of-way: 50 feet.
- I. Minimum setback from and buffer width along Fishkill Creek: an average of 50 feet, but not less than 25 feet at any point, except with respect to the existing building located at 555 South Avenue located in the Historic District and Landmark Overlay Zone, in which case the minimum setback and buffer requirement shall not apply.



## **Section 2. Ratification, Readoption and Confirmation**

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

## **Section 3. Numbering for Codification**

It is the intention of the City of Beacon and it is hereby enacted that the provisions of this Local Law shall be included in the Code of the City of Beacon; that the sections and subsections of this Local Law may be re-numbered or re-lettered by the Codifier to accomplish such intention; that the Codifier shall make no substantive changes to this Local Law; that the word "Local Law" shall be changed to "Chapter," "Section" or other appropriate word as required for codification; and that any such rearranging of the numbering and editing shall not affect the validity of this Local Law or the provisions of the Code affected thereby.

## **Section 4. Severability**

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local Law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**Section 5.** This local law shall become effective immediately upon filing with the Office of the Secretary of State.

Draft: 11/6/17

**LOCAL LAW NO. \_\_\_\_ OF 2017**

**CITY COUNCIL  
CITY OF BEACON**

**LOCAL LAW AMENDING THE ZONING MAP OF  
THE CITY OF BEACON**

A LOCAL LAW to amend the Zoning Map of the City of Beacon.

**BE IT ENACTED** by the City Council of the City of Beacon as follows:

**Section 1.** Intent. The City Council believes that it is reasonable and appropriate to rezone certain areas in the central downtown business district and along Fishkill Creek in a manner that is not inconsistent with the City's Comprehensive Plan and provides for more efficient zoning boundaries. This local law is determined to be an exercise of the police powers of the City to protect the public health, safety and welfare of its residents.

**Section 2.** The zoning of the parcels listed below is hereby changed from the Existing Zoning District to the New Zoning District as shown in the table and as shown in Figure 1 annexed hereto:

<b>Tax Parcel Number</b>	<b>Subject Property Address</b>	<b>Owner's Name and Address</b>	<b>Existing Zoning District</b>	<b>New Zoning District</b>
6054-30-142808	554 Main Street Beacon, NY 12508	Further Properties, LLC 544 Main Street Beacon NY 12508	R1-5 (rear portion of lot)  CB (portion of lot fronting on Main Street)	CMS
6054-30-151814	2 Ackerman Street	Joseph Valentin 2 Ackerman Street Beacon NY 12508	CB	CMS

p/o 6054-37-096715 (See Fig. 1 - along east side of Main Street from Ackerman Street to Churchill Street)	Main Street Beacon, NY 12508	Metro-North Commuter RR Co. 347 Madison Avenue New York, NY 10017	HI	CMS
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p/o 6054-30-168772 (See Fig. 1 - fronting on East Main Street)	8 East Main Street Beacon, NY 12508	10 Boulevard LLC 24 Woodbine Ave Northport, NY 11768	CB (west of Fishkill Creek)  LB (east of Fishkill Creek)	CMS
6054-38-163747	15 East Main Street Beacon, NY 12508	Sharon Bronte 180 W. 58 <sup>th</sup> Street New York, NY 10019	LB	CMS
6054-38-166745	17 East Main Street Beacon, NY 12508	James Gwenno 20 South Chestnut Street Beacon, NY 12508	LB	CMS
6054-38-167740	19 East Main Street Beacon, NY 12508	Charalambos Peratikos P.O. Box 16 Beacon, NY 12508	LB	CMS
6054-38-167735	25 East Main Street Beacon, NY 12508	Weber Projects II LLC 25 East Main Beacon, NY 12508	LB	CMS
6054-38-169731	27-31 East Main Street Beacon, NY 12508	Accord Realty & Development Inc. P.O. Box 269 Somers, NY 10589	LB	CMS
6054-38-170728	33 East Main Street Beacon, NY 12508	VBK Properties LLC 10 North Gate Road Carmel, NY 10512	LB	CMS

6054-38-174726	East Main Street Beacon, NY 12508	POK Beacon LLC 3 Water Street Beacon, NY 12508	LB	CMS
6054-38-170722	3 Water Street Beacon, NY 12508	POK Beacon LLC 3 Water Street Beacon, NY 12508	LB	CMS
6054-38-167716	5 Water Street Beacon, NY 12508	POK Beacon LLC 3 Water Street Beacon, NY 12508	LB	CMS
6054-38-181714	49 East Main Street Beacon, NY 12508	Sophia Stuart 3 Water Street Beacon, NY 12508	LB	CMS
6054-38-180717	47 East Main Street Beacon, NY 12508	47 East Main Street LLC 47 East Main Street Beacon, NY 12508	LB	CMS
6054-38-190723	44 East Main Street Beacon, NY 12508	Echo Properties I LLC 1777 Route 6 Carmel, NY 10512	LB	CMS
6054-38-188729	36 East Main Street Beacon, NY 12508	Larry Way 39 Van Buren Street Beacon, NY 12508	LB	CMS
6054-38-183732	28 East Main Street Beacon, NY 12508	Rafiq Ahmed 28 East Main Street Beacon, NY 12508	LB	CMS
6054-38-186736	5 Leonard Street Beacon, NY 12508	Brian Haight 5 Leonard Street Beacon, NY 12508	LB	CMS

6054-38-182748	20 East Main Street Beacon, NY 12508	Kurt L. and Donald P. McMillen 160 Chelsea Rd Wappingers Falls NY 12590	LB	CMS
6054-29-047864	189 Fishkill Avenue Beacon, NY 12508	Emily DeCordova 189 Fishkill Avenue Beacon, NY 12508	RD-5	R1-5
6054-29-042814	158 Fishkill Avenue Beacon, NY 12508	Rocky Harbor, LLC 20 Dallis Place Beacon, NY 12508	RD-5	RD-4
p/o 6054-29-056780 (See Fig. 1 - portion of lot fronting on South Street)	Main Street Beacon, NY 12508	McDermott Properties 43 Jelliff Mill Rd New Canaan CT 06840	R1-5	PB
6054-29-063780	48 South Street Beacon NY 12508	John WH Dacey Holly R Sumner 48 South Street Beacon, NY 12508	R1-5	PB
p/o 6054-29-062771 (See Fig. 1 - portion of lot fronting on South Street)	424-428 Main Street Beacon NY 12508	Beacon Main Real Estate Group 8 Belford Ln Beacon NY 12508	R1-5	PB
p/o 6054-29-068768 (See Fig. 1 - portion of lot fronting on South Street)	432 Main Street Beacon NY 12508	Neil E Vaughn 432 Main Street Beacon NY 12508	R1-5	PB
6054-29-075770	34 South Street Beacon NY 12508	Neil Vaughn Erika M Foy 432 Main Street Beacon NY 12508	R1-5	PB
6054-29-079768	32 South Street Beacon NY 12508	Eric A. and Danielle F Brown 32 South Street Beacon NY 12508	R1-5	PB

6054-29-082764	28 South Street Beacon NY 12508	Norah Hart 305 Broadway New York NY 10007	R1-5	PB
p/o 6054-29-086757 (See Fig. 1 - portion of lot fronting on South Street)	Main Street Beacon NY 12508	Qualamar Corporation PO Box 4292 New Windsor NY 12553	R1-5	PB
5955-19-744005	1164 North Ave Beacon NY 12508	Clas Lindman 1164 North Ave Beacon NY 12508	CB	CMS
5954-26-744995	1158 North Ave Beacon NY 12508	Hibernation Auto Storage Inc. 1158 North Ave Beacon NY 12508	CB	CMS
5954-26-748987	1156 North Ave Beacon NY 12508	Charles W Smith Jr 1156 North Ave Beacon NY 12508	CB	CMS
5954-26-740983	1154 North Ave Beacon NY 12508	Hibernation Auto Storage Inc. 1158 North Ave Beacon NY 12508	CB	CMS
5954-26-747977	134 Main Street Beacon NY 12508	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-757980	142 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-761984	144-146 Main Stree	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-765978	Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS

5954-27-768976	150 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
p/o 5954-27-774986 (See Fig. 1 - excluding the portion of the lot fronting on West Church Street)	152 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-773975	Main Street	284 Main Street Corp 284 Main Street Beacon NY 12508	CB	CMS
5954-27-777974	160 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-781973	162 Main Street	Hose Company LLC	CB	CMS
5954-27-787978	7 Cross Street	City of Beacon 1 Municipal Plaza Beacon NY 12508	CB	CMS
5954-27-788982	Cross Street	Crossix LLC 50 Simmons Ln Beacon NY 12508	CB	CMS
5954-27-792985	9 Cross Street	Crossix LLC 50 Simmons Ln Beacon NY 12508	CB	CMS
5954-27-793967	Main Street	Hudson Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-798971	4 Cross Street	Hudson Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS

5954-27-802974	8 Cross Street	Jose R. Santiago Myriam Orrego 8 Cross Street Beacon NY 12508	CB	CMS
5954-27-799966	172 Main Street	Hudson Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-805964	174-178 Main Street	7215-18 <sup>th</sup> Avenue Realty Corp PO Box 417 Shrub Oak NY 10588	CB	CMS
p/o 5954-27-813968 (See Fig. 1 - portion of lot fronting on Main Street)	180 Main Street	180 Main LLC 48 Angola Rd Cornwall NY 12518	CB	CMS
p/o 5954-27-813963 (See Fig. 1 - portion of lot fronting on Main Street)	182 Main Street	182 Main Street Beacon LLC 3169 Glendale Blvd Los Angeles CA 90039	CB	CMS
5954-27-811956	184 Main Street	Paul and Jennifer Yeaple 7 Mackin Avenue Beacon NY 12508	CB	CMS
5954-27-814954	186-190 Main Street	190 Main St Inc. PO Box 115 Lincolndale NY 10540	CB	CMS
5954-27-817951	192 Main Street	Landstar Properties LLC PO Box 321 Sparkill NY 10976	CB	CMS
p/o 5954-27-820961 (See Fig. 1 - southern half of lot nearest to Main Street)	5 Willow Street	Susan C. Battersby 1 Mountain Ln Beacon NY 12508	CB	CMS
5954-27-831951	6 Willow Street	Jonathan Halevah 6 Willow Street Beacon NY 12508	CB	CMS



5954-27-837945	5 Digger Phelps Ct	Richard F Benash Shelita Birchett 339 Roberts Ave Yonkers NY 10703	CB	CMS
5954-27-823922	217 Main Street	AMGC Corp 6405 Atlantic Ave Wildwood NJ 08260	CB	CMS
5954-27-821923	215 Main Street	Norbeh Hall Association Inc PO Box 149 Beacon NY 12508	CB	CMS
5954-27-819925	213-215 Main Street	Barbara and Brenda Joyce Sims 5 Kitteridge Place Beacon NY 12508	CB	CMS
5954-27-814929	201-211 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-809932	199 Main Street	Starlight Beacon West LLC 272 St. Johns Golf Dr St Augustine FL 32092	CB	CMS
5954-27-806934	193-195 Main Street	Lazarus Rising LLC 98 Smithtown Rd Fishkill NY 12524	CB	CMS
5954-27-805940	185 Main Street	City of Beacon 1 Municipal Plaza Beacon NY 12508	CB	CMS
5954-27-799935	6 Cliff Street	Willie L Reed Sr 6 Cliff Street Beacon NY 12508	CB	CMS
5954-27-797931	8 Cliff Street	Minerva Cabrera 8 Cliff Street Beacon NY 12508	CB	CMS

5954-27-790938	20 Commerce Street	Paul B. and John L. Supple PO Box 510 Beacon NY 12508	CB	CMS
5954-27-793942	5 Cliff Street	Paul B. and John L. Supple PO Box 510 Beacon NY 12508	CB	CMS
5954-27-798947	181-185 Main Street	Burrow 181 Main LLC 84 Bedford Street New York NY 10014	CB	CMS
5954-27-793946	179 Main Street	Coldfire Holdings LLC 219 Cedar Ln Ossining NY 10562	CB	CMS
5954-27-791947	177 Main Street	Frog Leap Inc 177 Main Street Beacon NY 12508	CB	CMS
5954-27-789948	175 Main Street	Berisha Brothers Inc 4 Forest View Dr Hopewell Junction NY 12533	CB	CMS
5954-27-786950	169-173 Main Street	Berisha Brothers Inc 4 Forest View Dr Hopewell Junction NY 12533	CB	CMS
5954-27-783953	167 Main Street	Movil Development Corp 284 Main Street Beacon NY 12508	CB	CMS
5954-27-782958	163-165 Main Street	Chase Property Mgmt LLC 110 Anderson Street Beacon NY 12508	CB	CMS
5954-27-778961	157-161 Main Street	Barbara and Brenda Joyce Sims 5 Kitteridge Place Beacon NY 12508	CB	CMS

5954-27-774961	153-155 Main Street	Movil Development Corp 284 Main Street Beacon NY 12508	CB	CMS
5954-27-776952	14 Commerce Street	Gerardo J Cervone 14 Commerce Street Beacon NY 12508	CB	CMS
5954-27-771961	Main Street	151 Main St LLC PO Box 910 Beacon NY 12508	CB	CMS
5954-27-768956	149 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-763957	145 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-758957	139 Main Street	Star of Bethlehem Baptist Church 139-141 Main Street Beacon NY 12508	CB	CMS
5954-27-757950	6 Commerce Street	Hudson Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-27-753962	131-137 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-26-749961	129 Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS
5954-26-749955	Main Street	Lindley Todd LLC 4 Cross Street Beacon NY 12508	CB	CMS

6054-29-026773	423-425 Main Street	City of Beacon 1 Municipal Plaza Beacon NY 12508	CB	CMS
6054-29-035764	427 Main Street	Beacon Court Associates Inc. 427 Main Street Beacon NY 12508	CB	CMS
6054-29-041761	433 Main Street	Verizon New York Inc. PO Box 2749 Addison TX 75001	CB	CMS
6054-29-045758	443 Main Street	Verizon New York Inc. PO Box 2749 Addison TX 75001	CB	CMS
6054-29-055758	445 Main Street	Beacon Main Street Theater LLC 484 Main Street Beacon NY 12508	CB	CMS
6054-29-059752	451 Main Street	Jon Car Inc. 451 Main Street Beacon NY 12508	CB	CMS
6054-27-061750	453 Main Street	Stuart and Donna Wilensky 14 Longview Ln Middletown NY 10941	CB	CMS
6054-37-063747	455-457 Main Street	Joseph and Nancy Condon 20 Grove Street Beacon NY 12508	CB	CMS
6054-37-062739	25 Van Nydeck Ave	City of Beacon 1 Municipal Plaza Beacon NY 12508	CB	CMS
6054-37-073725	5 Tioronda Ave	John J Goodall Jr Mary Goodal 5 Tioronda Avenue Beacon NY 12508	CB	CMS

6054-37-068743	463 Main Street	Paul Quealey Anthony Fox 15 Saddlerock Dr Poughkeepsie NY 12603	CB	CMS
6054-37-071741	465 Main Street	465 Beacon Associates LLC 465 Main Street Beacon NY 12508	CB	CMS
6054-37-075738	469 Main Street	David Rich Paulette Myers-Rich 138 Grand Street New York NY 10013	CB	CMS
6054-37-077735	473 Main Street	Thomas L. Watkins Jr Sherry A Watkins 473 Main Street Beacon NY 12508	CB	CMS
6054-37-076730	475 Main Street	475 Main Street Beacon LLC 101 Castletown St Pleasantville NY 10570	CB	CMS
6054-37-084730	477 Main Street	Howland Center 477 Main Street Beacon NY 12508	CB	CMS
6054-37-091722	483 Main Street	Spanish Pentecostal Church PO Box 491 Beacon NY 12508	CB	CMS
6054-37-113729	493 Main Street	Verdi Boy Realty Group LLC PO Box 203 Hopewell Junction NY 12533	CB	CMS
6054-29-030795	390 Main Street	Beacon United LLC 284 Main Street Beacon NY 12508	CB	CMS

6054-29-034792	396 Main Street	Un-Locked LLC 35 Rombout Ave Beacon NY 12508	CB	CMS
6054-29-036791	398 Main Street	Benjamin Roosa 398 Main Street Beacon NY 12508	CB	CMS
6054-29-039788	Main Street	JP Morgan Chase Bank Natl Assn PO Box 810490 Dallas TX 75381	CB	CMS
6054-29-044784	404 Main Street	JP Morgan Chase Bank Natl Assn PO Box 810490 Dallas TX 75381	CB	CMS
6054-29-048780	412 Main Street	Hardy Homes LLC 5 Wodenethe Dr S Beacon NY 12508	CB	CMS
p/o 6054-29-056780 (See Fig. 1 - portion fronting on Main Street)	Main Street	McDermott Properties 43 Jelliff Mill Rd New Canaan CT 06840	CB	CMS
6054-29-056774	418 Main Street	EB 1 LLC 418 Main Street Beacon NY 12508	CB	CMS
p/o 6054-29-062771 (See Fig. 1 - portion fronting on Main Street)	424-428 Main Street	Beacon Main Real Estate Group 8 Belford Ln Beacon NY 12508	CB	CMS
p/o 6054-29-068768 (See Fig. 1)	432 Main Street	Neil E Vaughn 432 Main Street Beacon NY 12508	CB	CMS
6054-29-069762	436 Main Street	436 LLC 32 Cedar Street Dobbs Ferry NY 10522	CB	CMS

6054-29-074760	440 Main Street	Daniel Frasco 440 Main Street PO Box 936 Beacon NY 12508	CB	CMS
6054-29-075757	444 Main Street	Amarcord Inc 162 Main Street Cold Spring NY 10516	CB	CMS
6054-29-078756	446 Main Street	Qualamar Corporation PO Box 4292 New Windsor NY 12553	CB	CMS
p/o 6054-29-086757 (See Fig. 1 - portion fronting on Main Street)	Main Street	Qualamar Corporation PO Box 4292 New Windsor NY 12553	CB	CMS
6054-37-084750	456 Main Street	456 Main LLC 450 Alton Rd Miami Beach FL 331390	CB	CMS
6054-37-085749	458 Main Street	7215-18 <sup>th</sup> Avenue Realty Corp PO Box 417 Shrub Oak NY 10588	CB	CMS
6054-37-087747	460 Main Street	7215-18 <sup>th</sup> Avenue Realty Corp PO Box 417 Shrub Oak NY 10588	CB	CMS
6054-37-089746	462 Main Street	7215-18 <sup>th</sup> Avenue Realty Corp PO Box 417 Shrub Oak NY 10588	CB	CMS
6054-37-090745	464 Main Street	Melissa Badger 91 E 3 <sup>rd</sup> Street New York NY 10003	CB	CMS
6054-37-092744	466 Main Street	Gritster LLC 466 Main Street Beacon NY 12508	CB	CMS

6054-37-094741	468-472 Main Street	468-472 Main Street LLC 468-472 Main Street Beacon NY 12508	CB	CMS
6054-37-096740	472 Main Street	468-472 Main Street LLC 468-472 Main Street Beacon NY 12508	CB	CMS
6054-37-097737	474-476 Main Street	474-476 Main Street LLC 6 Slocum Rd Beacon NY 12508	CB	CMS
6054-37-100734	478-482 Main Street	Northview Restoration Corp 478 Main Street Beacon NY 12508	CB	CMS
6054-37-103737	484-488 Main Street	484 Main Street Realty 19 Garden Rd Harrison NY 10580	CB	CMS
6054-37-106741	490 Main Street	Matteawan On Main Inc 492 Main Street Beacon NY 12508	CB	CMS
6054-37-109744	498 Main Street	Rodney Weber 25 E Main Street Beacon NY 12508	CB	CMS
6054-37-117750	504 Main Street	500-504 Main Street LLC 6 Slocum Rd Beacon NY 12508	CB	CMS
6054-29-121755	506-512 Main Street	Chestnut Management Inc PO Box 9136 Bardonia NY 10954	CB	CMS
6054-29-124758	516 Main Street	518 Main Street LLC 215 W 83 <sup>rd</sup> Street New York NY 100240	CB	CMS



6054-30-130765	520 Main Street	Red Cardinal Holdings LLC 451 Main Street Beacon NY 12508	CB	CMS
6054-30-127768	5 North Street	Bankers Trust Co of CA, Trustee 252 Seventh Ave New York NY 10001	CB	CMS
6054-29-124770	9 North Street	Ralph Marinaccio III 816 Route 52 Fishkill NY 125254	CB	CMS
6054-30-131773	528-534 Main Street	534 Main Street LLC 534 Main Street Beacon NY 12508	CB	CMS
6054-30-132779	Main Street	536 Main Street LLC 206 Milton Tpke Milton NY 12547	CB	CMS
p/o 6054-30-129788 (See Fig. 1 - portion fronting on Main Street)	544 Main Street	544 Main Street LLC 215 W 83 <sup>rd</sup> Street New York NY 10024	CB	CMS
6054-30-134791	Main Street	City of Beacon 1 Municipal Plaza Beacon NY 12508	CB	CMS
6054-30-136795	Main Street	City of Beacon 1 Municipal Plaza Beacon NY 12508	CB	CMS

**Section 3.** The zoning of the parcels listed below is hereby changed from the Existing Zoning District to the New Zoning District as shown in the table and as shown in Figure 2 annexed hereto:

<b>Tax Parcel Number</b>	<b>Subject Property Address</b>	<b>Owner's Name and Address</b>	<b>Existing Zoning District</b>	<b>New Zoning District</b>
6055-04-535128	Front Street Beacon, NY 12508	Beacon Hip Lofts LLC 16 Squadron Blvd. New City, NY 10956	LI	FCD
p/o 6054-37-096715 (See Fig. 2 - along east side of Tioronda Avenue between Wolcott Ave and South Ave)	Main Street Beacon, NY 12508	Metro-North Commuter RR Co. 347 Madison Avenue New York, NY 10017	HI, LI	FCD
5954-16-910293	Tioronda Ave Rear Beacon, NY 12508	Scenic Hudson Land Trust, Inc. 1 Civic Center Plz Poughkeepsie, NY 12601	FCD	WP

**Section 4.** The zoning of the parcels listed below is hereby changed from the Existing Zoning District to the New Zoning District as shown in the table and as shown in Figure 3 annexed hereto:

<b>Tax Parcel Number</b>	<b>Subject Property Address</b>	<b>Owner's Name and Address</b>	<b>Existing Zoning District</b>	<b>New Zoning District</b>
p/o 6054-37-096715 (See Fig. 3 - from Churchill Street to Wolcott Ave)	Main Street Beacon, NY 12508	Metro-North Commuter RR Co. 347 Madison Avenue New York, NY 10017	HI	GB
6054-37-037625	23-28 Creek Drive Beacon, NY 12508	City of Beacon 1 Municipal Plz. Beacon, NY 12508	LI	GB
p/o 6054-37-077707	12 Tioronda Avenue Beacon, NY 12508	Jude Builders Inc. P.O. Box 69 Beacon, NY 12508	HI	GB

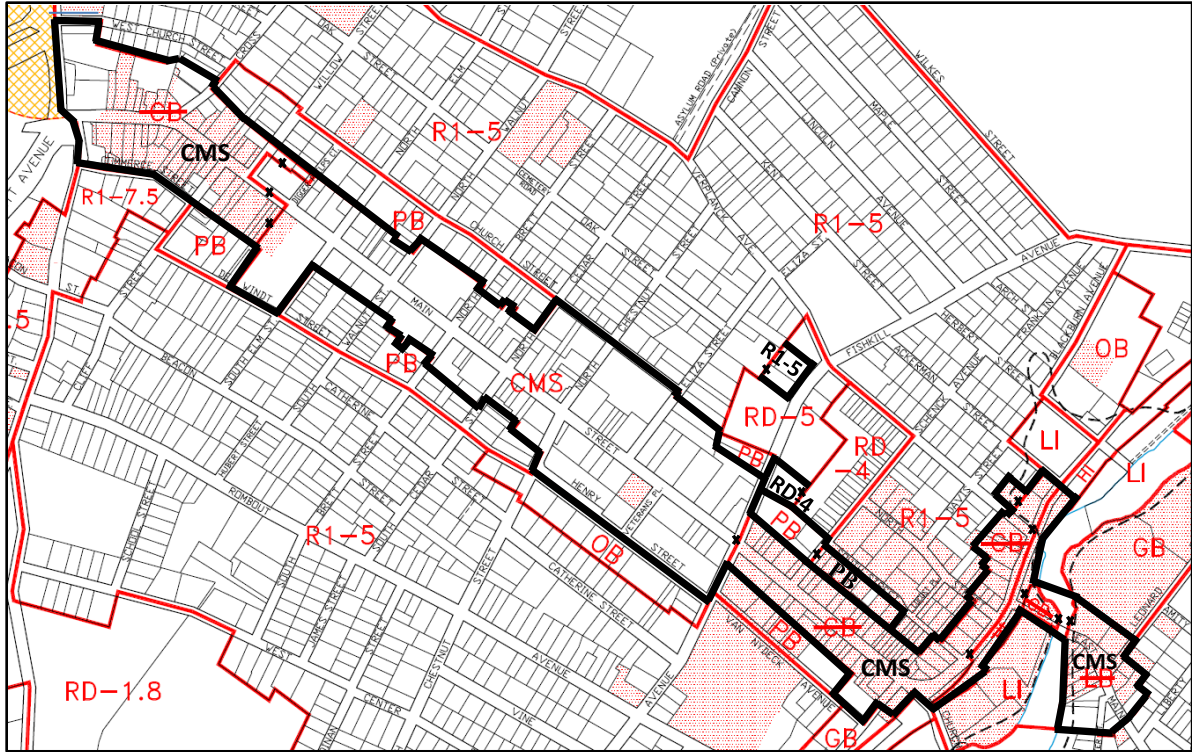
**Section 5. Severability**

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this

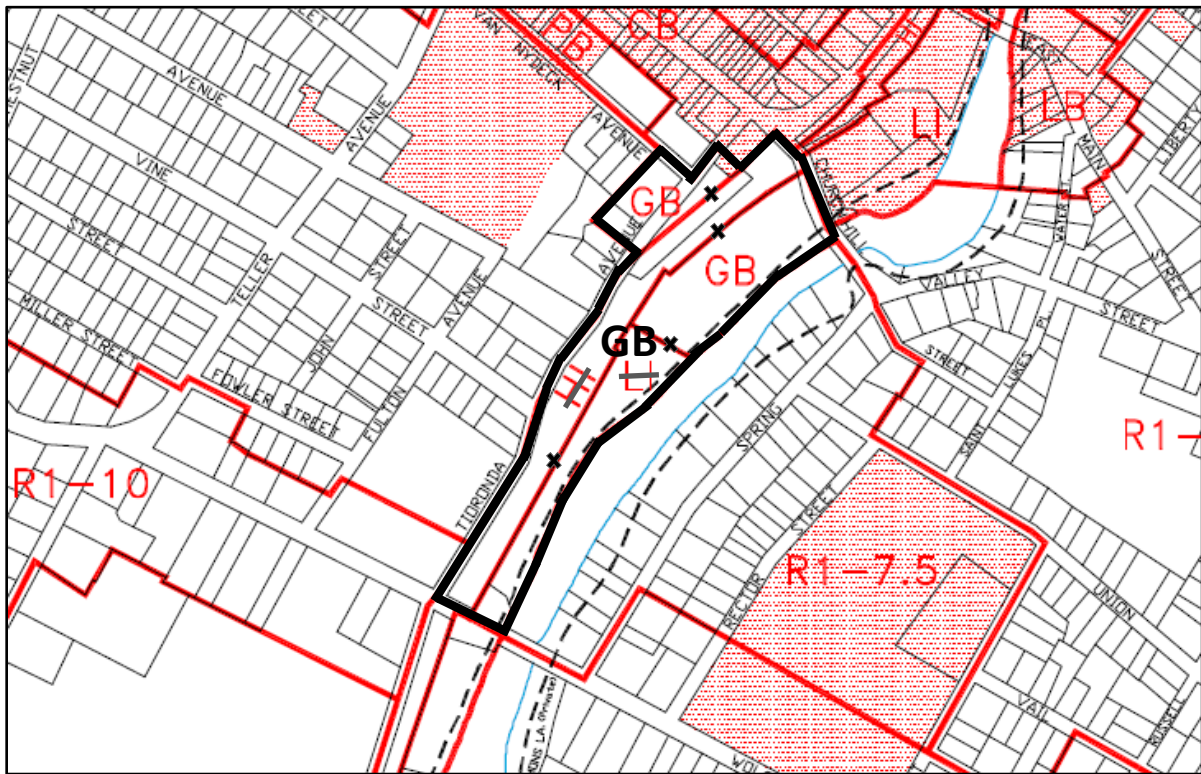
Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local Law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**Section 6.** This local law shall become effective immediately upon filing with the Office of the Secretary of State.

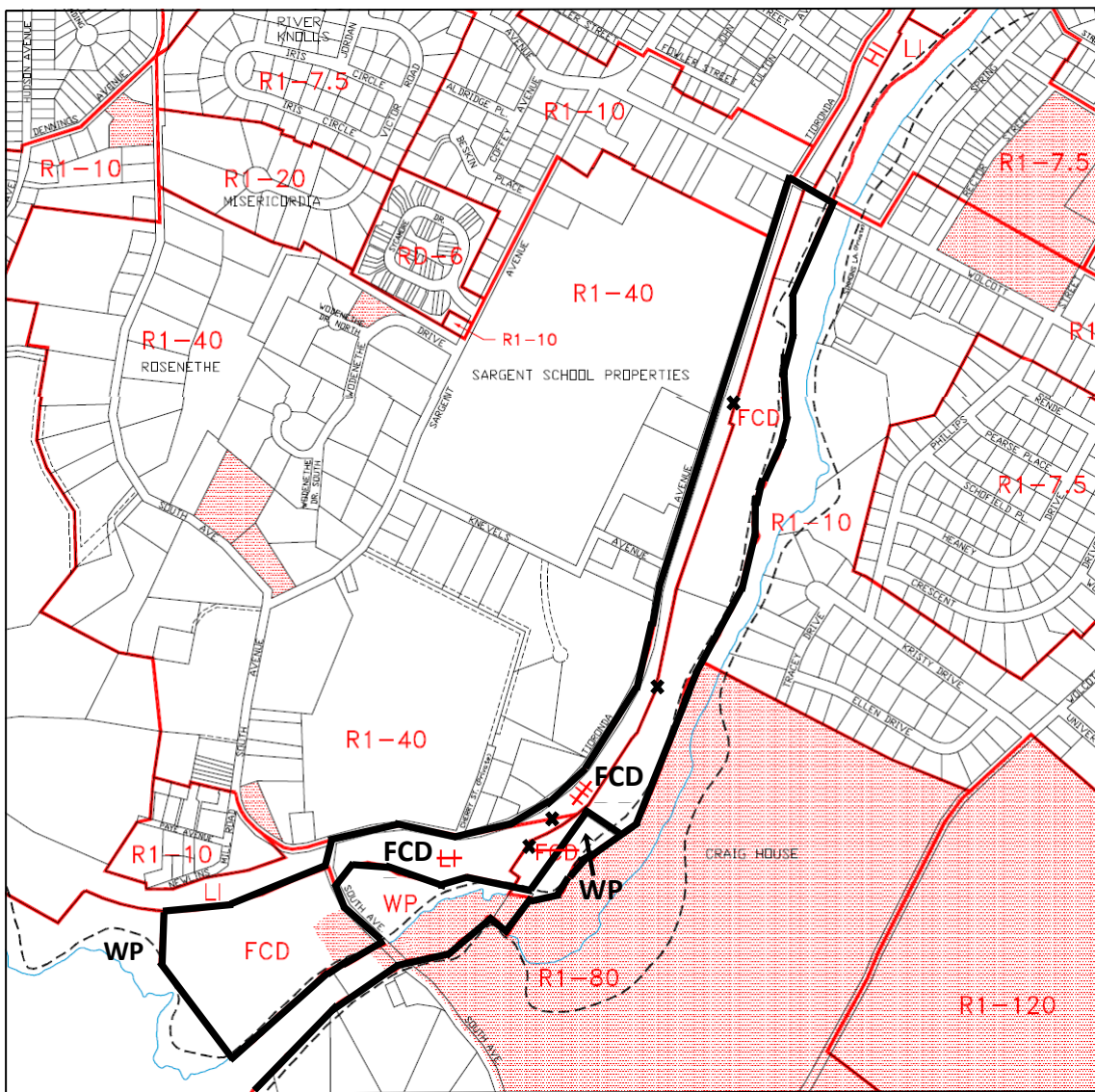
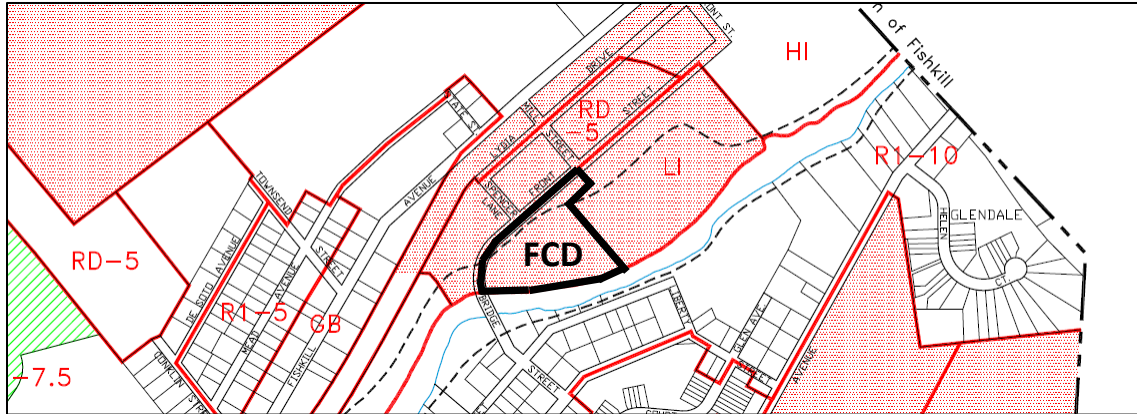
Attachments: Figures 1, 2 and 3.



**Figure 1: Central Main Street Area Proposed Map Changes**



**Figure 2: General Business Proposed Map Changes**



**Figure 3: Fishkill Creek Development and Waterfront Park Proposed Map Changes**

**AMENDMENTS TO THE CITY OF BEACON COMPREHENSIVE PLAN UPDATE INVOLVING CHANGES TO THE CENTRAL MAIN STREET (CMS), CENTRAL BUSINESS (CB), OFF-STREET PARKING (PB), R1-5, RD-4, LOCAL BUSINESS (LB), FISHKILL CREEK DEVELOPMENT (FCD), GENERAL BUSINESS (GB), LIGHT INDUSTRIAL (LI), AND WATERFRONT PARK (WP) DISTRICTS.**

The Proposed Action involves individual parcel adjustments to the recommendations in the Comprehensive Plan Update, Sections 11 and 12, as adopted April 3, 2017. The Beacon City Council is proposing to adopt amendments to the Zoning Map and text for the purpose of implementing the general recommendations in the Comprehensive Plan Update. During discussions regarding certain parcels, the City Council agreed on adjustments to the overall recommended changes in the Comprehensive Plan Update, most specifically represented in Figure 11-1, Future Land Use Map, Table 12-1, Proposed Zoning Changes, and Figure 12-1, Proposed Zoning Changes. The particular parcels and reasoning are described below.

A portion of the Metro-North Commuter Railroad right-of-way along Tioronda Avenue, tax parcel number 6054-37-096715, with the owner's address at 347 Madison Avenue, New York, NY 10017 is proposed to be changed from LI to FCD. The Comprehensive Plan Update recommended other sections of the Metro-North right-of-way just to the north be merged into the FCD district. This additional section of the track right-of-way will link two currently zoned FCD parcels to make a continuous FCD district. Because of the existing tracks and steep slopes on the parcel, the rezoning will not significantly affect any development potential.

A 1.3-acre parcel along the Fishkill Creek owned by the Scenic Hudson Land Trust, Inc. at 1 Civic Center Plaza, Poughkeepsie, NY 12601, tax parcel number 5954-16-910293, is proposed to be changed from FCD to WP. The parcel is contiguous with other properties zoned WP and is very near another Scenic Hudson parcel that is part of Madam Brett Park. The City Council agreed to extend the WP district to include this parcel because of its sensitive nature along the Fishkill Creek and proximity to the other Scenic Hudson-owned park parcels.

A 2.582-acre parcel along the Fishkill Creek owned by the City of Beacon at 1 Municipal Plaza, Beacon, NY 12508, tax parcel number 6054-37-037625, is proposed to be changed from LI to GB. The Comprehensive Plan Update Table 12-1 recommended this parcel be rezoned to FCD, but the City Council issued a Request for Proposals for this property and subsequently entered into an agreement with a potential buyer. The property is at the end of a dead-end street with the adjacent parcel along the same street to the north zoned GB. The City Council agreed that the GB district zoning would be less of a change from the LI district and more consistent with the GB district to the north.

An 8.7-acre parcel at 11-89 Mason Circle owned by Beacon Hip lofts, LLC. with a tax parcel number 6055-04-535128 is proposed to remain in the LI district. The Comprehensive Plan Update Table 12-1 and Figure 12-1 recommended this parcel be rezoned to FCD, but the owner subsequently proposed an amendment to the Special Permit approval that would include a new building and other site plan changes. Since an active application has been before the Planning Board for several months and the property will then be built-out substantially consistent with the LI district regulations, the City Council is proposing to have the parcel remain in the current LI district.

The Comprehensive Plan Update Table 12-1 and Figure 12-1 recommended that the existing CB districts at the upper and lower ends of Main Street be merged into the CMS district, which would provide all of Main Street with the more specific architectural and design standards in the CMS district. The City Council is proposing to extend the east end expansion to the Fountain Square area, which is currently zoned LB. The CMS designation includes detailed architectural graphics, streetscape illustrations, and site design standards to better protect the historic character of this area. This would include the following parcels:

6054-30-168772	8 East Main Street	10 Boulevard LLC. 24 Woodbine Avenue, Northport, NY 11768
6054-38-182748	20 East Main Street	Kurt L. and Donald P. McMillan 168 Chelsea Road, Wappingers Falls, NY 12590
6054-38-186736	5 Leonard Street	Brian D. Haight 5 Leonard Street, Beacon, NY 12508
6054-38-183732	28 East Main Street	Rafiq Ahmed 28 East Main Street, Beacon, NY 12508
6054-38-188729	36 East Main Street	Larry Way 39 Van Buren Street, Beacon, NY 12508
6054-38-190723	44 East Main Street	Echo Properties I LLC. 1777 Route 6, Carmel, NY 10512
6054-38-181714	49 East Main Street	Sophia Stuart 3 Water Street, Beacon, NY 12508
6054-38-180717	47 East Main Street	47 East Main Street LLC. 47 Main Street, Beacon, NY 12508
6054-38-163747	15 East Main Street	Sharon Bronte 180 W. 58 <sup>th</sup> Street, New York, NY 10019
6054-38-166745	17 East Main Street	Gwenno M. James 20 S. Chestnut Street, Beacon, NY 12508
6054-38-167740	19 East Main Street	Charatambos M. Peratikos P.O. Box 16, Beacon, NY 12508
6054-38-167735	25 East Main Street	Weber Projects II LLC. 25 East Main Street, Beacon, NY 12508
6054-38-169731	27-31 East Main Street	Accord Realty & Development, Inc. P.O. Box 269, Somers, NY 10589
6054-38-170728	33 East Main Street	VBK Properties LLC. 10 North Gate Road, Carmel, NY 10512
6054-38-174726	East Main Street	Pok Beacon LLC. 3 Water Street, Beacon, NY 12508
6054-38-170722	3 Water Street	Pok Beacon LLC. 3 Water Street, Beacon, NY 12508
6054-38-167716	5 Water Street	Pok Beacon LLC. 3 Water Street, Beacon, NY 12508

The Comprehensive Plan Update recommended the extension of the CMS district north on Fishkill Avenue to Verplanck Avenue. After careful consideration of the primarily residential uses along this block and the historic character of several of the buildings, the City Council is not proposing to permit commercial zoning on this block. This would prevent commercial expansion into these parcels and protect the primarily residential buildings along this block. Instead, the Council agreed to two more modest changes that would have far fewer impacts on the neighborhood.

Two single-family houses with historic qualities currently in the RD-5 district will be merged with the adjacent R1-5 district:

6054-29-041858	183 Fishkill Avenue	Lucy M. Cullinan 183 Fishkill Avenue, Beacon, NY 12508
6054-29-047864	189 Fishkill Avenue	Emily De Cordova 189 Fishkill Avenue, Beacon, NY 12508

One parcel with a commercial use in the RD-5 district is proposed to be included in the adjacent RD-4 district to encourage redevelopment into a more consistent use with the rest of the block:

6054-29-042814	158 Fishkill Avenue	The Rocky Harbor LLC. 20 Dallis Place, Beacon, NY 12508
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A row of parcels on the south side of South Street currently in the R1-5 district is proposed to be rezoned to PB. Several of these properties are the rear portions of parcels that front on Main Street. Two buildings facing South Street in this area have commercial uses. A PB district designation would give these parcels more flexibility for additional uses and act as a transitional area between Main Street and the R1-5 district. Uses in the R1-5 would still be permitted in the PB. The following parcels are proposed to be in the PB:

6054-29-056780	Main Street (rear)	McDermott properties 43 Jelliff Mill Road, New Canaan, CT 06840
6054-29-063780	48 South Street	John W. H. Dacey and Holy R. Sumner 48 South Street, Beacon, NY 12508
6054-29-062771	424-428 Main St. (rear)	Beacon Main Real Estate Group 8 Bellford Lane, Beacon, NY 12508
6054-29-068768	432 Main St. (rear)	Neil E. Vaughn 432 Main Street, Beacon, NY 12508
6054-29-075770	34 South Street	Neil E. Vaughn and Erika M. Foy 432 Main Street, Beacon, NY 12508
6054-29-079768	32 South Street	Eric A. Brown and Danielle F. Brown 32 South Street, Beacon, NY 12508
6054-29-082764	28 South Street	Norah Hart 305 Broadway, New York, NY 10007
6054-29-086757	Main Street (rear)	Qualamar Corp. P.O. Box 4292, New Windsor, NY 12553



These proposed changes are consistent with the overall intent and general recommendations in the 2017 Comprehensive Plan Update, but involve the City Council making more specific adjustments to individual streets and parcels. The Comprehensive Plan Update primarily focused on the waterfront area with less parcel-by-parcel attention concentrated on the area covered by these amendments. In many cases, such as the Fishkill Avenue block, the proposed zoning will result in fewer potential impacts. In some areas, such as the extension of the CMS into the Fountain Square area, it may allow additional development potential, but the existing historic character of the area will be better protected by the architectural, streetscape, and design standards not present in the current LB district. These modifications to the Comprehensive Plan Update are modest in relation to the larger City context, reflect more recent information, or were the result of a more careful look at individual parcels by the City Council.

The Proposed Action is an exercise of the police powers of the City to protect, health, safety, and general welfare of its residents and property owners. These rezonings do not involve site-specific construction or development activities. Therefore, any subsequent site development actions would be subject to more complete analysis in accordance with the requirements of the State Environmental Quality Review Act.

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Comprehensive Plan amendments and local laws to amend Zoning Map and Chapter 223 of the Code of the City of Beacon.		
Project Location (describe, and attach a general location map): The impacted districts include the following Districts FCD, CB, GB, CMS, LB, HI, RD-5, R1-5, and LI.		
Brief Description of Proposed Action (include purpose or need): Amendments to the Comprehensive Plan and three Local Laws are proposed. One Local Law amends the Zoning Map to (1) rezone properties along the Main Street Corridor to unify the CB and CMS Districts on Main Street under one set of zoning regulations (CMS), (2) rezone parcels along Tioronda Avenue from Industrial to GB and (3) rezone industrial parcels along the Metro-North corridor to FCD, including the vacant parcel at Groveville Mills. The second local law proposes zoning text amendments to modify the CMS District regulations which will be extended to the east and west areas of Main Street through the zoning map amendments. The third proposed local law eliminates special permit approval by the City Council for development projects in the FCD District among other text changes. Each Fishkill Creek development project, under the proposed local law, will require concept plan approval by the City Council and site plan approval by the Planning Board. An amendment to the City of Beacon Comprehensive Plan is also proposed. The amendment involves individual parcel zoning adjustments to the recommendations in Sections 11 and 12 of the Comprehensive Plan Update adopted 4/3/17. These proposed changes in the local laws are consistent with the overall intent and general recommendations in the 2017 Comprehensive Plan Update, but require specific adjustments to individual streets and parcel recommendations.		
Name of Applicant/Sponsor: City of Beacon City Council		Telephone: (845)838-5011 E-Mail: Mayor@cityofbeacon.org
Address: 1 Municipal Plaza		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Anthony Ruggiero, City Administrator		Telephone: (845)838-5009 E-Mail: Aruggiero@cityofbeacon.org
Address: 1 Municipal Plaza		
City/PO: Beacon	State: NY	Zip Code: 12508
Property Owner (if not same as sponsor): N/A		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Legislative adoption of proposed local law and adoption of Comprehensive Plan Amendment.	
b. City, Town or Village <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Planning Board or Commission		
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. <i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? YesNo

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? YesNo

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? YesNo

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) YesNo

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? YesNo

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

The impacted zoning districts include the CB District, the CMS District, GB District, the HI District, the FCD, the LI District, the LB District, the RD-5 District, and the R1-5 District.

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,  
i. What is the proposed new zoning for the site? The proposed action consists of various zoning changes throughout the City. See attached map.

**C.4. Existing community services.**

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?  
This area is served by the Beacon Police Department.

c. Which fire protection and emergency medical services serve the project site?  
This area is served by the City of Beacon Fire Department which is part of the Battalion 7 of the Dutchess County Emergency Response Unit.

d. What parks serve the project site?  
The area is served by Scenic Hudson's Long Dock Park, Memorial Park and Wee Play Tots Park.

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No

If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,  
 i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,  
 i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:  
 i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:  
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Yes  No  
 Yes  No  
 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)
- Describe types of new point sources. \_\_\_\_\_
- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_
  - If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_

- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) \_\_\_\_\_
- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) \_\_\_\_\_
- Stationary sources during operations (e.g., process emissions, large boilers, electric generation) \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking?  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

---

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.  
 i. During Construction:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_  
 ii. During Operations:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_



m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration: \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____          _____          _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If Yes:            <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____            _____</p>	
<p>    <i>ii.</i> Source(s) of description or evaluation: _____            <i>iii.</i> Extent of community/habitat:              • Currently: _____ acres              • Following completion of project as proposed: _____ acres              • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If yes, give a brief description of how the proposed action may affect that use: _____          _____</p>	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>            <i>i.</i> If Yes: acreage(s) on project site? _____            <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If Yes:            <i>i.</i> Nature of the natural landmark:   <input type="checkbox"/> Biological Community   <input type="checkbox"/> Geological Feature            <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____            _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If Yes:            <i>i.</i> CEA name: _____            <i>ii.</i> Basis for designation: _____            <i>iii.</i> Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6 NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.


If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name City of Beacon City Council Date 11/2/17

*Keane + Beane PC by*

Signature  Title City Attorney

**CITY OF BEACON**  
**1 Municipal Plaza**  
**Beacon, NY 12508**  
**(845) 838-5011**

**Narrative of Purpose for Comprehensive Plan Amendment  
and Legislative Enactment**

Comprehensive Plan Amendment and “Local Law to Amend the Zoning Map and Chapter 223 of the Code of the City of Beacon Concerning the City’s Commercial Districts”  
Pursuant to Part 1 of the Full Environmental Assessment Form

The proposed amendments to the Comprehensive Plan involve individual parcel adjustments to the recommendations in the Comprehensive Plan Update, Sections 11 and 12, as adopted April 3, 2017. The Beacon City Council is proposing to adopt amendments to the Zoning Map and text for the purpose of implementing the general recommendations in the Comprehensive Plan Update. During discussions regarding certain parcels, the City Council agreed on adjustments to the overall recommended changes in the Comprehensive Plan Update, most specifically represented in Figure 11-1, Future Land Use Map, Table 12-1, Proposed Zoning Changes, and Figure 12-1, Proposed Zoning Changes.

A portion of the Metro-North Commuter Railroad right-of-way along Tioronda Avenue, tax parcel number 6054-37-096715, with the owner’s address at 347 Madison Avenue, New York, NY 10017 is proposed to be changed from LI to FCD. The Comprehensive Plan Update recommended other sections of the Metro-North right-of-way just to the north be merged into the FCD district. This additional section of the track right-of-way will link two currently zoned FCD parcels to make a continuous FCD district. Because of the existing tracks and steep slopes on the parcel, the rezoning will not significantly affect any development potential.

A 1.3-acre parcel along the Fishkill Creek owned by the Scenic Hudson Land Trust, Inc. at 1 Civic Center Plaza, Poughkeepsie, NY 12601, tax parcel number 5954-16-910293, is proposed to be changed from FCD to WP. The parcel is contiguous with other properties zoned WP and is very near another Scenic Hudson parcel that is part of Madam Brett Park. The City Council proposes to extend the WP district to include this parcel because of its sensitive nature along the Fishkill Creek and proximity to the other Scenic Hudson-owned park parcels.

A 2.582-acre parcel along the Fishkill Creek owned by the City of Beacon at 1 Municipal Plaza, Beacon, NY 12508, tax parcel number 6054-37-037625, is proposed to be changed

from LI to GB. The Comprehensive Plan Update Table 12-1 recommended this parcel be rezoned to FCD, but the City Council issued a Request for Proposals for this property and subsequently entered into an agreement with a potential buyer. The property is at the end of a dead-end street with the adjacent parcel along the same street to the north zoned GB. The proposed GB district zoning would be less of a change from the LI district and more consistent with the GB district to the north.

An 8.7-acre parcel at 11-89 Mason Circle owned by Beacon Hip lofts, LLC with a tax parcel number 6055-04-535128 is proposed to remain in the LI district. The Comprehensive Plan Update Table 12-1 and Figure 12-1 recommended this parcel be rezoned to FCD, but the owner subsequently proposed an amendment to the Special Permit approval that would include a new building and other site plan changes. Since an active application has been before the Planning Board for several months and the property will then be built-out substantially consistent with the LI district regulations, the City Council is proposing to have the parcel remain in the current LI district.

The Comprehensive Plan Update Table 12-1 and Figure 12-1 recommended that the existing CB districts at the upper and lower ends of Main Street be merged into the CMS district, which would provide all of Main Street with the more specific architectural and design standards in the CMS district. The City Council is proposing to extend the east end expansion to the Fountain Square area, which is currently zoned LB. The CMS designation includes detailed architectural graphics, streetscape illustrations, and site design standards to better protect the historic character of this area.

The Comprehensive Plan Update recommended the extension of the CMS district north on Fishkill Avenue to Verplanck Avenue. After careful consideration of the primarily residential uses along this block and the historic character of several of the buildings, the City Council is not proposing to permit commercial zoning on this block. This would prevent commercial expansion into these parcels and protect the primarily residential buildings along this block. Instead, these more modest changes would have far fewer impacts on the neighborhood. In addition, two single-family houses with historic qualities currently in the RD-5 district will be rezoned to the adjacent R1-5 district, one parcel with a commercial use in the RD-5 district is proposed to be included in the adjacent RD-4 district to encourage redevelopment into a more consistent use with the rest of the block, and a row of parcels on the south side of South Street currently in the R1-5 district is proposed to be rezoned to PB. Several of these properties are the rear portions of parcels that front on Main Street. Two buildings facing South Street in this area have commercial uses. A PB district designation would give



these parcels more flexibility for additional uses and act as a transitional area between Main Street and the R1-5 district. Uses in the R1-5 would still be permitted in the PB.

In addition to the Comprehensive Plan amendment and the modifications to the Zoning Map, text changes are proposed for the CMS District and FCD District regulations. The proposed local law amending the CMS District regulations proposes clarifications and updates to the permitted uses, eliminates a five-story building as a use permitted by special permit, creates a dual rear yard setback requirement dependent upon the depth of the lot, requires a 15-foot building setback for buildings abutting a residential district that are over 39 feet in height, and updates the applicable design standards, among other changes. The proposed local law amending the FCD District regulations proposes clarifications and updates to the permitted uses, eliminates the requirement for special permit approval for development projects in the FCD, updates the design standards, reduces development potential by requiring a deduction of certain environmentally sensitive areas from the overall lot area used to determine the maximum number of dwelling units permitted per acre, requires a minimum of 25% of the total floor area to be devoted to nonresidential uses, and increases the permitted maximum height, among other changes.

These proposed changes are consistent with the overall intent and general recommendations in the 2017 Comprehensive Plan Update, but involve the City Council making more specific adjustments to individual streets and parcels. The Comprehensive Plan Update primarily focused on the waterfront area with less parcel-by-parcel attention concentrated on the area covered by these amendments. In many cases, such as the Fishkill Avenue block, the proposed zoning will result in fewer potential impacts. In some areas, such as the extension of the CMS into the Fountain Square area, it may allow additional development potential, but the existing historic character of the area will be better protected by the architectural, streetscape, and design standards not present in the current LB district. These modifications to the Comprehensive Plan Update are modest in relation to the larger City context, reflect more recent information, or were the result of a more careful look at individual parcels by the City Council.

The Proposed Action is an exercise of the police powers of the City to protect, health, safety, and general welfare of its residents and property owners. The proposed local laws amending the Zoning Map and the text of the CMS and FCD Districts do not involve site-specific construction or development activities. Therefore, any subsequent site development actions would be subject to more complete analysis in accordance with the requirements of the State Environmental Quality Review Act.

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]

Project :	Zoning Amendments
Date :	November 6, 2017

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b>			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO

YES

*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO

YES

*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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**4. Impact on groundwater**  
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer.  
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)  
*If "Yes", answer questions a - h. If "No", move on to Section 5.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**5. Impact on Flooding**  
 The proposed action may result in development on lands subject to flooding.  
 (See Part 1. E.2)  
*If "Yes", answer questions a - g. If "No", move on to Section 6.*

NO       YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>6. Impacts on Air</b> The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochlorofluorocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b> The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b>			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f, and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b> The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. <span style="float: right;"><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</span> (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>12. Impact on Critical Environmental Areas</b> The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <span style="float: right;"><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</span> <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>



**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1. D.2.j)  
*If "Yes", answer questions a - f. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**  
 The proposed action may cause an increase in the use of any form of energy.  NO  YES  
 (See Part 1. D.2.k)  
*If "Yes", answer questions a - e. If "No", go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

**15. Impact on Noise, Odor, and Light**  
 The proposed action may result in an increase in noise, odors, or outdoor lighting.  NO  YES  
 (See Part 1. D.2.m., n., and o.)  
*If "Yes", answer questions a - f. If "No", go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>16. Impact on Human Health</b> The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

**17. Consistency with Community Plans**

The proposed action is not consistent with adopted land use plans.

(See Part 1. C.1, C.2. and C.3.)

*If "Yes", answer questions a - h. If "No", go to Section 18.*

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**18. Consistency with Community Character**

The proposed project is inconsistent with the existing community character.

(See Part 1. C.2, C.3, D.2, E.3)

*If "Yes", answer questions a - g. If "No", proceed to Part 3.*

NO

YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**PRINT FULL FORM**

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**City Council Request for Review Food Trucks**

**Subject:**

City Council request to review proposed Local Law to permit Food Trucks in the Linkage District

**Background:**

**ATTACHMENTS:**

Description	Type
Food Trucks in Linkage District	Resolution

**DRAFT LOCAL LAW NO. \_\_\_\_ OF 2017**

**CITY COUNCIL  
CITY OF BEACON**

**PROPOSED LOCAL LAW TO AMEND  
CHAPTER 223 OF THE CODE OF THE  
CITY OF BEACON**

A LOCAL LAW to amend Chapter 223 to permit retail sales from a truck or trailer in the Linkage Zoning District by special permit.

BE IT ENACTED by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 223 Section 41.21, Subsection B of the Code of the City of Beacon entitled “Uses by special permit” is hereby amended as follows:

§223-41.21. Regulations.

...

B. Uses by special permit.

(1) The following uses are allowed in existing buildings as permitted uses. For newly constructed buildings, the following uses are allowed by special permit from the Planning Board, upon a finding that the proposed use is consistent with the City of Beacon Comprehensive Plan, will enhance the architectural character of the street, and will contribute to creating a more urban, pedestrian-friendly quality in the L District, and that the conditions and standards in § 223-18B(1)(a) through (d) have been met:

(a) Retail, personal services business or restaurant, coffee house, retail sales from trucks or trailers in accordance with § 223-26.3 or other establishment that serves food, with or without alcoholic beverages, provided that:

[1] The floor area is not greater than 5,000 square feet;

- [2] The use is within 400 feet of the Route 9D-Beekman Street intersection, as identified on the Zoning Map, or located along the north side of West Main Street between Beekman Street and River Street; and
  - [3] The Planning Board finds that there are no substantial detrimental effects on parking, traffic or on the character of surrounding neighborhoods or the community.
- (b) Office and manufacturing uses, including but not limited to microbreweries, microdistilleries, wineries and other food preparation businesses, with or without tasting rooms, that may also sell goods made on the site for consumption off the premises, provided that:
- [1] The total floor area of the building is no greater than 25,000 square feet;
  - [2] The use is on West Main Street or the use is within 400 feet of the Route 9D-Beekman Street intersection as identified on the Zoning Map; and
  - [3] The Planning Board finds that there are no substantial detrimental effects on parking, traffic or on the character of surrounding neighborhoods or the community.
- (c) Artist live/work space in accordance with § 223-24.3.
- (2) In considering the appropriateness of the proposed use, the Planning Board shall consider impacts on shadows, traffic, and parking and may impose traffic and parking mitigation measures, including but not limited to provision of pedestrian walkways and stairways on site. When making a decision on a special permit, the Planning Board shall follow the procedures indicated in § 223-41.21H(2) of this chapter.

**Section 2.** Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

**Section 3.** Numbering for Codification

It is the intention of the City of Beacon and it is hereby enacted that the provisions of this Local Law shall be included in the Code of the City of Beacon; that the sections and subsections of this Local Law may be re-numbered or re-lettered by the Codifier to accomplish such intention; that the Codifier shall make no substantive changes to this Local Law; that the word “Local Law” shall be changed to “Chapter,” “Section” or other appropriate word as required for codification; and that

any such rearranging of the numbering and editing shall not affect the validity of this Local Law or the provisions of the Code affected thereby.

**Section 4. Severability**

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**Section 5. Effective Date**

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

DRAFT

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**City Council Request for Review Temporary Structures**

**Subject:**

City Council request to review proposed Local Law to permit temporary structures for medical services

**Background:**

**ATTACHMENTS:**

Description	Type
Local Law Temporary Structures	Local Law



**DRAFT LOCAL LAW NO. \_\_\_\_ OF 2017**

**CITY COUNCIL  
CITY OF BEACON**

**PROPOSED LOCAL LAW TO AMEND  
CHAPTER 223 OF THE CODE OF THE  
CITY OF BEACON**

A LOCAL LAW to amend Chapter 223, concerning temporary medical service accessory structures.

BE IT ENACTED by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 223, Attachment 1 of the Code of the City of Beacon entitled “§ 223-17C, Schedule of Regulations For Residential Districts” is hereby amended to add the following permitted as an accessory use:

12. A single temporary structure not exceeding 250 square feet in compliance with section 223-17E and located in the rear or side yard and connected to the principal dwelling unit in a manner that is satisfactory to the Building Inspector for a period not exceeding one (1) year, solely to be used by a resident of the dwelling unit, without charge, for medical services to be provided until permanent accessible housing can be arranged, as demonstrated by a medical note and other proof to the satisfaction of the Building Inspector.

**Section 2.** Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223, Attachment 1 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

**Section 3.** Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative

intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**Section 4. Effective Date**

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**176 Main Street - Sign**

**Subject:**

Certificate of Appropriateness – 176 Main Street; sign

**Background:**

**ATTACHMENTS:**

Description	Type
176 Main Street Application	Application
176 Main Street Sign	Backup Material
176 Main Street Sign Location	Backup Material

# ARCHITECTURAL REVIEW BOARD APPLICATION

Date: \_\_\_\_\_

Project Address: 176 Main St. Beacon NY 12508

Project Architect/Engineer: \_\_\_\_\_

Owner/Builder: 7215-18 Ave Realty Corp. / Michele Sarto - VP & Secretary

Contact Phone No.: 917-272-3724

Approval Requested: \_\_\_\_\_ Certificate of Appropriateness      \_\_\_\_\_ New Single Family House

Color/Materials: \_\_\_\_\_

Siding: \_\_\_\_\_

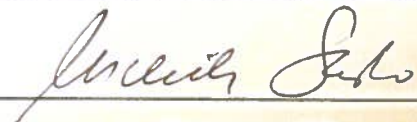
Roofing: \_\_\_\_\_

Windows: Color: \_\_\_\_\_ Type: \_\_\_\_\_

Trim: \_\_\_\_\_

Garage Door: \_\_\_\_\_

Stone/Brick: \_\_\_\_\_

  
\_\_\_\_\_  
Signature of Owner

**FOR OFFICE USE ONLY**

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

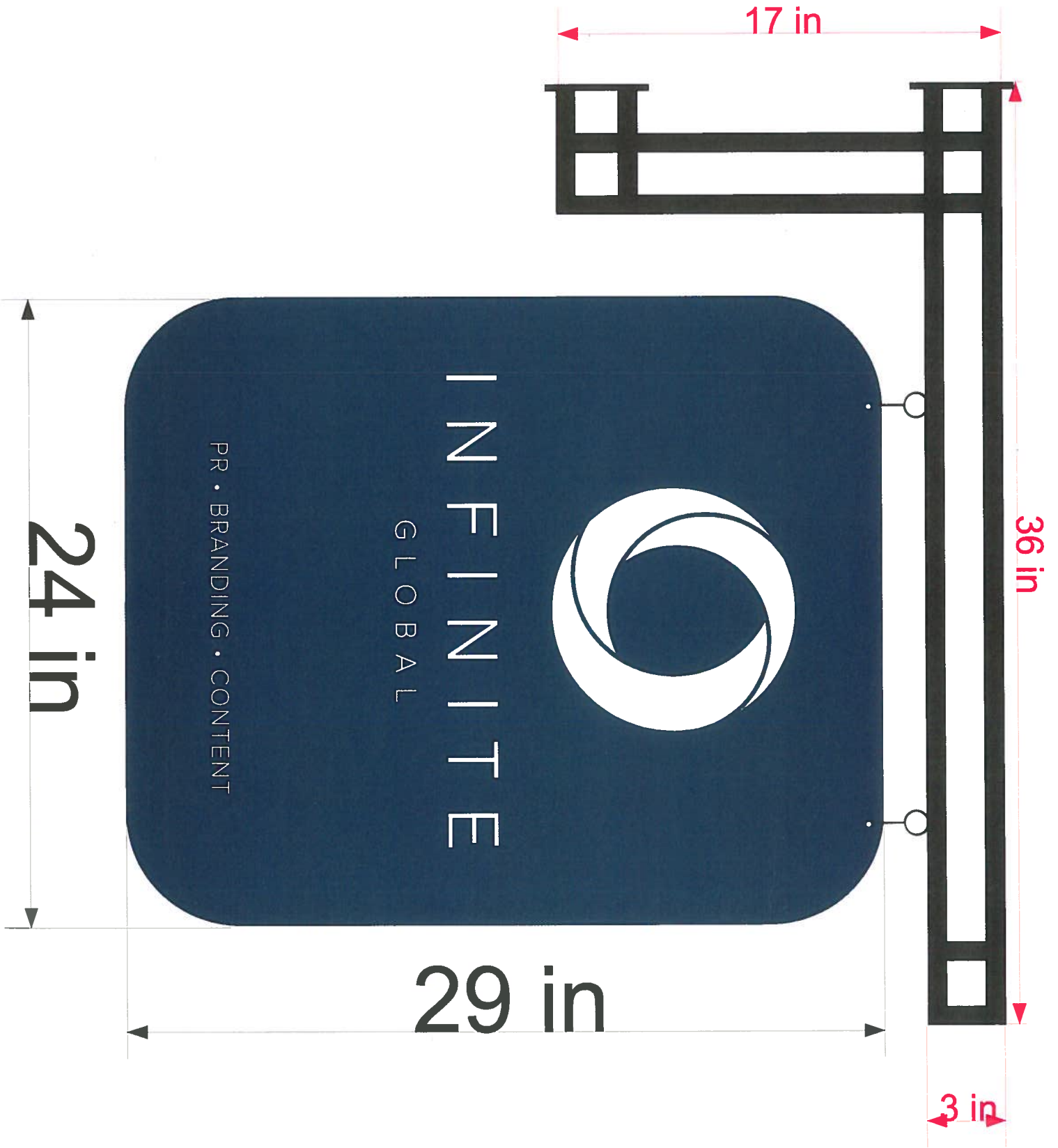
Plan Denied \_\_\_\_\_  
(Date)

Plan Approved \_\_\_\_\_  
(Date)

Subject to the following:

\_\_\_\_\_  
\_\_\_\_\_

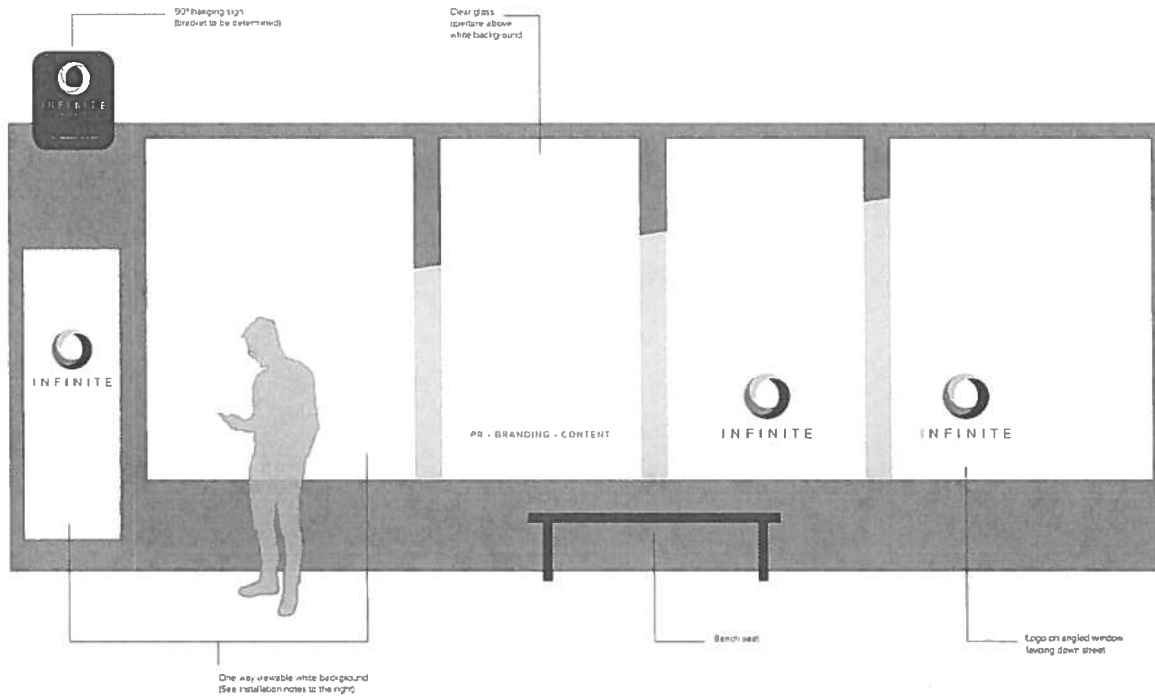
FEE: \$100.00



**NYC : Beacon**

Current vinyl replacement proposal

Streetview



Installation notes:  
LOGOs and supplementary graphics are solid vinyl cuts against a perforated white background.

**OPTIONS FOR WHITE BACKGROUND**

Both options offer one way visibility out whilst protecting privacy from the opposite direction.

**Roller blinds in Ocutus bright white**



This special polycarbonate fabric features a woven structure that allows a view to the outside but doesn't allow a peek in. It's the ideal window blind for rooms that are over-looked by other properties or rooms that are next to busy streets with passing pedestrians and traffic.

EXAMPLE URL:  
<http://www.blinds-2go.co.uk/roller-blinds/19436/ocutus-bright-white-item/?gid=CLE5-YdH9uKCFwVXGwo-0YCBWQ>

Contravision window vinyl  
Contra Vision products are perforated materials which can be printed with colourful signs and decoration and can only be seen from one side of the glass. The printed lines can be applied to windows, doors or internal partitions to add colour, branding, advertising, privacy and solar control.  
EXAMPLE URL:  
<https://www.instagram.com/p/BQ0KwecA243/?taken-by=contravision>

**City of Beacon Planning Board**  
**12/12/2017**

**Title:**

**One East Main Street - Sign**

**Subject:**

Certificate of Appropriateness – One East Main Street sign; “Trax Coffee Roasters”

**Background:**

**ATTACHMENTS:**

Description	Type
One East Main Application	Application
One East Main Sign	Application

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: \_\_\_\_\_

Project Address: 1 East Main St, Retail 1

Project Architect/Engineer: \_\_\_\_\_

Owner/Builder: 1 EAST MAIN ST RETAIL 1 LLC

Contact Phone No.: \_\_\_\_\_

Approval Requested: \_\_\_\_\_ Certificate of Appropriateness      \_\_\_\_\_ New Single Family House

Color/Materials:

Siding: \_\_\_\_\_

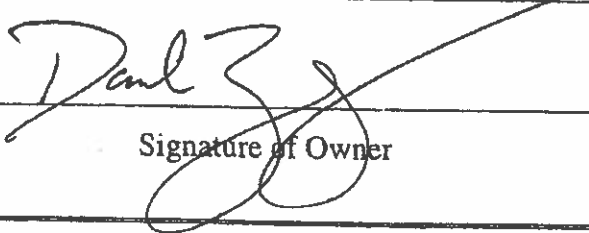
Roofing: \_\_\_\_\_

Sign Material  
Windows: Color: white Type: 1/4" thick Sintra

Trim: Anchored with 3M VHB double sided tape

Garage Door: TRAX 12" x 36" coffee roasters 10" x 84"

Stone/Brick: \_\_\_\_\_

  
Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied \_\_\_\_\_  
(Date)

Plan Approved \_\_\_\_\_  
(Date)

Subject to the following:  
\_\_\_\_\_  
\_\_\_\_\_

FEE: \$100.00



coffee roasters



TRAX

