

*BEACON PLANNING BOARD*  
*One Municipal Plaza - Courtroom*  
*BEACON, NEW YORK 12508*  
*Phone (845) 838-5002 Fax (845) 838-5026*

The Planning Board will meet on **Tuesday, May 9, 2017** in the Municipal Center Courtroom. A work session will take place at 7:00 PM for a training workshop, discussion of agenda items and/or topics of interest to the Planning Board. The regular meeting will begin immediately thereafter, but not later than 7:30 p.m.

- **Regular Meeting**

1. 40 North Street  
Continue public hearing on application for Subdivision Approval (3 residential lots), submitted by Beacon Residential, LLC, 40 North Street
2. 162 Main Street  
Continue public hearing on application to amend existing Site Plan Approval, building addition, submitted by Hudson Beach Glass, 162 Main Street
3. 55 Prospect Street  
Continue public hearing on application for Subdivision Approval, 2 residential lots, submitted by Barbara O'Dell, 55 Prospect Street
4. 16 Church Street  
Public hearing on application for Subdivision Approval (2 lots), submitted by Seven & One Development, LLC, 16 Church Street
5. 22 Edgewater Place  
Public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, "Edgewater" for 7 residential buildings - 307 units, submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place
6. Wolcott Avenue - West End Lofts  
Continue review of application for Site Plan Approval, 3 buildings – 98 units, West End Lofts, submitted by Kearney Realty & Development Group, Wolcott Avenue
7. 475 Main Street  
Continue review of application for Special Use Permit, retail/residential building renovation and addition, submitted by 605 N. Macquesten Pkwy, LLC, 475 Main Street
8. 25 Townsend Street  
Continue review application for Subdivision Approval, 13-lot residential, submitted by AK Property Holding, LLC, 25 Townsend Street
9. 226 Main Street  
Review application for Special Use Permit, retail/residential building, 226 Main Street, submitted by 328 Main Street, LLC
10. 177 Main Street  
Review application for Special Use Permit, retail/residential building, 177 Main Street, submitted by Frog Leap, LLC

- **Miscellaneous Business**

1. Zoning Board of Appeals  
Zoning Board of Appeals – May Agenda
2. City Council Request for Review  
City Council Request to Review Proposed Local Law Amending Chapter 223, Article III, Section 26 Subsection C – Off-Street Parking

- **Architectural Review**

1. 344 Main Street  
344 Main Street – Approval of Building Elevations
2. (79) Anderson Street  
New Single Family House – 79 Anderson Street

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**40 North Street**

**Subject:**

Continue public hearing on application for Subdivision Approval (3 residential lots), submitted by Beacon Residential, LLC, 40 North Street

**Background:**

**ATTACHMENTS:**

Description	Type
40 North Street - Site Plan	Map
40 North Street - Engineer Review	Consultant Comment
40 North Street - Public Comment	Backup Material



**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lanc, P.E., L.S.  
Arthur R. Tully, P.E.

April 3, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: Beacon Residential LLC, Subdivision  
40 North Street  
City of Beacon  
Tax Map No. 6054-29-086785

Dear Mr. Sheers:

As nothing new was submitted since the last planning board meeting, our office has no further comments except those as previously listed in our March 6, 2017 correspondence.

Further comments may be forth coming based upon future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.

  
John Russo, P.E.

Cc: John Clarke, Planner  
Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**162 Main Street**

**Subject:**

Continue public hearing on application to amend existing Site Plan Approval, building addition, submitted by Hudson Beach Glass, 162 Main Street

**Background:**

**ATTACHMENTS:**

Description	Type
162 Main - Cover Letter	Cover Memo/Letter
162 Main - First Floor Plan	Plans
162 Main - Site Plan	Plans
162 Main - Site Details	Plans
162 Main - East Elevation	Plans
162 Main - I & I Report	Backup Material
162 Main - Sidewalk Photo	Backup Material
162 Main - Planner Review	Consultant Comment
162 Main - Engineer Review	Consultant Comment
162 Main - Draft Resolution Site Plan and Certificate of Appropriateness	Resolution
162 Main - Draft Resolution of Preliminary and Final Subdivision Approval	Resolution



**J E F F W I L K I N S O N , R . A .**  
13 Chambers Street, Newburgh, New York 12550  
P.845.565.1835 hudsonvalleyarch@gmail.com

25 April '17

RE: The Hose Company LLC, 162 Main Street Site Plan Application

Mr. Jay Sheers, Chair and the City of Beacon Planning Board  
One Municipal Plaza, Beacon, NY 12508

Mr. Sheers,

Regarding the above application, we have reviewed the written comments by John Russo, P.E. from Lanc & Tully, Engineers as well as John Clarke Planning and Design as well as additional comments from the Planning Board meeting held on April 11<sup>th</sup>. Provided below is a summary of the various review questions.

- 1) We have revised the S-1 Site Plan drawing to note that both existing City trees in the adjacent municipal lot are to remain. If in the event either tree is damage during construction, The Hose Company, LLC will be responsible for replacing that tree with a similar tree. Other revisions include noting the East wall dimension as well as a note relating to modifications at the area of the 4 owner-provided off -street parking spaces as accessed through the municipal lot. The owners have been in contact with both the Mayor and the City Manager and are in the process of working out a straightforward plan to accommodate the re-striping and additional curb cut.
- 2) Additional Revisions on the revised Site Plan include the new location for the Utility pole. With regards to item 3 of General Comments we are attaching photos from our consultant Dan Koehler, P.E. of Hudson Land Design. As per discussion with John Russo, there are existing functioning curb cuts and that there is no need to rip them out to replace them. All existing and newly damaged (as a result of construction) concrete sidewalk will be replaced as previously discussed. (See attached photos). In order to facilitate this we have included standard details on S-2 (Site Details) dated 4-25-17 including typical, sidewalk, curb, tree and storm trench details.
- 3) Based on Plan review comments from the Building Inspector, Tim Dexter, the owners are seeking an area variance for all 28.5 required parking space. The Hose Company, LLC has been placed on the May ZBA agenda and that public hearing is scheduled to take place on May 16<sup>th</sup>.
- 4) We have notified from TEC, Land Surveyors regarding the added revision date to their survey. Copies of this will be submitted at the May Planning Board meeting.
- 5) The noted "added municipal sidewalk" has been removed from Sheet A-4. The S-1 Zoning Schedule has been revised to show the 20 foot required side yard setback from a residential zone.

Attachments:

The Infiltration and Inflow Investigation report with the Exhibit 1 attachment by Hudson Land Design, P.E.

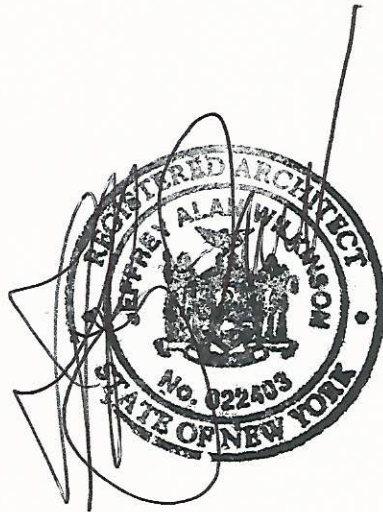
Photos showing both the existing ADA sidewalk ramp as well as the existing garage curb cut.

Sincerely,

Jeff Wilkinson, R.A.

Attachments. Drawings: Revised S-1, S-2, A-1 and A-4 dated April 25<sup>th</sup>, 2017

Cc: m.benzer, j. gilvey, d.Koehler, t.cerchiara





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 13 CHAMBERS STREET  
 NEWBURGH, NY 12550  
 845.565.1835 www.jwra.com  
 hudsonvalleyarch@gmail.com

OWNER:  
 THE HOSE COMPANY, LLC  
 162 MAIN STREET  
 BEACON, NY 12508

PROJECT:  
 STUDIO & OFFICE  
 EXPANSION  
 162 MAIN STREET  
 BEACON, NY 12508

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 A-3 SOUTH ELEVATION  
 A-4 EAST ELEVATION  
 A-5 NORTH ELEVATION  
 A-6 EXTERIOR VIEWS  
 A-7 BUILDING DETAILS

SEAL & SIGNATURE

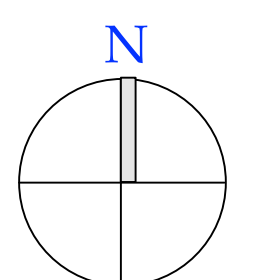
NYS LICENSE NO 022403

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REVISIONS:

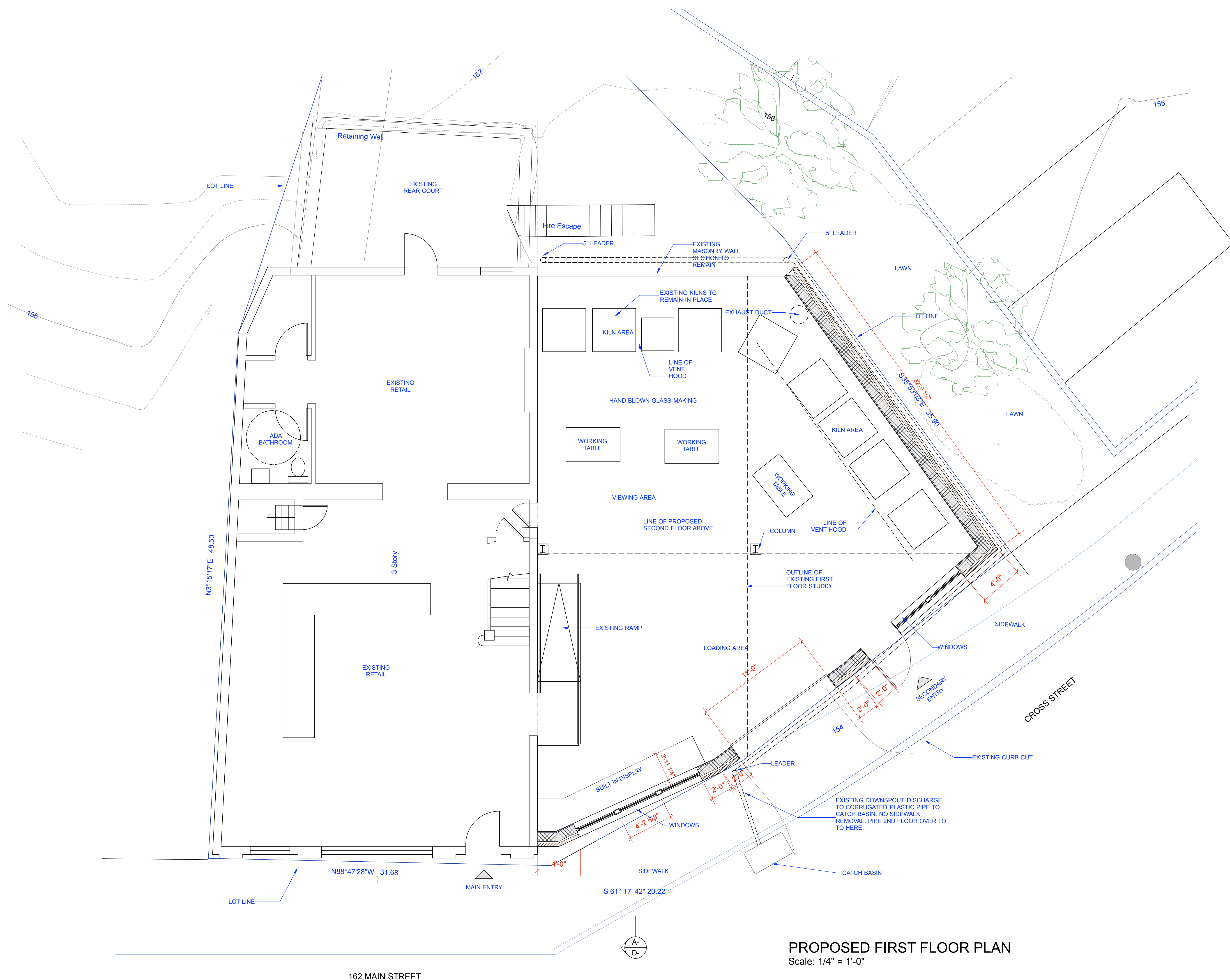
NO.	DESCRIPTION	DATE:
1	EAST WALL DIMENSION	4/25/17

DRAWING TITLE:  
**PROPOSED FIRST FLOOR PLAN**



DATE: 3.28.17  
 PLAN I.D.  
 SCALE: 1/4"=1'-0"  
 DWG No:

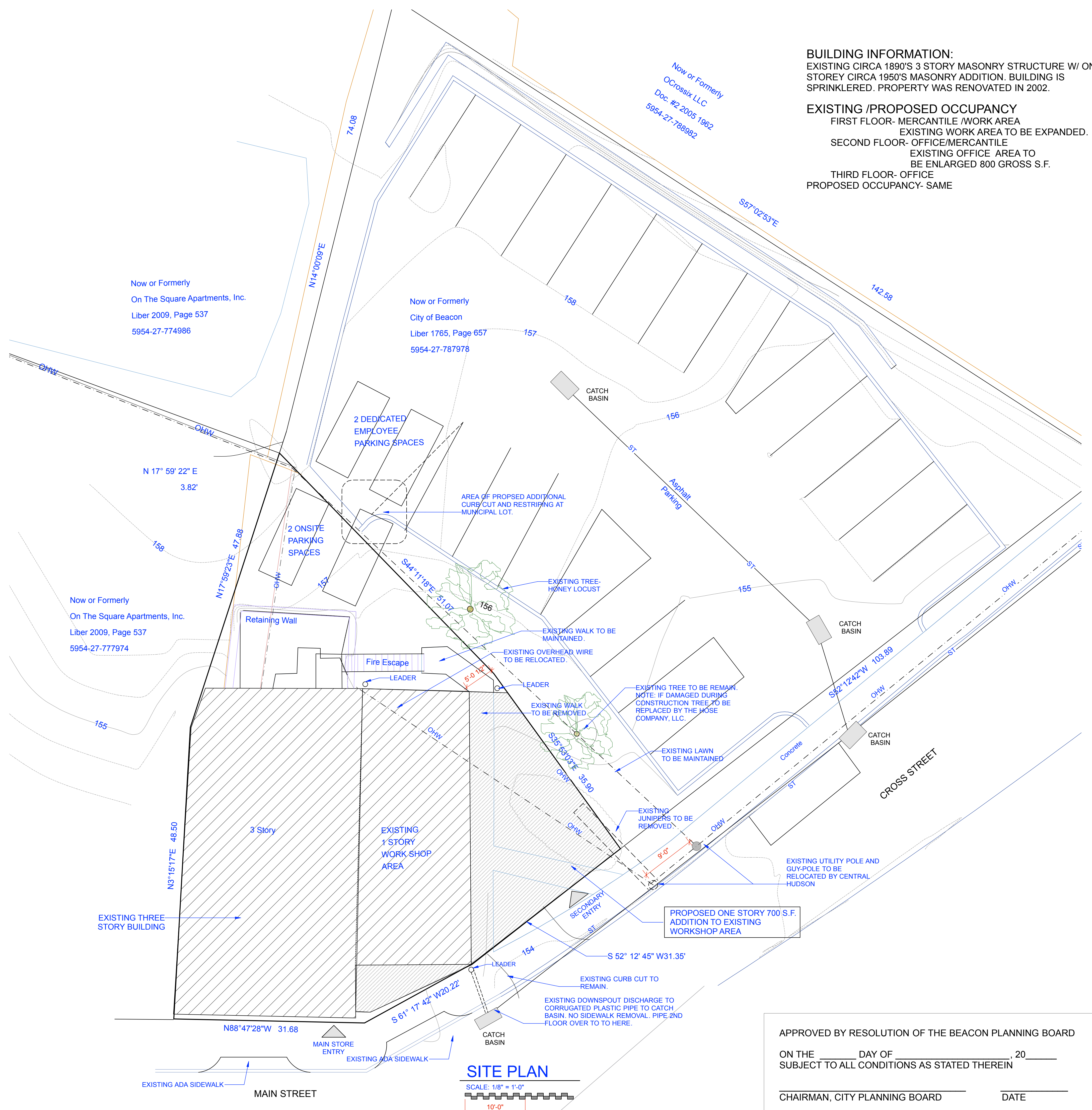
**A-1**



**PROPOSED FIRST FLOOR PLAN**  
 Scale: 1/4" = 1'-0"

162 MAIN STREET



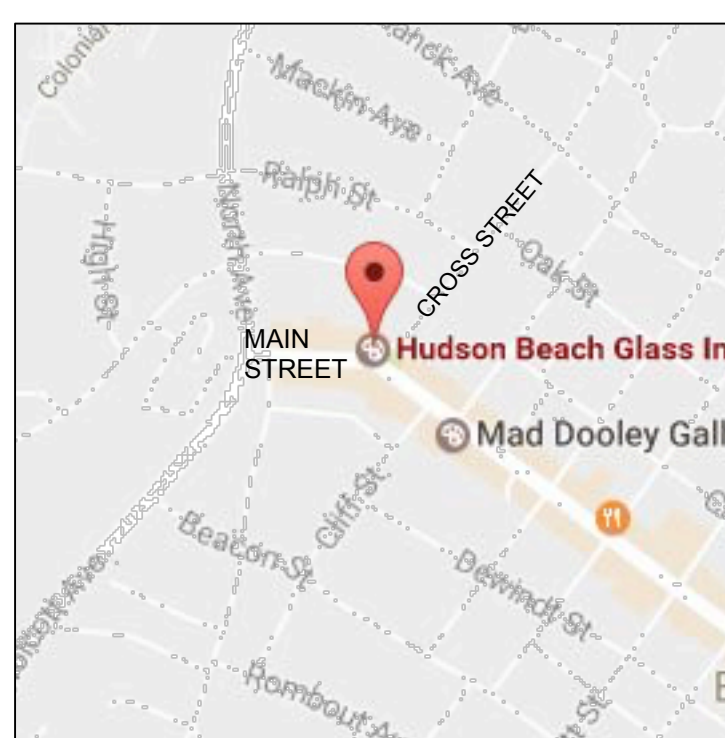


**BUILDING INFORMATION:**  
 EXISTING CIRCA 1890'S 3 STORY MASONRY STRUCTURE W/ ONE-STOREY CIRCA 1950'S MASONRY ADDITION. BUILDING IS SPRINKLERED. PROPERTY WAS RENOVATED IN 2002.

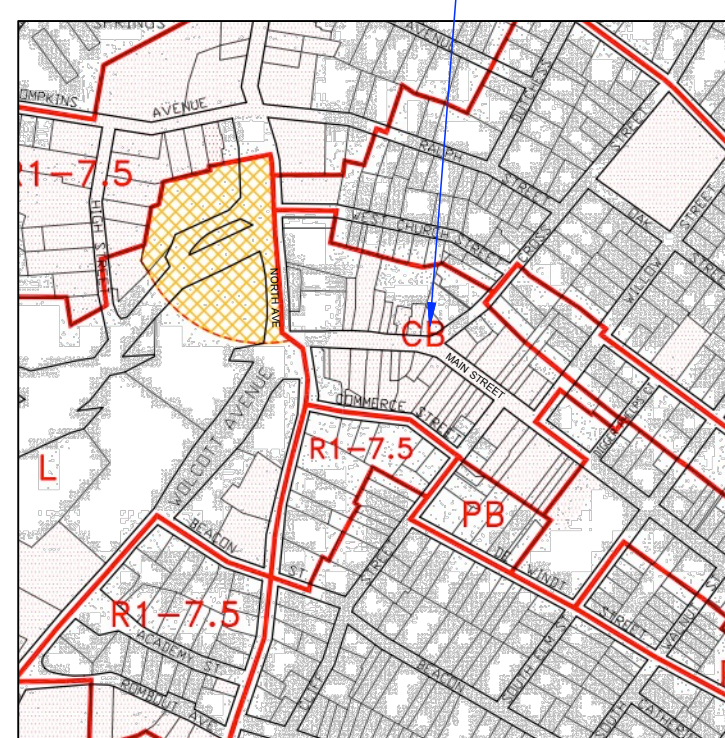
**EXISTING /PROPOSED OCCUPANCY**  
 FIRST FLOOR- MERCANTILE /WORK AREA  
 EXISTING WORK AREA TO BE EXPANDED.  
 SECOND FLOOR- OFFICE/MERCANTILE  
 EXISTING OFFICE AREA TO BE ENLARGED 800 GROSS S.F.  
 THIRD FLOOR- OFFICE  
 PROPOSED OCCUPANCY- SAME

**ZONING:**  
 CENTRAL BUSINESS DISTRICT IN AN HISTORICAL OVERLAY DISTRICT  
 LOT AREA: 4,187 S.F. 0.096 ACRES  
 TAX PARCEL: CITY OF BEACON, DUTCHESS COUNTY, NY 130200-5954-27-781973-0000

**GENERAL NOTES:**  
 1) CURB CUT ON CROSS STREET IS EXISTING AND SHALL REMAIN  
 2) ELECTRIC, WATER AND SEWER SERVICES ARE EXISTING AND SHALL REMAIN  
 3) THE APPLICANT IS "THE HOSE COMPANY LLC"  
 MICHAEL BENZER, PRESIDENT  
 JOHN GILVEY, VICE PRESIDENT  
 4) ALL EXTERIOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJACENT STREETS AND PROPERTIES.  
 5) HOURS OF OPERATION: AS ALREADY ESTABLISHED BY HUDSON BEACH GLASS  
 6) EXTERIOR SIGNAGE: AS ALREADY APPROVED ON EXISTING PROPERTY  
 7) EXTERIOR COLORS: AS ALREADY APPROVED ON 2002 PLAN SUBMISSION.  
 8) NO NEW WATER OR SEWER SERVICE LINES AS A RESULT OF THIS PROJECT.



**LOCATION MAP**  
 SCALE: 1" = 800'



**AREA MAP**  
 SCALE: 1" = 800'

SCHEDULE OF REGULATIONS (CB ZONE) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIRED	PROVIDED
LOT WIDTH	N/A	N/A
LOT DEPTH	100 FT. MINIMUM	91 FEET VARIED (SEE NOTE 1)
FRONT YARD	N/A	N/A
SIDE YARD	20 FT. MINIMUM	N/A (SEE NOTE 2)
REAR YARD	25 FT. MINIMUM	N/A (SEE NOTE 2)
MAX. BLDG. HEIGHT	35 FT. MAXIMUM	28.5 FEET (ADDITION)
FLOOR AREA RATIO (FAR)		
PARCEL AREA		4187 SF.
FLOOR AREA PROVIDED		7182 SQFT.
FAR PERMITTED	2 MAXIMUM	1.72

(1) PRE-EXISTING NON-CONFORMING  
 (2) ONLY APPLICABLE WHERE DISTRICT ABUTS A RESIDENTIAL DISTRICT, OR IF A DRIVEWAY IS PROPOSED BETWEEN THE BUILDING AND THE PROPERTY LINE.  
 (3) DENOTES BUILDING FLOOR AREA AFTER BUILDING ADDITION. FLOOR AREA IS DEFINED AS THE SUM OF THE GROSS HORIZONTAL AREAS OF THE SEVERAL FLOORS OF A BUILDING OR BUILDINGS, MEASURED FROM THE EXTERIOR FACE OF EXTERIOR WALLS OR FROM THE CENTER LINE OF WALLS SEPARATING TWO BUILDINGS, AND EXCLUDING BREZZEWAY AND GARAGE AREAS AND BASEMENT AND ATTIC FLOOR AREAS USED ONLY FOR ACCESSORY USES.  
 (4) FAR IS DEFINED AS THE QUOTIENT OF THE FLOOR AREA OF A BUILDING DIVIDED BY ITS LOT AREA.

**PARKING**  
 PROPOSED USE  
 FIRST FLOOR:  
 MERCANTILE  
 WORK/INSTRUCTIONAL AREA  
 1 SPACE FOR EACH 200 S.F. GROSS FLOOR AREA  
 EXCLUDING UTILITY AREAS 2,480 S.F. 12.5 SPACES REQUIRED

SECOND FLOOR:  
 OFFICE- MERCANTILE 9.5 SPACES REQUIRED  
 1,159 + 750 S.F.  
 THIRD FLOOR OFFICE 1329 S.F. 6.5 SPACES REQUIRED  
 1 SPACE FOR EACH 200 S.F. GROSS FLOOR AREA  
 EXCLUDING UTILITY AREAS 28.5 SPACES REQUIRED  
 4 SPACES PROVIDED  
 25 SPACES REQUIRED

**1964 USE**  
 INDUSTRIAL STORAGE--FIREHOUSE  
 FIRST FLOOR @ 1,411 S.F. 4 SPACES  
 TOTAL AREA = 1,411 S.F.  
 (1) SPACE/400 GROSS FT  
 EXCLUDING MECH, BATH, STAIR & STORAGE

PUBLIC ASSEMBLY  
 FIRST FLOOR @ 588 S.F.  
 SECOND FLOOR @ 1,159 S.F.  
 THIRD FLOOR @ 1,329 S.F.  
 TOTAL = 3,079 S.F. 16 SPACES  
 TOTAL PARKING 20 SPACES

1) PROPOSED PARKING DOES NOT EXCEED THE 1964 REQUIREMENTS PLUS 25%. 20 SPACES PLUS 5 SPACES TOTAL 25 SPACES

APPROVED BY RESOLUTION OF THE BEACON PLANNING BOARD  
 ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
 SUBJECT TO ALL CONDITIONS AS STATED THEREIN  
 CHAIRMAN, CITY PLANNING BOARD \_\_\_\_\_ DATE \_\_\_\_\_



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 hudsonvalleyarch@gmail.com

OWNER:  
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 162 MAIN STREET  
 BEACON, NY 12508

PROJECT:  
 STUDIO & OFFICE  
 EXPANSION  
 162 MAIN STREET  
 BEACON, NY 12508

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 A-2 SECOND FLOOR  
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 A-4 EAST ELEVATION  
 A-5 NORTH ELEVATION  
 A-6 EXTERIOR VIEWS  
 A-7 BUILDING DETAILS

SEAL & SIGNATURE

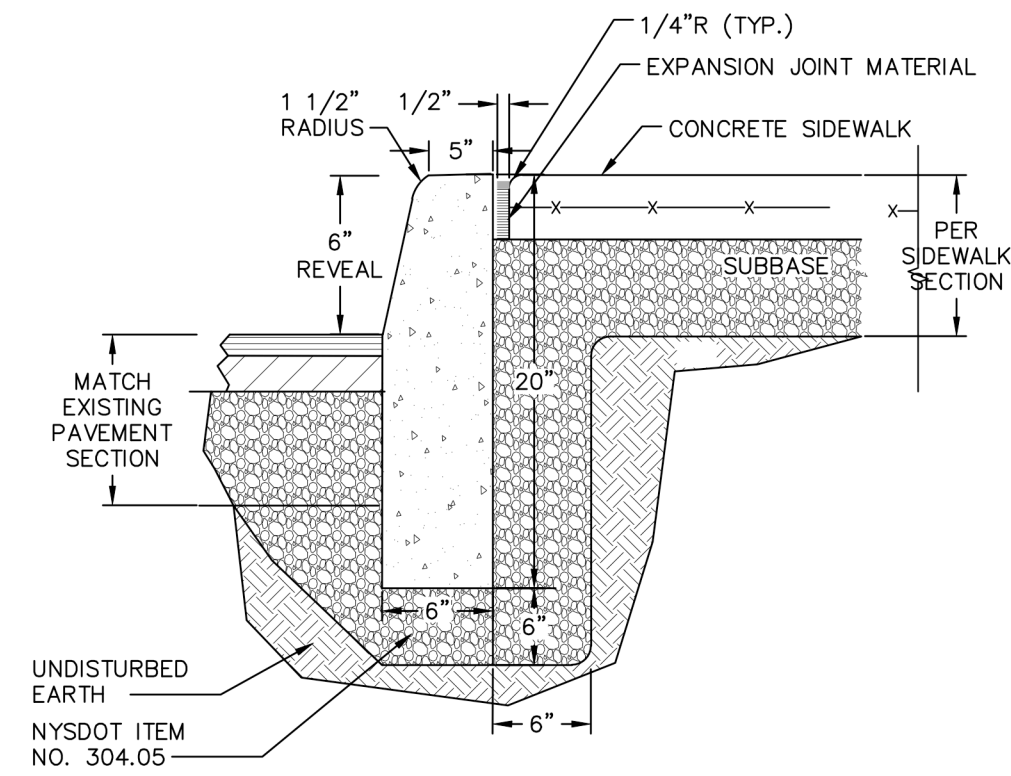
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REVISIONS:

NO.	DESCRIPTION	DATE:
1	TREE, PARKING, UTIL. POLE NOTES	4/25/17
2	SIDE YARD NOTE	4/25/17
3	S-2 SHEET ADDED	4/25/17

DRAWING TITLE:  
**SITE PLAN**

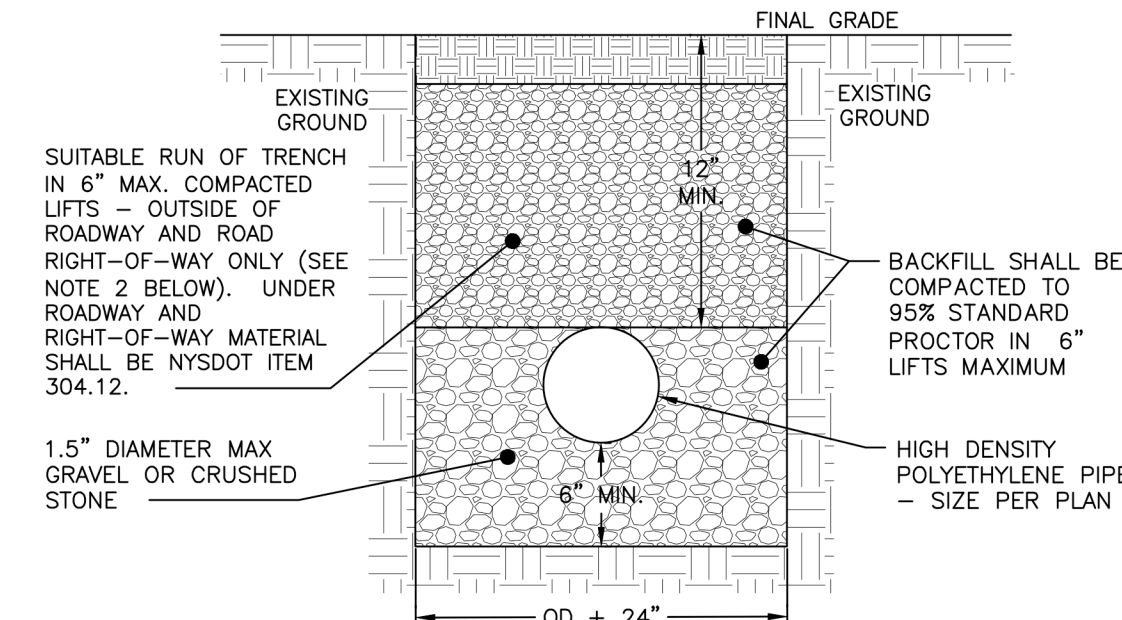
DATE: 3. 28. 17  
 PLAN I.D.  
 SCALE:  
 DWG No: **S-1**



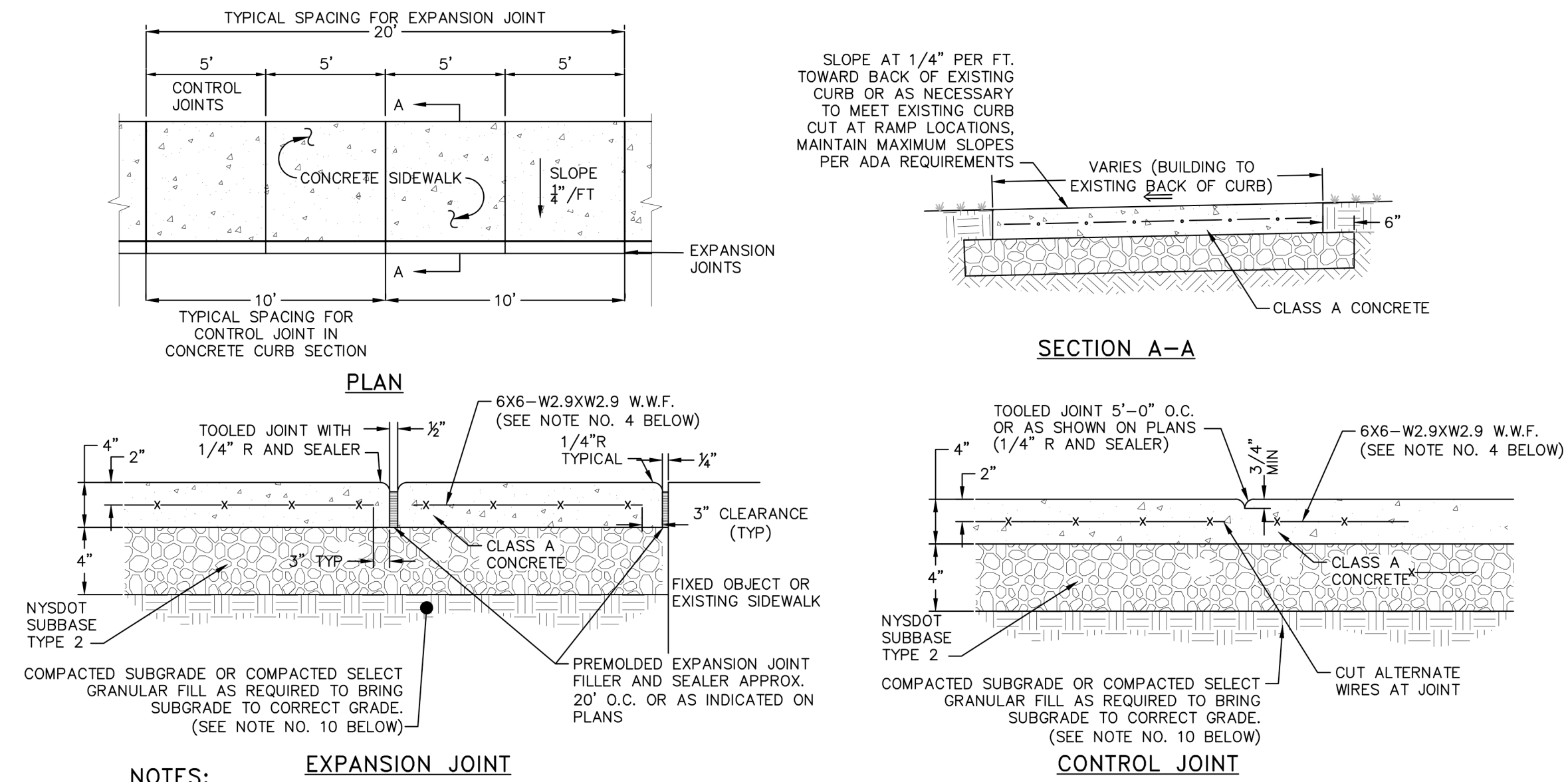
**ABUTTING SIDEWALK**

- NOTES:**
1. CONCRETE CURB SHALL BE 4,000 PSI CAST-IN-PLACE, AND IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
  2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS.
  3. TO BE USED IN AREAS WHERE THE EXISTING CURB IS DAMAGED DURING BUILDING AND SITE CONSTRUCTION.

**CAST-IN-PLACE CONCRETE CURB DETAIL**  
NOT TO SCALE

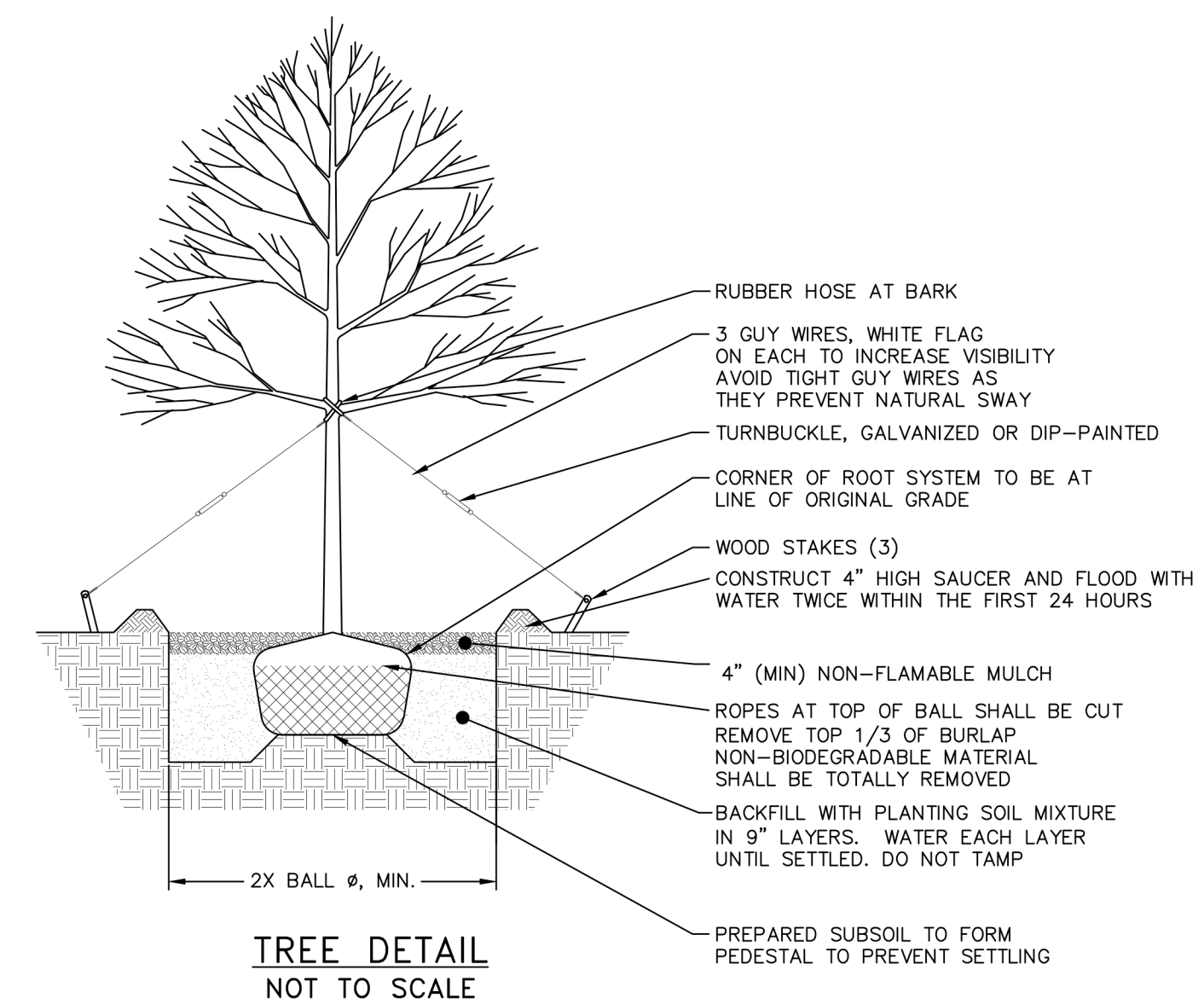


**STORM LINE TRENCH DETAIL**  
NOT TO SCALE



- NOTES:**
1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.
  2. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002, AND ALL ADDENDA THERETO; THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
  3. ALL CONCRETE SHALL BE 3,500 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  4. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
  5. ALL EXPOSED SURFACED SHALL HAVE A BROOM TEXTURED FINISH.
  6. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20' ON CENTER, OR AS INDICATED ON PLANS.
  7. JOINTS SHALL NOT BE SAW CUT.
  8. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFEbond"SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  9. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSDOT STANDARD.
  10. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  11. ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**TREE DETAIL**  
NOT TO SCALE



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BEACON, NY 12508

PROJECT:  
STUDIO & OFFICE  
EXPANSION  
162 MAIN STREET  
BEACON, NY 12508

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REVISIONS:

NO.	DESCRIPTION	DATE:
1	S-2 SHEET ADDED	4/25/17

DRAWING TITLE:  
**SITE DETAILS**

DATE: 4.25.17  
PLAN I.D.  
SCALE:  
DWG No:  
**S-2**



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SEAL & SIGNATURE

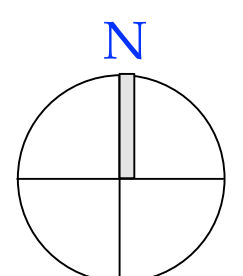
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REVISIONS:

NO.	DESCRIPTION	DATE:
1	REMOVE SIDEWALK	4/25/17
	NOTE	

DRAWING TITLE:  
**PROPOSED EAST ELEVATION**



DATE: 3 . 28 . 17  
 PLAN I.D.  
 SCALE: 1/4"=1'-0"  
 DWG No:  
**A-4**



**PROPOSED EAST ELEVATION**  
 Scale: 1/4" = 1'-0"



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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March 24, 2017

The Hose Company, LLC  
Mr. Michael Benzer  
Mr. John Gilvey  
162 Main Street  
Beacon, NY 12508

Re: Infiltration and Inflow Investigation  
Hudson Beach Glass site  
162 Main Street  
City of Beacon, New York

Dear Messrs. Benzer and Gilvey:

Hudson Land Design (HLD) has completed an infiltration and inflow investigation at the above referenced parcel as required by the City of Beacon. The investigation was conducted on March 24, 2017 at the existing building at 162 Main Street, which consists of a three-story brick façade building with a one-story addition, which serves Hudson Beach Glass.

The former fire house was constructed in the late 1800's and an addition was reputedly constructed in the 1950's. The building faces Main Street, and is located at the northwest corner of the intersection of Main Street and Cross Street.

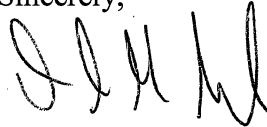
The first phase of the study consisted of an exterior inspection of the building to determine the location of roof leader discharge points. The three-story building has a flat roof that discharges northerly (to the rear of the building) where there is a gutter that collects and conveys the runoff westerly. At the northwest corner of the building, there is a downspout that visibly discharges to the surface. The one-story building also has a flat roof that pitches easterly toward a gutter that collects and conveys flow southerly. At the southeast corner of the building, there is a downspout that discharges into a corrugated pipe along the sidewalk/building interface. The collection pipe is a black corrugated plastic pipe that discharges directly into the catch basin at Cross Street. The same black corrugated pipe was observed in said catch basin. The attached exhibit 1 shows the general schematic of the above described roof drainage system.

The second phase of the study consisted of interior inspection of the building in an attempt to determine if there are any illicit connections to the building sewer line from sump pumps, floor drains and the like. HLD personnel were able to observe significant sections of interior plumbing to the point where the piping was routed beneath the first-floor bathroom (located generally in the northwest corner of the building). The pipe reputedly collects the wastewater from the bathroom and then flows southerly toward Main Street's sanitary sewer collection system. We observed a clean-out in the basement floor to support the reputed line location. At no point along the length of the visible portion of the line did HLD personnel observe any discharges other than from the standard plumbed fixture. In addition, there were no sump pumps or floor drains observed, nor were there any unidentified pipes that connected to the line beneath the basement floor.

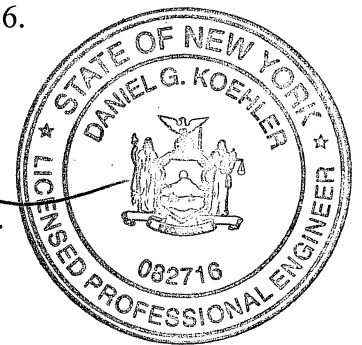
Based on our observations, HLD does not believe that there are any illicit connections from the building located at 162 Main Street to the City of Beacon's sanitary sewer collection system.

Should you have any questions, please feel free to call me at 845-440-6926.

Sincerely,



Daniel G. Koehler, P.E.  
Principal



cc: Jeff Wilkinson, R.A. (via email [HUDSONVALLEYARCH@GMAIL.COM](mailto:HUDSONVALLEYARCH@GMAIL.COM))  
Michael A. Bodendorf, P.E. (HLD file)

3.82'



Scale: 1" = 10'

N17°59'23"E 47.88

S44°11'18"E 51.07

Downspout - discharge to surface

GUTTER

← flow ←

Fire Escape

N3°15'17"E 48.50

Along Building Line

→ Roof Slope →

3 Story

→ Roof →

Slope

1 Story

GUTTER  
Concrete

↓ flow ↓

Downspout - discharge to Pipe

Existing plastic Pipe discharge to Catch Basin

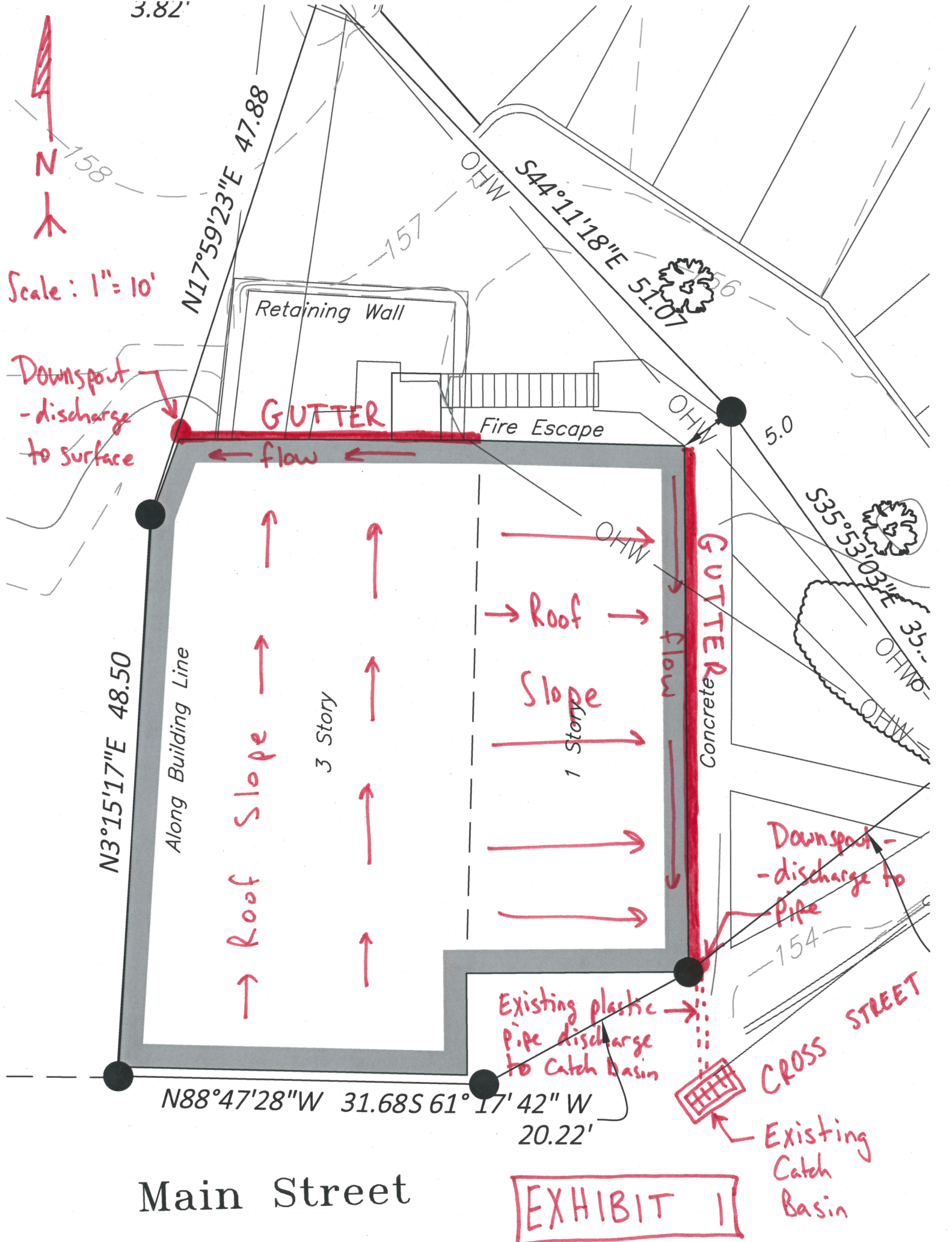
CROSS STREET

Existing Catch Basin

N88°47'28"W 31.68S 61°17'42"W 20.22'

Main Street

EXHIBIT 1



HUDSON BEACH GLASS

HUDSON BEACH GLASS

FIREFIGHTER J. ROBERT CRAMER SQUARE

PLATE  
FIREFIGHTER J. ROBERT CRAMER  
1911-1987  
A MEMBER OF THE  
HUDSON COUNTY FIREMEN'S ASSOCIATION  
FOR HIS SERVICE TO THE  
COMMUNITY AND HIS  
COURAGE AND BRAVERY  
DURING HIS SERVICE TO  
THE COMMUNITY

fovea  
is  
open



To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: May 5, 2017

Re: **The Hose Company LLC, 162 Main Street Site Plan**

I have reviewed the April 25, 2017 response letter with attachments from Jeff Wilkinson, R.A., and four revised sheets, all dated April 25, 2017: S-1 Site Plan, S-2 Site Details, A-1 Proposed First Floor Plan, and A-4 Proposed East Elevation.

### **Proposal**

The applicant proposes to replace a circa 1950s one-story addition with a 1,565-square foot two-story addition, including a workshop and offices. The site is in the Central Business zoning district, Historic District and Landmark Overlay Zone, and the Lower Main Street National Register Historic District.

### **Comments and Recommendations**

1. Since the rear dedicated spaces do not meet the minimum 9-foot width standards in Section 223-26 C(2)(a), the applicant is working with the City on plans to modify the striping in the municipal parking lot and remove a short section of curbing to accommodate the four spaces. The final details should be shown in the Site Plan drawings.
2. After the Building Inspector's parking recommendation based on the building's pre-1964 use, the applicant has applied to the Zoning Board of Appeals for a parking variance for all 28.5 required spaces. The Board should make a recommendation to the ZBA on the variance request.
3. The parking calculations on S-1 should be updated to reflect Building Inspector's determination on pre-1964 use and the ZBA ruling on the variance request.
4. All construction activities on municipal property will need to be coordinated with city officials.
5. Is the existing sign on the east side of the building to be relocated?

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Jeff Wilkinson, R.A., Project Architect



**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lanc, P.E., L.S.  
Arthur R. Tully, P.E.

May 3, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: The Hose Company, LLC  
162 Main Street  
Tax Map No. 5954-27-781973

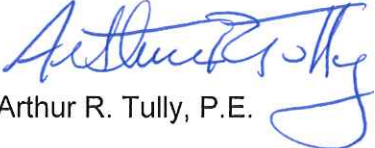
Dear Mr. Sheers:

It is our understanding that the project will be appearing before the Zoning Board of Appeals and the City Council for resolution to questions regarding primarily parking. Most of our other comments raised in our review letter of April 3, 2017 have been addressed. However, finalization of the status of handicapped ramps, driveway cuts and sidewalk restoration need to be resolved with our office.

Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.

  
Arthur R. Tully, P.E.

cc: Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector

Beacon Hose Co.5.17.art.docx

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**55 Prospect Street**

**Subject:**

Continue public hearing on application for Subdivision Approval, 2 residential lots, submitted by Barbara O'Dell, 55 Prospect Street

**Background:**

**ATTACHMENTS:**

Description	Type
55 Prospect - Cover Letter	Cover Memo/Letter
55 Prospect - Subdivision Plat 1	Plans
55 Prospect - Subdivision Plat 2	Plans
55 Prospect - Site Details	Plans
55 Prospect - Erosion & Sediment Control	Plans
55 Prospect - Planner Review	Consultant Comment
55 Prospect - Engineer Review	Consultant Comment



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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April 25, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 55 Prospect Street Subdivision  
Tax ID: 6054-46-243586  
City of Beacon, New York

Dear Chairman Sheers:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the subdivision plan set in response to Lanc & Tully's April 4, 2017 comment letter. Below is a point-by-point response to the comments received.

**Lanc & Tully's April 4, 2017 Comment Letter**

**Subdivision Plat:**

1. The revision block has been updated to reflect revisions since last submission.

**Subdivision Plan:**

1. The size of the existing water main in Prospect Street has been verified with Beacon Sewer and Water Department and shown on the plans as a 6" CIP water main.
2. After conversations with the Planning Board and John Russo of Lanc and Tully, the sewer main will be extended through Prospect Street from the intersection of Union and Prospect Streets. 141 LF of 8" SDR 35 PVC is proposed for the extension as well as a sanitary sewer manhole. The sewer lateral from the proposed residence will connect to the sewer main extension at the manhole and is shown on Sheet 2: Preliminary Subdivision Plan. All details of the sewer main extension are shown on Sheet 5: Water and Sewer Details.
3. The updated survey states that the manholes in Prospect Street are at the intersections of First Street and Prospect Street and Union Street and Prospect Street. Size of pipe and directionality is also shown on the plan.
4. The size of the existing water main in Prospect Street has been verified with Beacon Sewer and Water Department and shown on the plans as a 6" CIP water main. Callouts are shown on Sheet 2: Preliminary Subdivision Plan.

5. The driveway has been moved to allow an automobile to turn around in the driveway. The change in the driveway location and dimensions were done in accordance with the guidance supplied by the Planning Board on the April 12, 2017 meeting. This change negates the need for a retaining wall and any associated drainage.
6. Note 16 was edited to read "Department".

**Erosion and Sediment Control Plan:**

1. Silt fence running along the property lines between Lot 1 and Lot 2 has been added to Sheet 3: Preliminary Erosion and Sediment Control Plan.

**Site Plan Details:**

1. The "Driveway Entrance" detail has been revised to show 6" thick sidewalk through the access area and the foundation material to be NYSDOT Item No. 304.12.
2. All curbs and sidewalk details have a note stating "Concrete shall be sealed with a salt resistant sealer."
3. NYSDOT Item No. 304.05 in the "Cast-in-Place Concrete Curb" detail has been revised to NYSDOT Item No. 304.12.
4. The concrete retaining wall detail and guard rail detail have been removed from the plan set, as they are no longer needed.

**Water and Sewer Details:**

1. All trench details have had the hatch lightened to show information within the hatched areas.
2. "Water Line Offset" detail has been removed from Water and Sewer Detail sheet.

Please find enclosed the following materials for the Planning Board's consideration at your next available regularly scheduled meeting:

- Revised Subdivision Plan Set – 5 Sheets (5 copies);
- Copy of the above materials on CD

We look forward to continue discussing the design details of the project with you and your Board members. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Michael A. Bodendorf, P.E.  
Principal

cc: Barbara O'Dell via Email  
Jon D Bodendorf, P.E. (HLD File)

**SURVEY NOTES**

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.
11. Contour interval is one foot. Elevations shown hereon are referenced to NAVD 88 using NYSNET RTN GPS.

**DEED REFERENCE**

Liber 1489 Page 360  
Paul and Magdalena Manglass  
To  
John and Barbara O'Dell  
August 18, 1978

**ZONING**

Subject Parcel is located within the (R1-5) One-Family Residence District as per map entitled "City of Beacon, NY Zoning" prepared by Frederick P. Clark Associates, Inc. Revised: February 2013

**FLOOD BOUNDARY**

Subject Parcel is located in Zone X (Unshaded) and is determined to be outside the 0.2% annual chance floodplain according to Flood Insurance Rate Map # 3602700577E. Effective date May 2, 2012.

**WETLAND NOTE**

No NYSDEC or Federal wetlands were found on site.

**OWNER & APPLICANTS**

Barbara O'Dell  
55 Prospect Street  
Beacon NY 12508

**TAX PARCEL NUMBER**

City of Beacon, Dutchess County, New York  
130200-6054-46-243586-0000

**AREA**

20,922 sq ft  
0.4803 Acres

**SCHEDULE OF REGULATIONS (R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

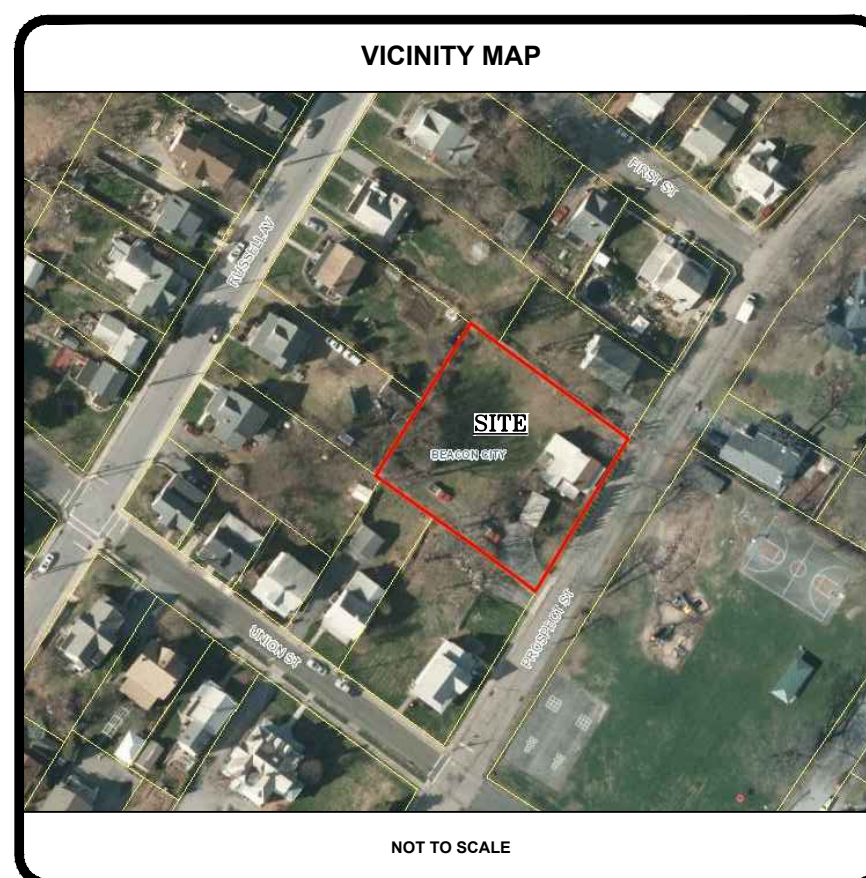
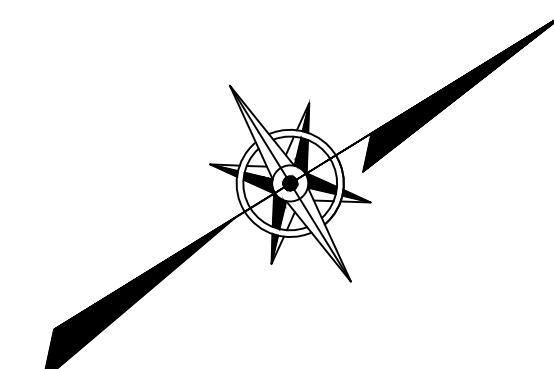
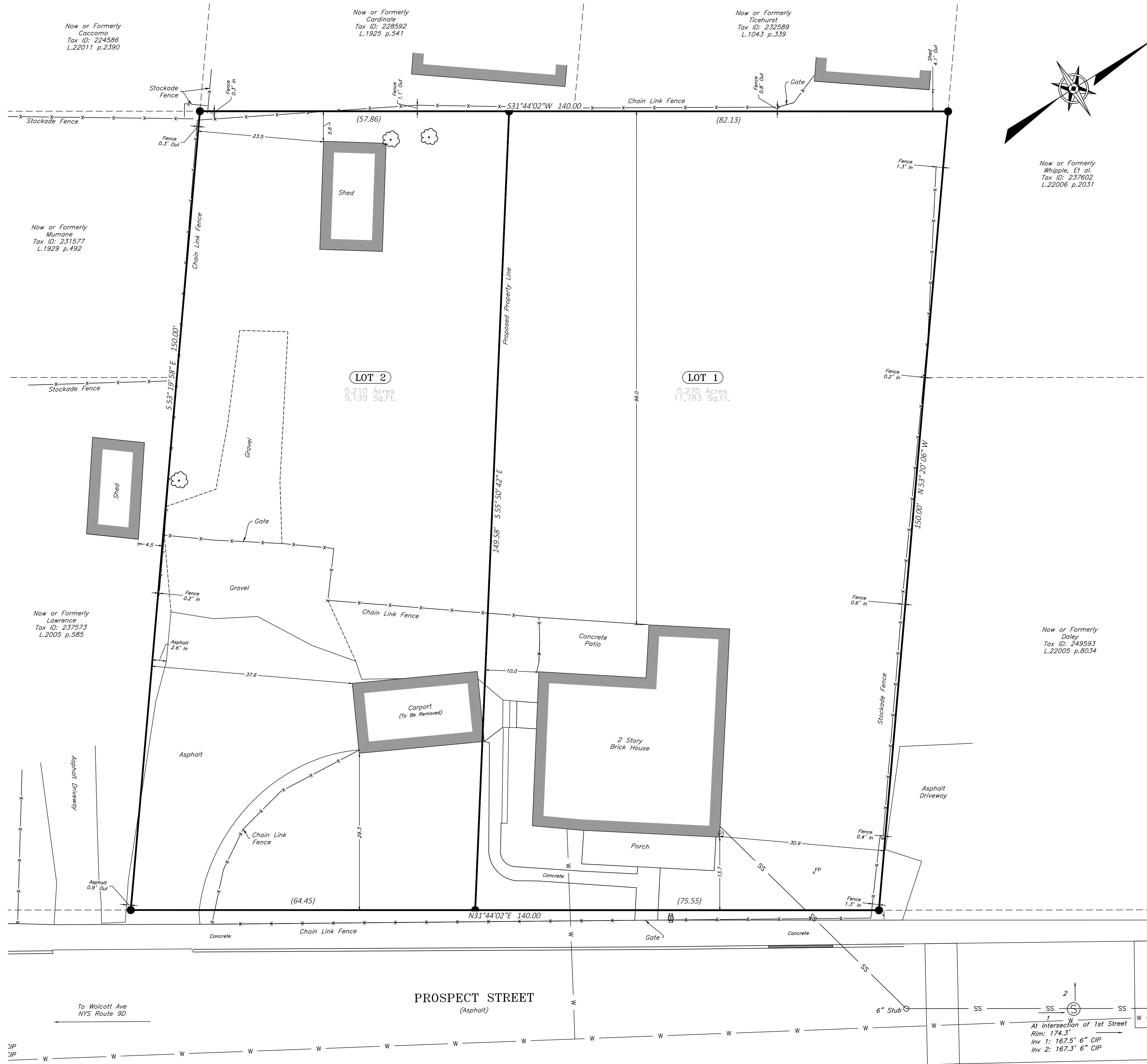
PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	5,000 SQUARE FEET MIN	11,783	9,139
LOT WIDTH:	50 FEET MINIMUM	75.6	57.8
LOT DEPTH:	100 FEET MINIMUM	150	150
YARD SETBACKS (RESIDENTIAL USE):			
FRONT YARD:	30 FEET MINIMUM	13.7*	30.0
SIDE YARD:	10 FEET MINIMUM	10.0	12.0
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	40.9	36.1
REAR YARD:	30 FEET MINIMUM	96.8	78.6
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	N/A	22.6
REAR YARD:	5 FEET MINIMUM	N/A	5.6
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35' / 2-STORY	<35' / 2-STORY
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12'	>12'
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15' / 1 STORY

\*LOT 1 IS A NON-CONFORMING, EXISTING LOT



156 TIORONDA AVE. BEACON, NY 12508  
PH: 845.445.6590 FX: 845.445.6591

rev.	date	description
2	4/17/17	GENERAL REVISIONS
1	3/28/17	GENERAL REVISIONS



**PLANNING BOARD**

Approved by resolution of the Planning Board of the Town of East Fishkill, New York, on the \_\_\_\_\_ day, of year \_\_\_\_\_. Subject to all requirements and conditions of said resolution. Any change, erasure, modification or revision of the plat as approved shall void the approval. Signed this \_\_\_\_\_ day, of year \_\_\_\_\_.  
By: \_\_\_\_\_ Chairman

**DCDOH STANDARD NOTE**

**FOR PERMISSION TO FILE**  
This plan does not constitute a realty subdivision as defined by Article XI, Title II, Section 1115 of the Public Health Law of the State of New York, and Article XI, of the Dutchess County Sanitary Code. Permission is hereby granted for the filing of this map with the Clerk of Dutchess County. Approval for arrangements for water supply and/or sewage disposal is neither sought nor granted.

Authorized Representative of the Commissioner of Health \_\_\_\_\_ Date \_\_\_\_\_

**OWNER'S CONSENT**

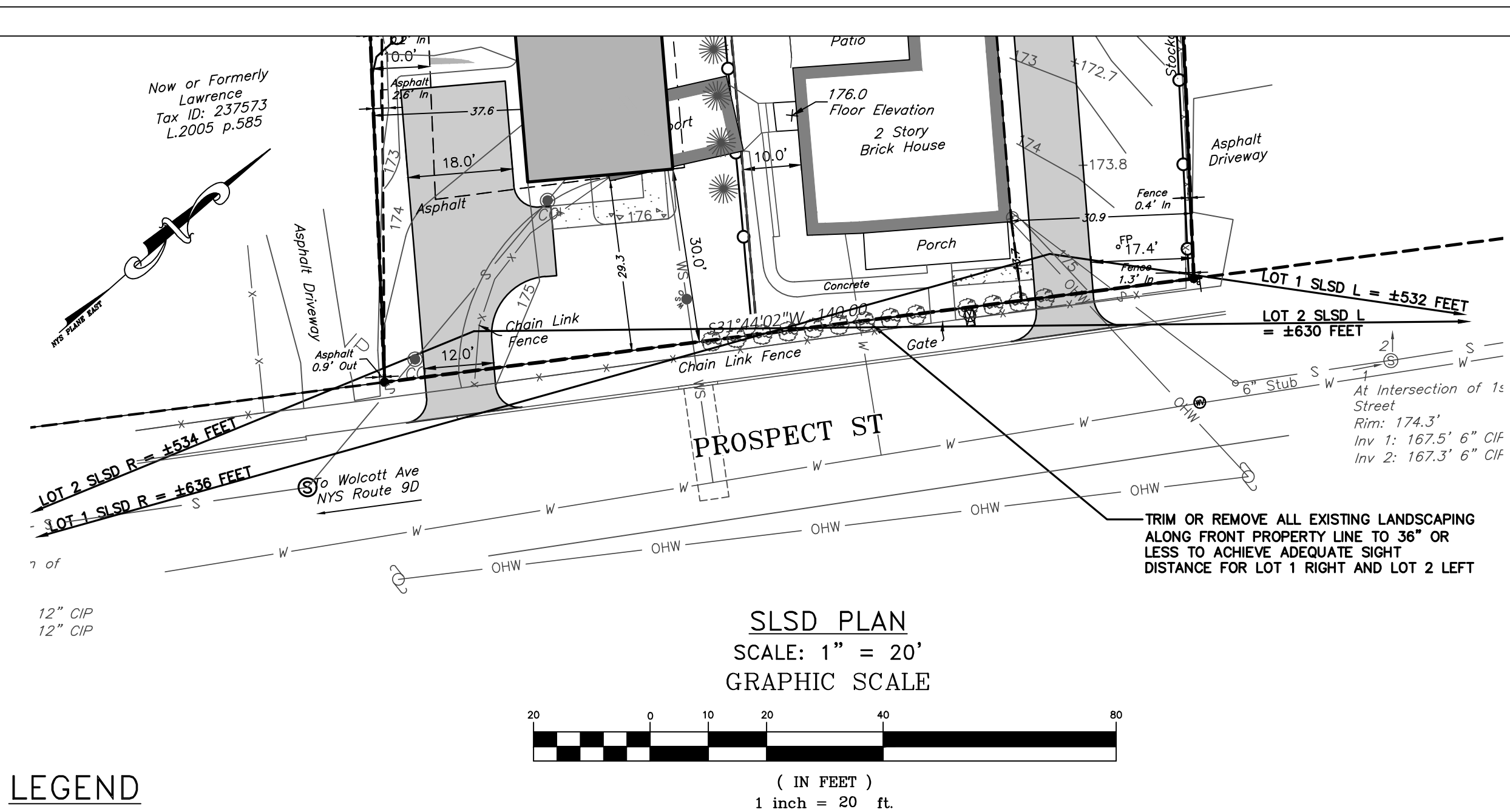
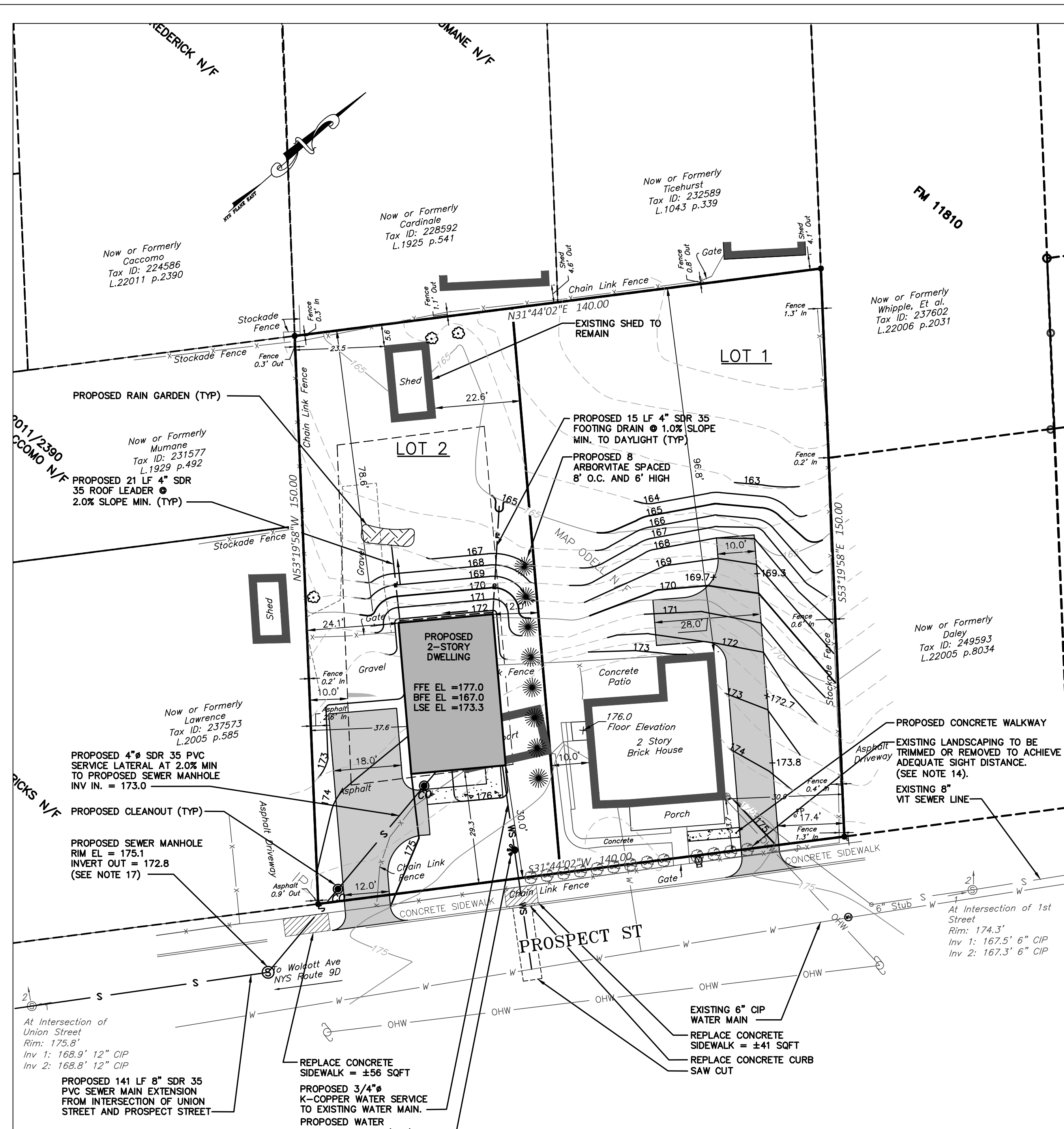
The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated hereon.  
Barbara O'Dell \_\_\_\_\_ Date \_\_\_\_\_

**SHEET INDEX**

- Sheet 1 - Preliminary Subdivision Plat
- Sheet 2 - Preliminary Subdivision Plat
- Sheet 3 - Erosion and Sediment Control Plan
- Sheet 4 - Site Details
- Sheet 5 - Sewer Details

O'DELL SUBDIVISION  
**PRELIMINARY PLAT**  
SUBDIVISION OF  
**LANDS OF O'DELL**  
CITY OF BEACON COUNTY OF DUTCHESS STATE OF NEW YORK

tax id	243686
address	55 PROSPECT STREET
date	2/24/17
scale	1"=10'
project no.	
project name	O'DELL SUBDIVISION
sheet	1 OF 5



**LEGEND**

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	BUILDING SETBACK LINE
---	EXISTING ADJOINER LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING UTILITY POLE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXISTING SEWER MAIN
---	PROPOSED SEWER SERVICE LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
---	PROPOSED WATER SHUT-OFF VALVE
---	PROPOSED SEWER CLEAN OUT
---	PROPOSED ROOF LEADER
---	PROPOSED FOOTING DRAIN
---	PROPOSED ARBORVITAE (TUJIA OCCIDENTALIS EMERALD GREEN) SEE SITE SPECIFIC NOTE 12
---	EXISTING LANDSCAPING
---	SIDEWALK REPLACEMENT AREA



**PROJECT INFORMATION:**

PARCEL OWNER:	BARBARA O'DELL, 55 PROSPECT ST. BEACON, NY 12508
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET BEACON, NY 12508
PARCEL LOCATION:	55 PROSPECT ST. BEACON, NY 12508
TAX PARCEL ID:	6054-46-243586
PARCEL AREA:	±0.48-ACRE
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

**SCHEDULE OF REGULATIONS (R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	5,000 SQUARE FEET MIN	11,783	9,139
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MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12'	>12'
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15'/1 STORY

\*LOT 1 IS A NON-CONFORMING, EXISTING LOT

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

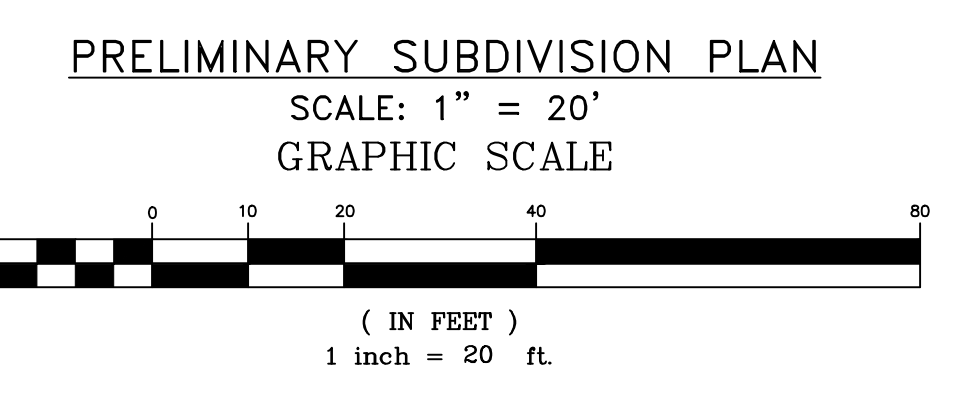
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**SURVEY NOTES:**

1. SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.

**SITE SPECIFIC NOTES:**

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPFO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
- THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
- THE WATER SERVICE LINE SHALL BE 3/4" K-COPPER.
- THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
- PROPOSED 4" LSE AND THE-IN ELEVATION IS BASED ON FIELD MEASURED 0.3% SLOPE FOR THE EXISTING 8" SEWER MAIN. CONTRACTOR MUST CONFIRM SLOPE OF SEWER MAIN AND MAKE NECESSARY ADJUSTMENTS TO PROPOSED LSE AND THE-IN ELEVATIONS IF NECESSARY.
- A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER AND SEWER SERVICES FOR THE NEW LOT. STREET CLOSURE FOR WATER AND SEWER SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
- ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
- SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
- THE SIXTEEN (16) PROPOSED ARBORVITAE (TUJIA OCCIDENTALIS EMERALD GREEN) SHALL HAVE A HEIGHT OF 6 FEET AT PLANTING, AND SHALL BE LOCATED GENERALLY AS SHOWN ON THE PLAN WITH 8-FOOT SPACING.
- THE REQUIRED SIGHT DISTANCE SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:  
LOT 1: SLSD RIGHT = ±636' FEET (TO INTERSECT OF MADISON AVENUE)  
SLSD LEFT = ±532' FEET (TO CENTERLINE OF ALICE STREET)  
LOT 2: SLSD RIGHT = ±534 FEET (TO INTERSECTION OF MADISON AVENUE)  
SLSD LEFT = ±630 FEET (TO CENTERLINE OF ALICE STREET)
- STOPPING SIGHT DISTANCE (SSD) WAS OBSERVED TO BE IN EXCESS OF THE REQUIRED 200 FEET WHEN APPROACHING ALICE STREET FROM THE LEFT, AND MADISON AVENUE FROM THE RIGHT, FOR BOTH LOT 1 AND LOT 2.
- TO ACHIEVE SLSD LEFT FROM LOT 2, AND SLSD RIGHT FROM LOT 1, LANDSCAPING NEEDS TO BE TRIMMED OR REMOVED, AND HEDGES ON LOT 1 SHALL BE TRIMMED TO 36" HIGH OR LESS.
- INSTALLATION AND DESIGN OF SANITARY SEWER LINE IS SUBJECT TO VERIFICATION OF THE CITY OF BEACON MUNICIPAL SEWER SYSTEM.
- THE CITY OF BEACON BUILDING DEPARTMENT IS GRANTED PERMISSION TO VERIFY THE LOCATION AND DISCHARGE POINTS OF ALL ROOF LEADERS.
- CONTRACTOR SHALL CONFIRM EXISTING GRADE OF ROAD PRIOR TO CONSTRUCTION OF PROPOSED SEWER MANHOLE.



**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON FEBRUARY 21, 2016.

THOMAS CERCIARA P.L.S. SEAL  
BARBARA O'DELL DATE

**MAP REFERENCES:**

1. EXISTING FEATURES AS SHOWN ON THIS PLAN ARE PER THE SURVEY PROVIDED BY TEC LAND SURVEYING.

**OWNER'S CONSENT:**  
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.



DRAWN BY:	AG	CHECKED BY:	MAB	JOB NO.:	2017-002
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	03/28/2017	PER CONSULTANTS COMMENTS	AG		
2	04/25/2017	PER CONSULTANTS COMMENTS	AG		

**PRELIMINARY SUBDIVISION PLAN**  
**55 PROSPECT STREET**

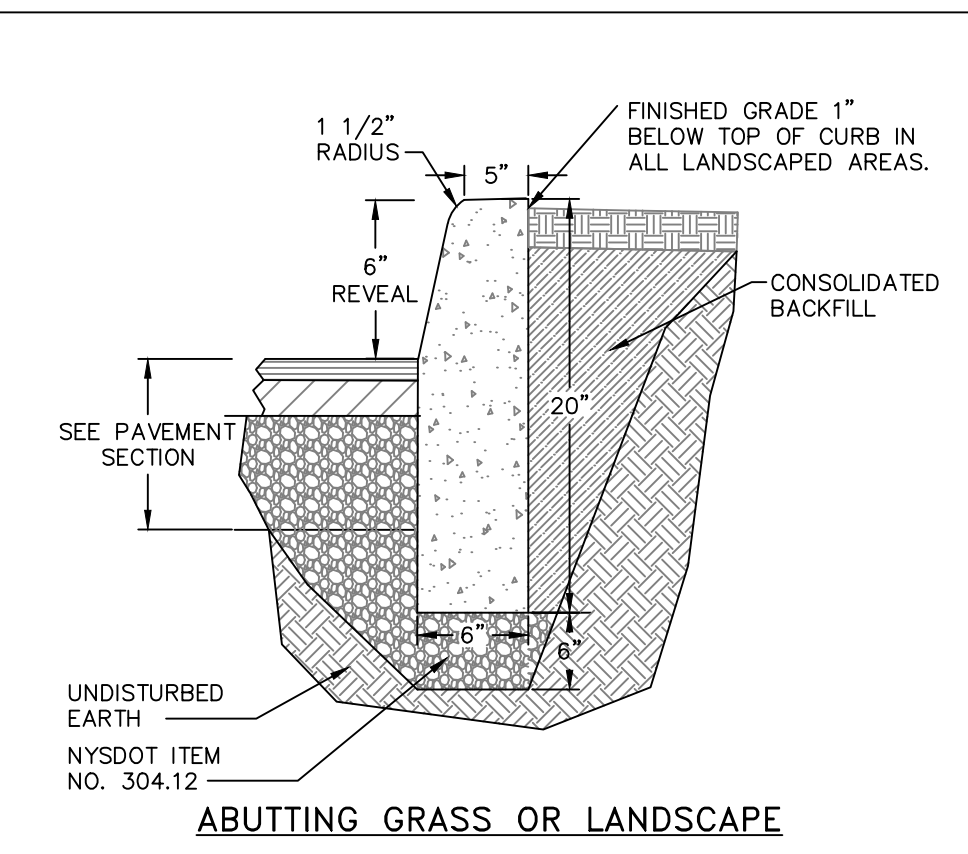
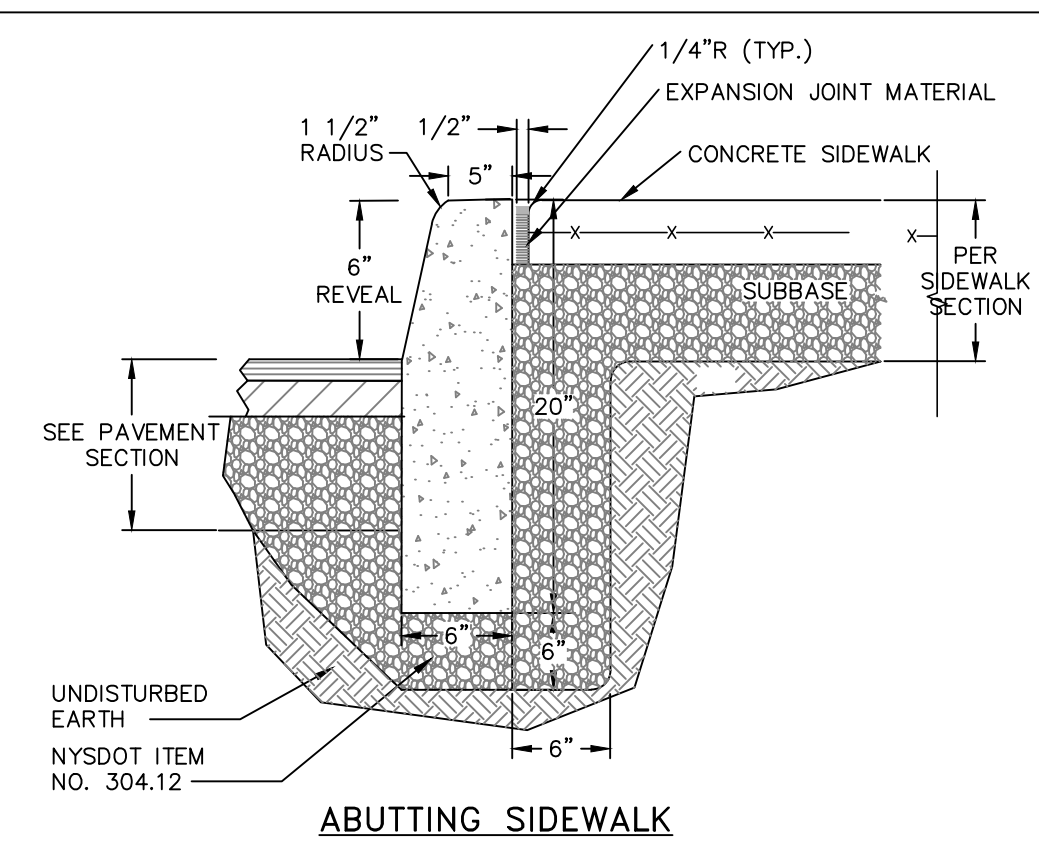
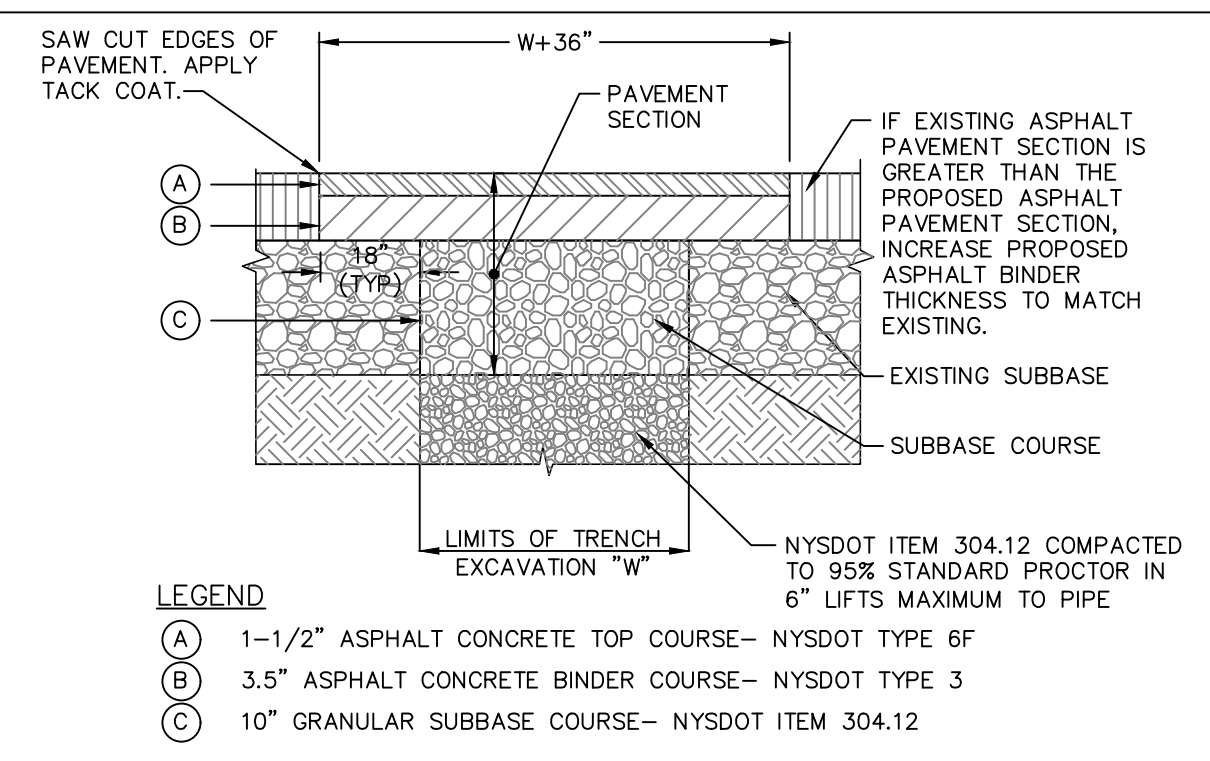
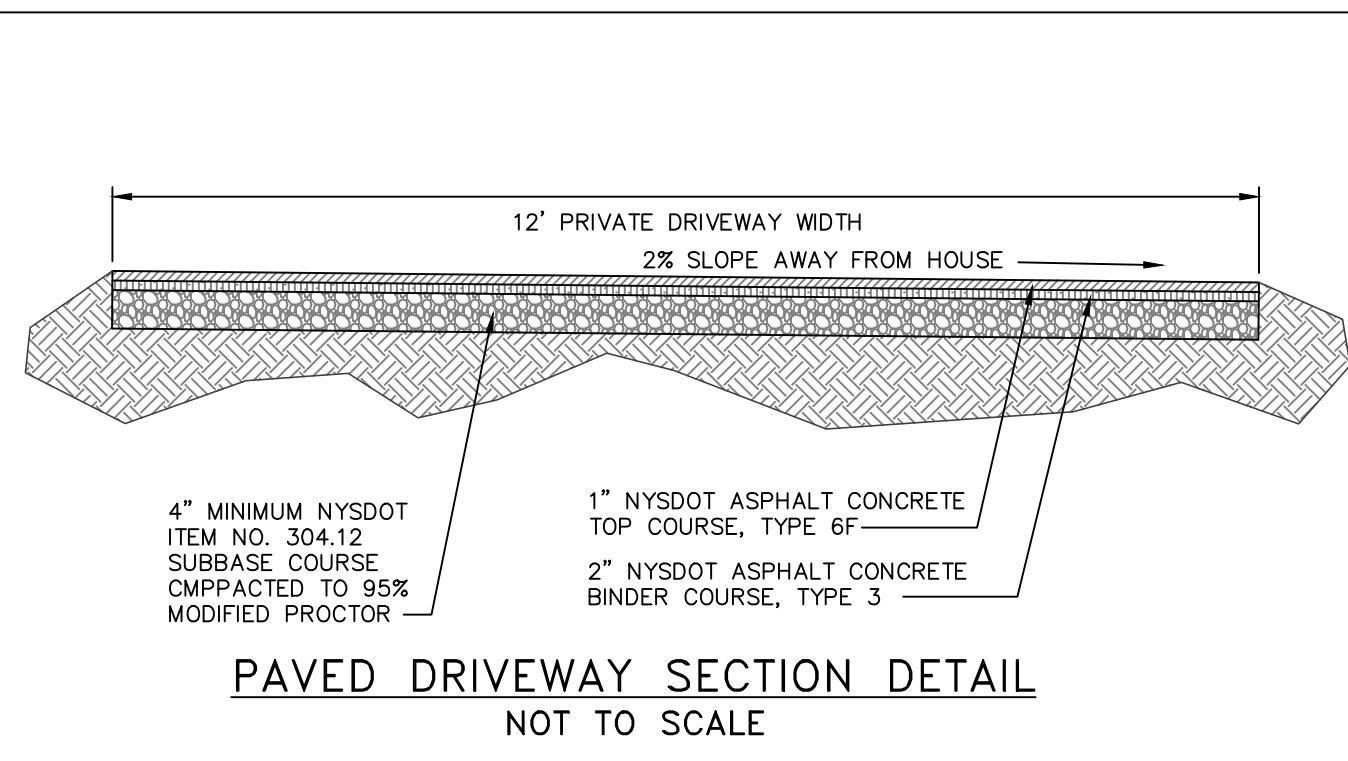
55 PROSPECT STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-46-243586  
SCALE: 1" = 20'  
FEBRUARY 28, 2017

**HUDSON LAND DESIGN**

PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637

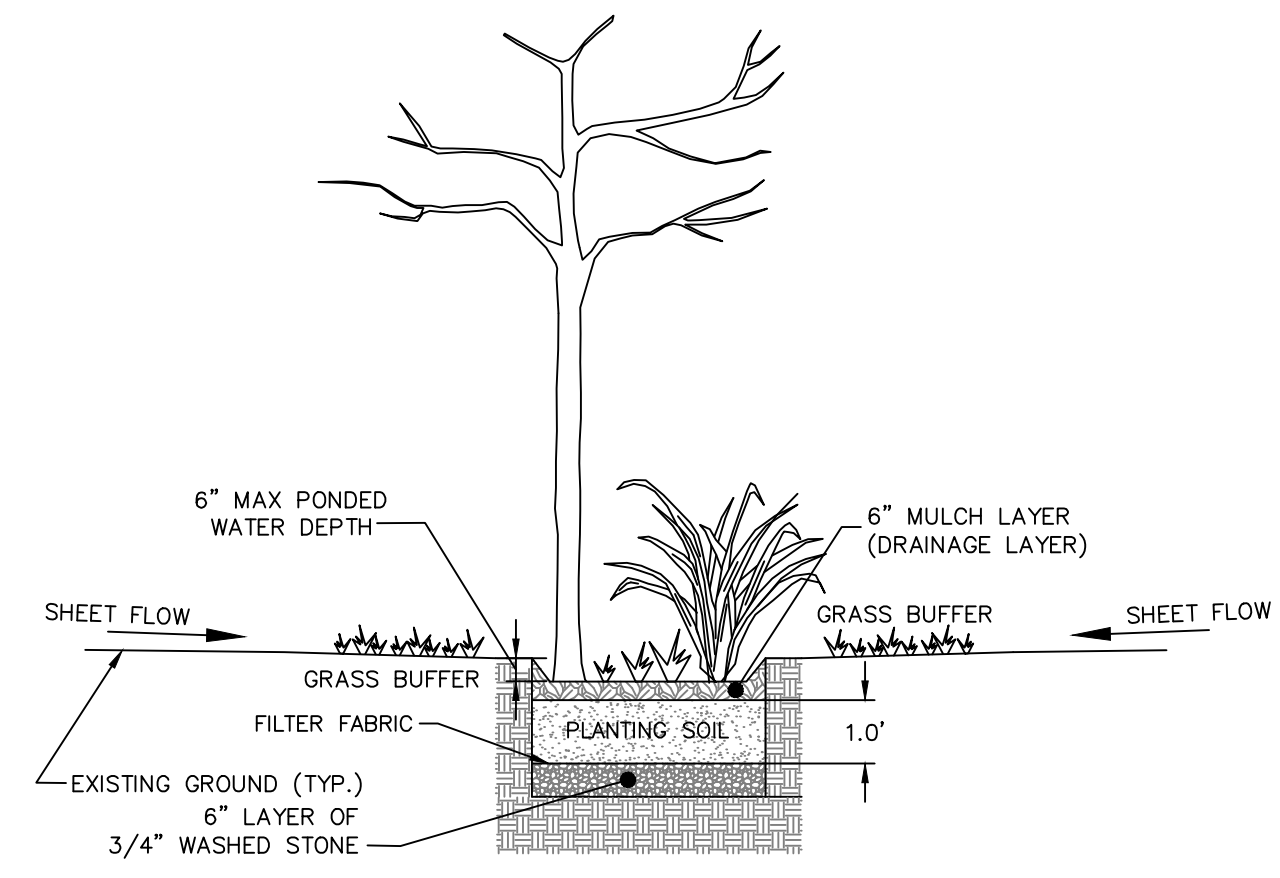
**SEAL**  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOHLER, P.E.  
NYS LICENSE NO. 082716

SHEET: 2 OF 5



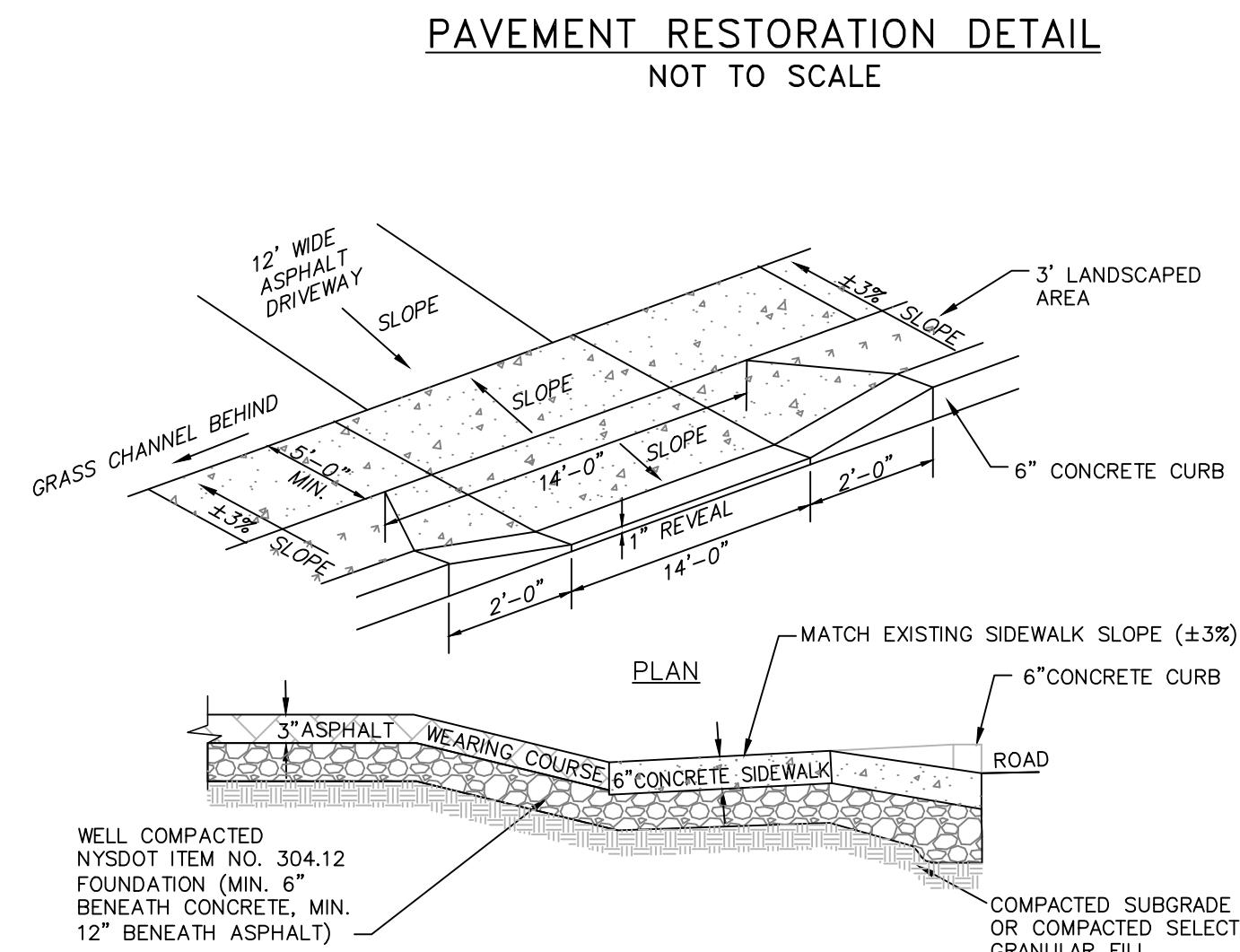
**NOTES:**  
 1. CONCRETE CURB SHALL BE 4,000 PSI CAST-IN-PLACE, AND IN ACCORDANCE WITH NYSOT STANDARD SPECIFICATION SECTION 609.  
 2. EXPANSION JOINTS OF 1/2\"/>

**CAST-IN-PLACE CONCRETE CURB DETAIL NOT TO SCALE**



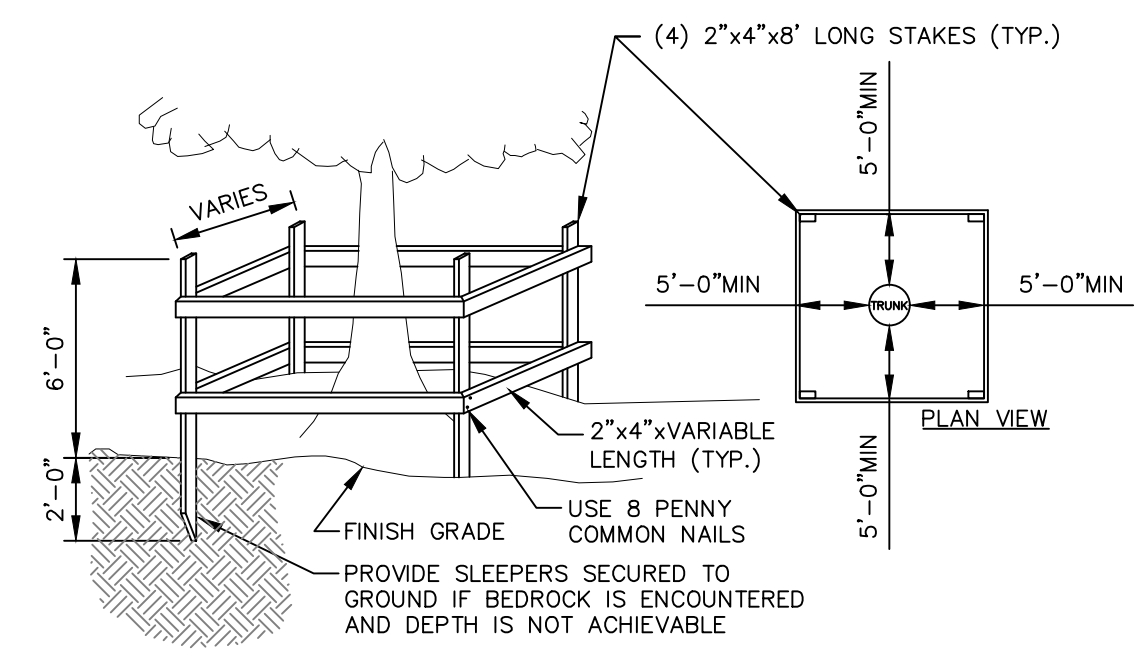
**NOTES:**  
 1. RAIN GARDEN TO HAVE A MINIMUM FOOTPRINT OF 60 SQUARE FEET WITH 10:1 SIDE SLOPES AT 0.5' DEEP, 1.0' SOIL MEDIA DEPTH, 0.5' DRAINAGE LAYER DEPTH, AND 0.5' PONDING DEPTH.  
 2. DIRECT ROOF LEADER DISCHARGE TO RAIN GARDEN.  
 3. PLANTS SHALL BE PLACED IN AREA SHOWN ON THE PLAN.

**TYPICAL RAIN GARDEN DETAIL NOT TO SCALE**



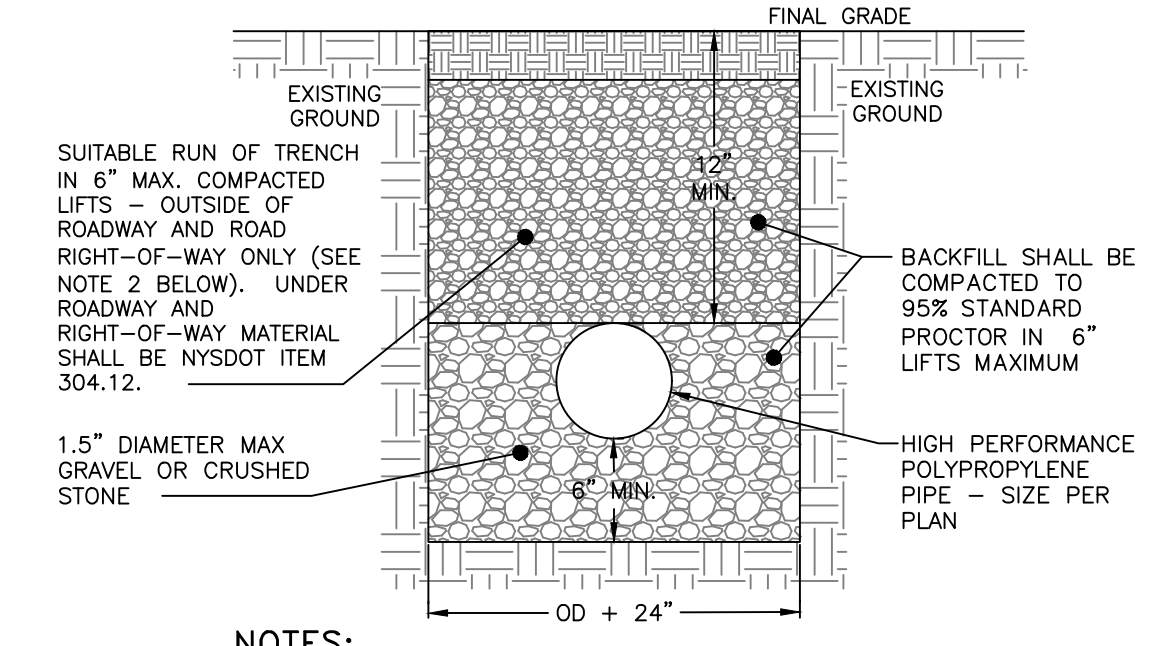
**NOTES:**  
 1. PRE-MOLDED EXPANSION JOINTS TO BE USED AT ALL JOINTS.  
 2. DRIVEWAY SHALL BE PAVED AFTER THE SIDEWALK.  
 3. EXISTING SIDEWALK TO REMAIN UNTOUCHED.  
 4. CONCRETE SHALL BE SEALED WITH A SALT RESISTANT SEALER.

**DRIVEWAY ENTRANCE DETAIL NOT TO SCALE**



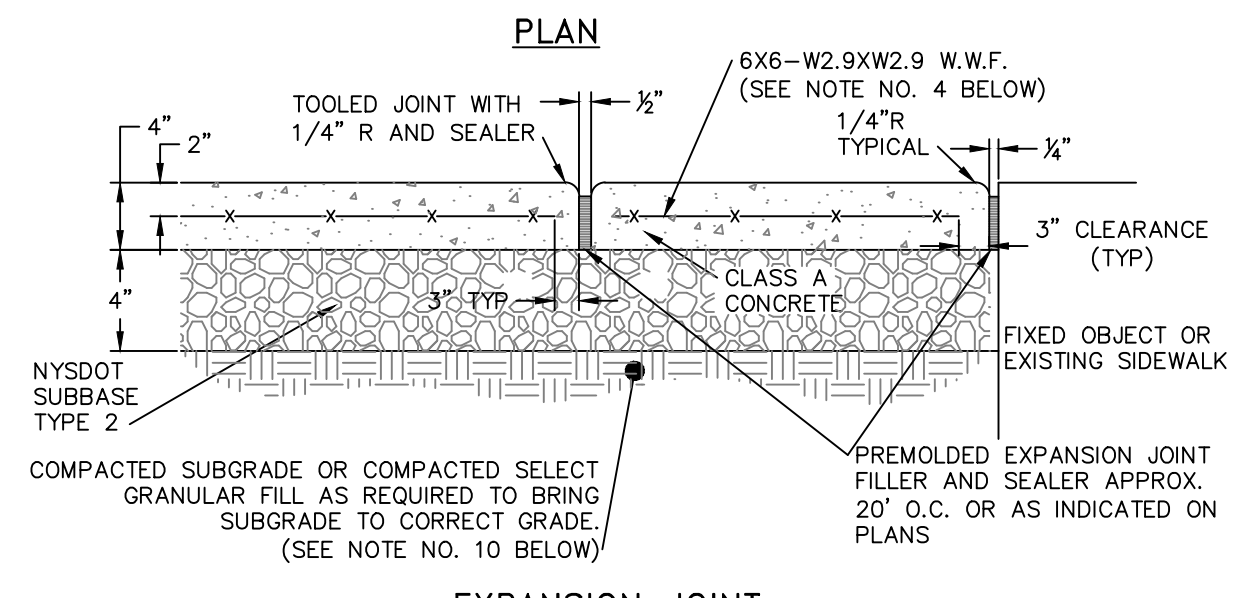
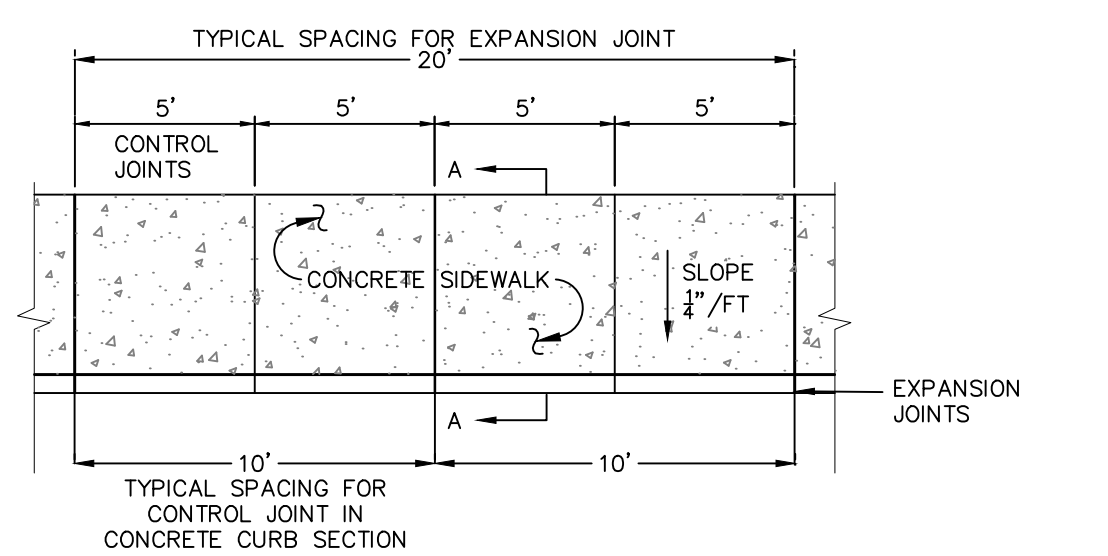
**NOTES:**  
 1. TREES TO REMAIN NOTED ON EXISTING CONDITIONS PLAN.  
 2. NOT ALL TREES TO REMAIN REQUIRE PROTECTION. TREE PROTECTION TO BE UTILIZED ON TREES WHERE CONSTRUCTION TRAFFIC WOULD COMPACT THE ROOT ZONE OF THE TREE.

**TEMPORARY TREE PROTECTION DETAIL NOT TO SCALE**



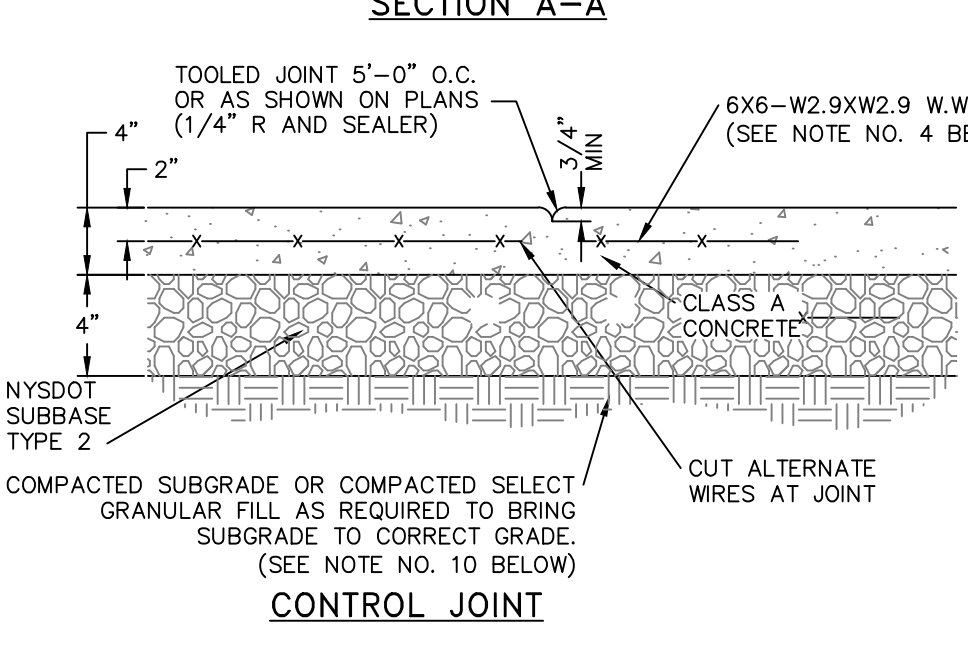
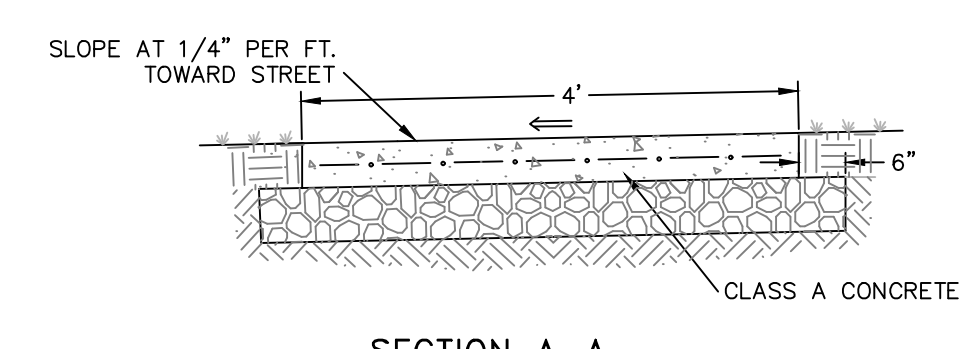
**NOTES:**  
 1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

**STORM LINE TRENCH DETAIL NOT TO SCALE**

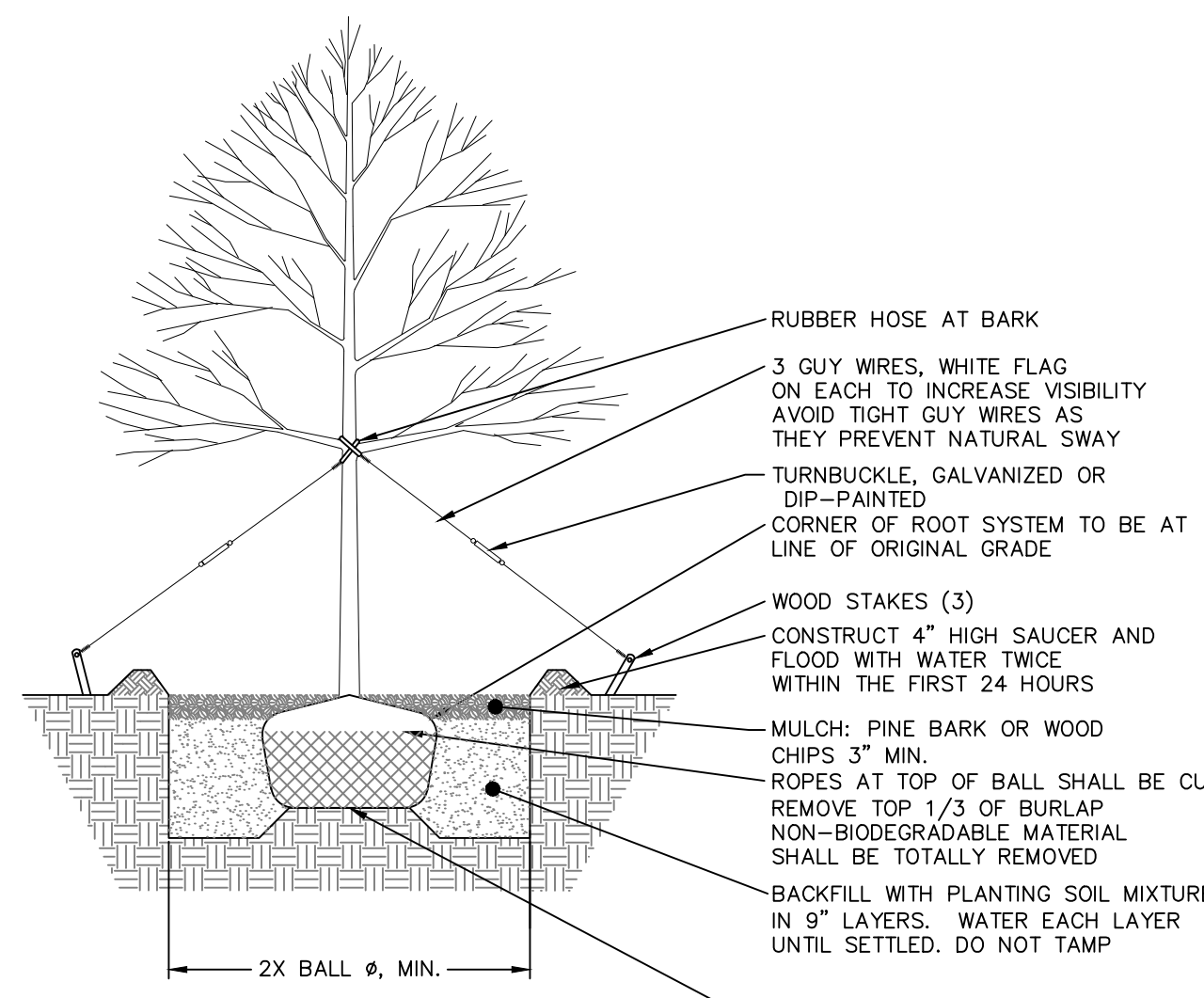


**NOTES:**  
 1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.  
 2. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002, AND ALL ADDENDA THERE TO; THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.  
 3. ALL CONCRETE SHALL BE 3,500 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.  
 4. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.  
 5. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.  
 6. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20' ON CENTER, OR AS INDICATED ON PLANS.  
 7. JOINTS SHALL NOT BE SAW CUT.  
 8. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFE BOND" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
 9. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSOT STANDARD.  
 10. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.  
 11. ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.  
 12. CONCRETE SHALL BE SEALED WITH A SALT RESISTANT SEALER.

**CONCRETE SIDEWALK DETAIL NOT TO SCALE**



**CONTROL JOINT**



**NOTES:**  
 1. PROPOSED TREES TO BE ARBOVITAE, REFER TO SHEET 2 PLANS FOR LOCATIONS.

**TREE PLANTING DETAIL NOT TO SCALE**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ SECRETARY  
 IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**SITE DETAILS**  
**55 PROSPECT STREET**

55 PROSPECT STREET  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6054-46-243586  
 SCALE: 1" = 20'  
 FEBRUARY 28, 2017

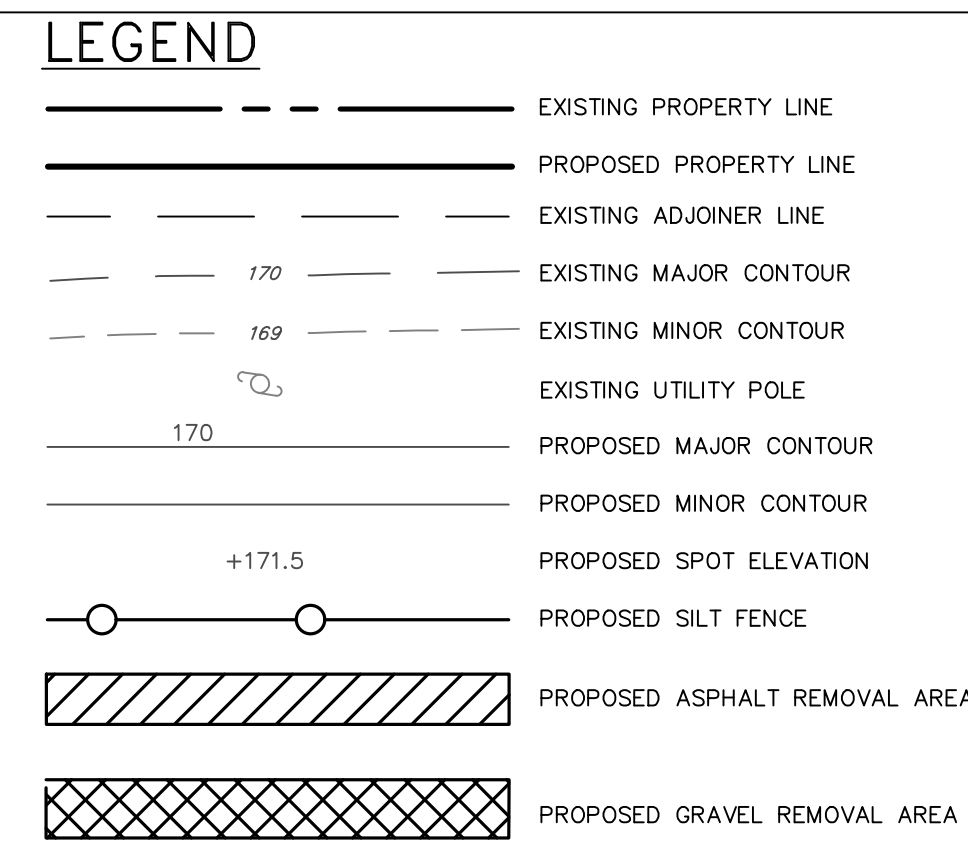
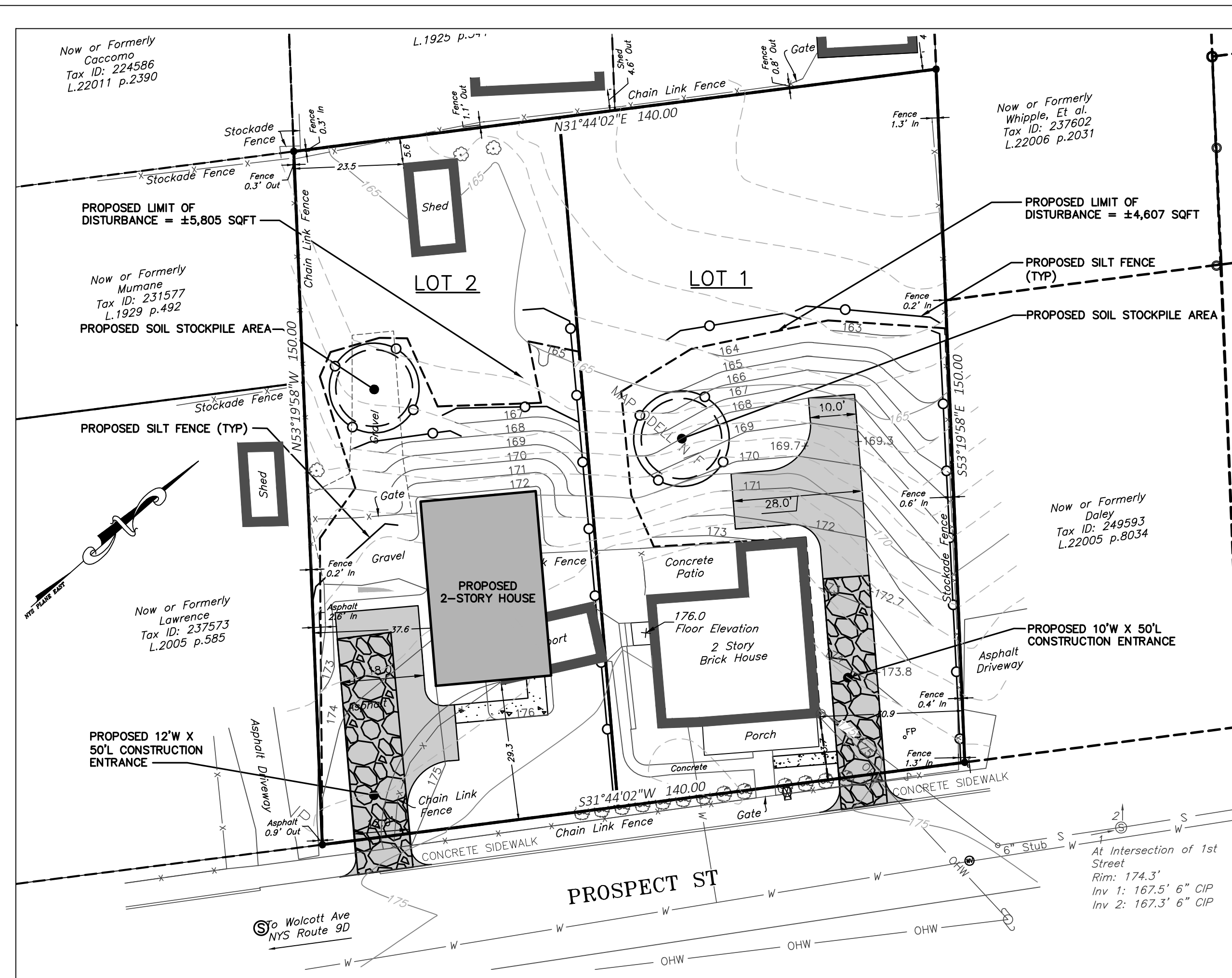


HUDSON LAND DESIGN  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN STREET  
 BEACON, NEW YORK 12508  
 PH: 845-440-6926 F: 845-440-6637

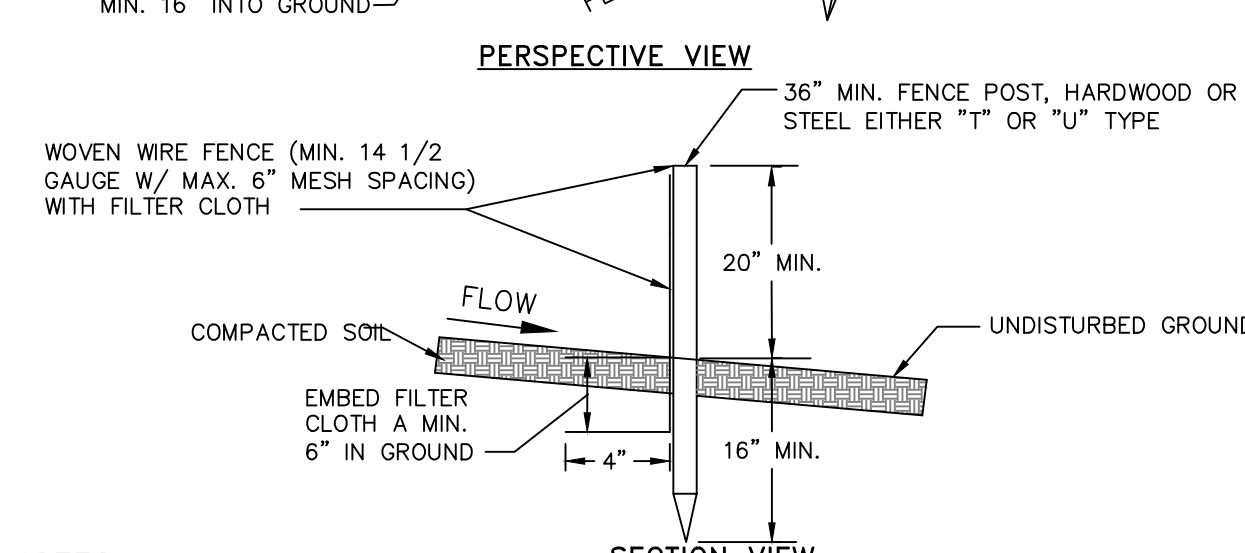
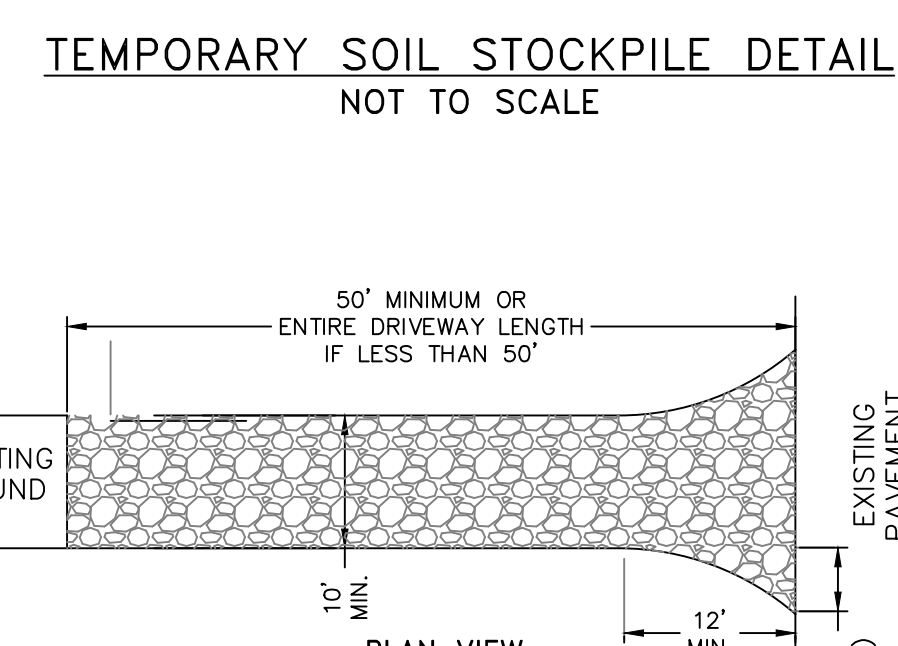
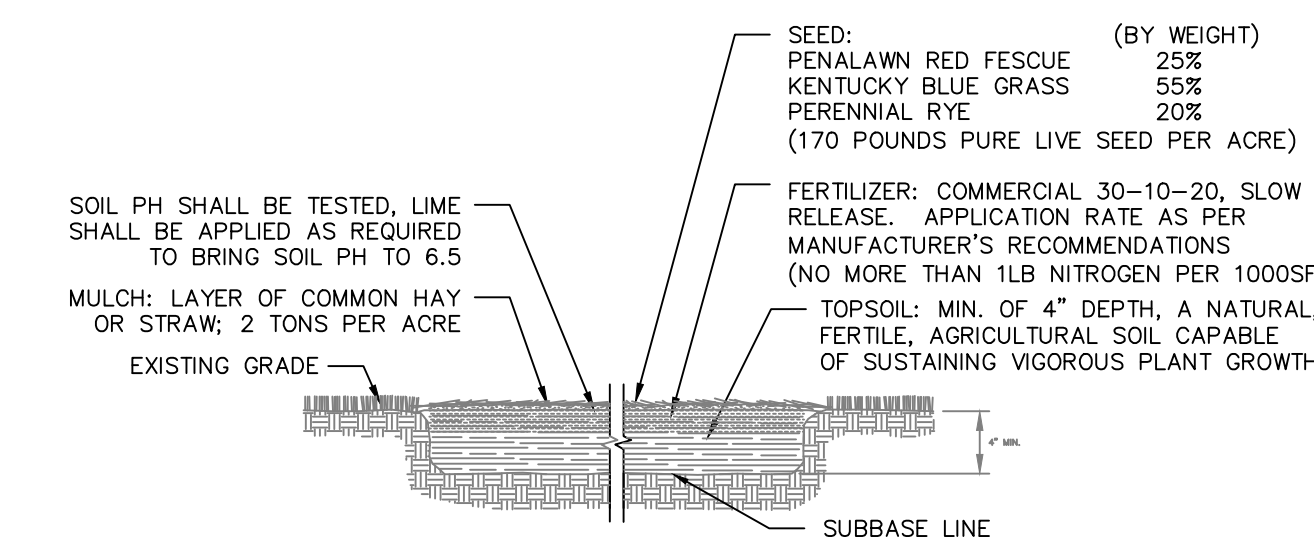
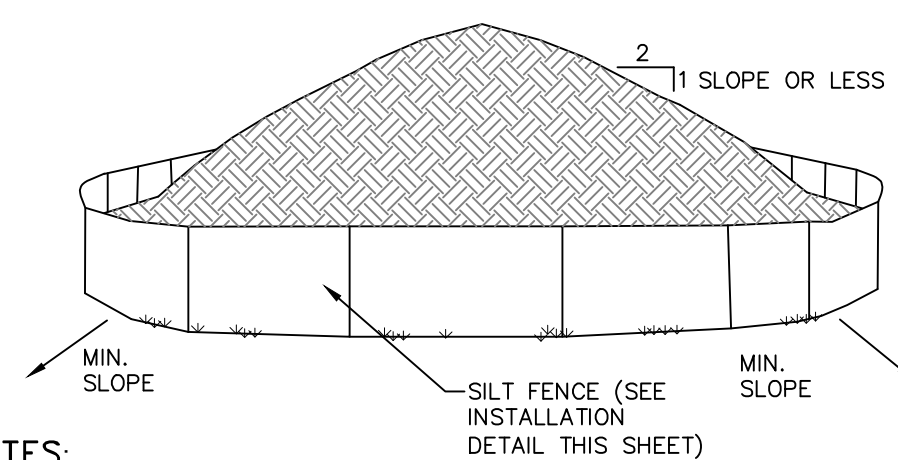
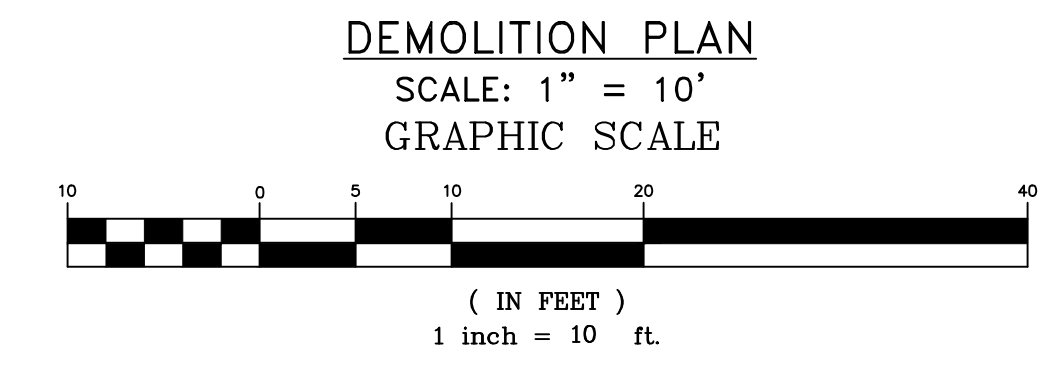
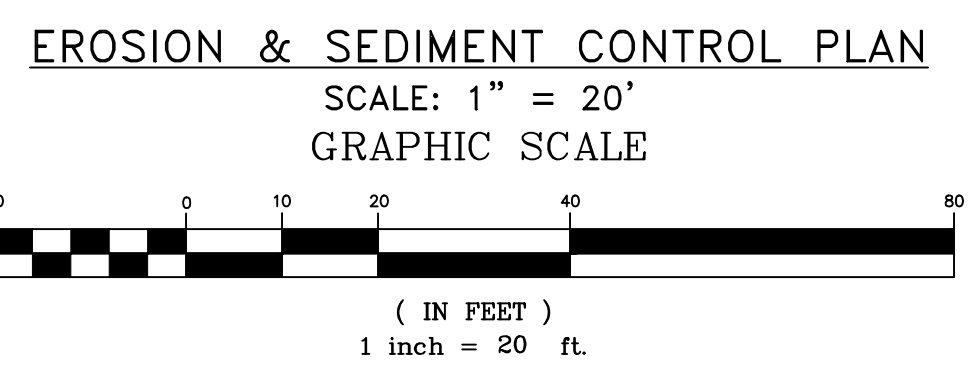
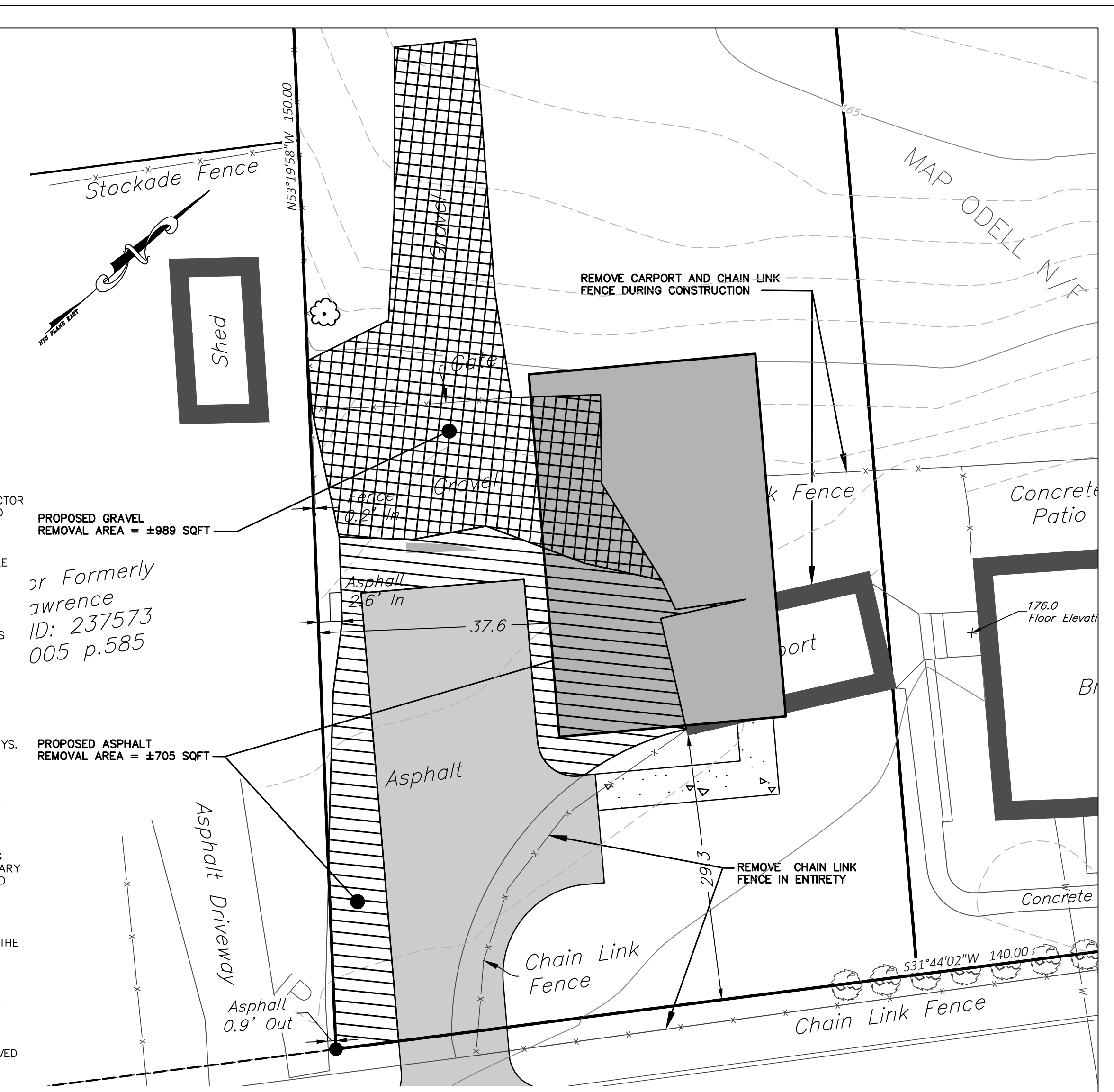


SEAL  
 JON D. BODENDORF, P.E.  
 NYS LICENSE NO. 076245  
 DANIEL G. KOEHLER, P.E.  
 NYS LICENSE NO. 082716

DRAWN BY: AG		CHECKED BY: MAB		JOB NO.: 2017:002	
REVISIONS:					
NO.	DATE	DESCRIPTION	BY		
1	03/28/2017	PER CONSULTANTS COMMENTS	AG		
2	04/25/2017	PER CONSULTANTS COMMENTS	AG		



- EROSION AND SEDIMENT CONTROL NOTES:**
1. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
  2. ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
  3. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  4. ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
  5. PERMANENT SEEDING AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAILS SHEET.
  6. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
  7. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
  8. THE TOWN ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
  9. THE TOWN AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
  10. THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
  11. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
  12. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE TOWN ENGINEER AND QUALIFIED PROFESSIONAL.



- NOTES:**
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  3. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  4. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- NOTES:**
1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>
  2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
  3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
  4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**Dig Safely. New York**  
 800-962-7962  
 www.digsafelyny.com

Call Before You Dig  
 Wait The Required Time  
 Confirm Utility Response  
 Respect The Marks  
 Dig With Care

NO.	DATE	DESCRIPTION	BY
1	03/28/2017	PER CONSULTANTS COMMENTS	AG
2	04/25/2017	PER CONSULTANTS COMMENTS	AG

**EROSION & SEDIMENT CONTROL PLAN**  
**55 PROSPECT STREET**

55 PROSPECT STREET  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX ID: 6054-46-243586  
 SCALE: AS NOTED  
 FEBRUARY 28, 2017

**HUDSON LAND DESIGN**  
 PROFESSIONAL ENGINEERING P.C.  
 174 MAIN STREET  
 BEACON, NEW YORK 12508  
 PH: 845-440-6926 F: 845-440-6637

SEAL  
 JON D. BODENDORF, P.E.  
 NYS LICENSE NO. 076245  
 DANIEL G. KOHLER, P.E.  
 NYS LICENSE NO. 082716



To: Jay Sheers, Chair, and the City of Beacon Planning Board  
Date: May 5, 2016  
Re: **55 Prospect Street Subdivision**

I have reviewed the April 25, 2017 response letter from Hudson Land Design and a 5-sheet Preliminary Subdivision Plan, with sheet 1 dated April 17, 2017 and the other four revised sheets dated April 25, 2017.

### **Proposal**

The applicant is proposing to subdivide an existing 0.48-acre parcel in the R1-5 district to create two lots for the construction of a new single family residence.

### **Comments and Recommendations**

1. The Plat should show any existing major trees over six inches in diameter on the lots and indicate any significant trees that will be removed.
2. The Board may request additional street trees along the lot frontages. The plan should indicate which evergreens along the frontage will be removed to allow for an adequate sight distance at the Lot 1 driveway.
3. The Lot 1 driveway design has inadequate area to park two cars side-by-side and back up. The parking area should be 18 feet wide to accommodate two cars.
4. To reduce pavement in the front yard, the Board should consider narrowing the Lot 2 driveway width to 10 feet and eliminating the non-functional back-up area in the front yard.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Michael A. Bodendorf, P.E., Hudson Land Design

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

May 3, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: O'Dell Subdivision  
55 Prospect Street Subdivision  
City of Beacon  
Tax Map No. 6054-46-243586

Dear Mr. Sheers:

The applicant is looking to subdivide an existing 0.48 ± acre parcel, located at 55 Prospect Street, into 2 residential parcels. We have reviewed the following plans as related to O'Dell Subdivision:

- Sheet 1 of 5, entitled "Preliminary Plat – Subdivision of Lands of O'Dell", with the latest revision date of April 17, 2017, as prepared by TEC Land Surveying.
- Sheet 2 of 5, entitled "Preliminary Subdivision Plan", with the latest revision date of April 25, 2017, as prepared by Hudson Land Design, PC.
- Sheet 3 of 5, entitled "Erosion and Sediment Control Plan", with the latest revision date of April 25, 2017, as prepared by Hudson Land Design, PC.
- Sheet 4 of 5, entitled "Site Details", with the latest revision date of April 25, 2017, as prepared by Hudson land Design, P.C.
- Sheet 5 of 5, entitled "Construction Details", with the latest revision date of April 25, 2017, as prepared by Hudson Land Design, P.C.

Based upon our review of the above referenced submitted plans, we offer the following comments:

Subdivision Plat:

1. The title should be revised to read "Subdivision Plat for Lands of O'Dell".
2. A distance should be provided for the sewer line run between the 6" stub and the manhole at 1<sup>st</sup> Street, along with providing a break line in the sewer line run itself given the plan is to scale, but the scaled distance to these points is not correct.

Subdivision Plan:

1. The title of the sheet should be revised to remove the word "Preliminary".
2. The Applicant is proposing to install/extend the sewer main from the Union Street intersection up Prospect Street to proposed Lot 2. The full length of this run should be shown on the plans, along with a profile being provided for this sewer extension. It should be further noted that this sewer extension will require approval from the Dutchess County Department of Health, as it is an extension of a municipal sewer collection system.
3. All though the plan shows the existing sidewalk to be replaced where disturbed by the proposed sewer and water utilities to service Lot 2, the plan should also note the replacement of the existing sidewalk at the proposed driveway entrances for each of the lots.
4. A distance should be provided for the sewer line run between the 6" stub and the manhole at 1<sup>st</sup> Street, along with providing a break line in the sewer line run itself given the plan is to scale, but the scaled distance to these points is not correct.

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,  
LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner  
Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**16 Church Street**

**Subject:**

Public hearing on application for Subdivision Approval (2 lots), submitted by Seven & One Development, LLC, 16 Church Street

**Background:**

**ATTACHMENTS:**

Description	Type
16 Church - Cover Letter	Cover Memo/Letter
16 Church - Subdivision Plat	Plans
16 Church - Planner Review	Consultant Comment
16 Church - Engineer Review	Consultant Comment
16 Church - Draft Resolution	Resolution

# M. A. Day Engineering, PC

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3 Van Wyck Lane  
Suite 2  
Wappingers Falls, New York 12590  
Phone: 845-223-3202

April 24, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, New York 12508

Re: **16 Church St.**  
**City of beacon**  
**Tax Map No. 5954-28-885953**

Dear Mr. Sheers

The following are our responses to the comments offered by Lanc & Tully Engineering and Surveying, P.C. in the letter to the Planning Board dated April 3, 2017:

## General Comments:

1. Based upon the I&I Study conducted by the applicant's engineer, it was found that a number of roof drains and the sump pit drain to the sanitary sewer line. As part of this project, the applicant shall disconnect all storm drainage connections from the City's sanitary sewer line. The plans should also show where the roof drains will drain to, as well as where the sump pit will drain to. Furthermore, Note No. 3 on Sheet 2 of 4 should be revised to state "Upon disconnection of the roof drains and sump pits from the sanitary line, the City of Beacon Building Department shall be contacted to verify that all disconnections have been made.

**Response: Roof drains and sump pit have been shown to discharge at downspouts, with splash blocks to be provided. Note No. 3 on sheet 'CS101' 2 of 4 has been revised to read "Upon disconnection of the roof drains and sump pits from the sanitary line, the City of Beacon Building Department shall be contacted to verify all disconnections have been made."**

2. All Sheets that have been revised shall be provided with a revision date.

**Response: A revision date has been added to all sheets being revised with this submission.**

## Cover Sheet:

1. Note (b) under zoning bulk regulations should be revised to specifically state what the zoning variance was issued for. We would also recommend that this note be added to the Subdivision Plat.  
**Response: Note (b) under zoning bulk regulations has been revised to read "Area variance was granted by the Zoning Board of Appeals on February 22, 2017 to allow for a 26.5 ft rear yard setback where 30 ft is required by code."**

16 Church Street  
M.A. Day Job #: 2016.325

Subdivision Plat:

1. The driveway of the neighboring parcel to the north-east encroaches on proposed Lot 2 by approximately 2.5±feet. How will this be addressed?  
**Response: The section of driveway that encroaches upon the proposed Lot 2 shall be removed. A note that reads "Existing Driveway Encroachment T.B.R." has been added to sheet 'CS101' titled 'Preliminary Subdivision Plat'.**
2. The spot elevations shown on the survey drawing should be provided on the subdivision plat  
**Response: Spot elevations shown on the survey has been provided on the subdivision plat.**
3. The location of the upstream manhole along North Elm Street should be provided on the plan, along with the rim and pipe invert(s) of the sewer line running along North Elm Street.  
**Response: Location of upstream manhole falls outside of the drawing window. As such a break line has been placed on the sewer line with the manhole at North Elm St. & Oak St called out with Rim and Invert shown.**
4. As the proposed dwelling unit for Lot 2 is proposed to have a basement, a note should be added to the plan that reads "Sump Pumps to be provided for footing drains, if necessary. The type of pump and methods used to ensure proper drainage shall be acceptable to the City of Beacon Building Department."  
**Response: A note that reads "Sump Pumps to be provided for footing drains, if necessary. The type of pump and methods used to ensure proper drainage shall be acceptable to the City of Beacon Building Department" has been added to sheet 'CS101' titled 'Preliminary Subdivision Plat' under Site Notes.**
5. The location of the proposed clean-out on the sanitary sewer service for Lot 2 should be shown on the plan  
**Response: Proposed Clean-out on the sanitary sewer service for Lot 2 has been called out roughly 10 feet off the proposed building on Lot 2.**
6. The plan should show where the proposed roof leaders and sump pits for Lots 1 and 2 will drain to.  
**Response: A note has been added that reads "Leaders to discharge at downspouts, splash blocks are to be provided." On sheet 'CS101' titled 'Preliminary Subdivision Plat'.**

Construction Detail Plan:

1. The concrete curb and driveway entrance details should note the Item #4 subbase material to be used within the road right-of-way as NYSDOT Item No. 304.12  
**Response: Concrete curb and driveway entrance details have been revised to show NYSDOT item No. 304.12 subbase material.**
2. As the existing water main is a 6" cast iron pipe, we would recommend that the water service detail be revised to include a tapping saddle. The detail shall note the make and model of the tapping saddle.

16 Church Street  
M.A. Day Job #: 2016.325

**Response: Water Service Line detail has been revised to show a 6" ROMAC 202S tapping saddle for water service to building.**

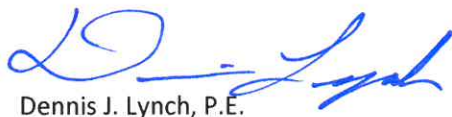
The following are our responses to the comments and recommendations offered by John Clarke Planning and Design in the correspondence to the Planning Board dated April 7, 2017:

3. The driveway of the neighboring property to the north encroaches on proposed Lot 2, which still needs to be reconciled as part of this submission.  
**Response: The area of driveway that encroaches upon proposed Lot 2 has been shown and called out as "Existing Driveway Encroachment T.B.R." on sheet "CS101" titled 'Preliminary Subdivision Plat'.**
4. The plan should include a walkway connection from the front sidewalk to the porch steps. The revised front setbacks to the porch (14 feet) and house (20 feet) seem consistent with existing houses on the block.  
**Response: A sidewalk has been added connecting the front sidewalk to the porch steps. This is shown on sheet "CS101" titled 'Preliminary Subdivision Plat'.**
5. The board should request a new street tree approximately five feet back from the front sidewalk  
**Response: A new street tree (red maple) has been proposed five feet back from the front sidewalk. This is shown on sheet 'CS101' titled 'Preliminary Subdivision Plat'**
6. To reduce pavement in the front yard, the board should consider narrowing the new driveway width to 10 feet.  
**Response: The proposed driveway for Lot 2 has been narrowed to 10 feet to reduce pavement in the front yard. This is shown on sheet "CS101" titled 'Preliminary Subdivision Plat'.**

This concludes our responses to the comments from John Clarke Planning and Design from the correspondence dated April 7, 2017.

Please feel free to contact me if you require any further information or have any questions.

Very truly yours,



Dennis J. Lynch, P.E.

Cc: File



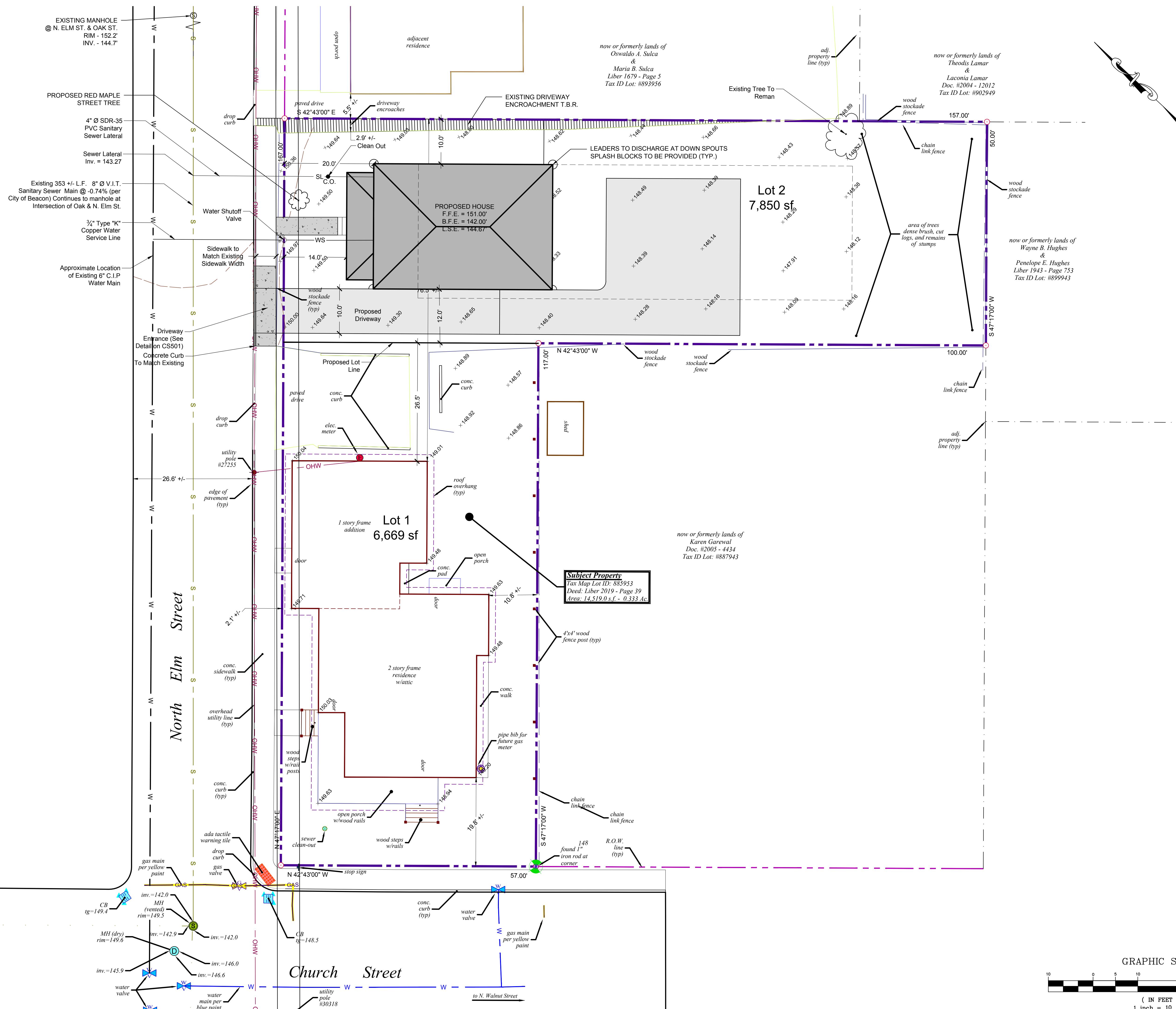


**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE (APPROX.)
- EXISTING STRUCTURES
- EXISTING CHAIN LINK FENCE
- EXISTING STOCKADE FENCE
- EXISTING UTILITY POLE
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN
- PROPOSED LOT LINE
- PROPOSED SETBACK
- PROPOSED HOUSE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED WATER SERVICE LINE
- PROPOSED WATER SHUT-OFF VALVE
- PROPOSED SANITARY SEWER LATERAL

**SITE NOTES**

1. PROPERTY BOUNDARY, UTILITIES AND TOPOGRAPHIC INFORMATION SHOWN HEREON ARE BASED ON A SURVEY ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP OF THE LANDS OF DAVERNE JUDGE-DARITY" PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC., DATED MARCH 20, 2017.
2. ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE CONTRACTOR IS TO VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AND REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR VARIATION FROM INTENT OF THE PLANS, PRIOR TO THE START OF WORK.
3. UPON DISCONNECTION OF THE ROOF DRAINS AND SUMP PITS FROM THE SANITARY LINE, THE CITY OF BEACON BUILDING DEPARTMENT SHALL BE CONTACTED TO VERIFY ALL DISCONNECTIONS HAVE BEEN MADE.
4. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.

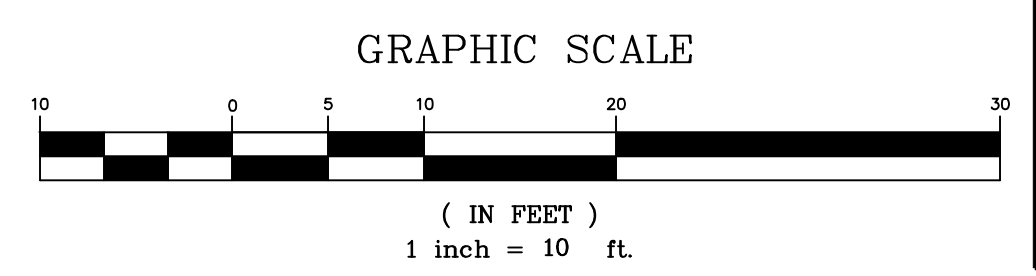


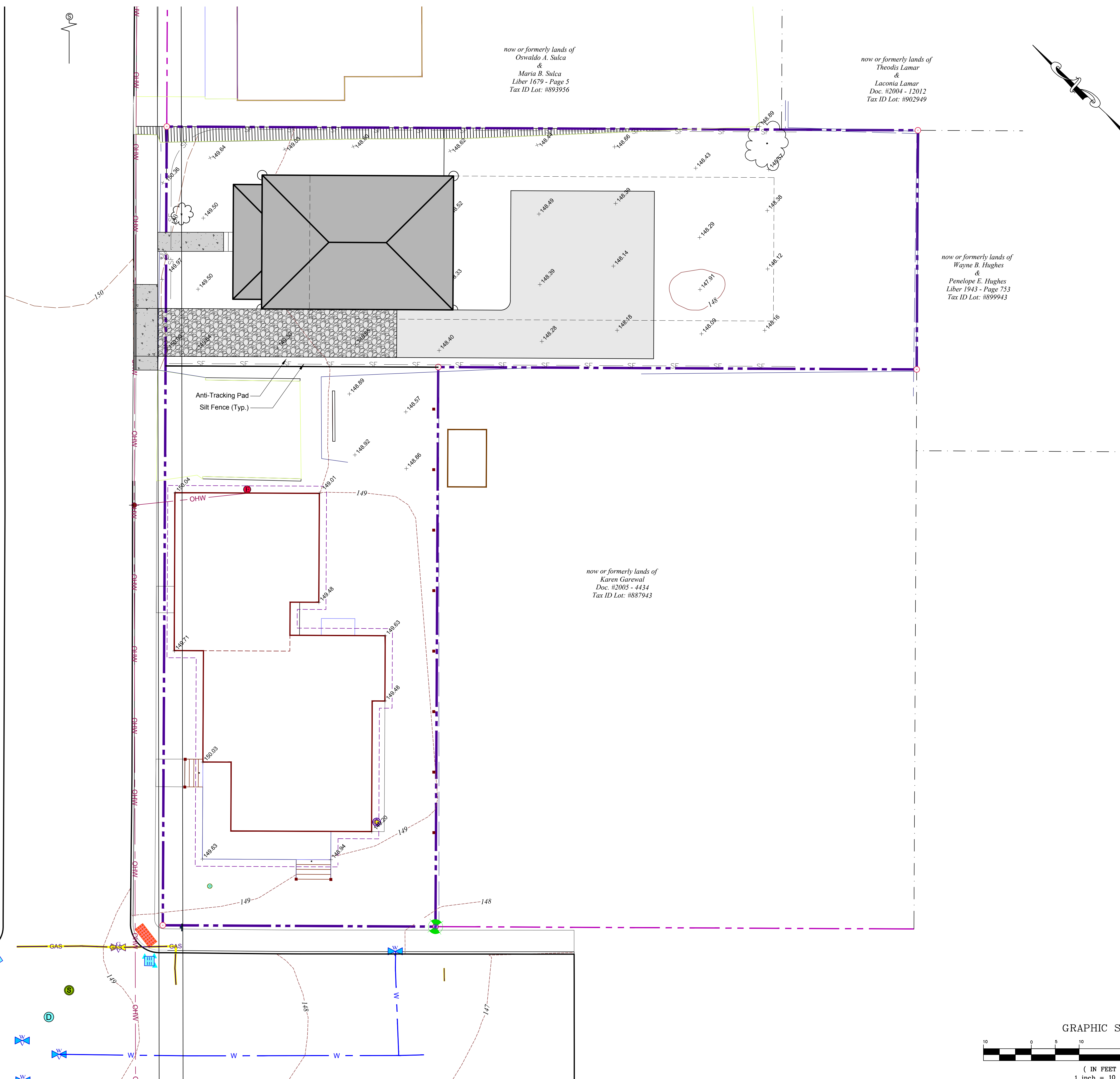
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Prepared by	Mark A. Day, PE
Project No.	2016:325
License No.	069646

**M.A. DAY Engineering, PC**  
 Consulting Engineers  
 3 Van Wyck Lane Suite 2  
 Wappingers Falls, New York  
 (845)-223-3202

PROJECT		
16 Church Street		
Tax Map No. 130200-5954-28-885953		
City of Beacon Dutchess County, New York		
DRAWING		
Preliminary Subdivision Plat		
SCALE	DATE	DRAWING NO.
1" = 10'	01-26-17	CS101
DATE	CHECKED BY	
01-26-17	DJL	
2 of 4		





**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE (APPROX.)
- EXISTING STRUCTURES
- EXISTING CHAIN LINK FENCE
- EXISTING STOCKADE FENCE
- EXISTING UTILITY POLE
- PROPOSED LOT LINE
- PROPOSED SETBACK
- PROPOSED HOUSE
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4. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.

now or formerly lands of  
Oswaldo A. Sulca  
&  
Maria B. Sulca  
Liber 1679 - Page 5  
Tax ID Lot: #893956

now or formerly lands of  
Theodis Lamar  
&  
Laconia Lamar  
Doc: #2004 - L2012  
Tax ID Lot: #902949

now or formerly lands of  
Wayne B. Hughes  
&  
Penelope E. Hughes  
Liber 1943 - Page 753  
Tax ID Lot: #899943

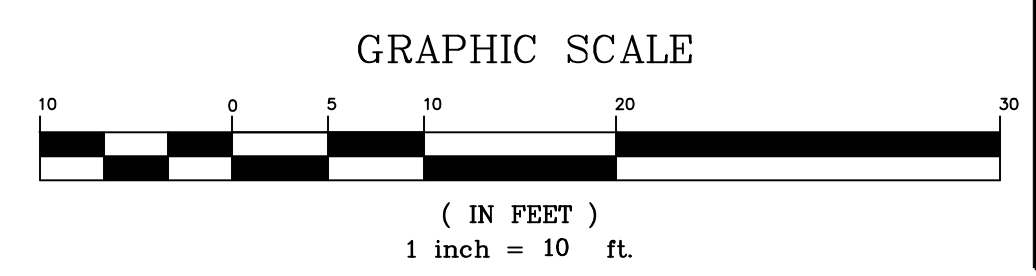
now or formerly lands of  
Karen Garewal  
Doc: #2005 - 4434  
Tax ID Lot: #887943

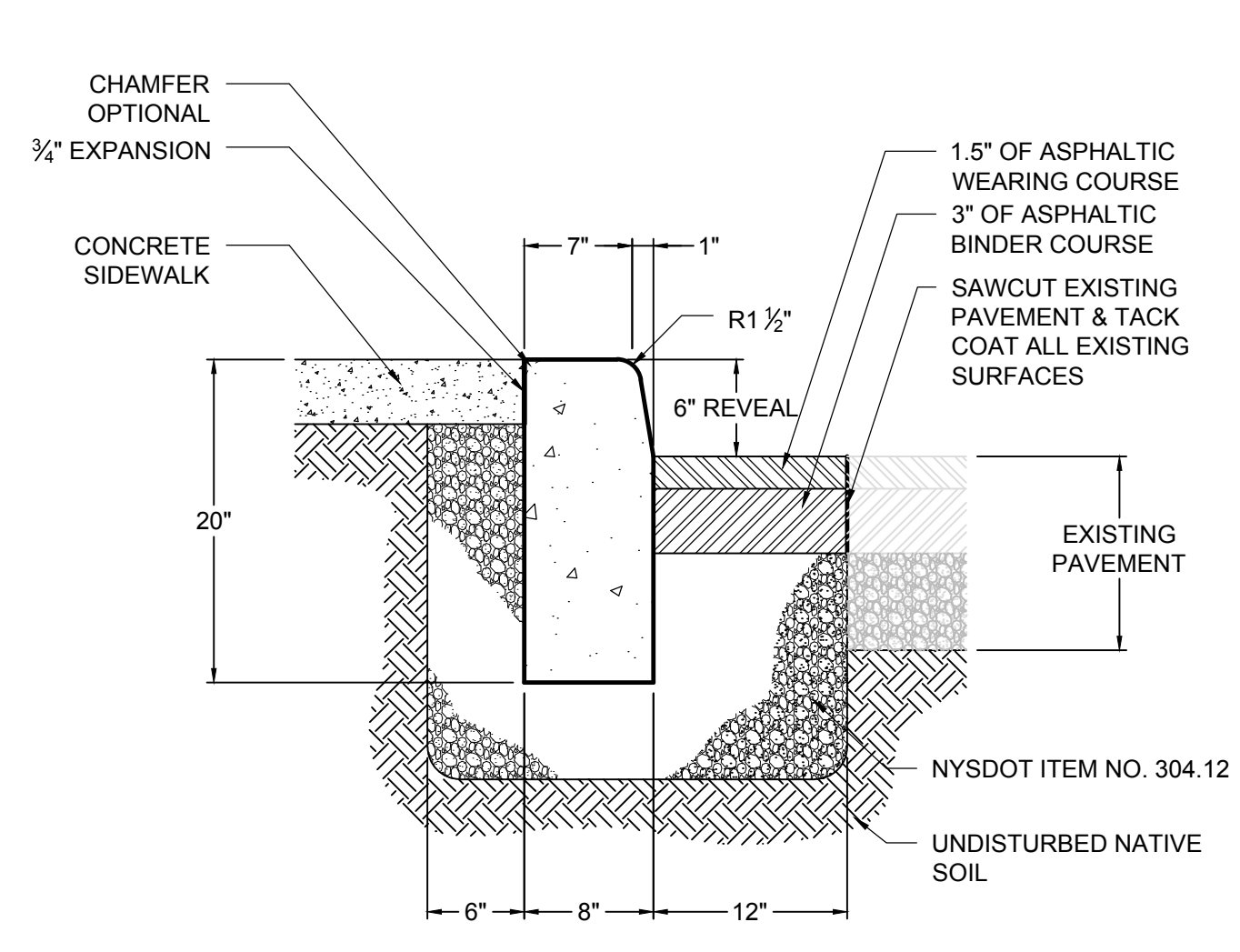
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Mark A. Day, PE	
Revision	04-24-2017
Project No.	2016-325
License No. 069646	

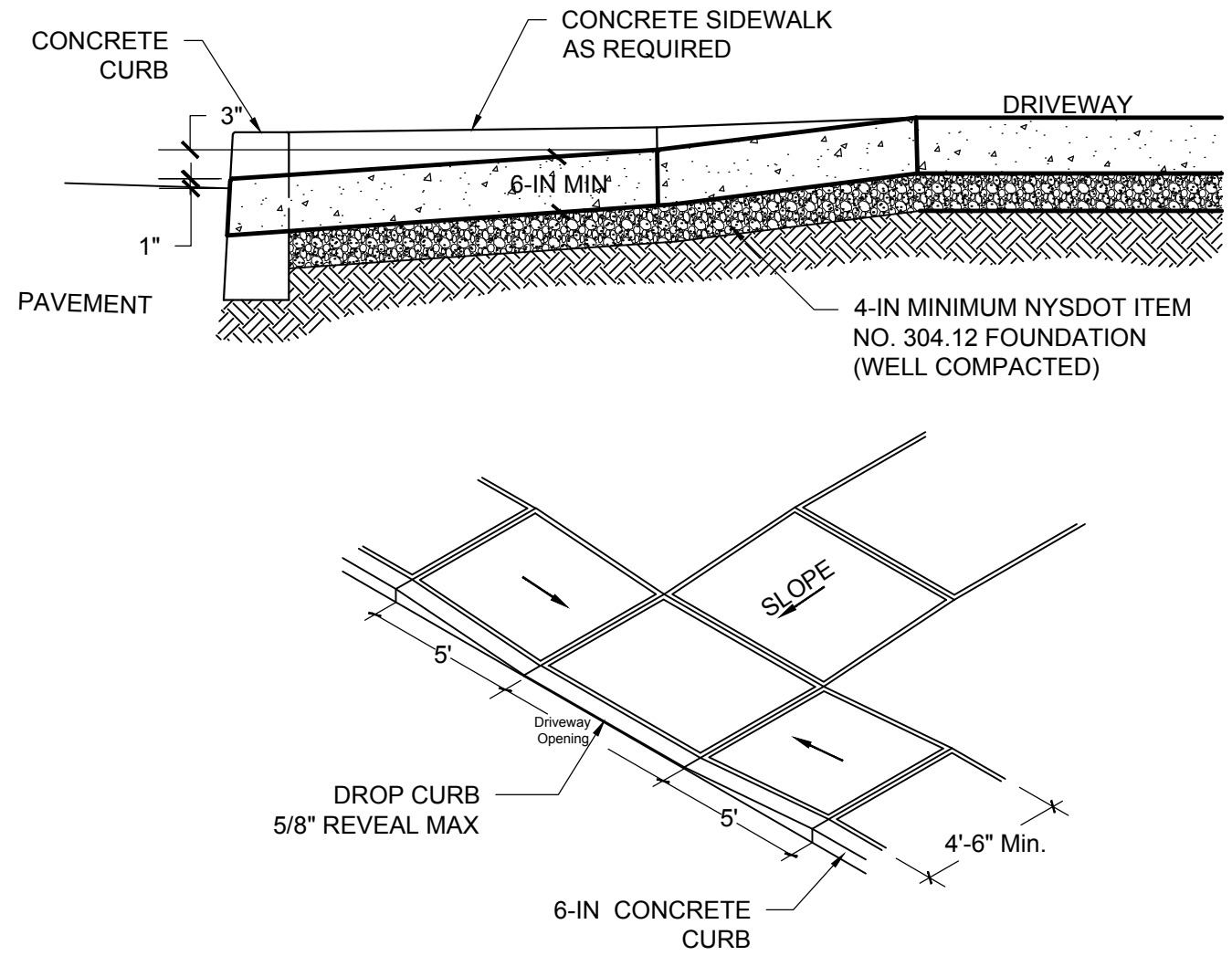
**M.A. DAY Engineering, PC**  
Consulting Engineers  
3 Van Wyck  
Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

PROJECT <b>16 Church Street</b> Tax Map No. 130200-5954-28-885953 City of Beacon Dutchess County, New York		
DRAWING <b>Grading &amp; Erosion Control Plan</b>		
SCALE 1" = 10'	DESIGNED BY DJL	DRAWING NO. <b>CS102</b> 3 of 4
DATE 01-26-17	CHECKED BY DJL	

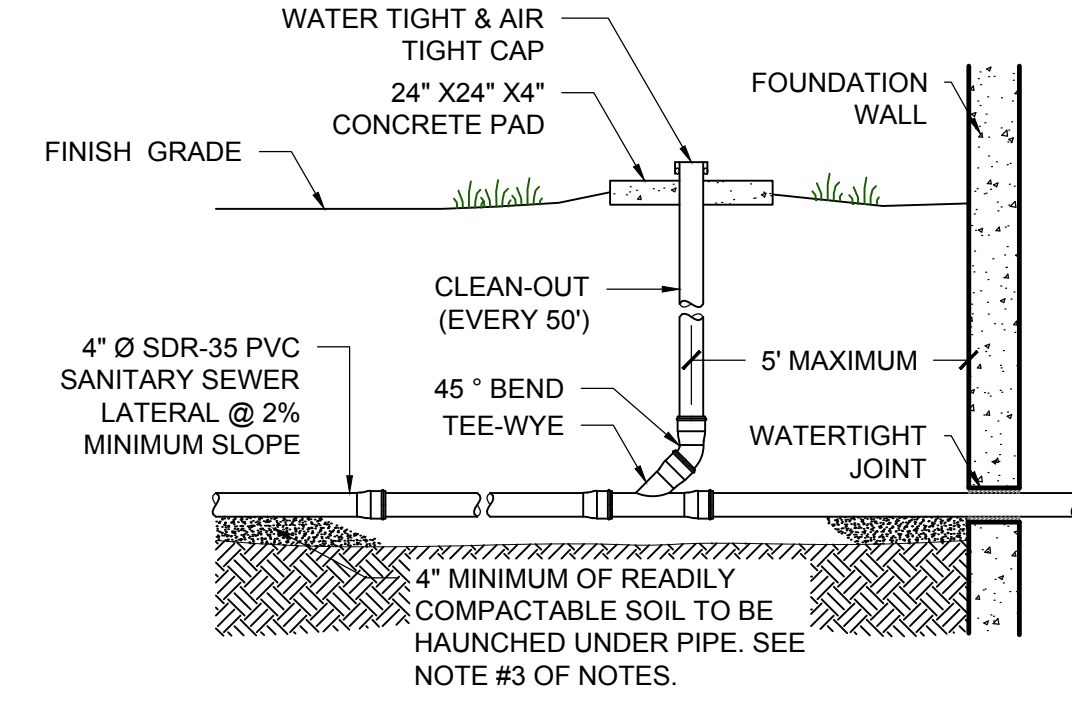




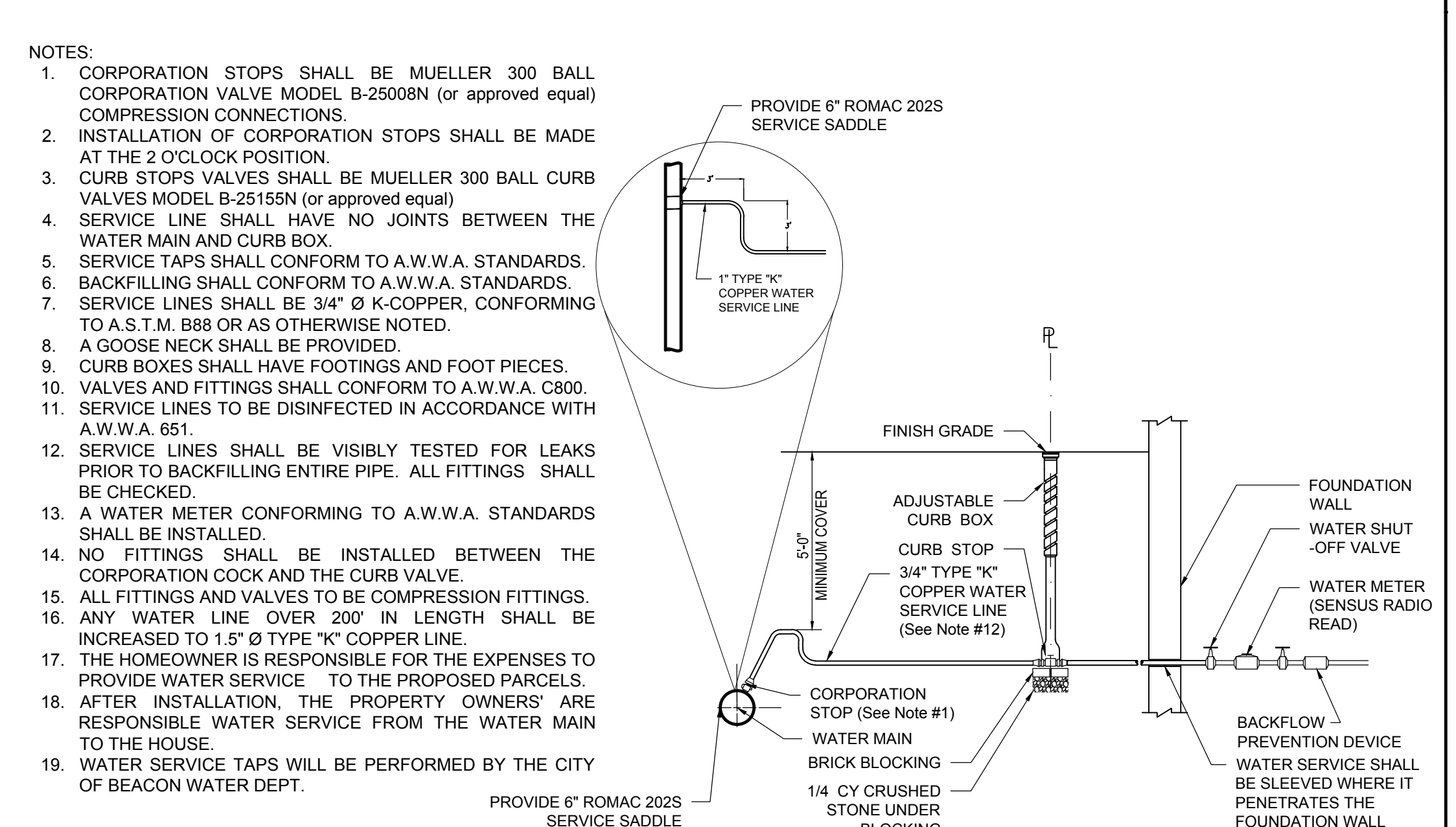
- NOTE:
1. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI
  2. EXPANSION JOINTS SHALL BE PROVIDED EVERY 10 LINER FEET
  3. CURBS AND SIDEWALKS SHALL BE SEALED WITH SALT RESISTANT SEALER.



- NOTE:
1. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI
  2. EXPANSION JOINTS SHALL BE PROVIDED EVERY 10 LINER FEET
  3. CURBS AND SIDEWALKS SHALL BE SEALED WITH SALT RESISTANT SEALER.



- NOTE:
1. A 10' MINIMUM SEPARATION DISTANCE SHALL BE MAINTAINED BETWEEN THE SEWER LATERAL AND THE WATER SERVICE LINE.
  2. THE SEWER LATERAL PIPING SHALL BE SDR-35 PVC AT 2% MIN. SLOPE. ALL JOINTS TO BE "BELL & SPIGOT" TYPE.
  3. THE MATERIAL IMMEDIATELY SURROUNDING THE PIPE TO BE READILY COMPACTABLE SOIL (SAND, LOAMY SAND OR LOAMY CLAY), FREE OF FROZEN LUMPS, DEBRIS, OR STONES LARGER THAN 3/4". THE PIPE SHALL BE BACK-FILLED IN 6" MAXIMUM LIFTS TO A FINAL COMPACTION OF 85%.
  4. A METAL DETECTION TAPE SHALL BE INSTALLED OVER THE SEWER LATERAL TO FACILITATE FUTURE LOCATION.
  5. ALL SITE SANITARY SEWER UTILITIES ARE TO BE INSTALLED BY A TOWN LICENSED PLUMBER OR QUALIFIED CONTRACTOR, IN ACCORDANCE WITH THE CITY PLUMBING CODE & INSPECTED BY THE SEWER DEPARTMENT PRIOR TO BACKFILLING.
  6. CLEAN-OUTS TO BE INSTALLED AT A MAXIMUM DISTANCE OF 50', AND AT ANGLE FITTINGS AND BENDS.
  7. EMBEDMENT OF LATERALS SHALL BE THE SAME AS THE MAINS.



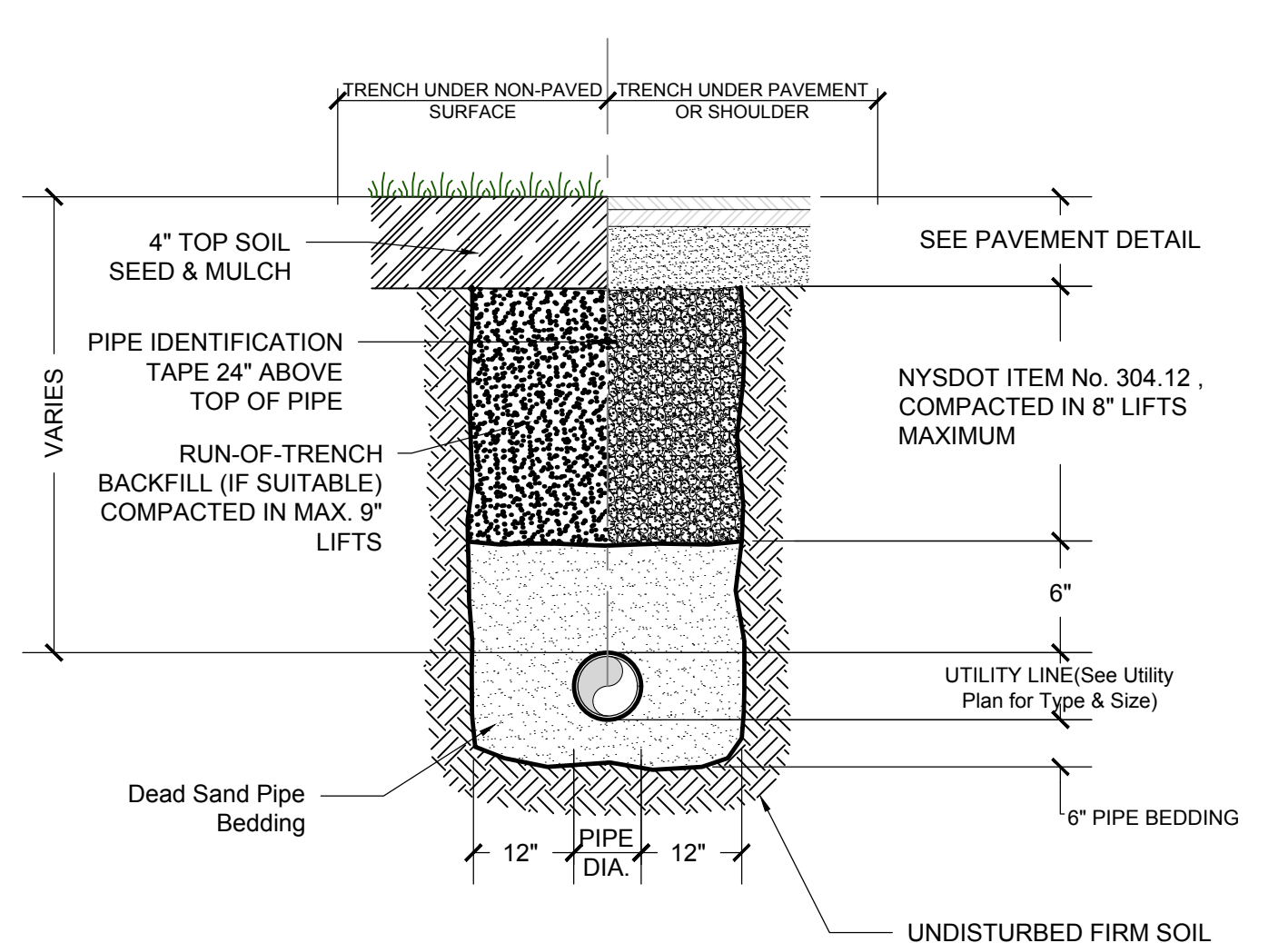
- NOTE:
1. CORPORATION STOPS SHALL BE MUELLER 300 BALL CORPORATION VALVE MODEL B-25008N (or approved equal) COMPRESSION CONNECTIONS.
  2. INSTALLATION OF CORPORATION STOPS SHALL BE MADE AT THE 2 O'CLOCK POSITION.
  3. CURB STOPS VALVES SHALL BE MUELLER 300 BALL CURB VALVES MODEL B-25155N (or approved equal)
  4. SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB BOX.
  5. SERVICE TAPS SHALL CONFORM TO A.W.W.A. STANDARDS.
  6. BACKFILLING SHALL CONFORM TO A.W.W.A. STANDARDS.
  7. SERVICE LINES SHALL BE 3/4" Ø K-COPPER, CONFORMING TO A.S.T.M. B88 OR AS OTHERWISE NOTED.
  8. A GOOSE NECK SHALL BE PROVIDED.
  9. CURB BOXES SHALL HAVE FOOTINGS AND FOOT PIECES.
  10. VALVES AND FITTINGS SHALL CONFORM TO A.W.W.A. C800.
  11. SERVICE LINES TO BE DISINFECTED IN ACCORDANCE WITH A.W.W.A. 651.
  12. SERVICE LINES SHALL BE VISIBLY TESTED FOR LEAKS PRIOR TO BACKFILLING ENTIRE PIPE. ALL FITTINGS SHALL BE CHECKED.
  13. A WATER METER CONFORMING TO A.W.W.A. STANDARDS SHALL BE INSTALLED.
  14. NO FITTINGS SHALL BE INSTALLED BETWEEN THE CORPORATION COCK AND THE CURB VALVE.
  15. ALL FITTINGS AND VALVES TO BE COMPRESSION FITTINGS.
  16. ANY WATER LINE OVER 200' IN LENGTH SHALL BE INCREASED TO 1.5" Ø TYPE "K" COPPER LINE.
  17. THE HOMEOWNER IS RESPONSIBLE FOR THE EXPENSES TO PROVIDE WATER SERVICE TO THE PROPOSED PARCELS.
  18. AFTER INSTALLATION, THE PROPERTY OWNERS' ARE RESPONSIBLE WATER SERVICE FROM THE WATER MAIN TO THE HOUSE.
  19. WATER SERVICE TAPS WILL BE PERFORMED BY THE CITY OF BEACON WATER DEPT.

1 CAST-IN-PLACE CONCRETE CURB DETAIL  
NOT TO SCALE

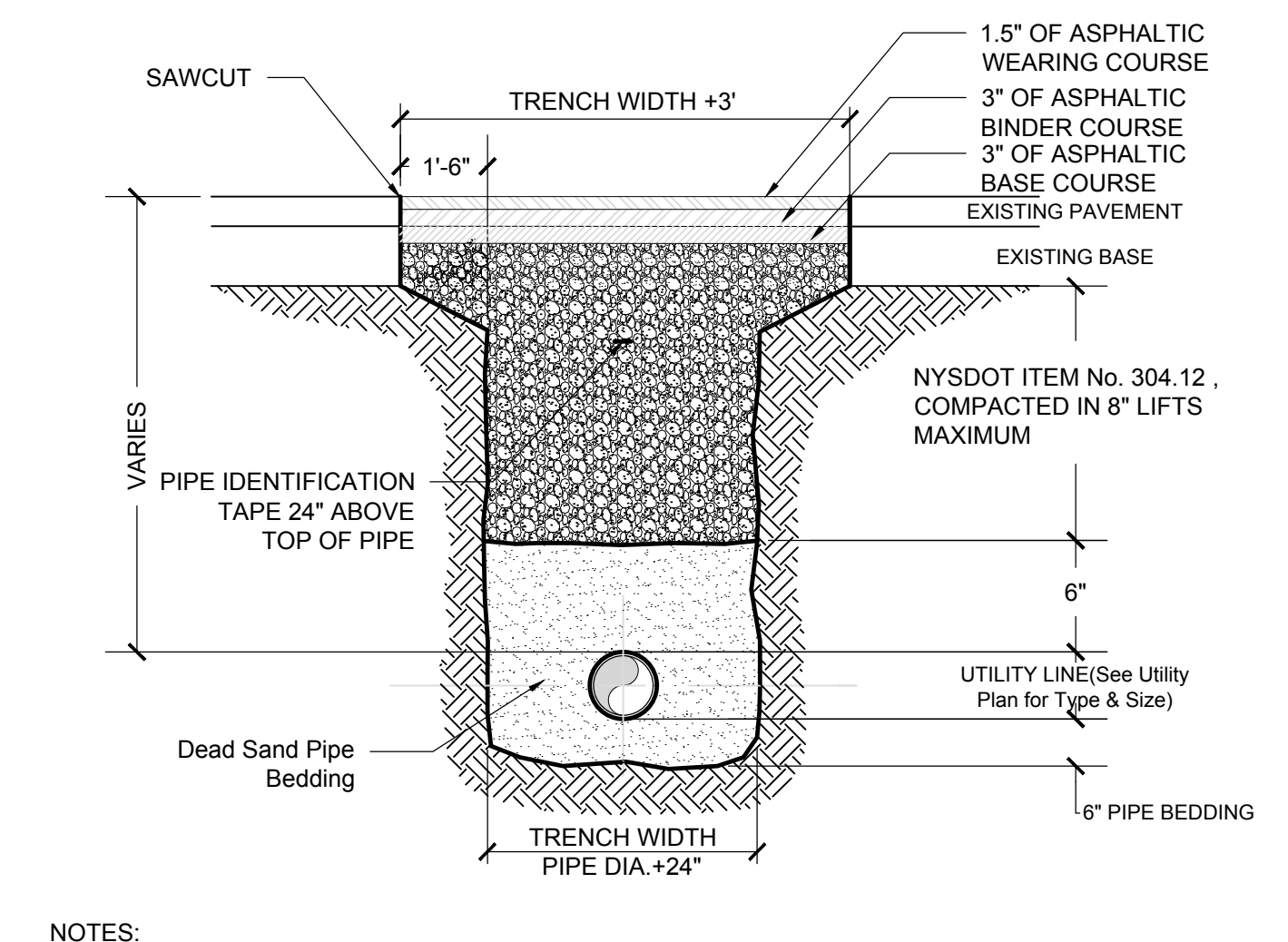
2 DRIVEWAY ENTRANCE DETAIL  
NOT TO SCALE

3 TYPICAL BUILDING SANITARY SEWER LATERAL DETAIL  
NOT TO SCALE

4 TYPICAL WATER SERVICE LINE DETAIL  
NOT TO SCALE



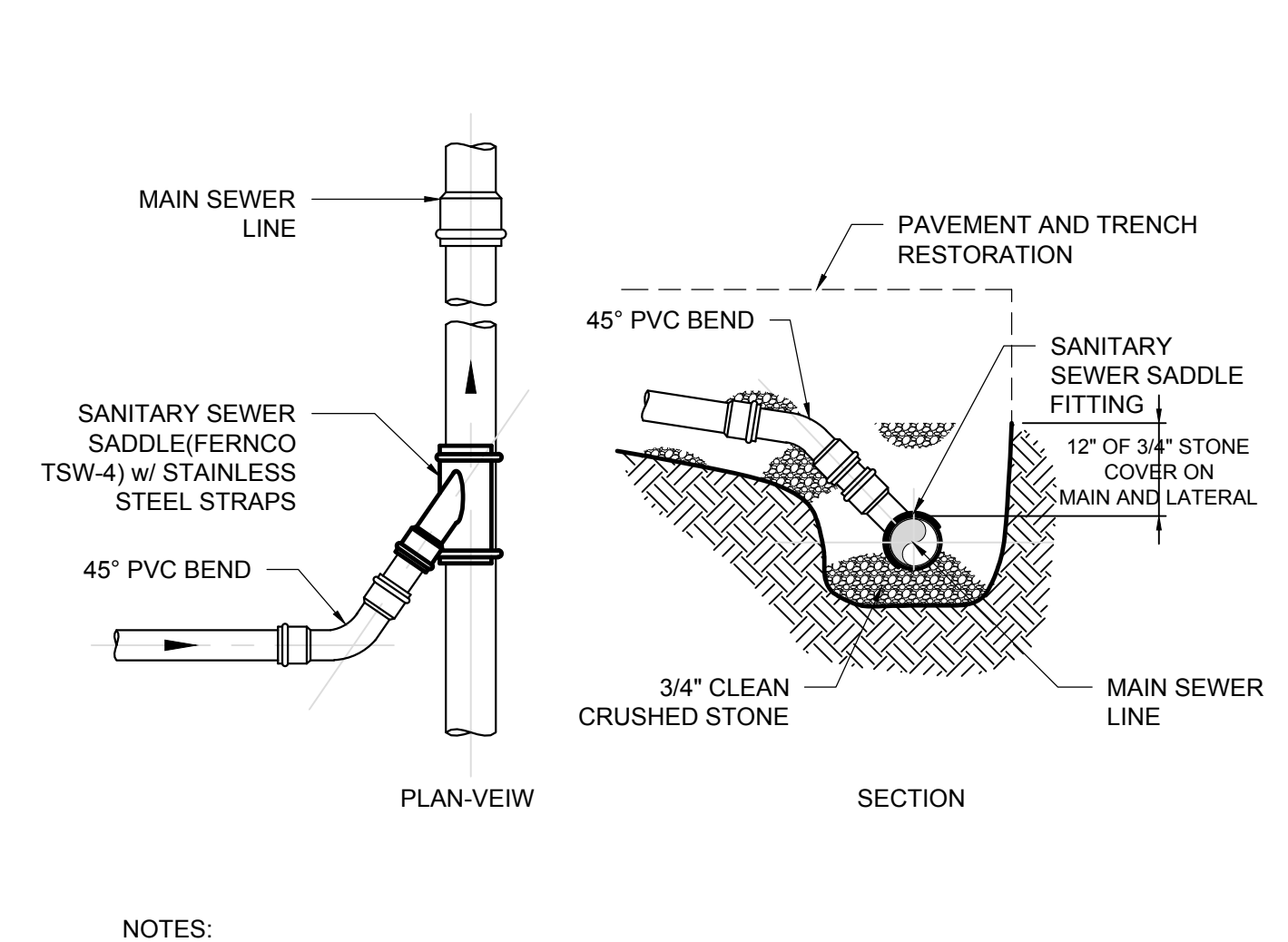
- NOTE:
1. DITCH WIDTH SHALL EXTEND A MINIMUM OF ONE AND ONE-HALF FT. FROM 1. THE EDGES OF THE TRENCH.
  2. REPLACED BASE MATERIAL OVER TRENCH SHALL BE ITEM 4 COMPACTED IN 8" LIFTS.
  3. PIPE BEDDING SHALL BE A MINIMUM OF 6" ABOVE AND BELOW PIPE
  4. ALL JOINTS SHALL BE MECHANICALLY SAWED.
  5. ALL JOINTS SHALL BE SQUARED TO THE EXISTING EDGE OF CURB AND/OR PAVEMENT, AND TACK COATED PER DETAIL.
  6. ALL JOINTS SHALL BE SEALED WITH A POLYMER MODIFIED CRACK SEALANT.



- NOTE:
1. FIELD LOCATION AND ALIGNMENT OF NEW SADDLE TO BE APPROVED BY THE CITY WATER AND SEWER SUPERINTENDENT PRIOR TO CUTTING EXISTING SANITARY SEWER MAIN.
  2. SADDLE SHALL BE A FERNCO TSW-4 4" WYE TAP SADDLE (or approved equal)
  3. NEW SADDLE ON EXISTING SANITARY SEWER MAIN IN ACCORDANCE WITH SADDLE MANUFACTURER'S REQUIREMENT, CITY OF BEACON SEWER CODE AND TEN STATE STANDARDS

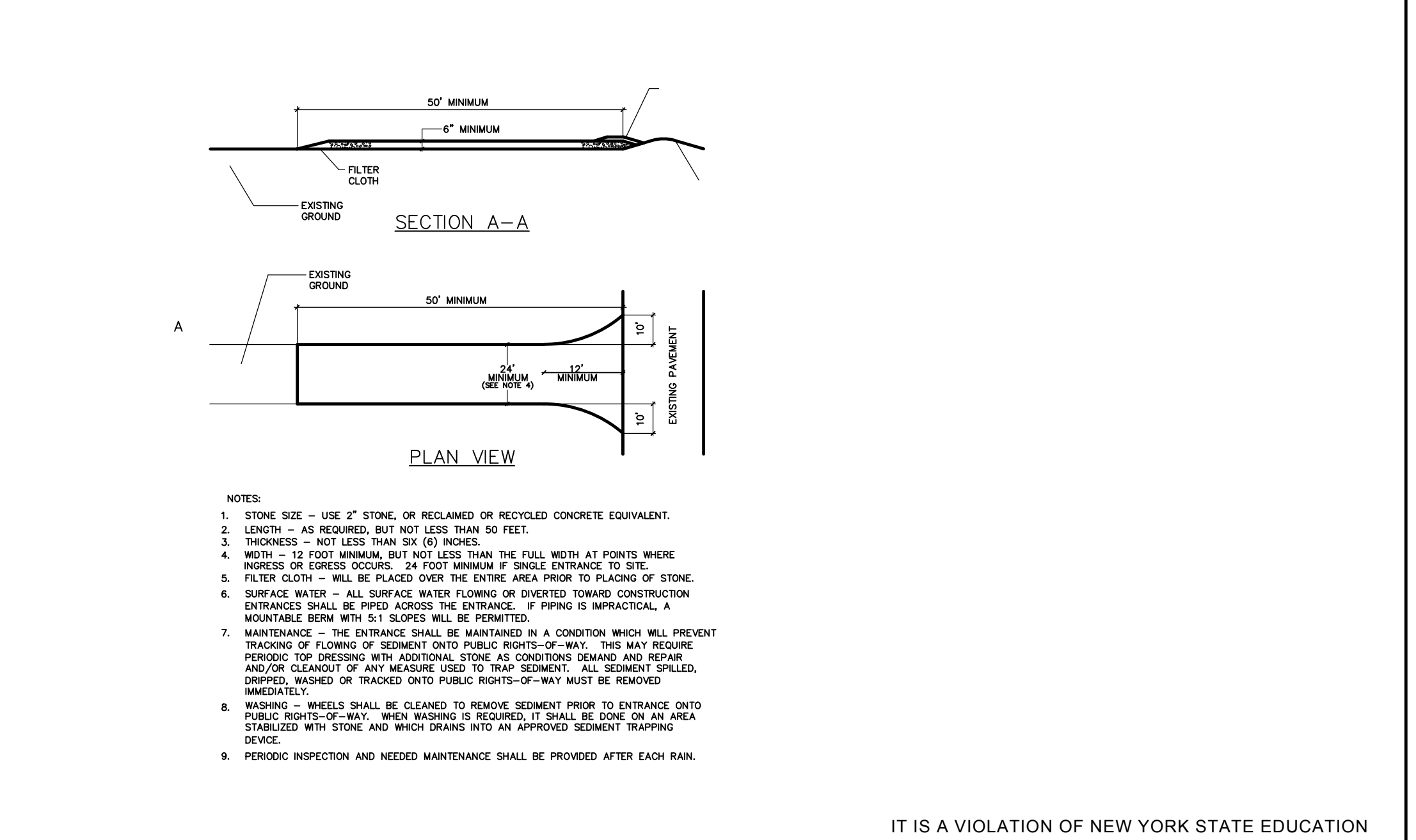
5 UTILITY TRENCH DETAIL  
NOT TO SCALE

6 UTILITY TRENCH IN CITY R.O.W.  
NOT TO SCALE



- NOTE:
1. STONE SIZE - USE #2 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM # SINGLE ENTRANCE TO SITE.
  5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PEED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED FOR EACH RAIN.

7 SANITARY SEWER LATERAL CUT-IN DETAIL  
NOT TO SCALE



8 ANTI-TRACKING PAD DETAIL  
NOT TO SCALE

**Standard Notes for Residential Projects**

The design, construction and installation shall be in accordance with this plan and generally accepted standards in effect at the time of construction which include:

- "Appendix 75-A, Waste Treatment - Individual Household Systems, New York State Sanitary Code."
- "Waste Treatment Handbook, Individual Household Systems, New York State Department of Health."
- "Rural Water Supply, New York State Department of Health."
- "Planning the Subdivision as Part of the Total Environment, New York State Department of Health."
- "New York State Department of Health and Dutchess County Department of Health policies, procedures and standards."
- "Dutchess County Department of Health Sanitary Code, Article XI and Article XIX."
- "Dutchess County Department of Health Certificate of Approval letter."

This plan is approved as meeting the appropriate and applied technical standards, guidelines, policies and procedures for arrangement of sewage disposal and treatment and water supply facilities; and, as a condition of this approval, a construction inspection by a representative of the Dutchess County Health Department shall be done to determine that construction at the time of inspection was completed in general conformance with the approved plans and any amendment thereto.

Approval of any plan(s) or amendment thereto shall be valid for a period of five (5) years from the date of approval. Following the expiration of said approval, the plan(s) shall be re-submitted to the Commissioner of Health for consideration for re-approval. Re-submission or revised submission of plans and/or associated documents shall be subject to compliance with the technical standards, guidelines, policies and procedures in effect at the time of the re-submission.

The Dutchess County Department of Health shall be contacted prior to the commencement of the home construction and/or issuance of a building permit for a pre-construction inspection to ensure that the arrangements for water supply and sewage disposal are commenced in accordance with the approved plans and amendments thereto and generally accepted standards.

All wells and SDS existing or approved within 200 feet of the proposed wells and SDS are shown on this plan along with any other environmental hazards in the area that may affect the design and functional ability of the SDS and well.

All proposed wells and service lines on this plan are accessible for installation and placement.

There shall be no vehicular traffic over the sewage disposal system. Prior to construction, the area of the system shall be staked out and fenced off.

Sewage disposal systems shall not be installed in wet or frozen soil.

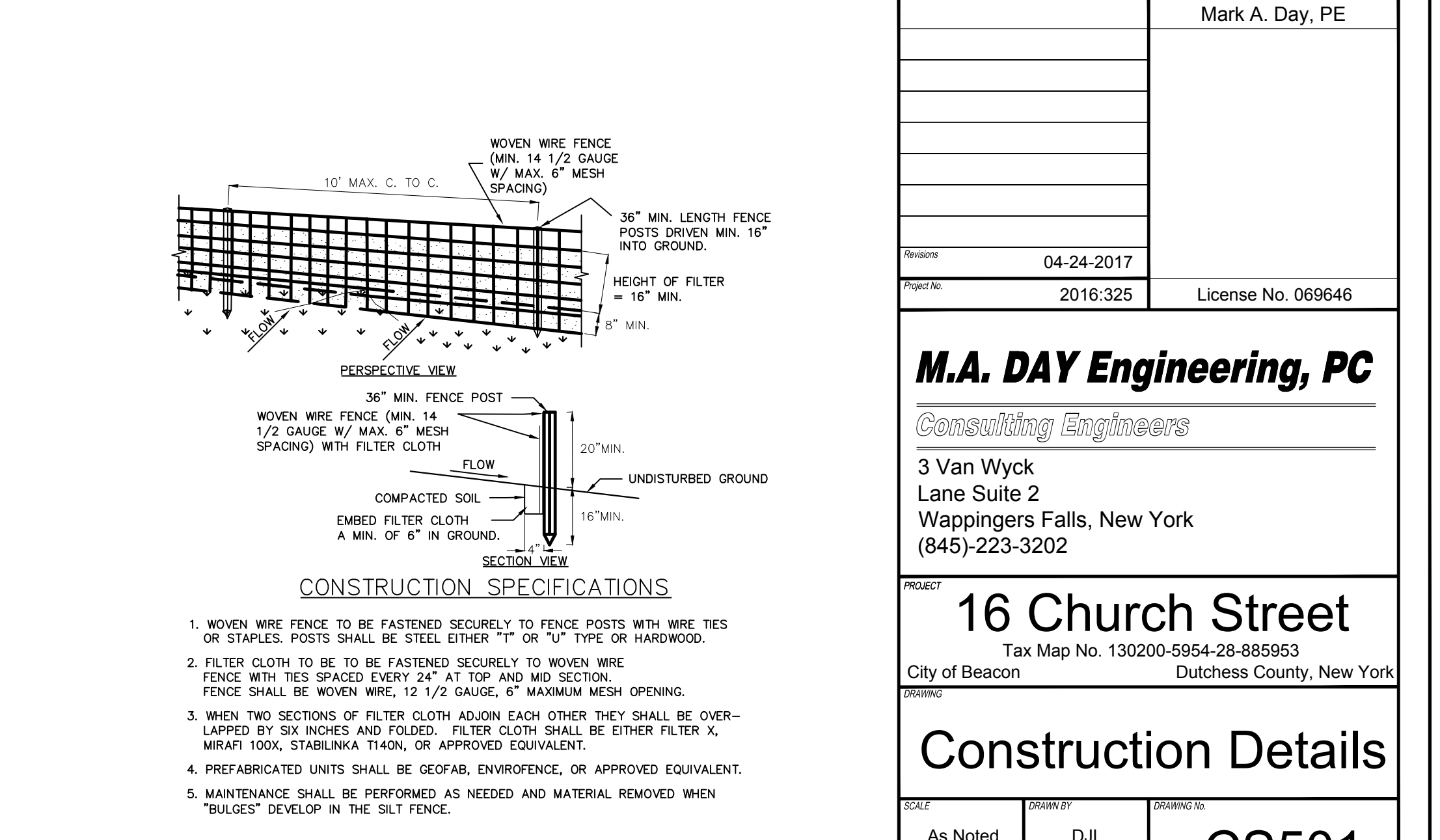
All required Erosion & Sediment Control and Storm Water Pollution Prevention Water Quality & Quantity Control structures, permanent and temporary, are shown on the plans.

The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated hereon.

**- Additional Notes for Residential Projects with Central Utilities -**

That, no buildings are to be occupied and the new water system shall not be placed into service, until a "Completed Works Approval" is issued under section 5-1.22(d) of Part 5 of the New York State Sanitary Code (10NYCRRS).

That, no buildings are to be occupied and the new wastewater collection system shall not be placed into service until, a "Certificate of Construction Compliance" is issued under section 19.7 of Article 19 of the Dutchess County Sanitary Code.



9 WATER & SEWER SEPARATION  
NOT TO SCALE

10 DUTCHESS COUNTY DEPARTMENT OF HEALTH NOTES  
NOT TO SCALE

12 SILT FENCE DETAIL  
NOT TO SCALE

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Mark A. Day, PE	
Revision	04-24-2017
Project No.	2016:325
License No.	069646

**M.A. DAY Engineering, PC**  
Consulting Engineers  
3 Van Wyck Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

PROJECT		
16 Church Street		
Tax Map No. 130200-5954-28-85953		
City of Beacon		Dutchess County, New York
DRAWING		
Construction Details		
SCALE	DATE	ORIGIN
As Noted	01-26-17	DJL
DATE	01-26-17	ORIGIN
		DJL
		CS501
		4 of 4

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: May 5, 2017

Re: **Seven & One Development LLC, 16 Church Street Subdivision**

I have reviewed the April 24, 2017 response letter from M. A. Day Engineering and 4-sheet Preliminary Subdivision Plans, dated April 24, 2017.

### **Proposal**

The applicant is proposing to subdivide an existing 0.33-acre parcel with a 1-family house into two lots in the R1-5 zoning district.

### **Comments and Recommendations**

1. The driveway of the neighboring property to the north, which encroaches on Lot 2, is proposed to be removed. The applicant should explain how will the neighbors access their rear parking area.
2. The proposed street tree near the front sidewalk should be specified on the plans as minimum 4-inch caliper at a height of four feet above ground level, consistent with the Subdivision of Land, Section 195-23 D(5).
3. The plans may be labeled Final Subdivision Plat at this point in the process.

I have no further planning issues with this application. If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Dennis J. Lynch, P.E., M. A. Day Engineering

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

---

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

May 3, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 16 Church Street  
City of Beacon  
Tax Map No. 5954-28-885953

Dear Mr. Sheers:

The applicant proposing to subdivide an existing 0.33± acre parcel, located at 16 Church Street, into 2 residential parcels. We have reviewed the following plans as related to 16 Church Street subdivision:

- Sheet 1 of 4 (GI101), entitled "Cover Sheet", with the latest revision date of April 24, 2017, as prepared by M.A. Day Engineering, PC.
- Sheet 2 of 4 (CS101), entitled "Preliminary Subdivision Plan", with the latest revision date of April 24, 2017, as prepared by M.A. Day Engineering, PC.
- Sheet 3 of 4 (CS102), entitled "Grading & Erosion Control Plan", with the latest revision date of April 24, 2017, as prepared by M.A. Day Engineering, PC.
- Sheet 4 of 4 (CS501), entitled "Construction Details", with the latest revision date of April 24, 2017, as prepared by M.A. Day Engineering, PC.

Based upon our review of the above referenced submitted plans, we offer the following comments:

Subdivision Plat:

1. Presently the Applicant is proposing to remove the portion of the adjacent neighbor's driveway that encroaches onto proposed Lot 2, rendering the existing driveway to the rear of the adjacent parcel unusable due to the limited width (5.5 feet) between the existing dwelling and the property line. The Applicant may wish to consider providing an access easement over the existing driveway area to allow the neighboring resident access over the existing driveway.
2. Although a note has been added to the plan stating "Leaders to discharge at down spouts, splash blocks to be provided", we are still requesting that the location of the existing and proposed roof leader down spouts on the existing residence and proposed residence be shown on the plan, along with the proposed direction of discharge, to verify that the stormwater runoff from these discharges will not impact neighboring parcels.

This completes our review at this time. Further comments may be forthcoming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner  
Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**22 Edgewater Place**

**Subject:**

Public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, "Edgewater" for 7 residential buildings - 307 units, submitted by Scenic Beacon Developments, LLC, 22 Edgewater Place

**Background:**

**ATTACHMENTS:**

Description	Type
Edgewater - Engineer Cover Letter	Cover Memo/Letter
Edgewater - Architect Cover Letter	Cover Memo/Letter
Edgewater - Consolidation Map	Map
Edgewater - Building Plans 1	Plans
Edgewater - Building Plans 2	Plans
Edgewater - Building Plans 3	Plans
Edgewater - Full EAF	EAF
Edgewater - I & I Report	Backup Material
Edgewater - Landbank Parking Estimate	Backup Material
Edgewater - Preliminary Subsurface Report	Backup Material
Edgewater - Erosion Sediment Control	Plans
Edgewater - Existing Conditions	Plans
Edgewater - Site Plan	Plans
Edgewater - Grading & Utility	Plans
Edgewater - Landscape Plan	Plans
Edgewater - Lighting Plan	Plans
Edgewater - Profiles	Plans
Edgewater - Renderings	Plans
Edgewater - Site Details	Plans
Edgewater - Stormwater Details	Plans
Edgewater - Water Sewer	Plans
Edgewater - Planner Review	Consultant Comment
Edgewater - Engineer Review	Consultant Comment
Edgewater - Traffic Consultant Review	Consultant Comment
Edgewater - Public Comment 1	Backup Material
Edgewater - Public Comment 2	Backup Material



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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April 25, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: Edgewater Site Plan and Subdivision  
Tax IDs 5954-25-566983, 574979, 582985, & 5955-19-590022  
City of Beacon, New York

Dear Chairman Sheers:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the plan set and EAF in response to Lanc & Tully's April 5, 2017 comment letter, and John Clarke Planning and Design comment memorandum dated April 4, 2017. Below is a point-by-point response to the comments received. Please note that several of the comments are being addressed by other consultants (i.e. Aryeh Siegel, AIA, for Plan Sheets 1 through 7, Maser Consulting Engineers for all comments related to traffic impacts and transportation, and TEC Land Surveying for all comments related to existing conditions, proposed lot consolidation plans and easement information).

**Lanc & Tully April 5, 2017 Comment Letter**

**SEQR & Assessment Form**

1. The brief description has been revised to reflect construction of 7 buildings. Section D2 has also been updated to include cuts and fills on site.

**General Comments**

1. A water main study map is being prepared and will be provided under separate cover for consultant review.
2. The project has been entered into the CRIS database under the SHPO website. It should be noted that it is not expected that the site will be archeologically sensitive as the majority of the site was previously disturbed. We will work with the DEC with regard to the Indiana Bat. Worst case is that tree clearing will be limited to October 1, through March 31.
3. Comment noted – DCDOH approval will be pursued if required by the planning board.
4. Hydrant testing is tentatively scheduled for next week. A hydrant test map will be provided to the engineering consultant for approval prior to testing.
5. An I&I study has been conducted on the site and is included for consultant review.
- 6.



7. Soil borings were completed by others on the site in 2006. The report is attached for review. Additional soil borings are planned and will be conducted and provided for review.
8. Comment noted – the project surveyor and the applicant are investigating the proposed ingress/egress from Tompkins Terrace.
9. A preliminary color cut and fill analysis has been prepared and included for review. Cross sections will be provided in a future submission.
10. The requested profile cross-sections have been provided by the project Architect
11. The requested traffic signage plan will be provided in a future submission
12. The requested Engineer's Report for the proposed water and sewer systems will be provided in a future submission.
13. Construction details for drainage, road pavement, concrete curb with monolithic sidewalk are provided within the plan set. A road cross section for widening will be provided in a future submission.
14. Sight distance lines have been provided on the plans.
15. This detail will be provided by the project architect in a future submission.

**Sheet 1 of 13 – Site Plan (these comments are to be addressed by the project architect)**

**Sheet 2 of 13 – Existing Conditions & Demolition (these comments are to be addressed by the project architect and project surveyor)**

**Sheet 3 of 13 – Landscape & Site Lighting (these comments are to be addressed by the landscape consultant)**

**Sheet 5 of 13 – Typical Floor Plan (these comments are to be addressed by the project architect)**

**Sheet 8 of 13 – Grading and Utility**

1. The new water main is proposed to extend off the existing 8" CIP main within Branch St. with a coupler. The existing main will be cut before the hydrant assembly and extended into the site. A new hydrant will be provided off the new portion of water main.
2. Sewer service connections to the Buildings 1 thru 4 are now shown on the plans. Additional detail will be provided as plans are advanced.
3. A valve has been added to the water service line at Building 1.
4. The 30' ROW for CHGE is being investigated. We anticipate that the easement is for overhead lines only, and does not have any restrictions for parking or structures located within the easement. We are requesting a letter from CHGE and will be provided it to the board when it becomes available.
5. The sewer and drainage table will be added to the plans when the site layout has been accepted by the board. Inverts, pipe sizes, pipe materials and slopes are noted on the plans and in the profiles.
6. The sewer and storm pipe runs are labeled with the size and material of the pipe. The slpes will be added once the board accepts a final layout.
7. The landscape plan has been adjusted to avoid conflict with the utilities. It will continue to be cleaned up as the plans are advanced.
8. The hydrant branch has been offset from the water service line branch to avoid a 4-way tee.
9. Comment noted. The wall design will be provided to the City in a future submission once the board accepts a final layout.
10. The erosion and sediment control features have been turned off on Sheet 8.

11. The size of the water main is labeled on the profile, and a typical label has been placed on the plans.
12. All pipe runs have been stationed in accordance with the utility profiles. Once a final layout has been accepted by the board, additional individual profiles will be provided as appropriate.
13. Ownership of the watermain will be explored further, and if it is found to be privately owned, the connection will be made on Bank Street.
14. Roof leader connections will be provided in a future submission once the board accepts a final layout.
15. The pipe run between CB 302 and WQI 301 has been corrected.

#### **Sheet 10 of 13 – Profiles**

1. The additional profile along Bank Street is now provided.

#### **SWPPP Comments**

1. Infiltration testing will be performed in the next few weeks, and the City Engineer will be contacted prior to the testing so that the tests can be witnessed.
  2. The WQ calculations will be updated with the value of 1.4 per figure 4.1 in the latest SWDM. It should be noted that the infiltration basins have been sized to infiltrate the 1-year storm, so the increase in WQ<sub>v</sub> will be met with no modifications to the infiltration basins. This information will be provided in a final SWPPP for review once the board has accepted a final layout.

Please find enclosed the following materials for the Planning Board's consideration at your next available regularly scheduled meeting:

- Revised Site Plan Set – 16 Sheets (5 copies);
- I&I report dated April 25, 2017 (2 copies);
- 2006 Soil Boring Report (2 copies);
- Revised EAF (5 copies); and
- Copy of the above materials on CD

We look forward to continue discussing the design details of the project with you and your Board members. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Michael A. Bodendorf, P.E.  
Principal

cc: Weber Projects, LLC  
Aryeh Siegel, AIA  
Jon D Bodendorf, P.E. (HLD File)

**ARYEH SIEGEL**  
ARCHITECT

---

Jay Sheers - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: Edgewater**  
*Site Plan Application*

April 25, 2017

Dear Mr. Sheers,

Please find below our response to John Clarke Planning & Design comments in his Memorandum dated April 7, 2017 regarding the Edgewater project. Please note that a separate letter from Hudson Land Design addresses specific engineering comments from Lanc & Tully's April 5, 2017 Memorandum.

**John Clarke Planning & Design Comment Responses:**

1. Please refer to Hudson Land Design's response and the updated EAF Form.
2. Distance between building averages 25 feet. One gap is 12 feet at the corner between Buildings 3 & 4. Variances are described in the notes on Sheet 1.
3. Drawings and notes have been updated to reflect landbanked parking. There would be a high retaining wall to accommodate the landbanked parking if it were required to be built. The applicant proposes to plant 20' tall evergreen trees 10 feet apart should the landbanked parking be constructed.
4. Parking counts have been coordinated between drawings and the EAF
5. An rendered image from the riverfront near the Train Station and from the River has been added to the drawings.

6. The sidewalk and crosswalk system has been revised to provide more direct access to the train station
7. The four large trees south of Building 4 will be replaced by four 20' tall pine and maple trees, because they cannot be retained during regrading operations.
8. We have requested that Tim Dexter arrange a meeting with the Architectural Review Subcommittee.

### **Lanc & Tully Comment Responses:**

#### **Sheet 1 of 13 – Site Plan**

1. There are underwater lands noted in the property deed. These lands are not proposed to be part of the project site, and do not contribute to the acreage under consideration. There are 12 acres of land without counting the underwater lands.
2. The line of existing woodlands will be disturbed only to the lines shown on the site plan. Additionally, the area of the existing structures to be demolished is noted to be re-planted consistent with the existing woodlands so that disturbed area will blend into the existing areas
3. The bulk zoning regulations table has been updated
4. The parking space count has been coordinated between the drawings and the EAF. There are 389 parking spaces required, and 403 spaces provided between surface, garage, and landbanked parking. Studio apartments require one parking space and do not contribute to the bedroom count

#### **Sheet 2 of 13 – Existing Conditions and Demolition Plan**

1. Drawing graphics have been updated
2. Refer to engineering responses from Hudson Land Design regarding the sewer manhole at the intersection of Bank and Branch Streets

#### **Sheet 3 of 13 – Landscape Plan**

1. The landscape plan has been coordinated with the utility plan
2. The plan will be revised per comment 2 above for Sheet 2

#### **Sheet 5 of 13 – Typical Floor Plan**

1. The bedroom chart has been fixed

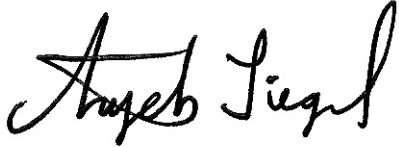
# ARYEH SIEGEL

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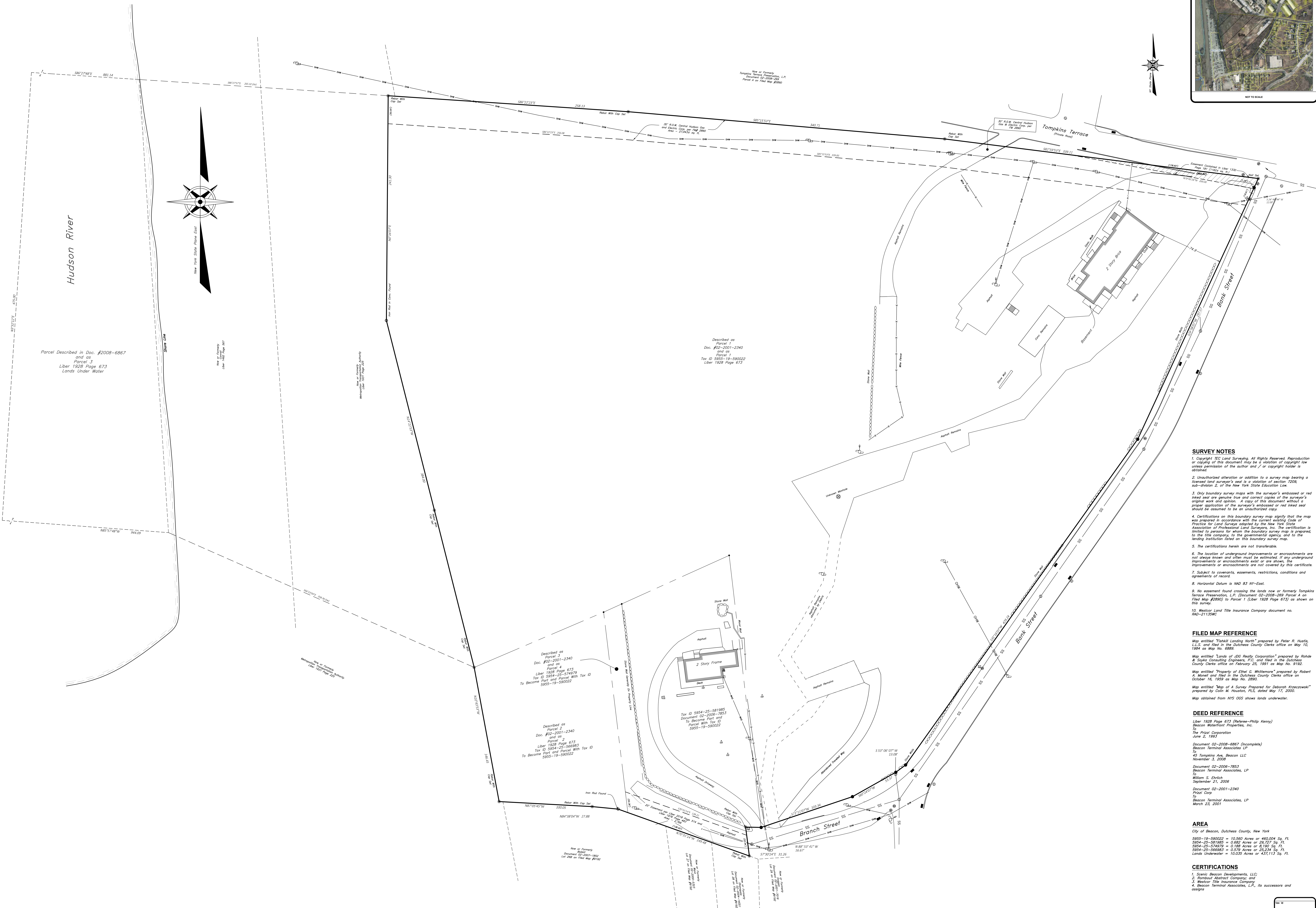
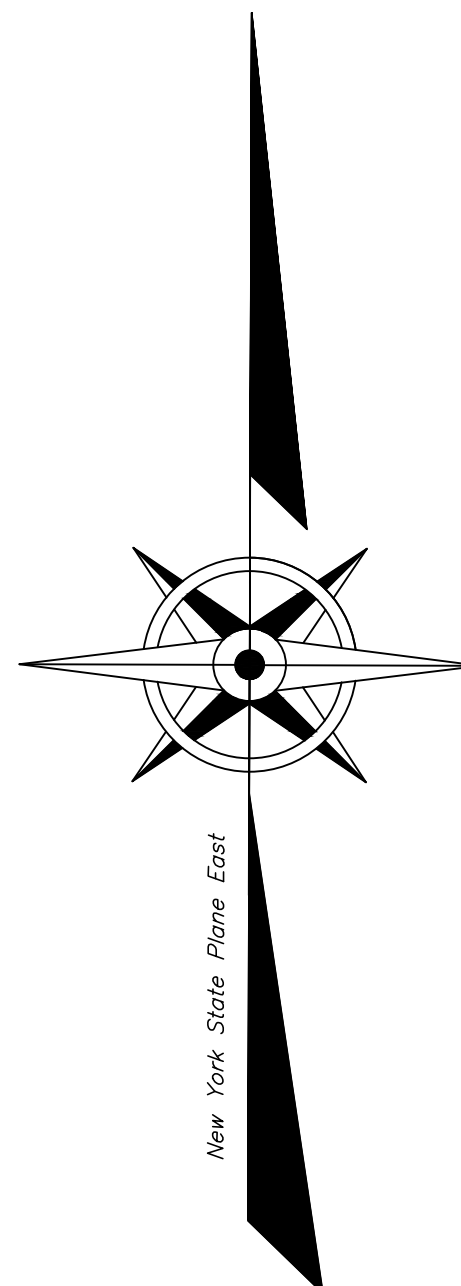
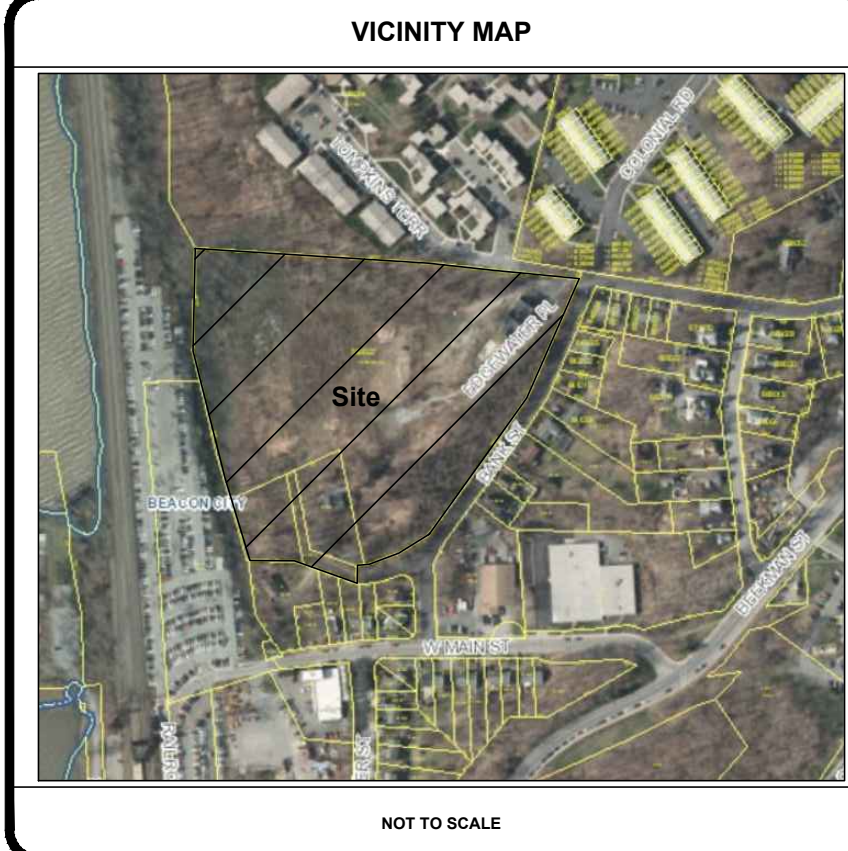
ARCHITECT

Thank you. Please let me know if you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Aryeh Siegel". The script is fluid and cursive, with the first name "Aryeh" and last name "Siegel" written in a single continuous line.

Aryeh Siegel  
*Aryeh Siegel, Architect*



Parcel Described in Doc. #2008-6867  
and as  
Parcel 3  
Liber 1928 Page 673  
Lands Under Water

Described as  
Parcel 1  
Doc. #02-2001-2340  
and as  
Parcel 1  
Tax ID 5955-19-590022  
Liber 1928 Page 673

Described as  
Parcel 3  
Doc. #02-2001-2340  
and as  
Parcel 4  
Liber 1928 Page 673  
Tax ID 5954-25-56981  
To Become Part and Parcel With Tax ID  
5955-19-590022

Described as  
Parcel 2  
Doc. #02-2001-2340  
and as  
Parcel 2  
Liber 1928 Page 673  
Tax ID 5954-25-56981  
To Become Part and Parcel With Tax ID  
5955-19-590022

New of Form  
Document 02-2001-182  
Liber 288 on File Map #112

**SURVEY NOTES**

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-section 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and copies. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveyors adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to covenants, easements, restrictions, conditions and agreements of record.
8. Horizontal Datum is NAD 83 NY-East.
9. No easement found crossing the lands now or formerly Tompkins Terrace Preservation, L.P. (Document 02-2008-269 Parcel A on File Map #289) to Parcel 1 (Liber 1928 Page 673) as shown on this survey.
10. Westcoast Land Title Insurance Company document no. 960-211506.

**FILED MAP REFERENCE**

- Map entitled "Tompkins Landing North" prepared by Peter R. Huatto, L.L.C. and filed in the Dutchess County Clerk's office on May 10, 1984 as Map No. 6889.
- Map entitled "Lands of JDC Realty Corporation" prepared by Robt & Spitz Consulting Engineers, P.C. and filed in the Dutchess County Clerk's office on February 25, 1991 as Map No. 9152.
- Map entitled "Property of Ethel C. Whittemore" prepared by Robert A. Meall and filed in the Dutchess County Clerk's office on October 16, 1959 as Map No. 2890.
- Map entitled "Map of a Survey Prepared for Deborah Kzeczowski" prepared by Colin M. Houston, P.L.S. dated May 17, 2000.
- Map obtained from NYS GIS shows lands underwater.

**DEED REFERENCE**

- Liber 1928 Page 673 (Robt-Philp Kenny) Beacon Waterfront Properties, Inc.
- The Prizzi Corporation June 2, 1993
- Document 02-2008-6867 (Incomplete) Beacon Terminal Associates, LP
- 45 Tompkins Ave, Beacon LLC November 3, 2006
- Document 02-2008-7853 Beacon Terminal Associates, LP
- William S. Ehrlich September 21, 2006
- Document 02-2001-2340 Prizzi Corp
- Beacon Terminal Associates, LP March 23, 2001

**AREA**

City of Beacon, Dutchess County, New York  
 5955-19-590022 = 10.560 Acres or 460,004 Sq. Ft.  
 5954-25-569805 = 0.662 Acres or 29,727 Sq. Ft.  
 5954-25-569818 = 0.168 Acres or 7,300 Sq. Ft.  
 5954-25-569803 = 0.579 Acres or 25,234 Sq. Ft.  
 Lands Underwater = 10.030 Acres or 437,113 Sq. Ft.

**CERTIFICATIONS**

1. Scenic Beacon Developments, LLC;
2. Rombout Abstract Company; and
3. Westcoast Title Insurance Company
4. Beacon Terminal Associates, L.P., its successors and assigns

rev.	date	description

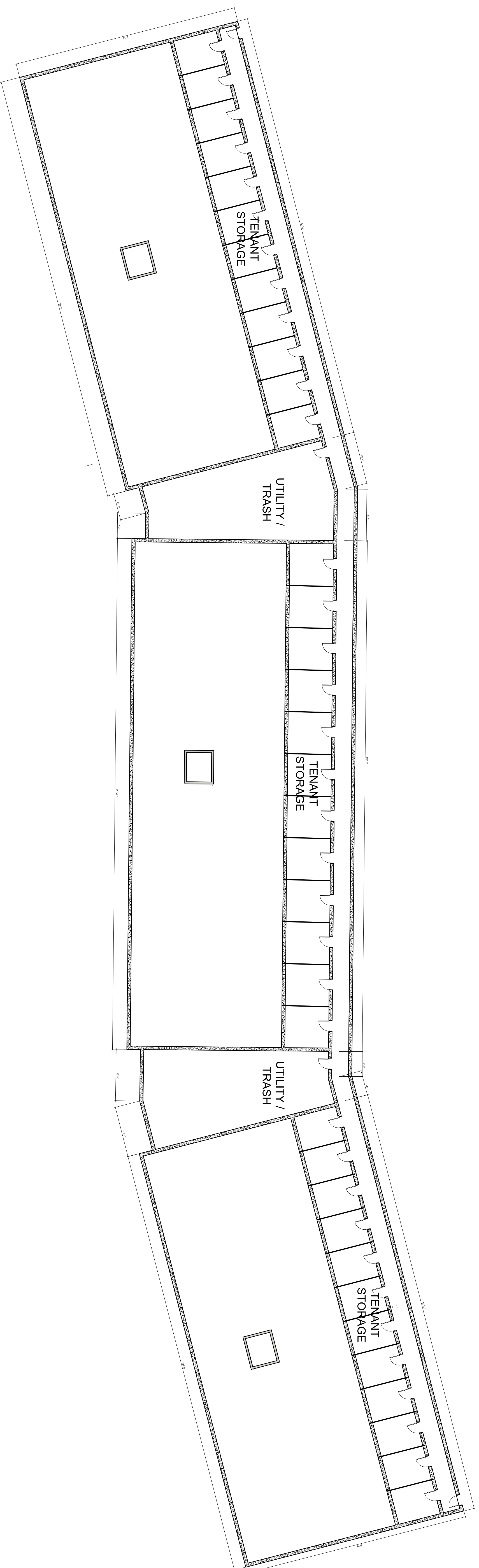
**TEC LAND SURVEYING**  
 150 TIORONDA AVE. BEACON, NY 12508  
 PH: 845.445.6590 FX: 845.445.6591

EDgewater  
**LOT CONSOLIDATION PLAT**  
**PREPARED FOR**  
**WEBER PROJECTS, LLC**  
 CITY OF BEACON, DUTCHESS COUNTY, STATE OF NEW YORK

THOMAS E. CERGHARA, P.L.S.  
 P.L.S. No. 50732

Tax ID	22 EDEWATER
Address	3-6-2017
Sheet	1-30
Project No.	18-002
Project Name	EDgewater
Sheet	1 OF 1

REVISIONS:	NO.	DATE	DESCRIPTION	BY
	1	02/28/17	REVISE PER PLANNING BOARD COMMENTS	JAS
	2	03/01/17	REVISE PER PLANNING BOARD COMMENTS	JAS
	3	04/25/17	REVISE PER PLANNING BOARD COMMENTS	JAS



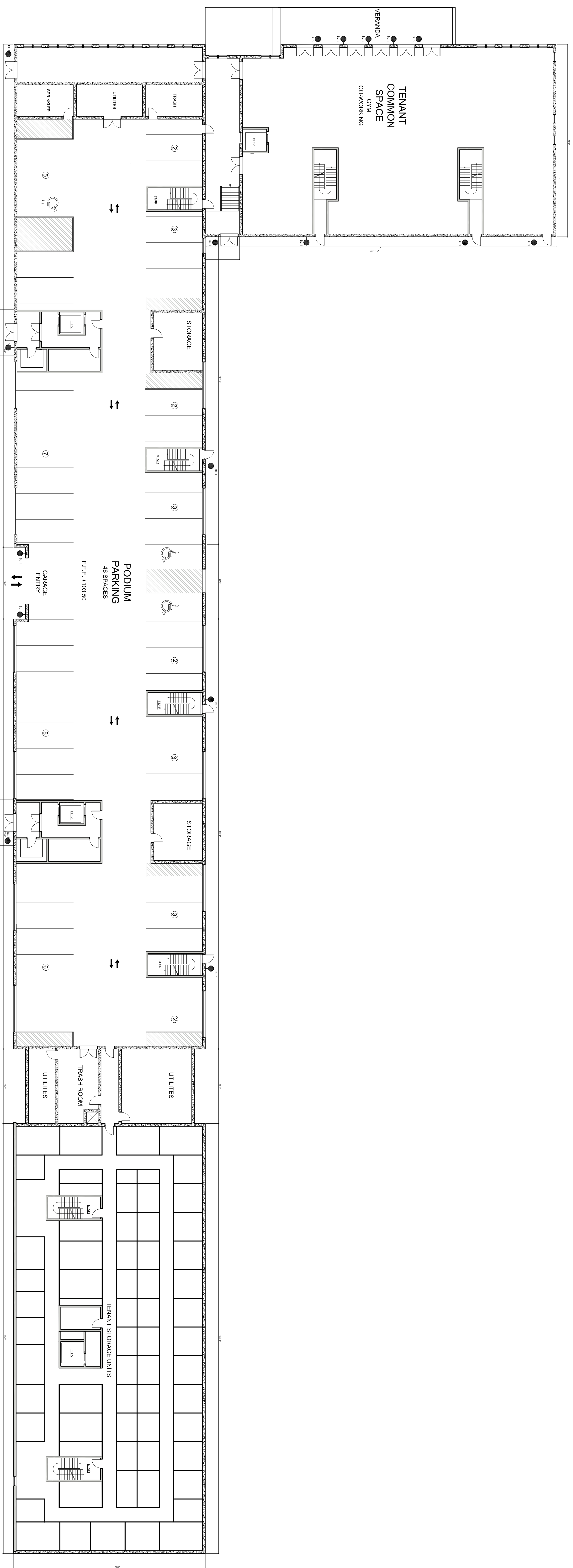
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS SET FORTH IN THE ZONING ORDINANCES AND AS AMENDED. SMALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND THE SEAL OF THE CITY OF BEACON, NEW YORK, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SECRETARY

IN ABSENCE OF THE CHAIRMAN'S SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN HIS PLACE.



**Lower Floor Plan / Garage Diagram**  
 Scale: 1/16" = 1'-0"

Owner:  
**Scenic Beacon Developments, LLC**  
 25 East Main Street  
 Beacon, NY 12508

Architect:  
**Aryeh Siegel, Architect**  
 514 Main Street  
 Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
 174 Main Street  
 Beacon, New York 12508

Surveyor:  
**TEC Land Surveying, P.C.**  
 15C Tioronda Avenue  
 Beacon, New York 12508

Landscaping Designer:  
**Landscapce Restorations**  
 P.O. Box 286  
 Beacon, New York 12508

**Edgewater**  
 Beacon, New York  
 Scale: 1/16" = 1'-0"  
 January 31, 2017

REVISIONS:	NO.	DATE	DESCRIPTION	BY
	1	02/28/17	REVISE PER PLANNING BOARD COMMENTS	JAS
	2	03/23/17	REVISE PER PLANNING BOARD COMMENTS	JAS
	3	04/27/17	REVISE PER PLANNING BOARD COMMENTS	JAS

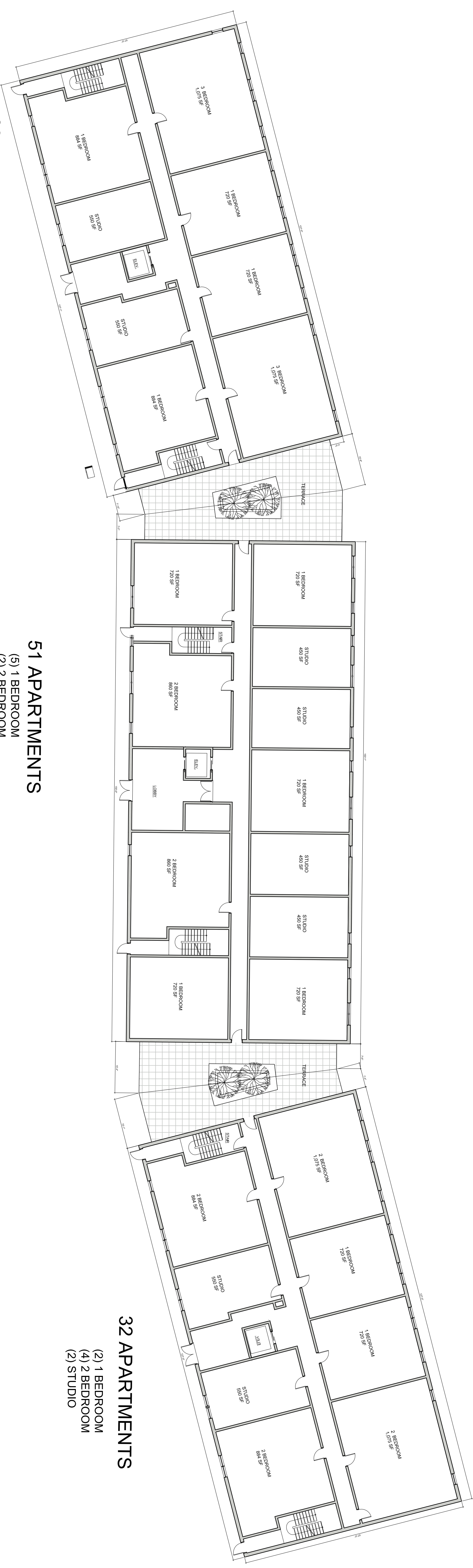
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE DAY OF RESOLUTION, AND SUBJECT TO ALL REQUIREMENTS AND CONDITIONS SET FORTH IN THE CHARTER OF THE CITY OF BEACON, NEW YORK, AS AMENDED, SHALL VOID WITHOUT FURTHER ACTION OF THE BOARD OF PLANNING AND ZONING, THE SPECIAL PERMIT FOR SETBACKS OF THIS PLAN.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN'S SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY

RESPECTFULLY MAY BE SEEN IN THIS PLACE.



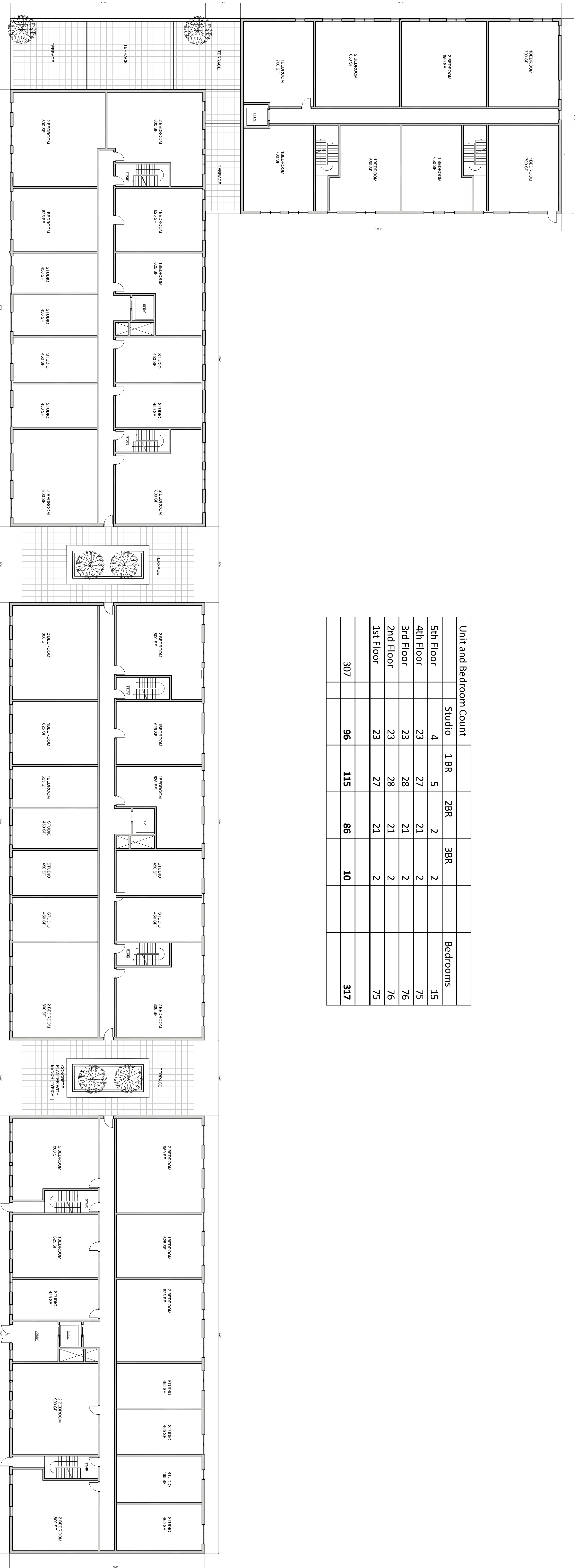
**32 APARTMENTS**  
 (4) 1 BEDROOM  
 (2) 3 BEDROOM  
 (2) STUDIO  
 8 apartments  
 x 4 floors  
 = 32 apartments

**51 APARTMENTS**  
 (9) 1 BEDROOM  
 (2) 2 BEDROOM  
 (4) STUDIO  
 (2) 2 BEDROOM  
 (4) 1 BEDROOM  
 (1) STUDIO

11 apartments  
 x 4 floors  
 = 44 apartments + 7 apartments (5th floor) = 51 apartments total

**32 APARTMENTS**  
 (6) 1 BEDROOM  
 (2) 2 BEDROOM  
 8 apartments  
 x 4 floors  
 = 32 apartments

Unit and Bedroom Count	Studio	1 BR	2BR	3BR	Bedrooms
5th Floor	4	5	2	2	15
4th Floor	23	27	21	2	75
3rd Floor	23	28	21	2	76
2nd Floor	23	27	21	2	75
1st Floor	23	27	21	2	75
	96	115	86	10	317



**Typical Floor Plan Diagram**  
 Scale: 1/8" = 1'-0"

**59 APARTMENTS**  
 (4) 1 BEDROOM  
 (4) 2 BEDROOM  
 (5) STUDIOS  
 5TH FLOOR  
 (3) 2 BEDROOM  
 (1) 1 BEDROOM  
 (3) STUDIOS  
 12 apartments  
 x 4 floors  
 = 52 apartments + 7 apartments (5th floor) = 59 apartments total

NOTE: INTERIOR FLOOR PLANS ARE NOT PART OF THIS APPLICATION, AND ARE INCLUDED FOR ILLUSTRATION PURPOSES AND TO DEMONSTRATE THE TOTAL NUMBER OF UNITS AND BEDROOMS PROPOSED. THE FLOOR PLANS ARE SUBJECT TO CHANGE, HOWEVER THE FINAL COUNT WILL NOT EXCEED THE APPROVED NUMBER OF UNITS AND BEDROOMS. ANY CHANGES MAY CHANGE TO CORRESPOND TO FINAL APARTMENT PLAN LAYOUTS.

**52 APARTMENTS**  
 (4) 1 BEDROOM X 4 FLOORS = 16 1BR  
 (4) 2 BEDROOM X 4 FLOORS = 24 2BR  
 (5) STUDIOS  
 13 apartments  
 x 4 floors  
 = 52 apartments

**48 APARTMENTS**  
 (2) 1 BEDROOM  
 (5) 2 BEDROOM  
 (5) STUDIO  
 12 apartments  
 x 4 floors  
 = 48 apartments



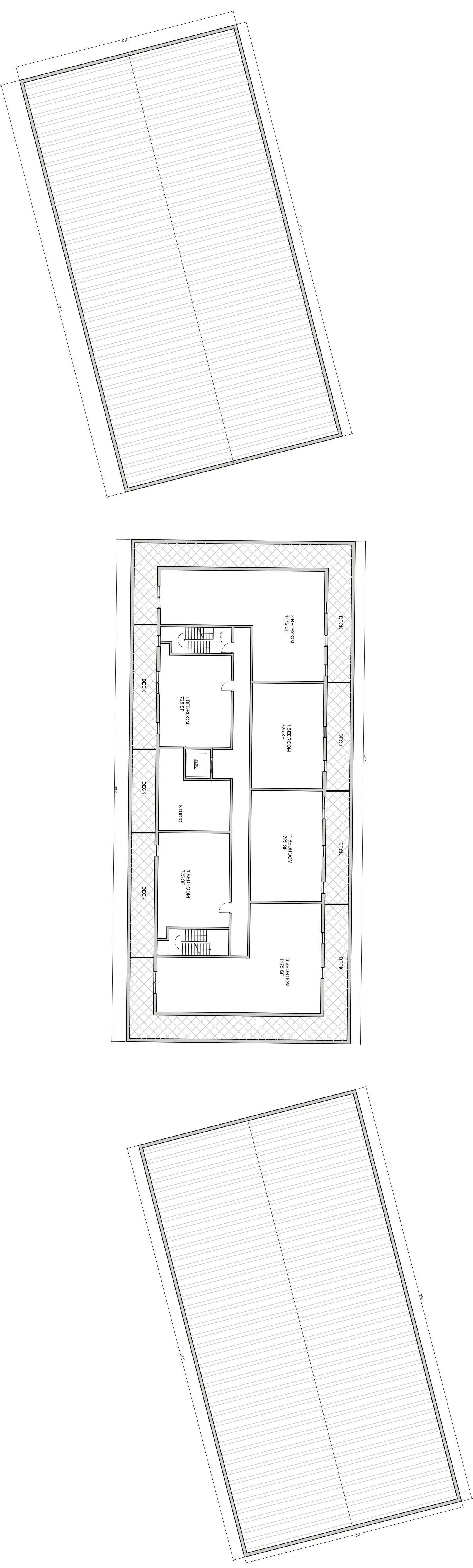
NO.	DATE	DESCRIPTION	BY
1	02/28/17	REVISE PER PLANNING BOARD COMMENTS	JAS
2	03/28/17	REVISE PER PLANNING BOARD COMMENTS	JAS
3	04/27/17	REVISE PER PLANNING BOARD COMMENTS	JAS

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF THE ZONING ORDINANCE AND AS APPROVED SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN'S SIGNATURE, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN HIS PLACE.



**5th Floor Plan Diagram**  
Scale: 1/8" = 1'-0"

**Owner:**  
**Scenic Beacon Developments, LLC**  
26 East Main Street  
Beacon, NY 12508

**Architect:**  
**Ayeh Siegel, Architect**  
514 Main Street  
Beacon, New York 12508

**Site / Civil Engineer:**  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

**Surveyor:**  
**TEC Land Surveying, P.C.**  
15C Thoronda Avenue  
Beacon, New York 12508

**Landscaping Designer:**  
**Landscape Restorations**  
P.O. Box 286  
Beacon, New York 12508

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Edgewater Apartments		
Project Location (describe, and attach a general location map): 22 Edgewater Pl Beacon, NY 12508		
Brief Description of Proposed Action (include purpose or need): The proposed action is to construct seven residential apartment buildings with a total of 307 single-family dwelling units. This will require the demolition of an existing one family dwelling and an existing residential apartment building. The 307 new units will be a mix of studio, one-bedroom, two-bedroom and three-bedroom apartments, with a combined equivalent (i.e., including studios) total of 413 bedrooms.		
Name of Applicant/Sponsor: Scenic Beacon Developments, LLC	Telephone: 917-622-0657	
	E-Mail: rodney@weberprojectsllc.com	
Address: 25 East Main Street		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Rodney Weber	Telephone: 917-622-0657	
	E-Mail: rodney@weberprojectsllc.com	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board - Site Plan & Subdivision	12/27/2016
c. City Council, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Zoning Board of Appeals - Parking , Building and Height Variance	
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	DCDOH - Water & Sewer; County Planning referral	3/2017
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYDEC - SPDES GP-0-015-002	3/2017
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? YesNo

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? YesNo

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? YesNo

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) YesNo

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? YesNo

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? City of Beacon

b. What police or other public protection forces serve the project site?  
City of Beacon

c. Which fire protection and emergency medical services serve the project site?  
City of Beacon

d. What parks serve the project site?  
Pete & Toshi Seeger Riverfront Park; Long Dock

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 12 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 9.31 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 12 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_ 2
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ 9 month 2017 year
- Anticipated completion date of final phase \_\_\_\_\_ 9 month 2018 year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

All phases shall not exceed 5 acres of disturbance.

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	0			
At completion of all phases	307			

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? Grading and building foundations; blasting may be required  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): 20,224 cubic yards  
 • Over what duration of time? 6 months  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
To be used on another site in Beacon  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ 9.34 acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ 5 acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ 15 feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
The excavated area will be reclaimed to either stable hardscapes, building, paved areas or landscaped areas. Excess material will be trucked off site to other projects within Beacon.

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 45,430 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: City of Beacon
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 45,430 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: City of Beacon
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ 4.7 acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ 12 acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 The storm water runoff will be directed to three on site infiltration basins, and then conveyed offsite, or to the City of Beacon closed storm water system.  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 Heavy equipment and delivery vehicles will be utilized  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 Generators or rock processing equipment (e.g., crushers) could be utilized  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing 13 Proposed 390 Net increase/decrease 377

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:  
 Branch Street will be widened to 25' from its current 20' width

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 2,883,023 KWH/ Year

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
 Central Hudson

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>7AM - 7PM</u></li> <li>• Saturday: <u>8AM - 5PM</u></li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>N/A</u></li> <li>• Saturday: <u>N/A</u></li> <li>• Sunday: <u>N/A</u></li> <li>• Holidays: <u>N/A</u></li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 General construction related noise during normal business hours \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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n.. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Parking lot and building mounted lights. All lighting fixtures will be shielded and pointed downward. Parking lot height = 16 feet.  
 Closest occupied structure is approximately 59 feet.  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: Existing trees will be removed for construction of the proposed features; however, new landscaping will be planted as part of the project.  
 \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): Metro North Train Station  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.2	5.6	(+) 4.4
• Forested	5.9	2.2	(-) 3.7
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	4.6	0	(-) 4.6
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Grass and Landscaped areas</u>	0.3	4.2	(+) 3.9

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): V00293 , C314112 , V00096 , 314069 , 546031  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

V00293-Closed. Development restrictions; C314112 - requires additional cleanup; V00096 combined with C314112; 314069 - Closed, redeveloped, 546031- Ongoing. Hudson River PCB's

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:	DwB -- Dutchess - Cardigan	81.7 %
	DxB -- Dutchess - Cardigan Urban	8.3 %
	NwD -- Nassau - Cardigan	10.0 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >5 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 91 % of site  
 Moderately Well Drained: \_\_\_\_\_ 9 % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 34 % of site  
 10-15%: \_\_\_\_\_ 22 % of site  
 15% or greater: \_\_\_\_\_ 44 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name Hudson River Classification B
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>White Tail Deer _____ Red Fox _____</p> <p>Grey Squirrel _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Atlantic Sturgeon; Bald Eagle</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District	
ii. Name: <u>Bogardus--DeWindt House</u>	
iii. Brief description of attributes on which listing is based: <u>Single family dwelling built in 1792 located on Tompkins Avenue.</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Identify resource: <u>Hudson River</u>	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Long Dock Park; Pete &amp; Toshi Seeger Riverfront Park</u>	
iii. Distance between project and resource: _____ <u>0.2</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

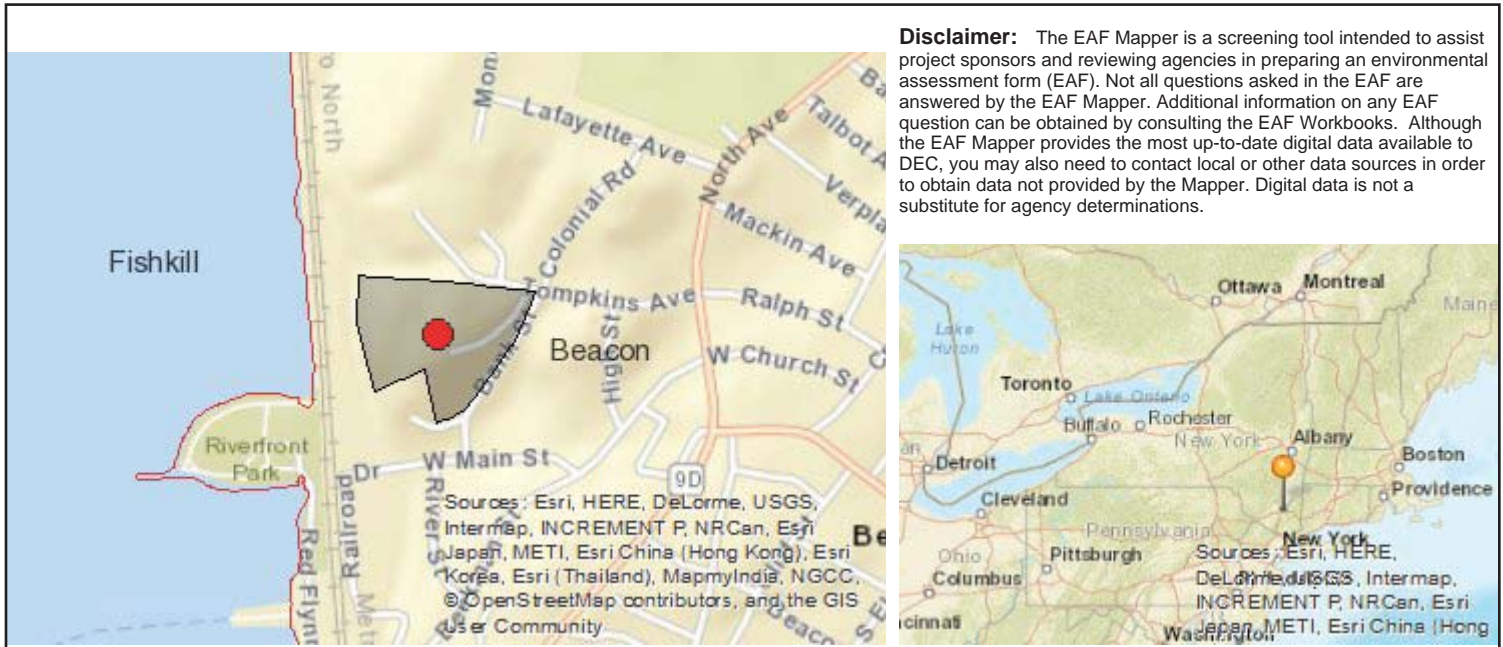
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jon Bodendorf, P.E. (Hudson Land Design, PC) Date 4/25/2017

Signature  Title Project Engineer



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	V00293 , C314112 , V00096 , 314069 , 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	Bogardus--DeWindt House
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No





*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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April 25, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: Infiltration and Inflow Investigation  
Edgewater  
22 Edgewater Place and 8 Branch Street  
City of Beacon, New York

Dear Mr. Jay Sheers,

Hudson Land Design (HLD) has completed an infiltration and inflow investigation at the above referenced parcel as required by the City of Beacon. The investigation was conducted on April 21, 2017 at the existing building at 22 Edgewater Place, which consists of a two-story brick façade building; and an existing two-story colonial residence located at 8 Branch Street.

The existing building at 22 Edgewater Place faces Edgewater Place on the Northwestern side of the road. The existing residence on Branch Street, faces Branch Street, and is located on the northern side of the road.

The first phase of the study consisted of an exterior inspection of both buildings to determine the location of roof leader discharge points. The two-story building at 22 Edgewater Place has a “Hip” roof consisting of multiple hips and ridges. The eastern half of the residence has a gutter system that collects and conveys the runoff to two downspouts and then discharges it easterly (to the front of the residence) towards Edgewater Place. The southern side of the building has a gutter system that conveys water to a downspout that discharges it southerly, to the side yard. The northern side of the building has a gutter system that conveys water to two downspouts which discharge northerly towards Thompkins Avenue. Lastly, the western side of the residence does not have a gutter system, so rainwater flows off the roof and into the rear yard.

The two-story residence at 8 Branch Street also has a “Hip” roof. Rainwater from the southern hip flows into a gutter and is conveyed to two downspouts which discharge the

flow towards Branch Street, flowing downhill. The northern side of the building has a gutter system that collects rainwater and discharges it into the rear yard via one downspout. The eastern side of the residence collects rainwater in a gutter system and discharges it to the side yard on the eastern side of the building via two downspouts. Lastly, the western side of the residence collects rainwater from the hipped roof. One downspout was observed on the western side of the residence which flows to the westerly side yard over the asphalt driveway,

The second phase of the study consisted of interior inspection of both buildings in an attempt to determine if there are any illicit connections to the building sewer line from sump pumps, floor drains and the like. HLD personnel were able to observe sections of interior sanitary sewer plumbing, at the residence at 22 Edgewater Place, to the point where the piping was routed through the easterly foundation wall of the residence (located generally in the middle of the eastern side of the building). The pipe reputedly collects the wastewater from the residence and then flows southeasterly towards a sewer manhole within Bank Street. HLD observed a clean-out in the basement on the interior sanitary sewer plumbing along the eastern foundation wall of the residence. At no point along the length of the visible portion of the line did HLD personnel observe any discharges other than from the standard plumbed fixtures. In addition, there were no sump pumps or floor drains observed, nor were there any unidentified pipes that connected to the line beneath the basement floor. The residence of 8 Branch Street is built on a slab.

A sanitary sewer line from the residence was determined to flow out of the southern foundation wall, generally at the middle of the foundation wall. The sewer line was observed to flow towards Branch Street's sanitary sewer collection system. Two cleanouts were observed in the front yard of the existing residence, heading south towards Branch Street. At no point along the length of the visible portion of the line did HLD personnel observe any discharges other than from the standard plumbed fixtures. In addition, there were no sump pumps or floor drains observed, nor were there any unidentified pipes that connected to the line beneath the basement floor at the Branch Street residence.

The sewer line connections at both residences are proposed to have a three-foot section removed and then capped to prevent any flow into the municipal sewer system after the existing buildings are removed. One other sewer service line was shown on the survey of the parcel. The origin of the sewer line is reputed, but the same procedure will be followed for the reputed sewer line, as followed for the lines from 22 Edgewater Place and 8 Branch Street. All sewer lines remaining upstream from the capped line will be abandoned in place, in accordance with standard procedure.

Based on our observations, HLD does not believe that there are any illicit connections from the buildings located at 22 Edgewater Place or 8 Branch Street to the City of Beacon's sanitary sewer collection system. However, it should be noted that elimination of the existing sewer lines on site may reduce I&I into the Beacon system.

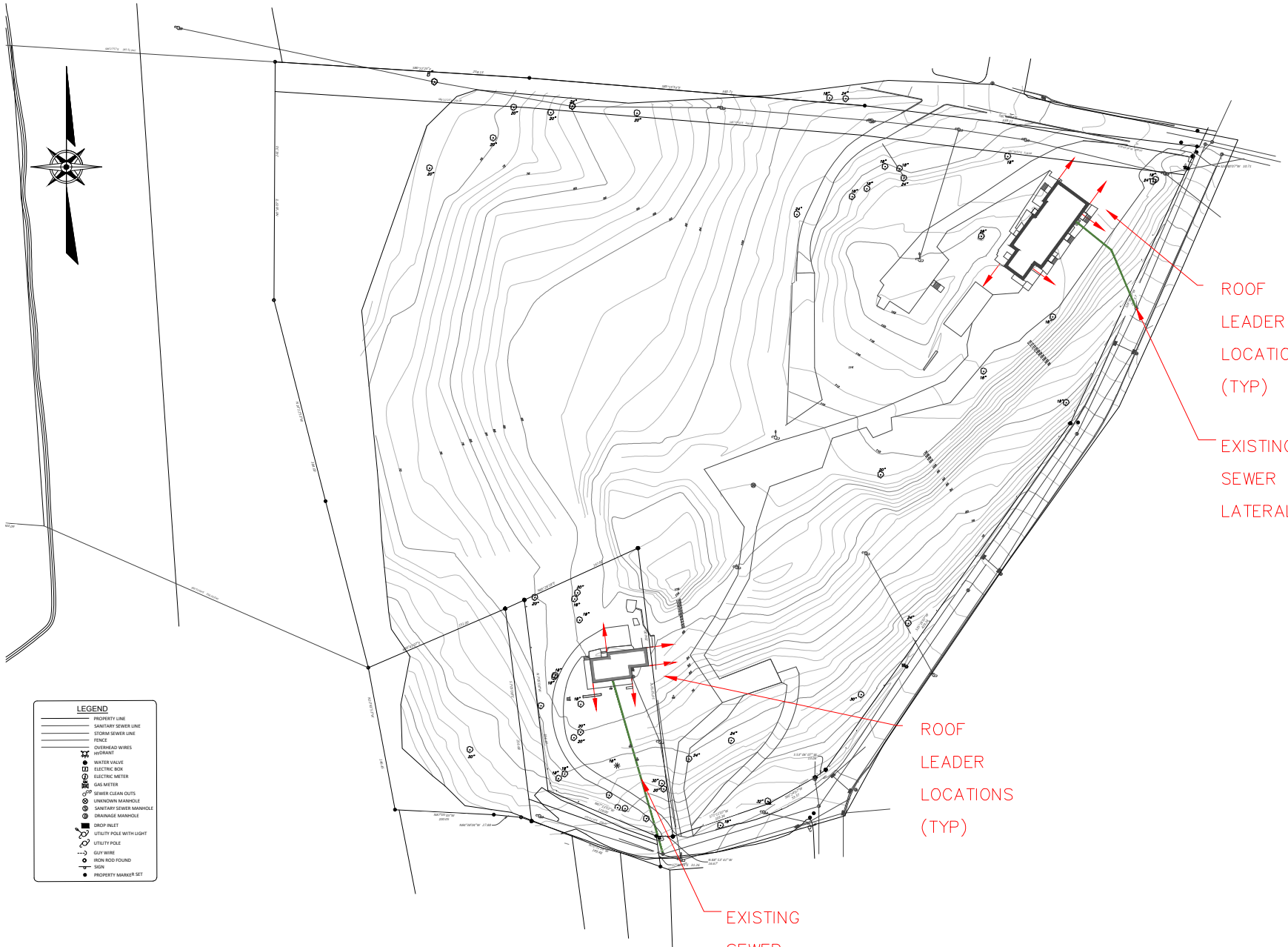
Should you have any questions or comments, please feel free to call Hudson Land Design at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael A. Bodendorf". The signature is fluid and cursive, with the first name "Michael" and last name "Bodendorf" clearly distinguishable.

Michael A. Bodendorf, P.E.  
Principal

cc: Rodney Weber (via email [rodney@weberprojectsllc.com](mailto:rodney@weberprojectsllc.com))  
Jon D. Bodendorf, P.E. (HLD file)



ROOF LEADER LOCATIONS (TYP)

EXISTING SEWER LATERAL

ROOF LEADER LOCATIONS (TYP)

EXISTING SEWER LATERAL

LEGEND	
	PROPERTY LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	FENCE
	OVERHEAD WIRES
	HYDRANT
	WATER VALVE
	ELECTRIC BOX
	ELECTRIC METER
	MANHOLE
	SEWER CLEAN OUTS
	UNKNOWN MANHOLE
	SANITARY SEWER MANHOLE
	DRAINAGE MANHOLE
	DROP INLET
	UTILITY POLE WITH LIGHT
	UTILITY POLE
	GUY WIRE
	IRON ROD FOUND
	IRON
	PROPERTY MARKER SET



# Joseph's Construction

445 Main Street  
Beacon, NY 12508  
(845) 831-8026

Terms: Net - After 30 days 2% Service Charge per Month

April 27, 2017  
**PROPOSAL**

Proposal Submitted to:

Job Site Information:

Scenic Beacon Development LLC	Job Name
25 East Main St. Suite 5	Job Location -Parking Lot
Beacon, NY 12508	Email: tina@weberprojectsllc.com

We hereby submit specifications and estimate for:

**Estimate for future (banked parking lot)**

**Installation of silt fence as per plans.**

**Tree and stump removal as needed.**

**Excavation and installation of Redi Rock retaining wall as per plans.**

**Drainage as per plans.**

**Fill placed and compacted behind wall.**

**Install concrete curbs as per plans.**

**Supply & install Item #4 sub base for parking area.**

**Supply and install 2 1/2" of binder coarse asphalt.**

**Supply and install 1 1/2" of top coarse asphalt.**

**Stripe asphalt.**

**Supply and install guard rail and fencing at top of wall.**

**Total \$ 575,000.00**

We hereby propose to furnish material and labor - complete in accordance with the above specifications for  
Five hundred seventy five thousand dollars and 00/100 plus tax \$575,000.00 plus tax  
Payment to be made as follows:



# Joseph's Construction

445 Main Street  
Beacon, NY 12508  
(845) 831-8026

Terms: Net - After 30 days 2% Service Charge per Month

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**All matter is guaranteed to be as specified. All work to be completed in a workman like manner according to standard practices. Any alteration or deviation from the above specifications involving extra cost will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond Our Company. Owner is to carry necessary insurance. Our Company workers are fully covered by Workman's Compensation Insurance**

## Authorized Signature

X \_\_\_\_\_

**Note: This proposal may be withdrawn by us if not accepted within \_\_\_\_\_ Days**

---

**Acceptance of Proposal. The above prices and specifications are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.**

X \_\_\_\_\_

**Signature**

---

**Date of Acceptance**

X \_\_\_\_\_

**Signature**



**PRELIMINARY SUBSURFACE INVESTIGATION AND REPORT**

**FOR**

**PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

**45 TOMPKINS AVENUE  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK**

**PREPARED FOR:**

Beacon Terminal Associates  
18 East 22<sup>nd</sup> Street  
New York, NY 10010

**PREPARED BY**

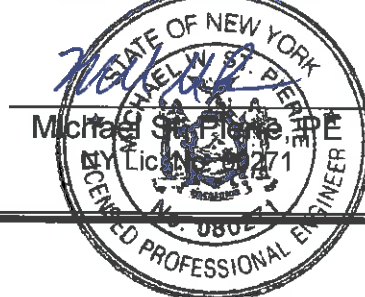
SESI Consulting Engineers PC  
12A Maple Avenue  
Pine Brook, NJ 07058

Job No.: P-6934

DATE:

October 3, 2006

  
\_\_\_\_\_  
John M. Niederfield



## INTRODUCTION

We have completed our preliminary engineering review, field investigation and evaluation of the subsurface soil conditions as they pertain to establishing foundation design criteria and site preparation procedures for the proposed Multi-Family Residential Development to be located at 45 Tompkins Avenue in the City of Beacon, New York. The site is located to the southwest of the intersection of Tompkins Avenue and Bank Street. It is bounded to the east by Bank Street and to the south by Branch Street. An apartment complex borders the site to the north and the Metropolitan Transportation Authority Railroad and the Hudson River border the site to the west.

Existing residential apartment buildings and homes with paved parking areas, roads and driveways are found throughout the site. Grassed lawn areas surround the existing buildings. The rear of the property is wooded with some significant undergrowth. Some of the existing buildings onsite are boarded up and are no longer in use. Stockpiles containing construction debris were found in the wooded area in the rear of the site while surface debris could be found throughout the property. Photographs of the site are included in the Appendix.

The site topography slopes from a high point of elevation 120.5 feet above mean sea level in the northeast downwards in all directions to a low point of elevation 4.0 feet above mean sea level in the northwest. The majority of the site is moderately sloped with some steeper areas located throughout the site. Rock ledge is visible in the north and south portions of the site.

Based on a review of the plan entitled "Concept Plan" prepared by Lessard Group Inc., dated June 16, 2006, we understand that the proposed construction will consist of three (3) multi-family residential buildings (156,400S.F.; 137,200S.F.; and 60,000 S.F. with a 15,000 S.F. parking garage), three (3) multi-unit townhouses (totaling 16 units @ 2,376 S.F. each), a 100,800 S.F. parking garage and associated roadways and utilities.

We do not have a proposed grading plan, but it should be anticipated that significant cuts and fills would be required to grade the project site. After the proposed grades have been established, we should review our recommendations as they pertain to the proposed construction.



## FIELD AND LABORATORY INVESTIGATIONS

Our engineering study included of a site reconnaissance, a review of existing soils and geologic data, a review of the "Concept Plan", prepared by Lessard Group Inc., dated June 16, 2006, a review of the "Map of Survey for Beacon Terminal Associates, L.P. Prizzi Property", prepared by Peter R. Hustis, L.S., P.C., dated March 31, 2006, and a field investigation consisting of the excavation of thirteen (13) test pits and eight (8) soil borings. The test pits were excavated to depths of 2.5 feet to 14.0 feet below existing grade using a trackhoe. The soil borings were advanced to depths of 10 to 18 feet below existing grade using a track-mounted drill rig.

The locations of the test pits and soil borings are shown on Figure 1. Individual test pit and soil boring logs, which describe the materials encountered, are presented in Figures 2 through 22. A key to soil terminology is included as Figure 23.

Soil samples suitable for identification purposes were extracted from the borings at various intervals in accordance with the procedures of the Standard Penetration Test (ASTM D1586). For this test, a standard split-spoon sampler (2 inches outside diameter, one and three-eighths inches inside diameter) is driven into the soil by a 140-pound weight falling 30 inches.

After discounting the initial six inches of penetration due to possible disturbance of the material resulting from the drilling operation, the number of blows required to drive the sampler a distance of 12 inches is recorded and designated as the standard penetration resistance or "N" value. The "N" value is an indication of the relative compactness of the soil in-situ. All soil samples extracted in the field were brought to our office where they were further examined in our soil mechanics laboratory.

A 5-foot rock core was drilled in borings B-1 and B-3 and two 5-foot rock cores were drilled for borings B-5, B-7, and B-8 with recoveries of: (B-1: 71.7); (B-3: 100.0); (B-5: 100.0, 100.0); (B-7: 66.7, 48.3) and (B-8: 70.0, 100.0) and RQD values (Rock Quality Designation) of: (B-1: 23.3); (B-3: 73.3); (B-5: 71.6, 56.7); (B-7: 35.4, 23.3) and (B-8: 26.7, 13.3). The percent recovery and RQD is an indication of the condition of the rock and the amount of weathering and fractures present within the rock mass. The results of the rock cores indicate a very poor to fair rock quality as shown in the following Table.

<b>RELATIONSHIP OF RQD AND ROCK QUALITY:</b>	
<u>ROCK QUALITY DESIGNATION (RQD)<sup>(1)</sup></u>	<u>DESCRIPTION OF ROCK QUALITY</u>
0 – 25 .....	VERY POOR
25 – 50 .....	POOR
50 – 75 .....	FAIR
75 – 90 .....	GOOD
90 – 100 .....	EXCELLENT

<sup>(1)</sup> "Rock Quality Designation" is defined as a modified core recovery ratio that considers only pieces of the core that are at least 4 inches long. Obvious fractures caused by drilling are ignored in this system.

All fieldwork was performed under the direct technical observation of a geotechnical technician/engineer from SESI Consulting Engineers, PC. Our representative maintained continuous logs of the explorations as work proceeded and supervised the soil sampling operations in order to develop the required subsurface information.

Laboratory classification testing consisted of 7 water content determinations, 2 percent minus No. 200 sieve tests and 2-grain size analyses. The results of the water contents and the percent minus No. 200 sieve tests are presented on the individual test pit and soil boring logs. The results of the grain size distribution analyses are presented in graphical form as Figures 24 and 25.

## **GENERALIZED SUBSURFACE CONDITIONS**

### **Geology and Site Conditions**

Geologically, the site soils are mapped as Dutchess- Cardigan complex, comprised of undulating, rocky Channery silt loam/gravelly loam to Channery very fine sandy loam/very gravelly sandy loam. The site soils are in general agreement with the geological mapping.

Rock ledge was visible in the south and north areas of the property.

### Subsurface Conditions

Topsoil was encountered in most of the test pits and borings and ranged in thickness from 1-inch to 24 inches with a typical thickness of 2 to 10 inches.

Existing uncontrolled fill was encountered in a few locations on the site, primarily around the existing buildings. Since the site has had previous construction, there may be some other areas of uncontrolled fill encountered during the proposed construction where material was buried. The fill encountered during our investigation ranged in depth from 3.5 to 5.5 feet below existing grade. Fill was present in test pits TP-5, TP-6, and TP-13 and in boring B-6. The fill material consisted of miscellaneous debris such as ash, cinders, coal, plastic, glass, brick, metal, porcelain, shingles, etc. with varying amounts of sand, silt, gravel and fractured rock. It should be noted that there were other piles of miscellaneous fill present at the surface throughout the site.

Beneath the topsoil in the majority of the site is a brown medium to fine sand, trace to some silt, trace to some gravel to depths of 1 to 8 feet below existing grade. Beneath this sand stratum is a yellow-brown clayey silt layer with trace to some sand (hardpan) that extends to the bedrock. Some fractured rock was present in the soils immediately above the bedrock. The upper portions of the bedrock were highly weathered and could be excavated with the trackhoe.

Sandstone and shale bedrock was encountered in all of the borings and most of the test pits, (except for TP-1, TP-6, TP-7, and TP-14) at depths ranging from 2.5 to 18.0 feet below existing grade. It should be anticipated that blasting or other mechanical means of removal will be required for the deeper cuts into rock. The rock core done at boring B-7 appears to be through boulders and not bedrock.

### Groundwater

Groundwater was present in boring B-4 at a depth of 10.0 feet during the short period of time that the boring was left open. No other test pits or borings encountered groundwater. It should be anticipated that water seepage from recent precipitation will be encountered when completing the rock cuts. There may also be water encountered at the soil-rock interface.

## EVALUATION AND RECOMMENDATIONS

### General

From a soils and foundation support standpoint, this site can be considered good with respect to providing satisfactory support of the planned buildings. The natural soils and/or competent bedrock will provide suitable bearing for conventional shallow foundations and a slab-on-grade. The primary negative aspects of the site are the high silt/clay content of some of the site soils and the presence of some areas of existing uncontrolled fill.

### Generalized Site Preparation Procedures

In general, the site preparation procedures should consist of stripping the surface vegetation and asphalt from within the building, parking and roadway areas, and then cutting and filling the site to grade. Where more than 4 feet of fill is required to reach finished subgrade elevation in parking or roadway areas, the topsoil need not be stripped. Any existing fill should be removed from within and 10 feet beyond the proposed building lines and any old foundations and slabs removed to a minimum of 2 feet below the new footings and floor slab. Any existing utilities within the new building footprint should either be removed or filled completely with a concrete slurry.

Prior to placing any fill material in the building areas, the entire area should be proofrolled with a heavy vibratory roller. The proofrolling should consist of making 4 complete coverages of the area. Any soft areas disclosed should be excavated to stable material and backfilled in compacted lifts to achieve 95 percent of Modified Proctor Density as determined by ASTM D1557.

If any footing excavations encounter existing uncontrolled fill at the subgrade, the excavation should continue through the existing fill to the natural soils and be backfilled with  $\frac{3}{4}$  inch clean crushed stone to subgrade elevation or backfilled with suitable material placed in compacted lifts under full-time engineering inspection. The excavation should be widened one foot beyond the edge of footing for every foot of over-excavation. (i.e. for 4 feet of over-excavation, the excavation should be an additional 2 feet beyond all sides of the footing).

The cut soils beneath the topsoil may be used as structural fill; however, some of these materials possess a significant silt/clay content and cannot be worked or compacted when significantly over optimum water content, and once wet, will require a long period of time to dry. The ease with which soil fills can be constructed on this site will, to a high degree, depend on the time of year in which construction takes place and the construction procedures

utilized by the earthwork contractor. Boulders may be used as backfill in non-structural areas as long as they do not interfere with utility construction.

For ease of construction, we recommend that the silty soils and soils containing boulders be placed in the deeper portions of the non-building fill areas, at least 3 feet below proposed finished grade. If the silty soils become too wet to compact, they can either be air-dried or mixed with lime to lower the water content.

Fill should be placed in maximum 12-inch thick lifts, with each layer compacted to the required density using a large vibratory roller (minimum 10-ton static drum weight). Building area fills should be compacted to a minimum of 92 percent and average of 95 percent of the maximum Modified Proctor Density (ASTM D 1557). Offsite borrow material, if required, should have a maximum particle size of 8 inches and the maximum amount of fines (percentage passing a No. 200 mesh sieve) should be 15% to help facilitate construction during wet weather. The "fines" should be non-plastic.

Backfill in confined areas such as utility trenches and foundations within load bearing or paved areas should be placed in maximum 6-inch thick layers and compacted to a minimum of 92 percent and average of 95 percent density as described above.

As previously indicated, some of the onsite soils contain significant percentages of silt and will readily soften during wet weather and from construction activity. Wetting or drying of the fill material should be accomplished as necessary to achieve the required density. The subgrade should be graded to drain and tight-rolled at the end of the day, if wet weather is anticipated.

Permanent soil cut and fill slopes should be limited to a maximum of 2.5 horizontal to 1 vertical for slopes up to 15 feet high.

All excavations should be performed in accordance with OSHA requirements as interpreted by a competent person, including but not limited to, temporary shoring, trench boxes and benching.

Depending on the soil encountered at subgrade elevation for the slab-on-grade, it may be prudent to place a filter fabric and 6 inches of clean granular fill to provide a stable working surface.

### **Rock Excavation**

It should be anticipated that the upper portions of the rock are fractured and highly weathered and will be able to be ripped by a large trackhoe or a D8

with ripper. In any areas that require cuts into rock of more than a few feet, hammering or drilling and blasting will likely be necessary. Where blasting is done, the rock face should be pre-split to provide a more uniform rock face and reduce over-blasting and excessive fracturing.

Blasting should be done in accordance with applicable State and Local regulations.

The blasted shotrock may be used in the deeper building and parking area fills, provided there is a sufficient gradation such that no significant voids are created. The shotrock should be kept a minimum of 2.0 feet below finished bottom floor grade in the building areas and a minimum of 1.0 foot below the pavement subgrade elevation. The maximum lift thickness of the shotrock fill should be limited to 18 inches and should be compacted with a heavy vibratory roller.

Depending on the gradation of the shotrock, it may be necessary to place filter fabric on the top of the last lift of shotrock prior to placing soil fill, in order to prevent the migration of "fines".

## **FOUNDATION DESIGN CRITERIA**

Footings may be placed on the compacted structural fill or the natural inorganic soils and be designed for a maximum net allowable bearing pressure of 2.5 tsf (5,000 psf). Footings founded on competent rock can be designed for an allowable bearing pressure of 6.0 tsf (12,000 psf).

It should be noted that the above design pressures are higher than allowed by the Building Code of the State of New York and may require approval of the appropriate regulatory agencies.

Regardless of the loads, the minimum plan dimension of isolated footings should be 36 inches and the minimum width of continuous footings should be 20 inches. Exterior footings and those footings potentially exposed to frost action should be founded a minimum of 4.0 feet below adjacent exterior finished grade. Interior footings can be founded at conventional depths below the slab. Footings founded on hard/ sound rock need not be placed below frost depth.

All temporary excavations greater than 4 feet in depth should have the sides sloped back to a maximum slope of 1 horizontal to 1 vertical or be appropriately sheeted and braced in accordance with OSHA requirements and all applicable codes as interpreted by a competent person.

Because some of the site soils are moisture sensitive, they will readily degrade under construction traffic and if left open to the weather. Footing excavations should therefore be left open for as short a time as practical to avoid excessive disturbance to the exposed subgrade. We recommend that a 6 to 12 inch thick layer of  $\frac{3}{4}$  inch clean crushed stone be placed or a concrete mud-mat poured in the bottom of footing excavations that fall within the natural silty soils to provide a stable working surface in those footing locations that will be left open for more than one day.

Because groundwater seepage may be encountered in some of the footing excavations, over-excavation may be required along with placement of 6 to 12 inches of  $\frac{3}{4}$  inch clean crushed stone. Any groundwater seepage should be directed to a sump for pumping.

The floor slab should be designed using a subgrade modulus of 175 pci, assuming that a 4-inch thick layer of granular material with a maximum particle size of 1.5 inches and a maximum percent passing the No. 200 mesh sieve of 12 percent is placed beneath the floor slab.

The site soils have been classified as Site Class C for seismic design purposes in accordance with The Building Code of The State of New York.

All retaining walls, including foundation walls, should be provided with positive drainage behind the walls to preclude hydrostatic pressures from developing.

After satisfactory completion of the outlined building area preparation procedures, footings and floor slabs founded on the compacted structural fill/natural soils/rock should have post-construction total settlements of less than  $\frac{3}{4}$ -inch and maximum differential settlements in a 30 foot span of less than  $\frac{1}{2}$  inch.

## TESTING REQUIREMENTS

During the placement of all fill, visual observations and density tests should be performed to determine the adequacy of the fill. Density testing should be done in accordance with the following minimum frequency requirements:

- **Building Areas:** Minimum of 4 tests per 12-inch lift; spacing not to exceed 50 feet between test locations.
- **Parking/Roadway Areas:** Minimum of 3 tests per 12-inch lift; spacing not to exceed 100 feet between test locations.

Minimum density requirements are outlined in the previous sections of this report.



## UTILITY LINES

The site soils will provide suitable support for utility lines. Cobbles greater than 4 inches in diameter should be removed from the utility line subgrade or a minimum 4-inch thick sand layer placed beneath the utility lines.

Backfill material placed around utility lines to 6 inches above the utility line should have a maximum particle size of 1.5 inches. Backfill of utility trenches that fall within load-bearing areas should be placed in maximum 8-inch thick lifts and compacted to a minimum of 92 percent and average of 95 percent of Modified Proctor Density (ASTM D-1557).

## PAVEMENT AREAS

The cut soils may be used as fill in paved areas; however, as previously discussed, some of these soils possess a high percentage of silt/clay, and cannot be worked or compacted when wet. In order to reuse these soils, they may need to be spread out to let dry or treated with lime/cement to reduce the moisture content and make them workable. For ease of construction, the more silty soils should be used in the lower portion of the deeper fills (a minimum of 3 feet below proposed finished subgrade elevation).

The compaction criteria for fills in parking and roadway areas may consist of 92 percent (ASTM D-1557), except in the uppermost 2 feet where 95 percent should be achieved to provide for good pavement support. Visual observations and in-place field density tests should be made to determine the adequacy of the compaction.

Soils that will be encountered at subgrade elevation in paved areas that require only small cuts may be near or slightly over optimum moisture content in their natural state. These soils will rut and weave under construction traffic and may require partial removal and replacement or stabilization using lime/cement prior to constructing a pavement section.

Because some of the site soils have a high silt content, it may be necessary to undercut the proposed construction roads, place a layer of filter fabric and 12 inches of 3± inch stone in order to prevent these roads from becoming soft and unsuitable for construction traffic.

Specifications for using lime, cement or fly ash can be provided if required. In general, using pulverized limestone to treat the soils will consist of mixing sufficient quantities of pulverized limestone (approximately 5% by dry weight into the top 12± inches) with a backhoe/dozer as the material is being moved

and placed. This operation should not be done on windy days and after the soil is treated, placed and compacted, it should not be disturbed after wet weather.

## **PAVEMENT DESIGN CRITERIA**

We estimate that the subgrade soils will have a CBR value (California Bearing Ratio) ranging from 8 to 15. A conservative value of 8 was used for our design recommendations. We should inspect the pavement subgrade prior to the placement of the pavement section in order to determine if it is in accordance with our estimated design criteria. The recommended minimum pavement sections are provided below:

### **Light Duty Pavement (Driveways and Parking Areas)**

Top Course, 1.5 inches of Type 6F Asphalt Concrete Top Course,  
NYSDOT Item 403.1701

Binder Course, 3.0 inches of Type 1 Asphalt Concrete Base Course,  
NYSDOT Item 403.11

Subbase Course, 8 inches of Type 4 Subbase, Item 304.05

### **Heavy Duty Pavement (Roadways)**

Top Course, 2.0 inches of Type 6F Asphalt Concrete Top Course,  
NYSDOT Item 403.1701

Binder Course, 4.0 inches of Type 1 Asphalt Concrete Base Course,  
NYSDOT Item 403.11

Subbase Course, 8.0 inches of Type 4 Subbase Item 304-2.02

The above minimum pavement sections are based on the subgrade soils being compacted to a firm and unyielding condition to achieve 95 percent of Modified Proctor density (ASTM D 1557). The materials to be used in the proposed pavement sections are described within the NYSDOT Standard Specification for Construction Materials. It should be noted that the town may have minimum pavement thickness requirements that differ from those above.

## **INSPECTION**

The recommendations presented in the previous sections of this report are based on the assumption that the site preparation procedures will be done under engineering inspection by a qualified soils engineer. They should inspect the excavation operations, the placement of the compacted fill and the bottom of the footing excavations prior to the placement of concrete and/or stone. Visual observations and in-place density testing should be done throughout fill construction to determine that the work is done in accordance with our recommendations.

## **LIMITATIONS**

The subsurface investigation performed identifies the subsurface conditions only at the locations of the test holes and at the depths where the samples were taken. SESI Consulting Engineers, PC reviews the published geologic data and the field and laboratory data and uses their professional judgment and experience to render an opinion on the subsurface conditions throughout the site. Since the actual subsurface conditions may differ, we recommend that SESI be retained to provide construction inspection in order to minimize the risks associated with unanticipated conditions.

**TABLE 1**  
**SUMMARY OF SOIL DESIGN PARAMETERS**

<b>PARAMETER</b>	<b>VALUE</b>
1. Allowable Bearing Capacity (net)	
a) Natural Soil/Compacted Fill	5,000 psf
b) Competent Bedrock	12,000 psf
2. Total Unit Weight	125 pcf
3. Angle of Internal Friction - Backfill Against Structures	28 degrees
4. Earth Pressure Coefficient (See Note 1)	
Active Earth Pressure (Ka)	0.33
Earth Pressure @ Rest (Ko)	0.50
Passive Earth Pressure (Kp)	3.00
5. Coefficient of Sliding (concrete over soil)	0.40
6. Subgrade Modulus for Floor Slab Design (Granular Fill)	175 pci
7. Slopes (Above Groundwater)	
Maximum Cut Slope in Soil	2.5H:1V
Maximum Fill Slope in Soil	2.5H:1V
8. Seismic Design Criteria – Site Class	C
9. Footing Depth for Frost Protection	4.0 ft

Notes:

1. A drainage medium should be installed along all retaining walls to avoid hydrostatic pressures from developing.
2. Compaction equipment used within 5± feet permanent walls should not weigh more than 5,000 pounds.

## **APPENDIX**



Tompkins Ave.

Tompkins Tr

Edgewater Pl

Branch St

Google

Eye alt 1424 ft

Streaming 100%

© 2006 Europa Technologies  
Image © 2006 New York GIS  
© 2006 Navteq

Pointer 41°30'34.25" N 73°58'57.51" W elev 92 ft

PROJECT NO. 6934

INSPECTED BY JN

TEST PIT NO.

TP-1

LOCATION See Figure 1

APPROX. ELEV. 90±

WATER OBSERVATION NONE

DATE EXCAVATED 9/19/2006

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0	1" Topsoil	
1	Brown medium to fine SAND, trace Silt	Loose
2		
3		
4		
5		
6		
7		
8	Yellow-Brown clayey SILT, trace Sand	Stiff
9		
10	Brown medium to fine SAND, trace Silt	Medium Dense
11	Yellow-Brown clayey SILT, trace Sand	Very Dense
12		
13		
14	TEST PIT COMPLETE AT 14 FEET	

NOTE:

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Fig. 2

PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO. <u>TP-2</u>
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>86'±</u>	
WATER OBSERVATION <u>NONE</u>		DATE EXCAVATED <u>9/19/2006</u>

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 — — 1 —	2" Topsoil Brown medium to fine SAND, trace Silt	Loose
2 — — 3 —	Yellow-Brown SILT, trace fine Sand with thick Roots  W.C. = 31.6% (-200) = 93.8%	Medium Dense
4 — — 5 — — 6 — — 7 — — 8 —	Brown medium to fine SAND, trace Silt with Root to 5.0 Feet	Loose
9 — — 10 —	Yellow-Brown clayey SILT, trace Sand	Firm to Stiff
11 — — 12 — — 13 — — 14 —	REFUSAL ON BEDROCK AT 10.0 FEET TEST PIT COMPLETE AT 10.0 FEET	

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NOTE:

Fig. 3



PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO.	TP-3
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>95±</u>		
WATER OBSERVATION <u>NONE</u>	DATE EXCAVATED <u>9/19/2006</u>		

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 — —	3" Topsoil and Roots, debris	Dense
1 — —	Brown coarse to fine GRAVEL, some coarse to medium Sand, some Silt with fractured Shale and Boulders	
2 — —		
3 — —		
4 — —	W.C. = 8.7% (-200) = 20.4%	
5 — —		
6 — —		
7 — —	REFUSAL ON BEDROCK AT 7.0 FEET	
8 — —	TEST PIT COMPLETE AT 7.0 FEET	
9 — —		
10 — —		
11 — —		
12 — —		
13 — —		
14 —		

NOTE:

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Fig. 4

PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO.	TP-4
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>110±</u>		
WATER OBSERVATION <u>NONE</u>	DATE EXCAVATED <u>9/19/2006</u>		

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 — —	10" Topsoil and fine Roots	Medium Dense
1 — —	Orange-Brown coarse to fine SAND, some Silt, little coarse to fine Gravel with fractured Shale	
2 — —		
3 — —		
4 — —	REFUSAL ON BEDROCK AT 4.0 FEET	
5 — —	TEST PIT COMPLETE AT 4.0 FEET	
6 — —		
7 — —		
8 — —		
9 — —		
10 — —		
11 — —		
12 — —		
13 — —		
14 — —		

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NOTE:

Fig. 5

PROJECT NO. 6934      INSPECTED BY JN      TEST PIT NO. TP-5

LOCATION See Figure 1      APPROX. ELEV. 105'±

WATER OBSERVATION NONE      DATE EXCAVATED 9/19/2006

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0— — 1— — 2— — 3— — 4— — 5— — 6— — 7— — 8— — 9— — 10— — 11— — 12— — 13— — 14—	<p>FILL: Brown medium to fine SAND and clayey Silt, trace Gravel, with fractured Shale, Brick, Shingles, Porcelain, Glass, Ash</p> <p>----- 2" layer of Ash/Cinders</p>	Medium Dense
5— — 6—	<p>Yellow-Brown clayey Silt/silty Clay, little fine Sand      W.C. = 21.4%</p>	Firm
7— — 8— — 9— — 10— — 11— — 12— — 13— — 14—	<p>REFUSAL ON BEDROCK AT 6.5 FEET TEST PIT COMPLETE AT 6.5 FEET</p>	

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NOTE:

Fig. 6

PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO. <u>TP-6</u>
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>116'+</u>	
WATER OBSERVATION <u>NONE</u>		DATE EXCAVATED <u>9/19/2006</u>

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 — —	1" Topsoil	
1 — —	FILL: Brown coarse to fine SAND, little Silt, little coarse to fine Gravel with fractured Shale	
2 — —		
3 — —	FILL: Tan fractured Shale and medium to fine Sand, little Silt, with Plastic, Porcelain, and Brick	
4 — —		
5 — —	Orange-Brown coarse to fine SAND, little Silt with fractured Shale	Medium Dense
6 — —		
7 — —		
8 — —		
9 — —		
10 — —	TEST PIT COMPLETE AT 10.0 FEET	
11 — —		
12 — —		
13 — —		
14 — —		

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NOTE:

Fig. 7

TP-7

PROJECT NO. 6934

INSPECTED BY JN

TEST PIT NO.

LOCATION See Figure 1

APPROX. ELEV. 112±

WATER OBSERVATION NONE

DATE EXCAVATED 9/19/2006

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 — — 1 — — 2 — — 3 — —	Brown coarse to fine SAND, little coarse to fine Gravel, little Silt, with fractured Shale, trace Roots	Medium Dense
4 — — 5 — — 6 — — 7 —	Orange-Brown coarse to fine Gravel, some coarse to medium Sand, some Silt with fractured Shale  W.C. = 9.0% (-200) = 28.0%	Medium Dense
8 — — 9 — — 10 — —	Brown coarse to fine SAND, some coarse to fine Gravel, little Silt, with fractured Shale	Dense
11 — — 12 — — 13 — — 14 —	TEST PIT COMPLETE AT 11.0 FEET	

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NOTE:

Fig. 8

PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO.	TP-8
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>119'±</u>		
WATER OBSERVATION <u>NONE</u>	DATE EXCAVATED <u>9/19/2006</u>		

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 —	12" Topsoil with fractured Shale	
1 —	Fractured Shale/Sandstone	Very Dense
2 —		
3 —	REFUSAL ON BEDROCK AT 3.0 FEET	
4 —	TEST PIT COMPLETE AT 3.0 FEET	
5 —		
6 —		
7 —		
8 —		
9 —		
10 —		
11 —		
12 —		
13 —		
14 —		

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NOTE:

Fig. 9

PROJECT NO. 6934      INSPECTED BY JN      TEST PIT NO. TP-9  
 LOCATION See Figure 1      APPROX. ELEV. 113'±  
 WATER OBSERVATION NONE      DATE EXCAVATED 9/19/2006

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0— — 1— —	24" Topsoil	
2— —	Orange-Brown medium to fine SAND, little Silt	Medium Dense
3— — 4— —	Yellow-Brown Silt and fine Sand	Medium Dense
5— — 6— — 7— — 8— — 9— — 10— — 11— — 12— — 13— — 14—	REFUSAL ON BEDROCK AT 5.0 FEET TEST PIT COMPLETE AT 5.0 FEET	

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NOTE:

Fig. 10

PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO.	<b>TP-10</b>
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>84'±</u>		
WATER OBSERVATION <u>NONE</u>	DATE EXCAVATED <u>9/19/2006</u>		

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 —	7" Topsoil	
1 —	Yellow-Brown clayey Silt/silty Clay, trace Sand	Firm
2 —	Fractured Shale/Sandstone	Dense
3 —	REFUSAL ON BEDROCK AT 2.5 FEET TEST PIT COMPLETE AT 2.5 FEET	
4 —		
5 —		
6 —		
7 —		
8 —		
9 —		
10 —		
11 —		
12 —		
13 —		
14 —		

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NOTE:

Fig. 11



PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO. <u>TP-11</u>
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>90'±</u>	
WATER OBSERVATION <u>NONE</u>		DATE EXCAVATED <u>9/19/2006</u>

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 — —	10" Topsoil	
1 — — 2 — —	Brown coarse to fine SAND, some Silt, trace Gravel	Medium Dense
3 — — 4 — — 5 — —	Yellow-Brown/Tan clayey SILT, trace Sand <span style="float: right;">W.C. = 26.6%</span>	Stiff
6 — —	Fractured Shale/Sandstone	Very Dense
7 — — 8 — — 9 — — 10 — — 11 — — 12 — — 13 — — 14 —	REFUSAL ON BEDROCK AT 7.0 FEET TEST PIT COMPLETE AT 7.0 FEET	

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NOTE:

Fig. 12

PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO. <u>TP-12</u>
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>96'±</u>	
WATER OBSERVATION <u>NONE</u>	DATE EXCAVATED <u>9/19/2006</u>	

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 — —	10" Topsoil	
1 — — 2 — — 3 — —	Brown/Gray mottled silty Clay/clayey Silt, little fine Sand  W.C. = 26.5%	Stiff
4 — — 5 — — 6 — —	Brown clayey Silt, little fine Sand	Stiff
7 — — 8 — — 9 — — 10 — — 11 — — 12 — — 13 — — 14 —	REFUSAL ON BEDROCK AT 6.5 FEET TEST PIT COMPLETE AT 6.5 FEET	

NOTE:

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PROJECT NO. <u>6934</u>	INSPECTED BY <u>JN</u>	TEST PIT NO.	TP-13
LOCATION <u>See Figure 1</u>	APPROX. ELEV. <u>86'±</u>		
WATER OBSERVATION <u>NONE</u>	DATE EXCAVATED <u>9/19/2006</u>		

DEPTH FT.	DESCRIPTION / SOIL CLASSIFICATION	RELATIVE DENSITY OR CONSISTENCY
0 —	2" Topsoil	
—	Fill: Ash, Cinders, Coal, Glass, Clay pots, Porcelain	
1 —		
—		
2 —	Brown coarse to fine SAND, trace Gravel, trace Silt, with Roots	Medium Dense
—		
3 —		
—		
4 —		
—		
5 —	Tan SILT, trace Sand, trace Organic	Hard
—		
6 —	Brown/Tan SILT, trace Sand	Stiff
—		
7 —		
—		
8 —		
—		
9 —		
—		
10 —	REFUSAL ON BEDROCK AT 10.0 FEET TEST PIT COMPLETE AT 10.0 FEET	
—		
11 —		
—		
12 —		
—		
13 —		
—		
14 —		

NOTE:

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Fig. 14

				LOCATION NAME: 45 Tompkins Ave				BORING NO. B-1			
				Beacon, NY				JOB NO. 6934		GROUND ELEVATION: 65'±	
BORING BY: GBI				DATE STARTED		9/19/2006		GROUNDWATER TABLE DEPTH None			
INSPECTOR: Ankit Shah				DATE COMPLETED		9/19/2006		0 Hr. Date 24 Hr. Date			
DEPTH (ft)	METHOD	SAMPLE No.	DEPTH		Blows on Spoon				REC (in)	SOIL DESCRIPTION AND STRATIFICATION	SYMBOL
			FROM (ft)	TO (ft)	0/6	6/12	12/18	18/24			
0											
5	ss	1	0	2	7	14	6	12	1/2	1" Topsoil	
										Brown fine Sand and medium to fine Gravel, some Silt	
5	ss	2	2	4	13	25	50/4"		5		
10	core	3	5	6		2:29				Rock Core: RUN#1 (5'-10')	
			6	7		2:07				REC= 43"/60"=71.7%	
			7	8		2:32				RQD= 14"/60"=23.3%	
			8	9		2:41					
			9	10		2:54					
15										BORING COMPLETE AT 10.0 FEET	
20											
25											
30											
35											
40											

Nominal I.D. of Hole	in
Nominal I.D. of Split Barrel Sampler	1 1/2 in
Weight/type of Hammer on Drive Pipe	300 lb
Weight/type of Hammer on Split Barrel	140 lb
Drop of Hammer on Drive Pipe	in
Core Size	

The subsurface information shown hereon was obtained for the design and estimating purposes for our client. It is made available to authorized users only that they may have access to the same information available to our client. It is presented in good faith, but it is not intended as a substitute for investigations, interpretations or judgment of such authorized users. Information on the logs should not be relied upon without the geotechnical engineers recommendations contained in the report from which these logs were extracted.

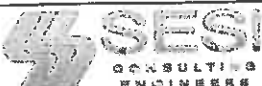
Pp: Pocket Penetrometer; WOH: Weight of Hammer; WOR: Weight of Rod

Approximate Change in Strata: \_\_\_\_\_ Inferred Change in Strata: \_\_\_\_\_

Soil descriptions represent a field identification after D. M. Burmister unless otherwise noted.

NADOC-POOL/SESI Boring log

FIG. 15

		LOCATION NAME: 45 Tompkins Ave				BORING NO. B-2						
		Beacon, NY				JOB NO. 6934						
BORING BY: GBI		DATE STARTED 9/19/2006		GROUNDWATER TABLE DEPTH None								
INSPECTOR: Ankit Shah		DATE COMPLETED 9/19/2006		0 Hr. Date		24 Hr. Date						
DEPTH (ft)	METHOD	SAMPLE No.	DEPTH		Blows on Spoon				REC (in)	SOIL DESCRIPTION AND STRATIFICATION	SYMBOL	
			FROM (ft)	TO (ft)	0/6	6/12	12/18	18/24				
0												
	ss	1	0	2	13	8	11	16	11	Tan SILT, little fine Sand		
	ss	2	2	4	20	50/2"			6			
5												
	ss	3	5	7	50/3"				2	Fractured Shale		
10												
	ss	4	10	12	50/3"				3			
15												
	ss	5	15	17	50/2"				6			
										BORING COMPLETE AT 17.0 FEET		
20												
25												
30												
35												
40												

Nominal I.D. of Hole	in
Nominal I.D. of Split Barrel Sampler	1 1/4 in
Weight/type of Hammer on Drive Pipe	300 lb
Weight/type of Hammer on Split Barrel	140 lb
Drop of Hammer on Drive Pipe	in
Core Size	


The subsurface information shown hereon was obtained for the design and estimating purposes for our client. It is made available to authorized users only that they may have access to the same information available to our client. It is presented in good faith, but it is not intended as a substitute for investigations, interpretations or judgment of such authorized users. Information on the logs should not be relied upon without the geotechnical engineers recommendations contained in the report from which these logs were extracted.

Pp: Pocket Penetrometer; WOH: Weight of Hammer; WOR: Weight of Rod  
 Approximate Change in Strata: \_\_\_\_\_ Inferred Change in Strata: \_\_\_\_\_

Soil descriptions represent a field identification after D. M. Burmister unless otherwise noted.

N:\DOC-POOL\SES\Boring log.

FIG. 16

				LOCATION NAME: 45 Tompkins Ave				BORING NO. B-3			
				Beacon, NY				JOB NO. 6934		GROUND ELEVATION: 75±	
BORING BY: GBI				DATE STARTED		9/19/2006		GROUNDWATER TABLE DEPTH None			
INSPECTOR: Ankit Shah				DATE COMPLETED		9/19/2006		0 Hr. Date 24 Hr. Date			
DEPTH (ft)	METHOD	SAMPLE No.	DEPTH		Blows on Spoon				REC (in)	SOIL DESCRIPTION AND STRATIFICATION	SYMBOL
			FROM (ft)	TO (ft)	0/6	6/12	12/18	18/24			
0											
	ss	1	0	2	3	6	8	9	11	Brown SILT, trace Sand	
										W.C. = 17.4% (-200) = 94.6%	
	ss	2	2	4	10	27	25	43	14		
5										Gray fine SAND, some fine Gravel, some Silt, with fractured Shale	
	ss	3	5	7	28	45	50/2"		14		
10	core		9	10		2:19				Rock Core: RUN#1 (9'-14')	
			10	11		2:23				Recovery = 60"/60" = 100%	
			11	12		2:14				RQD = 44"/60" = 73.3%	
			12	13		2:53					
			13	14		2:57					
15										BORING COMPLETE AT 14.0 FEET	
20											
25											
30											
35											
40											

Nominal I.D. of Hole	in
Nominal I.D. of Split Barrel Sampler	1 1/2 in
Weight/type of Hammer on Drive Pipe	300 lb
Weight/type of Hammer on Split Barrel	140 lb
Drop of Hammer on Drive Pipe	in
Core Size	

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Pp: Pocket Penetrometer; WOH: Weight of Hammer; WOR: Weight of Rod

Approximate Change in Strata: \_\_\_\_\_ Inferred Change in Strata: \_\_\_\_\_

Soil descriptions represent a field identification after D. M. Burmister unless otherwise noted.

N:\DOC-POOL\SESI Boring log

FIG.17



LOCATION NAME: 45 Tompkins Ave  
 Beacon, NY

BORING NO. B-4  
 JOB NO. 6934  
 GROUND ELEVATION: 77'±

BORING BY: GBI  
 INSPECTOR: Ankit Shah

DATE STARTED 9/19/2006  
 DATE COMPLETED 9/19/2006

GROUNDWATER TABLE DEPTH  
 0 Hr. 10'± Date 9/19/2006 24 Hr. Date

DEPTH (ft)	METHOD	SAMPLE No.	DEPTH		Blows on Spoon				REC (in)	SOIL DESCRIPTION AND STRATIFICATION	SYMBOL
			FROM (ft)	TO (ft)	0/6	6/12	12/18	18/24			
0	ss	1	0	2	2	4	5	6	11	Brown medium to fine Sand and fine Gravel, some Silt	
	ss	2	2	4	6	6	13	46	14	Brown medium to fine SAND and coarse Gravel, some Silt	
5											
	ss	3	5	7	17	27	37	36	22	Brown fine SAND and coarse to fine Gravel, little Silt	
10											
	ss	4	10	12	37	50	50/1"		11		
15											
										REFUSAL ON BEDROCK AT 14.0 FEET BORING COMPLETE AT 14.0 FEET	
20											
25											
30											
35											
40											

Nominal I.D. of Hole	in
Nominal I.D. of Split Barrel Sampler	1 1/4 in
Weight/type of Hammer on Drive Pipe	300 lb
Weight/type of Hammer on Split Barrel	140 lb
Drop of Hammer on Drive Pipe	in
Core Size	

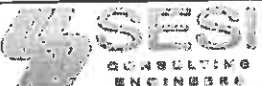
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Pp: Pocket Penetrometer; WOH: Weight of Hammer; WOR: Weight of Rod

Approximate Change in Strata: \_\_\_\_\_ Inferred Change in Strata: \_\_\_\_\_

Soil descriptions represent a field identification after D. M. Burmister unless otherwise noted.

NADOC-POOL/SESI Boring log.

				LOCATION NAME: 45 Tompkins Ave					BORING NO. B-5		
				Beacon, NY					JOB NO. 6934		
BORING BY: GBI				DATE STARTED		9/18/2006		GROUNDWATER TABLE DEPTH None			
INSPECTOR: Ankit Shah				DATE COMPLETED		9/19/2006		0 Hr. Date 24 Hr. Date			
DEPTH (ft)	METHOD	SAMPLE No.	DEPTH		Blows on Spoon				REC (in)	SOIL DESCRIPTION AND STRATIFICATION	SYMBOL
			FROM (ft)	TO (ft)	0/6	6/12	12/18	18/24			
0											
	ss	1	0	2	5	10	14	25	11	Brown fine Sand and coarse Gravel, some Silt	
	ss	2	2	4	20	12	10	6	6		
5											
	core		5	6		2:39				Rock Core: Run#1 (5'-10') REC= 60"/60"=100% RQD= 43"/60"=71.6%	
			6	7		2:17					
			7	8		2:19					
			8	9		2:14					
10			9	10		2:19					
	core		10	11		2:27				Rock Core: Run#2 (10'-15') REC=60"/60"=100% RQD=34"/60"= 56.7%	
			11	12		2:00					
			12	13		2:00					
			13	14		2:19					
15			14	15		2:29					
										BORING COMPLETE AT 15.0 FEET	
20											
25											
30											
35											
40											

Nominal I.D. of Hole	in
Nominal I.D. of Split Barrel Sampler	1 1/2 in
Weight/type of Hammer on Drive Pipe	300 lb
Weight/type of Hammer on Split Barrel	140 lb
Drop of Hammer on Drive Pipe	in
Core Size	

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Pp: Pocket Penetrometer; WOH: Weight of Hammer; WOR: Weight of Rod  
 Approximate Change in Strata: \_\_\_\_\_ Inferred Change in Strata: \_\_\_\_\_

Soil descriptions represent a field identification after D. M. Burmister unless otherwise noted.

NADOC-POOL/SESI Boring log.

FIG.19




				LOCATION NAME: 45 Tompkins Ave				BORING NO. B-6			
				Beacon, NY				JOB NO. 6934		GROUND ELEVATION: 111'±	
BORING BY: GBI				DATE STARTED		9/18/2008		GROUNDWATER TABLE DEPTH None			
INSPECTOR: Ankit Shah				DATE COMPLETED		9/18/2008		0 Hr. Date 24 Hr. Date			
DEPTH (ft)	METHOD	SAMPLE No.	DEPTH		Blows on Spoon				REC (in)	SOIL DESCRIPTION AND STRATIFICATION	SYMBOL
			FROM (ft)	TO (ft)	0/6	6/12	12/18	18/24			
0											
5	ss	1	0	2	5	9	13	12	14	FILL: Brown coarse to fine SAND and coarse to fine Gravel, little Silt	
	ss	2	2	4	12	17	11	9	12		
10	ss	3	5	7	10	7	7	24	19	Brown PEAT Yellow-Brown SILT, little coarse to fine Gravel, trace Sand	
	ss	4	7	9	15	17	50/5"		11		
15	ss	5	10	12	46	45	56	52/4"	24	Gray-Brown SILT, some coarse to fine Gravel, trace Sand	
20	ss	6	15	17	29	37	50/4"		8	REFUSAL ON BEDROCK AT 18.0 FEET BORING COMPLETE AT 18.0 FEET	
25											
30											
35											
40											

Nominal I.D. of Hole	in
Nominal I.D. of Split Barrel Sampler	1 1/2 in
Weight/type of Hammer on Drive Pipe	300 lb
Weight/type of Hammer on Split Barrel	140 lb
Drop of Hammer on Drive Pipe	in
Core Size	

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Pp: Pocket Penetrometer; WOH: Weight of Hammer; WOR: Weight of Rod

Approximate Change in Strata: \_\_\_\_\_ Inferred Change in Strata: \_\_\_\_\_

				LOCATION NAME: 45 Tompkins Ave				BORING NO. B-7			
				Beacon, NY				JOB NO. 6934		GROUND ELEVATION: 109±	
BORING BY: GBI				DATE STARTED		9/18/2008		GROUNDWATER TABLE DEPTH None			
INSPECTOR: Ankit Shah				DATE COMPLETED		9/18/2008		0 Hr. Date 24 Hr. Date			
DEPTH (ft)	METHOD	SAMPLE No.	DEPTH		Blows on Spoon				REC (in)	SOIL DESCRIPTION AND STRATIFICATION	SYMBOL
			FROM (ft)	TO (ft)	0/6	6/12	12/18	18/24			
0											
	ss	1	0	2	8	12	13	9	12	Brown coarse to fine Sand and coarse to fine Gravel, some Silt	
	ss	2	2	4	3	3	6	44	14		
5											
	ss	3	5	7	13	19	23	50/4"	11	BOULDERS	
	core		7	8		2:00					Rock Core: Run #1 (7'-11')
10										Recovery = 32"/48" = 66.7%	
			8	9		2:20				RQD= 17"/48" = 35.4%	
			9	10		2:35					
			10	11		2:45					
	core		11	12		1:40				Rock Core: Run #1 (11'-16')	
15										Recovery = 29"/60" = 48.3%	
			12	13		1:53				RQD= 14"/60" = 23.3%	
			13	14		2:19					
			14	15		1:58					
			15	16		2:10					
20										BORING COMPLETE AT 16.0 FEET	
25											
30											
35											
40											

Nominal I.D. of Hole	in
Nominal I.D. of Split Barrel Sampler	1 1/4 in
Weight/type of Hammer on Drive Pipe	300 lb
Weight/type of Hammer on Split Barrel	140 lb
Drop of Hammer on Drive Pipe	in
Core Size	

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Pp: Pocket Penetrometer; WOH: Weight of Hammer; WOR: Weight of Rod

Approximate Change in Strata: \_\_\_\_\_ Inferred Change in Strata: \_\_\_\_\_

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NADOC-POOL/SES1 Boring log

FIG. 21

			LOCATION NAME: 45 Tompkins Ave						BORING NO. B-8		
			Beacon, NY						JOB NO. 6934		
									GROUND ELEVATION: 104'±		
BORING BY: GBI			DATE STARTED		9/18/2006		GROUNDWATER TABLE DEPTH None				
INSPECTOR: Ankit Shah			DATE COMPLETED		9/18/2006		0 Hr. Date 24 Hr. Date				
DEPTH (ft)	METHOD	SAMPLE No.	DEPTH		Blows on Spoon				REC (in)	SOIL DESCRIPTION AND STRATIFICATION	SYMBOL
			FROM (ft)	TO (ft)	0/6	6/12	12/18	18/24			
0											
	ss	1	0	2	2	6	10	14	12	Yellow-Brown coarse to fine Sand and coarse to fine Gravel, some Silt	
	ss	2	2	3	18	30			7		
5	core		3	4		1:27				Rock Core: Run#1 (3'-8')	
			4	5		2:19				Recovery = 42"/60" = 70.0%	
			5	6		2:07				RQD = 16"/60" = 26.7%	
			6	7		2:23					
			7	8		3:19					
10	core		8	9		3:00				Rock Core: Run#2 (8'-13')	
			9	10		3:17				Recovery = 60"/60" = 100.0%	
			10	11		2:54				RQD = 8"/60" = 13.3%	
			11	12		3:09					
			12	13		3:15					
15										BORING COMPLETE AT 13.0 FEET	
20											
25											
30											
35											
40											

Nominal I.D. of Hole	in
Nominal I.D. of Split Barrel Sampler	1 1/4 in
Weight/type of Hammer on Drive Pipe	300 lb
Weight/type of Hammer on Split Barrel	140 lb
Drop of Hammer on Drive Pipe	in
Core Size	

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Pp: Pocket Penetrometer; WOH: Weight of Hammer; WOR: Weight of Rod

Approximate Change in Strata: \_\_\_\_\_ Inferred Change in Strata: \_\_\_\_\_

Soil descriptions represent a field identification after D. M. Burmister unless otherwise noted.

NADOC-POOL/SESI Boring log.

FIG. 22

## Definitions of Identification Terms for Granular Soils

Our experience has shown that the following field identification system, which is patterned somewhat after the Burmister System, permits a more detailed breakdown of the components within a soil sample than other identification systems allow. It also compels the supervising technician to examine a sample quite closely in order to accurately describe the components within the sample.

### Principal Component (All Capitalized)

- GRAVEL More than 50% of the sample by weight is Gravel
- SAND More than 50% of the sample by weight is Sand
- SILT More than 50% of the sample by weight is Silt

### Minor Component (Proper Case)

- Gravel Less than 50% of the sample by weight is Gravel
- Sand Less than 50% of the sample by weight is Sand
- Silt Less than 50% of the sample by weight is Silt

### Proportion Terms

- and Component ranges from 35% to 50% of the sample by weight
- some Component ranges from 20% to 35% of the sample by weight
- little Component ranges from 10% to 20% of the sample by weight
- trace Component ranges from 0% to 10% of the sample by weight

### Size of Soil Components

- Gravel
  - Coarse gravel ranges from 3 inches to 1 inch
  - Medium gravel ranges from 1 inch to 3/8 inch
  - Fine gravel ranges from 3/8 inch to No. 10 sieve
- Sand
  - Coarse sand ranges from No. 10 sieve to No. 30 sieve
  - Medium sand ranges from No. 30 sieve to No. 60 sieve
  - Fine sand ranges from No. 60 sieve to No. 200 sieve
- Silt
  - Material which passes the No. 200 sieve
- Clay
  - Material which passes the No. 200 sieve
  - Exhibits varying degrees of plasticity

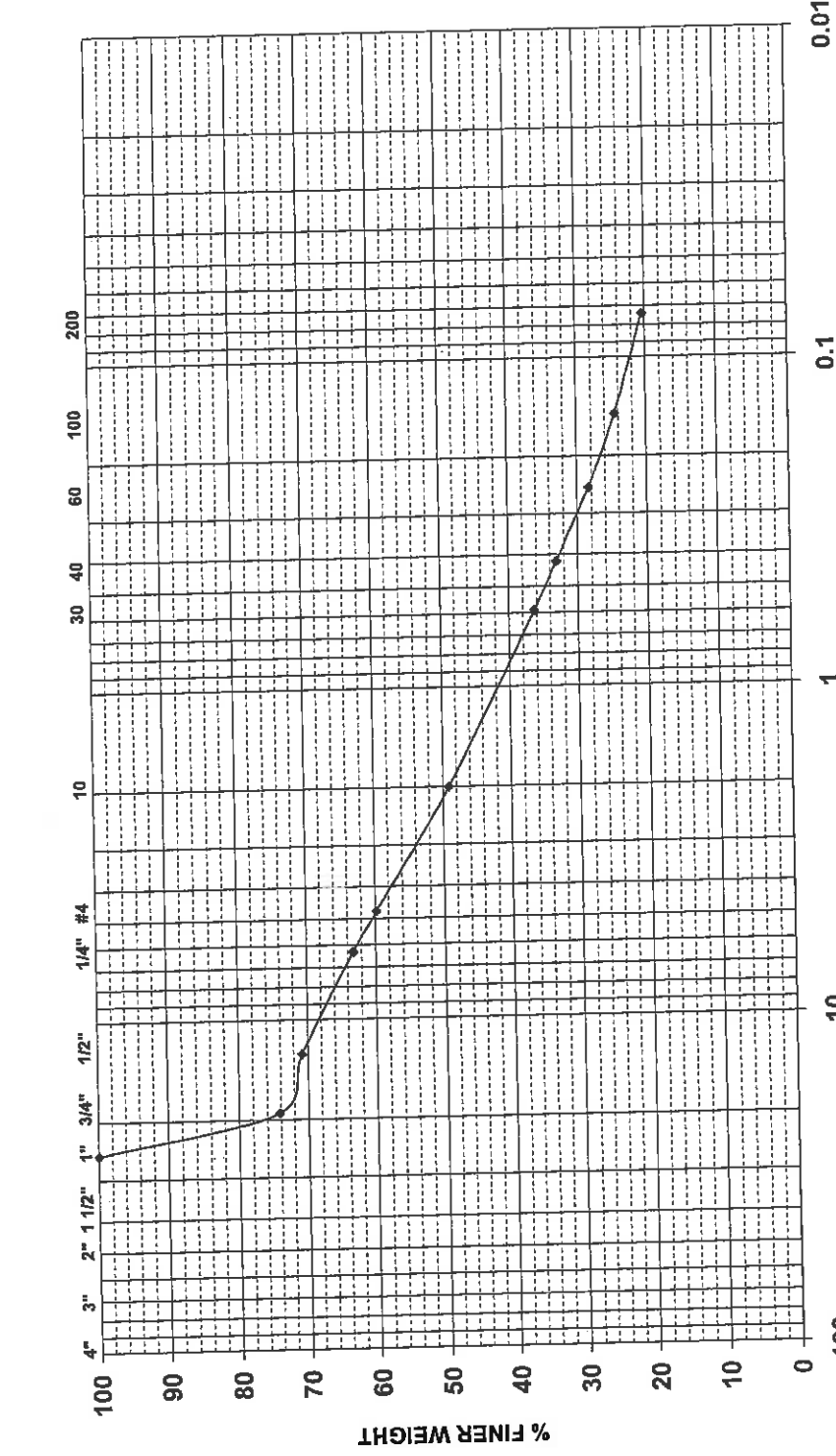
### Gradation Designations

- Coarse to fine (c-f) All fractions greater than 10% of the component
- Coarse to medium (c-m) Less than 10% of the component is fine
- Medium to fine (m-f) Less than 10% of the component is coarse
- Coarse (c) Less than 10% of the component is medium and fine
- Medium (m) Less than 10% of the component is coarse and fine
- Fine (f) Less than 10% of the component is coarse and medium

Symbol	◆
Boring	TP-3
Sample	
Depth	4.0'
% +3"	
% Gravel	50.93
% Sand	28.71
% Fines	20.35
% Silt	
% Clay	
Sp.G	
LL	
PL	
PI	
W (%)	8.7

GRAVEL		SAND		SLT OR CLAY	
COARSE	FINE	COARSE	FINE		
3/4"	2mm		7.4mm		

U.S. STANDARD SIEVE SIZES



GRAIN SIZE IN MILLIMETERS

Particle Size	Percent Finer Than
3"	-
1 1/2"	-
1"	100.00
3/4"	74.15
1/2"	70.79
1/4"	63.19
4	59.76
10	49.07
30	36.28
40	33.08
60	28.38
100	24.55
200	20.35

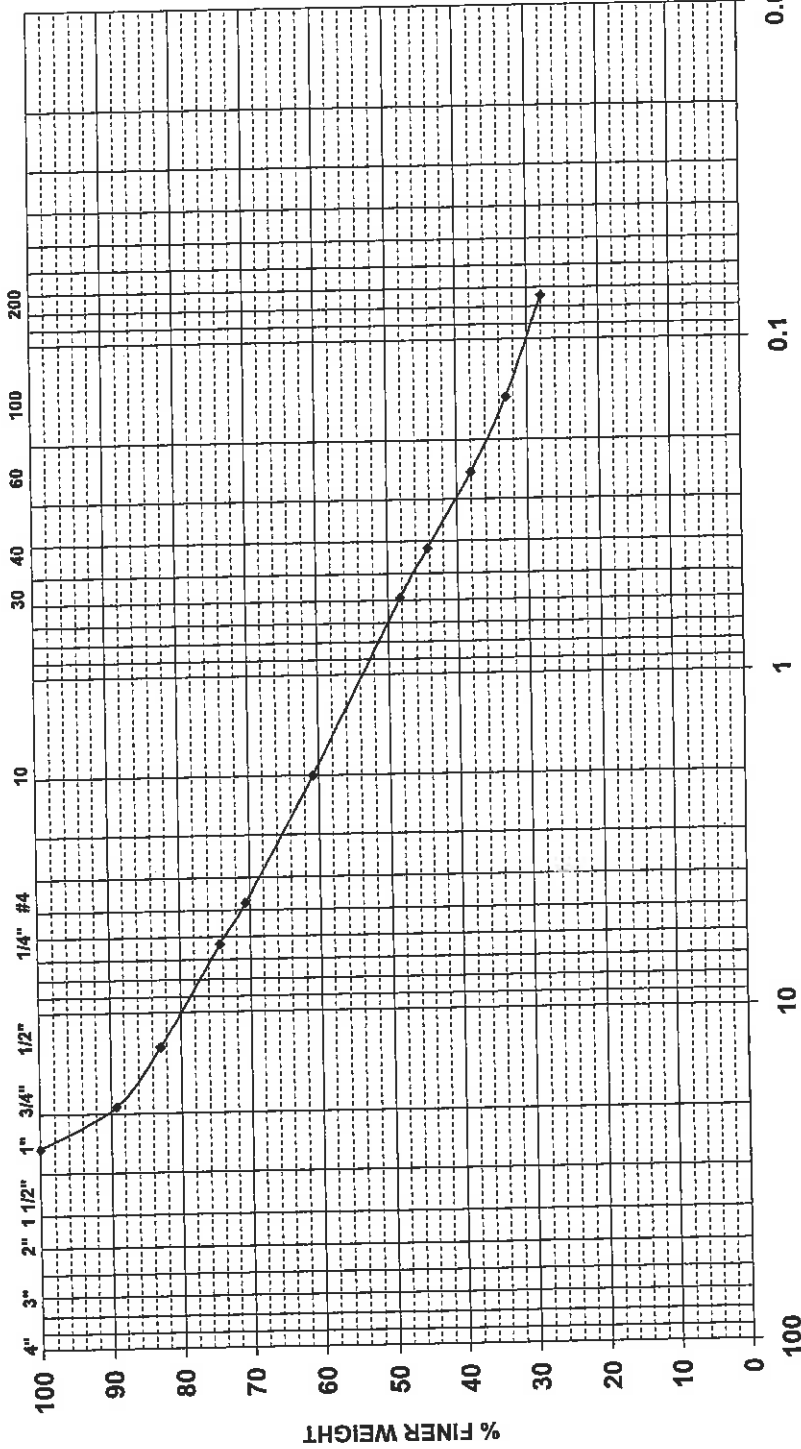
**PARTICLE SIZE DISTRIBUTION**  
 CLIENT: Beacon Terminal Associates  
 PROJECT: 45 Tompkins Ave., Beacon, NY  
 DATE: September 26, 2006  
 JOB NO. N-6934 FIGURE No 24

SYMBOL	◆	DESCRIPTION AND REMARKS
		Brown coarse to fine GRAVEL, some coarse to medium Sand, some Silt with fractured Shale and Boulders



GRAVEL		SAND		SILT OR CLAY	
COARSE	FINE	COARSE	FINE	COARSE	FINE
3/4"	2mm	7.4mm	7.4mm		

U.S. STANDARD SIEVE SIZES



GRAIN SIZE IN MILLIMETERS

Symbol	TP-7	
Boring		
Sample		
Depth	5.0'	
% +3"		
% Gravel	39.19	
% Sand	32.86	
% Fines	27.95	
% Silt		
% Clay		
Sp.G		
LL		
PL		
PI		
W (%)	9	
Particle Size	Percent Finer Than	
Sieve #		
3"	-	
1 1/2"	-	
1"	100.00	
3/4"	89.17	
1/2"	82.88	
1/4"	74.32	
4	70.56	
10	60.81	
30	48.27	
40	44.29	
60	38.03	
100	32.97	
200	27.95	

**PARTICLE SIZE DISTRIBUTION**  
 CLIENT: Beacon Terminal Associates  
 PROJECT: 45 Tompkins Ave. Beacon, NY  
 DATE: September 26, 2006  
 JOB NO. N-6934 FIGURE NO. 25



DESCRIPTION AND REMARKS

Orange-Brown coarse to fine Gravel, some coarse to medium Sand, some Silt with fractured Shale

# APPENDIX



Photograph looking northeast along 2-story brick building towards Tompkins Ave.



Photograph looking southwest along 2-story frame building





Photograph looking along 2-story brick building from Tompkins Ave.



Photograph looking southwest along 2-story frame building



**Photograph looking northeast at rock ledge behind house off of Branch Street**



**Photograph looking north from house off of Branch Street**



Photograph looking north at existing house off of Branch Street



Photograph looking north at existing house off of Branch Street

- PERMANENT AND TEMPORARY VEGETATION:**  
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND REESTABLISHED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE:**  
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MAT, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REPAIR PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REMOVE MUD BEING CARRIED OFF BY VEHICLES IMMEDIATELY REMOVE MUD AND SEDIMENTS TO BE CARRIED OFF WASHED ON PUBLIC ROAD BY BRUSHING OR SHEDDING TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.
- SILT FENCE:**  
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
- SOIL STOCKPILE:**  
INSPECT SOIL STOCKPILES EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REEVALUATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.
- QUIET CONTROL:**  
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT TAILING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.
- QUIET ZONE:**  
INSPECT QUIET ZONES EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. IF SIGNIFICANT EROSION OCCURS BETWEEN STRUCTURES, A LINE OF STONE OR OTHER SUITABLE MATERIAL SHOULD BE INSTALLED IN THAT PORTION OF THE CHANGING SEDIMENT ACCUMULATED BEHIND THE DAM AS NEEDED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOW FROM CARRIING SEDIMENT OVER THE DAM. REPLACE STONES AS NEEDED TO MAINTAIN THE DESIGN CROSS SECTION OF THE STRUCTURES. REMOVE CHECK DAM AS PER APPROVAL OF THE PROJECT ENGINEER.
- EROSION CONTROL BLANKET:**  
INSPECT THE BLANKET EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. REPLACE WIRE STAPLES AS REQUIRED. REPAIR AND RESEED WHERE CRACKS AND DAMAGED VEGETATION IS EVIDENT. WHEN DAMAGED BEYOND REPAIR OR NO LONGER FUNCTIONING, THE BLANKET SHALL BE REPLACED.
- DEWATERING PITS:**  
(IF REQUIRED) - INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DEMOLISHED AND NEW PITS SHALL BE CONSTRUCTED AS NEEDED.
- SEDIMENT TRAP:**  
SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO THE ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF OF THE DESIGN DEPTH OF THE TRAP. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN A PROTECTED AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
- CATCH BASINS:**  
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND REPAIRS AND REMOVE AS NECESSARY. THE INLET PROTECTION SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED.

**EROSION AND SEDIMENT CONTROL NOTES**

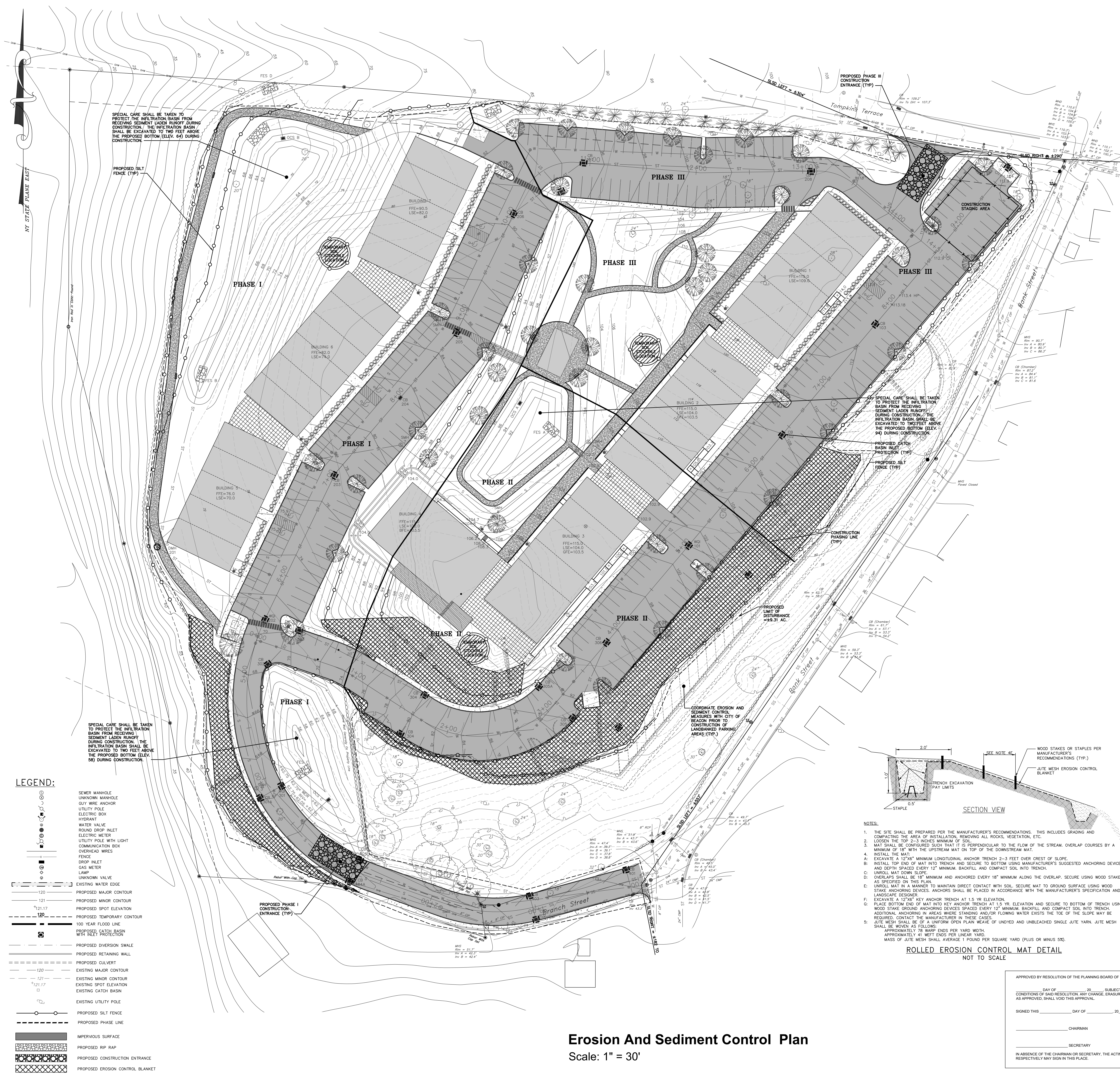
- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G., SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY FILL OF POTENTIALLY EROSION MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REBARED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING. OTHER METHODS OF DUST CONTROL MAY BE IN THE FORM OF MIMMUNG SOIL DISTRIBUTION, APPLICATION OF WIND BREAKS, AND HYDROSEEDING.
- CONSTRUCTION ENTRANCE IS AN ESSENTIAL ELEMENT FOR EROSION CONTROL. ALL CONSTRUCTION VEHICLES LEAVING THE CONSTRUCTION SITE SHALL UTILIZE THE CONSTRUCTION ENTRANCE TRACKING PAD TO MINIMIZE SEDIMENT TRANSPORT OFFSITE. ADDITIONAL MEASURES MAY BE REQUIRED A.S.B.T. SUCH AS BRUSH WASH STATIONS AND PERIODIC STREET SWEEPING OUTSIDE OR IN FINISHED AREAS WITHIN THE SITE.
- THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITIONAL EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS. THE NOTICE OF INTENT (NOI) MAY NEED TO BE UPDATED AS A RESULT OF THE CHANGES.
- THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
- THE OWNER SHALL FILE A NOI WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AND A NOTICE OF TERMINATION (NOT) WITH THE NYSDEC FOLLOWING CONSTRUCTION ACTIVITIES.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE CITY AND QUALIFIED PROFESSIONAL.
- UPON COMPLETION OF CONSTRUCTION, THE PARCEL OWNER(S) SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED QUARTERLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE OWNER(S) SHALL MAINTAIN A RECORD OF INSPECTION AND MAINTENANCE REPORTS AT THE SITE. REFER TO THE SWPPP FOR INSPECTION REQUIREMENTS AND FUTURE MAINTENANCE.

**CONSTRUCTION SEQUENCING NOTES:**

- PHASE I - AREA = 4.30 AC.**
- SCHEDULE A PRE-CONSTRUCTION MEETING WHICH SHALL INCLUDE THE CITY ENGINEER, OWNER OR OWNER'S REPRESENTATIVE, PROJECT ENGINEER, CONTRACTOR AND SUBCONTRACTORS (IF NECESSARY) WHO ARE TO PERFORM THE CONSTRUCTION.
  - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED INTERNAL TRAILWAYS, PARKING AREAS AND STORMWATER MANAGEMENT AREAS WITHIN PHASE I.
  - INSTALL PERIMETER SILT FENCE AS DEPICTED ON THIS PLAN.
  - INSTALL PHASE I STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
  - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
  - CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
  - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
  - BEGIN SITE DEMOLITION WITHIN PHASE I AREA AS SHOWN ON THE DEMOLITION PLAN.
  - CONSTRUCT IMPROVEMENTS ALONG BRANCH STREET (TO BINDER COURSE).
  - BEGIN MASS GRADING WITHIN PHASE I AREA. ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN 2 & 3 TO 2 FEET ABOVE FINISHED GRADE.
  - INSTALL SITE UTILITIES WITHIN PHASE I AND STUB INTO SUBSEQUENT PHASES.
  - SEED AND MULCH LANDSCAPED AREAS THAT WILL NOT BE DISTURBED DURING OTHER PHASES.
  - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- PHASE II - AREA = 2.20 AC.**
- PHASE II DISTURBED AREA SHALL NOT BE MORE THAN 2.8 ACRES PRIOR TO COMMENCEMENT PHASE II.
  - FINAL GRADE ALL LANDSCAPED AREAS AND RESTORE SOIL IN ALL DISTURBED AREAS THAT WILL REMAIN LANDSCAPED.
  - CONSTRUCT BUILDINGS.
  - FINAL GRADE VEGETATED AREAS WITHIN PHASE I. IMPLEMENT SOIL RESTORATION TECHNIQUES IN LANDSCAPED AREAS AS OUTLINED WITHIN THE NOTES ON THIS PLAN.
  - FINAL PAVE ACCESS ROAD AND PARKING AREAS.
  - WHEN LANDSCAPED AREAS HAVE REACHED BOX VEGETATIVE COVER, FINAL GRADE INFILTRATION BASINS.
  - REMOVE PHASE II EROSION AND SEDIMENT CONTROLS WHEN CONTRIBUTING DRAINAGE AREAS HAVE BECOME STABILIZED.
- PHASE III - AREA = 2.80 AC.**
- PHASE III DISTURBED AREA SHALL NOT BE MORE THAN 2.2 ACRES PRIOR TO COMMENCEMENT PHASE III.
  - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED INTERNAL TRAILWAYS, PARKING AREAS AND STORMWATER MANAGEMENT AREAS WITHIN PHASE III.
  - CONSTRUCT PHASE III STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
  - CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
  - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
  - BEGIN SITE DEMOLITION WITHIN PHASE III AREA AS SHOWN ON THE DEMOLITION PLAN.
  - BEGIN MASS GRADING WITHIN PHASE III AREA. ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN 2 TO 2 FEET ABOVE FINISHED GRADE.
  - CONSTRUCT IMPROVEMENTS ALONG BRANCH STREET (TO BINDER COURSE).
  - SEED AND MULCH LANDSCAPED AREAS THAT WILL NOT BE DISTURBED DURING OTHER PHASES.
  - CONTINUE INSTALLATION OF SITE UTILITIES WITHIN PHASE III.
  - EXCAVATE INFILTRATION BASIN TO 2 FEET ABOVE BOTTOM ELEVATION. INSTALL DRAINAGE PIPING AND STRUCTURES.
  - INSTALL SUB-BASE AND BINDER COURSE WITHIN ACCESS ROADS AND PARKING AREAS.
- PHASE IV - AREA = 4.60 AC.**
- PHASE IV CONSISTS OF CONSTRUCTION OF THE BUILDINGS, FINAL GRADING OF INFILTRATION BASIN AREAS, SOIL RESTORATION AND FINAL LANDSCAPING OF SITE.
  - CONSTRUCT BUILDINGS.
  - FINAL GRADE ALL LANDSCAPED AREAS AND RESTORE SOIL IN ALL DISTURBED AREAS THAT WILL REMAIN LANDSCAPED.
  - FINAL GRADE VEGETATED AREAS WITHIN PHASE I. IMPLEMENT SOIL RESTORATION TECHNIQUES IN LANDSCAPED AREAS AS OUTLINED WITHIN THE NOTES ON THIS PLAN.
  - FINAL PAVE ACCESS ROAD AND PARKING AREAS.
  - WHEN LANDSCAPED AREAS HAVE REACHED BOX VEGETATIVE COVER, FINAL GRADE INFILTRATION BASINS.
  - REMOVE PHASE II EROSION AND SEDIMENT CONTROLS WHEN CONTRIBUTING DRAINAGE AREAS HAVE BECOME STABILIZED.

GENERAL NOTE: EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES AND BASED ON THE MAINTENANCE SCHEDULE. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED AS NECESSARY IN ORDER TO PROTECT ADJACENT PARCELS AND WATERS.

NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	NO CHANGE THIS SHEET	MAB



**Erosion And Sediment Control Plan**  
Scale: 1" = 30'

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ENLARGEMENT, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

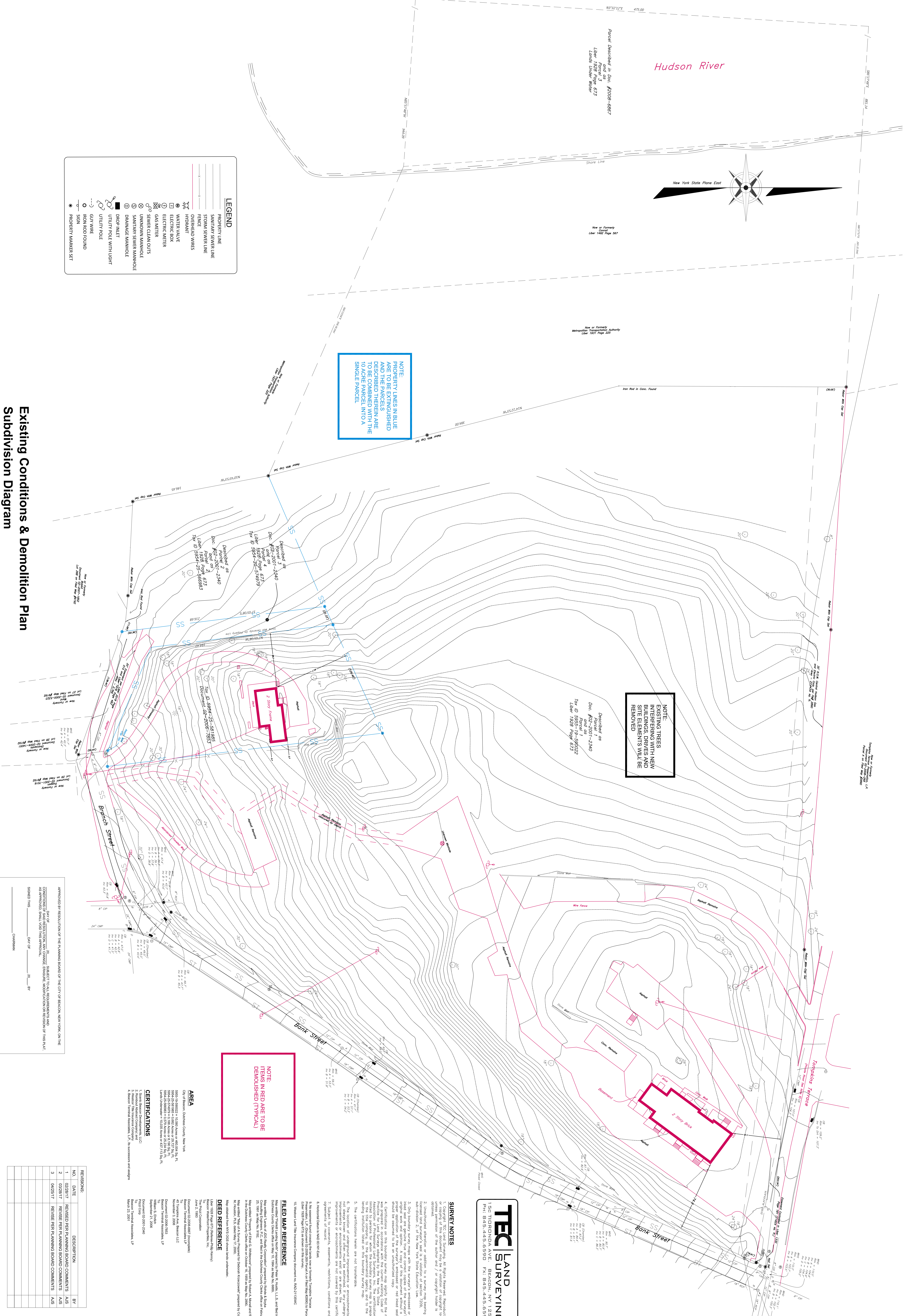
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN

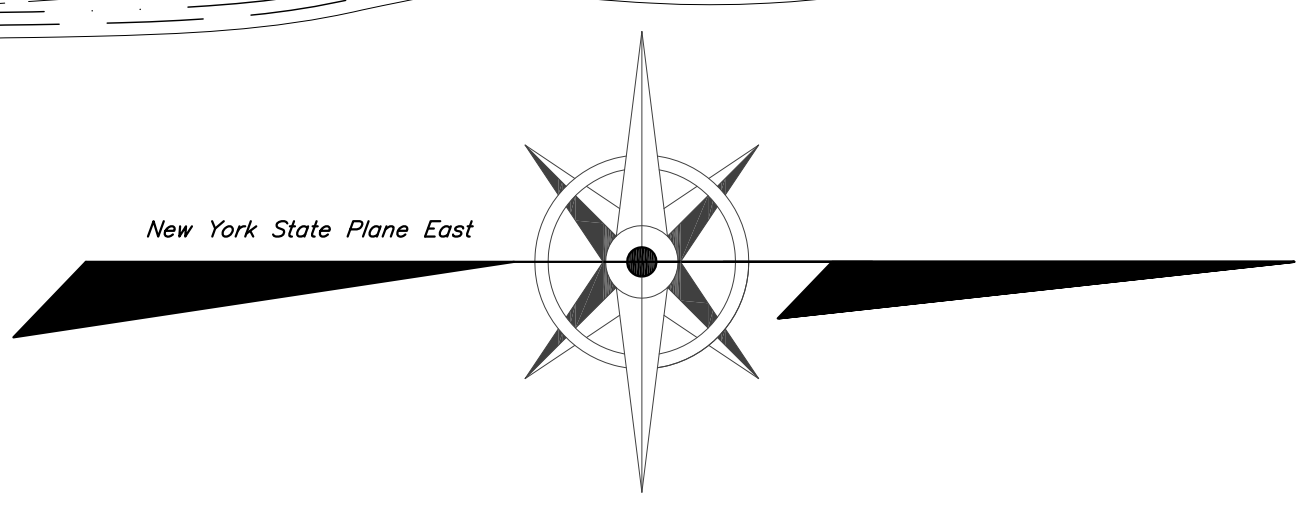
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.





Hudson River



Parcel Described in Doc. #2008-6867  
 Parcel 5  
 Liber 1628 Page 673  
 Liber 1628 Page 673

Map of Formerly  
 Abandoned  
 Land  
 Liber 1492 Page 567

Map of Formerly  
 Abandoned  
 Metropolitan Authority  
 Liber 1617 Page 225

NOTE:  
 PROPERTY LINES IN BLUE  
 ARE TO BE EXTINGUISHED  
 AND THE PARCELS  
 DESCRIBED THEREIN ARE  
 TO BE REPARCELED INTO A  
 SINGLE PARCEL.

NOTE:  
 EXISTING TREES  
 INTERFERING WITH NEW  
 BUILDINGS DRIVES AND  
 SITE ELEMENTS WILL BE  
 REMOVED

NOTE:  
 DIMS IN RED ARE TO BE  
 DEMOLISHED (776.64)

**LEGEND**

—	PROPERTY LINE
—	SANITARY SEWER LINE
—	STORM SEWER LINE
—	FENCE
—	OVERHEAD WIRES
—	METEMANT
—	WATER VALVE
—	ELECTRIC BOX
—	ELECTRIC METER
—	ODS METERS
—	SPRING CLEAN OUTS
—	STANDARD SUPERMANHOLE
—	DRAINAGE MANHOLE
—	DROP INLET
—	UTILITY POLE WITH LIGHT
—	UTILITY POLE
—	GUY WIRE
—	IRON ROD FOUND
—	PROPERTY MARKER SET

**Existing Conditions & Demolition Plan  
 Subdivision Diagram**

Scale: 1" = 30'

**OWNER:**  
 Scenic Beacon Developments, LLC  
 25 East Main Street  
 Beacon, NY 12508

**ARCHITECT:**  
 Aryeh Siegel, Architect  
 514 Main Street  
 Beacon, New York 12508

**Site / Civil Engineer:**  
 Hudson Land Design  
 174 Main Street  
 Beacon, New York 12508

**Surveyor:**  
 TEC Land Surveying, P.C.  
 15C Tioronda Avenue  
 Beacon, New York 12508

**Landscape Designer:**  
 Landscape Restorations  
 P.O. Box 286  
 Beacon, New York 12508

**TEC LAND SURVEYING**  
 15C TIORONDA AVE  
 BEACON, NY 12508  
 PH: 845.338.9390  
 FX: 845.338.9391

**SURVEY NOTES**

1. This survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
2. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
3. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
4. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
5. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
6. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
7. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
8. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
9. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.
10. The survey was conducted in accordance with the provisions of the Surveying and Mapping Law of the State of New York, Chapter 208 of the Laws of 1992, as amended, and the Rules and Regulations of the State Surveying Board.

**FILED MAP REFERENCE**

The map was filed for recording in the Office of the County Clerk, Westchester County, New York, on this 15th day of January, 2017, at 10:00 AM. The map was recorded in the County Clerk's Office, Westchester County, New York, on this 15th day of January, 2017, at 10:00 AM. The map was recorded in the County Clerk's Office, Westchester County, New York, on this 15th day of January, 2017, at 10:00 AM.

**DEED REFERENCE**

The map was recorded in the County Clerk's Office, Westchester County, New York, on this 15th day of January, 2017, at 10:00 AM. The map was recorded in the County Clerk's Office, Westchester County, New York, on this 15th day of January, 2017, at 10:00 AM. The map was recorded in the County Clerk's Office, Westchester County, New York, on this 15th day of January, 2017, at 10:00 AM.

**CERTIFICATIONS**

I, the undersigned, being a duly licensed Surveyor in the State of New York, do hereby certify that the foregoing is a true and correct copy of the map as the same appears on the records of the County Clerk, Westchester County, New York, and that the same was filed for recording in the Office of the County Clerk, Westchester County, New York, on this 15th day of January, 2017, at 10:00 AM.

**REVISIONS**

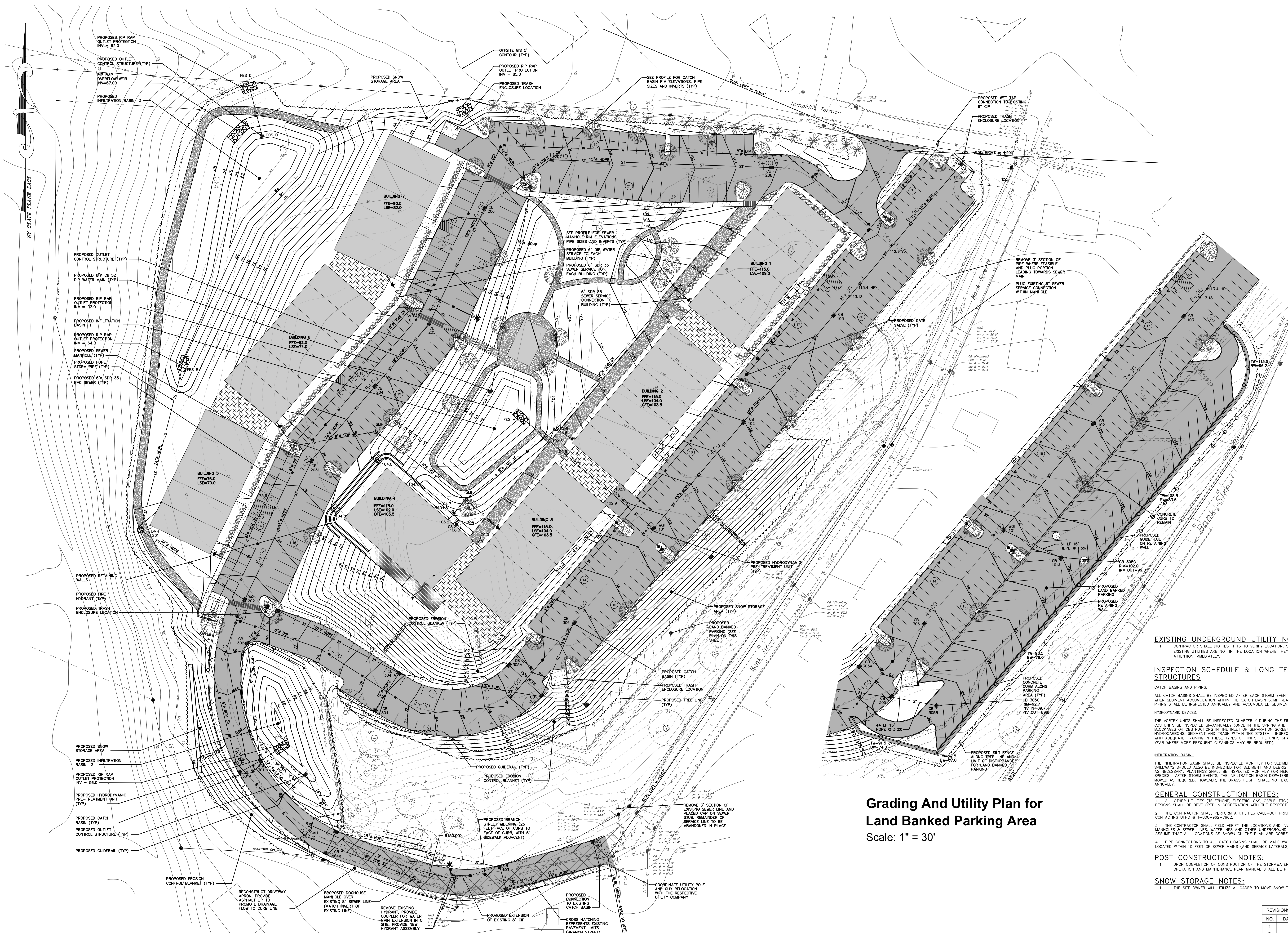
NO.	DATE	DESCRIPTION	BY
1	02/28/17	REVISED PER PLANNING BOARD COMMENTS	AS
2	02/28/17	REVISED PER PLANNING BOARD COMMENTS	AS
3	04/25/17	REVISED PER PLANNING BOARD COMMENTS	AS

**Existing Conditions and Demolition Plan**

Sheet 2 of 13

**Edgewater**  
 Beacon, New York  
 Scale: 1" = 30'  
 January 31, 2017





**LEGEND:**

RL	EXISTING ROOF LEADER LOCATION
SM	SEWER MANHOLE
UM	UNKNOWN MANHOLE
AW	AIR WIRE AND/OR UTILITY POLE
EB	ELECTRIC BOX
HY	HYDRANT
WI	WATER VALVE
RI	ROUND DROP INLET
EM	ELECTRIC METER
UL	UTILITY POLE WITH LIGHT COMMUNICATION BOX
OW	OVERHEAD WIRES
FI	FENCE
DI	DROP INLET
GM	GAS METER
LM	LAMP
UV	UNKNOWN VALVE
EW	EXISTING WATER EDGE
EL	EXISTING EASEMENT LINE
CB	PROPOSED CATCH BASIN WITH INLET PROTECTION
CL	PROPOSED CLEANOUT
HW	PROPOSED HYDRANT
WV	PROPOSED WATER VALVE
SM	PROPOSED SANITARY MANHOLE
RW	PROPOSED RETAINING WALL
UD	PROPOSED UNDERDRAIN
RL	PROPOSED ROOF LEADER PIPE
ML	PROPOSED MINOR CONTOUR
120	PROPOSED MAJOR CONTOUR
+1120.5	PROPOSED SPOT ELEVATION
CB	EXISTING CATCH BASIN
UP	EXISTING UTILITY POLE
CU	PROPOSED CLEANOUT
S	PROPOSED SEWER SERVICE LINE
WS	PROPOSED WATER SUPPLY LINE
F	PROPOSED FENCE
IS	IMPERVIOUS SURFACE
RR	PROPOSED RIP RAP
UL	UTILITY CROSSING LOCATION
RL	PROPOSED ROOF LEADER LOCATION
WS	PROPOSED WATER SERVICE LINE
WS	PROPOSED WATER SHUT-OFF VALVE

**EXISTING UNDERGROUND UTILITY NOTES:**

- CONTRACTOR SHALL DIG TEST PITS TO VERIFY LOCATION, SIZE AND PIPE MATERIAL OF EXISTING UNDERGROUND UTILITIES. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

**INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES**

**CATCH BASINS AND PIPING:**

ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN REACHES 1/2 OF THE BASIN DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

**HYDRODYNAMIC DEVICES:**

THE VORTEX UNITS SHALL BE INSPECTED QUARTERLY DURING THE FIRST YEAR OF OPERATION. THE MANUFACTURER RECOMMENDS THAT THE CDS UNITS BE INSPECTED BI-ANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL). THE STRUCTURE SHALL BE VISUALLY INSPECTED FOR BLOCKAGES OR OBSTRUCTIONS IN THE INLET OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO QUANTIFY ACCUMULATION OF HYDROCARBONS, SEDIMENT AND DEBRIS WITHIN THE SYSTEM. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK ONCE A YEAR (EXCEPT FOR THE FIRST YEAR WHERE MORE FREQUENT CLEANINGS MAY BE REQUIRED).

**INFILTRATION BASIN:**

THE INFILTRATION BASIN SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED FOR SEDIMENT AND DEBRIS MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY. PLANTINGS SHALL BE INSPECTED MONTHLY FOR HEIGHT, FERTILIZER, QUANTITY AND UNAUTHORIZED INVASIVE OR INAPPROPRIATE SPECIES. AFTER STORM EVENTS, THE INFILTRATION BASIN DEWATERING DURATION SHOULD BE MONITORED. THE BASIN FLOOR SHALL BE MOWED AS REQUIRED; HOWEVER, THE GRASS HEIGHT SHALL NOT EXCEED 18". SEDIMENT SHALL BE CLEANED OUT OF THE INFILTRATION BASIN ANNUALLY.

**GENERAL CONSTRUCTION NOTES:**

- ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPFO @ 1-800-962-7962.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
- PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATER-TIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

**POST CONSTRUCTION NOTES:**

- UPON COMPLETION OF CONSTRUCTION OF THE STORMWATER FACILITIES, AS-BUILT DRAWINGS OF ALL STORMWATER PRACTICES AND AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON.

**SNOW STORAGE NOTES:**

- THE SITE OWNER WILL UTILIZE A LOADER TO MOVE SNOW TO THE AREAS DESIGNATED FOR SNOW STORAGE.

**Grading And Utility Plan for Land Banked Parking Area**  
Scale: 1" = 30'

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERRATA, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**REVISIONS:**

NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	PER PLANNING BOARD COMMENTS	MAB

**Grading And Utility Plan**  
Scale: 1" = 30'





**ALED3T50** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications (continued):  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

**ALED3T50** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications (continued):  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

**ALED4T50** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications (continued):  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

**ALED4T50** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications (continued):  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

**PS4-11-2002** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications:  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

**ALED3T50** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications:  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

**ALED3T50** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications:  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

**ALED4T50** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications:  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

**ALED4T50** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications:  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**

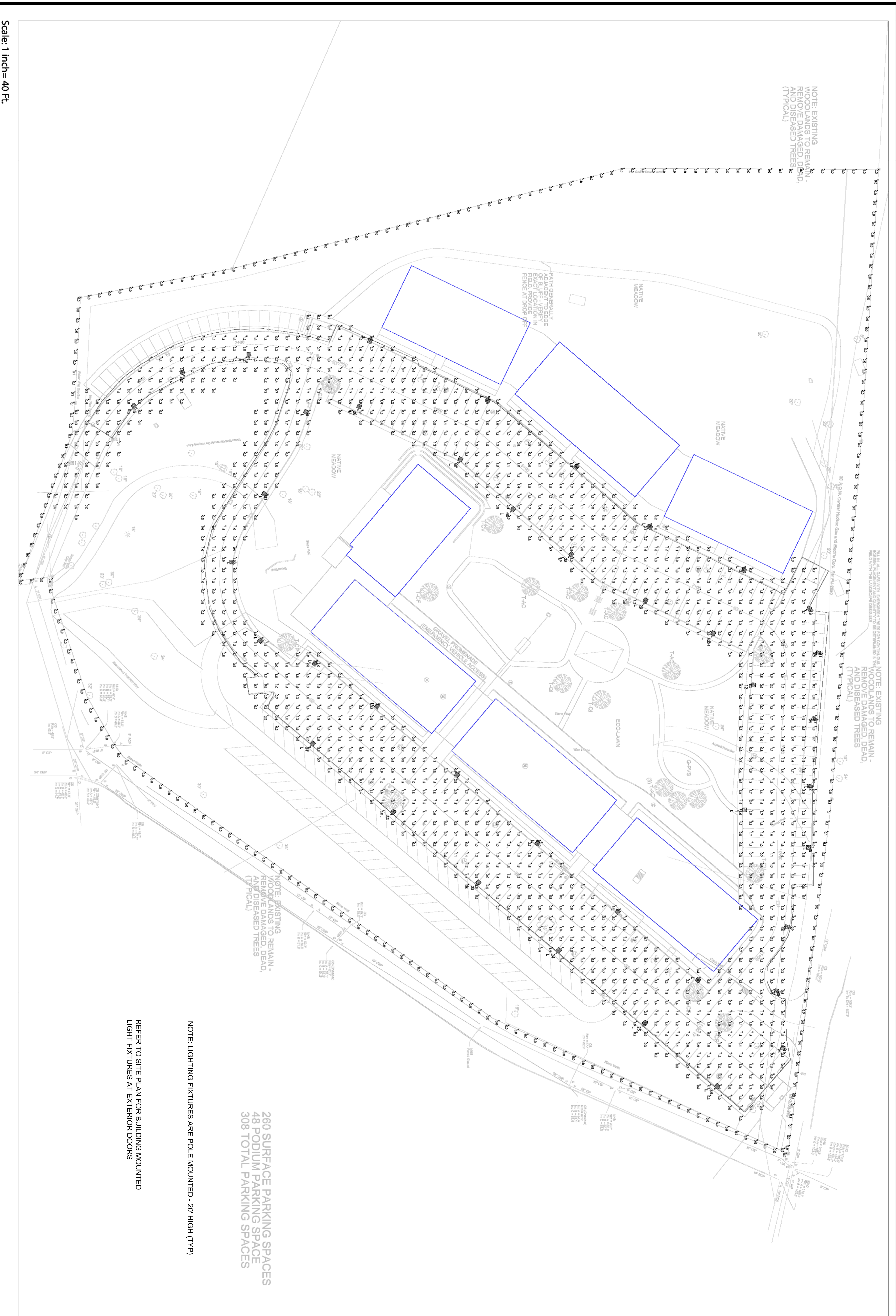
**PS4-11-2002** **RAB**

Project: **Edgewater** Type: **M**  
 Prepared By: **Patrick Carbone** Date: **02/27/2017**  
 Project Code: **15000000**

Quantity of Order:  
 10000  
 20000  
 30000  
 40000  
 50000  
 60000  
 70000  
 80000  
 90000  
 100000

Dimensions:  
 1000mm  
 1500mm  
 2000mm  
 2500mm  
 3000mm  
 3500mm  
 4000mm  
 4500mm  
 5000mm

Technical Specifications:  
 Recovery Act (LEAF) Compliance: **Yes**  
 LED Light: **1500lm**  
 Color Temp: **3000K**  
 Beam Angle: **60°**  
 Life Span: **50,000**  
 Power Factor: **0.95**  
 Voltage: **120V**  
 Dimming: **Yes**



Prepared For: **Edgewater**  
 2801 Court St, Suite C2  
 Syracuse, NY 13206  
 Tel: 888-636-1589

Job Name: **Edgewater**  
 Lighting Layout  
 Version A

Scale: as noted  
 Date: 2/27/2017  
 CASE # 00081863  
 Filename: Edgewater layout 81863 A3.AGI  
 Drawn By: Patrick Carbone

The Lighting Analysis, output, Energy Analysis and/or Visual Simulation (Lighting Only) provided by RAB Lighting is an output of a lighting design software program based upon design information provided by the user. The user is responsible for providing accurate design information and for verifying the accuracy of the design information. RAB Lighting is not responsible for the accuracy of the design information provided by the user. RAB Lighting is not responsible for the accuracy of the design information provided by the user. RAB Lighting is not responsible for the accuracy of the design information provided by the user.

File Name: Z:\Job Files - Specification Projects\Edgewater Associates\Edgewater Associates 10810\Edgewater\Working Files\ACRE\Edgewater layout 81863 A3.AGI

**BL1: Wall Mounted**  
 HARBARTON SCORPE "HOG" OUTDOOR  
 DABE SVZ CONCRETE WALL SCONCE  
 #905683, 15" HIGH X 6.5" WIDE, BURNISHED  
 STEEL FINISH, 60 W INCANDESCENT LAMP  
 Not to Scale

**PL1: Pathway Light**  
 JOHN TIMBERLAND THREE-LEAF PAGODA  
 LAMP OUTDOOR CONCRETE WALL SCONCE  
 #905683, 15" HIGH X 6.5" WIDE, BURNISHED  
 STEEL FINISH, 60 W INCANDESCENT LAMP  
 (OR APPROVED EQUAL)

NOTE: ALL EXTERIOR LIGHTING ON THE SITE SHALL BE DIRECTED  
 OBSERVABLE FROM NEIGHBORING STREETS AND PROPERTIES. THE  
 SOURCE (BULBS) OF SUCH LIGHTING SHALL NOT BE VISIBLE FROM SAID  
 NEIGHBORING STREETS AND PROPERTIES. PHOTOMETRIC DIAGRAMS  
 ARE SHOWN WITH SHIELDED CONDITIONS.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE  
 DATE OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND  
 CONDITIONS OF SAID RESOLUTION AND CHANGE. SIGNATURE, POSITION AND ADDRESS OF THE  
 APPROVED SHALL BE ON THIS PERMIT.  
 SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_  
 SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY  
 APPOINTED BY SAID BOARD SHALL SIGN THIS CASE.

RESPONSES:

NO.	DATE	DESCRIPTION	BY
1	02/27/17	REVISION PER BOARD COMMENTS	AS
2	03/07/17	REVISION PER BOARD COMMENTS	AS
3	04/25/17	REVISION PER BOARD COMMENTS	AS

**Site Lighting Plan**  
 Sheet 3a of 13  
**Edgewater**  
 Beacon, New York  
 Scale: 1" = 40'  
 January 31, 2017

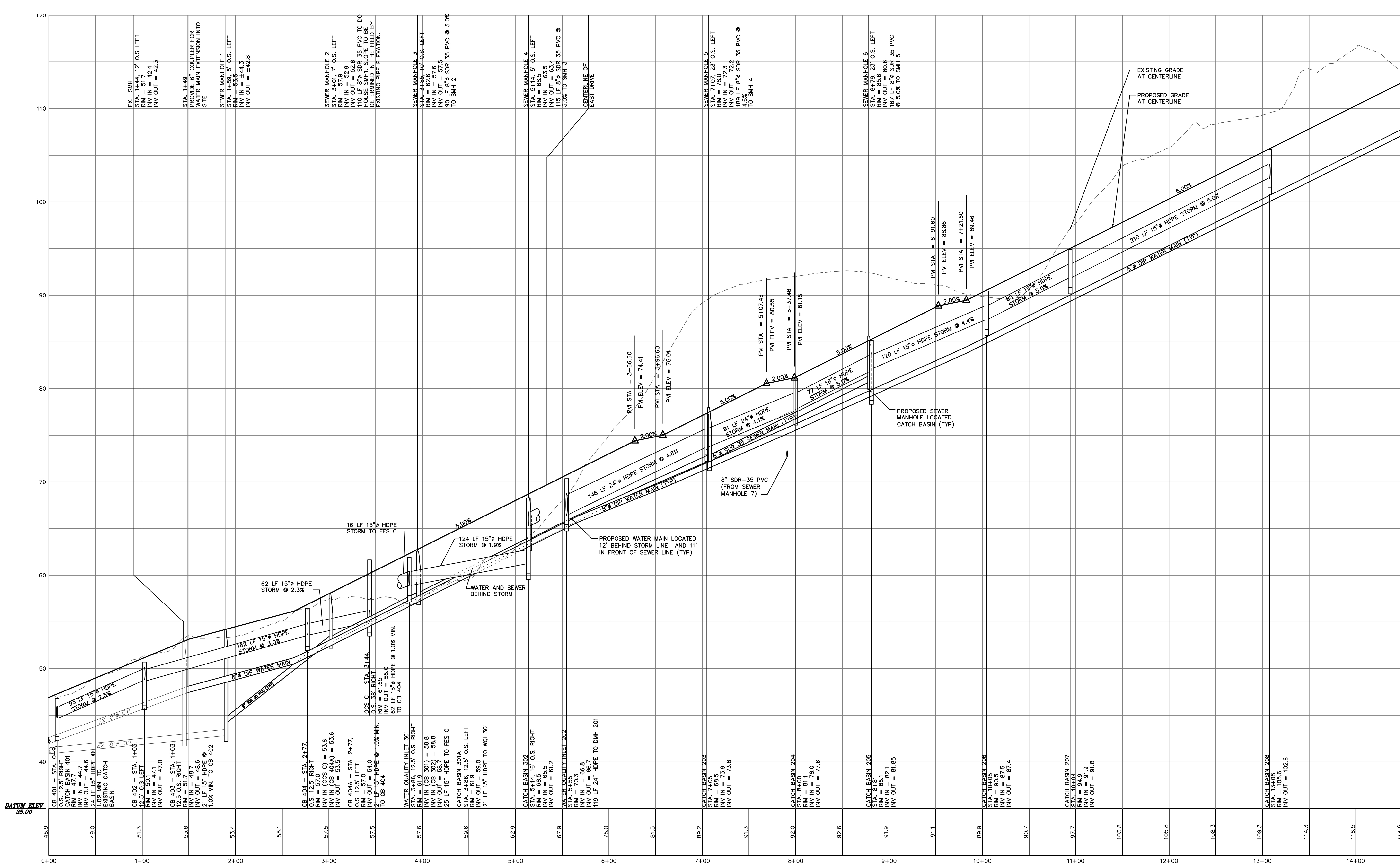
**Owner:**  
**Scenic Beacon Developments, LLC**  
 26 East Main Street  
 Beacon, NY 12508

**Architect:**  
**Ayeh Siegel, Architect**  
 514 Main Street  
 Beacon, New York 12508

**Site / Civil Engineer:**  
**Hudson Land Design**  
 174 Main Street  
 Beacon, New York 12508

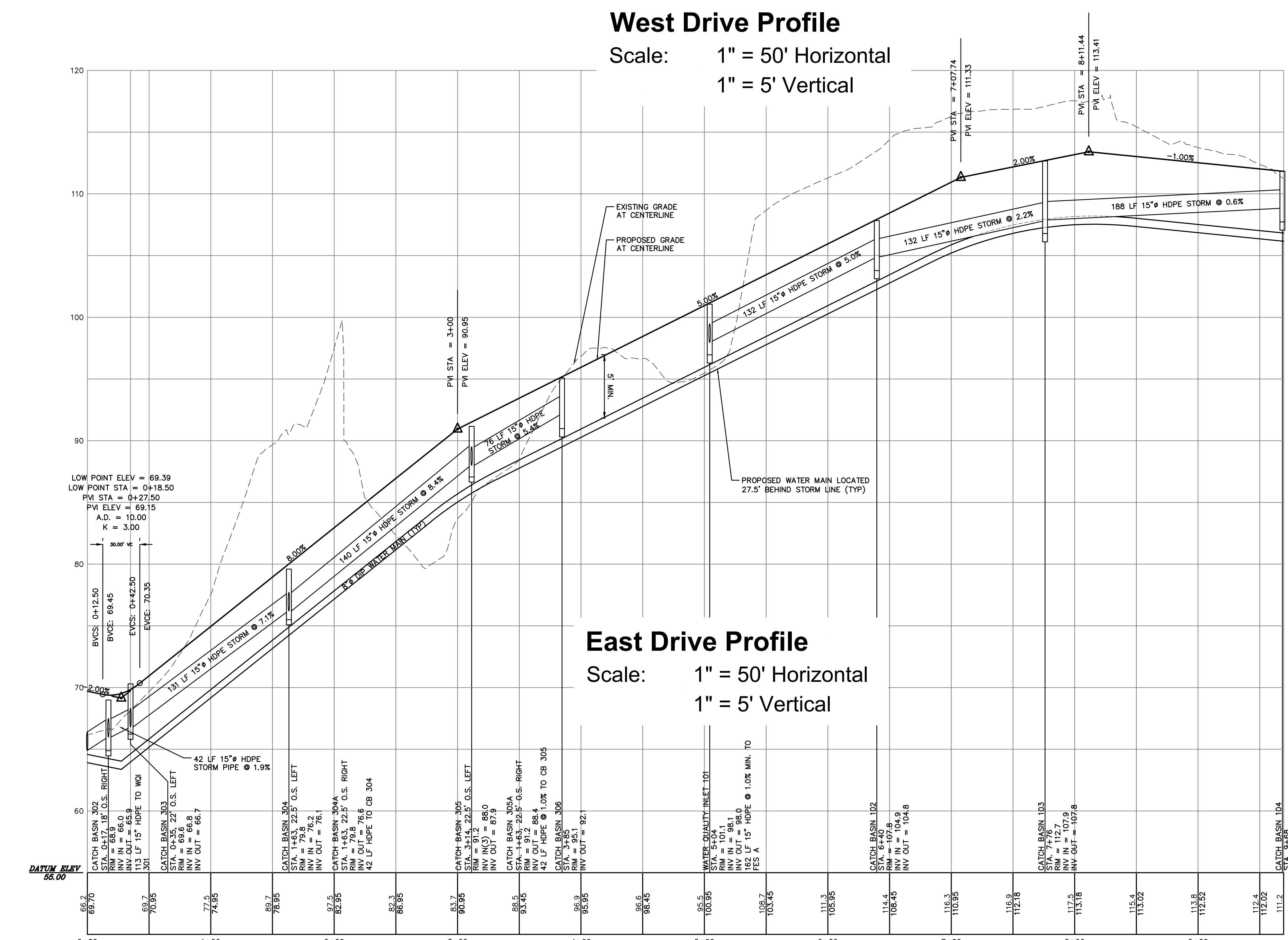
**Surveyor:**  
**TEC Land Surveying, P.C.**  
 150 Thornwood Avenue  
 Beacon, New York 12508

**Landscape Designer:**  
**Landscape Restorations**  
 P.O. Box 286  
 Beacon, New York 12508



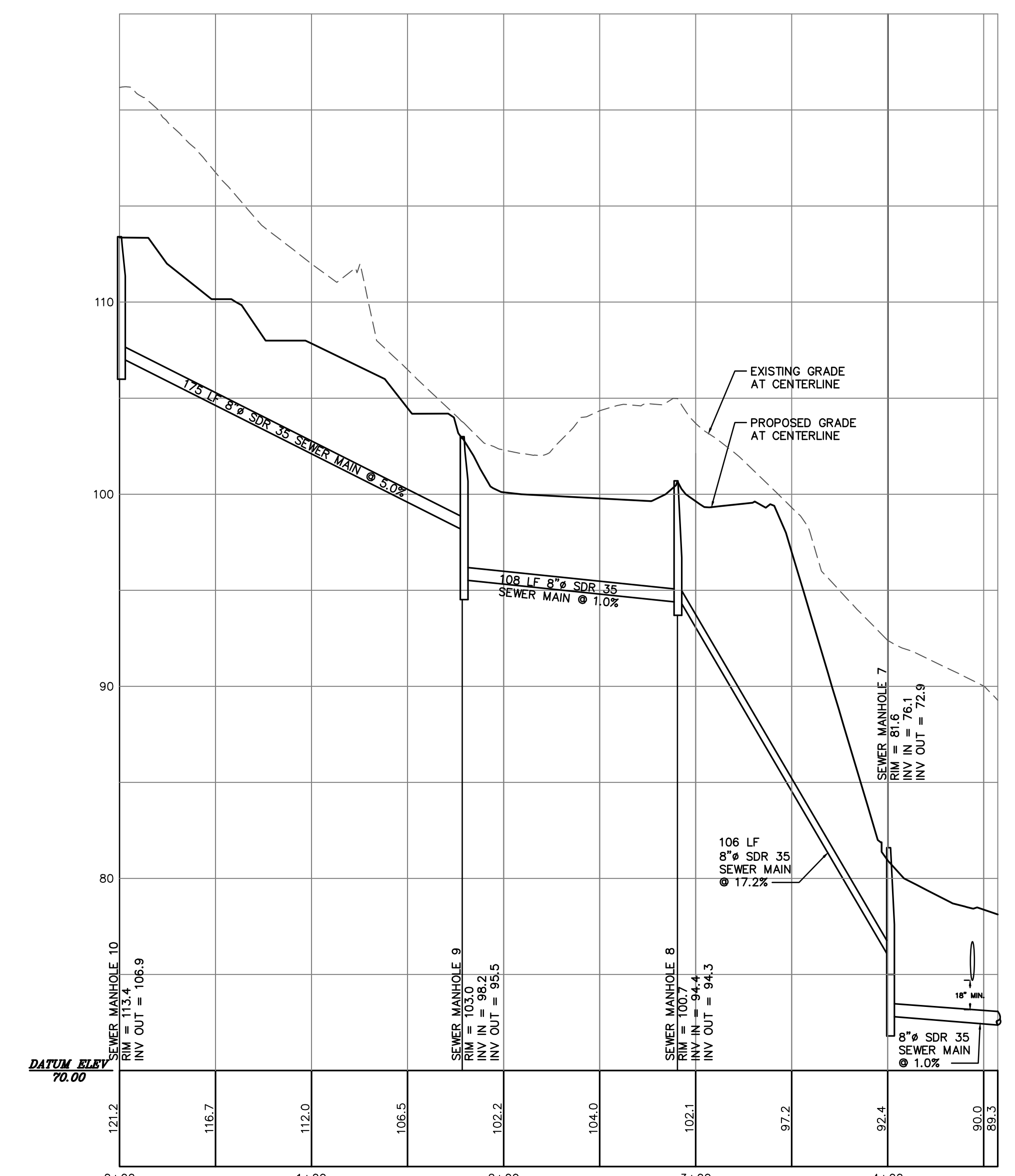
**West Drive Profile**

Scale: 1" = 50' Horizontal  
1" = 5' Vertical

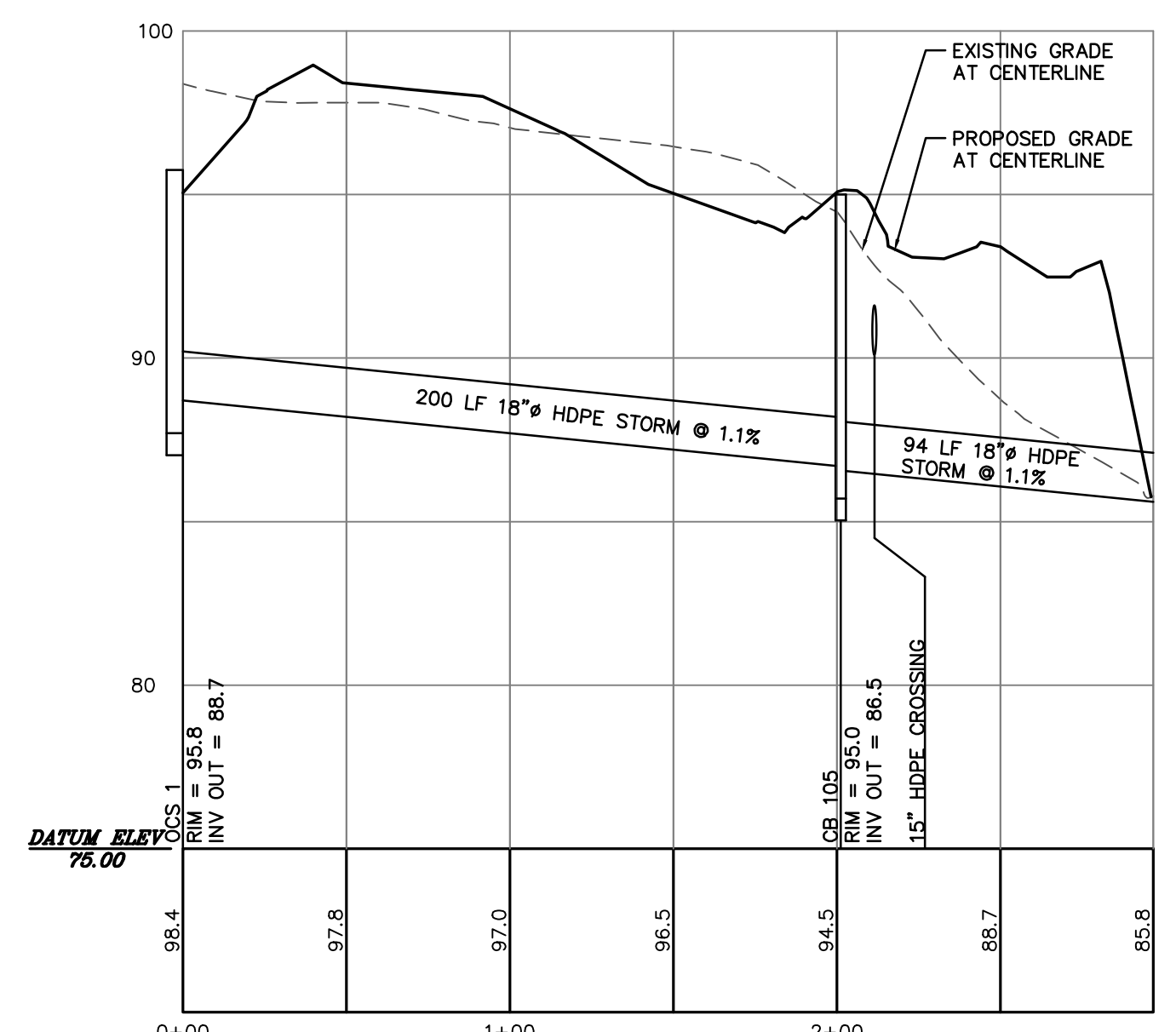


**East Drive Profile**

Scale: 1" = 50' Horizontal  
1" = 5' Vertical

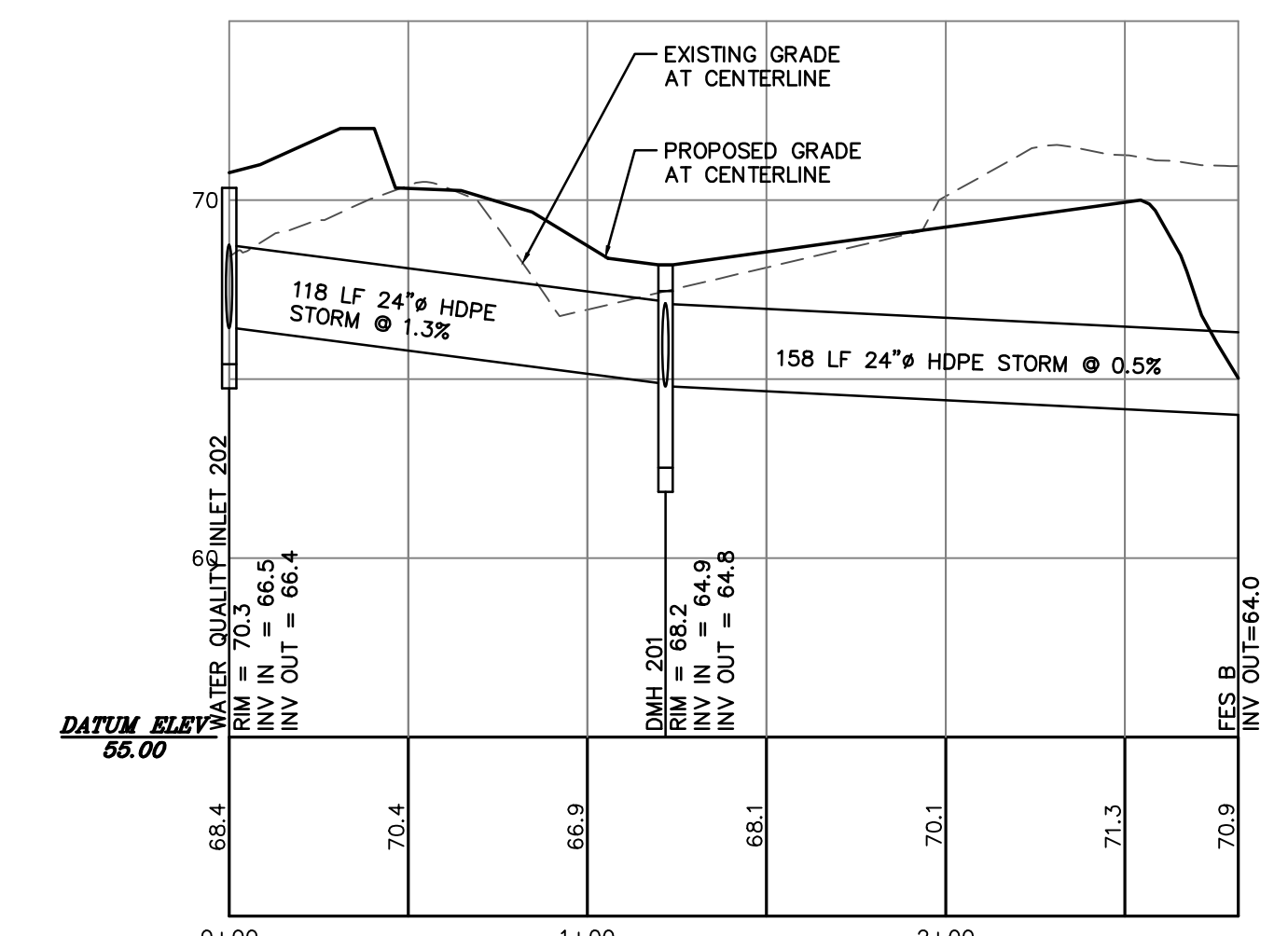


**Sewer Profile**  
Scale: 1" = 50' Horizontal  
1" = 5' Vertical



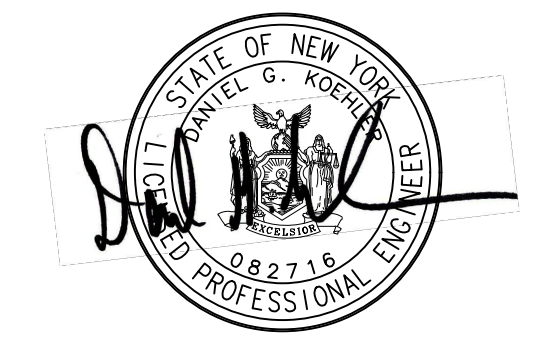
**Storm Piping From OCS 1 Profile**

Scale: 1" = 30' Horizontal  
1" = 3' Vertical



**Storm Piping From WQI 202 Profile**

Scale: 1" = 50' Horizontal  
1" = 5' Vertical



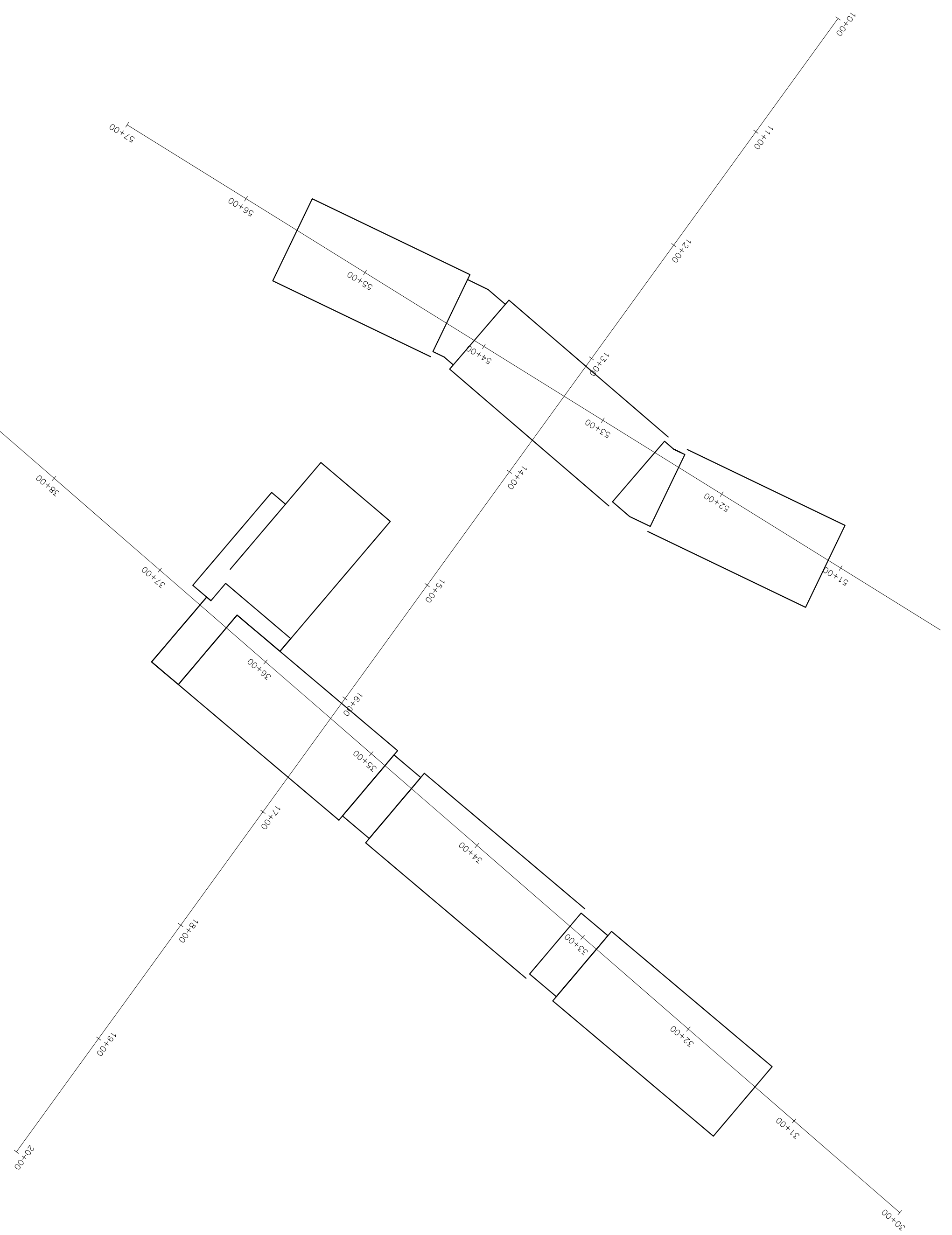
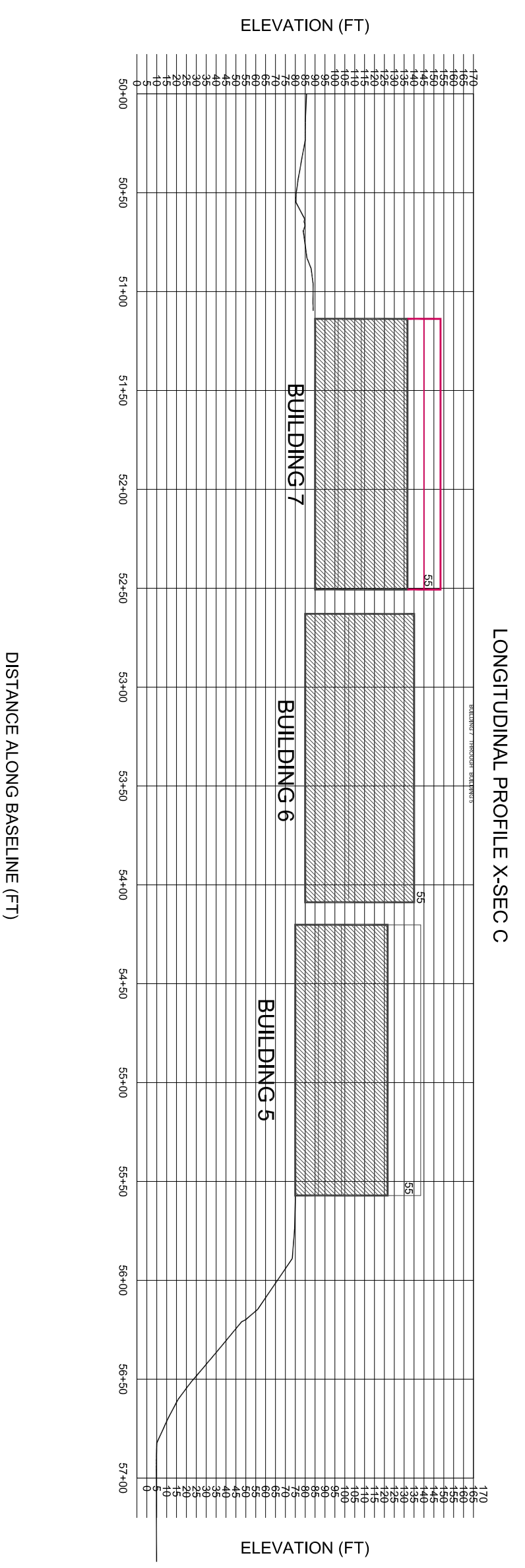
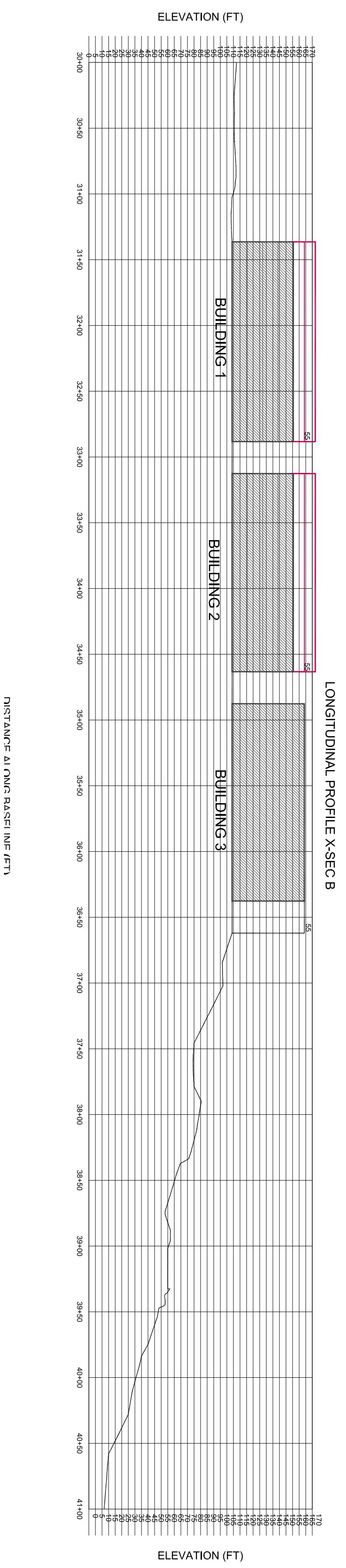
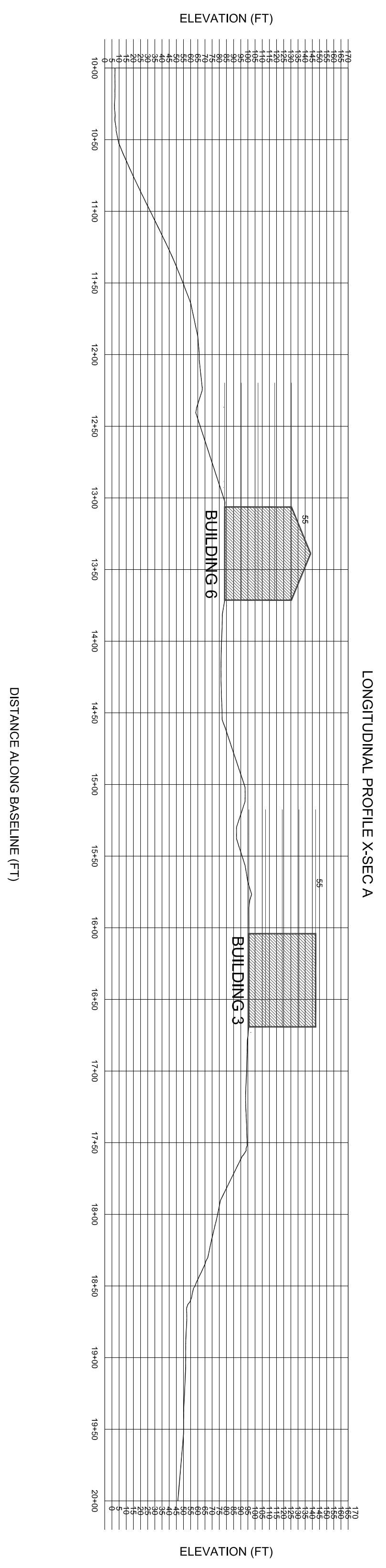
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	PER PLANNING BOARD COMMENTS	MAB



## Site Section Diagrams

Scale: 1/64" = 1'-0"

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS SET FORTH IN THE ZONING ORDINANCES AND AS APPROVED, SHALL VOID THIS APPROVAL.

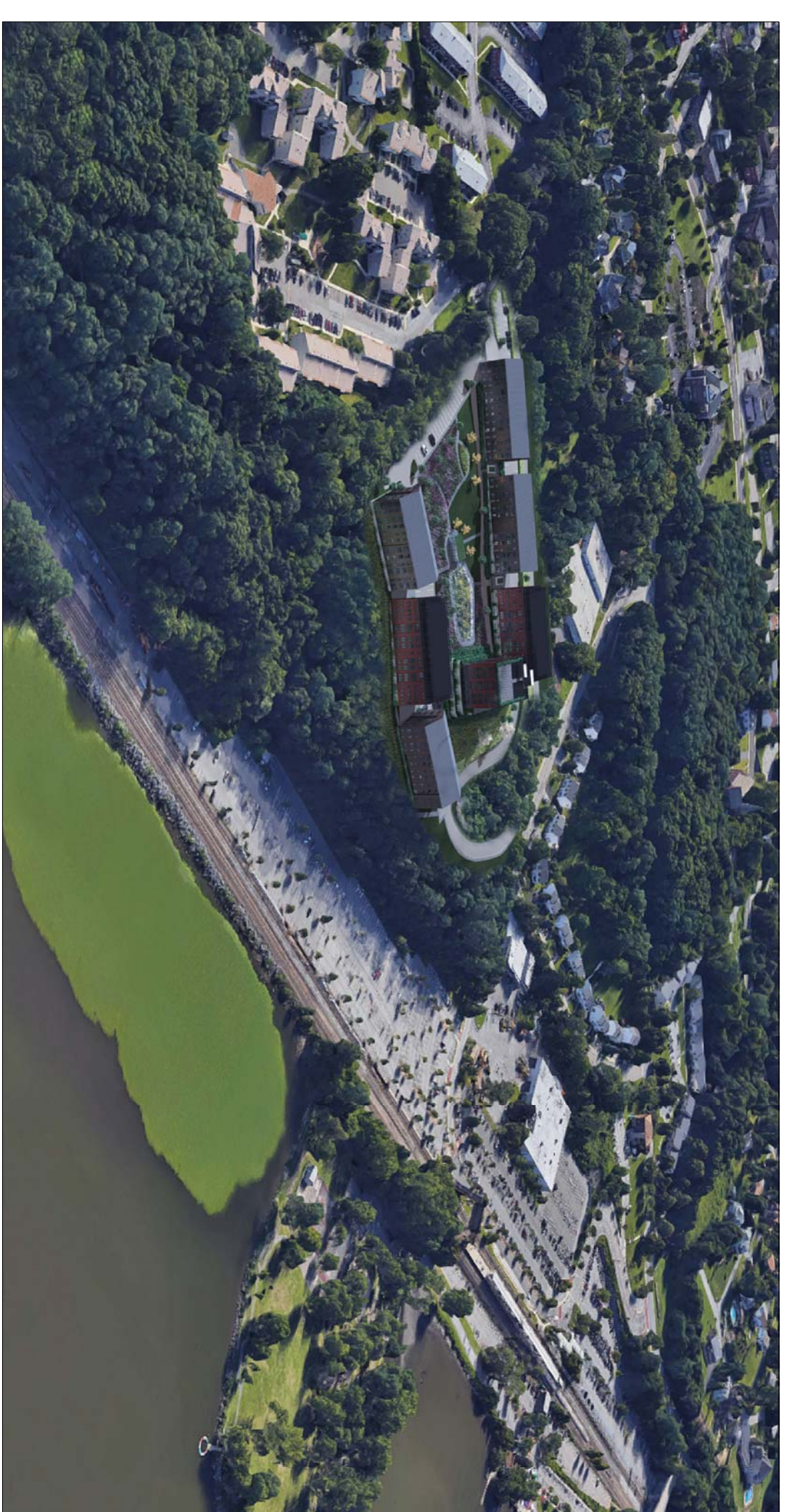
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

SECRETARY \_\_\_\_\_ IN PRESENCE OF THE CHAIRMAN OR SECRETARY - THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN HIS PLACE.

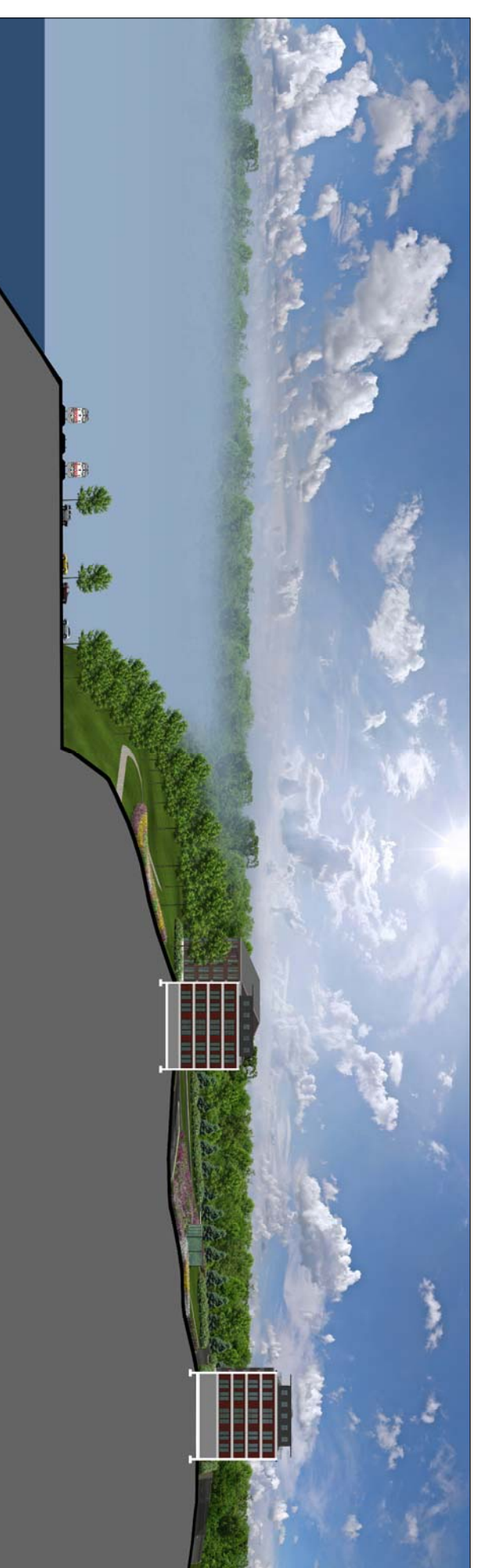
REVISIONS:			
NO.	DATE	DESCRIPTION	
1	02/28/17	PROGRESS SUBMISSION	ALS
2	02/28/17	REVIEW PER PLANNING BOARD COMMENTS	ALS
3	04/25/17	REVIEW PER PLANNING BOARD COMMENTS	ALS



View From Train Station



Aerial View



Site Section Renderings



Rendering



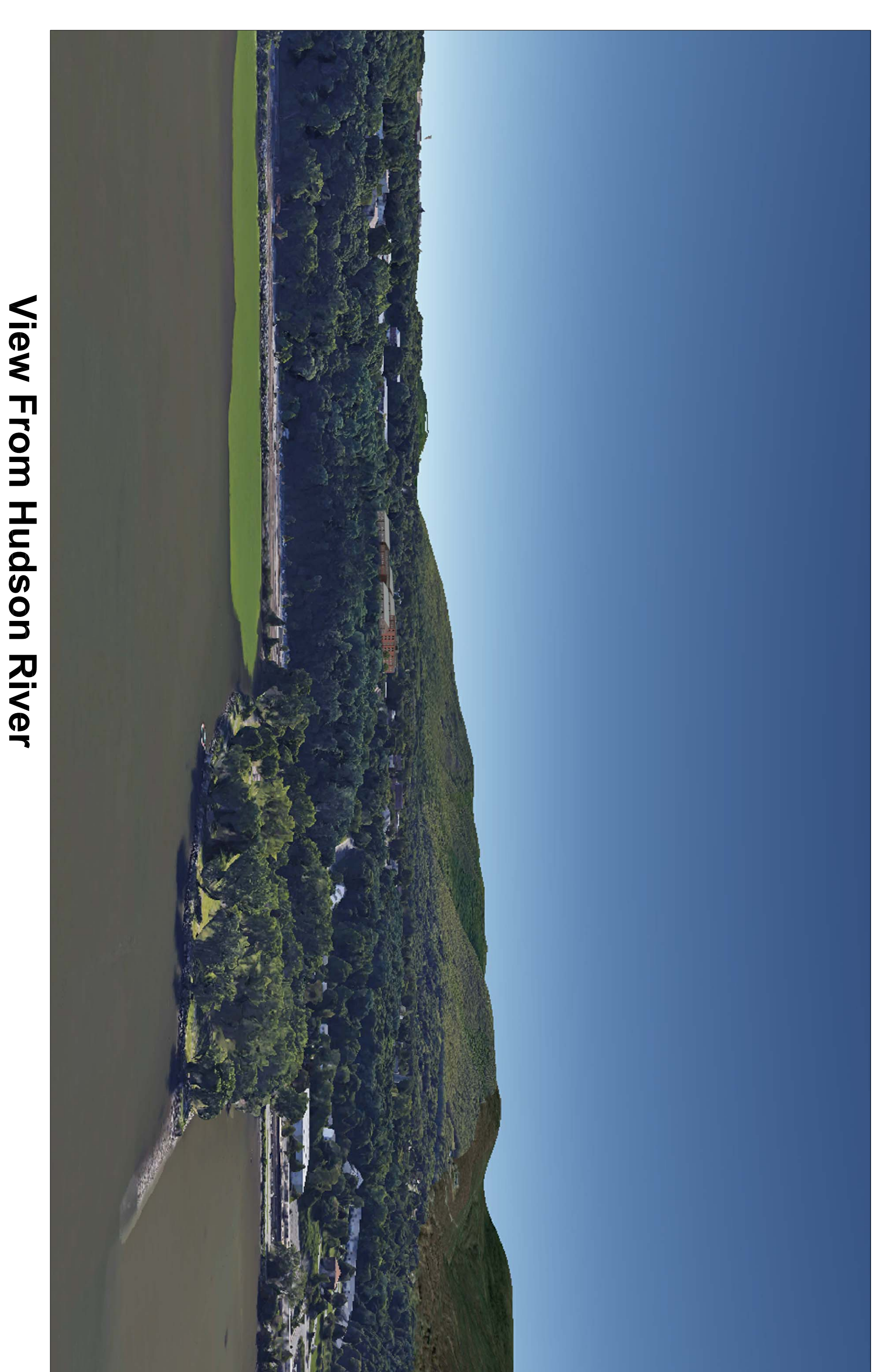
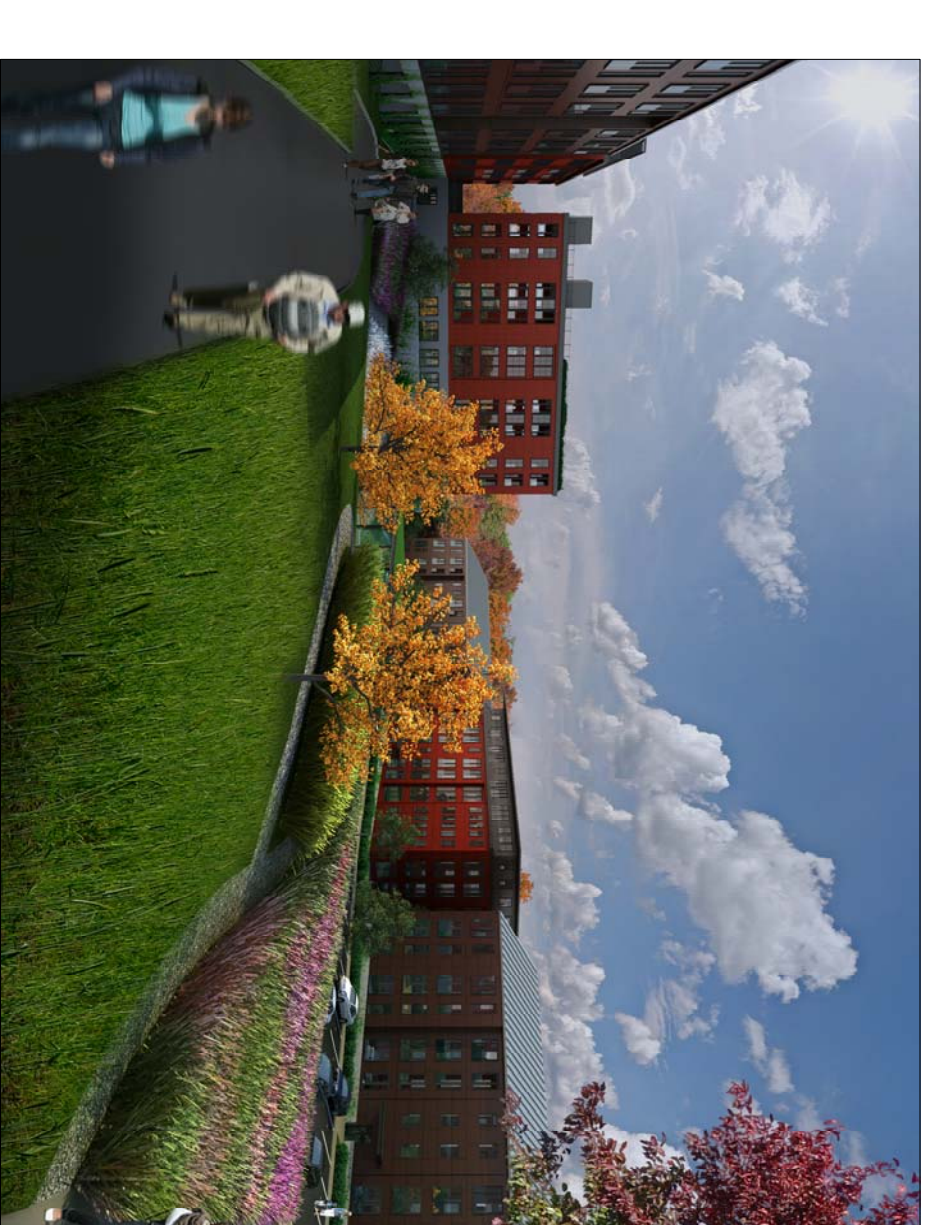
Rendering



Rendering



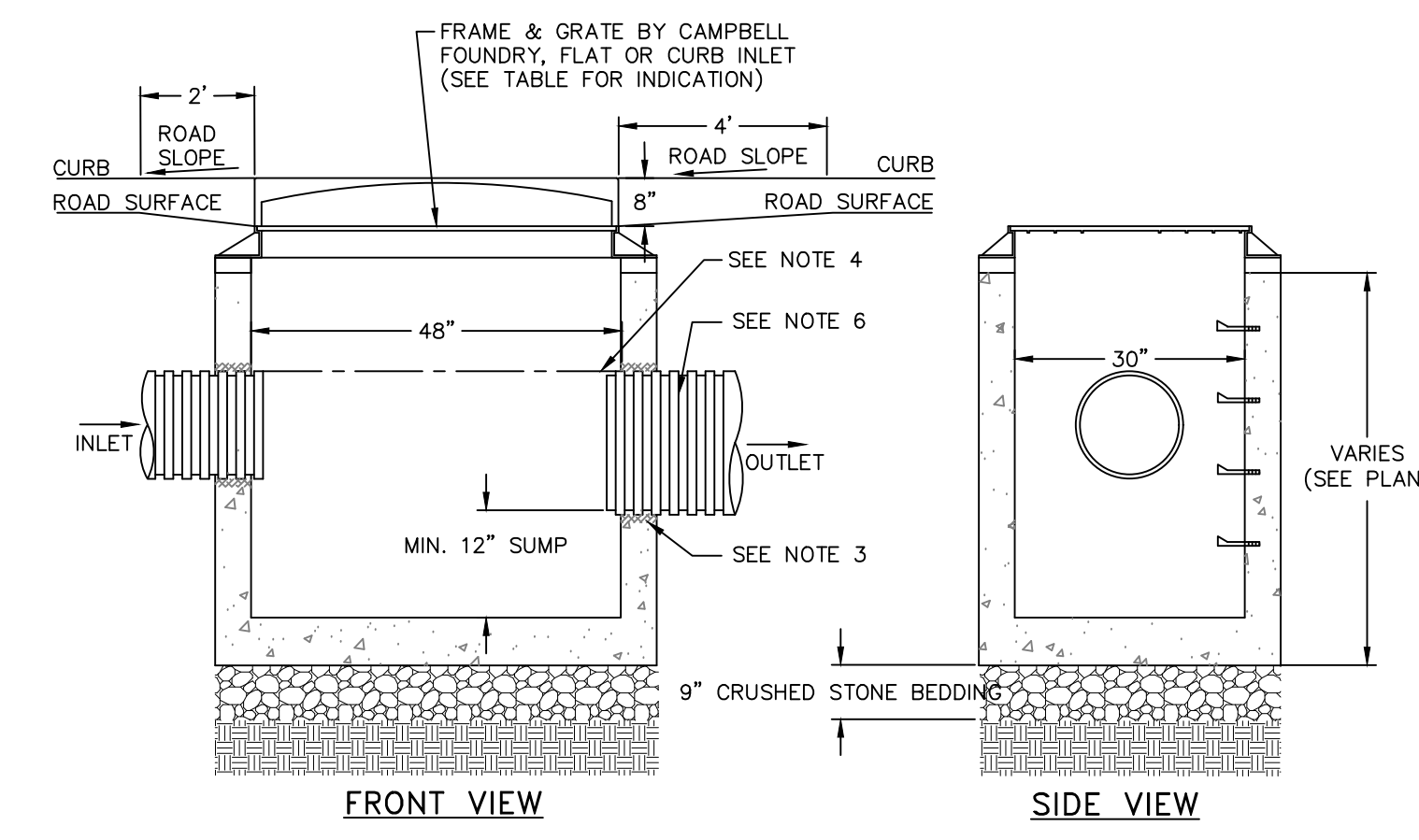
Rendering



View From Hudson River

Building Renderings & Site Sections

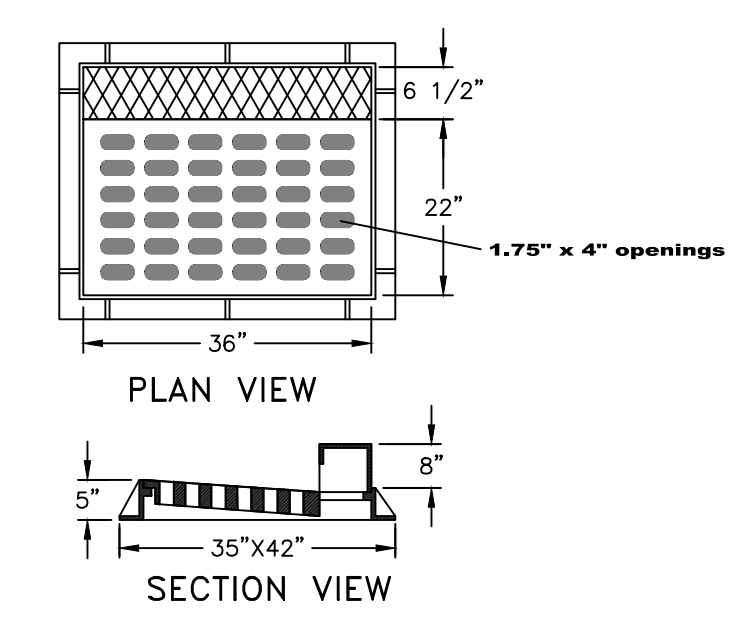




**NOTES:**

1. PRECAST CONCRETE CATCH BASIN WITH CONCRETE STRENGTH OF 4000 PSI @ 28 DAYS.
2. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN AND PARGED AROUND.
3. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE. CONNECTIONS MADE WITHIN 10 FEET OF A WATER MAIN (OR SERVICE LINE) OR A SEWER MAIN (OR SERVICE LATERAL) SHALL BE MADE WATER-TIGHT.
4. PROVIDE A MINIMUM 0.1" DROP BETWEEN INLET AND OUTLET INVERTS (MATCH CROWNS FOR PIPES WITH DIFFERENT SIZES) UNLESS OTHERWISE NOTED ON THE PLAN.
5. CATCH BASINS WITH AN INTERIOR DEPTH OF 4" AND GREATER SHALL BE FURNISHED WITH STEEL REINFORCED POLYPROPYLENE PLASTIC STEPS AT 12" INTERVALS.
6. CORE PIPE SHALL BE PROVIDED WITH WATER-TIGHT CONNECTIONS. ADS MODEL N12 WT 18 OR APPROVED EQUAL.

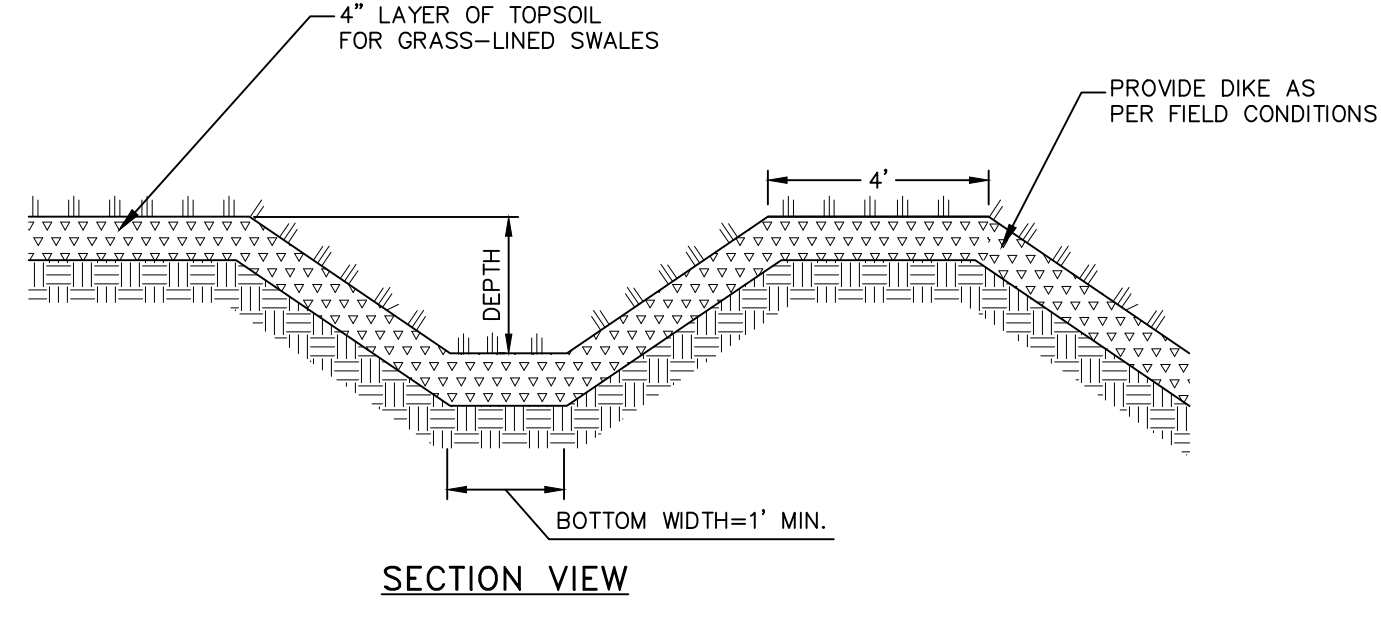
**CATCH BASIN DETAIL**  
NOT TO SCALE



**NOTES:**

1. HEAVY DUTY RECTANGULAR STORMWATER INLET GRATE TO BE CAMPBELL FOUNDRY MODEL 2541, OR APPROVED EQUAL.
2. CATCH BASINS TO RECEIVE CURB INLETS ARE: CB 104, CB 301, CB 301A, CB 302, CB 302A, CB 303A, CB 303A AND CB 303B.
3. DMH 1 AND DMH 3 RECEIVE SQUID CAST IRON COVERS.

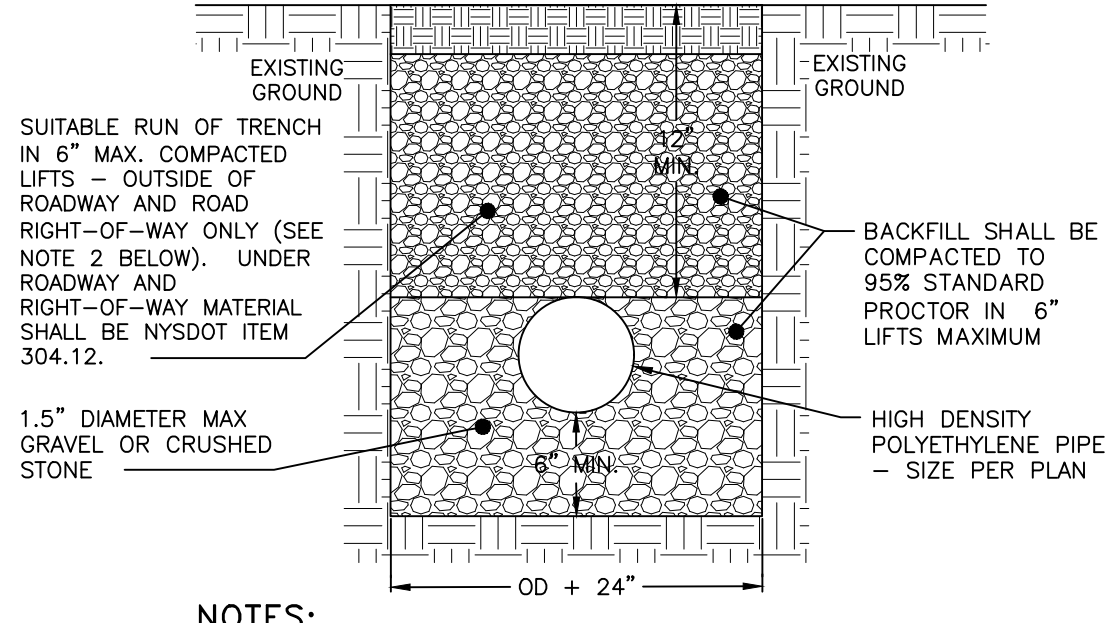
**CAST IRON STORMWATER CURB INLET GRATE DETAIL**  
NOT TO SCALE



**NOTES:**

1. MINIMUM 1" DEPTH AND 1" WIDTH FOR ALL SWALES.
2. SWALE SHALL BE SEEDING WITH FAST GERMINATING RYE 15 TO 25 POUNDS PER 1,000 SQUARE FEET AND MULCHED.

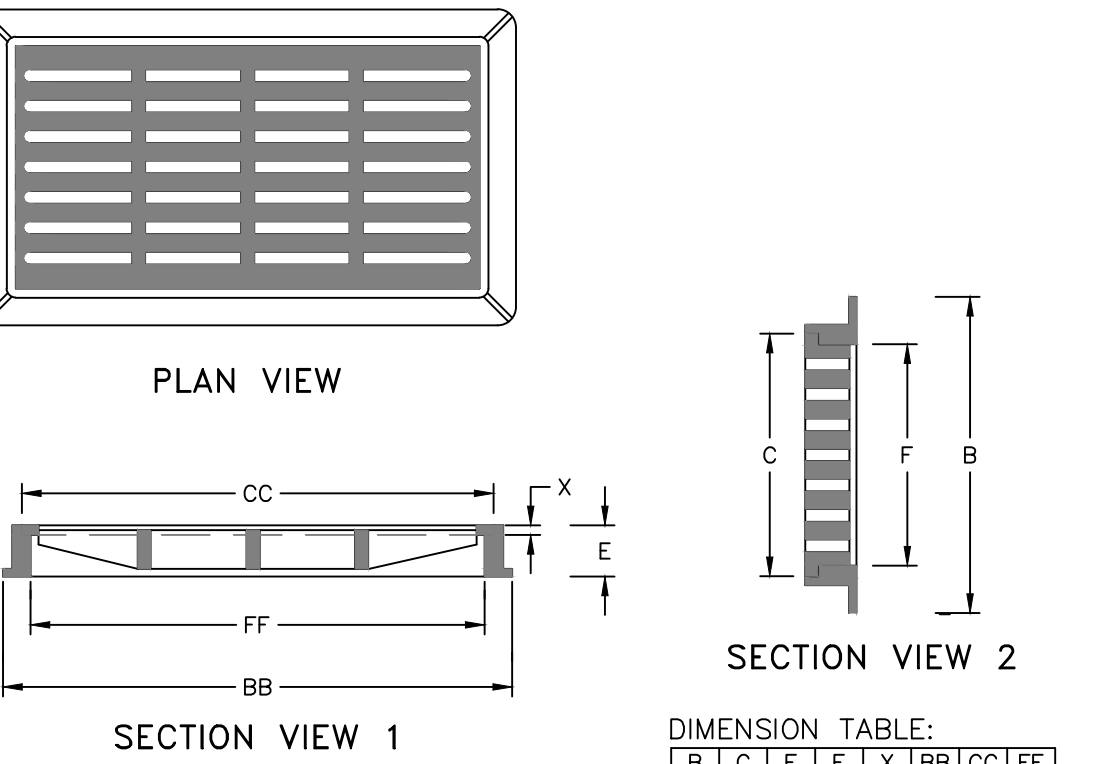
**TEMPORARY GRASS LINED SWALE/DIKE DETAIL**  
NOT TO SCALE



**NOTES:**

1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

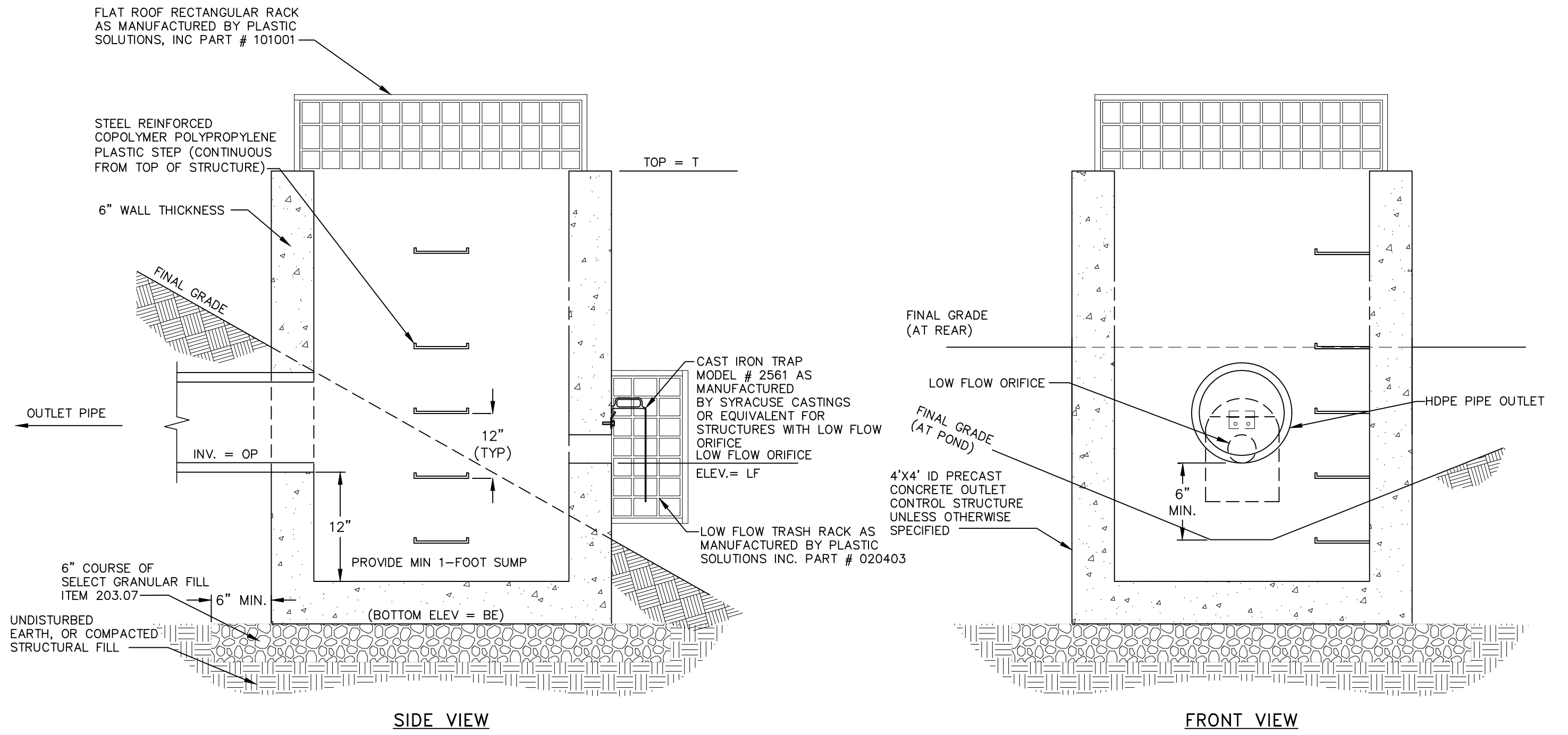
**STORM LINE TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

1. HEAVY DUTY RECTANGULAR STORMWATER INLET GRATE TO BE CAMPBELL FOUNDRY MODEL 2543, OR APPROVED EQUAL.
2. CATCH BASINS TO RECEIVE FLAT INLETS ARE: CB 101, CB 101A, CB 102, CB 103, CB 202, CB 202A, CB 304A, CB 305A AND CB 305B.
3. DMH 1 AND DMH 3 RECEIVE SQUID CAST IRON COVERS.

**CAST IRON STORMWATER FLAT INLET GRATE DETAIL**  
NOT TO SCALE

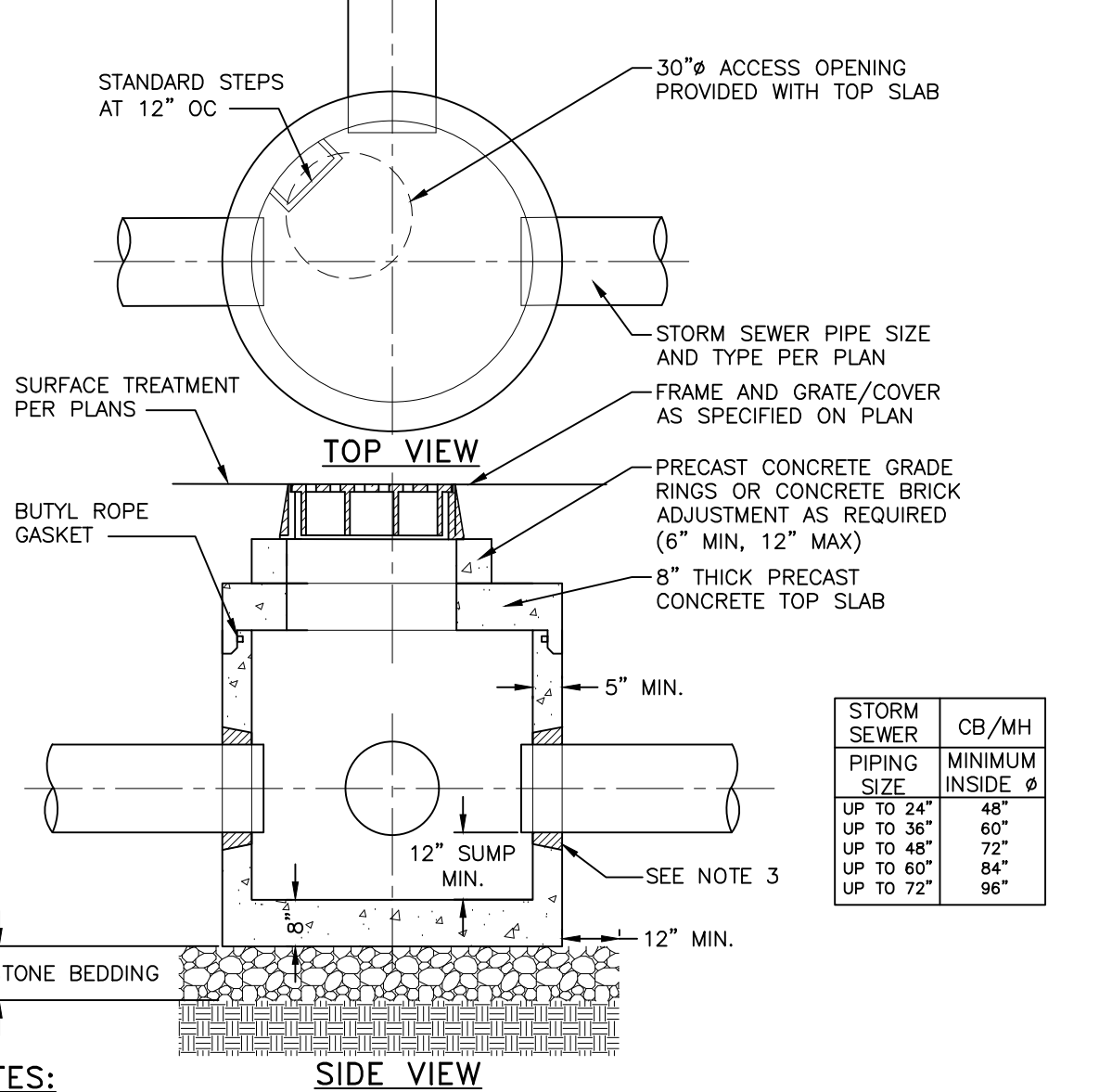


OCS ID	STRUCTURE DIMENSIONS	LOW FLOW ORIFICE DIM. (IN)	*LF* (FT)	HIGH FLOW ORIFICE DIM. (IN)	# OF HIGH FLOW INLETS	*HF* (FT)	*F1* (FT)	OUTLET PIPE Ø (IN)	TOP* (FT)	HIGH FLOW ORIFICE TRASH RACK PART #
1	4'x4' LD.	12 x 8	95.3	NONE	NONE	N/A	96.25	15	91.00	N/A
2	4'x4' LD.	12 x 8	64.5	NONE	NONE	N/A	66.75	24	62.00	N/A
3	4'x4' LD.	12 x 9	59.4	NONE	NONE	N/A	61.55	15	55.00	N/A

**NOTES:**

1. ALL TRASH RACKS SHALL HAVE UV PROTECTION MEETING OR EXCEEDING THE REQUIREMENTS OF ASTM D2265-99.
2. TRASH RACKS SHALL BE SECURED PER THE MANUFACTURER'S RECOMMENDATIONS.
3. WHERE HIGH FLOW ORIFICE EXTENDS TO TOP OF STRUCTURE, THE MAXIMUM ALLOWABLE GAP BETWEEN THE TRASH RACKS SHALL BE 4".

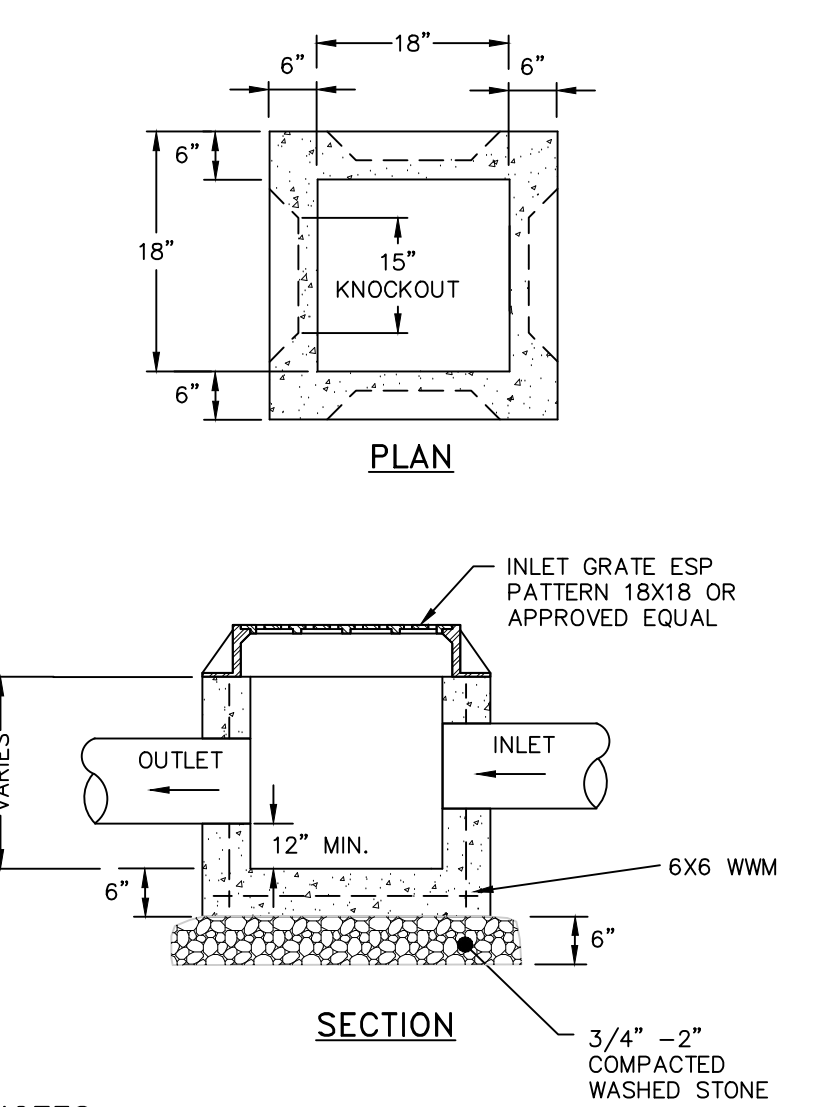
**INFILTRATION OUTLET CONTROL STRUCTURE DETAIL**  
NOT TO SCALE



**NOTES:**

1. PRECAST CONCRETE MANHOLE WITH CONCRETE STRENGTH OF 4000 PSI @ 28 DAYS.
2. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE MANHOLE AND PARGED AROUND.
3. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
4. CONCRETE STRUCTURE AND CASTING SHALL BE RATED FOR 100 TRAFFIC LOADING.
5. INLET FRAME SHALL BE FULLY SUPPORTED ON THE CONCRETE STRUCTURE FOR HOJ LOADING.
6. MANHOLES WITH AN INTERIOR DEPTH OF 4" AND GREATER SHALL BE FURNISHED WITH STEEL REINFORCED POLYPROPYLENE PLASTIC STEPS AT 12" INTERVALS.

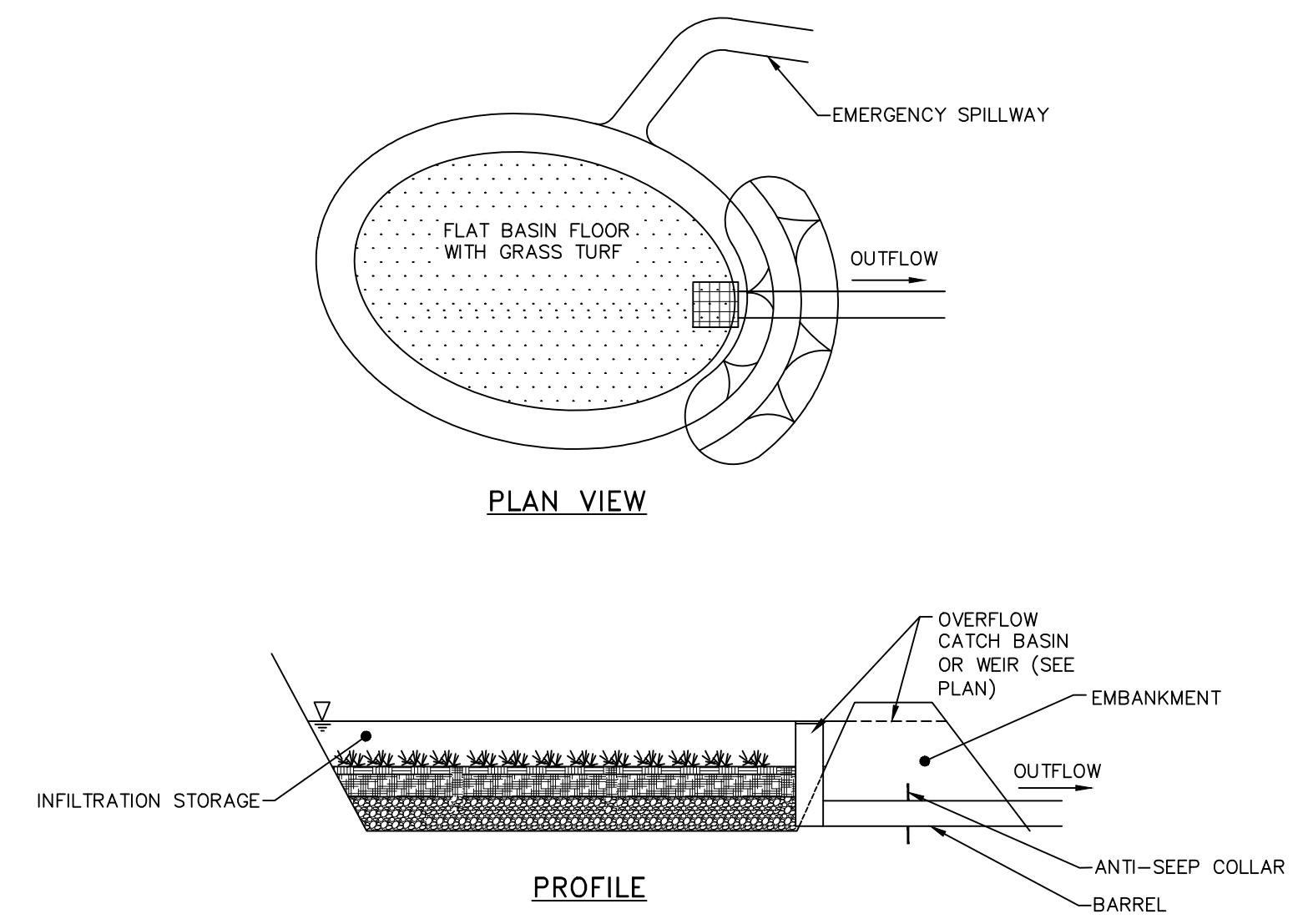
**STORMWATER MANHOLE DETAIL**  
NOT TO SCALE



**NOTES:**

1. YARD INLET BASINS SHALL BE PRE CAST REINFORCED CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND SHALL BE IN CONFORMANCE WITH ASTM 4753-88. WALLS AND BASE SHALL BE ONE PIECE CONSTRUCTION.
2. BACKFILL USING SELECT MATERIAL, COMPACTED IN 6" LIFTS.
3. SUMP SHALL BE 12".
4. FRAMES AND GRATES SHALL BE SET IN A FULL BED OF MORTAR.

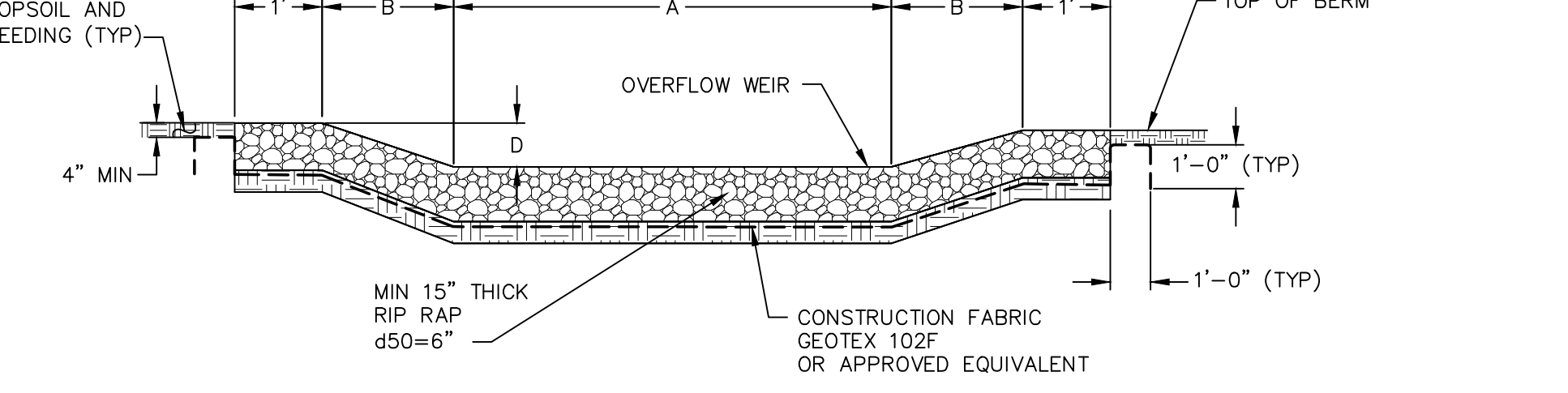
**PRE-CAST CONCRETE YARD INLET DETAIL**  
NOT TO SCALE



**NOTES:**

1. THE INFILTRATION BASIN SHALL NOT SERVE AS A SEDIMENT TRAP DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
2. RELATIVELY LIGHT TRACKED EQUIPMENT IS RECOMMENDED FOR CONSTRUCTION PURPOSES TO AVOID COMPACTION OF THE BASIN FLOOR.
3. A HEAVY DUTY TRACKED EQUIPMENT IS RECOMMENDED FOR CONSTRUCTION PURPOSES TO AVOID COMPACTION OF THE BASIN FLOOR, ESPECIALLY WITHIN THE AREA IDENTIFIED AS BEING USED FOR INFILTRATION.
4. ESTABLISH DENSE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR TO PREVENT EROSION AND SLOUGHING AND TO PROVIDE A NATURAL MEANS OF MAINTAINING RELATIVELY HIGH INFILTRATION RATES. GRASSES OF THE FESCUE FAMILY (LA-TAI FESCUE, WESTERN FESCUE OR RED FESCUE) ARE SPECIFIED ON THIS PLAN, PRIMARILY DUE TO THEIR ADAPTABILITY TO DRY SANDY SOILS, DROUGHT RESISTANCE, HARDINESS, AND ABILITY TO WITHSTAND BREEZING INUNDATIONS. FESCUE WILL ALSO ALLOW FOR LONG INTERVALS BETWEEN MOWINGS, WHICH SHALL OCCUR TWICE PER YEAR MINIMUM, TYPICALLY IN JUNE AND SEPTEMBER IS SATISFACTORY.
5. THE BERMS SHALL BE SUFFICIENTLY COMPACTED AND OF SUCH MATERIAL TO PREVENT SEEPAGE.

**TYPICAL INFILTRATION BASIN DETAIL**  
NOT TO SCALE

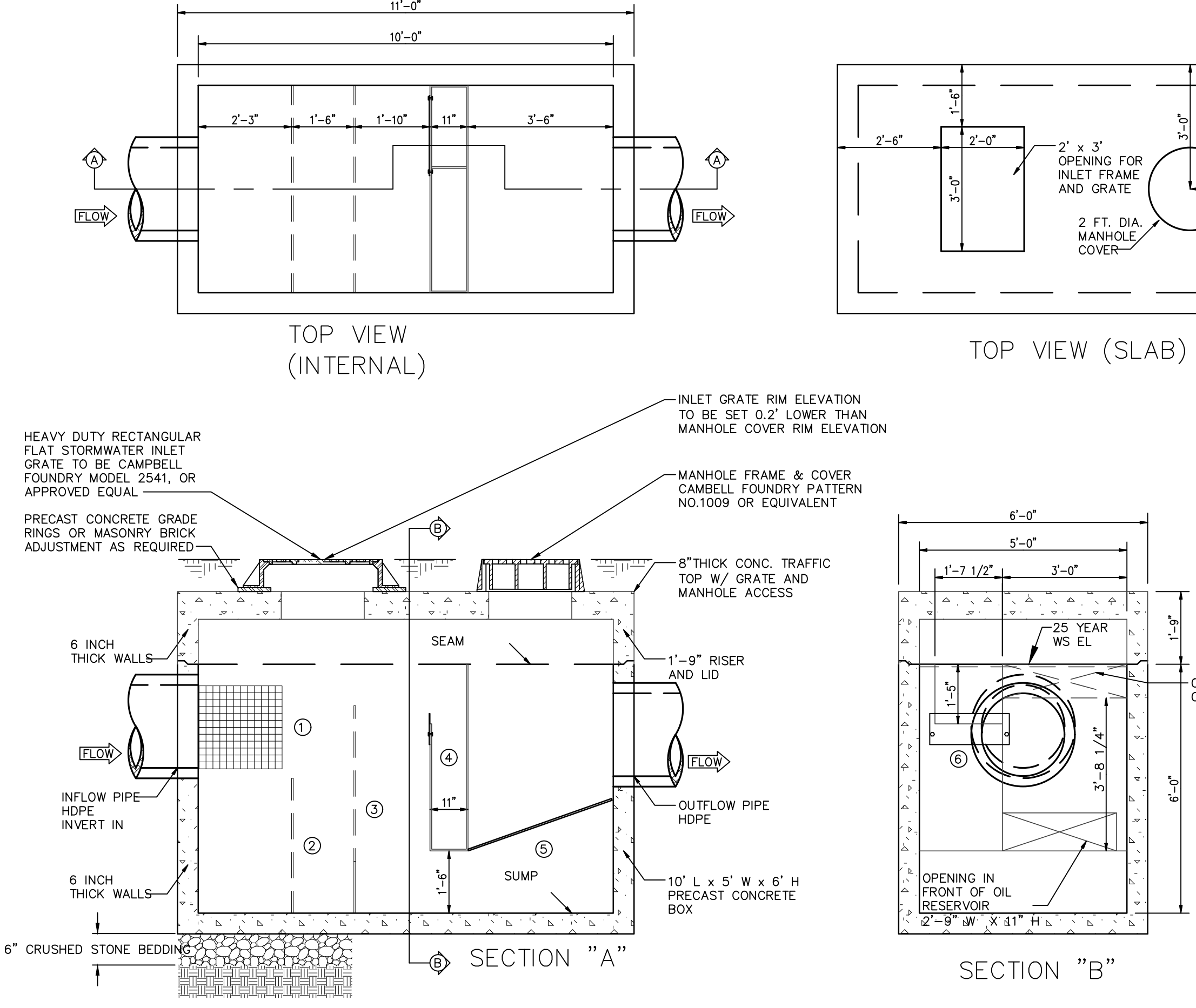


SWM ID	OVERFLOW WEIR ELEVATION (FT)	DIMENSION A (FT)	DIMENSION B (FT)	DIMENSION D (IN)
INFILTRATION BASIN 1	97.2	15	3	12
INFILTRATION BASIN 2	67.2	15	3	12
INFILTRATION BASIN 3	62.0	15	3	12

**NOTES:**

1. RIP RAP OUTLET PROTECTION SHALL BE 15" OF LIGHT STONE FILLING. STONE FILLING SIZE 650-8". RIVER ROCK MAY BE SUBSTITUTED FOR ANGULAR STONE.

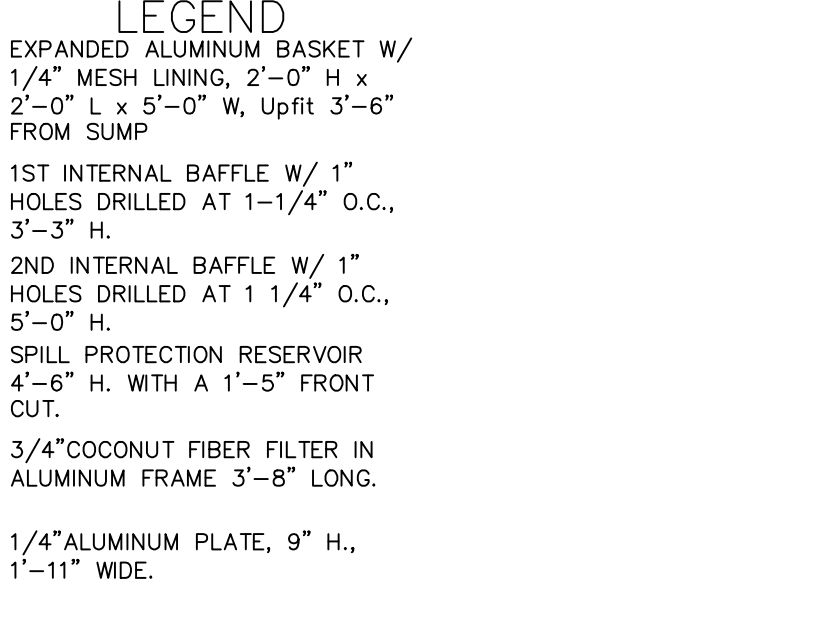
**EMERGENCY OVERFLOW WEIR DETAIL**  
NOT TO SCALE



**NOTES:**

1. WATER QUALITY INLET SHOWN IS "CRYSTAL CLEAN" MODEL # 1056 BY CRYSTAL STREAM TECHNOLOGIES, INC. OF LAWRENCEVILLE, GA. 1-800-648-6945.
2. ALL PIPES SHALL BE CONSTRUCTED TO BE FLUSH WITH THE INSIDE WALLS.
3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PIPES AND STRUCTURES BETWEEN AND AROUND THE WATER QUALITY VAULTS.
4. ALL VAULT LIFTING CONNECTIONS SHALL BE LOCATED ON THE OUTSIDE OF THE VAULT WALLS.
5. CONCRETE VAULT PRE-CASTER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONCRETE VAULTS. WALL AND SLAB THICKNESSES SHALL BE ALTERED ACCORDINGLY.

**WQI DETAIL**  
NOT TO SCALE



RECOMMENDED FOR APPROVAL:  
MAYOR OF THE CITY OF BEACON \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION; ANY CHANGE, ERRASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

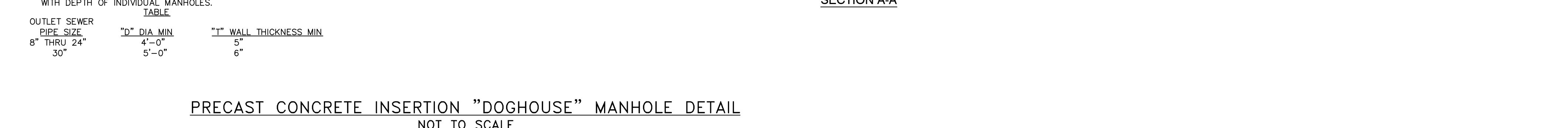
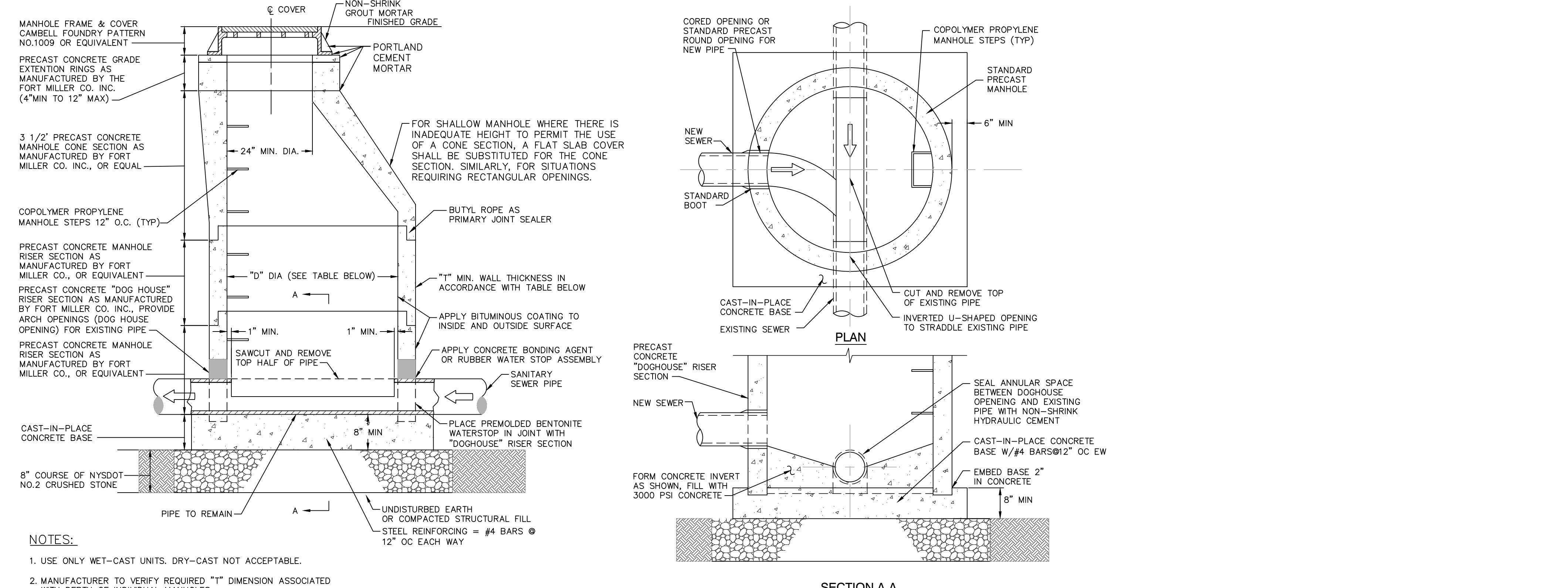
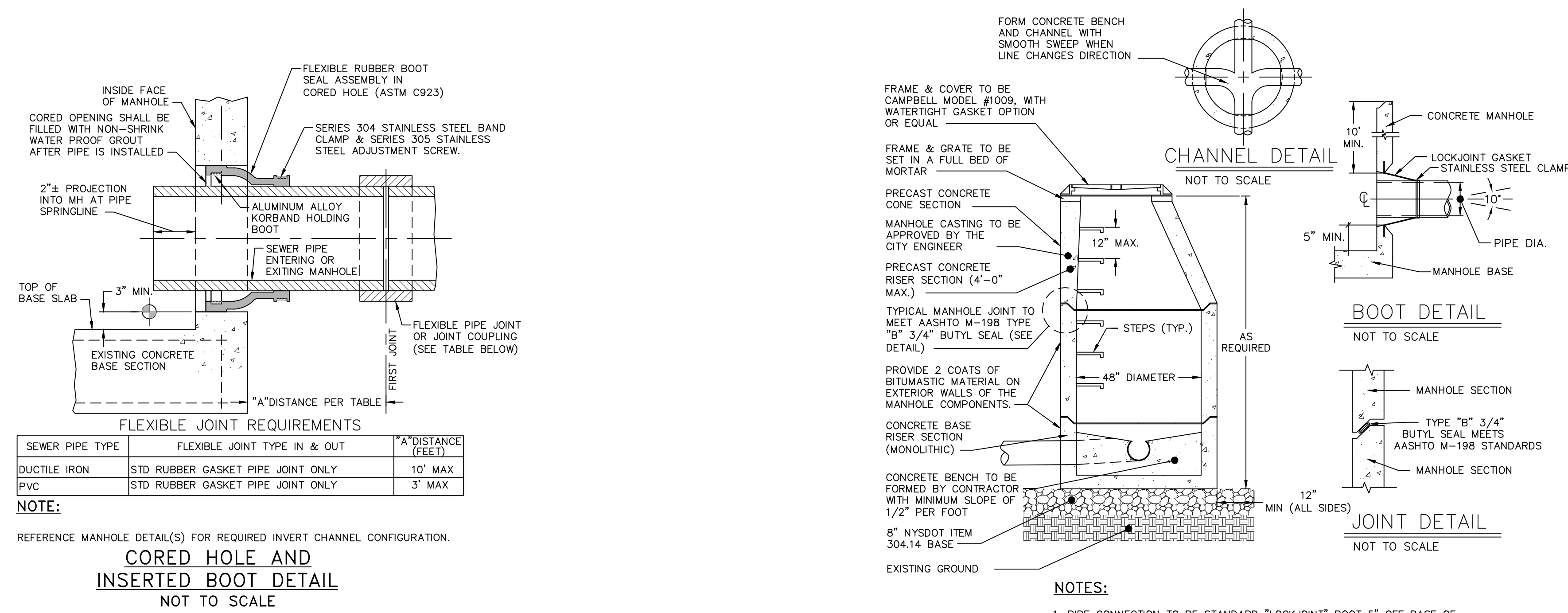


SBAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

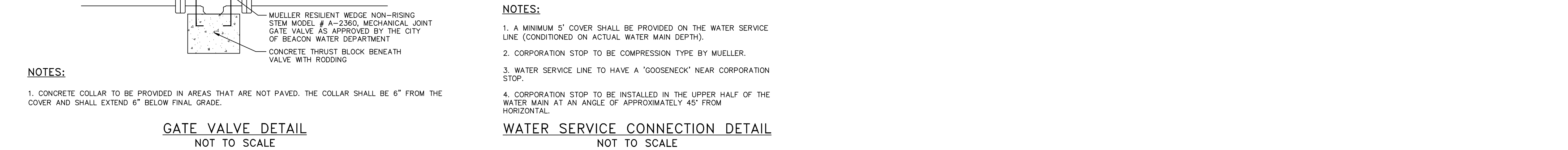
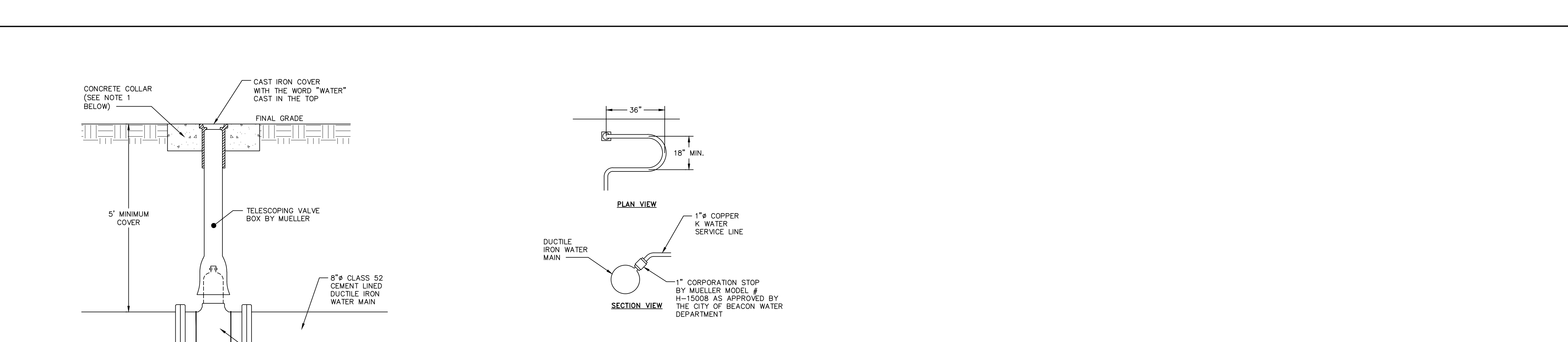
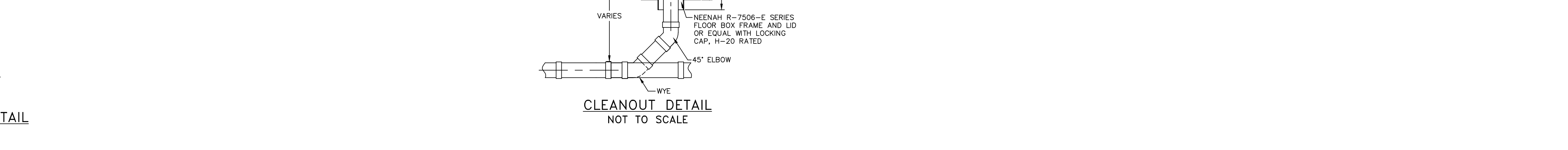
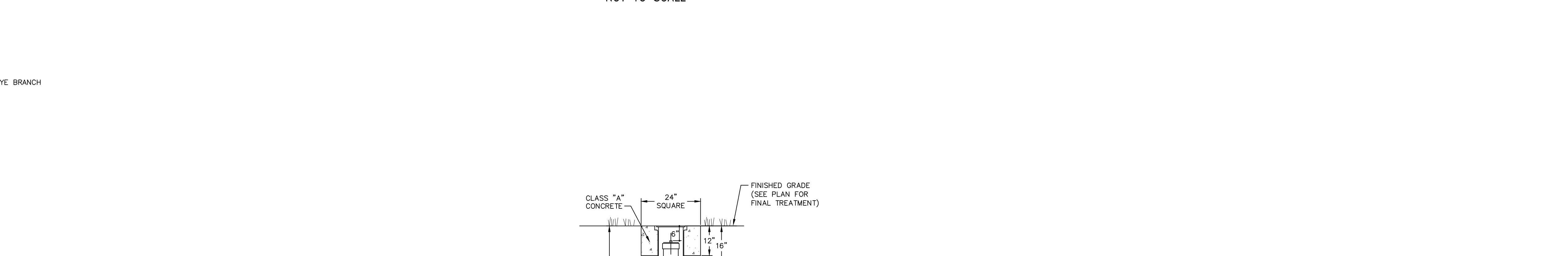
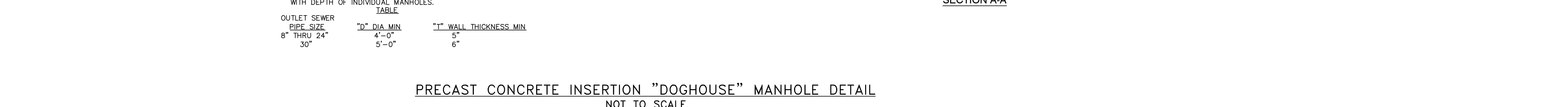
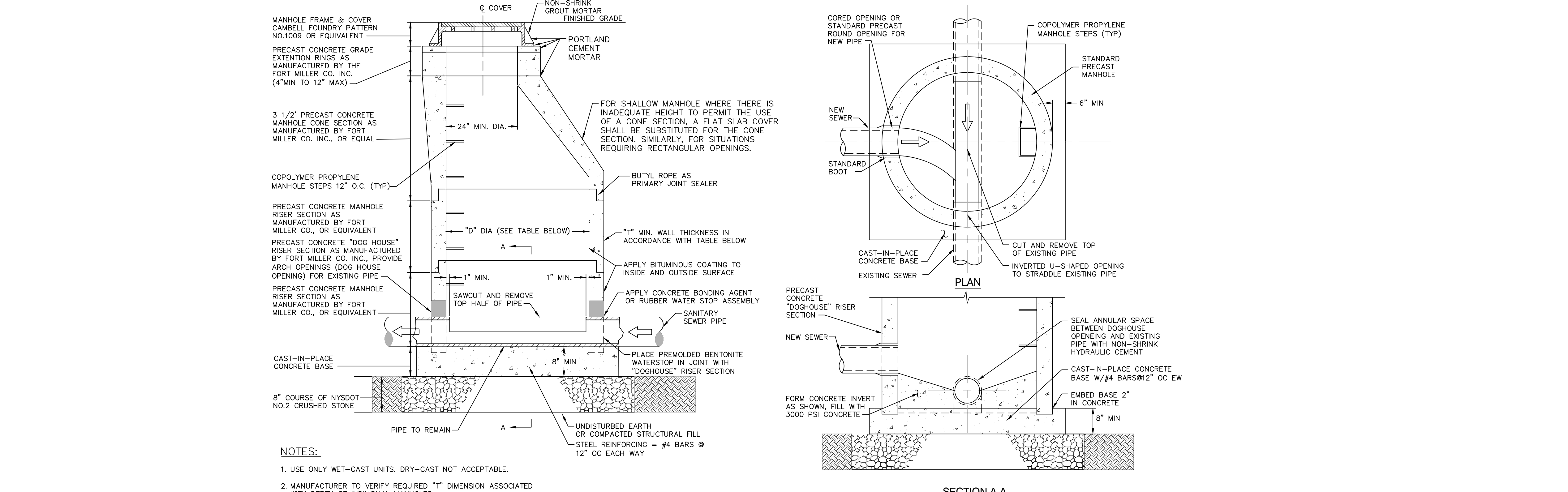
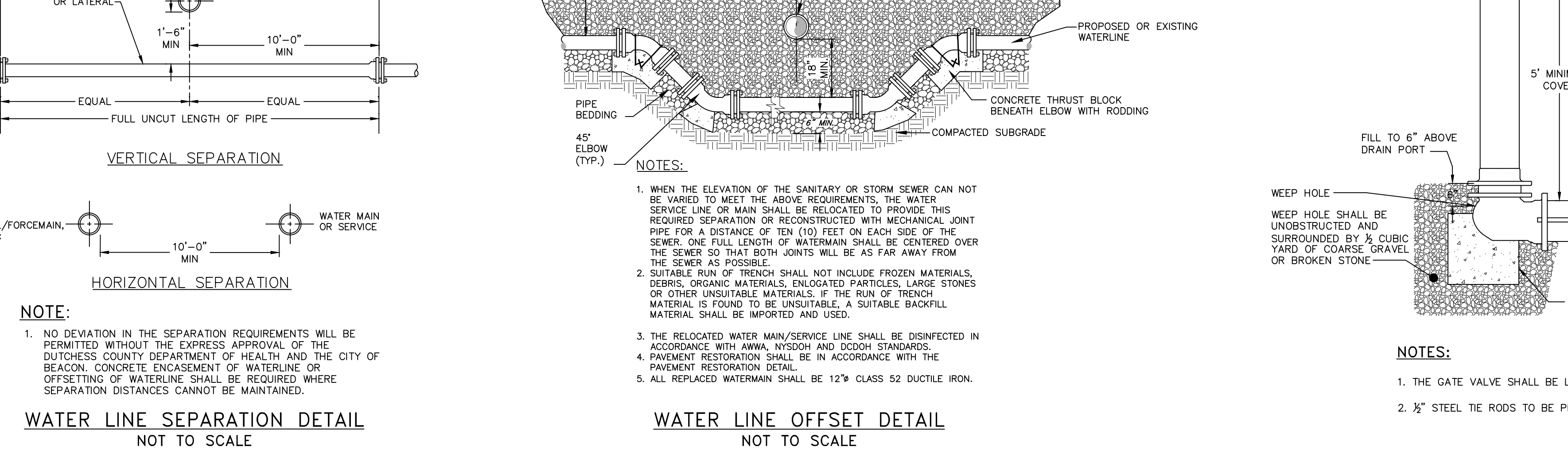
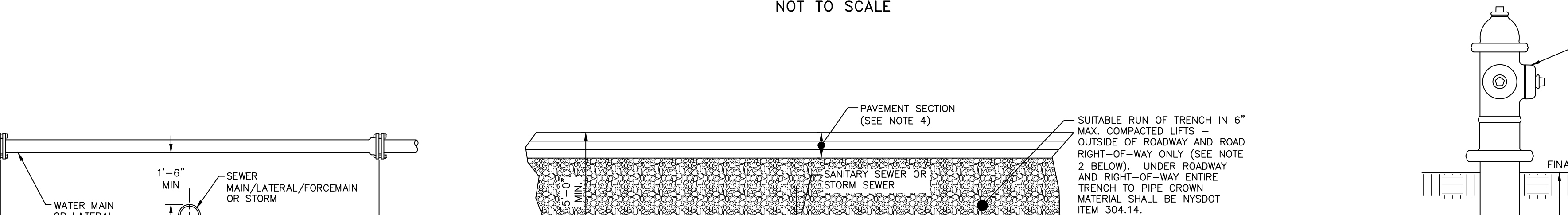
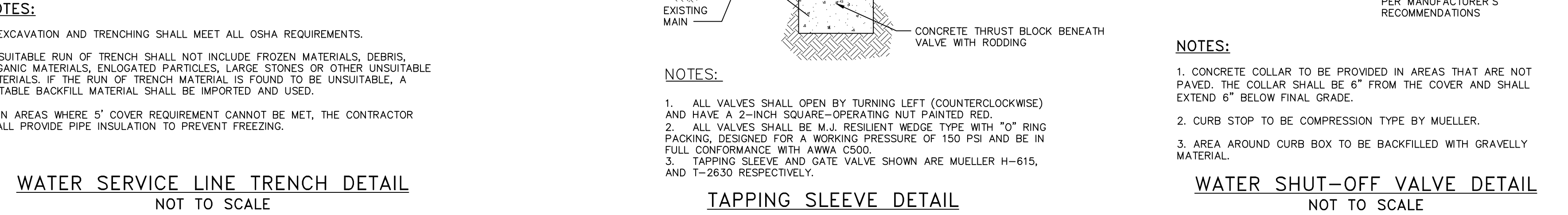
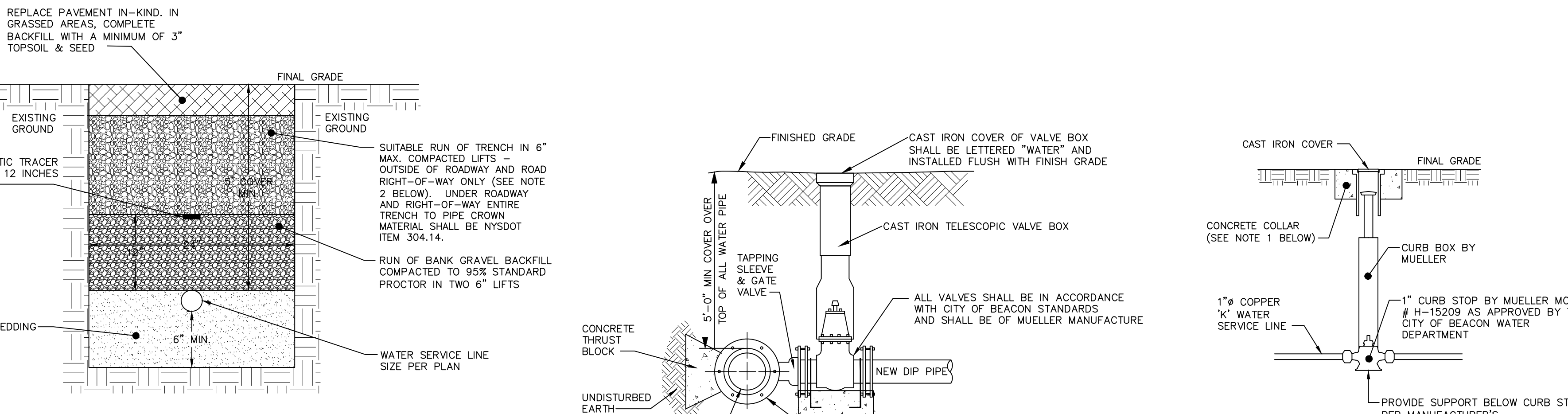
NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/28/17	NO CHANGE THIS SHEET	MAB

**Special Use Permit Application**  
**Stormwater Details**  
Sheet 12 of 13

**SEWER DETAILS**



**WATER DETAILS**



RECOMMENDED FOR APPROVAL:

MAYOR OF THE CITY OF BEACON \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/25/17	NO CHANGE THIS SHEET	MAB

SEAL

JON D. BOBENDORF, P.E.  
NYS LICENSE NO. 078245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

**Special Use Permit Application**  
**Water and Sewer Details**  
Sheet 13 of 13

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: May 5, 2017

Re: **Edgewater Site Plan and Subdivision**

I have reviewed the April 25, 2017 response letter from Michael A. Bodendorf at Hudson Land Design, a cost estimate for the banked parking lot from Joseph's Construction, dated April 26, 2017, and a 15-sheet Site Plan package with a revision date of April 25, 2017.

### **Proposal**

The applicant is proposing to demolish two existing buildings, construct seven apartment buildings containing 307 units on 12.009 acres in the RD-1.7 zoning district.

### **Comments and Recommendations**

1. Several variances are being requested for this project, including:
  - Maximum stories for Buildings 3, 4, and 6;
  - More than 36 units per building (Buildings 1, 2, 3, and 6 have between 48 and 59 units);
  - Less than 30 feet between buildings (building separations range from 12 to 24 feet).All three variances should be described in the notes on Sheet 1. The Board should issue recommendations to the ZBA once it makes a SEQRA determination.
2. The Site Plan shows 67 landbanked parking spaces on the site (deducting at least two spaces for the entrance). The notes on Sheets 1 and 3 should be updated. The designated location for the extra spaces is on steeply sloping ground, which would require a very high, expensive retaining wall more than 500 feet long near the Bank Street frontage.
3. At a meeting with the applicant and consultants on May 3, an alternative location for a bay of banked parking was discussed, using the northern end of the proposed park. If needed, this would provide approximately 35 spaces in a more easily accessible area, allow the banked parking to be phased in two locations, and cut down the length of any necessary retaining wall along Bank Street by more than half. Additional eco-lawn parkland could be provided elsewhere on the site, such as on the top of the hill south of Buildings 3 and 4 and/or around the central pavilion.
4. The access aisles for the ADA spaces should be shown as striped and the under-building ADA spaces should be near the elevators. I counted 45 under-building spaces, not 46.
5. Crosswalks should be added at the northern sidewalk connection to Tompkins Avenue.
6. The Planning Board will need to issue an LWRP Consistency Determination as part of the overall SEQRA determination for the project. The applicant has begun to address consistency with the overall LWRP policies in the last response letter, but the visual simulation from near the Metro-North platform on Sheet 7 should be included in a complete consistency justification statement to help confirm the level of scenic impacts from the riverfront area.

7. The Landscape Plan appears to acknowledge that the four large 18- to 20-inch diameter trees south of Building 4 will not survive the regrading and new sidewalk in that area. The note referring to possible protection should be removed. However, the designated replacement trees should be much taller species. Chokeberry trees are also listed as having weak wood that is susceptible to broken branches in snow and ice.
8. The Landscape Plan shows additional trees in the parking lots, meeting the requirements in Section 223-26 C(3). A note on the plan should confirm that these trees will be at least 3-inch caliper at four feet above the ground level.
9. Wood-sided trash enclosures, as shown on Sheet 11, do not generally stand up to garbage trucks over time if containing dumpsters.
10. The building elevations should continue to be reviewed by the Architectural Review Subcommittee.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegel, Project Architect



**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

May 5, 2017

Mr. Jay Sheers, Chairman  
Beacon Planning Board  
City of Beacon City Hall  
1 Municipal Plaza  
Beacon, NY 12508

RE: Edgewater  
City of Beacon  
Tax Map Nos. 5954-25-566983, 574979,  
581985, & 5955-19-590022

Dear Mr. Sheers:

Our office has reviewed the plan set entitled "Edgewater", as prepared by Aryeh Siegel, Architect, and Hudson Land Design; a report entitled "Preliminary Subsurface Investigation and Report for Proposed Multi-Family Residential Development at 45 Tompkins Avenue", dated October 3, 2006, as prepared by SESI Consulting Engineers; along with an Inflow and Infiltration (I&I) Study conducted by Hudson Land Design for the existing building located at the site. The plan set consists of the following drawings:

- Sheet 1 of 13, entitled "Site Plan", last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 2 of 13, entitled "Existing Conditions and Demolition Plan", last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 3 of 13, entitled "Landscape Plan", last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 3A of 13, entitled "Site Lighting Plan", last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 4 of 13, entitled "Lower Level/Garage Floor Plan", last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 5 of 13, entitled "Typical Floor Plan", last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.

- Sheet 6 of 13, entitled “Typical Floor Plan”, last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 7 of 13, entitled “Building Renderings & Site Sections”, last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 7A of 13, entitled “Building Renderings & Site Sections”, last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 8 of 13, entitled “Grading and Utility Plan”, last revised April 24, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 9 of 13, entitled “Erosion and Sediment Control Plan”, last revised April 24, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 10 of 13, entitled “Profiles”, last revised April 24, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 11 of 13, entitled “Site, Landscaping and Erosion & Sediment Control Details”, last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 12 of 13, entitled “Stormwater Details”, last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.
- Sheet 13 of 13, entitled “Special Use Permit Application”, last revised April 25, 2017, as prepared by Hudson Land Design, TEC Land Surveying, Landscape Restorations, and Aryeh Siegel, Architect.

Based upon our review of the above referenced plans, we offer the following comments.

General Comments:

1. The additional Environmental Assessment Form report, states that the proposed water lines to be installed as part of the project are to be dedicated to the City of Beacon. This matter will need to be discussed with the City Council. The water system in the area is currently looped through the neighboring roads, and the lines being installed to service the project only benefit the proposed project. *The project consultants have stated that documentation is being prepared to show the benefits of the City of Beacon accepting the water lines and that this information will be provided in the future.*
2. The Applicant should address comments made by the NYSDEC in its letter of March 30, 2017.
3. The project will require Dutchess County Department of Health approval.

4. Pressure and fire flow data should be provided as part of the report to verify that sufficient pressures and flows exist within the City's system to service the project. *The applicant has stated this information will be provided in a future submission.*
5. Although a subsurface investigation report was submitted, the report was missing the plan to show the location of where borings and other tests had been conducted on the site. The plan associated with the report should be submitted to allow for a proper review of the report relative to the site.
6. The proposed project entrance in the north-west corner on to Tompkins Terrace appears to cross onto private property. Survey Note 9 on Sheet 2 states that no easements were found crossing the Tompkins Terrace parcel allowing for ingress and egress of the project parcel over the Tompkins Terrace parcel. The applicant shall explain as to what steps are being taken to allow for the project to have ingress and egress over this parcel. This also poses an issue for the installation of utilities across this parcel, such as the proposed water line. *The applicant has stated that the Tompkins Terrace access is currently being investigated.*
7. A Traffic Signage & Striping plan should be provided for the site. *The applicant has stated that this information will be provided in a future submission.*
8. An Engineer's Report should be provided for the proposed water and sewer systems. *The applicant has stated that this information will be provided in a future submission.*
9. The plans now propose widening Branch Street to 25 feet and installing curbs, sidewalk, and drainage. Details of this construction should be provided on the plans.
10. Additional clarity should be provided on the plans with regards to the entrance to the garage between buildings 2 and 3, as the other plans (site plan, floor plans, renderings, etc.) lead to confusion as to how vehicles will enter the garage given a Terrace is shown between the building on most plans.
11. The plans should be further reviewed for clarity, as several plans were noted to have large blacked out areas located on them, along with overly enlarged symbol sizes.

#### Sheet 1 of 13 – Site Plan:

1. The hatched area on the plan representing "Existing Woodlands to Remain" should be revised. Proposed project grading and the installation of utilities are shown to occur in this area, as shown on Sheets 1 and 3. The woodlands to remain area should be reduced to not include areas disturbed for the project. *This comment has not been addressed on the plans.*
2. The final parking numbers should be adjusted to take into account the number of spaces to be lost when the entrance and exit drives to the proposed reserved parking area are constructed.

#### Sheet 2 of 13 – Existing Conditions & Demolition:

1. The plan should be revised to show the existing water main locations, and the symbols used for sanitary manholes should be made larger so as to actually show a manhole. *This comment has not been addressed on the plans along Branch Street.*

2. The sewer manhole at the intersection of Bank Street and Branch Street show an 8" RCP pipe running from the manhole into the project parcel. Where does this pipe run traverse across the site to, and what does it serve? As this line appears to have previously serviced the site in some fashion, if the line is no longer used, then the applicant should have this line removed and disconnected from the sanitary manhole.

Sheet 3 of 13 - Landscape Plan:

1. The landscape plan shall be coordinated with the utility plan so that trees are not planted directly over or directly next to proposed water, sewer, and storm lines and structures. *Although noted by the consultants as being addressed, a number of conflicts were still noted to exist on the plan.*
2. The plan should be revised in accordance with Comment No. 1 above for Sheet 2. The plan should also show the edges of the road.

Sheet 5 of 13 - Typical Floor Plan:

1. The bedroom chart in the center of the sheet should have additional notes added that the overall bedroom count for calculation of water and sewer flows is 413 bedrooms, and that the 317 number represented on the plan for bedrooms does not account for studio's as they do not have separate bedrooms.

Sheet 8 of 13 – Grading and Utility:

1. The method of the water system connection to the existing Branch Street water main is not clear. Additional detail for the orientation and location of the tie-in should be provided. *The applicant has stated that this information will be provided in a future submission.*
2. There is a 30' R.O.W. for Central Hudson along the northern property line. The project proposes parking, utilities, and trash enclosures inside this easement. The applicant should provide a letter to the Planning Board from Central Hudson in which Central Hudson states that the proposed items to be constructed within this easement is acceptable. *The applicant has stated that this information will be provided in a future submission.*
3. A sewer and drainage table shall be added to the plan which provides for the structure number, rim/grate elevation, pipe inverts, and pipe size.
4. The sewer and storm drainage pipe runs on the plan should be labeled with the size of the pipe, pipe material, and slope of the pipe.
5. The water and sewer utilities and structures shall be coordinated with the landscape plan so as to avoid conflicts with trees over utilities or directly adjacent to structures. Presently the plans show trees to be planted over or next to utilities and structures in several locations.
6. The plans show three 10' high retaining walls in close proximity to each other to the east of building 4. Design information for this wall noting the loading and stepped wall design shall be prepared by a licensed engineer in the State of New York, and shall be submitted for review. *The applicant has stated that this information will be provided in a future submission.*
7. We recommend that the erosion control matting notes and leaders be turned off on this sheet.

8. All pipe runs shall be stationed in accordance with the utility profiles. *The applicant has stated that this information will be provided in a future submission.*
9. The project water main in the north-west corner is proposed to connect to the existing water main located on Tompkins Terrace. As this is not a City Road in this area per the survey mapping provided, is this a City owned or privately owned water main at the location of the proposed connection? *The applicant is investigating the ownership of this water main.*
10. Building roof leader connections should be provided on the plans. *Project consultant states that this information will be provided on a future submission.*

SWPPP Comments:

1. It appears that infiltration rates for the three infiltration basins have been assumed based on the soil types. Infiltration testing will need to be performed in these areas in accordance with NYSDEC procedures. Our office should be notified prior to any field testing to allow for observation of the tests. *The applicant has stated that Lanc & Tully will be notified prior to any site soil testing.*
2. The water quality calculations should use a rainfall value of 1.4 as per figure 4.1 in the latest NYSDEC Stormwater Management Design Manual. *The project consultant states that this has been addressed, and will be provided in a future submission of the revised stormwater pollution prevention plan (SWPPP) once the Planning Board has accepted a final project layout.*

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clark, Planner  
Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector

May 5, 2017

Mr. James Sheers  
Beacon Planning Board  
City of Beacon City Hall  
1 Municipal Plaza  
Beacon, NY 12508

RE: Site Plan and Traffic Review for "Edgewater," City of Beacon, NY;  
CM Project #117-083.1

Dear Mr. Sheers:

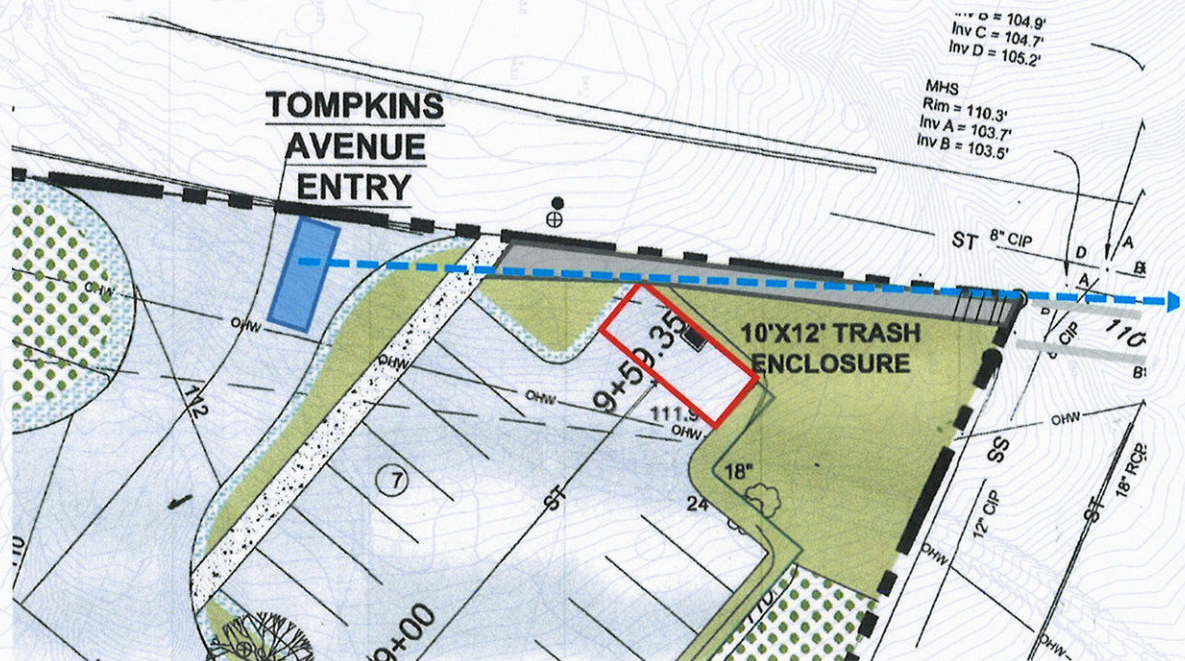
We are in receipt of the following for the subject project:

- Traffic Impact Study dated February 27, 2017 – Maser Consulting
- Comment response dated February 27, 2017 – Maser Consulting
- Comment letter dated March 10, 2017 - Lanc & Tully
- Comment Response dated April 25, 2017 – Hudson Land Design
- Site Plan prepared by Hudson Land Design, last revised on April 25, 2017

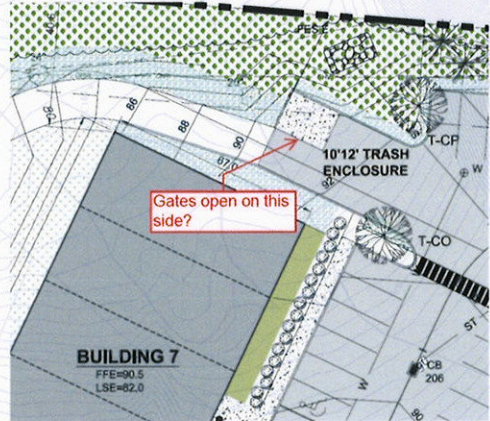
After reviewing these materials and conducting a site visit, we offer the following comments:

Site Plan

1. The sidewalk to Tompkins Avenue should continue east to Bank Street, crossing Bank Street with a crosswalk and accessible ramps. A stop sign should be added to Bank Street. Care should be taken in the design of the dumpster enclosure at the end of the parking lot. The dumpster and/or the enclosure should not block a driver's view exiting to Tompkins Avenue.

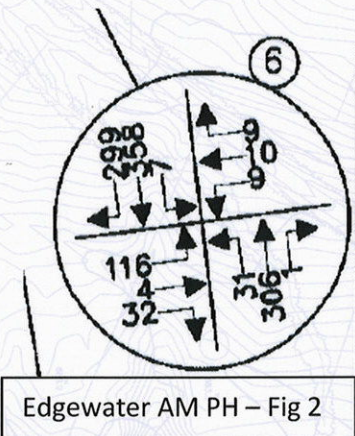


2. The sight distance exiting to Tompkins Avenue is limited to 290 feet looking right, which is 45 feet short (at 30 mph) for a driver to turn left out of the site. The only destination to the left is the Tompkins Terrace Apartments; therefore, it is unlikely that drivers will be making left turns from the site driveway.
3. Dumpster enclosures should allow for easy access to front fork garbage trucks. The dumpster at the north end of Building 7 may need to be rotated 90 degrees, or will otherwise require the operator to manually pull the dumpster out of the enclosure to gain access with the truck.
4. The sidewalk along Branch Street to Bank Street should connect to the sidewalk on the west side of Bank Street with a crosswalk and accessible ramps. A stop sign should be provided on the Branch Street approach. The sight distance looking right is less than recommended, but drivers have a clear view to West Main Street where vehicles turn onto Bank Street and therefore are traveling slower than the speed limit.

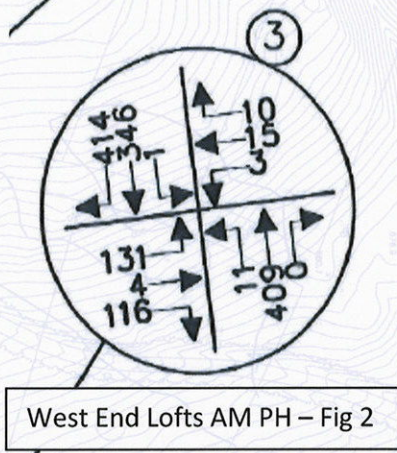


**Traffic Study**

5. The traffic counts included in Appendix E are cut off; they appear scanned as portrait rather than landscape leaving about 25% cut off. Turning movement counts for Route 9D at Verplanck Avenue, Beekman/West Church, and Main St/Municipal Place are missing from Appendix E.
6. We note some differences in the existing traffic volumes between the Edgewater study and the West End Loft study. For example, the Beekman Avenue/West Church Street/Route 9D intersection has a few movements that are 80 to 115 vehicles different (below). Were different volumes used at the common intersections between the two studies?



Edgewater AM PH – Fig 2



West End Lofts AM PH – Fig 2

7. A background growth factor of 2% was used; however, our review of historical traffic volumes on Route 9D (2005 to 2012) revealed traffic growth of 3.46% per year.

8. The study included background traffic from other development projects including The Views, West End Lofts, and the 555 South Avenue project. We defer to the Planning Board as to whether this adequately includes nearby projects.
9. We concur with the trip generation estimate based on ITE sources, noting that no credit was taken for pedestrian trips destined for the train station. We expect that Edgewater residents will find it more convenient to walk (+/-1,500 ft) to the station rather than drive and park. Are the Tompkins Terrace Apartments a comparable trip generator to which the traffic/pedestrian trip generation could be applied to Edgewater?
10. We generally concur with the trip distribution but note that 35% of vehicle traffic is estimated to travel/to from the train station. Meter parking is available for \$3.50 per day (about \$70 per month or \$910 a year). Permit parking for residents is about \$325 per year but there is a waiting list. All things considered, the estimation of traffic to/from the train station may be conservatively estimated.
11. In Table 2 (Level of Service Summary), some of the delay estimates in the table do not reflect the expected operations and/or the reports included in Appendix E.
  - a. LOS for NYS Route 9D/Tompkins Ave – Signalized calcs are provided for AM peak hour (existing, no-build) and unsignalized for PM peak hour (intersection is unsignalized)
  - b. LOS Beekman St/W. Main St: how does EB approach for No-Build being D (31.2) jump to Build F (63.2)? Is this due to 35% of site traffic (from train station) turning left from Beekman St onto W. Main St?
  - c. Section III-F-5, says that NYS Route 9D/Verplanck Ave will continue to operate at LOS C during each peak hours with and without the proposed project. However, in Table 2 the overall LOS for this intersection is D for both No-Build and Build conditions. The calcs show LOS E operations for the westbound right turn movement in the PM peak hours but the timing calcs don't appear to allow for a right turn overlap phase.
12. Most of the intersections will operate adequately with completion of the proposed project, and by inclusion, with The Views and West End Lofts.
13. Signalizing the intersection of Route 9D/Tompkins Avenue/Ralph Street is suggested as possible mitigation to reduce a drop in level of service. If the signal is unwarranted, installation could result in a net increase in delays by unnecessarily stopping through traffic for relatively low side street volumes. The pros and cons should be discussed with the City.
14. The intersection of Beekman Street/W. Main St will have a fourth leg created by The Views. As an unsignalized intersection, the Views driveway is estimated to operate adequately through completion of the Edgewater project. The eastbound approach of Beekman Street is expected to experience an increase in delays during the PM peak hour, LOS D (31.2 seconds) → LOS F (63 seconds). Therefore, the traffic study recommends monitoring the intersection for future signalization.

The Edgewater project adds only 7 trips on the eastbound stop sign approach of W. Main Street, but adds 43 trips (35% trip distribution) to the left turn from Beekman Street onto W. Main Street heading to the site in the PM peak hour (see comment 10). Field observations indicated periods of concentrated traffic flows going north on Beekman Street shortly after the arrival of an afternoon train, followed by lulls



between arrivals. Therefore, the Board should discuss whether this degradation in operation is considered an acceptable temporary condition. However, if signalization becomes necessary, we suggest identifying the fair share amount of responsibility that the Edgewater project has at this intersection.

15. At the Route 9D/Verplanck Avenue intersection, the Edgewater project will add traffic to the northbound and southbound Route 9D approaches. The northbound approach is expected to increase by approximately 5 seconds, the southbound approach by about 6 seconds during the PM peak hour. However, the southbound left turn movement from Route 9D to Verplanck Avenue is expected to increase by 27 seconds (E (69.9) → F (97.0)). The applicant should discuss means of mitigation for this impact.

16. At the Route 9D/Beekman Street/W. Church Street intersection, the northbound left turn movement is expected to drop from LOS D (52.1 sec) → LOS E (59.4) in the PM peak hour as the result of an additional 12 project trips to the movement. This equates to one vehicle every 3 to 4 cycles of the signal. Minor signal timing adjustments may be able to correct this reduction. Any changes in timings as part of the West End project/study should be coordinated in this study.

In summary, we offer the above comments for the Boards consideration, and if appropriate, request responses from the applicants representatives.

If you have any questions about the above comments, please don't hesitate to contact our office.

Respectfully,  
*Creighton Manning Engineering, LLP*



Kenneth Wersted, PE, PTOE  
Associate

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**Wolcott Avenue - West End Lofts**

**Subject:**

Continue review of application for Site Plan Approval, 3 buildings – 98 units, West End Lofts, submitted by Kearney Realty & Development Group, Wolcott Avenue

**Background:**

**ATTACHMENTS:**

Description	Type
West End Lofts - Cover Letter	Cover Memo/Letter
West End Lofts - Preliminary Plat	Plans
West End Lofts - Building Elevations	Plans
West End Lofts - LWRP Consistency	Backup Material
West End Lofts - NY Heritage Letter	Backup Material
West End Lofts - Water Wastewater	Backup Material
West End Lofts - Sheets 1-3	Plans
West End Lofts - Sheets 4-7	Plans
West End Lofts - Sheets 8-13	Plans
West End Lofts - Traffic Consultant Review	Consultant Comment



April 25, 2017

Mr. James Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Plaza, Suite 1  
Beacon, New York 12508

RE: West End Lofts  
Wolcott Avenue  
Tax Map No. 5954-26-688931

Dear Chairman Sheers and Members of the Board:

Enclosed please find five (5) copies of the following in regards to a Subdivision and Site Plan Application for the above referenced project:

- Site Plans (13 sheets total), dated April 25, 2017.
- Preliminary Subdivision Plat, dated April 25, 2017.
- Water and Sewer Engineer's Report, dated April 25, 2017 (4 copies).
- Architectural Elevations, prepared by Coppola Associates, dated April 25, 2017.
- LWRP Consistency Justification, dated April 25, 2017.
- New York Natural Heritage Program Letter, dated April 19, 2017.

Also enclosed is a CD containing the above materials.

With regards to comments received from the City Consultants, we offer the following:

**Memorandum from John Clarke of John Clarke Planning and Design, City of Beacon Planning Consultant, dated April 7, 2017:**

1. A preliminary subdivision plat for the property has been provided for review. The surveyor's stamp is included on the plat.

The LWRP Coastal Assessment Form was previously provided. The LWRP Consistency Justification is provided to address the views from Wolcott Avenue/Beacon Street to the river.

The County referral and responses from state agencies regarding archeological sensitivity and endangered species are pending. Upon receipt, correspondence will be forwarded to the Planning Board for review.

2. It is our understanding that the standards for parking space and aisle dimensions may be changing within the Linkage Zone. We understand that if the dimensions within the code do not change, an area variance will be required as the shown dimensions for the parking spaces and drive aisles do not conform to the current requirements as listed within the City Zoning Code.

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3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717  
[www.insite-eng.com](http://www.insite-eng.com)

3. We acknowledge that the project proposes three less parking spaces than the code requires and respectfully request a waiver for three parking spaces. We believe the project's proximity to the adjacent Metro-North train station and Main Street, provide pedestrian opportunities to justify the parking reduction. As Beacon continues to become a pedestrian friendly city, the need for parking spaces will continue to diminish especially for residents living within the city limits.
4. The applicant is committed to continue to work with the City Council on the Affordable Workforce Housing provisions. The unit types will be shown on the floorplans prepared by Coppola Associates.
5. As requested, elevations for all proposed buildings are provided for review that reflect the suggestions of the March 1<sup>st</sup> Architectural Review Subcommittee meeting. Materials have been shown on the elevations as requested.
6. Drawing S-1 has been revised to depict the tree line/woods behind The View. The View elevation has also been revised to depict the central elevator/stair towers extending above the roof elevation of 150'.
7. The LWRP Consistency Justification has been revised to include additional and more detailed information pertaining to site clearing, driveway and building locations, the public access path through the site and how they may enhance the views toward the river. The landscaping has been adjusted to minimize blocked views from the entrance drive toward the river as requested.
8. The utilities and conditions along the Beekman Street frontage are being studied to determine the feasibility of siting townhomes in this area.

**Memorandum from John Russo, PE of Lanc & Tully, P.C., City of Beacon Engineering Consultant, dated April 6, 2017:**

**General Comments:**

1. We acknowledge that the Phase I Environmental Study was accessed by the consultants and that based on the report's findings, no significant impacts were encountered on the site.
2. The Erosion and Sediment Control Plan, drawing SP-3, has been revised to state the cut and fill volumes broken down for each of the three proposed phases of the project.
3. Utility profiles for the proposed sanitary, water, and drainage will be provided with a later submission.
4. The project plans have been revised to show the additional construction easements needed on the City property to construct the proposed project. Easements on the View property are currently under consideration.
5. Drawing SP-1 has been revised to expand the proposed snow storage areas as requested. We understand that Note #1 on Drawing SP-1 will be discussed further with the Planning Board and Building Inspector.
6. The proposed dumpster enclosures have been expanded to adequate serve the proposed 98 units. The size of these enclosures will be the basis for the frequency of pickup.

Water & Wastewater Engineering Report:

1. We acknowledge that the 8" diameter watermain proposed to be dedicated to the City and to serve the three (3) 6" diameter service lines to the proposed buildings, is still under discussion with the City Department of Public Works. Based on recent discussions with the consulting engineer, it was suggested that the current proposal would not be accepted by the City without a benefit a benefit to the City of Beacon. We see the benefits as follows:
  - a. The 160 feet section of proposed City main would service the two proposed lots maintaining municipal control of the main in lieu of a shared private main.
  - b. The three buildings on two lots will each have a single building meter, allowing for efficient data collection in a conventional manner.
  - c. Elimination of a large meter pit with below grade appurtenances avoids unnecessary cost, maintenance, and reliability issues.

Preliminary Plat:

1. The Existing Conditions and Removals Plan has been revised to illustrate the two (2) existing light poles along the southern property line of the City's parking lot and their respective electric lines. Based on their locations, it has been determined that an easement for the electric lines is not required.
2. The Preliminary Plat has been revised to depict the drainage structure in the southwest corner of the City's parking lot and the drainage line that runs westerly toward Beekman Street. An easement has been provided along this drainage run as requested.

Cover Sheet (CS-1):

1. The Site Plan Drawing List has been revised to accurately depict the titles of each sheet within the drawing set.

Layout & Landscape Plan (SP-1):

1. It is our understanding that the Planning Board will discuss whether a waiver will be granted for the requested parking space number reduction.
2. It is our understanding that the standards for parking space and aisle dimensions may be changing within the Linkage Zone. We understand that if the dimensions within the code do not change, an area variance will be required as the shown dimensions for the parking spaces and drive aisles do not conform to the current requirements as listed within the City Zoning Code.
3. See response above.
4. The proposed landscape screening provided along the northeast side of building 3 have been shifted to not impede the City's snow storage area.

Grading & Drainage Plan (SP-2.1):

1. An enlarged grading and drainage plan view has been added to the Grading and Drainage Plan showing the area surrounding Building #3.
2. The plan has been revised to show the existing pipe connecting between SDI-1 and EX DI-1. A note has been added to the project plans stating that the contractor shall locate the existing

pipe in this location and provide an invert in the SDI-1 structure to match the existing pipe invert.

3. The drainage table has been revised to match the drainage structures shown on the project plans.
4. The elevations on shown the stormwater details on sheet 13 of 13 have been revised to match those shown on the drainage table on the Grading and Drainage Plan.
5. As shown in the enlarged grading and drainage plan view, the stormwater piping around Building #3 has been shifted slightly to provide horizontal separation between the proposed structures and piping.
6. The plan has been revised show additional grading and lower the rim elevation of yard drain YD11B to ensure the area west of Building #2 drains away from the building towards the drain.

Utilities Plan (SP-2.2):

1. We acknowledge that the 8" diameter water line proposed to be dedicated to the City and to serve the three (3) 6" diameter service lines to the proposed buildings is still under discussion with the City Department of Public Works.
2. The plan has been revised to show the valves on each of the 6" water service lines to the buildings in close proximity to the 8" main entering the site as requested.
3. The 6" water service line to Building #3 has been relocated such that it does not cross underneath the proposed subsurface detention system.
4. Sewer manholes SMH-1 and SMH-2 have been shifted slightly to the east to avoid the potential conflict with stormwater manhole DMH-1B.
5. A note has been added to the project plan stating that the sleeve shall be provided for the sewer line as it passes through the proposed wall systems on the north side of Building #3.

Erosion & Sediment Control Plan (SP-3):

1. The project plans have been revised to show the location and detail for the proposed temporary sediment trap. It should be noted that the construction sequence has been revised to include the timing of the temporary sediment trap installation and conversion to the proposed dry swale.
2. It is anticipated to landscape the entire project upon the completion of all phases of construction and not on a phase by phase basis. Since the landscaping is proposed to take place at the completion of all the earthwork activities, the proposed planting has not been added to the erosion and sediment control plan as requested.

Details (D-2):

1. A note has been added to the catch basin details stating that weep holes shall be provided to prevent standing water in the sumps of the drainage structures.
2. Note #18 of the Retaining Wall Detail states, "The modular block retaining wall manufacturer to supply a structural report and construction details of each wall signed and sealed by an engineer licensed in the state of New York."

Details (D-4):

1. The water service line trench detail has been revised to include a note that states that any water line located within the road right-of-way shall be backfilled with NYSDOT Item No. 304.12.
2. The tapping sleeve detail has been revised to note the size of the existing main as 12" and the proposed main to the site as 8" to match the project plans.

SWPPP:

1. SWPPP comments are responded to below.

**Memorandum from John Russo, PE of Lanc & Tully, P.C., City of Beacon Engineering Consultant, dated April 19, 2017:**

Preliminary Plat:

1. The plat has been revised to show the most recent survey located location of the existing utilities in Beekman Street.

Grading and Drainage Plan (4 of 13):

1. The pipe connection between OS DS and SDI-1 is shown on the revised plan.
2. The plan has been revised clearly shown the existing drainage pipes to remain and the new drainage structures and piping required to convey the stormwater runoff from the southwest corner of City Hall, through the subject property to the existing system in Beekman Street.
3. The roof drain connections for each of the building are shown on the revised plan. The roof leader connections correspond to the watersheds shown on the post development drainage maps in the project SWPPP.

Details (13 of 13):

1. Cross section A-A of the Dry Swale detail has been revised to show the depth of the engineered soil media to be 1'-8".

SWPPP:

1. The stormwater practices shown on the project plans and described in the SWPPP have been designed in accordance with the NYSDEC Stormwater Management Design Manual (Design Manual). The dry swale, with significant detention systems ahead of the swale, has been designed and sized as a flow through practice designed to temporarily detain the calculated water quality volume for 30 minutes in accordance with the Design Manual. The swale has been designed in accordance with all the requirements of Chapter 6 of the Design Manual, thus is an acceptable practice for water quality treatment for this application. Our office has been in contact with the City's Engineering Consultant as well as the NYSDEC on the specific questions on the use and applicability of the dry swale for stormwater treatment for the subject project. We're currently awaiting a response from the NYSDEC and will update the Board and its consultants upon a decision from the NYSDEC.
2. Per the detail, there is proposed to be 6" of gravel both below and above the 36" detention pipe. The wall thickness of the pipe is 3" thus adding an additional 6" into the cross section. As shown the gravel bed is 54" and that includes 6" of gravel below, the 36" pipe (which has a 42"

O.D. dimension) and 6" of gravel above. This is accounted for in the HydroCAD analysis shown in the project SWPPP.

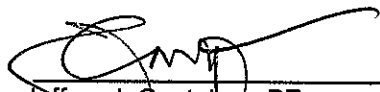
3. The dry swale outlet detail and HydroCAD model show two (2) 3' long weirs at elevation 107.0. The rim or top of the outlet structure is proposed to be elevation 107.5 and will include bar grating spanning the top of the structure. The top of the structure is not modeled in HydroCAD as the water elevation never reaches elevation 107.5 for any of the design storms up to the 100-year, 24-hour design storm.
4. As shown on the post development drainage map, specifically in subcatchment 1.1, a portion of the exiting sidewalk and road along Wolcott Ave is proposed to be collected and treated in the onsite stormwater treatment practices. Although a portion of the existing impervious area will be treated on the site, it should be noted that the impervious area in post development subcatchment 1.3 will be reviewed and revised as necessary with our future submission.
5. Maintenance of the onsite stormwater practices, including drainage structures, piping, subsurface detention systems and the dry swale is described in the project SWPPP and shown in tabular form on the project plans.

We respectfully request this project be placed on the May 9, 2017 Planning Board meeting for review of the provided information. Should you have any questions or comments regarding the above information, please do not hesitate to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

  
Jeffrey J. Contelmo, PE  
Senior Principal Engineer

JJC/jll

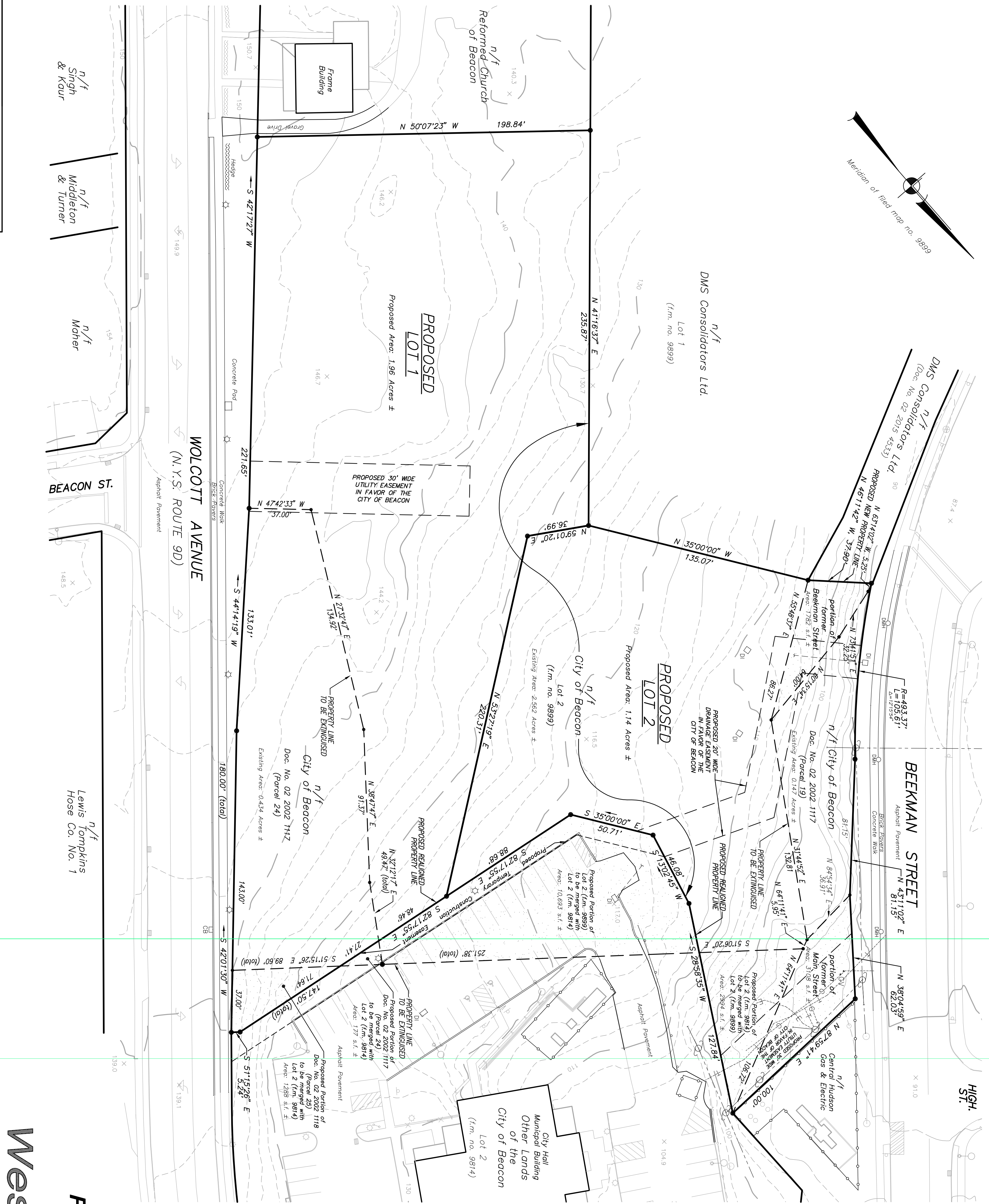
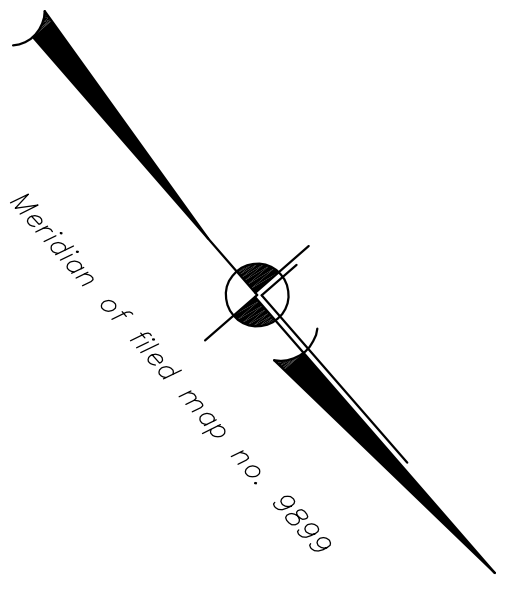
Enclosures

cc: Ken Kearney  
Sean Kearney  
AJ Coppola, R.A.

Insite File No. 16226.100



LEGEND	
	Concrete Curb
	Chain Link Fence
	Manhole (Unknown Type)
	Drain Manhole
	Catch Basin
	Drain Inlet
	Lightpole
	Utility Pole (with Overhead Wires)
	Gas Valve
	Sign
	Handicap Parking Space
	Underground Electric
	Underground Gas Line
	Underground Telecomm



**City of Beacon Endorsement**

Approved by Resolution of the Planning Board of the City of Beacon, New York, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, subject to all requirements of conditions of said Resolution. Any change, amend, modification or revision of this plat, as Approved, shall void this approval.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_

Chairman \_\_\_\_\_

Secretary \_\_\_\_\_

**Dutchess County Health Department**

This plan does not constitute a re-survey as defined by Article 16, Title 16 of Section 1116 of the Public Health Law of the State of New York, and Article 16 of the Dutchess County Sanitary Code.

Permission is hereby granted for the filing of this map with the Clerk of Dutchess County. Approval for arrangements for water supply and/or sewage disposal is neither sought nor granted.

Date: \_\_\_\_\_

Authorized Representative of the Commissioner of Health \_\_\_\_\_

**Consent to File**

The undersigned applicant for the property and the undersigned owner of the property shown herein certify that they are familiar with this map and its notes and its contents as stated herein including all conditions of approval. The applicant and the owner hereby consent to the filing of this map with the Clerk of Dutchess County and consent to the filing of this map in the Office of the Dutchess County Clerk.

Owner \_\_\_\_\_

Date \_\_\_\_\_

Applicant \_\_\_\_\_

Date \_\_\_\_\_

Professional Engineer \_\_\_\_\_

Professional Land Surveyor \_\_\_\_\_

**Engineering and Land Surveying by Insite Engineering, Surveying & Landscape Architecture, P.C.**

Professional Engineer \_\_\_\_\_

Professional Land Surveyor \_\_\_\_\_

Land Surveyor's Certification \_\_\_\_\_

I hereby certify that the survey shown herein was completed on November 17, 2016, that this map was prepared in accordance with the existing Code of Practice for Land Surveys as adopted by the New York State Association of Professional Land Surveyors, Inc.

NICHOLAS G. CHAPUIS, L.S.  
New York State License No. 049330

**Reformed Church of Beacon**

**DMS Consolidators Ltd.**

**PROPOSED LOT 1**  
Proposed Area: 1.96 Acres ±

**PROPOSED LOT 2**  
Proposed Area: 1.14 Acres ±

**BECKMAN STREET**

**WOLCOTT AVENUE (N.Y.S. ROUTE 9D)**

**BEACON ST.**

**High St.**

**City of Beacon**

**City Hall Municipal Building Other Lands of the City of Beacon**

**Lewis Tompkins Hose Co. No. 1**

**n/f Singh & Kaur**

**n/f Middleton & Turner**

**n/f Mohr**

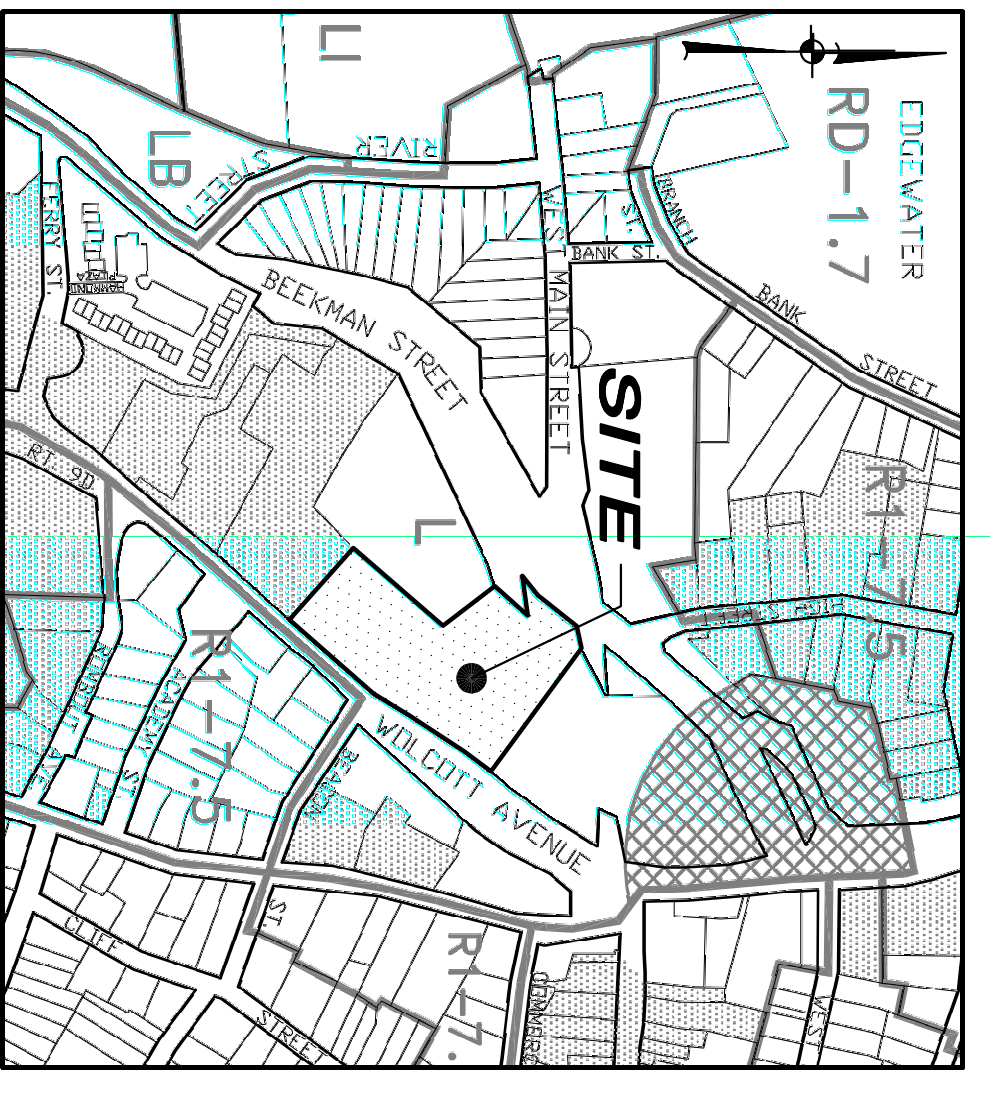
Prepared by:

**INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.**

3 Carroll Place • Central, New York, 10512  
Phone (845) 225-9690 • Fax (845) 225-9717  
www.insite-eng.com

GRAPHIC SCALE  
1 IN. = 30 FT.

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**West End Lots**

**Preliminary Plat**

Prepared for

**City of Beacon**

**Dutchess County, New York**

Situate in the

**City of Beacon**

**Lot 1**  
1.96 Acres ±

**Lot 2**  
1.14 Acres ±

**Total Parcel Area:**  
3.10 Acres ± (after Proposed Realignment)

**EXISTING AREA:**  
3.14 Acres ± (combined existing parcel total) \*\*

**PROPOSED AREAS:**  
Proposed Lot 1: 1.96 Acres ±  
Proposed Lot 2: 1.14 Acres ±  
Total Parcel Area: 3.10 Acres ±

\*\* The existing parcel is comprised of the following three parcels:  
1. Lot 2 of filed map no. 9899;  
2. Document #02 2002 1117, Parcel 19; and  
3. Document #02 2002 1117, Parcel 24

**Dead References:**  
1. General City of Beacon Subject Parcels: 19 & 24  
2. Document #02 2002 1117, recorded February 1, 2002.  
3. General City of Beacon Subject Parcels: portion of Parcel 25

**Applicant:**  
Keeney Realty & Development Group  
Boulevard  
Beacon, NY 10505

**General Notes:**  
1. Final Subdivision Plat prepared for Beacon Ridge Associates, Inc. filed June 7, 1994 as map no. 9899.  
2. Subject Lot: Part of Parcel W prepared for Beacon Ridge Associates, Inc. filed December 6, 1993 as map no. 9814.  
3. Document #02 2002 1117, recorded February 1, 2002.

Unauthorized alteration or addition to this survey is a violation of Section 1209, subdivision 2 of the New York State Education Law.

According to New York State Association of Professional Land Surveyors policy adopted January 23, 1993, the alteration of survey maps by anyone other than the original preparer is misleading, confusing and not in the general welfare and benefit of the public. Licensed Land Surveyors shall not alter survey maps, survey plans, or survey plats prepared by others.

16226.200  
beacon\_pp-1.dwg



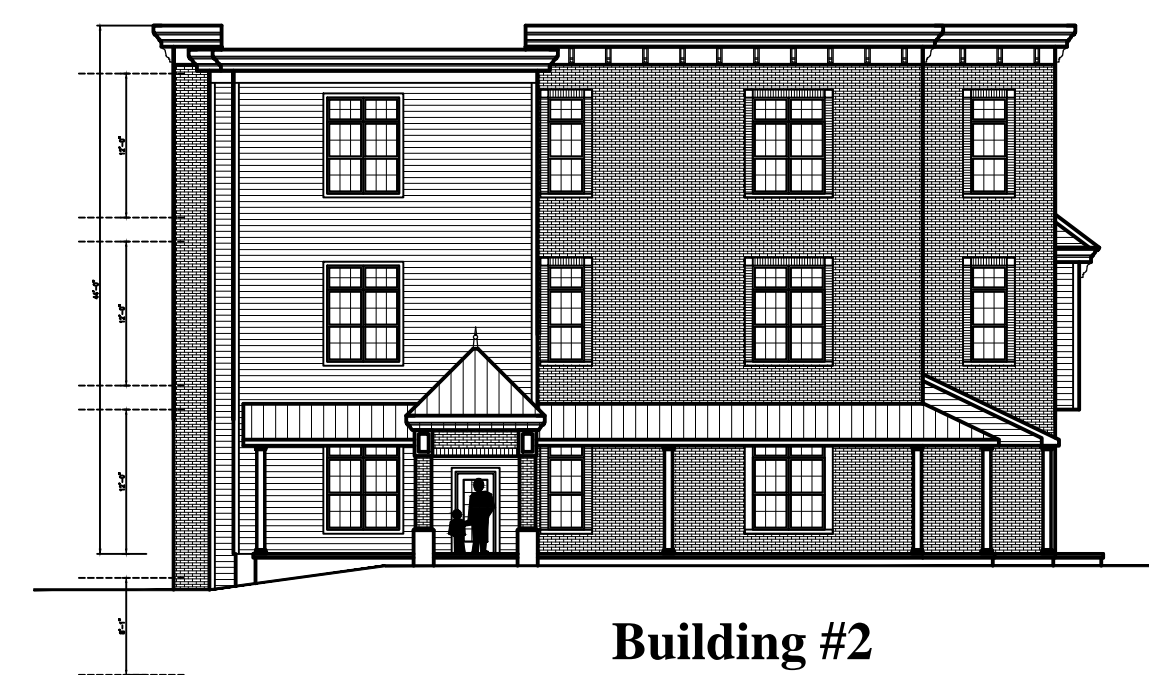
Building #1

**1 Front Elevation (Wolcott Entrance)**  
A1 Scale: 1/16" = 1'-0"

Building #2



Building #1



Building #2

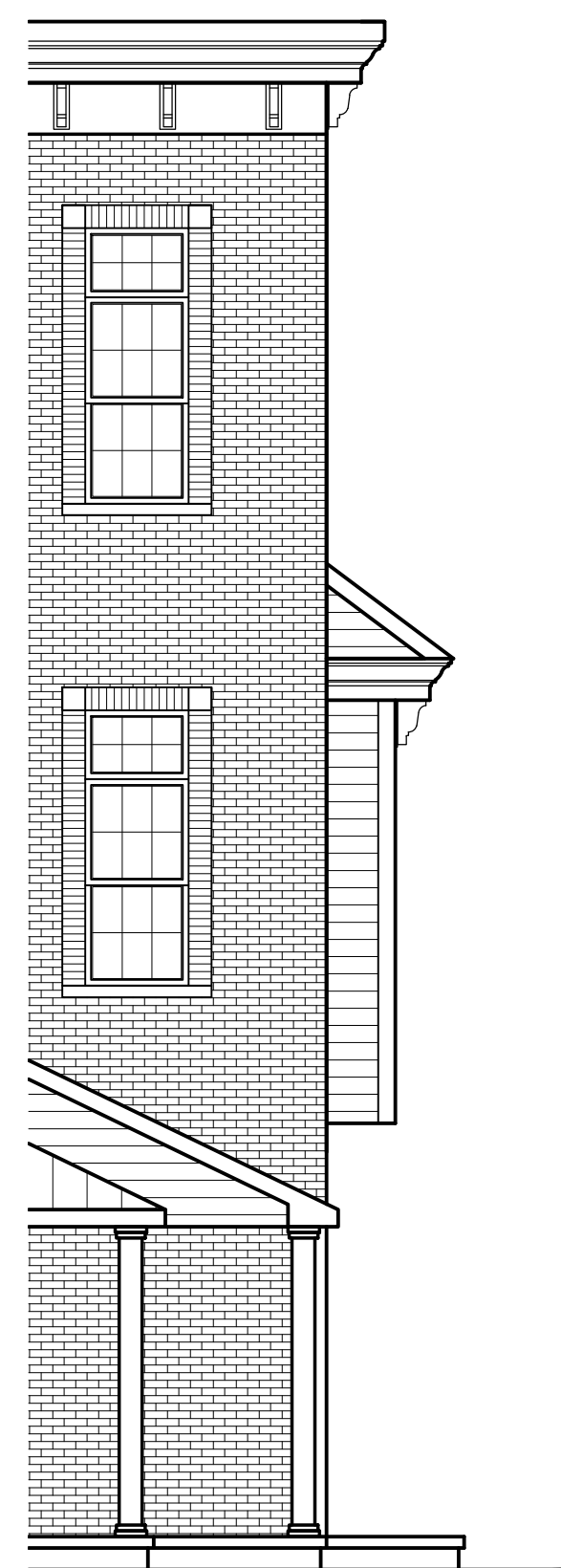
**2 Driveway Elevations**  
A1 Scale: 1/16" = 1'-0"



**3 Building #2 - North Elevation**  
A1 Scale: 1/16" = 1'-0"



Front



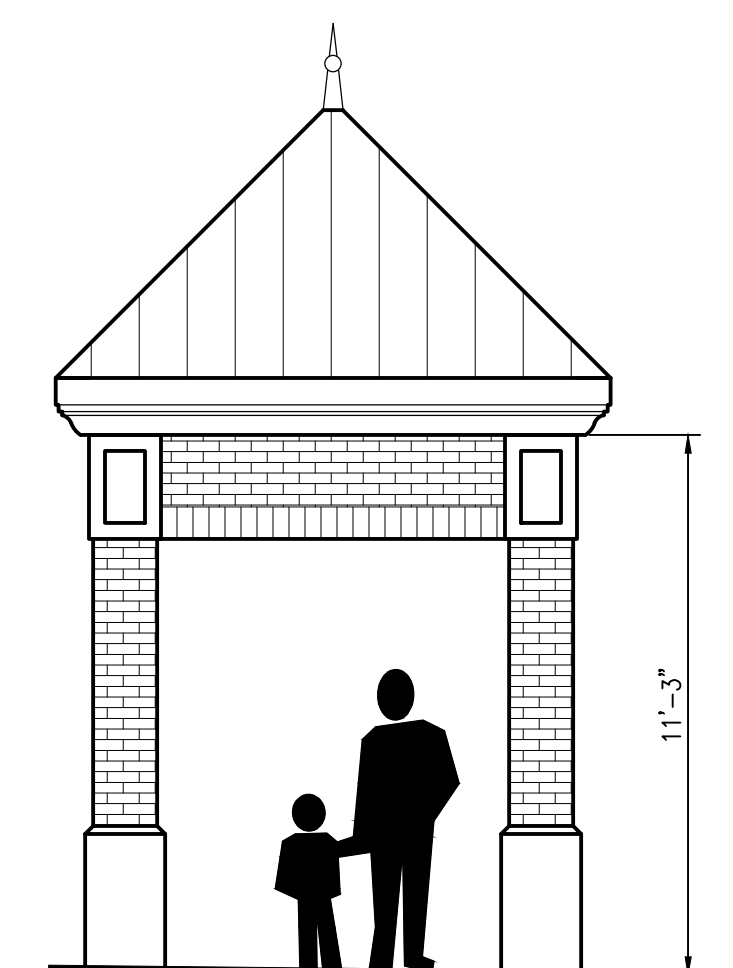
Side

**4 Projection Bay Elevation**  
A1 Scale: 1/4" = 1'-0"

**Exterior Finishes;**

- Brick: Watsontown Delaware Type 2 Modular
- Siding: James Hardie Fiber Cement, Slate Gray
- Siding Trim Boards: Light Gray
- Columns: Fiberglass, Painted Light Gray
- Cornice, Trims: Painted Light Gray
- Cornice Brackets: Painted Dark Gray
- Aluminum Roofing: Dark Gray
- Doors: Painted Burgundy
- Windows: Aluminum, Baked Enamel, Dark Bronze
- Prefabricated Aluminum Railings, Dark Bronze

West End Lofts, Beacon, NY - Unit Breakdown						
Building #	1 Br Apartment	1 Br Apartment	1 Br Apartment	2 Br Apartment	2 Br Apartment	Totals
	743 s.f.	741 s.f.	768 s.f.	969 s.f.	1080 s.f.	
1	0	14	0	14	0	28
2	3	28	0	14	0	45
3	0	0	11	0	14	25
<b>TOTALS</b>						
# of Units	3	42	11	28	14	98
Total Area	2229	31122	8448	27132	15120	84,051



**5 Portico Elevation**  
A1 Scale: 1/4" = 1'-0"



LICENSE NUMBER: 018849

PROPOSED MULTIFAMILY DWELLING FOR

**West End Lofts**

City of Beacon, NY

**Buildings #1 and #2 Elevations**

REVISIONS

DATE

4/24/17

PROJECT NUMBER

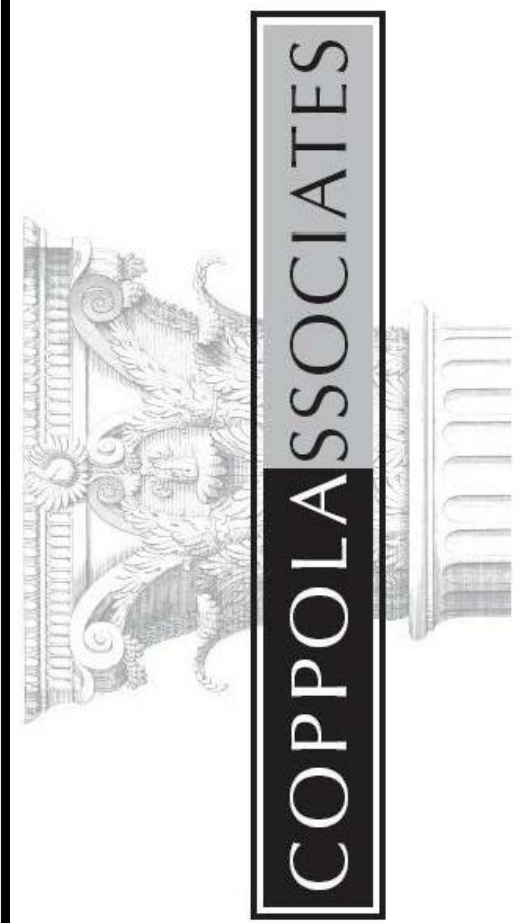
16-01

SHEET NUMBER

**A1**

**Exterior Finishes;**

- **Brick:** Watstown Delaware Type 2 Modular
- **Siding:** James Hardie Fiber Cement, Slate Gray
- **Siding Trim Boards:** Light Gray
- **Columns:** Fiberglass, Painted Light Gray
- **Cornice, Trims:** Painted Light Gray
- **Cornice Brackets:** Painted Dark Gray
- **Aluminum Roofing:** Dark Gray
- **Doors:** Painted Burgundy
- **Windows:** Aluminum, Baked Enamel, Dark Bronze
- **Prefabricated Aluminum Railings,** Dark Bronze



*Design, Architecture & Planning*  
 6 Old North Plank Road  
 Suite 101  
 Newburgh, NY 12550  
 TEL: 845-561-3559  
 FAX: 845-561-2051  
 ajcoppola@coppola-associates.com

*ajc*  
 LICENSE NUMBER: 018849

PROPOSED MULTIFAMILY DWELLING FOR

**West End Lofts**

City of Beacon, NY

**Building #3 Elevations**

REVISIONS

DATE

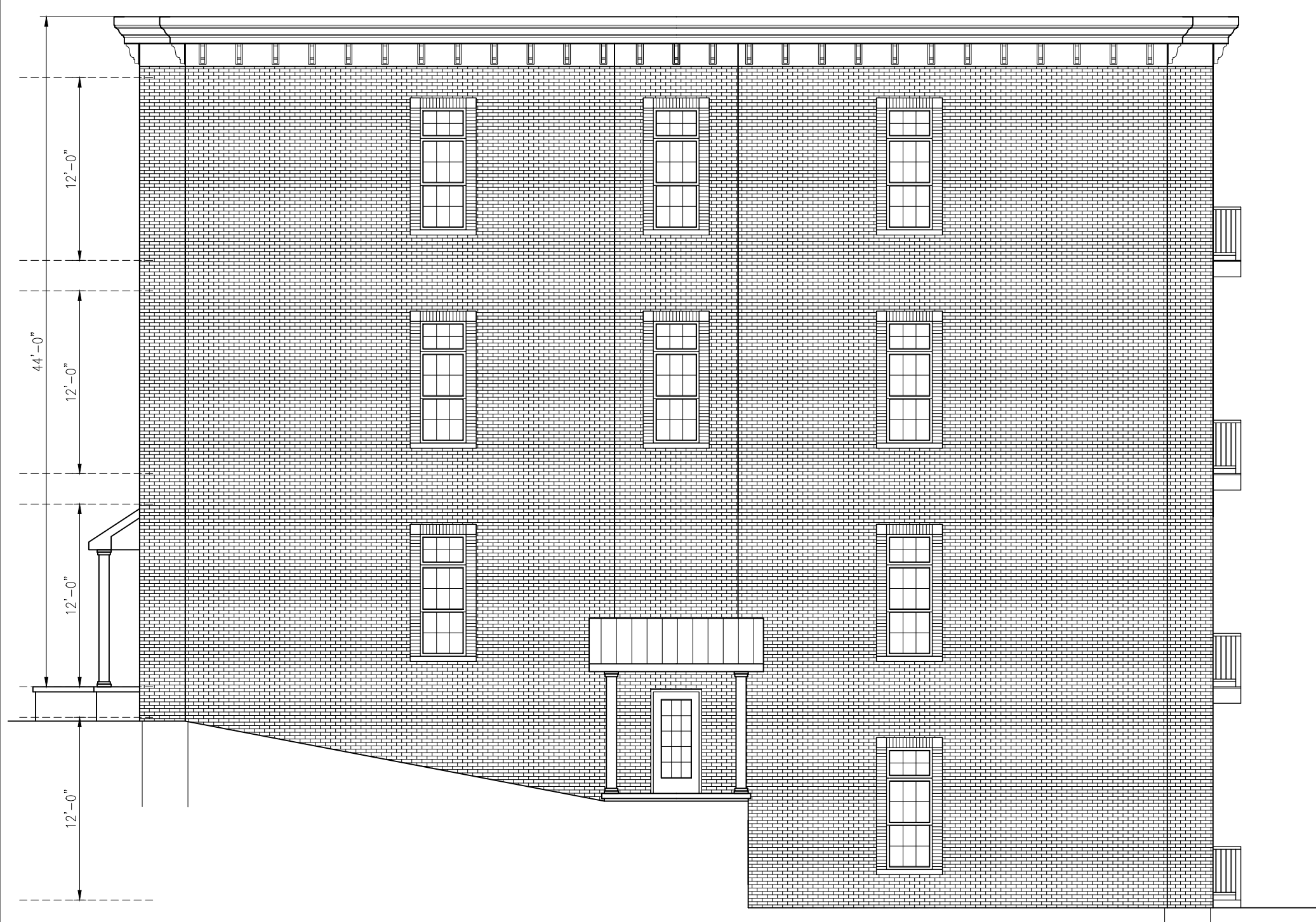
4/24/17

PROJECT NUMBER

16-01

SHEET NUMBER

**A2**



**1 Typical Side Elevation**  
 A2 Scale: 1/8" = 1'-0"



**2 West (Rear) Elevation**  
 A2 Scale: 1/8" = 1'-0"



**3 East (Front) Elevation**  
 A2 Scale: 1/8" = 1'-0"



## **LWRP CONSISTENCY JUSTIFICATION**

**West End Lofts  
Wolcott Avenue, City of Beacon  
Tax Map #5954-26-688931**

**April 25, 2017**

The City of Beacon adopted the Local Waterfront Revitalization Program (LWRP) in 1991 to promote economic development and revitalization of the City's local waterfront revitalization area while assuring the protection and beneficial use of coastal resources. The program was amended and adopted in 2011. As stated within the LWRP, one of the policies reviewed is to protect, restore and enhance natural and manmade resources which are not identified being of state-wide significance, but which contribute to the scenic quality of the coastal area. One view specifically mentioned is the Beacon Street & NYS Route 9D (Wolcott Avenue) view.

The West End Lofts is a two-lot subdivision that fronts on Wolcott Avenue and Beekman Street adjacent to City Hall. The project proposes the construction of three 3½ story residential buildings, parking lots, utility connections, stormwater management facilities, lighting and landscaping. Due to the proximity of the project to the Metro North Beacon Train Station and Main Street, pedestrian sidewalks and connections through the site have been provided. The vehicular entrance is located on Wolcott Street across from Beacon Street.

During the years prior to 1991, buildings stood, and local streets wove, throughout the area known as the West End Lofts Project Area ("project area"). The City of Beacon went through an urban development era in the years leading to the present. During this time, the buildings were demolished and NYS Route 9D and Beekman Street were realigned to their current locations. The project area along Wolcott Avenue was raised in elevation and left vacant. The side by side aerial views of the project area (see attached Figures A and B) during the years of 2014 and 1970 and 1990 which begin to tell the story of the project area's vegetative cover. Deciduous trees and shrubbery have since grown in blocking the views from Beacon Street to the Hudson River. Currently, while the vegetation is leafless, glimpses of the river can be seen from Beacon Street looking through the project area. When the vegetation leaf's out, views are virtually nonexistent from the same location.

The view from Beacon Street looking northwest toward the Hudson River is one such view that the West End Lofts will help to maintain through the proposed site layout. This was achieved by aligning the proposed entrance drive with Beacon Street, thereby reclaiming a view through the opening between the buildings fronting on Wolcott Avenue. The attached Figure C provides a section that runs from Beacon Street to the Hudson River illustrates the proposed conditions after site improvement have been completed of views to the Hudson River both for pedestrians and vehicular traffic. Figure D attached also illustrates how the proposed entrance to the project area is located directly across from Beacon Street thus allowing for a greater potential for views to the river than previously existed. The design of the placement of trees accordingly to not impede the views shown on the attached plan. As the section and plan provided show, views to the Hudson River from Beacon Street shall be improved upon due to the construction of the West End Lofts thus supporting the policy of the LWRP.



**2014**



**1970**

Aerial Access is provided by Dutchess County, NY.

WOLCOTT AVENUE/BEACON STREET INTERSECTION

**FIGURE A**



**2014**

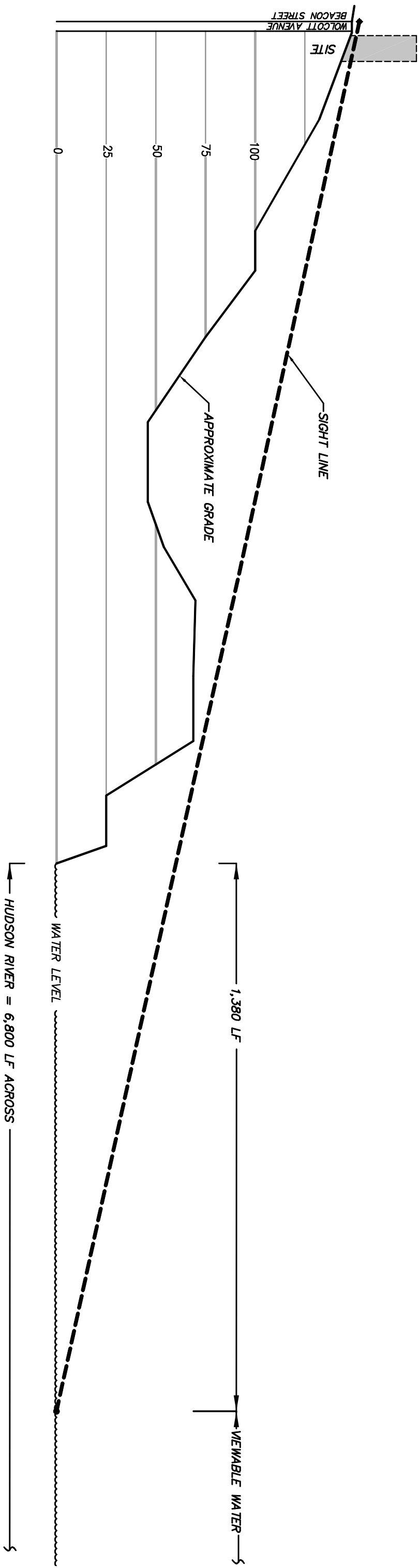


**1990**

Aerial Access is provided by Dutchess County, NY.

**FIGURE B**

WOLCOTT AVENUE/BEACON STREET INTERSECTION



SCALE: 1" = 250' HORIZ.  
 1" = 50' VERT.

PROJECT:

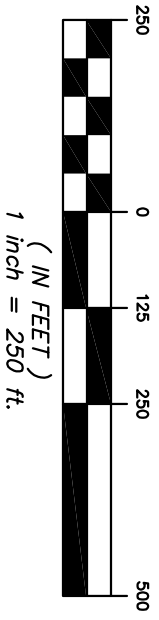
WEST END LOFTS  
 WOLCOTT AVENUE, BEACON, NEW YORK 12508

PREPARED BY:

DRAWING:  
 VIEWSHED SECTION LOOKING NORTHWEST  
 FROM BEACON STREET TO HUDSON RIVER

**INSITE**  
 ENGINEERING, SURVEYING &  
 LANDSCAPE ARCHITECTURE, P.C.  
 3 Garrett Place • Carmel, New York 10512  
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GRAPHIC SCALE



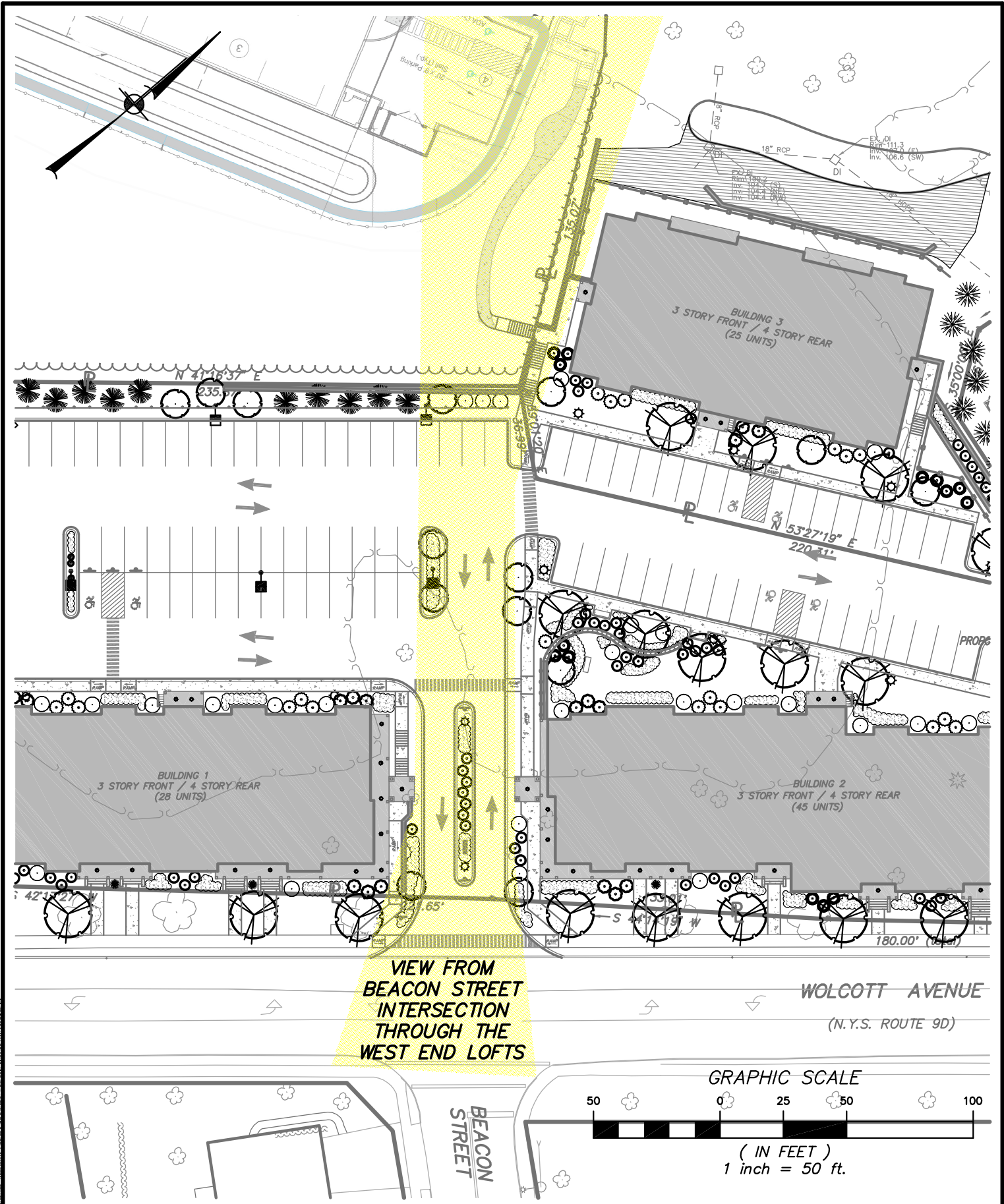
DATE: 4-25-17

SCALE: AS SHOWN

PROJECT NO.: 16226.100

FIGURE:

C



PROJECT: **WEST END LOFTS**  
WOLCOTT AVENUE, BEACON, NEW YORK 12508

DRAWING: **VIEWSHED PLAN**

PREPARED BY: **INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place • Carmel, New York 10512  
Phone (845) 225-9690 • Fax (845) 225-9717  
www.insite-eng.com

DATE: 4-25-17

SCALE: 1" = 50'

PROJECT NO.: 16226.100

FIGURE: D



# NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Fish and Wildlife, New York Natural Heritage Program

625 Broadway, Fifth Floor, Albany, NY 12233-4757

P: (518) 402-8935 | F: (518) 402-8925

www.dec.ny.gov

April 19, 2017

Jamie LoGiudice, RLA  
Insite Engineering, Surveying & Landscape Architecture, P.C.  
3 Garrett Place  
Carmel, NY 10512

Re: West End Lofts  
County: Dutchess    Town/City: City Of Beacon

Dear Ms. LoGiudice, RLA:

In response to your recent request, we have reviewed the New York Natural Heritage Program database with respect to the above project.

Enclosed is a report of rare or state-listed animals and plants, and significant natural communities that our database indicates occur in the vicinity of the project site.

For most sites, comprehensive field surveys have not been conducted; the enclosed report only includes records from our database. We cannot provide a definitive statement as to the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

Our database is continually growing as records are added and updated. If this proposed project is still under development one year from now, we recommend that you contact us again so that we may update this response with the most current information.

The presence of the plants and animals identified in the enclosed report may result in this project requiring additional review or permit conditions. For further guidance, and for information regarding other permits that may be required under state law for regulated areas or activities (e.g., regulated wetlands), please contact the NYS DEC Region 3 Office, Division of Environmental Permits, at [dep.r3@dec.ny.gov](mailto:dep.r3@dec.ny.gov), (845) 256-3054.

Sincerely,



Nicholas Conrad  
Information Resources Coordinator  
New York Natural Heritage Program



**The following state-listed animals have been documented in the vicinity of the project site.**

The following list includes animals that are listed by NYS as Endangered, Threatened, or Special Concern; and/or that are federally listed or are candidates for federal listing.

**For information about any permit considerations for the project, please contact the Permits staff at the NYSDEC Region 3 Office at [dep.r3@dec.ny.gov](mailto:dep.r3@dec.ny.gov), (845) 256-3054. For information about potential impacts of the project on these species, and how to avoid, minimize, or mitigate any impacts, contact: for bald eagle -- Region 3 Wildlife staff, [Wildlife.R3@dec.ny.gov](mailto:Wildlife.R3@dec.ny.gov), (845) 256-3098; for sturgeon -- Hudson River Fisheries Unit, [HudsonRiverFish@dec.ny.gov](mailto:HudsonRiverFish@dec.ny.gov), (845) 256-3071.**

**The following species have been documented in the Hudson River, which is about .3 mile from the project site.**

<i>COMMON NAME</i>	<i>SCIENTIFIC NAME</i>	<i>NY STATE LISTING</i>	<i>FEDERAL LISTING</i>	
<b>Shortnose Sturgeon</b>	<i>Acipenser brevirostrum</i>	Endangered	Endangered	1091
<b>Atlantic Sturgeon</b>	<i>Acipenser oxyrinchus</i>	No Open Season	Endangered	11464

**The following species have been documented within 2.5 miles of the project site. Individual animals may travel 2.5 miles from documented locations.**

**The main impact of concern for bats is the removal of potential roost trees.**

<i>COMMON NAME</i>	<i>SCIENTIFIC NAME</i>	<i>NY STATE LISTING</i>	<i>FEDERAL LISTING</i>	
<b>Indiana Bat</b> <i>Maternity colony roost</i>	<i>Myotis sodalis</i>	Endangered	Endangered	11287

This report only includes records from the NY Natural Heritage database. For most sites, comprehensive field surveys have not been conducted, and we cannot provide a definitive statement as to the presence or absence of all rare or state-listed species. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

If any rare plants or animals are documented during site visits, we request that information on the observations be provided to the New York Natural Heritage Program so that we may update our database.

Information about many of the listed animals in New York, including habitat, biology, identification, conservation, and management, are available online in Natural Heritage's Conservation Guides at [www.guides.nynhp.org](http://www.guides.nynhp.org), and from NYSDEC at [www.dec.ny.gov/animals/7494.html](http://www.dec.ny.gov/animals/7494.html).



**WATER & WASTEWATER ENGINEERING REPORT**

**For**

**West End Lofts  
City of Beacon, New York**

**April 25, 2017**

Prepared By

Insite Engineering, Surveying & Landscape Architecture, P.C.  
3 Garrett Place  
Carmel, New York 10512

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**APPENDICIES**

Appendix A Water Headloss Calculations

**1.0 INTRODUCTION**

The West End Lofts project is located on a parcel between Beekman Street and Wolcott Avenue, immediately south of the Beacon City Hall property. The subject property is located in the City’s Linkage District and is identified as Tax Map No. 5954-26-688931. The applicant, Kearney Realty & Development Group wishes to construct three buildings containing 98 apartments. The project will also require subdivision approval to arrange the final property lines with the City, and place Buildings 1 and 2 on one lot, and Building 3 on a second lot. All buildings are proposed to be three (3) stories from the front and four (4) stories from the rear.

The building breakdown of the proposed development of the site consists of the following:

1. Building #1, 28 Total Units, (14, 1-bedroom / 14, 2-bedroom).
2. Building #2, 45 Total Units, (31, 1-bedroom / 14, 2-bedroom).
3. Building #3, 25 Total Units, (11, 1-bedroom / 14, 2-bedroom).

The project is located in the City of Beacon Water and Sewer area. Water will be provided by a proposed 8” water main connected to the existing 12” water main in Wolcott Avenue. Sewer will be provided with 6” service connections to the existing 8” sewer in Beekman Street.

**2.0 PROJECT DESIGN FLOWS AND ANTICIPATED FLOWS**

Design maximum daily wastewater flows for the proposed project, West End Lofts, are based on the hydraulic loading rates given in the New York State Department of Environmental Conservation (NYSDEC) publication **Design Standards for Intermediate Sized Wastewater Treatment Works – 2014** (DEC 14). The design maximum daily water use is a conservative design flow on which the water infrastructure will be designed. This value does not represent the average daily flow which is expected to be substantially less.

The following table calculates the hydraulic loading rates and the design flow rates (gallons per day or gpd) for the proposed project.

**Table 1: West End Lofts Project Design Maximum Daily Flow Rate**

Proposed Use	Hydraulic Loading Rate	Design Maximum Daily Flow (gpd)
56 – One Bedroom Apartments	110 gpd/dwelling	6,160
42 –Two Bedroom Apartments	220 gpd/dwelling	9,240
<b>Total</b>		<b>15,400</b>

The anticipated design average daily flows for the project are expected to be significantly less than the design maximum daily design flow. The design maximum daily flows represent conservative flows to ensure that the proposed sewer infrastructure is designed with an ample factor of safety. The anticipated average daily flows are based on occupancy rates and measured data for water use. Statistical data (obtained from **Rutgers University, Center for Urban Policy Research, Residential Demographic Multipliers**, June 2006) for the average number of occupants in rental units (based on number of bedrooms) was used to calculate the expected number of residents anticipated for the project as shown in the table below. Data from the American Water Works Association (AWWA) shows that the average in home water use is 69 gpd per person. This number is reduced to 45 gpd per person when water saving fixtures are used, which is the case for this project.

**Table 2: Design Average Daily Flow**

Proposed Use	Occupancy Rate	Total Anticipated Residents	Water Use Per Resident (gpd)	Water Use (gpd)
56 – One Bedroom Apartments	1.6 people/unit	90	45	4,050
42 – Two Bedroom Apartments	2.3 people/unit	97	45	4,365
<b>Total Anticipated Water Use (gpd)</b>				<b>8,415</b>

As demonstrated above, through the use of water saving fixtures as required by current building code, a design maximum flow of 15,400 gpd is proposed for the project, while the design average daily flows are anticipated to be substantially less 8,415 gpd.

The peak hourly flow is calculated using a peaking factor that is based on the population of the subject project. A peaking factor of four will be used for the project based on Figure 1 from Recommended Standards for Wastewater Facilities.

#### Peak Hourly Domestic Flow

$$15,400 \text{ gpd} \div (24 \text{ hr/day}) \div (60 \text{ min/hr}) = 10.7 \text{ gallons per minute (gpm)}$$

$$\text{Peak Hourly Flow} = 10.7 \text{ gpm} \times 4 = 42.8 \text{ gpm}$$

Although the anticipated flows (design average daily flow) for the project are lower than the design maximum daily flows, the design maximum daily flows are used for the design of the system. This provides an additional factor of safety in the proposed design.

The requirements for fire sprinkler systems were preliminarily established for the project. The three residential buildings are required to have fire sprinklers. The fire sprinkler designer has provided that the sprinkler demand for the residential buildings is 300 gpm at 50 psi was provided by the building design team for this report. This results in a peak fire sprinkler and domestic combined flow of;

#### Peak Fire Sprinkler and Domestic Combined Flow

$$42.8 \text{ gpm} + 300 \text{ gpm} = \mathbf{342.8 \text{ gpm} = 343 \text{ gpm}}$$

### **3.0 PROPOSED WATER CONNECTION TO THE CITY OF BEACON SYSTEM**

#### 3.1 System Characteristics

Based on review of existing system with the City of Beacon Water and Sewer Department there is an existing 12" main in Wolcott Ave that passes along the subject project's frontage.

#### 3.2 Proposed Water Service Connection

The existing watermain which the project proposes to connect to is located in Wolcott Ave which bounds the project site to the east. As previously discussed, based on available mapping subsequent discussions with the City of Beacon Water and Sewer Department the existing watermain is 12-inch diameter pipe. An 8" ductile iron pipe (DIP) water main will connect to the existing 12" water main in Wolcott Ave (NYS Route 9D). The 8" water main will extend into the site to provide water to the three (3) proposed buildings. A 6" DIP service line will be provided for each building. This service line will be a combined fire and domestic service line for each of the residential buildings. As shown on the project plans it is proposed to provide the City of Beacon with an easement over the portion of the 8" water main extending into the site to the tee. The intent is that the City will own the water main extension into the project site within the easement area from which the private service lines will connect to each of the proposed buildings.

Two (2) centrally located fire hydrants are proposed throughout the proposed development. All hydrants will be manufactured by Mueller as required by the City.

Restrained joint connections will be provided at all pipe bends. Upon completion of the water service installation pressure testing, disinfection, and flushing will be performed in accordance with AWWA standards.

Recommended Standards for Water Works (RSWW) recommends that the normal working pressure not be below 35 psi, and both the RSWW and the American Water Works Association (AWWA) M 31 recommend that a minimum of 20 psi be maintained at all points in the water distribution system during fire flows.

Flow testing on the existing watermain in Wolcott Ave was performed and witnessed by the City on April 4, 2017. The hydrant at the corner of Wolcott Ave and Beacon St was flowed and the residual was measured at the next hydrant to the north, in front of the Fire Department Building, immediately across from City Hall. A static pressure of 84 psi was measured at the residual hydrant and during the flow test a residual pressure of 70 psi was witnessed with a flow of 1405 gpm.

### 3.2.1 Static Pressures

The static pressure at the first-floor elevation (FFE) will be calculated by comparing the approximate elevation of the tested hydrant to the elevation of the first floor of the building:

Static Pressure at Residual Hydrant (SPH)	= 84 psi
Elevation of Residual Pressure Hydrant	= 135' ±
First Floor Elevation of Highest Building (FFE):	= 142' ±
Static Head Change = Hydrant Elevation - FFE = 135 - 142 =	= -7' ±

$$\begin{aligned} \text{Static Pressure Change (SPC)} &= \text{Static Head Change} / 2.31 \text{ ft/psi} \\ \text{SPCB} &= -7' / 2.31 \text{ ft/psi} = -3 \text{ psi} \end{aligned}$$

$$\text{Static Pressure at FFE} = \text{SPH} + \text{SPCB} = 84 \text{ psi} + (-3 \text{ psi}) = 81 \text{ psi}$$

### 3.2.2 Residual Pressure – Peak Combined Flow

The equation below is taken from AWWA M17. The equation is used to calculate flow available at different pressures or differences in the residual pressure that would result from different flow rates. Here the equation is used to calculate the residual pressure at the observation hydrant for the peak combined flow, using the pressures and flow rates measured during the flow test. The proposed water service lines will be sized for the peak combined flow to 343 gpm (300 gpm sprinkler flow and 43 gpm domestic flow).

$$Q_R = Q_F * h_r^{0.54} / h_f^{0.54}$$

Where:

- $Q_R$  = peak combined flow (343 gpm)
- $Q_F$  = flow from hydrant during test (1405 gpm)
- $h_r$  = the difference in pressure between the static pressure measured at the observation hydrant and the residual pressure at the total combined flow
- $h_f$  = the difference between the static pressure and residual pressure measured at the observation hydrant during the flow test, (14 psi)

$$343 \text{ gpm} = 1405 \text{ gpm} * h_r^{0.54} / 14 \text{ psi}^{0.54}$$

$$h_r = 1 \text{ psi}$$

The results in a residual pressure of 83 psi at the residual pressure hydrant.

Next the frictional head loss must be calculated for the main from the tested hydrant to the service connection. As shown in the attached calculations in Appendix B head loss of 1 ft (1 psi) for the peak combined flow is calculated.

Next calculate the frictional loss for the water service line at the peak combined flow of 343 gpm. As shown in the attached calculations a head loss of 2 ft (1 psi) is calculated in the service line. This results in a calculated pressure of:

84 psi – loss in main – loss in service line, + Static Pressure Change

84 psi – 1 psi – 2 psi + (-1 psi) = 80 psi

Based on the calculated residual pressures at the observation hydrants used for the flow testing and the head loss calculations included in Appendix B there is adequate pressure and flow available in the existing watermains to meet the 35 psi minimum pressure per RSWW recommendations.

#### **4.0 PROPOSED WASTEWATER CONNECTION TO THE CITY OF BEACON SYSTEM**

Centralized sanitary sewer service for the West End Lofts will be provided via connection to the gravity sewer system located west of the project site adjacent to Beekman Street.

Onsite sewer service lines will collect wastewater flows from all three (3) buildings and connect to an existing sewer manhole on the east side of Beekman Street. Wastewater flow from each building will be conveyed by 6" PVC SDR 35 sewer service lines. The service connections will be installed with a minimum slope of ¼" per foot slope meeting the requirements of DEC14. All PVC pipe will contain rubber push on gaskets at pipe connections. Cleanouts will be provided on each sewer service connection just outside of each building. Upon installation of the sewer mains will be tested with low pressure air tests in conformance with ASTM F1417-92 and the sewer manholes shall be vacuum tested in conformance with ASTM 1244-02, per the notes on the project plans.

The site plan depicts the sanitary sewer system connections for the subject project including the locations of the existing sewer mains, manholes, and sewer services from a survey prepared at the time of the construction of Beacon City Hall. The elevations associated with the existing system will be verified prior to the final design of the connection to the existing sewer. The onsite sanitary sewer system will be designed in accordance with City of Beacon and Dutchess County Department of Health (DCDOH) requirements and is subject to their respective approvals.

It is understood that the City Sewer collection system down gradient of the proposed project flows to an existing pump station at the end of West Main Street, near the Metro North Train Station. In conversations with the Planning Board Engineer it is understood that the City will require their independent consulting engineer to assess the proposed flows from the subject project and the impact on the existing pump station with respect to capacity to the overall City system.



**Appendix A**

**Water Headloss Calculations**

**West End Lofts**

**Head Loss Calculations**

Head Loss in Water Main from Residual Pressure Hydrant to Service line.

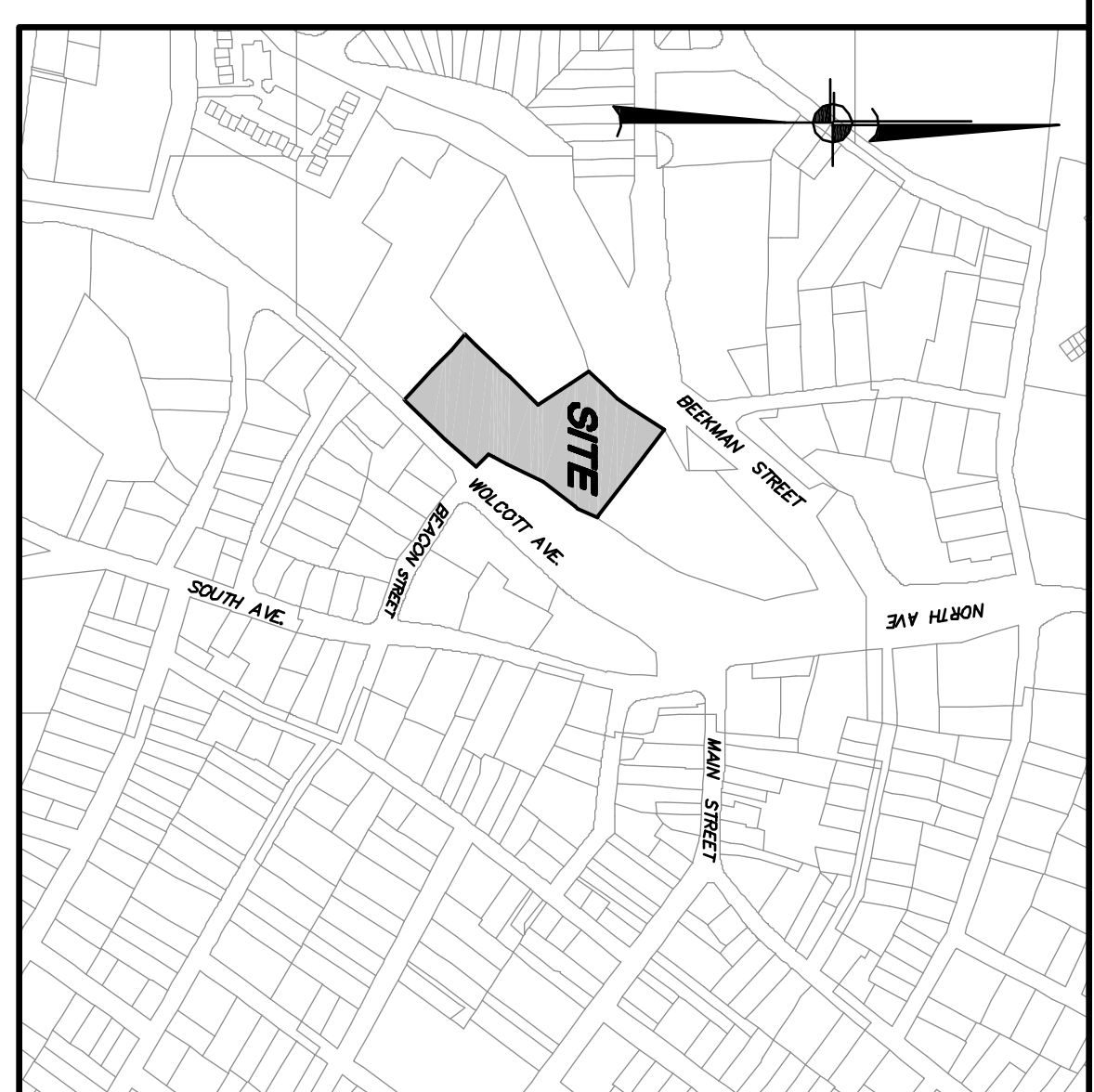
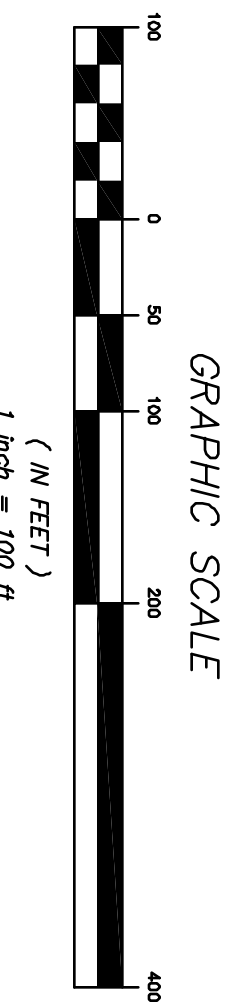
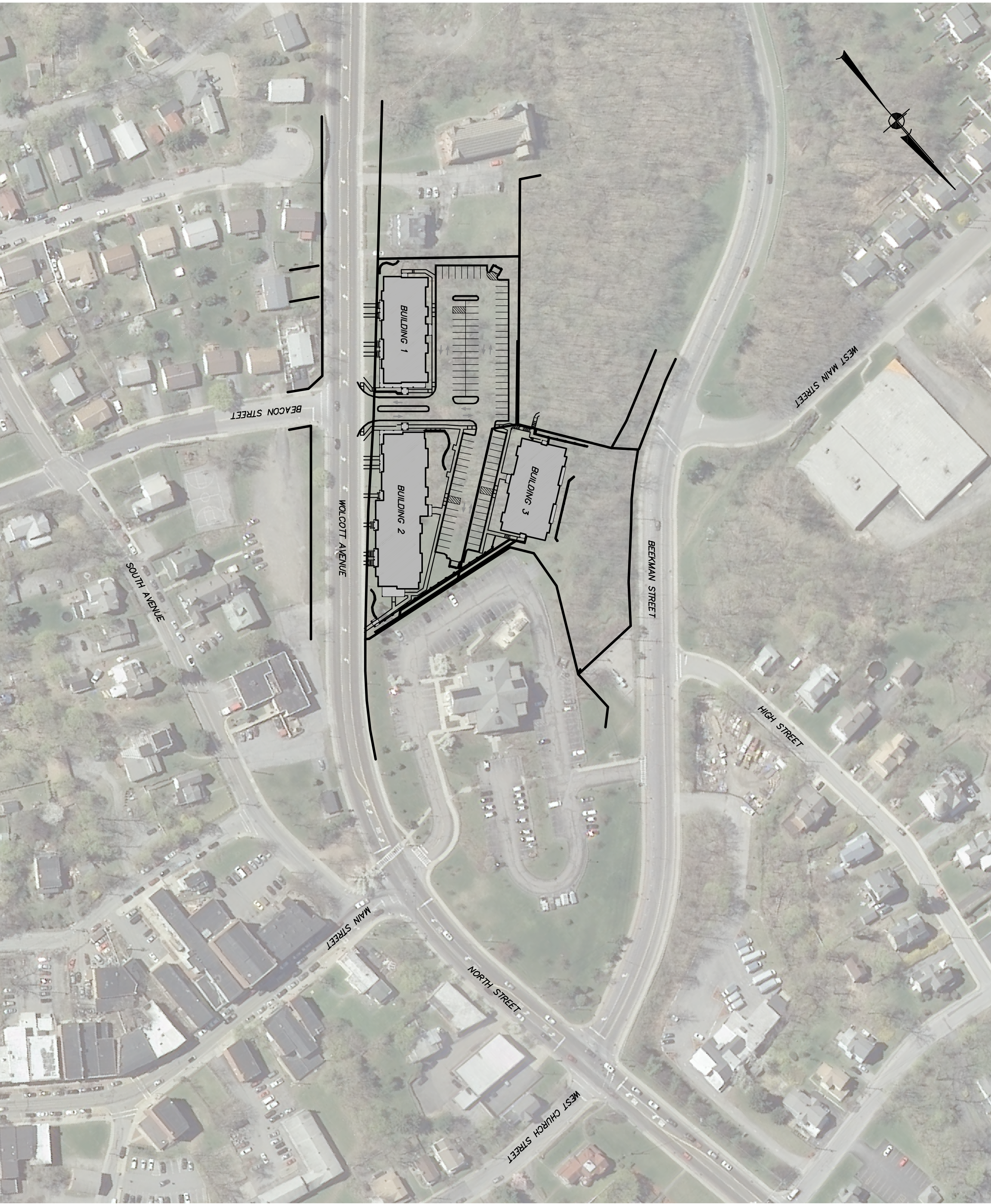
C	110	Roughness coefficient for ductile iron pipe
d	8 in	Diameter of water main
L	165 ft	Length of water main
Q	343 gpm	Flow Rate
V	2.2 ft/s	Velocity
L <sub>e</sub>	35 ft	Equivalent length to account for losses in valves and bends
L <sub>t</sub>	180 ft	Total Length = L + L <sub>e</sub>
HL	1 ft	$HL = \frac{10.44(L_t)(Q^{1.85})}{(C^{1.85})(d^{4.87})}$

Head Loss in Service Line

C	110	Roughness coefficient for ductile iron pipe
d	6 in	Diameter of water service line
L	130 ft	Length of water service line
Q	343 gpm	Flow Rate
V	3.9 ft/s	Velocity
L <sub>e</sub>	35 ft	Equivalent length to account for losses in valves and bends
L <sub>t</sub>	165 ft	Total Length = L + L <sub>e</sub>
HL	2 ft	$HL = \frac{10.44(L_t)(Q^{1.85})}{(C^{1.85})(d^{4.87})}$

# WEST END LOFTS

## WOLCOTT AVENUE CITY OF BEACON, NY



**LOCATION MAP**  
SCALE: 1" = 400'

**OWNER:**  
CITY OF BEACON  
34 CLAYTON BOULEVARD  
BEACON, NY 12508

**SITE DATA:**  
Zone: L (LINKAGE DISTRICT)  
Total Acreage: 3.10 AC  
Tax Map No.: 5524-26-688931

**APPLICANT:**  
KEARNEY REALTY & DEVELOPMENT GROUP  
34 CLAYTON BOULEVARD  
BALDWIN PLACE, NY 10505

SITE PLAN DRAWING LIST		
DRAWING NO.	DRAWING NAME	SHEET NO.
CS-1	COVER SHEET	1
EX-1	EXISTING CONDITIONS & REMOVALS PLAN	2
SP-1	LAYOUT & LANDSCAPE PLAN	3
SP-21	GRADING & DRAINAGE PLAN	4
SP-22	UTILITIES PLAN	5
SP-3	EROSION & SEDIMENT CONTROL PLAN	6
S-1	SECTIONS	7
LP-1	LIGHTING PLAN	8
D-1	DETAILS	9
D-2	DETAILS	10
D-3	DETAILS	11
D-4	DETAILS	12
D-5	DETAILS	13

NO.	DATE	REVISIONS PER CITY CONSULTANT COMMENTS	BY	CHKD
1	4-25-17			

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Beacon, NY 12508  
(845) 225-9890  
(845) 225-9177 fax  
www.insite-ny.com

**PROJECT:**  
WEST END LOFTS

**DRAWING:**  
WOLCOTT AVENUE, BEACON, NEW YORK 12508  
COVER SHEET

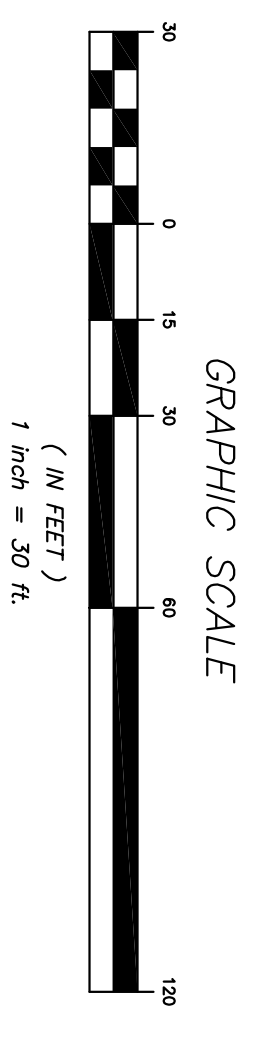
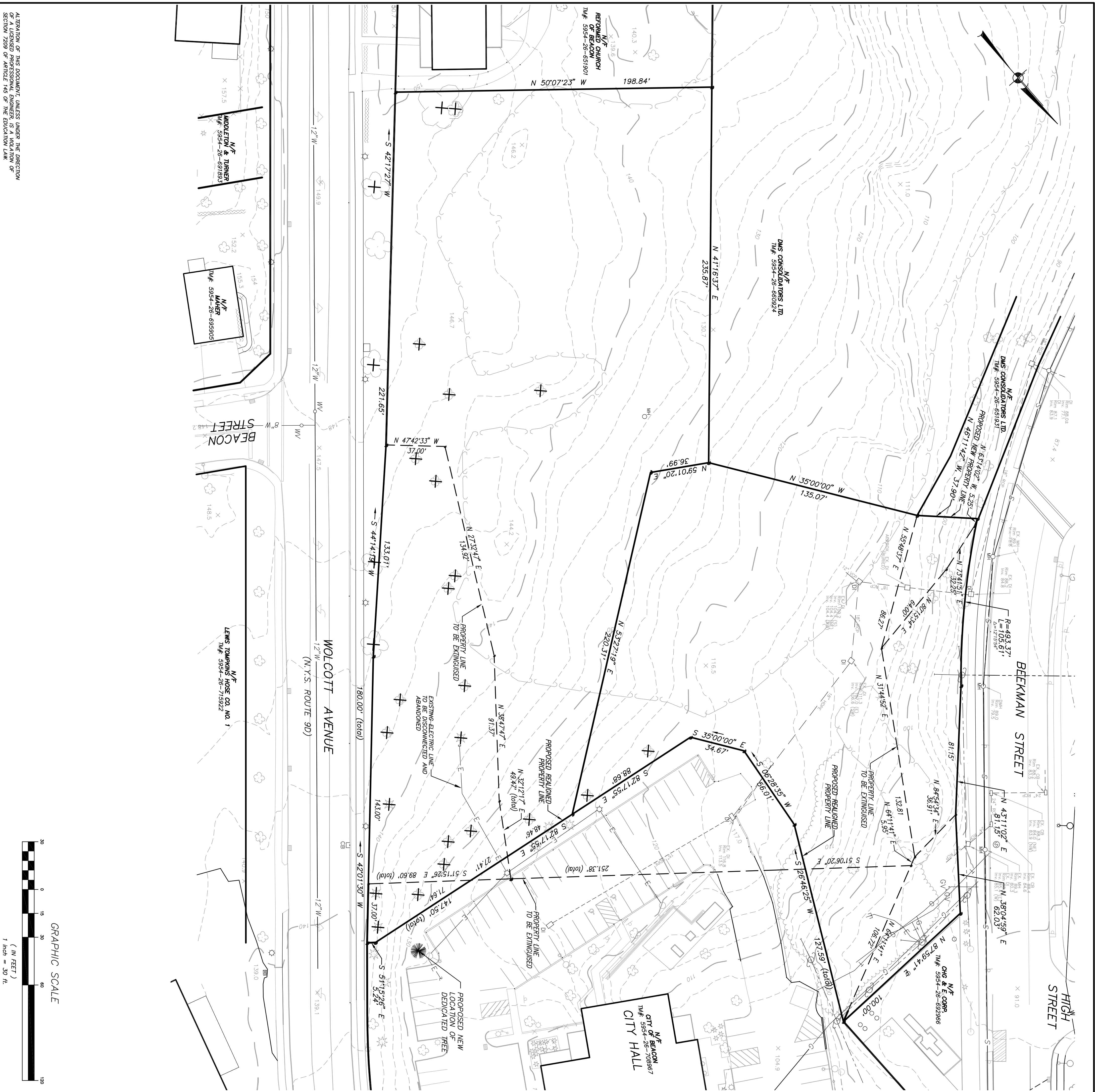
PROJECT NUMBER	PROJECT MANAGER	J.L.C.	DRAWING NO.	SHEET
16226.100			CS-1	1
DATE	DRAWN BY	C.T.O.	CHECKED BY	J.L.L.
3-28-17				
SCALE	1" = 100'			

**Site Plan**

Approved by resolution of the Beacon Planning Board on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chairman, City Planning Board \_\_\_\_\_ Date \_\_\_\_\_

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 174 OF THE EDUCATION LAW.



ATTESTATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

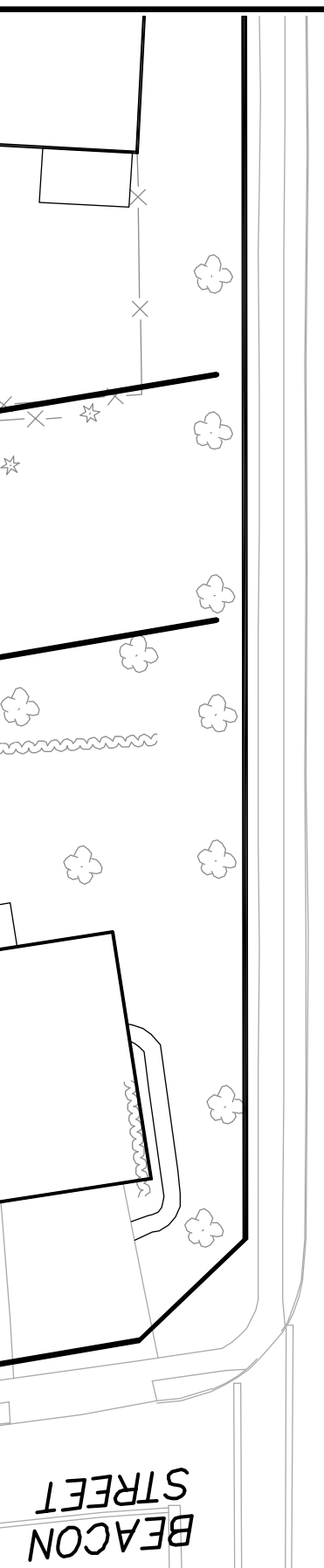
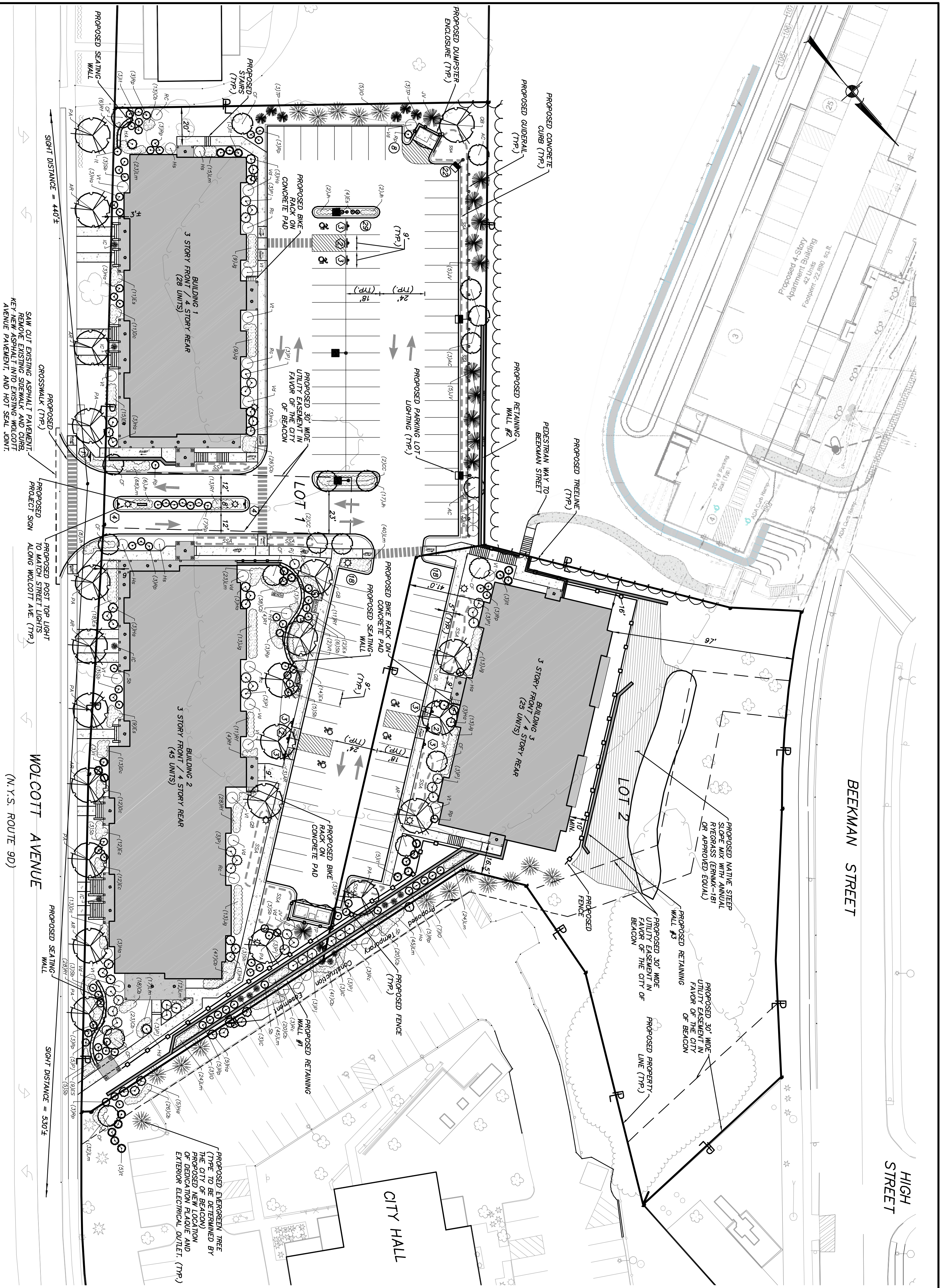
LEGEND	
	EXISTING PROPERTY LINE TO BE EXTINGUISHED
	PROPOSED PROPERTY LINE
	EXISTING CONCRETE CURB
	EXISTING TREE LINE
	EXISTING TREES TO BE REMOVED
	EXISTING FENCE
	EXISTING 10' CONTOUR
	EXISTING UTILITY POLES WITH OVERHEAD WIRES
	EXISTING WATER MAIN
	EXISTING GAS LINE
	EXISTING DRAINAGE PIPE
	EXISTING DRAINAGE STRUCTURE
	EXISTING SINKER MAIN
	EXISTING LIGHT POLE
	EXISTING ELECTRIC LINE

- GENERAL NOTES:**
- Property line shown hereon is based on contract of sale and requires a lot line redigment with the city parcel to the north.
  - No special flood areas are associated with this project parcel.
  - Topography shown hereon is based upon aerial photography dated April 14, 2002 and is photogrammetrically compiled. Elevations shown hereon conform to the North American Vertical Datum of 1988 (N.A.V.D., 1988) as derived by GPS observation. The contour interval is 2'.
  - Refer to General Notes on Drawing SP-1 for additional information.

**Site Plan**  
Approved by resolution of the Beacon Planning Board on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
Chairman, City Planning Board \_\_\_\_\_ Date \_\_\_\_\_

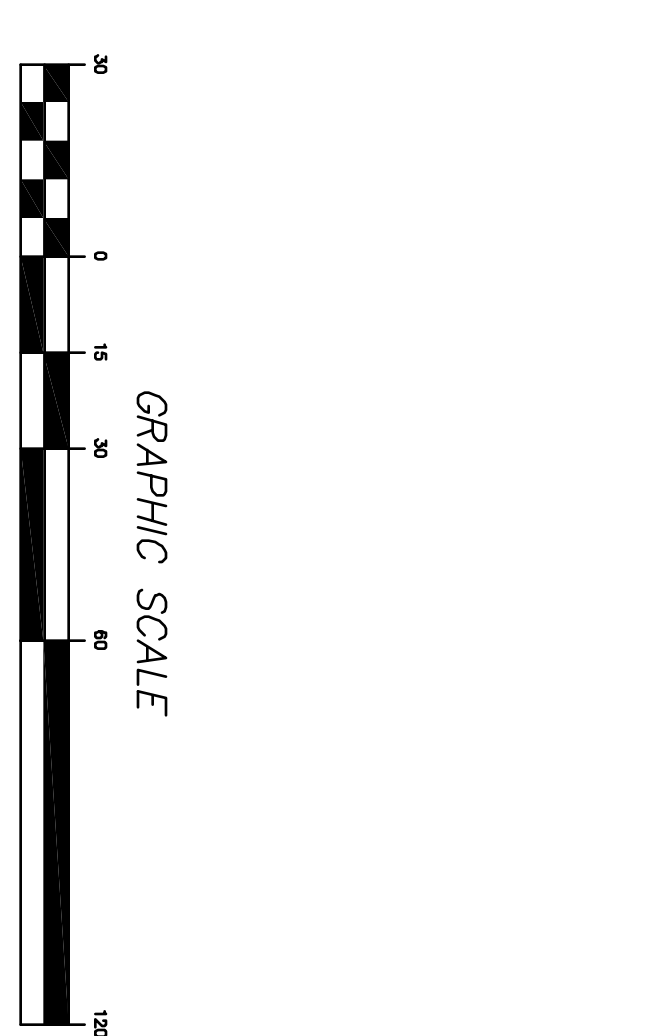
<b>PROJECT:</b> WEST END LOFTS WOLCOTT AVENUE, BEACON, NEW YORK 12508		<b>DRAWING NO.</b> 2	
<b>DRAWING:</b> EXISTING CONDITIONS & REMOVALS PLAN		<b>SHEET</b> EX-1 / 13	
<b>PROJECT NUMBER</b> 16226, 100	<b>PROJECT MANAGER</b> J.L.C.	<b>DATE</b> 1-31-17	<b>DRAWN BY</b> C.T.O.
<b>SCALE</b> 1" = 30'	<b>CHECKED BY</b> J.L.L.		
<b>REVISIONS PER CITY CONSULTANT COMMENTS</b>		<b>REVISIONS PER CITY CONSULTANT COMMENTS</b>	
NO.	DATE	REVISION	BY
2	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	C.T.O.
1	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	C.T.O.

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**SIGN DATA TABLE**

LOCATION NO.	TEXT	M.U.T.C.D. NUMBER	SIZE OF SIGN (S.I.)	DESCRIPTION
1	STOP	RI-1C	30" x 30"	White on Red
2	NO RIGHT TURN	RP-1	12" x 18"	Red on White
3	ONE WAY	NY RP-8	12" x 18"	Green on White
		RP-8P	12" x 6"	Blue Symbol
		RP-8P		Green on White
4	ONE WAY	RA-7C	24" x 30"	Black on White



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 17A OF THE EDUCATION LAW.

**LEGEND**

- PROPOSED PROPERTY LINE
- EXISTING CONCRETE CURB
- EXISTING TREE LINE
- EXISTING TREES
- EXISTING FENCE
- PROPOSED CONCRETE CURB
- PROPOSED EDGE OF SIDEWALK
- PROPOSED SEATING WALL
- PROPOSED RETAINING WALL
- PROPOSED GUIDERAIL
- PROPOSED FENCE
- PROPOSED LANDSCAPING
- PROPOSED POLE MOUNTED LIGHTS
- PROPOSED RAMP AND DROP CURB
- PROPOSED SNOW STORAGE AREA

**LINKAGE DISTRICT REQUIREMENTS:**

Subsets:	REQUIRED	PROVIDED
Min./Max. Front:	0 ft. Min. / 20 ft. Max.	3 ft. / 17 ft. ±
Min. Rear:	25 ft.	102 ft. ±
Min./Max. Side:	0 ft. Min. / 30 ft. Max.	16 ft. / 24 ft. ±
Min./Max. Building Height:	2 Stories Min. / 4 Stories Max.	3 1/2 Stories
Min. Landscape Area:	15%	40%

**PARKING REQUIREMENTS:**

- 1 per Dwelling Unit x 98 units = 98 spaces
- 98 Spaces Required
- 95 Spaces Provided
- \* Motor requested based on proximity to train station & Main Street area.

**West End Lofts, Beacon, NY - Unit Breakdown**

Building #	1 Br. Apartment	2 Br. Apartment	Totals
743 s.f.	741 s.f.	969 s.f.	
1	0	14	14
2	3	28	14
3	0	11	14
			28
<b>TOTALS</b>			98
# of Units	3	53	42
Total Area	2239	39273	40698
			82,200

(1) Units will be Handicap Adapted for mobility impaired tenants per (CCNYANSI 117.1.3003 (55))  
 (2) Units will be AV adapted (2% of unit total)  
 All units are wheelchair and adaptable, some are adapted.

**PLANT LIST**

QTY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
10	AR	SHADE TREES		
4	GB	Acer rubrum / Red Maple	3'-3 1/2" C&L	B & B
8	PA	Chicago bluffs / Chicago	3'-3 1/2" C&L	B & B
		Platanus occidentalis 'Bloodgood' / London Planetree	3'-3 1/2" C&L	B & B
12	JV	EMERGENT TREES		
10	IC	Juniperus virginiana / Eastern Redcedar	7'-6" HT.	B & B
10	IO	Ilex cornuta 'Sky Pencil' / Sky Pencil Japanese Holly	4'-5" HT.	B & B
15	IS	Ilex opaca / American Holly	7'-6" HT.	B & B
7	TP	Thuja plicata / Western Arborvitae	6'-7" HT.	B & B
		ELONGATED/SEMI-ELONG TREES		
6	AC	Amitelocher canadensis / Showdog Senecioberry	10-12" HT.	B & B
4	CC	Cornus canadensis / Eastern Redbud	2'-2 1/2" C&L	B & B
9	CF	Cornus florida / White Flowering Dogwood	2'-2 1/2" C&L	B & B
		SHRUBS		
44	Hs	Hydrangea obtusifolia / Smooth Hydrangea	21"-24" HT.	#3 CONT.
8	It	hibiscus syriacus / Rose of Sharon	3'-4" HT.	B & B
26	Is	Ilex virginica 'Henry's Garnet' / Sweetgale	15"-18" SHR.	#2 CONT.
33	Pj	Pieris japonica / Japanese Andromeda	24"-30" HT.	#3 CONT.
11	Rp	Rhododendron catabense / Carolina Rhododendron	30"-38" HT.	#3 CONT.
47	Rb	Rhododendron x 'Falm' / Falm Rhododendron	18"-24" HT.	#3 CONT.
37	Sv	Spirea bumalda 'Gold Mound' / Gold Mound Spirea	18"-24" SHR.	#3 CONT.
8	Vl	Viburnum tomentosum / Doublefile Viburnum	2'-3" HT.	#3 CONT.
12	Vt	Viburnum trilobum 'Compactum' / Compact American Crabapple	3'-4" HT.	#3 CONT.
		PERENNIALS/GRASSES		
233	Cb	Cornus canadensis / Bunchberry	4" POT.	18" O.C.
44	Dc	Desmodium illinoense / Tufted Hair Grass	#1 CONT.	24" O.C.
80	Es	Eragrostis spectabilis / Purple Lovegrass	#1 CONT.	30" O.C.
35	sh	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Juniper	15"-18" SHR.	#2 CONT. / 36" O.C.
52	ug	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	15"-18" SHR.	#2 CONT. / 36" O.C.
241	Lm	Liriodendron tulipifera 'Vanguard' / Vanguard Liriodendron	18" O.C.	18" O.C.
86	Rf	Rudbeckia fulgida 'Goldstrum' / Black-eyed Susan	24" O.C.	24" O.C.

(TYPE TO BE DETERMINED BY THE CITY OF BEACON) OR POSSIBLE NEW LOCATION OF EXISTING ELECTRICAL OUTLET. (TYP)

**GENERAL NOTES:**

- Should snow storage areas shown herein become full with snow, the owner/operator shall remove excess snow from the site to assure all onsite parking is available for residents.
- All landscaping proposed within the Route 9 right-of-way shall be maintained by the project owner.
- Refer to General Notes on Drawing E-1 for additional information.

**Site Plan**  
 Approved by resolution of the Beacon Planning Board on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chairman, City Planning Board \_\_\_\_\_ Date \_\_\_\_\_

**WEST END LOFTS**

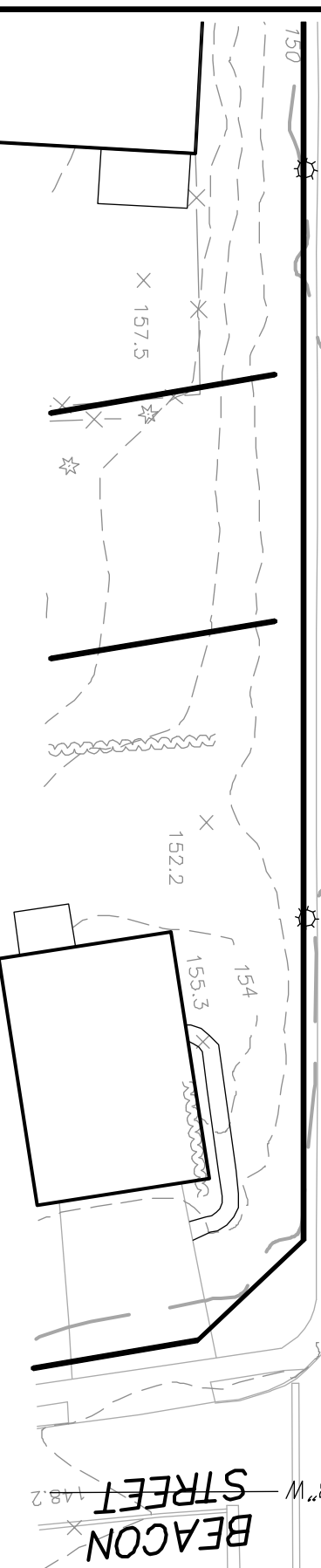
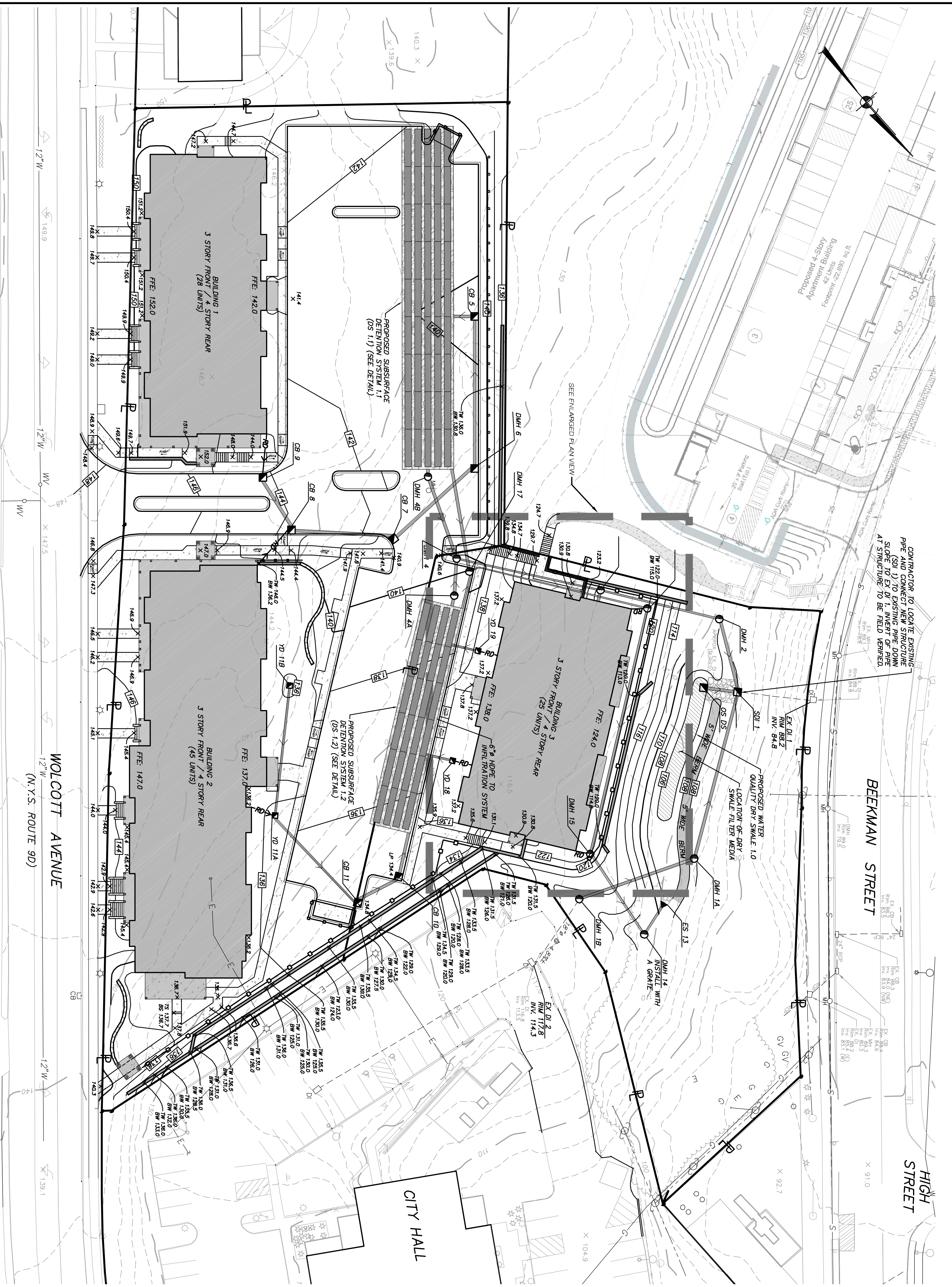
PROJECT: WEST END LOFTS  
 DRAWING: LAYOUT & LANDSCAPE PLAN

3 Garrett Place  
 Beacon, NY 12508  
 (845) 225-8890  
 (845) 225-9177 fax  
 www.halc-eng.com

NO.	DATE	REVISIONS PER CITY CONSULTANT COMMENTS	BY
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTD
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTD
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION	MEU

SCALE: 1" = 30'

DRAWING NO. SP-1 SHEET 3 OF 13



**GRADING & DRAINAGE PLAN**  
SCALE: 1" = 30'

**PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE**

PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 10 YEARS
SUBSURFACE STORMWATER COLLECTION SYSTEMS	-	-	Inspect & clean	Inspect, clean, repair orifices/obstructions. Remove debris.	-
WATER QUALITY DRY SWALE	Inspect for erosion, soil permeability, and structural integrity. Inspect for debris, no debris. Inspect for structural integrity.	-	-	Inspect, clean, repair orifices/obstructions. Remove debris. Inset and clean sediment.	-

- GENERAL NOTES:**
- Based on the height of the proposed retaining walls, engineered plans and a structural report shall be prepared for each retaining wall by a licensed engineer in the state of New York and submitted for review.
  - Refer to General Notes on Drawing CS-1 for additional information.

Notes: The party responsible for the permanent maintenance schedule is:  
Kerny, Ready, & Development Group  
Baldwin Place, NY 10505  
or any future owner/operator.

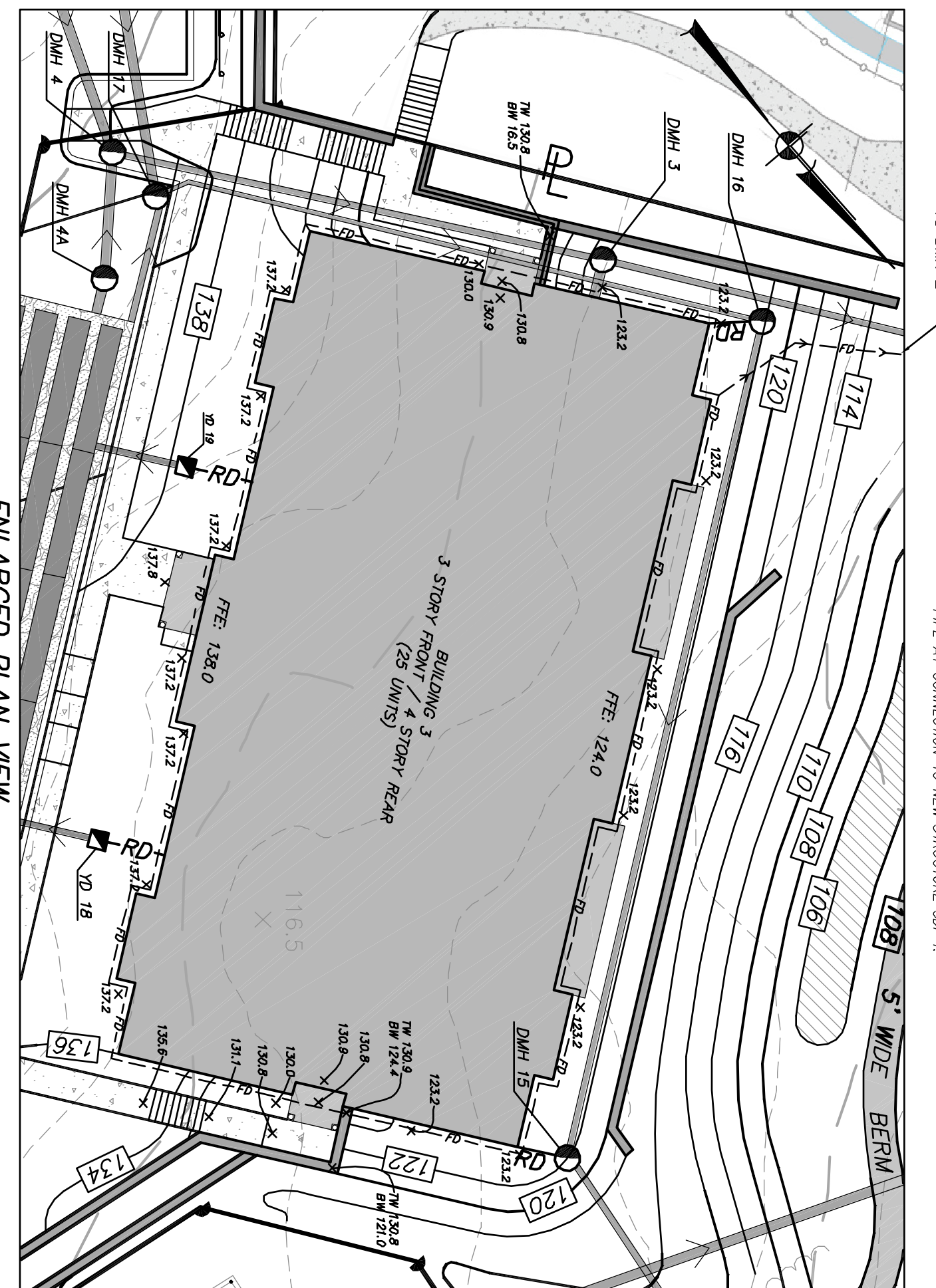
**LEGEND**

- PROPOSED PROPERTY LINE
- EXISTING CONCRETE CURB
- EXISTING 1" CONTOUR
- EXISTING 2" CONTOUR
- EXISTING UTILITY PIPES WITH OVERHEAD WIRES
- EXISTING GAS LINE
- EXISTING WATER MAIN
- EXISTING DRAINAGE PIPE
- EXISTING DRAINAGE STRUCTURE
- EXISTING SEWER MAIN
- PROPOSED SEWER MAIN
- PROPOSED EDGE OF SIDEWALK
- PROPOSED SEATING WALL
- PROPOSED RETAINING WALL
- PROPOSED GUIDEWALL
- PROPOSED 10" CONTOUR
- PROPOSED 2" CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED CATCH BASIN
- PROPOSED DRAINAGE MANHOLE
- PROPOSED HOPE DRAINAGE SIZES (SEE TABLE FOR SIZES)
- PROPOSED 8" PVC SDR 35 RCP DRAIN
- NO

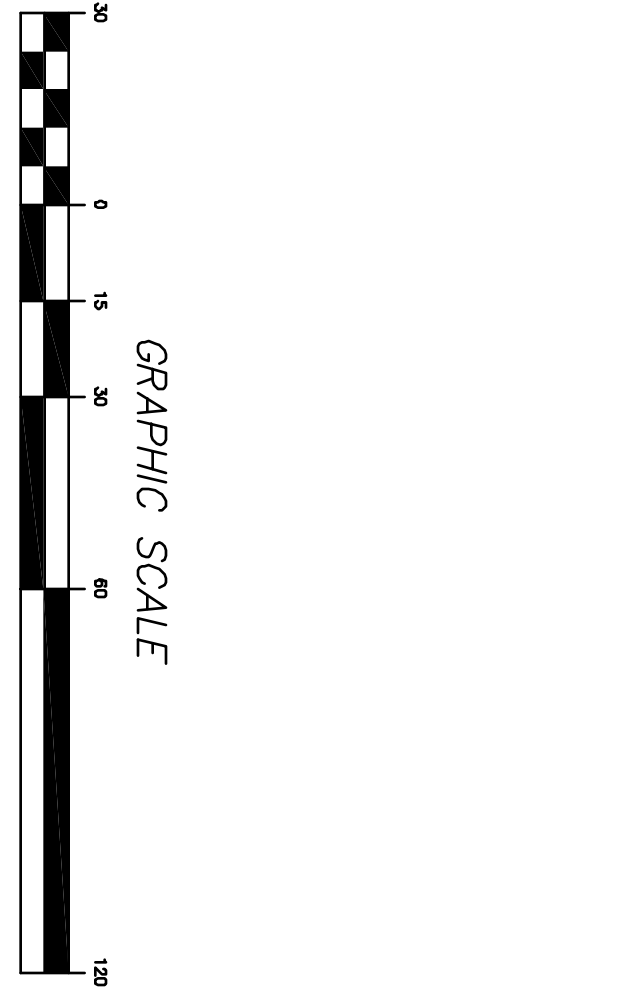
**DRAINAGE TABLE:**

STRUCTURE	RM	INV.	PIPE	LENGTH	SLOPE
OS 1,2	132.4	132.4	6"	20'	20.0%
DMH 4A	148.5	148.5	6"	20'	3.02%
DMH 4	148.5	148.5	6"	20'	3.02%
DMH 3	123.5	123.5	12"	75'	18.23%
DMH 2	108.0	108.0	12"	65'	15.69%
SO 1	106.0	101.8	12"	30'	10.00%
EX D/I 1	88.2	84.8	24"	40'	*
OS 1,1	-	136.4	12"	5'	8.02%
DMH 4B	141.5	136.0	12"	46'	12.09%
DMH 4	141.5	130.3	12"	18'	1.1%
OS 0,5	107.5	103.2	12"	18'	1.1%
SO 1	106.0	103.0	18"	11'	1.1%
EX D/I 2	113.8	114.1	18"	43'	5.91%
DMH 1B	112.0	107.6	18"	65'	9.23%
DMH 1A	109.5	101.8	18"	92'	1.30%
SO 1	106.0	101.8	18"	92'	1.30%
OS 4	144.3	141.3	12"	33'	1.02%
OS 4	144.0	141.0	12"	54'	5.19%
OS 2	141.2	138.2	12"	56'	1.79%
OS 5	140.2	137.2	12"	80'	1.09%
OS 5	138.8	136.4	15"	8'	1.25%
OS 1,1	-	136.3	15"	8'	1.25%
OS 1,1B	133.7	133.7	12"	70'	1.37%
OS 1,1A	133.5	132.5	12"	60'	2.91%
OS 1,1	134.8	130.7	12"	26'	1.15%
OS 1,2	134.4	130.4	12"	25'	2.05%
OS 1,2	-	129.8	12"	25'	2.05%
DMH 17	140.0	127.8	6"	97'	8.24%
DMH 16	122.0	120.0	6"	1.5'	1.1%
DMH 15	112.0	108.5	6"	52'	10.23%
DMH 14	111.0	108.5	6"	20'	2.05%
OS 1,1	-	111.2	4"	55'	1.09%
DMH 17	140.5	132.9	6"	109'	7.48%
OS 1,2	-	128.0	4"	20'	1.02%
DMH 17	140.5	127.8	6"	13'	40.77%
OS 1,2	-	129.8	6"	13'	40.77%

\* CONNECTION TO VERIFY INVERT OF EXISTING 24" PIPE AT CONNECTION TO NEW STRUCTURE SO-1.



**ENLARGED PLAN VIEW**  
SCALE: 1" = 20'



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**PROJECT:** WEST END LOFTS  
WOLCOTT AVENUE, BEACON, NEW YORK 12808

**DRAWING:** GRADING & DRAINAGE PLAN

NO.	DATE	REVISIONS	FOR CITY CONSULTANT COMMENTS	CITY
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS		CITY
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS		CITY
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION		MEU

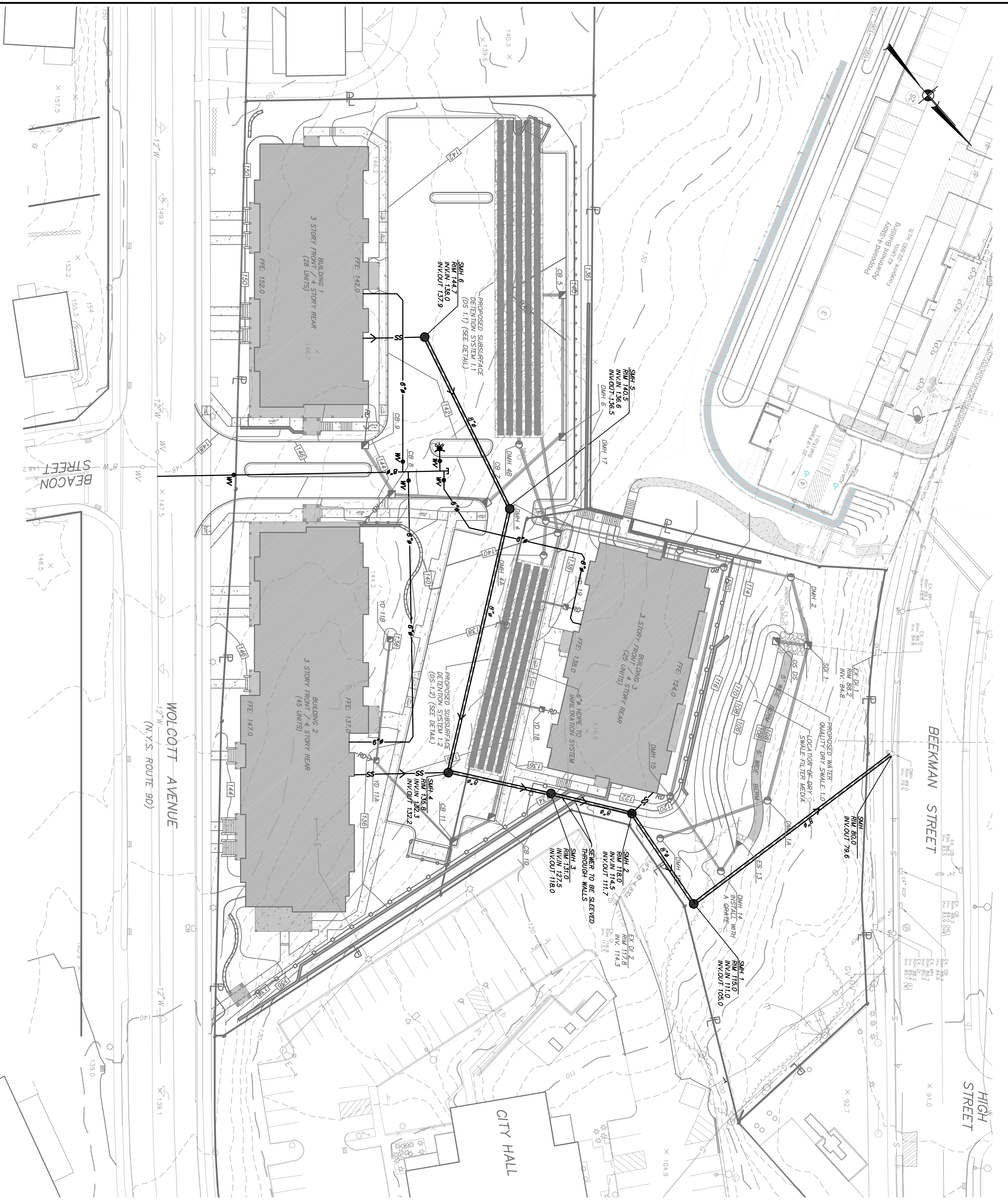
**PROJECT:** WEST END LOFTS  
WOLCOTT AVENUE, BEACON, NEW YORK 12808

**PROJECT NUMBER:** 16226, 100  
**PROJECT MANAGER:** J.L.C.  
**DATE:** 10-25-16  
**DRAWN BY:** C.T.O.  
**CHECKED BY:** J.L.L.

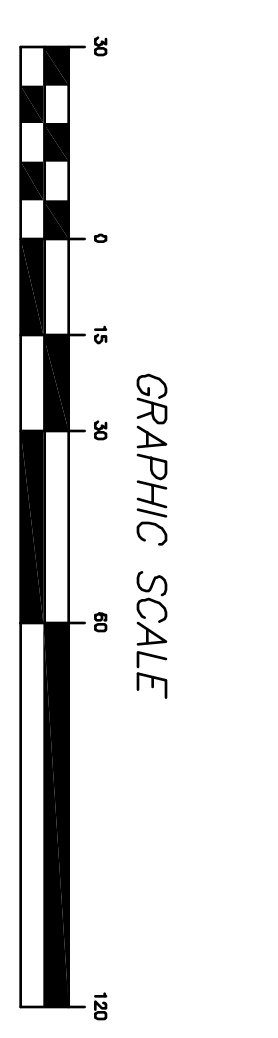
**SCALE:** 1" = 30'

**DRAWING NO.:** SP-2.1  
**SHEET:** 4 / 13

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LEGEND	
	PROPOSED PROPERTY LINE
	EXISTING CONCRETE CURB
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING FENCE
	EXISTING UTILITY POLES WITH OVERHEAD WIRES
	EXISTING GAS LINE
	EXISTING WATER MAIN
	EXISTING DRAINAGE PIPE STRUCTURE
	EXISTING SEWER MANHOLE
	EXISTING LIGHT POLE
	PROPOSED EDGE OF STRUCTURE
	PROPOSED RETAINING WALL
	PROPOSED FENCE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED CATCH BASIN
	PROPOSED DRAINAGE MANHOLE
	PROPOSED SEWER MANHOLE
	PROPOSED DRAINAGE PIPE
	PROPOSED ROOF DRAIN
	PROPOSED WATER VALVE
	PROPOSED HYDRANT

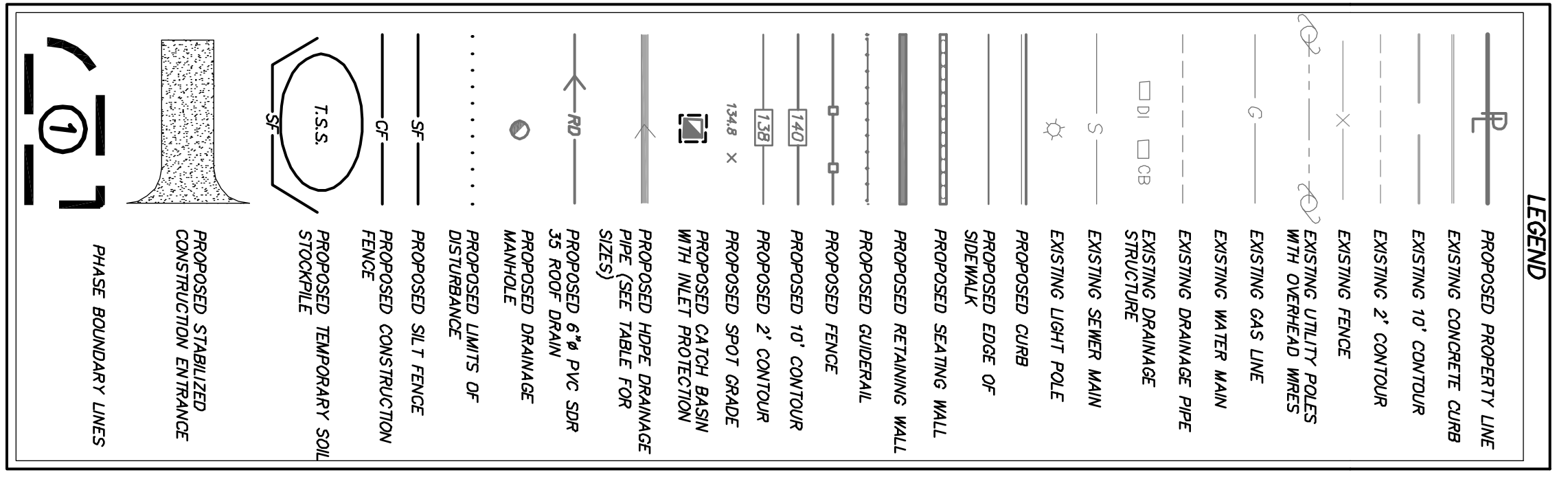


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NO.	DATE	REVISIONS	PER CITY CONSULTANT COMMENTS	BY
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS		CTO
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS		CTO
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION		MEU

<b>INSITE</b>		3 Garrett Place New York, NY 10014 (212) 421-8800 (646) 225-9177 fax www.insite-ny.com	
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: WEST END LOFTS			
DRAWING: UTILITIES PLAN			
PROJECT NUMBER: 16226.100			
DATE: 10-25-16			
SCALE: 1" = 30'			
PROJECT MANAGER	J.L.C.	DRAWING NO.	5
DRAWN	C.T.O.	SHEET	13
CHECKED	J.L.L.		



PHASE	EARTHQUAKE CUT VOLUME (Cubic yards)	FILL VOLUME (Cubic yards)
1	2,300	2,300
2	2,500	1,400
3	300	3,000

- Notes:
1. Fill material used for Phase 1 will be from an off-site source.
  2. Excess cut from Phase 2 will be stockpiled for use in Phase 3.
  3. Fill material needed to complete Phase 3 in addition to the Phase 2 excess will be from an off-site source.

- PHASE 1 - Construction Sequence**
1. All erosion and sediment control practices will be inspected in accordance with General Permit 02-0-15-002 or succeeding General Permit. Needed repairs shall be made within seven (7) days after construction activity has temporarily or permanently ceased.
  2. Install silt fence and erosion control measures in general locations indicated on the plan.
  3. Remove trees within the limits of disturbance as shown on the plans for the entire project.
  4. Begin grubbing operations within the limits of entire project. See Erosion and Sediment Control Notes for additional details.
  5. Install temporary sediment trap in location of future dry swale in accordance with the detail within the Phase 1 to the temporary sediment trap during construction activities.
  6. Construct driveway entrance and install stabilized construction entrance/out-tracking pad of the project entrance off of Wolcott Ave.
  7. Establish Phase 1 Staging Area in location shown on plan.
  8. Strip topsoil from Phase 1 and stockpile for later use in lawn and landscaped areas. See Erosion and Sediment Control Notes for additional detail.
  9. Begin preparation for foundation and site grading for Building 2 and the associated improvements.
  10. Begin installation of proposed retaining wall within the limits of the Phase.
  11. Install water and sewer connections necessary to service Building 2 within the limits of the Phase.
  12. Install drainage structures and piping as shown on the plans. Install detention structure before detention system 1.2 shall be plugged and contributing area to the detention system is completely stabilized.
  13. Upon completion of grading operations, install driveway pavement base course.
  14. Re-spread topsoil, seed and mulch areas outside pavement to achieve final stabilization in accordance with the notes and details on the project plans.

- PHASE 2 - Construction Sequence**
1. Install silt fence and erosion control measures in general locations indicated on the plan.
  2. Establish Phase 2 Staging Area in location shown on plan.
  3. Strip topsoil from Phase 2 and stockpile for later use in lawn and landscaped areas. See Erosion and Sediment Control Notes for additional detail.
  4. Install temporary swales to direct stormwater runoff from disturbed areas within the Phase 2 to the detention system 1.1 that be plugged until contributing area to the detention system is completely stabilized.
  5. Upon completion of grading operations, install driveway pavement base and top courses.
  6. Re-spread topsoil, seed and mulch areas outside pavement to achieve final stabilization in accordance with the notes and details on the project plans.
  7. Begin installation of proposed retaining wall west of the parking area.
  8. Install water and sewer connections necessary to service Building 2 within the limits of the Phase.
  9. Install drainage structures and piping as shown on the plans. Install detention system 1.1 and all associated piping within the limits of the Phase. Terminal drainage structure before detention system 1.1 shall be plugged until contributing area to the detention system is completely stabilized.
  10. Upon completion of grading operations, install driveway pavement base and top courses.
  11. Re-spread topsoil, seed and mulch areas outside pavement to achieve final stabilization in accordance with the notes and details on the project plans.

- PHASE 3 - Construction Sequence**
1. Install silt fence and erosion control measures in general locations indicated on the plan.
  2. Strip topsoil from Phase 3 and stockpile for later use in lawn and landscaped areas. See Erosion and Sediment Control Notes for additional detail.
  3. All runoff from disturbed areas should be directed to the temporary sediment trap during construction of this Phase.
  4. Begin excavation for foundation and begin site grading for Building 3 and the associated improvements.
  5. Begin installation of proposed retaining wall west of Building 3.
  6. Install water and sewer connections necessary to service Building 3 within the limits of the Phase.
  7. Re-spread topsoil, seed and mulch areas outside pavement to achieve final stabilization in accordance with the notes and details.
  8. Upon stabilization of all previously disturbed areas convert the temporary sediment trap to the swale should be proposed during the construction of the swale with a plug in Driveway Manhole 17. Swale to be stabilized in accordance with the notes and details. Upon establishment of final vegetation remove plugs in DMH 17 and allow flow to discharge to the swale.
  9. Remove all temporary erosion and sediment control devices.

Refer to Drawing D-3 for all Notes and Other Information. Refer to Drawing EX-1 for Additional Information.

NO.	DATE	REVISIONS PER CITY CONSULTANT COMMENTS	REVISIONS FOR PLANNING BOARD SUBMISSION	BY	CHKD
2	3-28-17				
1	1-31-17				

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**WEST END LOFTS**  
160 COTT AVENUE, BEACON, NEW YORK 12508

**EROSION & SEDIMENT CONTROL PLAN**

PROJECT NUMBER	16226.100	PROJECT J.L.C.	DRAWING NO.	SP-3	SHEET	6
DATE	10-25-16	DRAWN BY	C.T.O.			
SCALE	1" = 30'	CHECKED BY	J.L.L.			13

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SECTION 2809 OF ARTICLE 145 OF THE EDUCATION LAW

SECTION 2809 OF ARTICLE 145 OF THE EDUCATION LAW

SECTION 2809 OF ARTICLE 145 OF THE EDUCATION LAW

SECTION 2809 OF ARTICLE 145 OF THE EDUCATION LAW

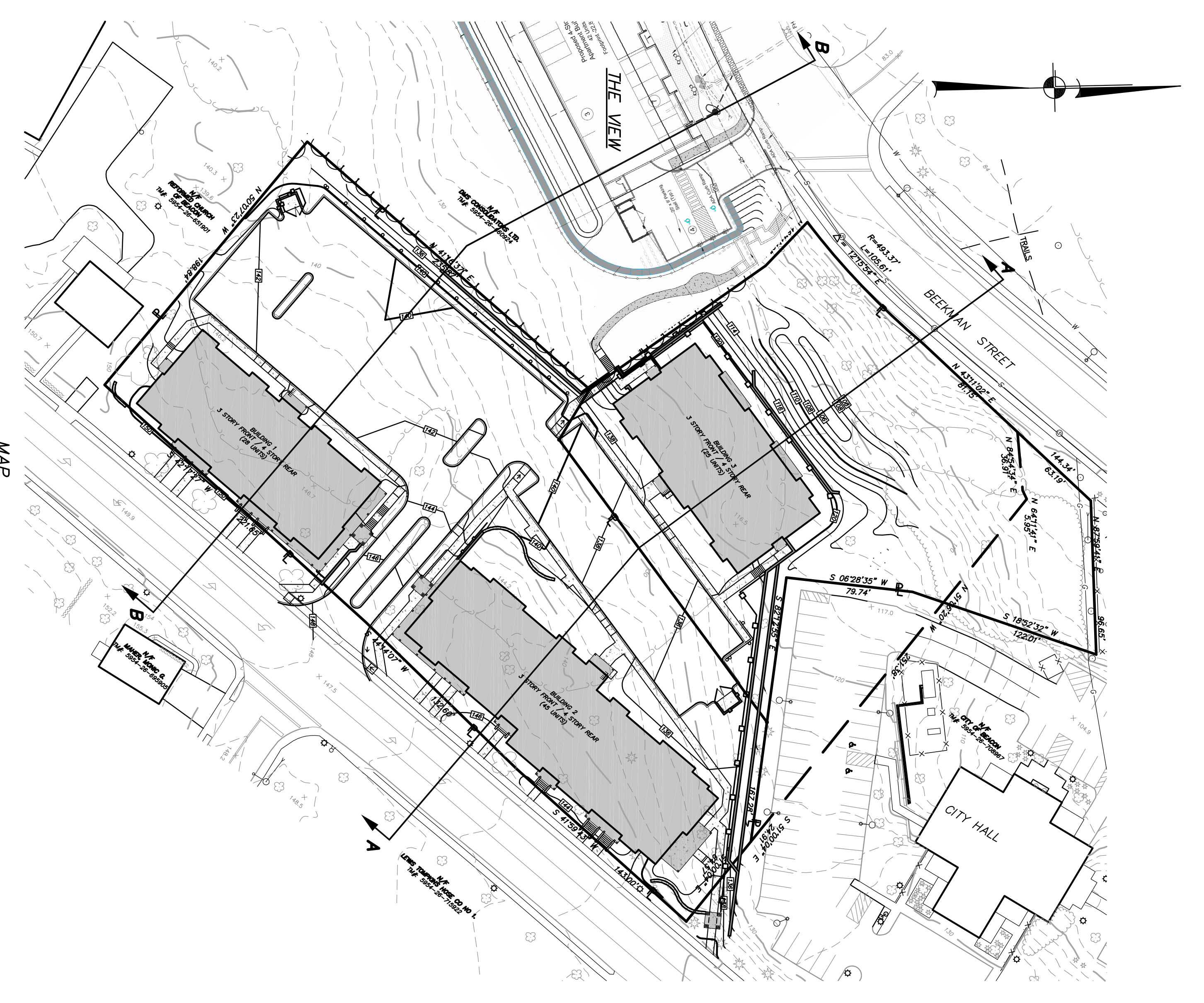
SECTION 2809 OF ARTICLE 145 OF THE EDUCATION LAW

SECTION 2809 OF ARTICLE 145 OF THE EDUCATION LAW

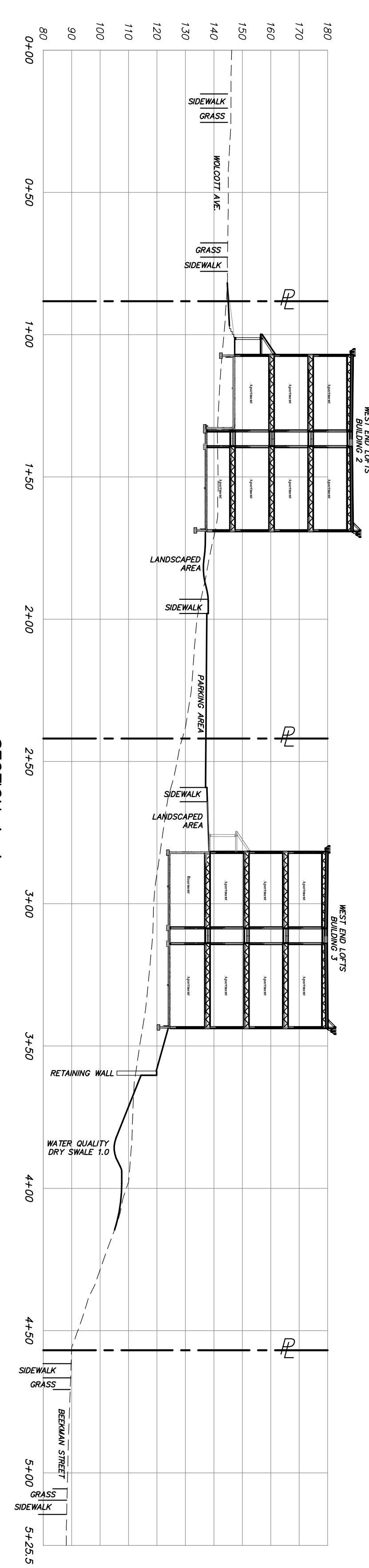
SECTION 2809 OF ARTICLE 145 OF THE EDUCATION LAW

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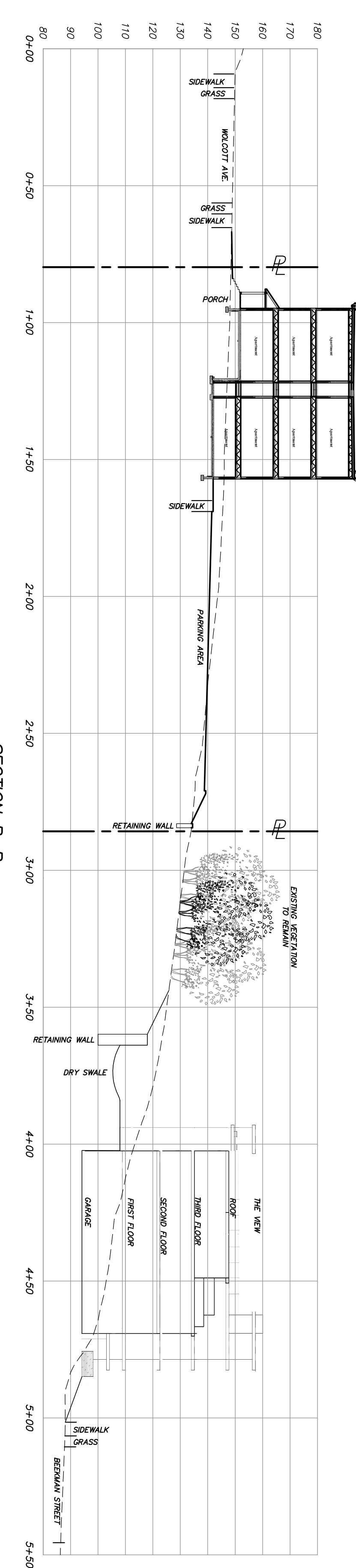
SECTION 2809 OF ARTICLE 145 OF THE EDUCATION LAW



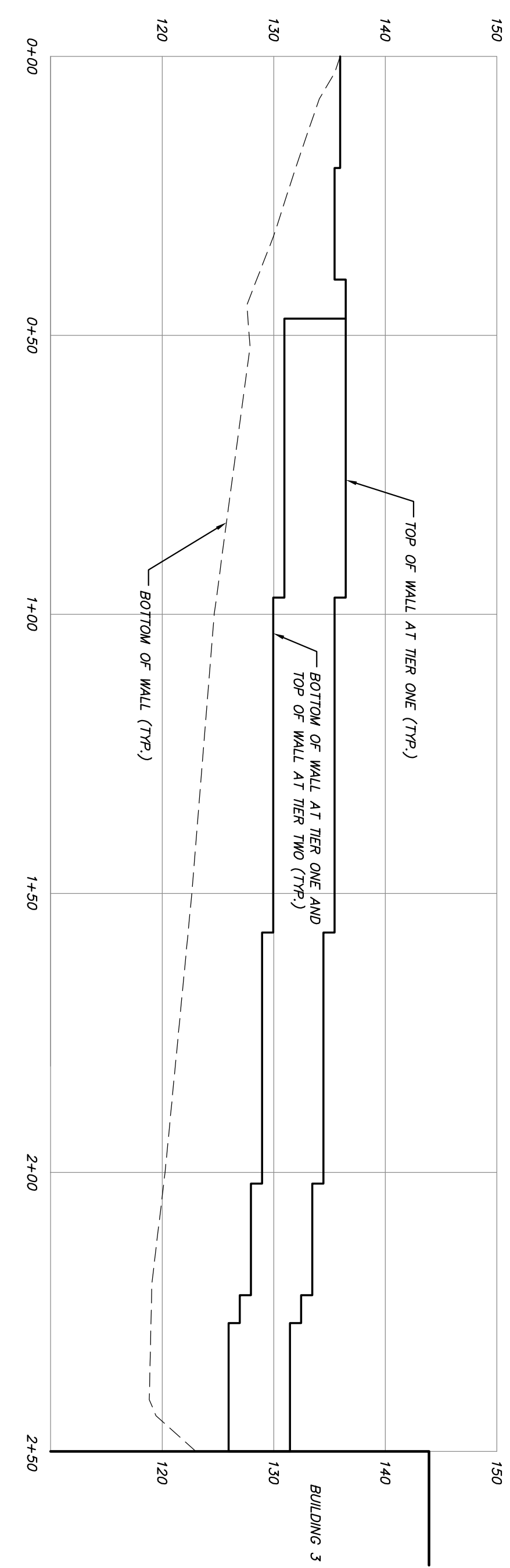
MAP  
SCALE: 1" = 50'



SECTION A-A  
SCALE: 1" = 30'



SECTION B-B  
SCALE: 1" = 30'



PROPOSED RETAINING WALL #1  
ELEVATION LOOKING SOUTH  
SCALE: 1" = 20' HORIZ.  
1" = 10' VERT.

NO.	DATE	REVISION	REVISIONS PER CITY CONSULTANT COMMENTS	CTO
2	4-28-17			
1	3-28-17			

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PROJECT: **WEST END LOFTS**  
WILCOTT AVENUE, BEACON, NEW YORK 12508

PROJECT NUMBER	PROJECT MANAGER	J.L.C.	DRAWING NO.	SHEET
16226-100	J.L.C.		S-1	7
DATE	BY	C.T.O.		13
1-24-17	AS SHOWN	J.L.L.		



BECKMAN STREET

WOLCOTT AVENUE  
(N.Y.S. ROUTE 90)

BEACON STREET

LEGEND	
	PROPOSED PROPERTY LINE
	EXISTING CONCRETE CURB
	EXISTING TREE LINE
	EXISTING TREES
	EXISTING FENCE
	PROPOSED CURB
	PROPOSED EDGE OF SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED GUUNDERWALL
	PROPOSED FENCE
	PROPOSED LIGHTS

LUMINAIRE SCHEDULE			
Symbol	Qty	Category Number	Description
A	3	D5X0 LED 20C	D5X0 LED WITH 20 LEDs @ 700 Mm, 3,000K, TYPE 3 MEDIUM GROUND WITH HOUSING-SIDE SHIELD, DARK BRONZE COLOR AND FINISH
B	3	D5X0 LED 20C	D5X0 LED WITH 20 LEDs @ 700 Mm, 3,000K, M.O.D.T. D0320
C	12	MRP LED 42C	MRP POST TOP LIGHT 42 LED, 530 Mm GROUND MOUNT, DARK BRONZE COLOR AND FINISH DISTRIBUTION, DARK BRONZE COLOR AND FINISH SPECIALLY FINISH
D	34	RVG 3000K 600L	RVG 3000K 600L 120V CLEAR SEMI LED SPECIALLY FINISH
			LED
			10.0
			10'-0"

STATISTICS					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MAX
Project Lighting		0.9	1.6	0.0	1/1.6

\* Photometric calculations shown on plan are in foot candles.

- LIGHTING NOTES:**
- All lighting shall be as noted on the plan or approved equal.
  - Style and finish of all luminaires and poles to be selected by owner.
  - Calculation values shown in this plan are taken on a horizontal plane of ground level using a 0.90 light loss factor for LEDs. Topographical information and landscaping have not been accounted for in these calculations.
  - All fixtures shall be shielded to prevent lighting of the night sky.

**D-Series Size 0 LED Area Luminaire**

**Specifications**

EPK: 0.91-F  
Height: 2' 0"  
Width: 14 1/2"  
Depth: 7"  
Weight: 11.5 lbs  
Finish: White

**Introduction**

The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series holds the benefits of the latest in LED technology from the performance, high energy efficiency, long life span, and low maintenance. The result is a luminaire that offers uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with equal energy savings of 65% and expected service life of over 100,000 hours.

**MRP LED LED Area Luminaire**

**Specifications**

EPK: 1.35-F  
Height: 6.5 ft  
Overall Height: 8' 0"  
Diameter: 14 1/2"  
Weight: 37.5 lbs

**Introduction**

The MRP family of luminaires blends a traditional round shape with contemporary, low-profile styling to accent architectural elements in a variety of applications. The MRP LED combines the latest in LED technology with the elegant aesthetic of the MRP family for a sleek, high-performance luminaire that lists. The MRP LED is ideal for replacing 100-250W metal halide in areas getting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

**RV6 LED**

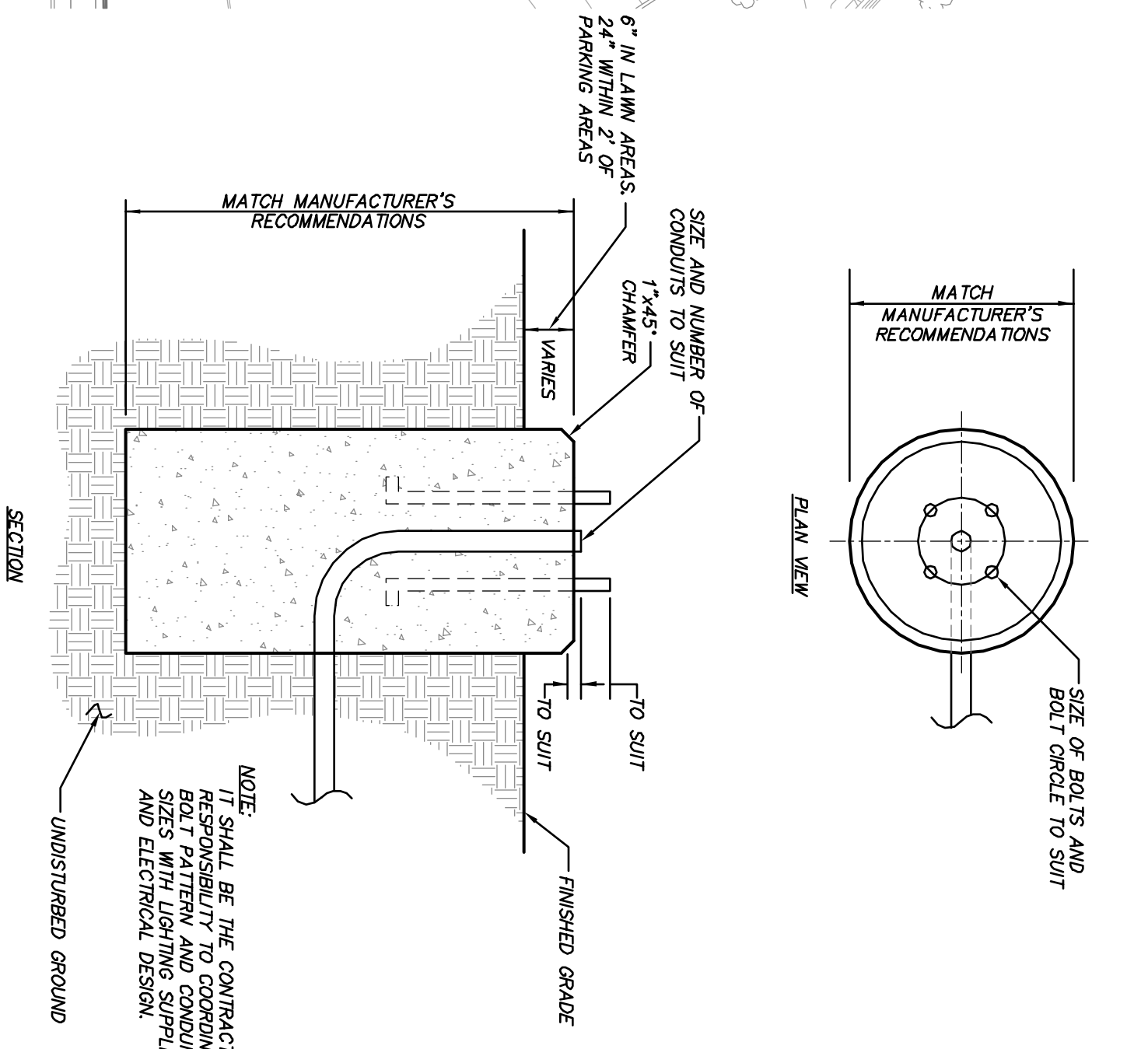
**FEATURES & SPECIFICATIONS**

**INTRODUCTION** - LED luminaires provide a wide range of lighting options for outdoor applications. The RV6 LED is a high quality, high performance luminaire that is ideal for replacing 100-250W metal halide in areas getting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

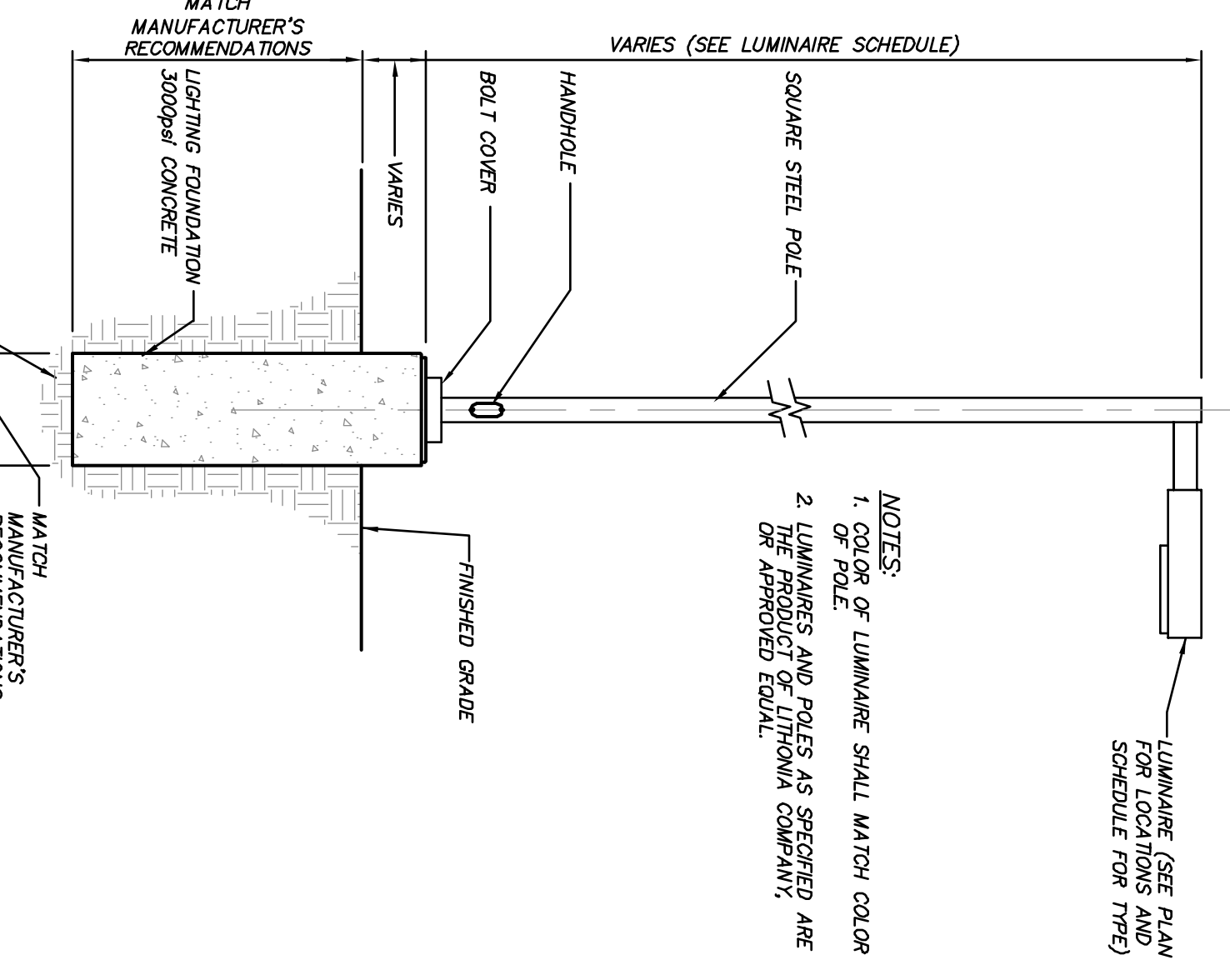
**INTRODUCTION** - LED luminaires provide a wide range of lighting options for outdoor applications. The RV6 LED is a high quality, high performance luminaire that is ideal for replacing 100-250W metal halide in areas getting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

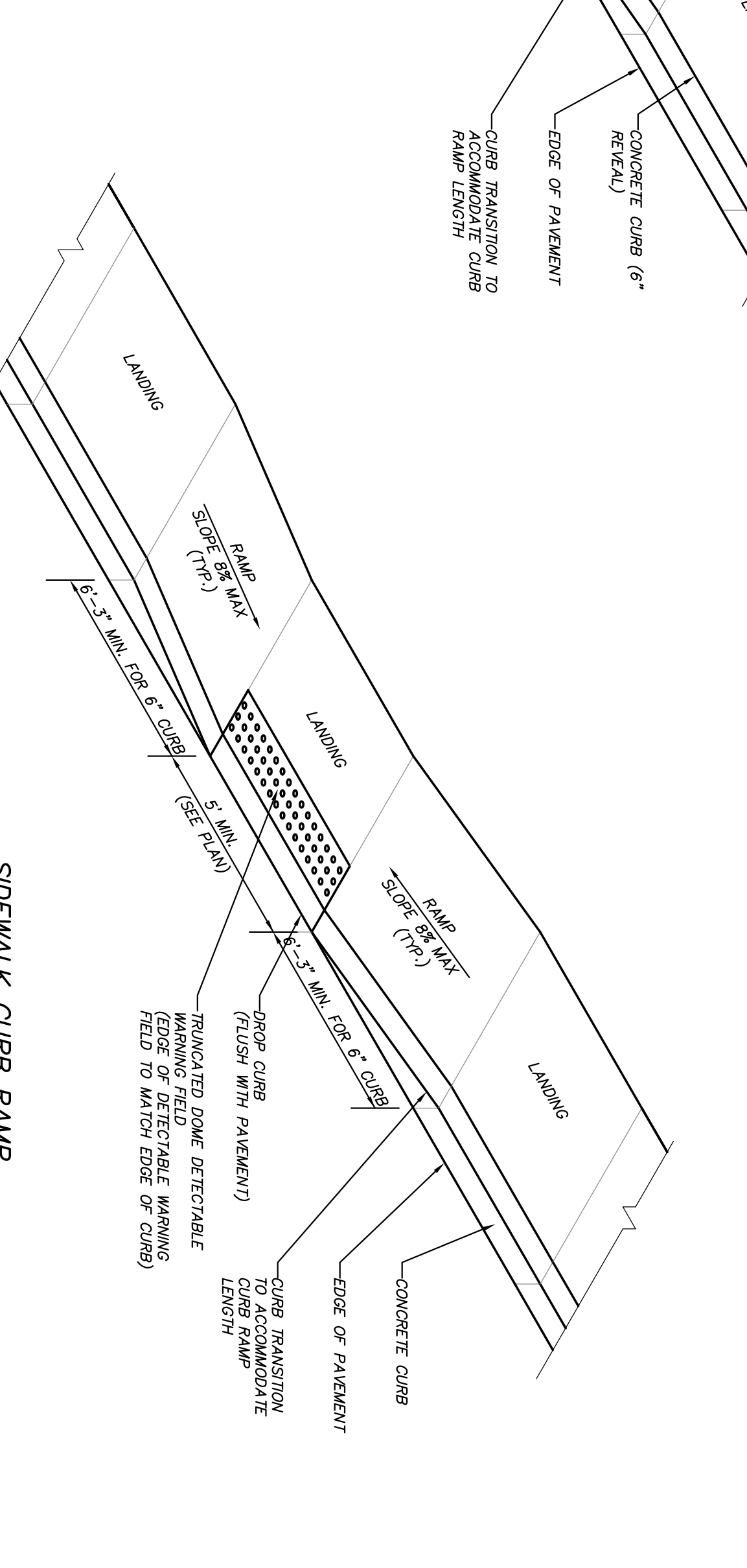
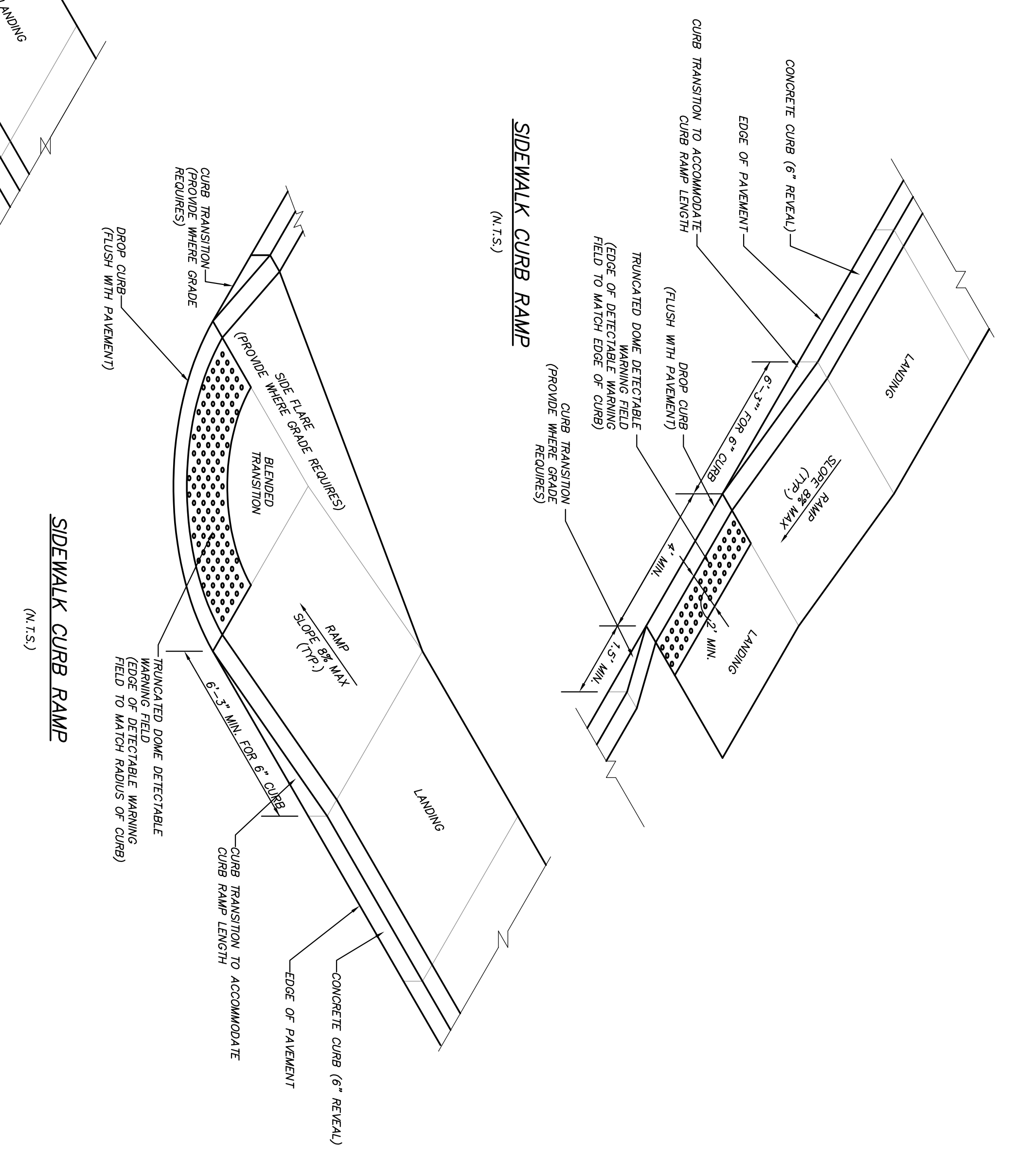
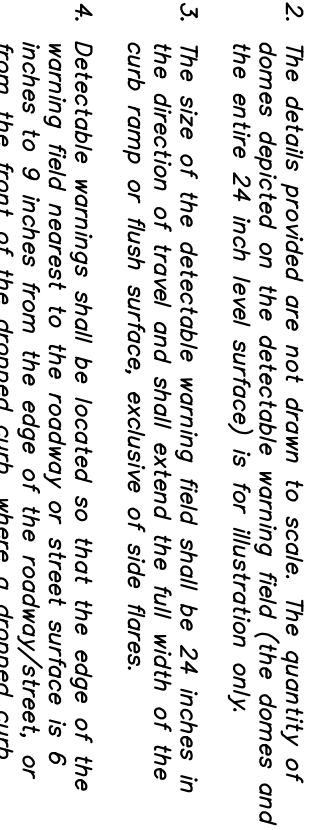
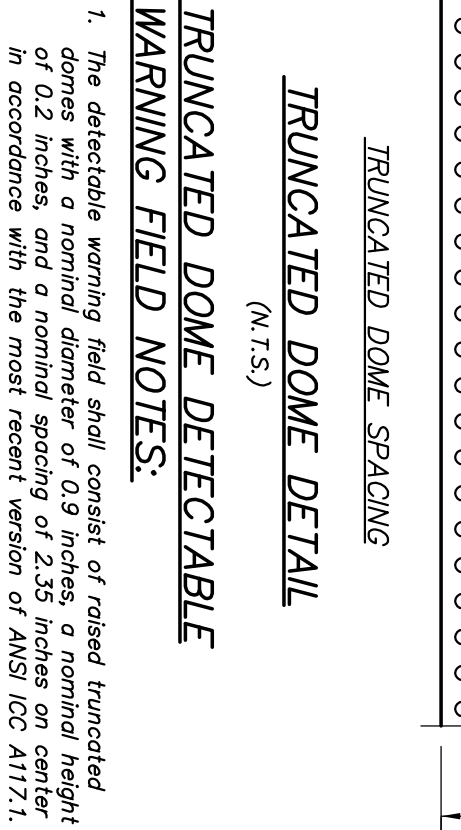
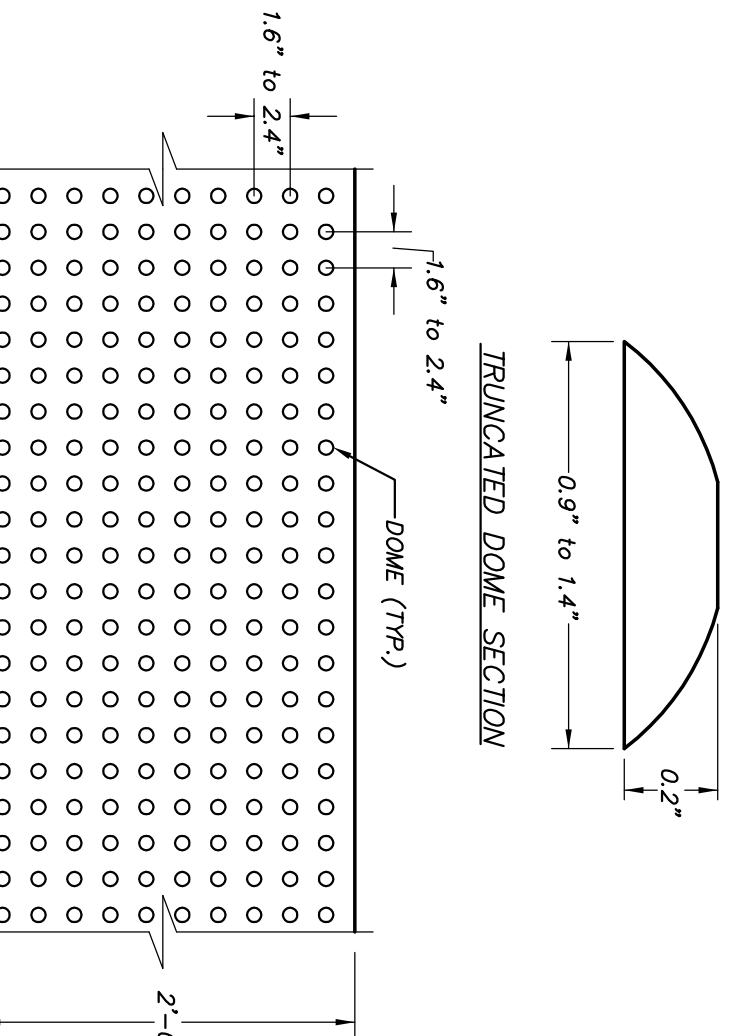
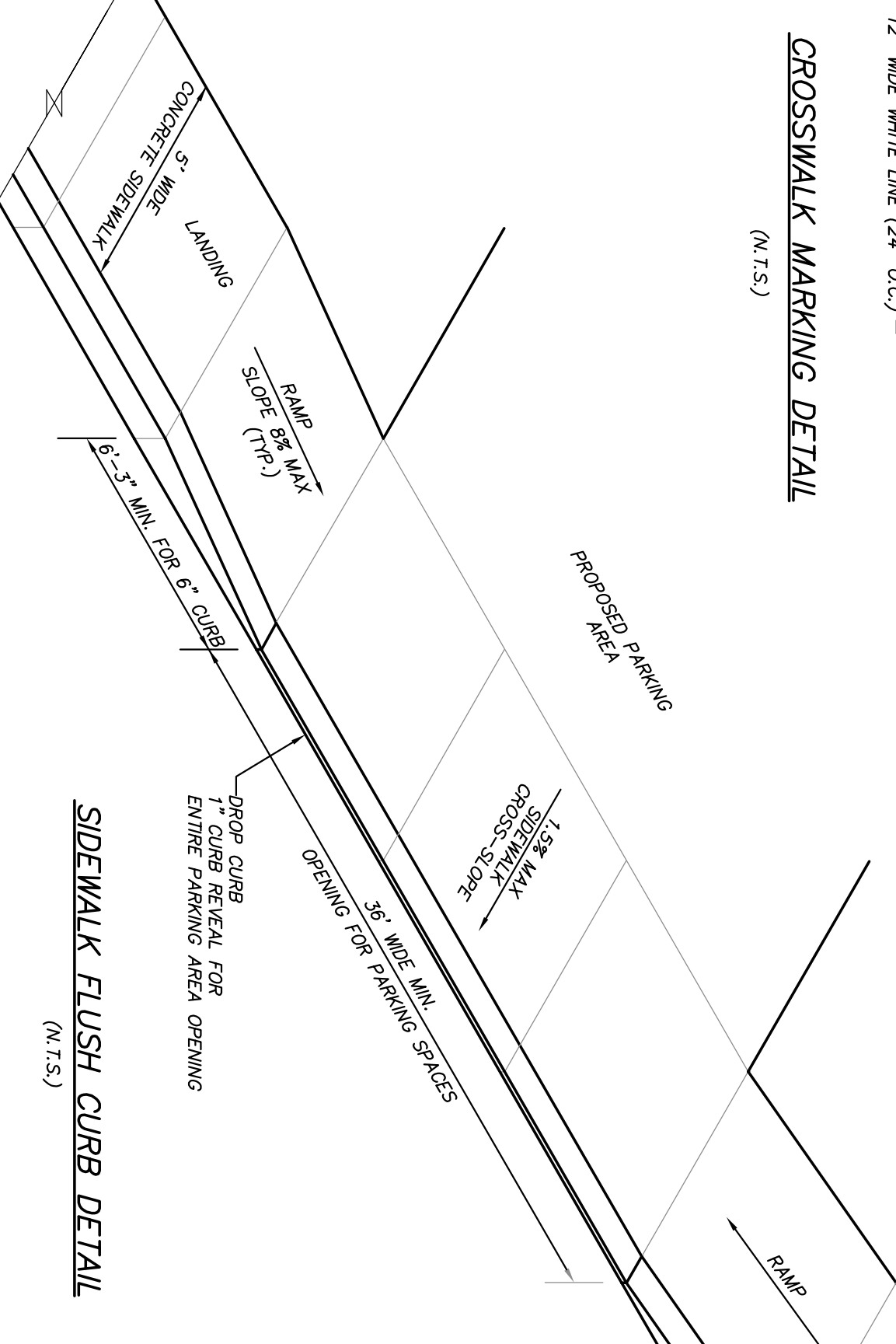
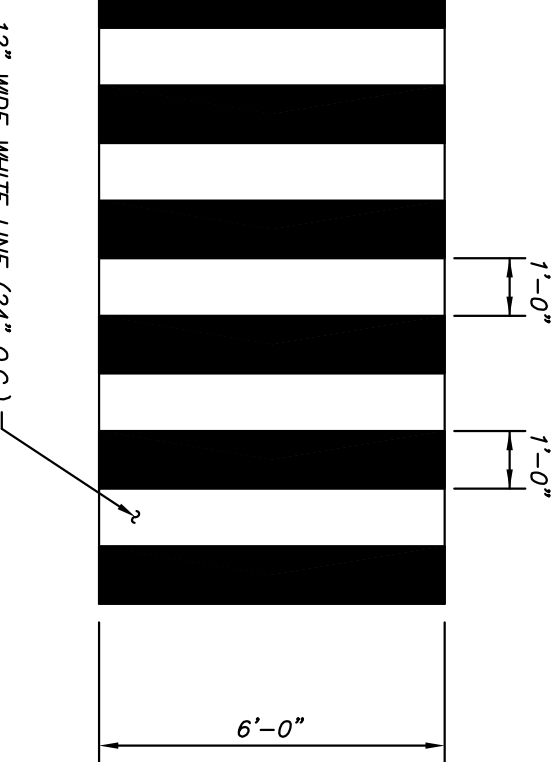
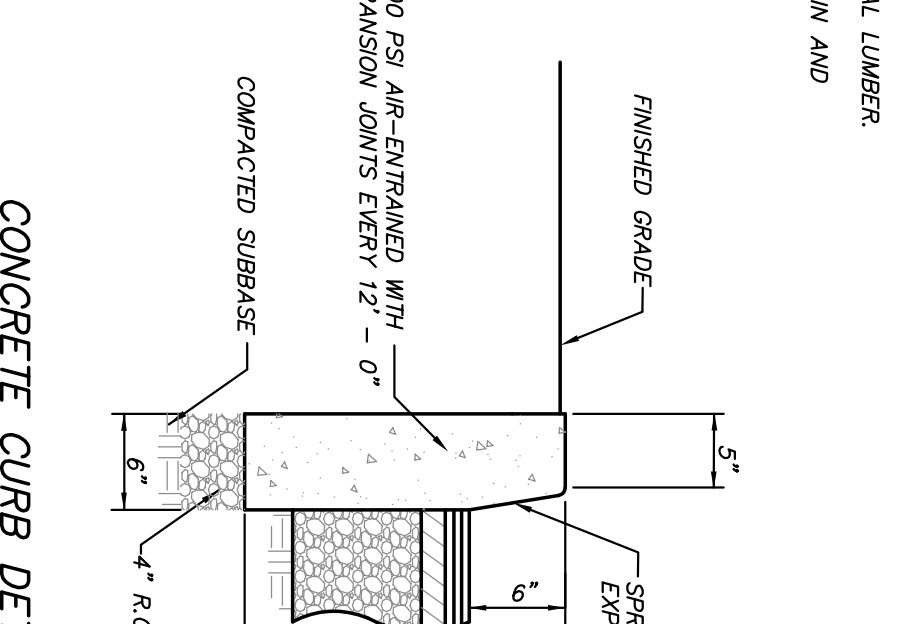
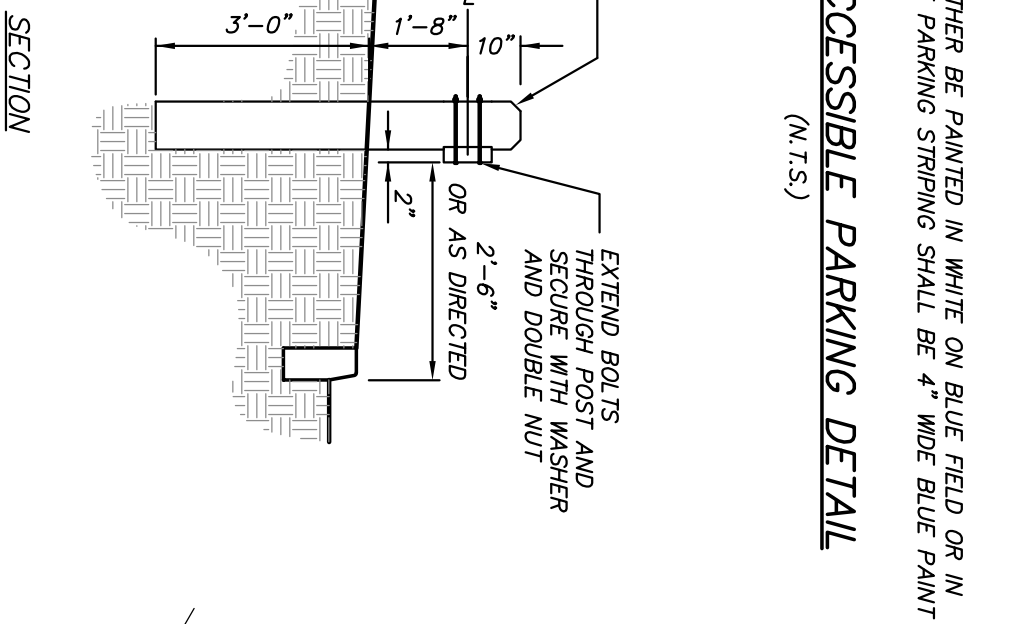
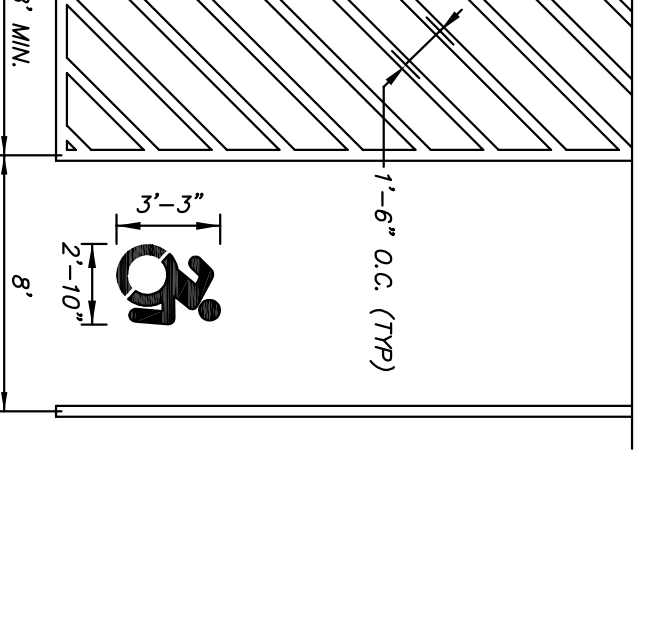
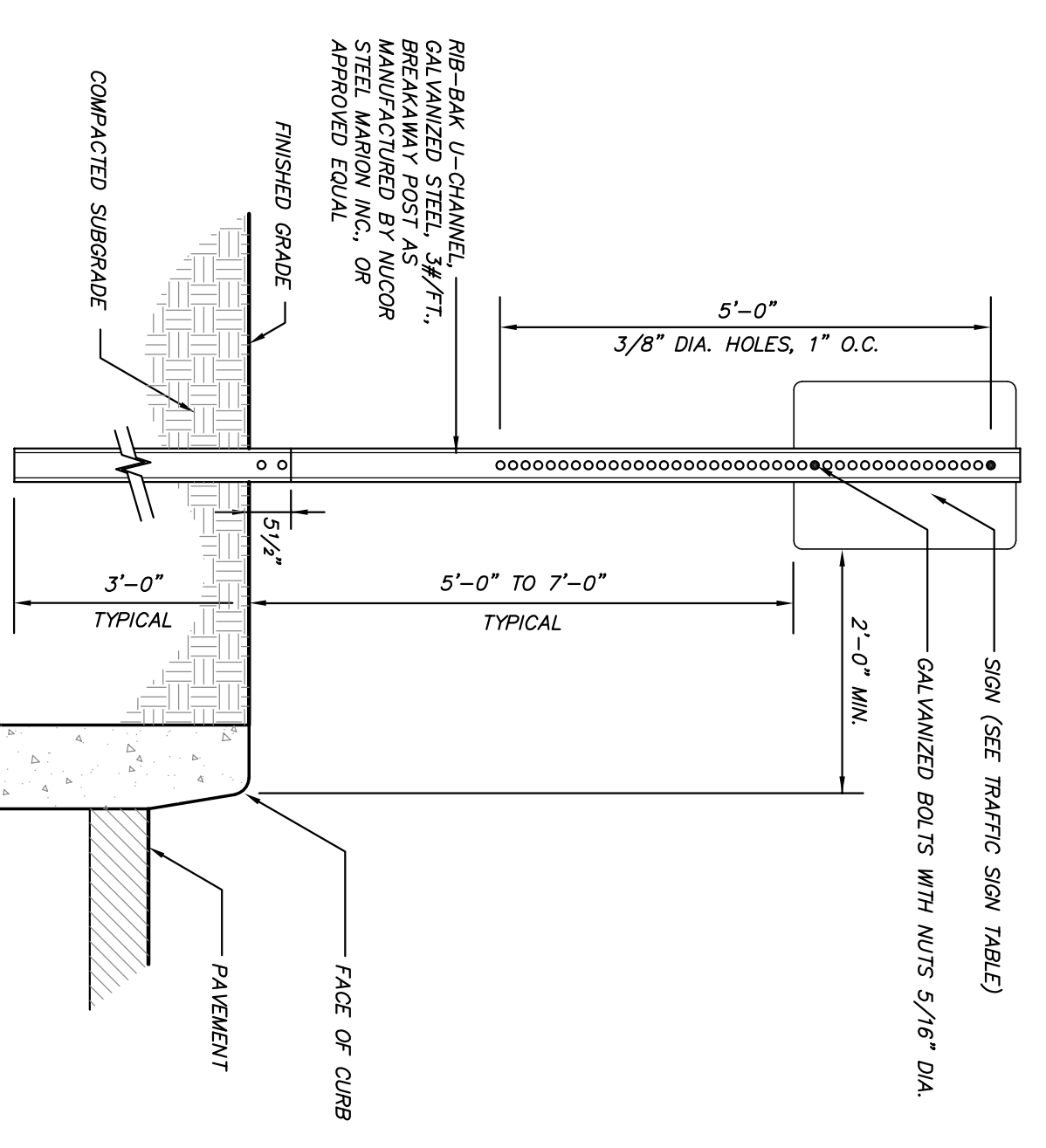
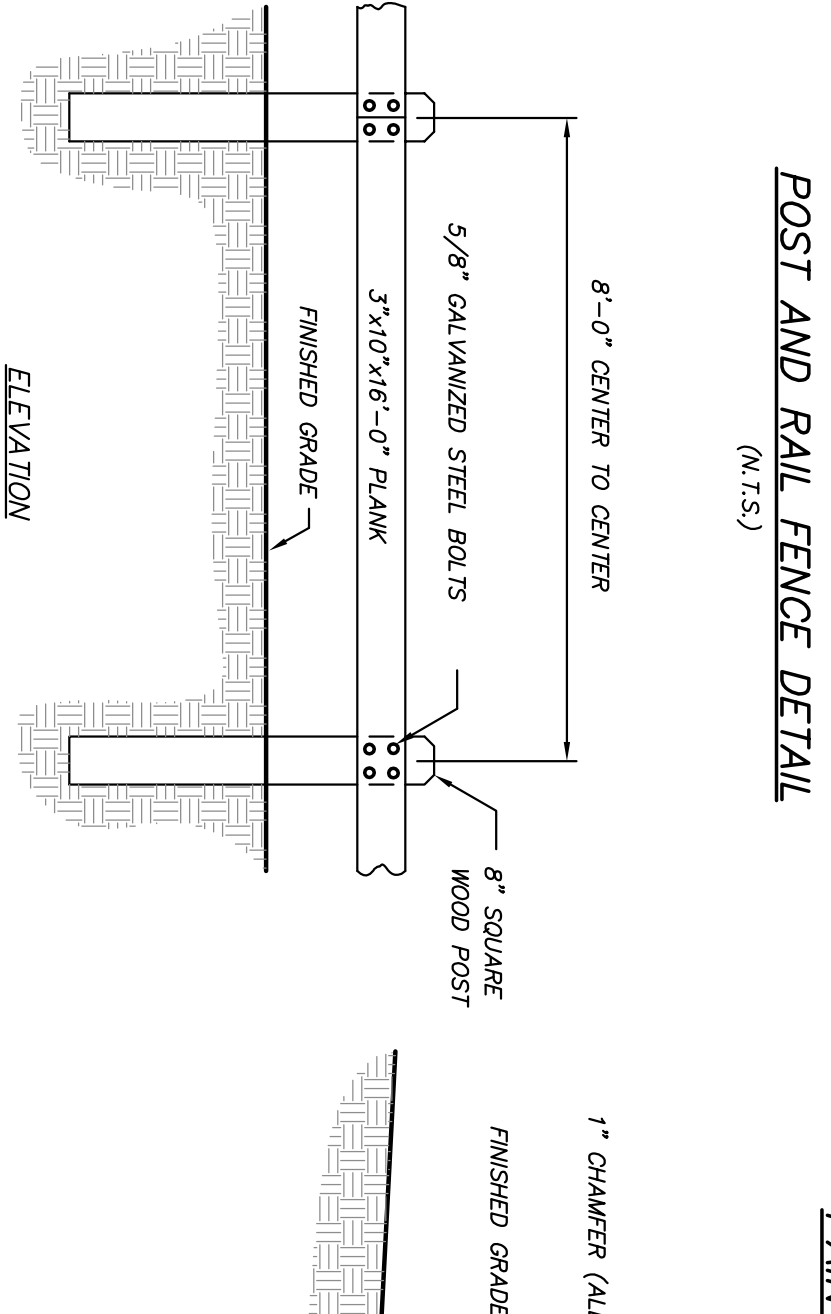
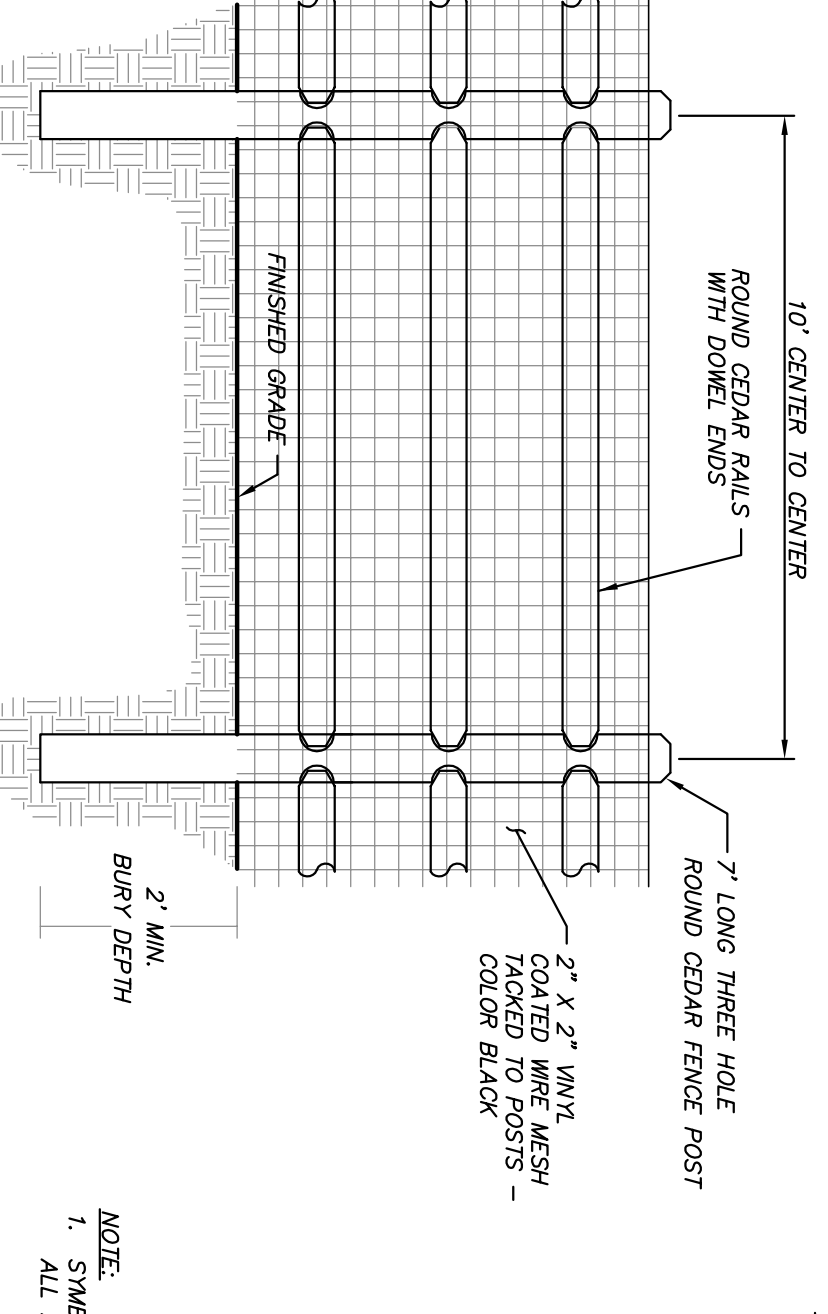
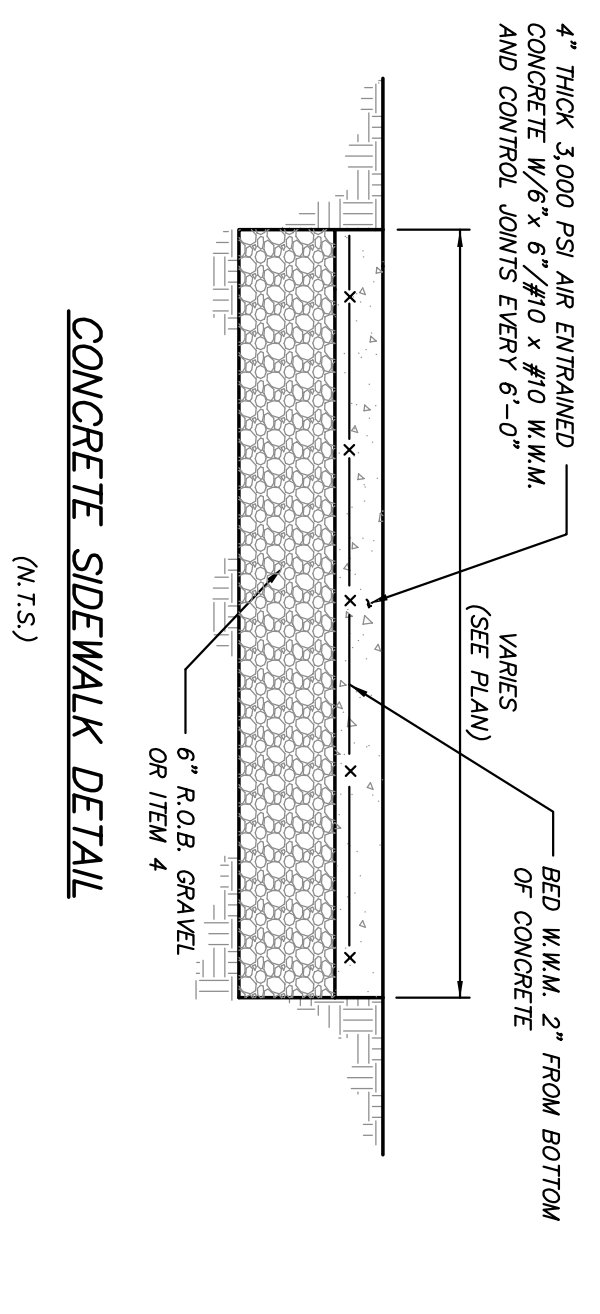
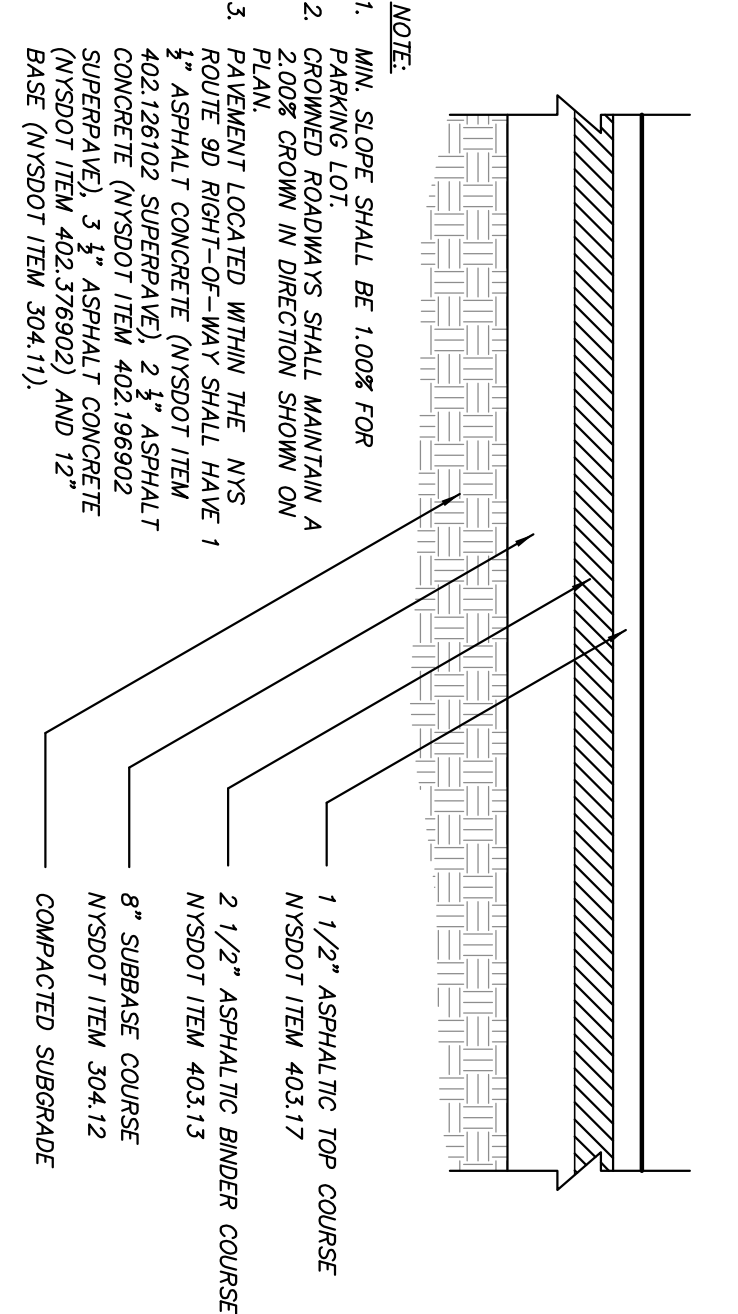
**INTRODUCTION** - LED luminaires provide a wide range of lighting options for outdoor applications. The RV6 LED is a high quality, high performance luminaire that is ideal for replacing 100-250W metal halide in areas getting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

LIGHT POLE BASE DETAIL (N.T.S.)



POLE MOUNTED LIGHT DETAIL (N.T.S.)





**GENERAL NOTES FOR ACCESSIBLE ROUTES ON THE SITE:**

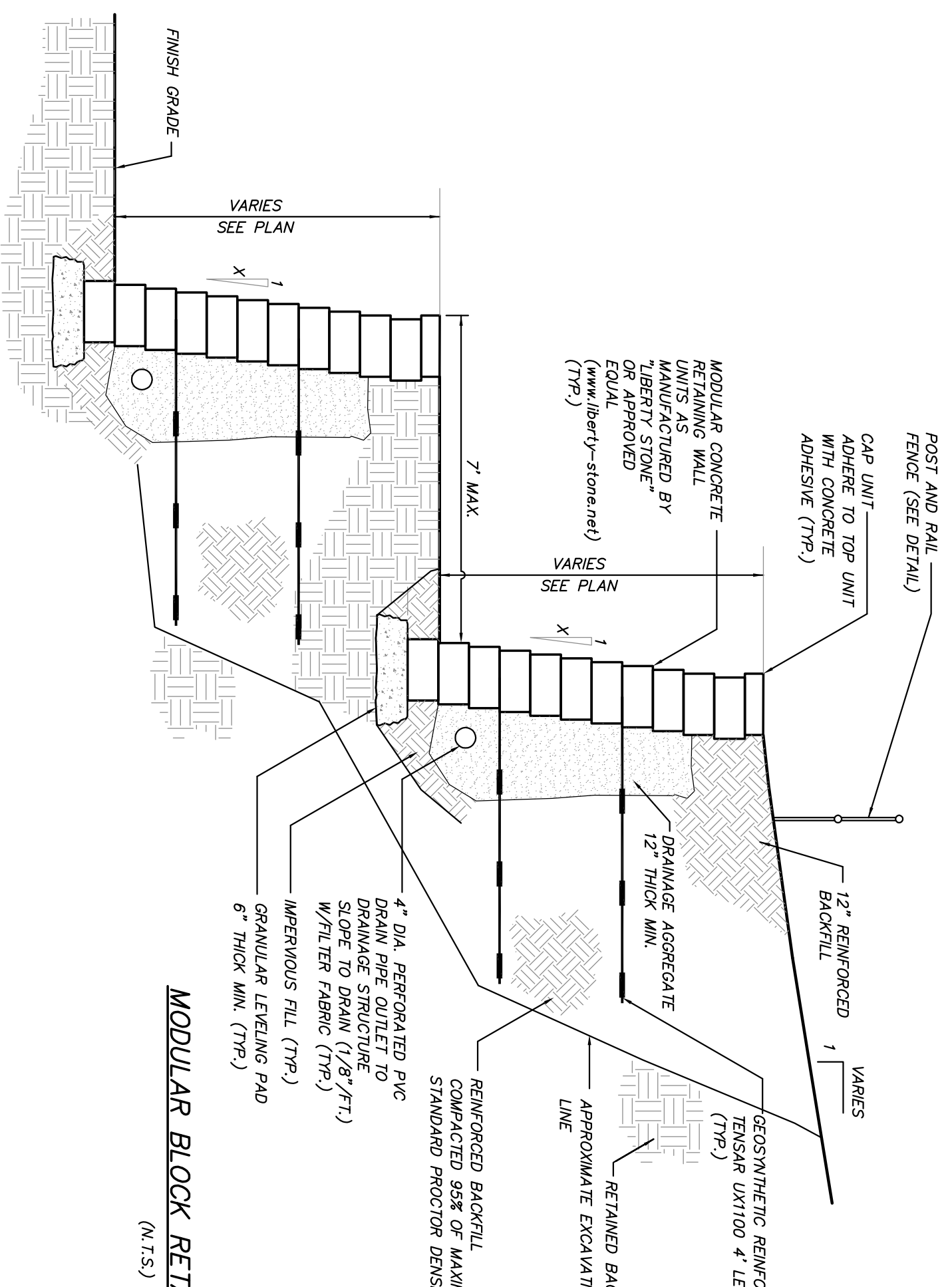
- ACCESSIBLE ROUTES ON THE SITE INCLUDE MARKED ACCESSIBLE PARKING SPACES AND ACCESSIBLE SIDEWALK CURB RAMPS, WALKWAYS AND RAMPS.
- MARKED ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:50 (2%).
- SIDEWALK CURB RAMPS SHALL COMPLY WITH THE FOLLOWING ITEMS AS APPLICABLE:
  - WALKING SURFACES OF SIDEWALK CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
  - THE CROSS SLOPE OF SIDEWALK CURB RAMPS SHALL NOT EXCEED 1:12 (8.3%).
  - OF WATER AND BLENDED TRANSITIONS SHALL BE CONSTRUCTED TO PREVENT THE ACCUMULATION OF WATER.
  - WHERE PROVIDED, SIDE FLARES FOR CURB RAMPS SHALL NOT BE STEEPER THAN 1:10 (10%).
  - LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE 36 INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE 36 INCHES MINIMUM. THE CLEAR HEIGHT OF THE LANDING SHALL BE 44 INCHES MINIMUM. WHERE DETECTABLE WARNING ARE PROVIDED ON CURB RAMPS, THEY SHALL BE 24 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB EDGE NEAREST THE CURB LINE IS 8 INCHES MINIMUM FROM THE CURB EDGE NEAREST THE CURB LINE IS 8 INCHES MINIMUM.
  - REFER TO SIDEWALK CURB RAMP DETAILS FOR ADDITIONAL INFORMATION.
- WALKWAYS ALONG AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE FOLLOWING ITEMS AS APPLICABLE:
  - WALKING SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
  - VERTICAL CHANGES IN LEVEL ALONG WALKING SURFACE SHALL NOT EXCEED 1/4\"/>
- THE RUNNING SLOPE OF THE WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%).
- THE CROSS SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:50 (2%).
- SPACES AT INTERVALS OF 200 FEET MAXIMUM. PASSING SPACES SHALL BE 80 INCH MINIMUM BY 80 INCH MINIMUM.
- RAMPS ALONG AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE FOLLOWING ITEMS:
  - RAMPS SHALL HAVE A RUNNING SLOPE GREATER THAN 1:20 (5%) AND NOT STEEPER THAN 1:12 (8.3%).
  - THE CROSS SLOPE OF RAMPS SHALL NOT EXCEED 1:50 (2%).
  - THE SURFACES OF RAMPS SHALL BE STABLE, FIRM AND NOT STEEPER THAN 1:50 (2%).
  - THE CLEAR WIDTH OF A RAMP RUN SHALL BE 36 INCHES MINIMUM OR AS SHOWN, HANDRAILS SHALL BE PROVIDED AT THE TOP OF RAMP RUNS AND ASSOCIATED LANDINGS SHALL BE PROVIDED.
  - THE MAXIMUM RISE FOR ANY RAMP IS 2'-6\"/>
- ADJACENT FINISHED GRADES ALONG SIDES OF RAMPS SHALL NOT HAVE A VERTICAL DROPOFF OF MORE THAN 6\"/>

NO.	DATE	REVISIONS PER CITY CONSULTANT COMMENTS	REVISIONS FOR PLANNING BOARD SUBMISSION
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION	

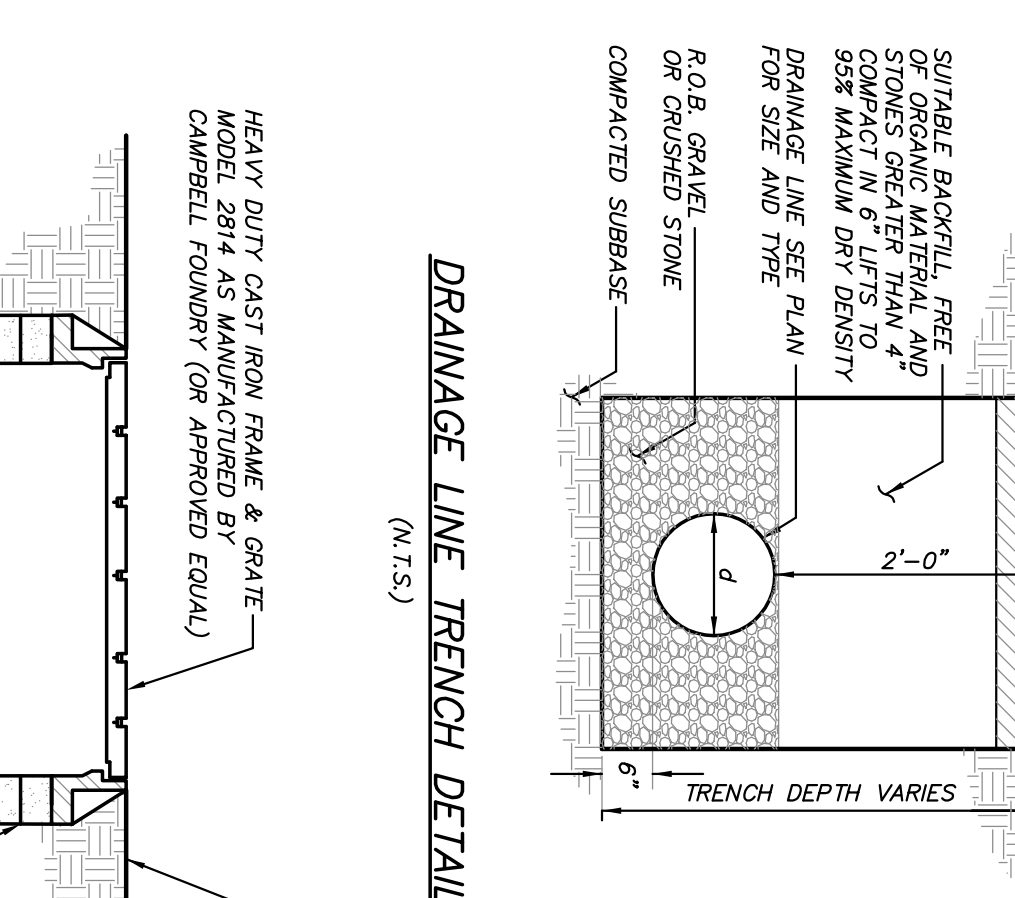
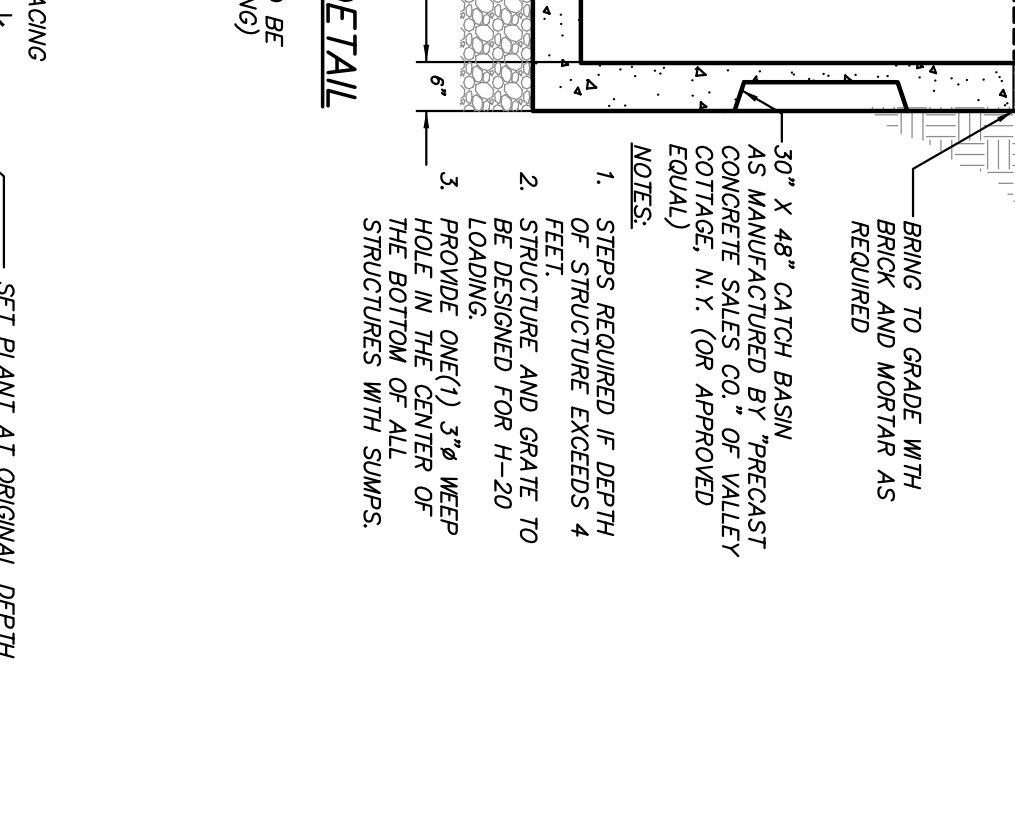
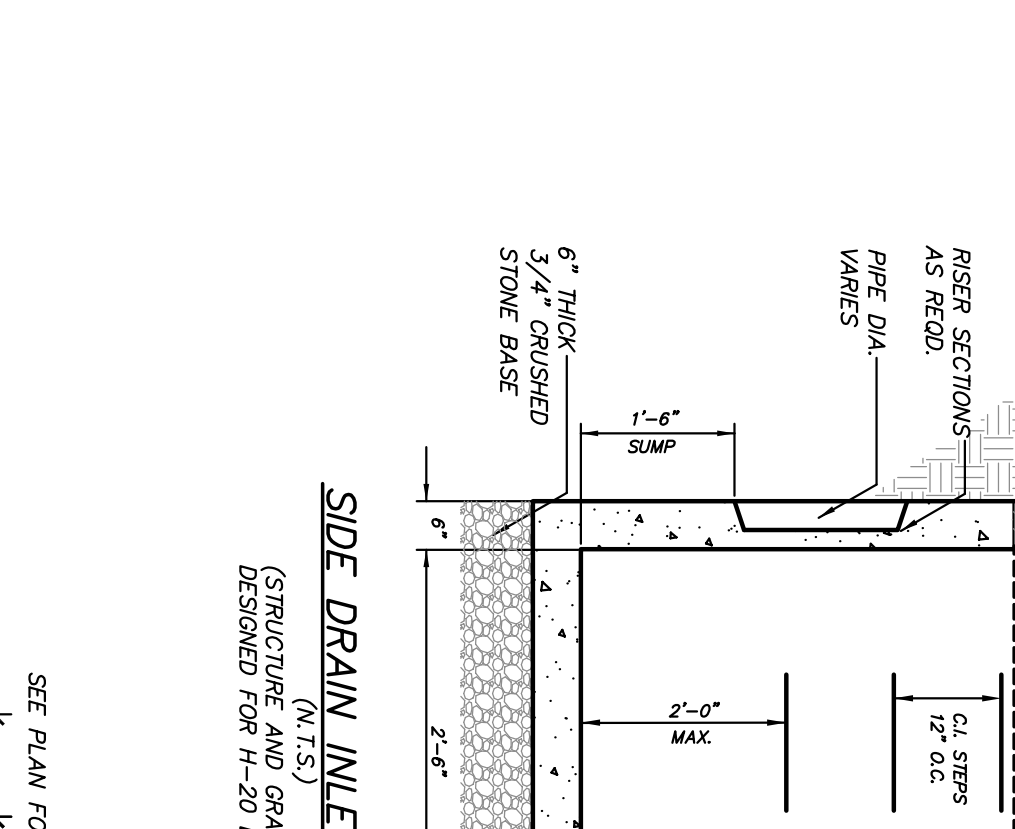
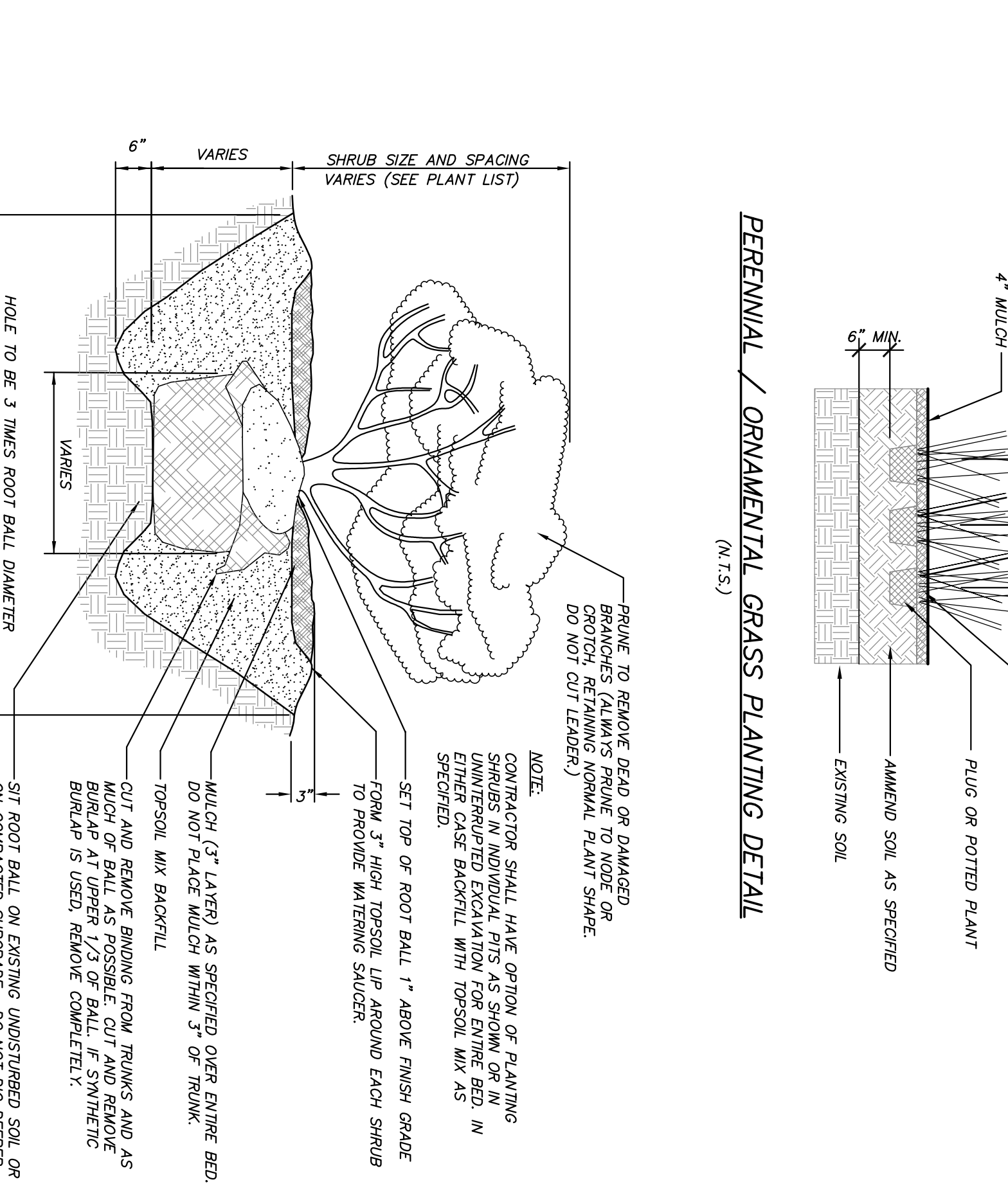
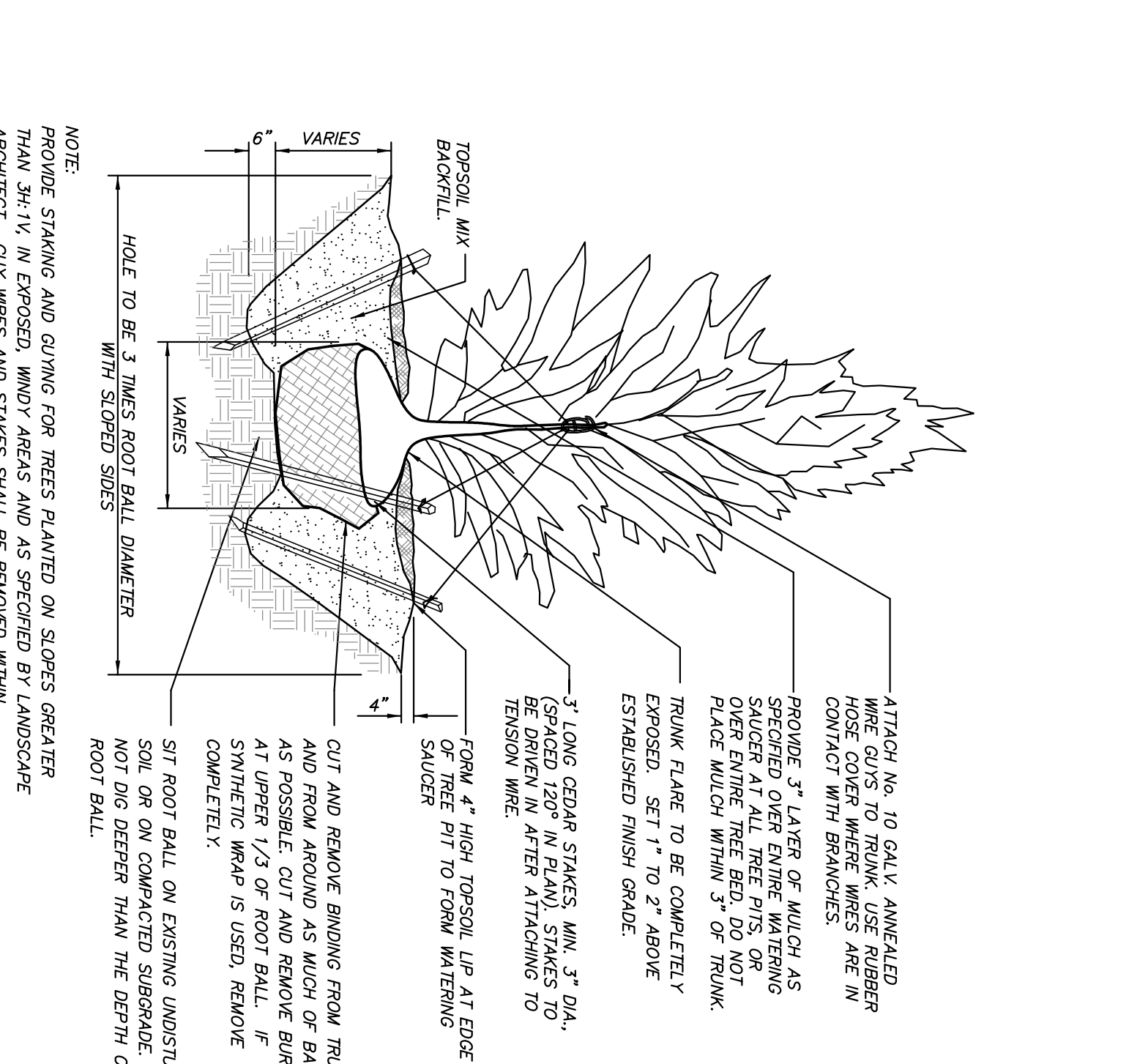
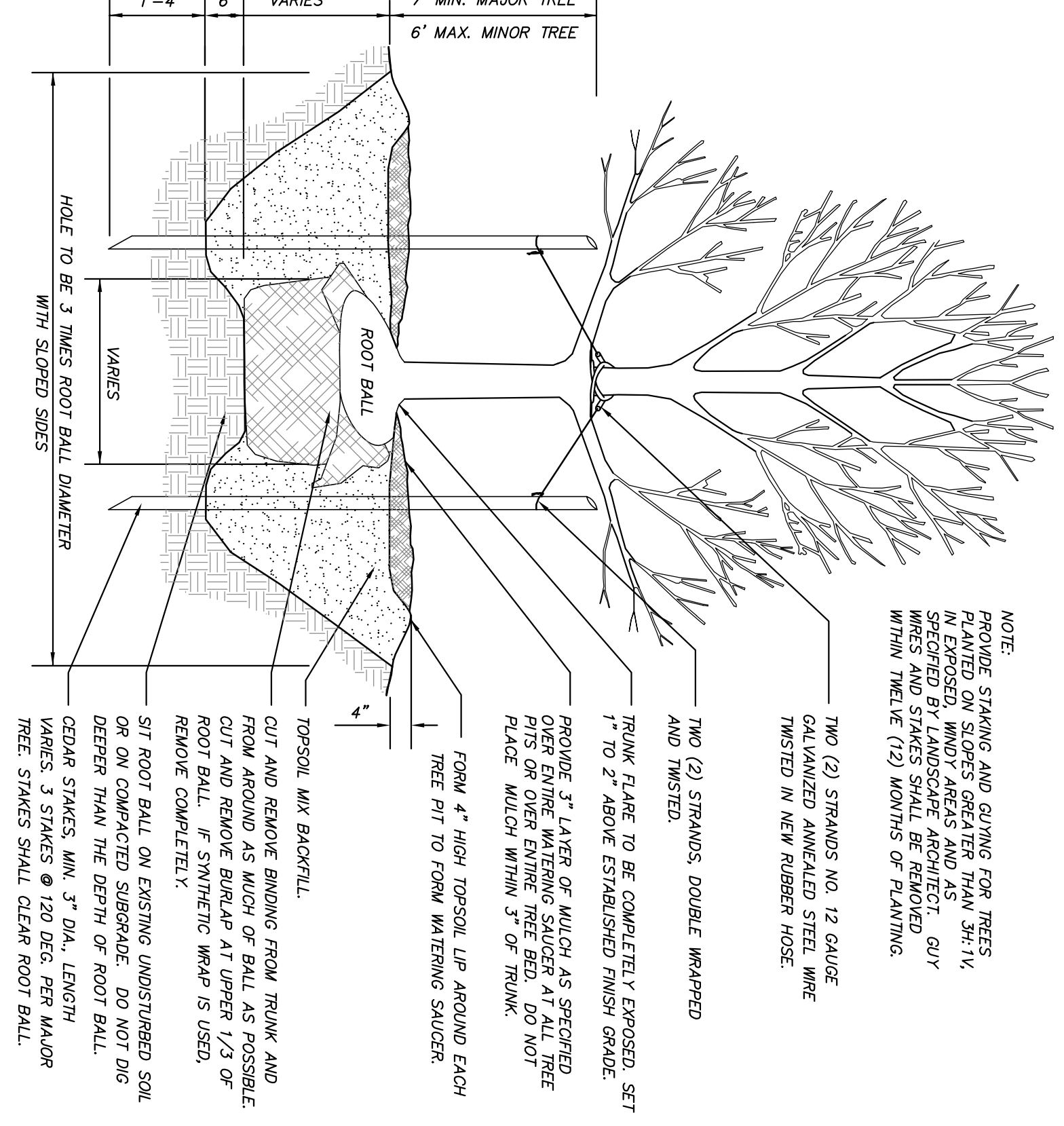
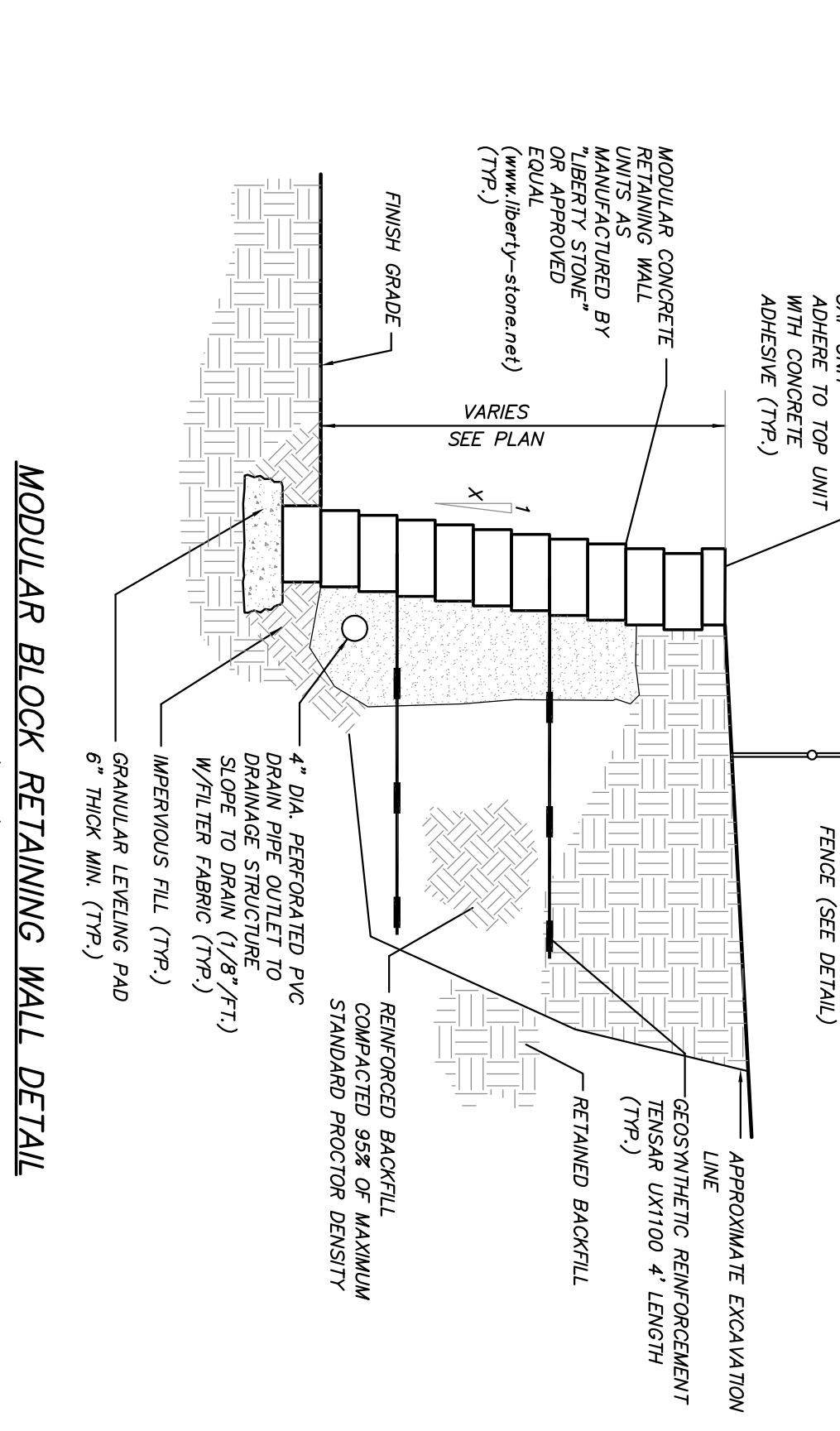
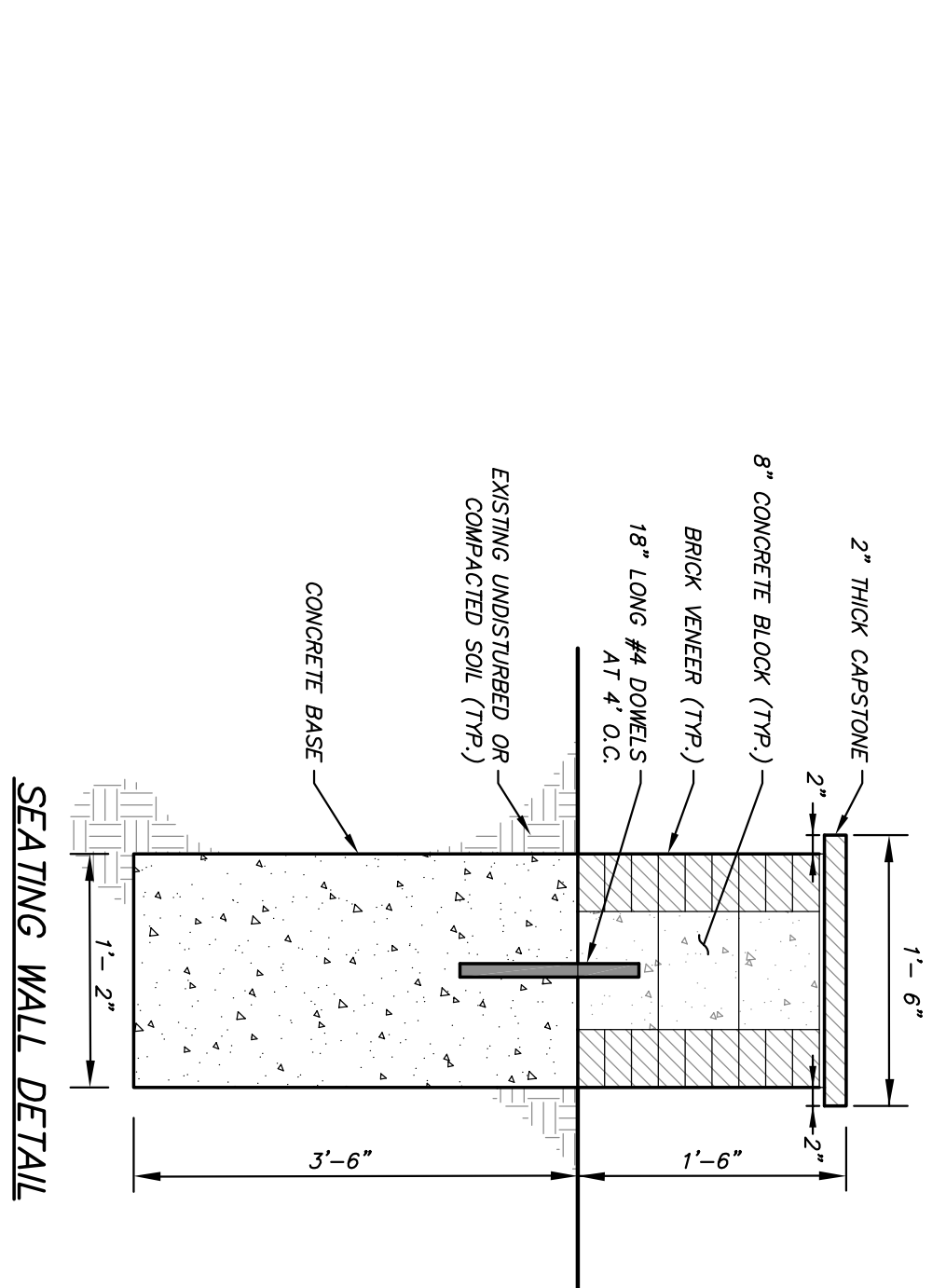
**WEST END LOFTS**  
 16226 100  
 MANAGER  
 DATE 10-25-16  
 AS SHOWN

**LANDSCAPE ARCHITECTURE, P.C.**  
 3 Garrett Place  
 (949) 225-9890  
 www.halfe-arc.com

PROJECT NO.	PROJECT MANAGER	DATE	DRAWING NO.	SHEET
16226-100	J.L.C.	10-25-16	D-1	9
SCALE	AS SHOWN	DATE	BY	J.L.L.



- NOTES:**
- STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALLOWMENT.
  - BENCH CUT ALL EXCAVATED SLOPES.
  - DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE ENGINEER TO REMOVE UNSOUND SOIL.
  - REINFORCEMENT SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT.
  - LEVELING PAD SHALL CONSIST OF COMPACTED COARSE SAND OR CRUSHED GRAVEL, 6" THICK MIN.
  - CONTRACTOR MAY OPT FOR A LEAN CONCRETE PAD. CONCRETE PAD SHALL BE MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 6"
  - FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPACTED.
  - DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINISH GRADE.
  - COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698)
  - COMPACTOR TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER.
  - COMPACTION WITHIN 3 FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
  - GEOSYNTHETIC SHALL BE PLACED WITH STRONGEST DIRECTION PERPENDICULAR TO WALL.
  - CONTRACTOR SHALL DIRECT SURFACE RUNOFF TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION.
  - ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TOB SHALL FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
  - MODULAR BLOCK RETAINING WALL AT STEPS TO BE INSTALLED VERTICALLY (NO BATTER)
  - MODULAR BLOCK RETAINING WALL MANUFACTURER TO SUPPLY A STRUCTURAL REPORT AND CONSTRUCTION DETAILS OF EACH WALL SHOWN AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF NEW YORK.



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2309 OF ARTICLE 174 OF THE EDUCATION LAW.

**TREE PLANTING DETAIL (N.T.S.)**

**EVERGREEN TREE PLANTING DETAIL (N.T.S.)**

**SHRUB PLANTING DETAIL (N.T.S.)**

**PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL (N.T.S.)**

**SHRUB PLANTING DETAIL (N.T.S.)**

**SEATING WALL DETAIL (N.T.S.)**

**MODULAR BLOCK RETAINING WALL DETAIL (N.T.S.)**

**MODULAR BLOCK RETAINING WALL DETAIL (N.T.S.)**

**CATCH BASIN DETAIL (N.T.S.)**

**DRAINAGE MANHOLE DETAIL (N.T.S.)**

**DRAINAGE LINE TRENCH DETAIL (N.T.S.)**

**18" X 18" YARD DRAIN DETAIL (N.T.S.)**

NO.	DATE	REVISIONS PER CITY CONSULTANT COMMENTS	CITY
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	CITY
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	CITY
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION	MCU

PROJECT: WEST END LOFTS  
 3 Garrett Place  
 West End Lofts  
 (646) 225-9890  
 (646) 225-9717 fax  
 www.hste-ny.com

PROJECT NUMBER: 16226.100  
 PROJECT MANAGER: J.L.C.  
 DATE: 10-25-16  
 DRAWN BY: C.T.O.  
 CHECKED BY: J.L.L.  
 SCALE: AS SHOWN

DRAWING NO. D-2  
 SHEET 10 OF 13







May 5, 2017

Mr. James Sheers  
Beacon Planning Board  
City of Beacon City Hall  
1 Municipal Plaza  
Beacon, NY 12508

RE: Site Plan and Traffic Review for "West End Lofts," City of Beacon, NY;  
CM Project #117-083.1

Dear Mr. Sheers:

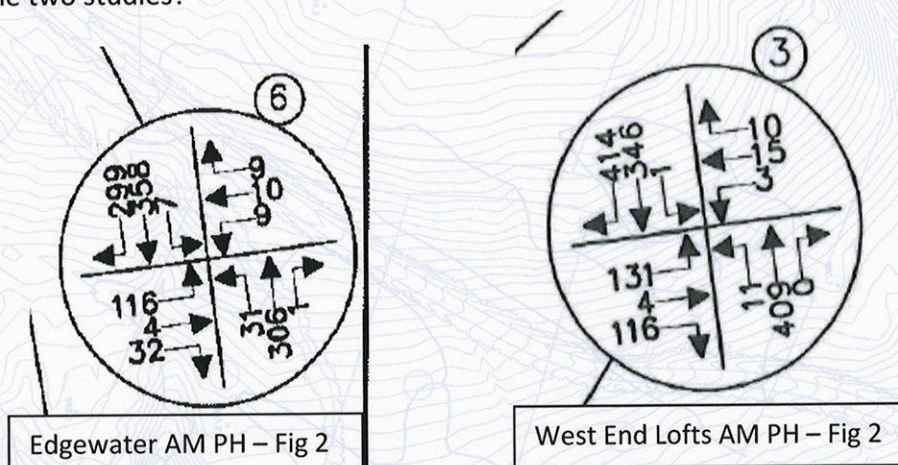
We are in receipt of the Traffic Impact Study dated March 24, 2017, prepared by Maser Consulting and the Site Plan prepared by INSITE, last revised on April 25, 2017. After reviewing these materials and conducting a site visit, we offer the following comments:

Site Plan

1. The sight distances at exiting to Wolcott Avenue appear reasonable for up to a 40 mph design speed.
2. Has the fire department reviewed the on-site circulation for any access restrictions?
3. We support the pedestrian cross connection to The Views and access to Beekman Street. Does the Board feel the creation of this connection will encourage residents on or nearby Beacon Street to walk through the project to Beekman Street and the train station? Does the applicant have any objections to this occurring? Does this warrant the installation of a crosswalk across Wolcott Avenue?

Traffic Study

4. We note some differences in the existing traffic volumes between the Edgewater study and the West End Loft study. For example, the Beekman Avenue/West Church Street/Route 9D intersection has a few movements that are 80 to 115 vehicles different (below). Were different volumes used at the common intersections between the two studies?



5. A background growth factor of 2% was used; however, our review of historical traffic volumes on Route 9D (2005 to 2012) revealed traffic growth of 3.46% per year.



6. The study included background traffic from other development projects including The Views, Edgewater, and the 555 South Avenue project. We defer to the Planning Board as to whether this adequately includes nearby projects.
7. We concur with the trip generation estimate based on ITE sources, noting that no credit was taken for pedestrian trips destined for the train station. We expect that West End residents will find it more convenient to walk (+/-1,600 ft) to the station rather than drive and park. Are the Tompkins Terrace Apartments a comparable trip generator to which the traffic/pedestrian trip generation could be applied to West End?
8. We concur with the trip distribution.
9. The Route 9D (Wolcott Avenue) intersections with the site driveway and the Municipal Center/Main Street intersections are expected to operate adequately as proposed.
10. The Route 9D/Beekman Street/W. Church Street intersection is expected to operate at LOS F on the southbound approach during the AM peak hour and PM peak hours under No-Build conditions, with minimal increases in delay due to the project.

That being said, signal timing adjustments, as offered in the study, consisting of decreasing the northbound left turn movement to only 2 seconds of maximum green, along with some other changes will improve the condition to LOS D in the AM peak hour. However, it is our opinion that the change to the northbound left turn movement will generate complaints from motorists that the green is too short. In the PM peak hour, the northbound left turn movement is changed from a leading phase (comes up first) to a lagging phase (green ball first, then green arrow later). This, with other changes, will alleviate the LOS F operation, but the City should consider driver expectations with the change in phase order. Can the delays at this intersection be minimized while keeping the left turn phase at the beginning?

11. Overall, there are some differences in intersection operations when comparing the West End report to the Edgewater report for those intersections that they have in common. This may be explained based on the response to comment #4.

In summary, we offer the above comments for the Boards consideration, and if appropriate, request responses from the applicants representatives.

If you have any questions about the above comments, please don't hesitate to contact our office.

Respectfully,  
*Creighton Manning Engineering, LLP*

  
Kenneth Wersted, PE, PTOE  
Associate

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**475 Main Street**

**Subject:**

Continue review of application for Special Use Permit, retail/residential building renovation and addition, submitted by 605 N. Macquesten Pkwy, LLC, 475 Main Street

**Background:**

**ATTACHMENTS:**

Description	Type
475 Main - Cover Letter	Cover Memo/Letter
475 Main - Full EAF	EAF
475 Main - Site Plan	Plans
475 Main - Planner Review	Consultant Comment
475 Main - Engineer Review	Consultant Comment

# ARYEH SIEGEL

ARCHITECT

Jay Sheers - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: 475 Main Street**  
*Special Use Permit Application*

April 25, 2017

Dear Mr. Sheers,

Please find below our response to John Clarke Planning & Design comments in his Memorandum dated April 7, 2017 regarding the Edgewater project. Please note that a separate letter from Hudson Land Design addresses specific engineering comments from Lanc & Tully's April 4, 2017 Memorandum.

## **John Clarke Planning & Design Comment Responses:**

1. The EAF has been revised and resubmitted
2. The building elevations are shown on the drawings, and all new windows are marked as "NEW" on the elevations.
3. The FAR calculation has been corrected; and the site areas have been correlated.
4. Copies of the original signed and sealed survey are submitted along with this submission.
5. The building inspector concurred with the 1964 parking waiver
6. The landscaping has been updated, and a planting schedule included in the drawings.
7. The City Attorney is making a determination about the requirement for a Special Use Permit, since there is a variance in place for the multi-family residential use.
8. No comment. The project requires a Certificate of Appropriateness.

**ARYEH SIEGEL**  
ARCHITECT

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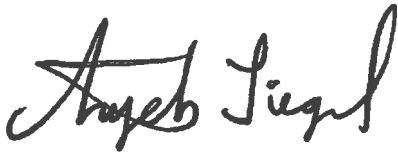
**Lanc & Tully Comment Responses:**

**General Comments**

1. An I & I study will be conducted.
2. The retaining wall section has been enlarged, for legibility.
3. The retaining wall elevation has been enlarged, for legibility.
4. Proposed grading will be shown on the next submission
5. Top and bottom of retaining wall is shown on the elevation
6. Erosion control will be shown and detail on the next submission

Thank you. Please let me know if you have any questions.

Sincerely,



Aryeh Siegel  
*Aryeh Siegel, Architect*

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: 475 Main Street		
Project Location (describe, and attach a general location map): 475 Main Street near the corner of Tioronda Avenue		
Brief Description of Proposed Action (include purpose or need): Renovation of, and vertical addition to, existing 3 story masonry building. The addition will add 2 floors on top of the existing 1 story section at the rear of the building. A total of 7 apartments and 1 retail space will be created as a result of the renovation and addition.		
Name of Applicant/Sponsor: 605 N. Macquesten Pkwy, LLC		Telephone: (914) 484-2606
		E-Mail: jeffmear@themeargroup.com
Address: 101 Castleton Street #206		
City/PO: Pleasantville,	State: NY	Zip Code: 10570
Project Contact (if not same as sponsor; give name and title/role): Jeff Mear		Telephone: (914) 484-2606
		E-Mail: jeffmear@themeargroup.com
Address: 101 Castleton Street #206		
City/PO: Pleasantville	State: NY	Zip Code: 10570
Property Owner (if not same as sponsor):		Telephone: (914) 484-2606
		E-Mail: jeffmear@themeargroup.com
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	City Council - Special Use Permit	April 21, 2017
b. City, Town or Village <input type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board - Special Use Permit / Site Plan	March 28, 2017
c. City Council, Town or <input type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
Central Business zone, with Parking overlay and Historic overlay

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?  
City of Beacon

c. Which fire protection and emergency medical services serve the project site?  
City of Beacon

d. What parks serve the project site?  
Memorial Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Multi-family residential and commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 0.12 acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ 0.02 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 0.12 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_ 7 units

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	7
At completion of all phases	_____	_____	_____	7

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,  
 i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,  
 i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No  
 If Yes:  
 i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:  
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_



*ii.* Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

*iii.* Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

*iv.* Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

*v.* Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

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*c.* Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

*i.* Total anticipated water usage/demand per day: \_\_\_\_\_ 660 gallons/day

*ii.* Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: City of Beacon
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

*iii.* Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

*iv.* Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

*v.* If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

*vi.* If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

*d.* Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

*i.* Total anticipated liquid waste generation per day: \_\_\_\_\_ 450 gallons/day

*ii.* Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary wastewater

*iii.* Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? _____</li> <li>• Will line extension within an existing district be necessary to serve the project? _____</li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____ _____</li> </ul>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____ _____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____</p>	
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?          _____ Square feet or _____ acres (impervious surface)          _____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____ _____</p> <ul style="list-style-type: none"> <li>• If to surface waters, identify receiving water bodies or wetlands: _____ _____</li> <li>• Will stormwater runoff flow to adjacent properties? _____</li> </ul>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	8am to 5pm	• Monday - Friday:	8am to 10pm
• Saturday:	8am to 5pm	• Saturday:	8am to 10pm
• Sunday:	8am to 5pm	• Sunday:	8am to 10pm
• Holidays:	8am to 5pm	• Holidays:	8am to 10pm

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Low, post mounted path lights. All light sources shall be shielded to eliminate spreading onto neighboring properties  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

---

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.08	0.08	0
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.04	0.04	0
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
\_\_\_\_\_

iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
\_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 6 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Ur (Urban Land) \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ N/A feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 5 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_



<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site    <input checked="" type="checkbox"/> Historic Building or District</p> <p>ii. Name: <u>Howland Cultural Center, Historic Overlay District</u></p> <p>iii. Brief description of attributes on which listing is based: <u>Historic Building</u></p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site?</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?</p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jeff Mear Date March 28, 2017

Signature \_\_\_\_\_ Title \_\_\_\_\_

**PRINT FORM**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**PLANT SCHEDULE**

QUANTITY	KEY	BOTANIC NAME	COMMON NAME	SIZE	COMMENTS
6	S-IG	<i>Ilex glabra</i>	Shamrock	30-36"	
1	S-POI	<i>Physocarpus opulifolius</i>	Isabella	3-5'	
2	S-POC	<i>Physocarpus opulifolius</i>	Cooperina	3-5'	
21	S-CP	<i>Comptonia peregrina</i>	Sweet Fern	1 gal	
7	S-PS	<i>Philox stolonifera</i>	Bruce's White	1 pt	

**Zoning Regulations Table**

Zoning District	Required Setbacks			Proposed Setbacks			Lot Depth Required	Lot Depth Existing	Maximum Building Coverage	Proposed Building Coverage	Allowable Building Height	Proposed Building Height	Zoning District Area	Allowable FAR	Allowable Floor Area	Proposed Floor Area
	Front	Side	Rear	Front	Side	Rear										
CB	0'	20**	25**	0*	1.6'	6.7'	100	100	NA	NA	35'	35' no change	5,362 sf	2	10,724 sf	9,048 sf

\* Existing Condition to remain. No driveway is proposed between building and lot line, Not abutting a residential district  
 \*\* Abutting residential districts or where driveway is proposed between building and lot line.



**L2: Wall Mounted**

HUBBARDTON FORGE "HOOD" OUTDOOR DARK SKY COMPLIANT WALL SCONCE #306563. 15" HIGH X 6 1/2" WIDE. BURNISHED STEEL FINISH. 60 W INCANDESCENT LAMP



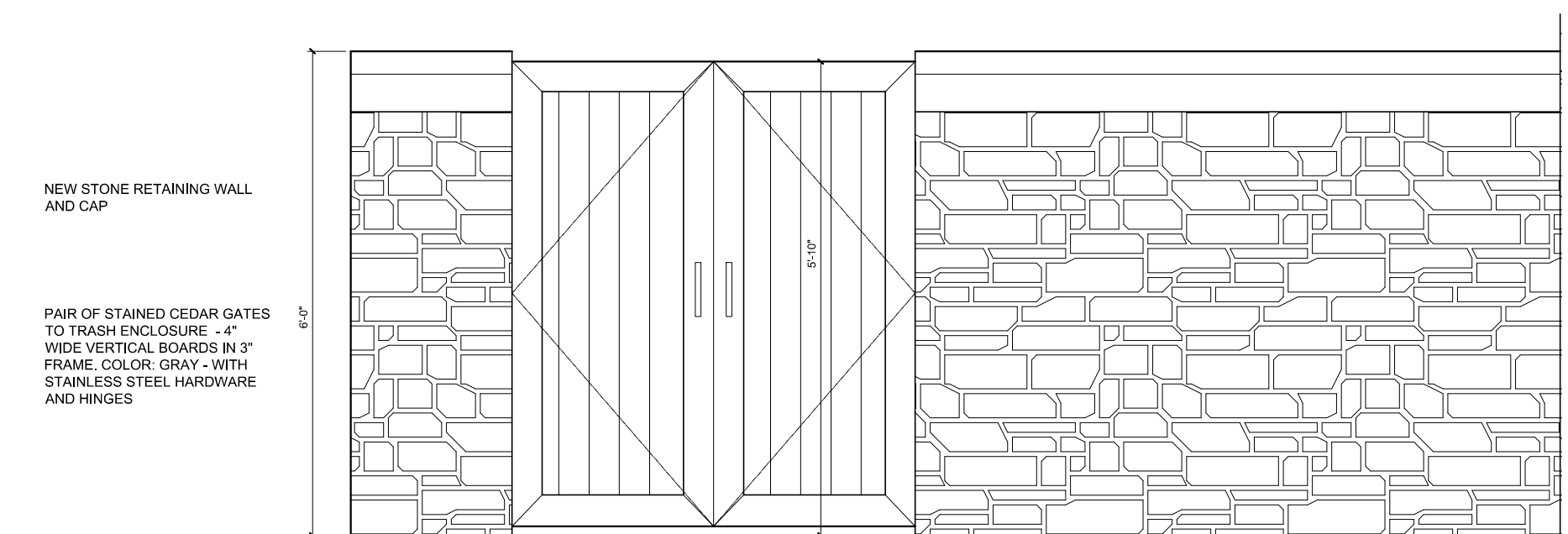
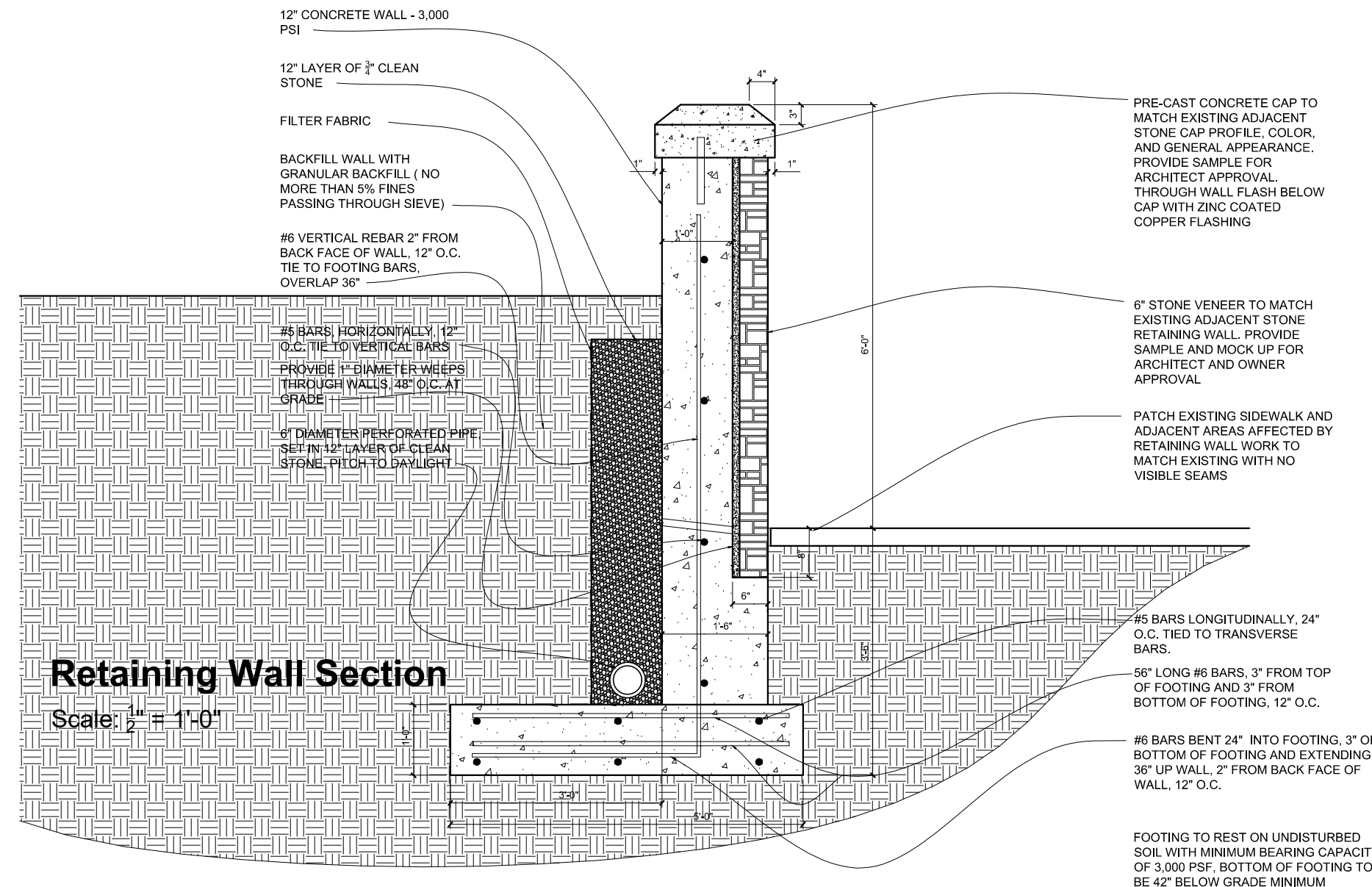
**L1: Pathway Light**

JOHN TIMBERLAND THREE-TIER PAGODA LOW VOLT BRONZE 4 WATT LED LANDSCAPE PATH LIGHT - STYLE # 2C488 (OR APPROVED EQUAL)

NOTE: THE MANUFACTURERS DO NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES ARE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

**Lighting**

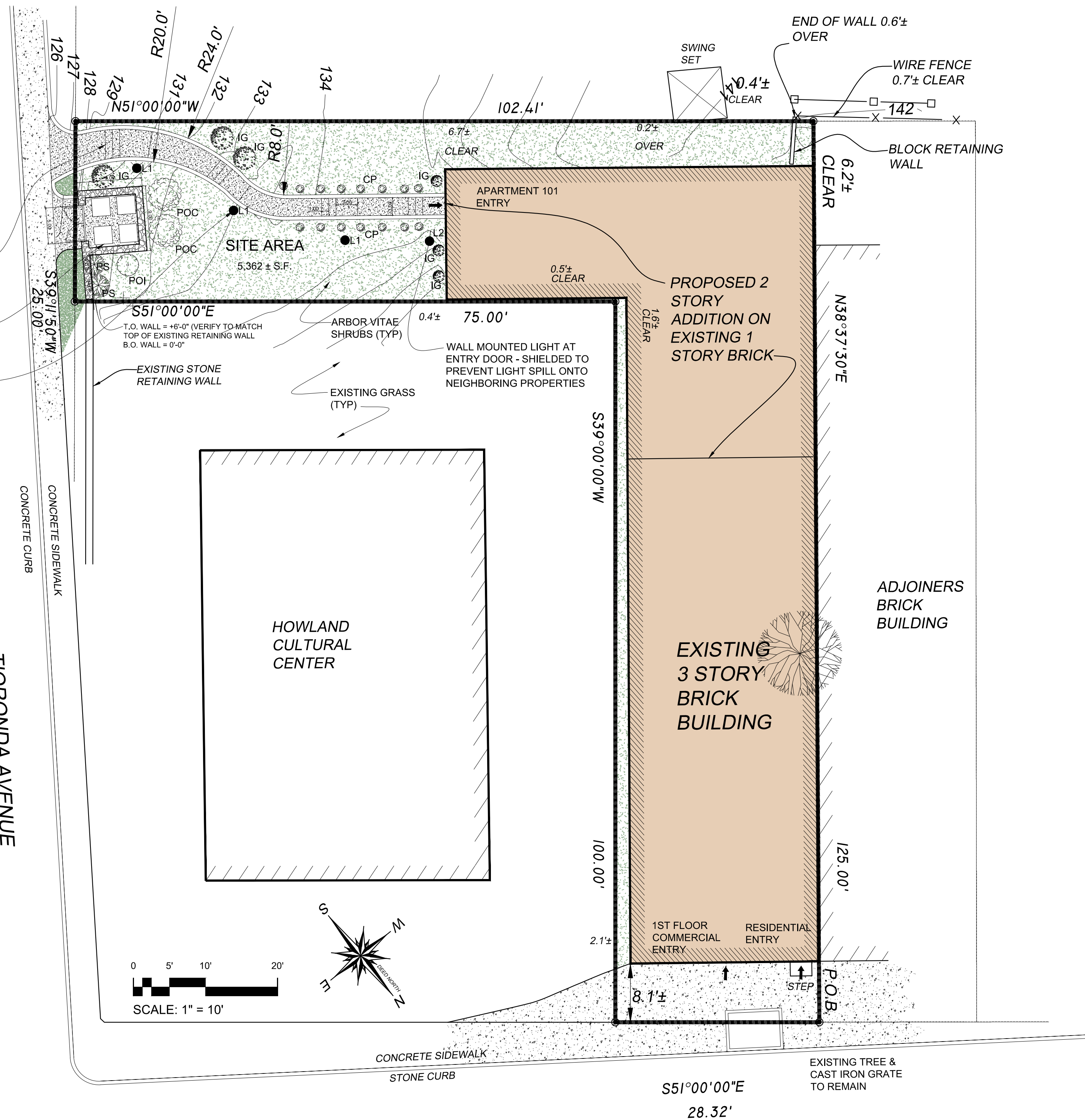
Not to Scale



EXTEND AND RECONFIGURE EXISTING BRICK RETAINING WALL AND CONCRETE PATH TO SIDEWALK - COMBINE STEPS AND 1:10 MAXIMUM RAMP BETWEEN SIDEWALK AND LANDING AT BUILDING

NEW 6" HIGH STONE-FACED CONCRETE RETAINING WALL & TRASH ENCLOSURE WITH WOOD GATE

PATH LIGHTING - SHADE TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES



**Site Plan**

Scale: 1" = 10'



**Location Map**

Not to Scale

**Zoning Summary**

Zoning District	CB (Central Business)
Tax Map No.	6054-37-076730
Lot Area	0.12 Acres
Building Footprint	3,015 square feet
Historical Overlay District	Yes
Parking Overlay District	Yes
Existing Use	Retail Art Gallery / Residential (single unit)
Proposed Use	R-2 Residential (7 units) / Retail / Retail Art Gallery

**Parking & Loading**

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
<b>Residential</b>				
1964 - 1 1/2 spaces per dwelling unit	0 apartments	0 parking spaces		
Present - 1 space per apartment plus 1/4 space per bedroom			(7) apartments (10) bedrooms	10 parking spaces
<b>Retail</b>				
1964 - 1 space per 200 sf gross area excluding basement and utility areas	1,625 sf	9 parking spaces		
Present - 1 space per 200 sf gross area, excluding utility areas			800 sf	4 parking spaces
<b>Office</b>				
1964 - 1 space per 250 sf gross area excluding basement and utility areas	1,846 sf	8 parking spaces		
<b>Total Required Parking Spaces</b>		<b>17 Parking Spaces</b>		<b>14 Parking Spaces</b>
<b>Total Proposed Parking Spaces</b>				<b>0 Parking Spaces (Note 2)</b>

**Notes:**

- No parking is required per Beacon Zoning Code Section 223-26 (B.2). The building was in existence on April 20, 1964. The new use is less than 25% greater intensity than the use existing in 1964. 17 parking spaces would have been required in 1964 for the uses in existence at that time. 14 parking spaces are required for the current proposed uses.
- The existing use in 1964 was retail (hardware store) at the 1<sup>st</sup> floor, and professional legal offices on the 2<sup>nd</sup> and 3<sup>rd</sup> floor, per research at the Beacon Historical Society, including the 1964 Beacon Directory.
- Business hours for the Retail is 8am - 10pm Monday through Sunday inclusive.
- The Applicant proposes to maintain the existing wall mounted perpendicular building sign. No new signage is proposed.

**Index of Drawings**

Sheet 1 of 4	Site Plan
Sheet 2 of 4	Existing Conditions Survey
Sheet 3 of 4	Building Plans
Sheet 4 of 4	Elevations

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	04/25/17	REVISED PER PLANNING BOARD COMMENTS	AJS

**Special Use Permit Application**  
Sheet 1 of 4 - Site Plan

**475 Main Street**

Beacon, New York  
Scale: 1" = 10'  
March 28, 2017

**Owner:**  
605 N. Macquesten Pkwy, LLC

101 Castleton Street #206  
Pleasantville, NY 10570

**Architect:**  
Aryeh Siegel, Architect

514 Main Street  
Beacon, New York 12508

**Surveyor:**  
Fusco Engineering & Surveying, PC

233 East Main Street  
Middletown, NY 10940

**Landscape Designer:**  
Landscape Restorations

P.O. Box 286  
Beacon, New York 12508

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

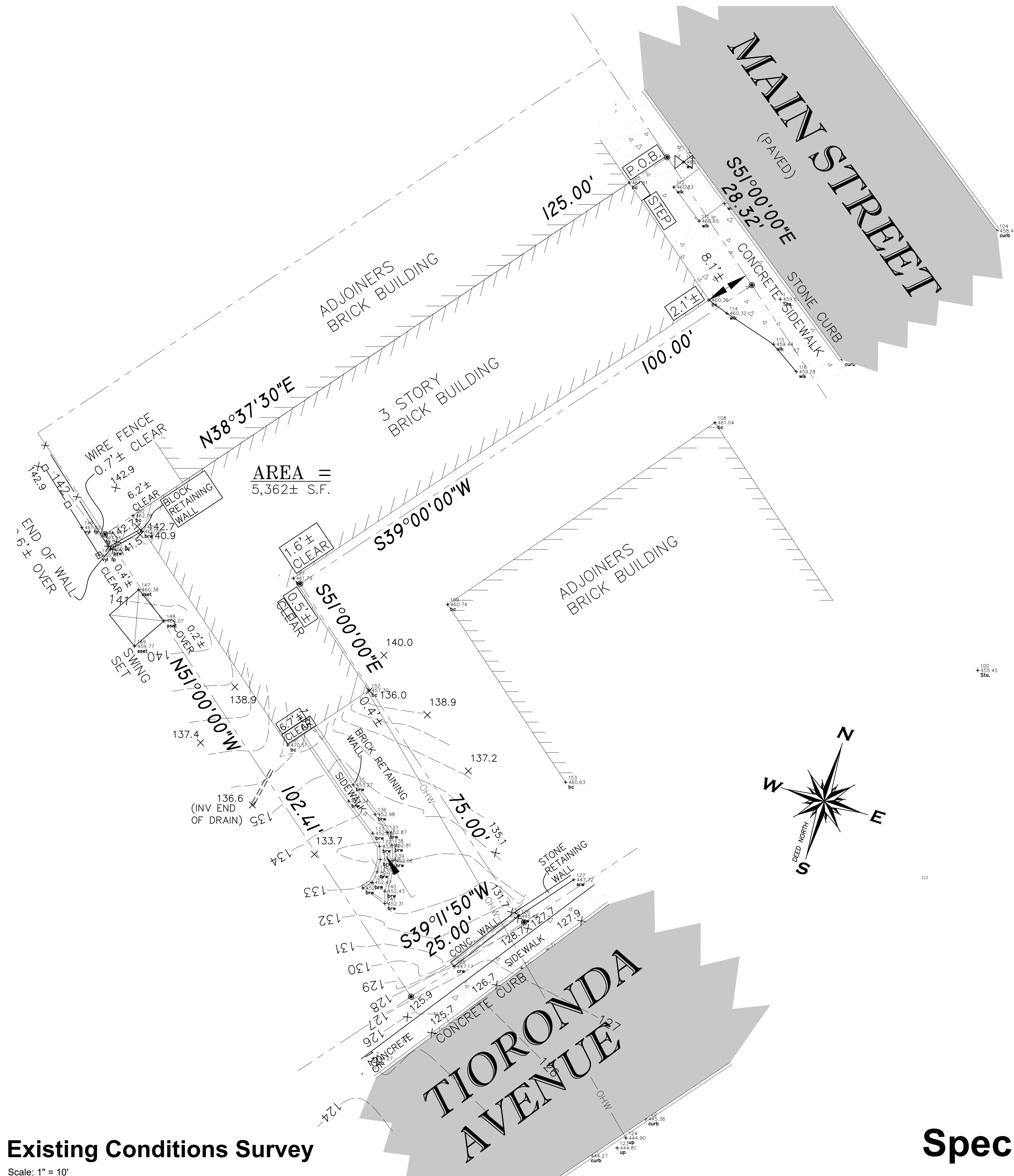
\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY

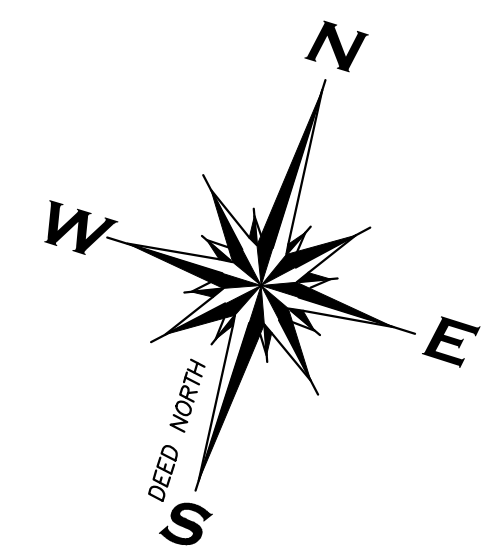
\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

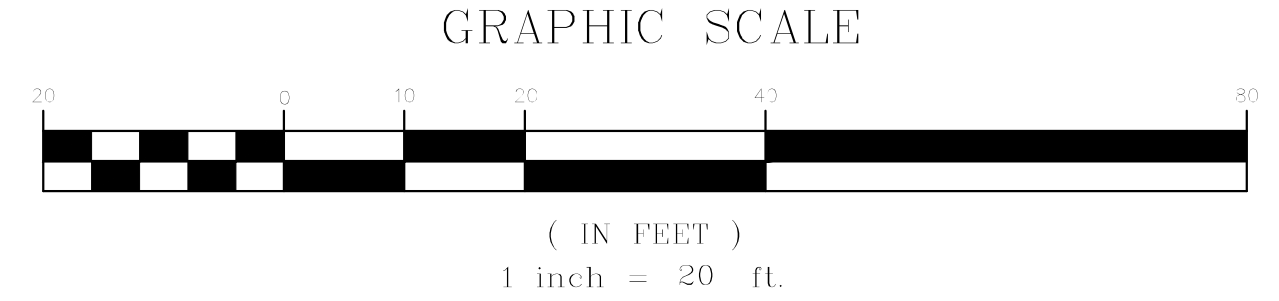
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



AREA =  
5,362± S.F.



- PROPERTY LINE
- ADJOINING PROPERTY LINE
- OVERHEAD WIRES
- UTILITY POLE
- VINYL FENCE
- WATER VALVE
- SPOT ELEVATION
- 5' CONTOUR LINE
- 1' CONTOUR LINE



SDB	02/16/17	ADDED CONTOUR LINES	
INITIALS	DATE	ISSUED FOR	
UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE LAND SURVEYOR SHALL NOT BE VALID. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP IS COPYRIGHTED BY FUSCO ENGINEERING & LAND SURVEYING, P.C., AND MAY NOT BE SOLD, RENTED, LEASED, PHOTOCOPIED, TRACED, ENLARGED, REDUCED, OR TRANSFERRED IN ANY OTHER WAY WITHOUT THE PRIOR WRITTEN CONSENT OF FUSCO ENGINEERING & LAND SURVEYING, P.C. ONLY COPIES OF THIS MAP BEARING THE ORIGINAL SEAL OF NEW YORK STATE LICENSED ENGINEER OR LAND SURVEYOR ARE VALID. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.			
		<b>FUSCO ENGINEERING &amp; LAND SURVEYING, P.C.</b> CONSULTING ENGINEERS	
233 EAST MAIN ST MIDDLETOWN, NY 10940		PHONE: (845) 344-5863 FAX: (845) 958-5865	
PROJECT TITLE: <b>TOPOGRAPHIC SURVEY OF PROPERTY FOR 475 MAIN STREET</b>			
CITY OF BEACON	APPROVED FOR:	SCALE: 1"=20'	ADDRESS OF SUBJECT PROPERTY: 475 MAIN STREET BEACON, NY
PREPARED FOR:	JEFF MEAR 475 MAIN STREET BEACON, NY 12508	REVISION DATE: 02/16/17	REFERENCE NUMBER: 16-037-TOPO
APPROVED BY: EJ	REVIEWED BY: EJ	DATE: 01/15/17	SHEET NUMBER: 1
DRAWN BY: SDB			PAGE 1 OF 1

**Existing Conditions Survey**  
Scale: 1" = 10'

**Special Use Permit Application**  
Sheet 2 of 4 - Existing Conditions Survey

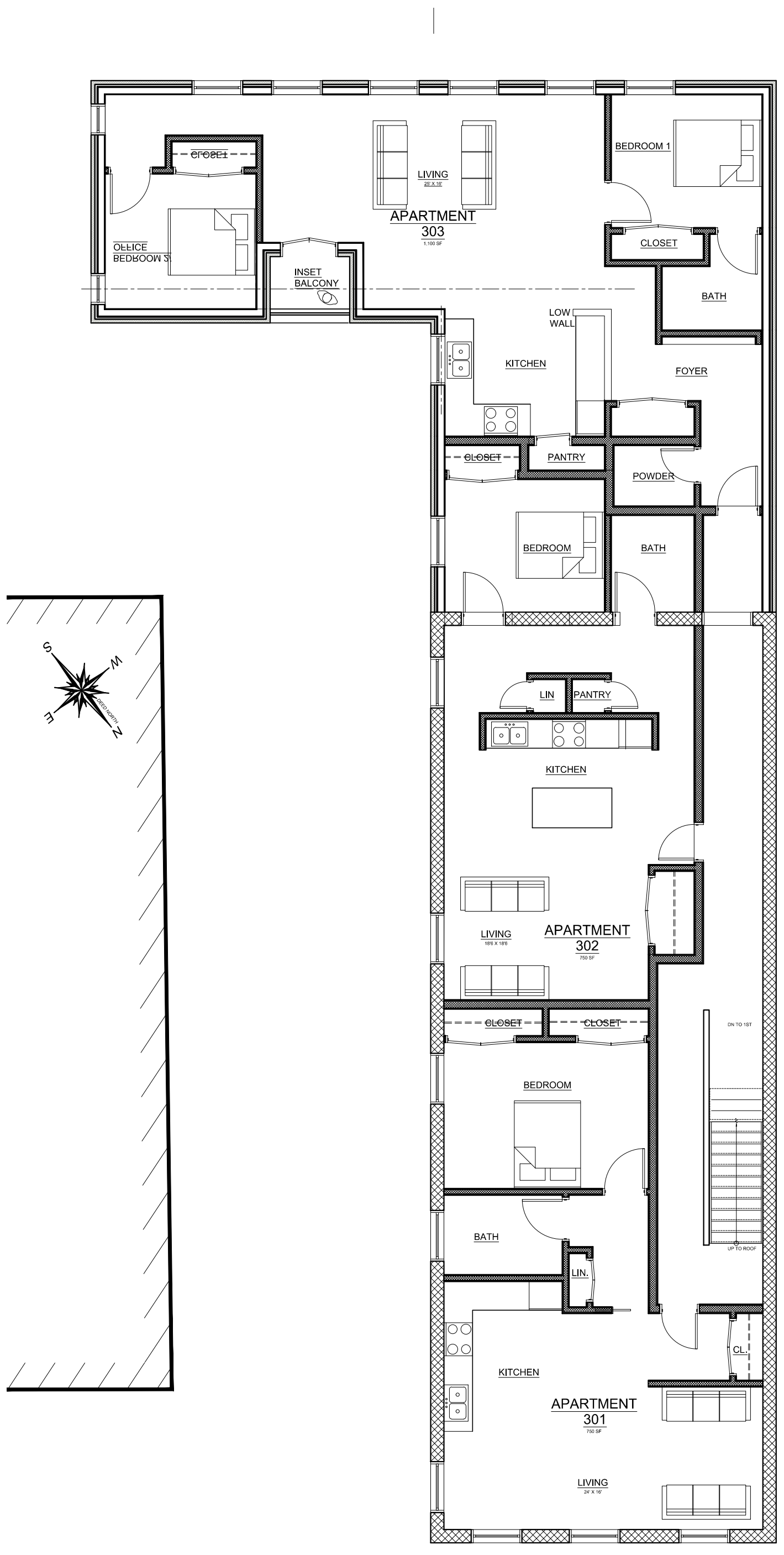
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	04/25/17	REVISED PER PLANNING BOARD COMMENTS	AJS

Owner:  
**605 N. Macquesten Pkwy, LLC**  
101 Castleton Street #206  
Pleasantville, NY 10570

Architect:  
**Aryeh Siegel, Architect**  
514 Main Street  
Beacon, New York 12508

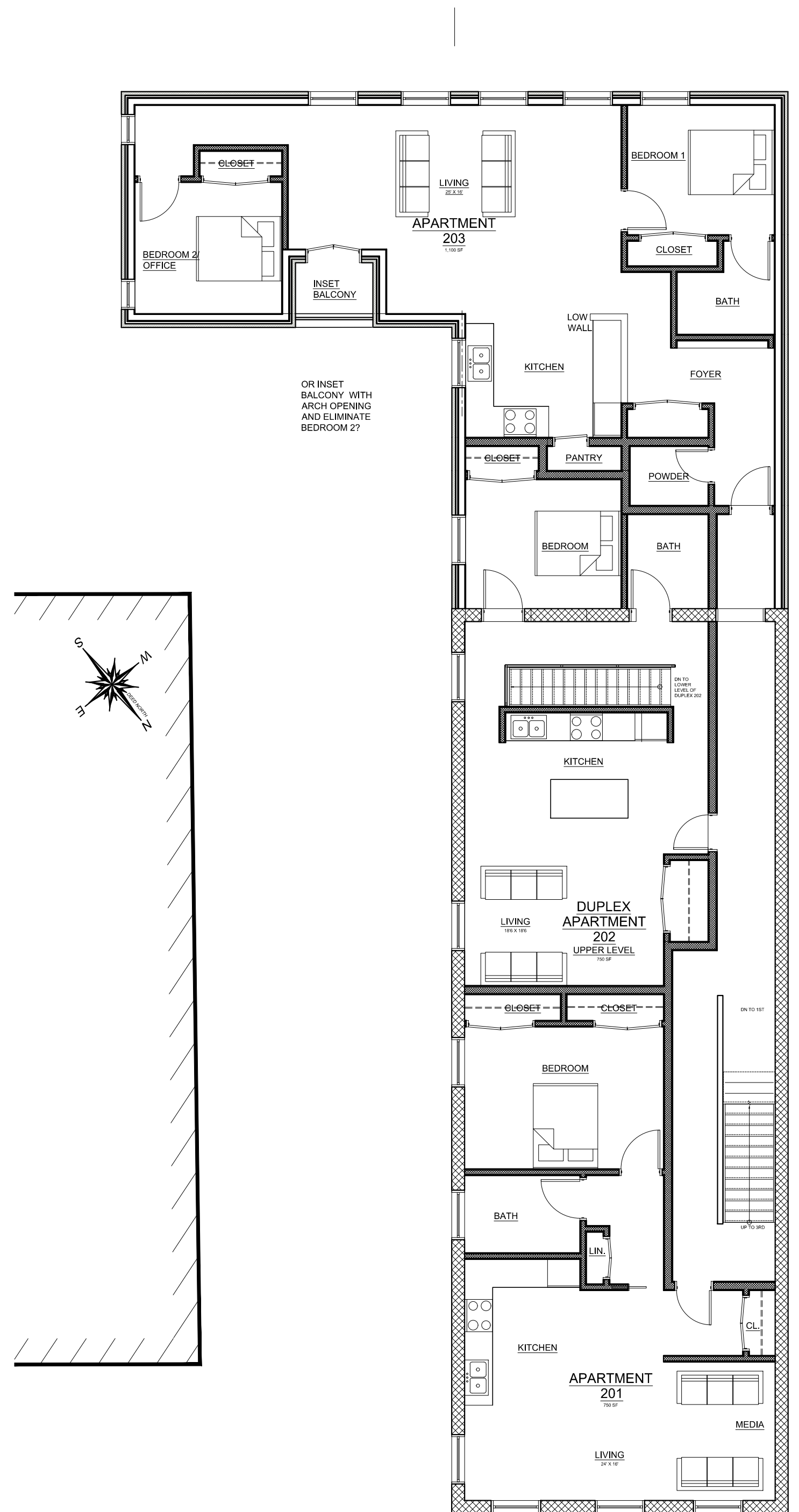
Surveyor:  
**Fusco Engineering & Surveying, PC**  
233 East Main Street  
Middletown, NY 10940

**475 Main Street**  
Beacon, New York  
Scale: 1" = 10'  
March 28, 2017



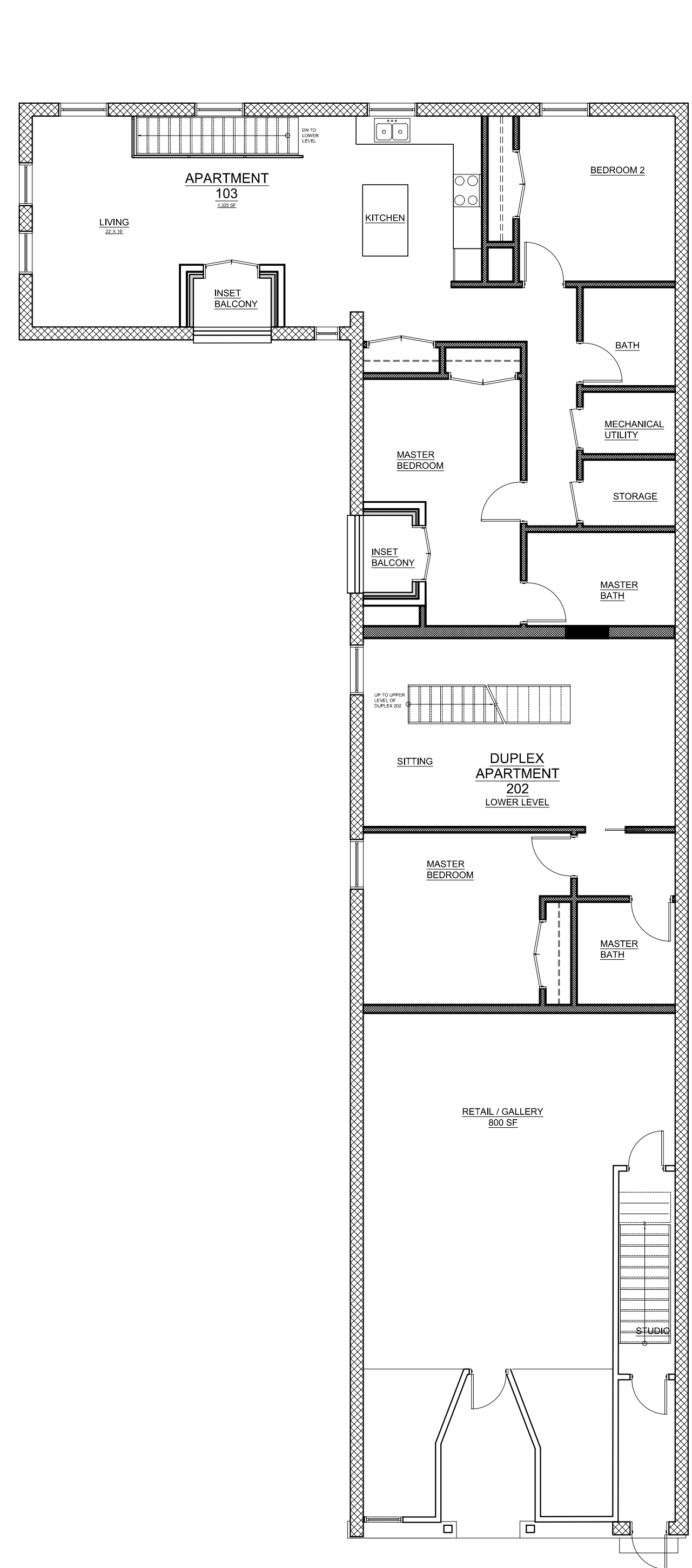
**3rd Floor Plan**

Scale: 1/8" = 1'-0"



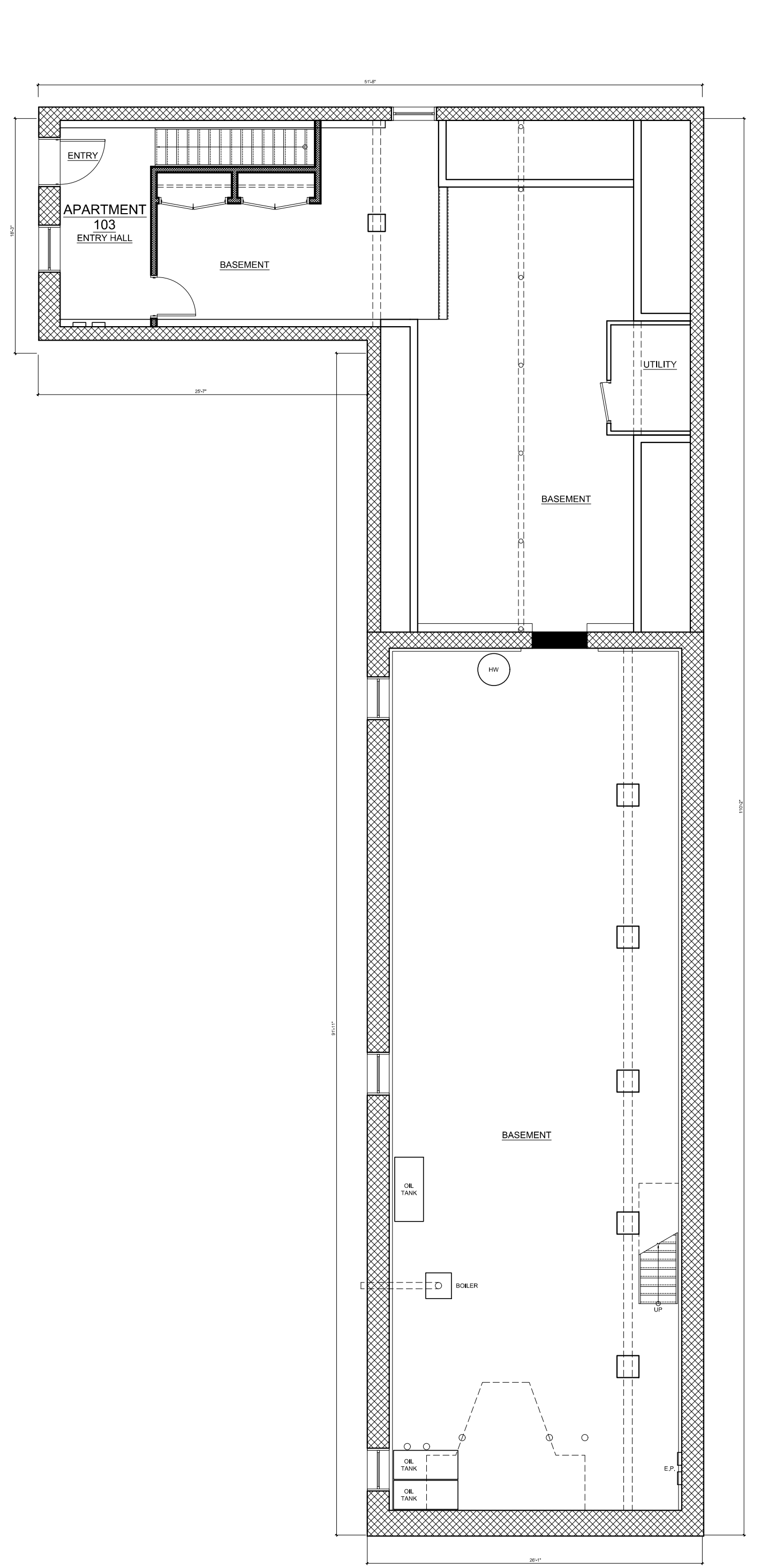
**2nd Floor Plan**

Scale: 1/8" = 1'-0"



**1st Floor Plan**

Scale: 1/8" = 1'-0"



**Basement Plan**

Scale: 1/8" = 1'-0"

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	04/25/17	REVISED PER PLANNING BOARD COMMENTS	AJS

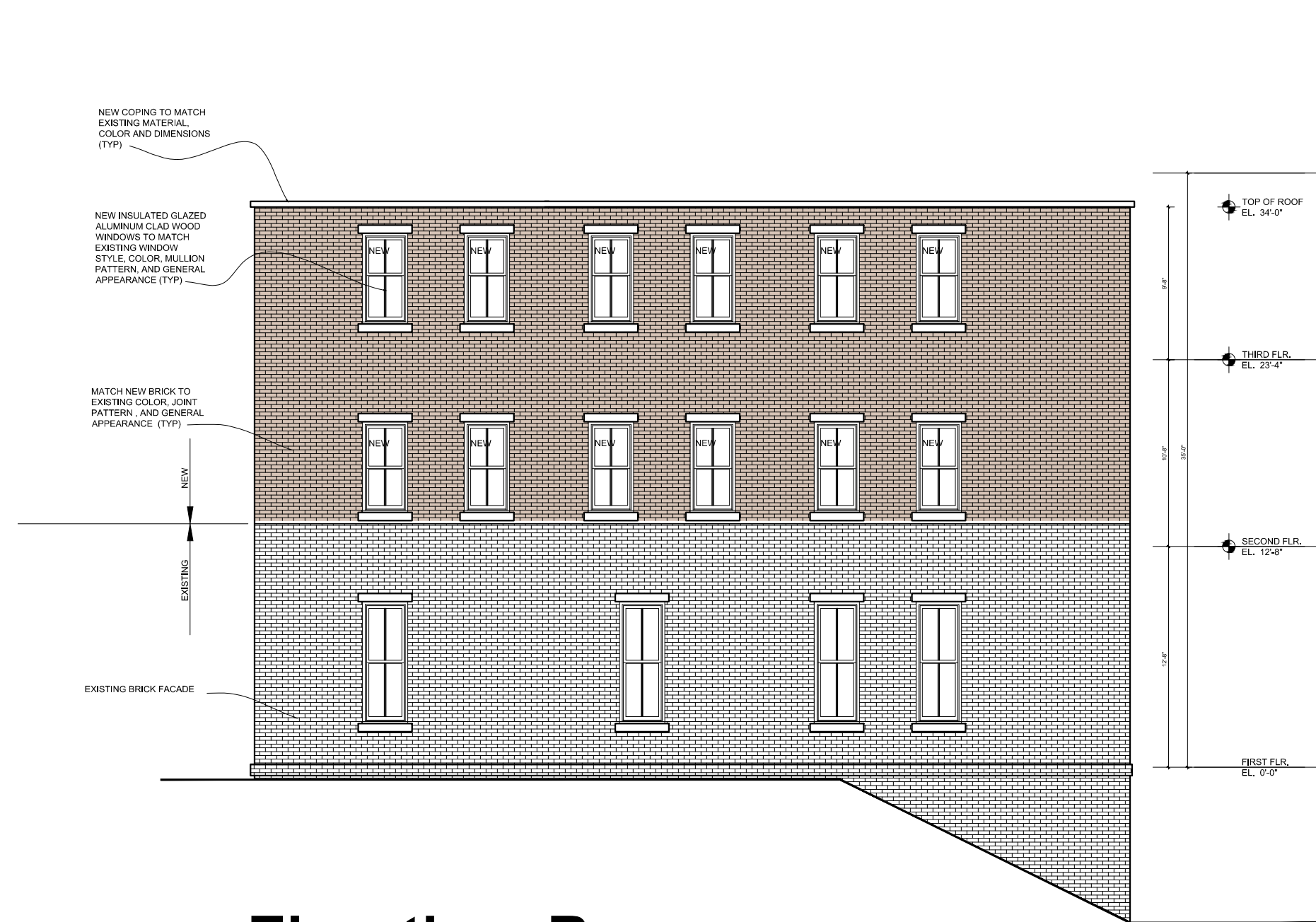
**Special Use Permit Application**  
Sheet 3 of 4 - Building Plans

Owner:  
**605 N. Macquesten Pkwy, LLC**  
101 Castleton Street #206  
Pleasantville, NY 10570

Architect:  
**Aryeh Siegel, Architect**  
514 Main Street  
Beacon, New York 12508

Surveyor:  
**Fusco Engineering & Surveying, PC**  
233 East Main Street  
Middletown, NY 10940

**475 Main Street**  
Beacon, New York  
Scale: 1" = 10'  
March 28, 2017



**Elevation: Rear**

Scale:  $\frac{1}{8}'' = 1'-0''$



**Elevation: Front**

Scale:  $\frac{1}{8}'' = 1'-0''$



**Elevation: Side**

Scale:  $\frac{1}{8}'' = 1'-0''$



**View: Main Street**



**View: Tioronda Avenue**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	04/25/17	REVISED PER PLANNING BOARD COMMENTS	AJS

**Special Use Permit Application**

Sheet 4 of 4 - Building Elevations

**475 Main Street**

Beacon, New York  
Scale: 1" = 10'  
March 28, 2017

Owner:  
**605 N. Macquesten Pkwy, LLC**  
101 Castleton Street #206  
Pleasantville, NY 10570

Architect:  
**Aryeh Siegel, Architect**  
514 Main Street  
Beacon, New York 12508

Surveyor:  
**Fusco Engineering & Surveying, PC**  
233 East Main Street  
Middletown, NY 10940

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: May 5, 2017

Re: **475 Main Street, Special Permit and Site Plan**

I have reviewed an April 25, 2017 response letter from Aryeh Siegel, a revised Full EAF Part 1, and a 4-sheet Special Use Permit set, all dated April 25, 2017.

### **Proposal**

The applicant is proposing to renovate an existing building and add two floors to the rear section, creating seven apartments and a retail storefront. The building is in the Central Business zoning district, the Parking Overlay District, and the Historic District and Landmark Overlay Zone.

### **Comments and Recommendations**

1. The EAF Questions D.2.d.iii and m should be answered yes. The EAF Mapper Summary Report should be attached to the EAF.
2. The street tree should be shown in its correct location along Main Street.
3. The survey should be stamped and signed by the surveyor.
4. Additional proposed windows on the east and south ends of the existing building should be marked as new on the elevations.
5. In addition to the proposed shrub plantings on the side yard I suggest one shade tree near the stone wall along the sidewalk.
6. The new multi-family use will need a special permit from the City Council. The Board should offer a recommendation to the Council.
7. Since this application involves alterations to a property in the Historic Overlay Zone, the proposal will need a Certificate of Appropriateness under Chapter 134, Historic Preservation.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

- c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegel, Project Architect

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lanc, P.E., L.S.  
Arthur R. Tully, P.E.

May 5, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 475 Main Street – Site Plan  
City of Beacon  
Tax Map No. 6054-37-076730

Dear Mr. Sheers:

It is our understanding that the applicant will be appearing before the Zoning Board of Appeals to amend a previously issued variance for the site. Once the variance is amended, or a new variance issued, our office will resume review of the application.

If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.

  
John Russo, P.E.

Cc: John Clarke, Planner  
Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**25 Townsend Street**

**Subject:**

Continue review application for Subdivision Approval, 13-lot residential, submitted by AK Property Holding, LLC, 25 Townsend Street

**Background:**

**ATTACHMENTS:**

Description	Type
25 Townsend - Cover Letter	Cover Memo/Letter
25 Townsend - Subdivision Plat	Plans
25 Townsend - Existing Conditions	Plans
25 Townsend - Highlands Grading Plan	Plans
25 Townsend - Planner Review	Consultant Comment
25 Townsend - Engineer Review	Consultant Comment





*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

---

April 25, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 25 Townsend Street  
Tax ID 6055-03-383149 ( $\pm 5.0$  acres)  
City of Beacon, New York

Dear Chairman Sheers:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has enclosed five (5) copies of revised plans (Existing Conditions and Preliminary Subdivision Plan), including a copy of the grading plan that was developed for the adjacent property to the southwest so that the Planning Board can see the amount of grading and retaining wall work that would be needed to make a connection to Conklin Street. We have also included one (1) electronic version of the plans and this transmittal letter.

Though we made some changes to the plans and performed some general cleanup work from the last submission, the intent of this submission is to get back before the Planning Board to discuss the proposed cul-de-sac design and eliminating the proposed potential connection to the adjacent property. Once we have those items clarified, we will advance the plans further and request the scheduling of a public hearing.

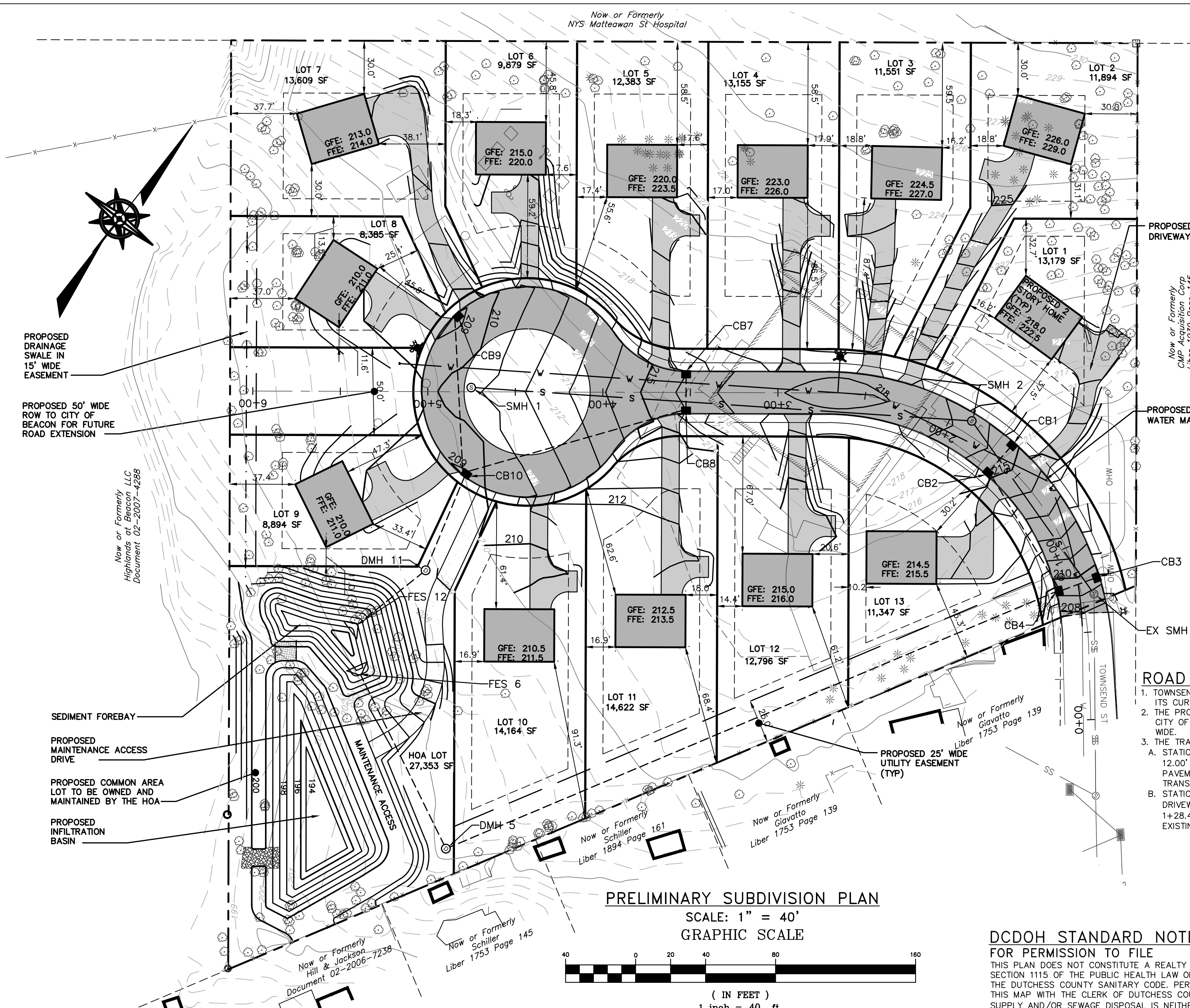
Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Jon D. Bodendorf", written in a cursive style.

Jon D. Bodendorf, P.E.  
Principal

cc: Alla Bares  
Michael A. Bodendorf, P.E. (HLD File)



**LEGEND**

---	EXISTING PROPERTY LINE
- - -	PROPOSED PROPERTY LINE
---	EXISTING ADJOINER LINE
○	EXISTING TREE
30	EXISTING MAJOR CONTOUR
30	EXISTING MINOR CONTOUR
28	PROPOSED MAJOR CONTOUR
28	PROPOSED MINOR CONTOUR
S	PROPOSED SEWER MAIN
○	PROPOSED SILT FENCE
---	EXISTING OVERHEAD WIRE
X	EXISTING FENCE
W	EXISTING WATER MAIN
WS	EXISTING WATER SERVICE LINE
---	PROPOSED DRAINAGE LINE
W	PROPOSED WATER MAIN
W	PROPOSED WATER SHUT-OFF VALVE
○	PROPOSED HYDRANT
○	PROPOSED SEWER MANHOLE
■	PROPOSED CATCH BASIN

- SITE SPECIFIC NOTES:**
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
  - THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
  - THE PROPOSED LOTS SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
  - THE WATER SERVICE LINES AND METERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
  - THE WATER SERVICE LINES SHALL BE 1" K-COPPER.
  - THE SEWER SERVICE LINES SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
  - A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE EXTENSION OF THE PROPOSED WATER AND SEWER MAINS TO SERVICE THE NEW LOTS. STREET CLOSURE FOR WATER AND SEWER CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
  - ROOF LEADER AND FOOTING DRAIN CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 0.5% MIN.
  - SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
  - ADDITIONAL WATER SUPPLY AND WASTEWATER DISPOSAL DETAILS TO PROVIDED IN A FUTURE SUBMISSION.

**SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	ALL PROPOSED LOTS
LOT AREA:	7,500 SQUARE FEET MIN.	>7,500 SF
LOT WIDTH:	75 FEET MINIMUM	>75 FT
LOT DEPTH:	100 FEET MINIMUM	>100 FT
YARD SETBACKS (RESIDENTIAL USE):		
FRONT YARD:	30 FEET MINIMUM	>30 FT
SIDE YARD:	*10 FEET MINIMUM	>10 FT
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	>20 FT
REAR YARD:	*30 FEET MINIMUM	>30 FT
BUILDING COVERAGE:	MAX 30%	<30%
DWELLING UNITS PER LOT:	MAX 1	1

\* 5' MINIMUM FOR ACCESSORY BUILDINGS

**DCDOH STANDARD NOTE:**  
FOR PERMISSION TO FILE  
THIS PLAN DOES NOT CONSTITUTE A REALTY SUBDIVISION AS DEFINED BY ARTICLE XI, TITLE II, SECTION 1115 OF THE PUBLIC HEALTH LAW OF THE STATE OF NEW YORK, AND ARTICLE XI OF THE DUTCHESS COUNTY SANITARY CODE. PERMISSION IS HEREBY GRANTED FOR THE FILING OF THIS MAP WITH THE CLERK OF DUTCHESS COUNTY. APPROVAL FOR ARRANGEMENTS FOR WATER SUPPLY AND/OR SEWAGE DISPOSAL IS NEITHER SOUGHT NOR GRANTED.

AUTHORIZED REPRESENTATIVE OF THE COMMISSIONER OF HEALTH \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
SECRETARY

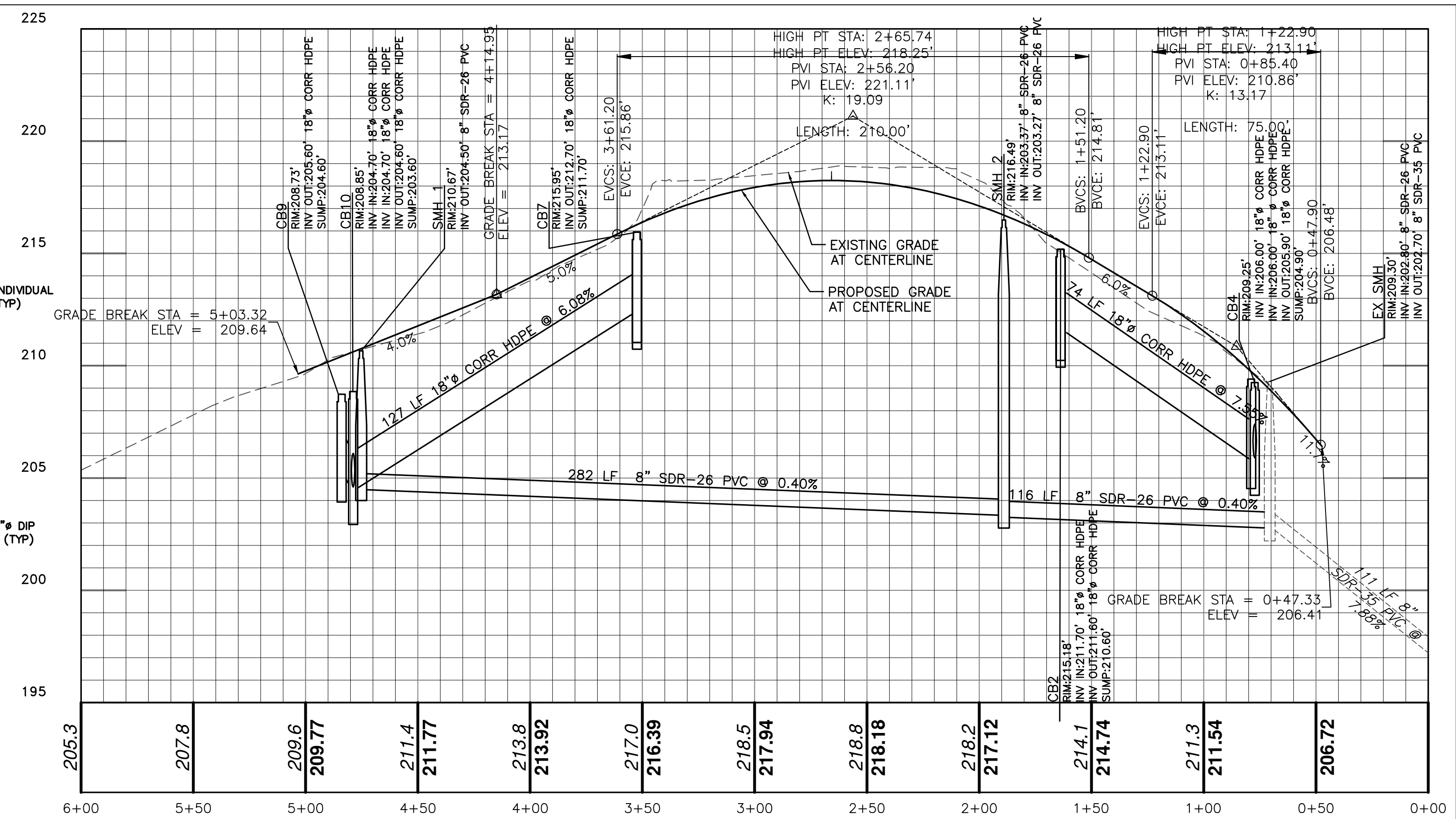
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**OWNER'S CONSENT:**  
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES \_\_\_\_\_ DATE \_\_\_\_\_

**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.com

Call Before You Dig  
 Wait The Required Time  
 Confirm Utility Response  
 Respect the Marks  
 Dig With Care



- ROAD WIDTH TRANSITION NOTES:**
- TOWNSEND ROAD IS APPROXIMATELY 29.5 FEET WIDE NEAR ITS CURRENT TERMINATION.
  - THE PROPOSED ROAD IS CLASSIFIED AS A LOCAL ROAD BY CITY OF BEACON STANDARDS AND IS THEREFORE 24 FEET WIDE.
  - THE TRANSITION TO 12-FOOT LANES IS AS FOLLOWS:  
A. STATION 0+00 O/S RIGHT 14.88' TO 0+91.37 O/S RIGHT 12.00' - REQUIRES REMOVAL OF EXISTING CURB AND PAVEMENT, AND NEW CURB TO BE TIED INTO START OF TRANSITION.  
B. STATION 4+0+38.48 O/S LEFT 14.73' (EDGE OF EXISTING DRIVEWAY - TO BE CONFIRMED BY CONTRACTOR) TO 1+28.46 O/S LEFT 12.00' - GENERALLY FOLLOWS THE EXISTING EDGE OF PAVEMENT TO THE PROPERTY LINE

**STORM SEWER STRUCTURE TABLE**

STRUCTURE	STRUCTURE DETAILS
CB1	RIM = 215.18 SUMP = 210.90 PIPE 1-2 INV OUT = 211.90
CB2	RIM = 215.18 SUMP = 210.60 PIPE 1-2 INV IN = 211.70 PIPE 2-4 INV OUT = 211.60
CB3	RIM = 209.40 SUMP = 205.20 PIPE 3-4 INV OUT = 206.20
CB4	RIM = 209.25 SUMP = 204.90 PIPE 2-4 INV IN = 206.00 PIPE 3-4 INV IN = 206.00 PIPE 4-5 INV OUT = 205.90
CB7	RIM = 215.95 SUMP = 211.70 PIPE 7-8 INV OUT = 212.70
CB8	RIM = 215.95 SUMP = 211.40 PIPE 7-8 INV IN = 212.50 PIPE 8-10 INV OUT = 212.40
CB9	RIM = 208.73 SUMP = 204.60 PIPE 9-10 INV OUT = 205.60
CB10	RIM = 208.85 SUMP = 203.60 PIPE 8-10 INV IN = 204.70 PIPE 9-10 INV IN = 204.70 PIPE 10-11 INV OUT = 204.60
DMH 5	RIM = 205.29 SUMP = 201.00 PIPE 4-5 INV IN = 202.10 PIPE 5-6 INV OUT = 202.00
DMH 11	RIM = 209.47 SUMP = 202.90 PIPE 10-11 INV IN = 204.00 PIPE 11-12 INV OUT = 203.90

**FLARED END SECTION TABLE**

STRUCTURE	STRUCTURE DETAILS
FES 6	PIPE 5-6 INV IN = 197.00
FES 12	PIPE 11-12 INV IN = 197.00

**STORM SEWER PIPE TABLE**

PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
PIPE 1-2	20 LF	18" CORR HDPE	0.98%
PIPE 2-4	74 LF	18" CORR HDPE	7.55%
PIPE 3-4	19 LF	18" CORR HDPE	1.06%
PIPE 4-5	376 LF	18" CORR HDPE	1.01%
PIPE 5-6	108 LF	18" CORR HDPE	4.62%
PIPE 7-8	17 LF	18" CORR HDPE	1.19%
PIPE 8-10	127 LF	18" CORR HDPE	6.08%
PIPE 9-10	87 LF	18" CORR HDPE	1.03%
PIPE 10-11	58 LF	18" CORR HDPE	1.03%
PIPE 11-12	50 LF	18" CORR HDPE	13.82%

**SANITARY SEWER STRUCTURE TABLE**

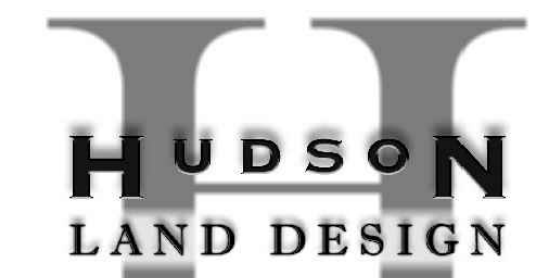
STRUCTURE	STRUCTURE DETAILS
EX SMH	RIM = 209.30 SUMP = 202.70 PIPE 2-EX INV IN = 202.80 EX. PIPE INV OUT = 202.70
SMH 1	RIM = 210.67 SUMP = 204.50 PIPE 1-2 INV OUT = 204.50
SMH 2	RIM = 216.49 SUMP = 203.27 PIPE 1-2 INV IN = 203.37 PIPE 2-EX INV OUT = 203.27

**SANITARY SEWER PIPE TABLE**

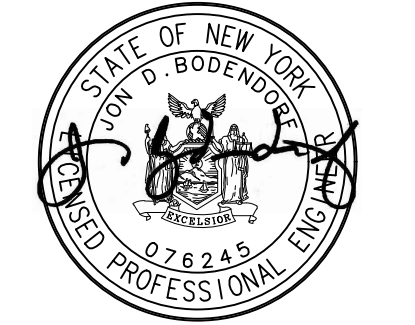
PIPE NAME	LENGTH	SIZE AND MATERIAL	SLOPE
PIPE 1-2	282 LF	8" SDR-26 PVC	0.40%
PIPE 2-EX	116 LF	8" SDR-26 PVC	0.40%
EX. PIPE	111 LF	8" SDR-35 PVC	7.88%

**PRELIMINARY SUBDIVISION PLAN**  
**25 TOWNSEND STREET**

25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 8055-03-383149  
SCALE: 1" = 40'  
DECEMBER 7, 2015



HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOHLER, P.E.  
NYS LICENSE NO. 082716

PROJECT INFORMATION:	
PARCEL OWNER:	AK PROPERTY HOLDING LLC, 730 COLUMBUS AVE - APT 3D NY, NY 10025
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	25 TOWNSEND STREET, BEACON NY
TAX PARCEL ID:	6055-03-383149
PARCEL AREA:	±5.0-ACRES
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

**MAP REFERENCES:**

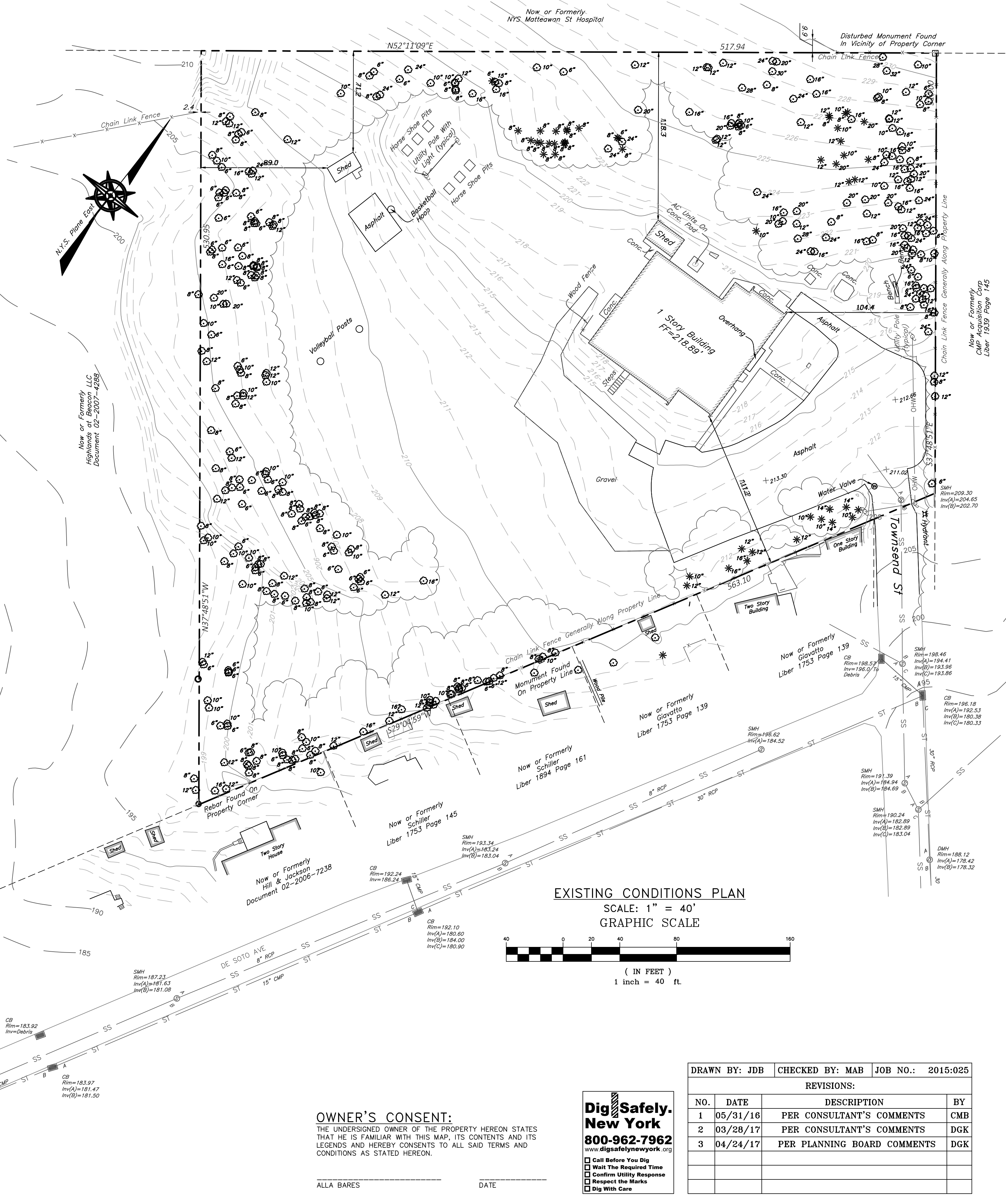
- EXISTING FEATURES AS SHOWN ON THIS PLAN PER MAP ENTITLED "SURVEY OF PROPERTY PREPARED FOR ALLA BARES", DATED 7-7-15, AND PREPARED BY THOMAS E. CERCHIARA, L.S.
- OFF-SITE 5' CONTOURS AND ROAD EDGE DATA PER AVAILABLE GIS DATA.

**DEMOLITION NOTE:**

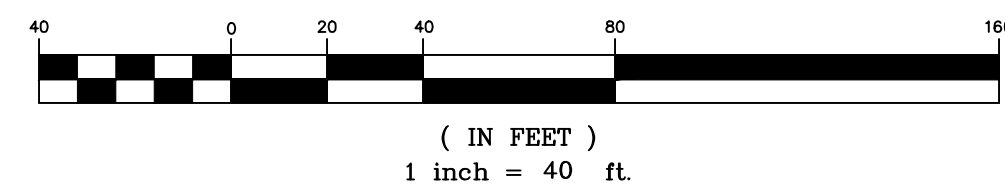
- EXISTING STRUCTURES TO BE REMOVED AS PART OF INITIAL CLEARING AND GRUBBING ACTIVITIES.

**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING ADJOINER LINE
	EXISTING TREE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING OVERHEAD WIRE
	EXISTING FENCE
	EXISTING WATER MAIN
	EXISTING WATER SERVICE LINE
	EXISTING TREE LINE



EXISTING CONDITIONS PLAN  
SCALE: 1" = 40'  
GRAPHIC SCALE



**OWNER'S CONSENT:**  
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ALLA BARES \_\_\_\_\_ DATE \_\_\_\_\_

**Dig Safely New York**  
800-962-7962  
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

NO.	DATE	DESCRIPTION	BY
1	05/31/16	PER CONSULTANT'S COMMENTS	CMB
2	03/28/17	PER CONSULTANT'S COMMENTS	DGK
3	04/24/17	PER PLANNING BOARD COMMENTS	DGK



SITE LOCATION MAP SCALE: 1" = 400'

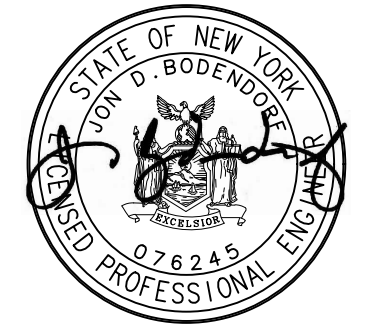
**ADJOINING OWNERS:**

PARCEL	OWNER & MAILING ADDRESS
1:	NYS MATTEAWAN HOSPITAL, 36 DEER RUN, BEACON NY 12508
2:	CMP ACQUISITION CORP, 483 FISHPILL AVE, BEACON NY 12508
3:	NUNZIO GIOVATTO, 19 TOWNSEND STREET, BEACON NY 12508
4:	NUNZIO GIOVATTO, 19 TOWNSEND STREET, BEACON NY 12508
5:	DONALD & GIOVANNA SCHILLER, 35 DESOTO AVENUE, BEACON NY 12508
6:	DONALD & GIOVANNA SCHILLER, 35 DESOTO AVENUE, BEACON NY 12508
7:	CHRISTOPHER HILL & CHRISTINE JACKSON, 23 DESOTO AVENUE, BEACON NY 12508
8:	HIGHLANDS AT BEACON LLC, 2847 CHURCH STREET, PINE PLAINS NY 12567

EXISTING CONDITIONS PLAN  
**25 TOWNSEND STREET**

25 TOWNSEND STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6055-03-383149  
SCALE: 1" = 40'  
NOVEMBER 19, 2015

**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



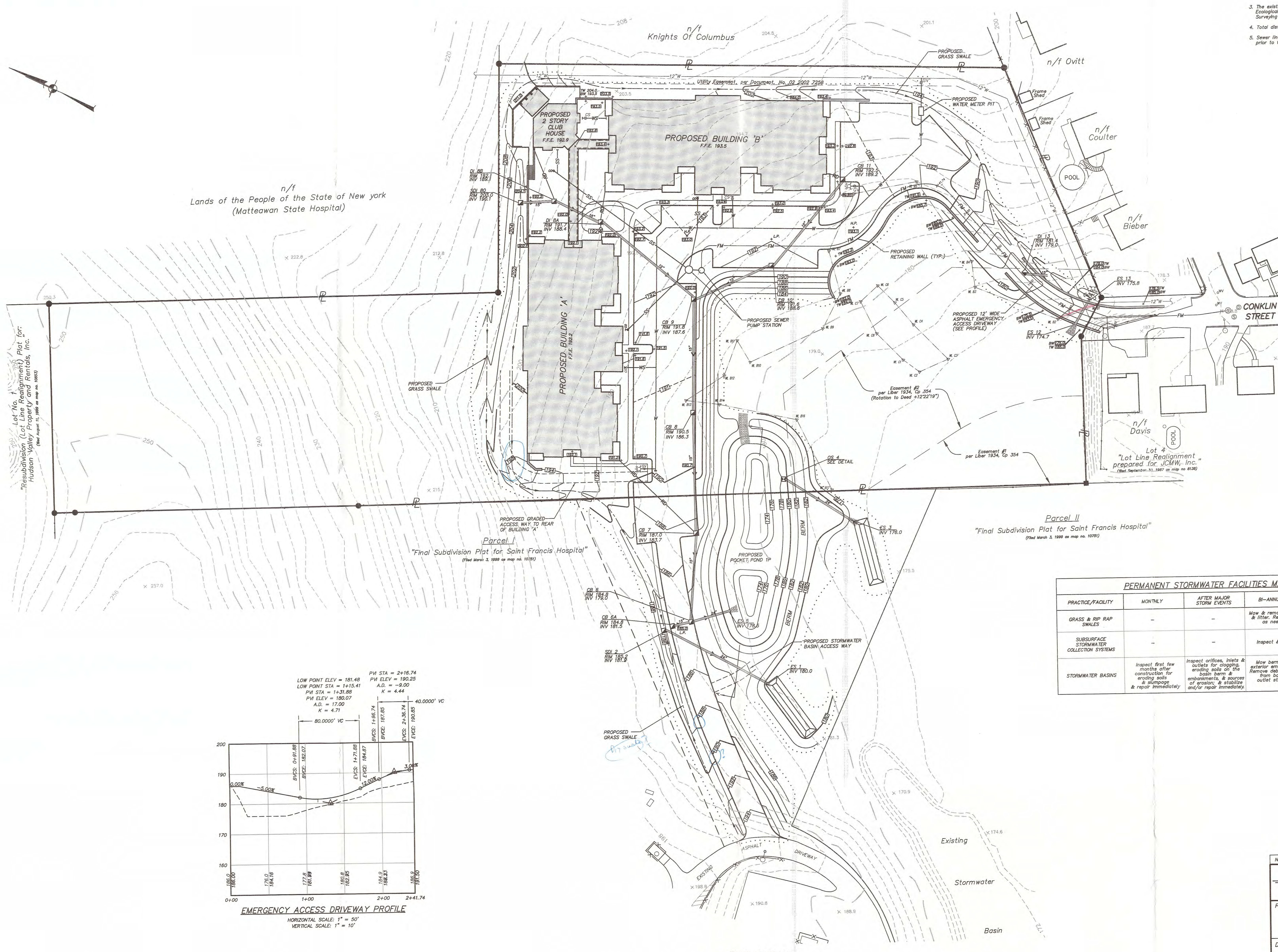
SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

**General Notes:**

1. Property line shown herein is based upon a map entitled "Boundary and Topographic Survey of Property prepared for Beacon Community Foundation, Inc." dated March 22, 2005 as prepared by Insite Engineering, Surveying & Landscape Architecture, P.C.
2. Topography shown herein is based upon aerial photography dated April 14, 2003 and is photogrammetrically compiled. Elevations shown herein conform to the North American Vertical Datum of 1988 (N.A.V.D., 1988) as derived by GPS observation. The contour interval is 2'.
3. The existing wetland limit line as shown is based on a field delineation performed by Ecological Solutions, LLC on February 25, 2005 and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C.
4. Total disturbance area for the proposed project is 5.00 AC ±.
5. Sewer lines shall be pressure tested, deflection tested, and the manholes vacuum tested prior to the system being put into operation.

**LEGEND**

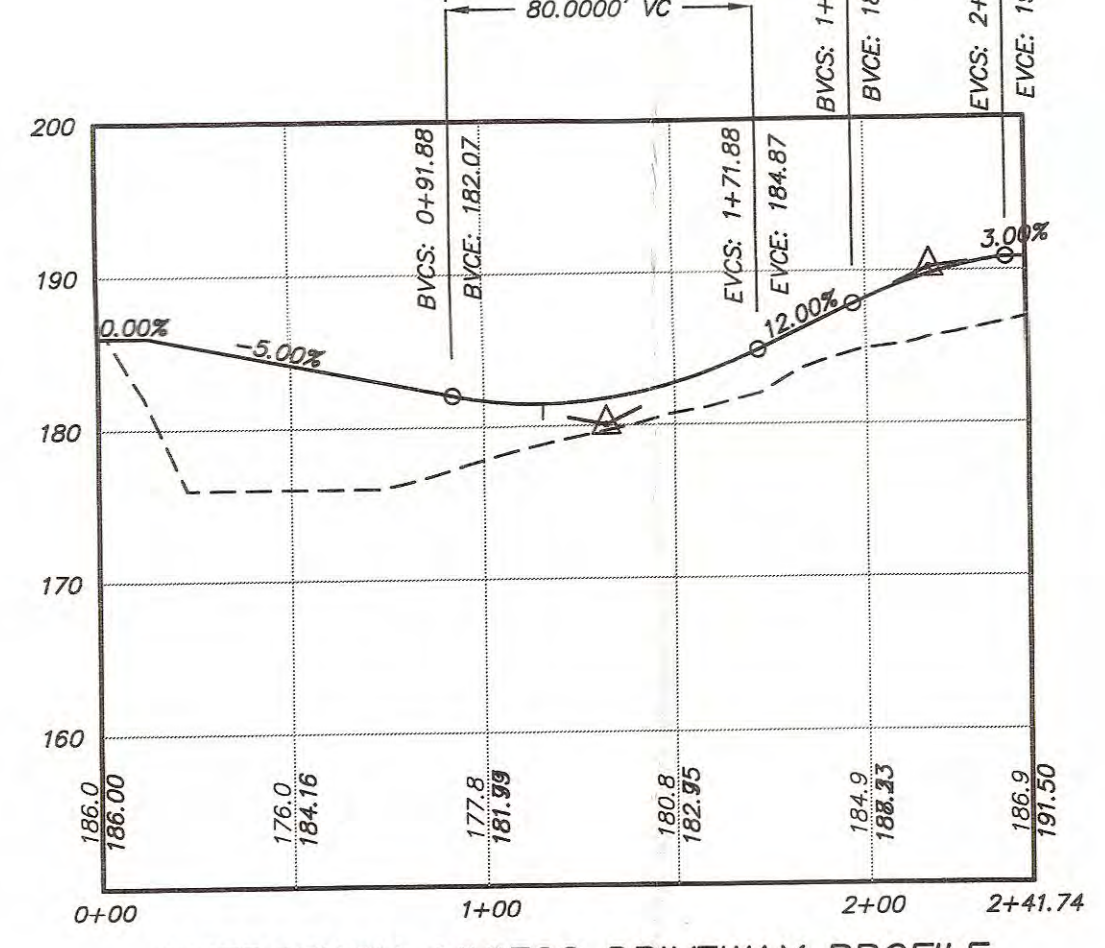
	EXISTING PROPERTY LINE
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	EXISTING SEWER MANHOLE
	EXISTING 12" WATER MAIN
	PROPOSED CURB
	PROPOSED 3" PVC SDR 21 FORCE MAIN
	PROPOSED 4" PVC SDR 35 SEWER SERVICE LINE W/ CLEANOUT
	PROPOSED CATCH BASIN
	PROPOSED 15" HDPE DRAINAGE PIPE (UNLESS OTHERWISE NOTED)
	PROPOSED END SECTION W/ RIP RAP APRON
	PROPOSED LEVEL SPREADER
	PROPOSED 6" PVC CLASS 200 WATER MAIN WITH CAPPED END
	PROPOSED 2" TYPE K COPPER WATER SERVICE LINE W/ CURB STOP
	PROPOSED GATE VALVE
	PROPOSED HYDRANT
	LIMIT OF DISTURBANCE
	PROPOSED 6" PVC DRAINAGE PIPE



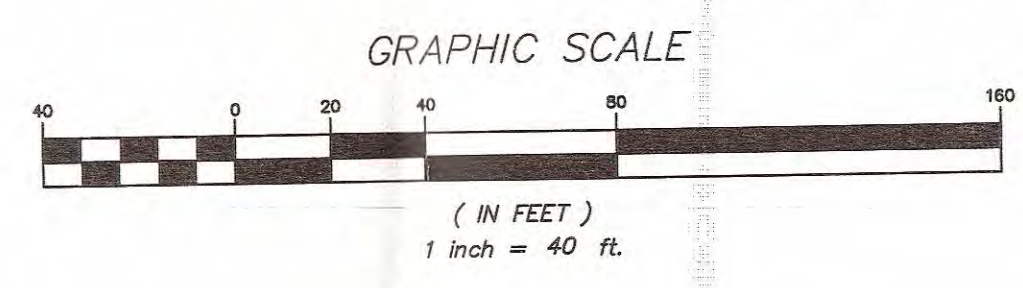
LOW POINT ELEV = 181.48  
 LOW POINT STA = 1+15.41  
 PVI STA = 1+31.88  
 PVI ELEV = 186.07  
 A.D. = 17.00  
 K = 4.71

PVI STA = 2+16.74  
 PVI ELEV = 190.25  
 A.D. = -9.00  
 K = 4.44

40.0000' VC  
 BVC: 0+91.89  
 EVC: 182.07  
 BVC: 1+86.74  
 EVC: 187.05  
 BVC: 2+16.74  
 EVC: 190.25



**EMERGENCY ACCESS DRIVEWAY PROFILE**  
 HORIZONTAL SCALE: 1" = 50'  
 VERTICAL SCALE: 1" = 10'



**PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE**

PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 10 YEARS
GRASS & RIP RAP SWALES	-	-	Mow & remove debris & litter. Revegetate as needed.	-	-
SUBSURFACE STORMWATER COLLECTION SYSTEMS	-	-	Inspect & clean	Inspect, clean, repair and/or replace structures. Remove debris.	-
STORMWATER BASINS	Inspect first few months after construction for eroding soils & stampage & repair immediately	Inspect orifices, inlets & outlets for clogging, eroding soils on the basin berm & embankments, & sources of erosion; & stabilize and/or repair immediately.	Mow berms and exterior embankments. Remove debris & litter from basins & outlet structures	-	Inspect for & remove accumulated sediment

NO.	DATE	REVISION	BY
<b>INSITE ENGINEERING, SURVEYING &amp; LANDSCAPE ARCHITECTURE, P.C.</b>			
3 Garrett Place Carmel, NY 10512 (845) 225-8690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: <b>THE HIGHLANDS AT BEACON</b>			
CONKLIN STREET, TOWN OF BEACON, DUTCHESS COUNTY, NEW YORK			
DRAWING: <b>GRADING &amp; UTILITIES PLAN</b>			
PROJECT NO.	07100.100	PROJECT MANAGER	J.J.C.
DATE	1-30-08	DRAWN BY	S.J.C.
SCALE	AS SHOWN	CHECKED BY	P.A.K.
DRAWING NO.		SHEET	2
			6

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: May 5, 2017

Re: **25 Townsend Street Subdivision**

I have reviewed the April 25, 2017 cover letter from Jon D. Bodendorf, P.E. at Hudson Land Design, a past layout for the adjacent property to the south, dated January 30, 2008, an Existing Conditions Plan, dated April 24, 2017, and a Preliminary Subdivision Plan, dated April 24, 2017.

### **Proposal**

The applicant is proposing to subdivide a 5-acre parcel in the R1-7.5 zoning district into 13 single-family house lots with an additional common lot for stormwater infiltration.

### **Comments and Recommendations**

1. A number of recommendations from the previous Frederick P. Clark comment letter, dated June 10, 2016, have not yet been addressed, including:
  - The location of dwellings on all adjacent parcels should be completely shown on the plat;
  - The bulk table should show information on each individual lot;
  - The boundary measurements should be shown for each lot;
  - Information on the proposed treatment for the cul-de-sac island should be provided;
  - Existing trees to be retained and removed should be shown on the plat; and
  - Additional evergreen screening and regularly spaced street trees should be included; and
  - Street lighting should also be provided on the plat.
2. The Planning Board will need to determine if a right-of-way connection to the vacant property to the southwest is desirable for the City. An interconnected street system is generally recommended over dead-end streets, especially to provide multiple routes for emergency vehicles.
3. The Planning Board and applicant should also determine whether a standard cul-de-sac or a loop street with a central green is more advantageous. In either case, proposed landscaping of the central island should be detailed on the plans and an agreement will be needed for what entity maintains the island, the City or a homeowners' association.
4. A sidewalk on at least one side of the street is generally required under Street Specifications, although the Subdivision of Land Section 195-18 allows the Planning Board to waive such improvements if there is a "lack of connecting facilities adjacent or in proximity to the subdivision."

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Jon D, Bodendorf, P.E., Hudson Land Design

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lano, P.E., L.S.  
Arthur R. Tully, P.E.

May 3, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 25 Townsend Street  
Tax Map No. 6055-03-383149

Dear Mr. Sheers:

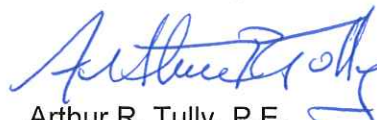
Based on recent correspondence from the applicant's engineer it is our understanding that they are focusing their attention to the issues of site access and road design. It is understandable that this is being done at this time, since these are significant to advancing the plan design. However, we do not want to have the questions that we raised in our previous reviews, not to be considered in the same light. Of particular concern are site grading and drainage both in regards to the viability of the proposed lots and to offsite impacts. Based on the limited information provided to date, it appears that the site will be disturbed in almost it's entirety due to the proposed development. Several of the proposed lots (Lots #1 thru #8) are located in areas of significant slope and because of the density of the lots, until a site grading plan is done at an acceptable scale, we cannot evaluate the viability of these lots.

Following the resolution of access and road design, we can then review all the other questions regarding site development.

Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.

  
Arthur R. Tully, P.E.

cc: Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector

Beacon.25 Townsend St.5.17.art.docx

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**226 Main Street**

**Subject:**

Review application for Special Use Permit, retail/residential building, 226 Main Street, submitted by 328 Main Street, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
226 Main - Application	Application
226 Main - Full EAF	EAF
226 Main - Site Plan	Plans
226 Main - Boundary Survey	Map
226 Main - I & I Report	Backup Material
226 Main - Planner Review	Consultant Comment
226 Main - Engineer Review	Consultant Comment

**APPLICATION FOR SPECIAL USE PERMIT**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

Name: 328 Main Street LLC  
Address: 445 Main Street  
Beacon, NY 12508  
Signature: \_\_\_\_\_  
Date: April 25, 2017  
Phone: (845) 765-0063

*(For Official Use Only)*

Application & Fee Rec'd 4-25-17 EB  
Initial Review 5-9-17  
PB Public Hearing \_\_\_\_\_  
Sent to City Council \_\_\_\_\_  
City Council Workshop \_\_\_\_\_  
City Council Public Hearing \_\_\_\_\_  
City Council Approve/Disapprove \_\_\_\_\_

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: Aryeh Siegel Architect  
Address: 84 Mason Circle  
Beacon, NY 12508

Phone: 845-838-2490  
Fax: 845-838-2657  
Email address: ajs@ajsarch.com

**IDENTIFICATION OF SUBJECT PROPERTY:**

Property Address: 226 Main Street  
Tax Map Designation: Section 5954 Block 27 Lot(s) 86091  
Land Area: 5,476 sf (0.126 acres) Zoning District(s) CMS

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Proposed Use: Multifamily residential, retail  
Gross Non-Residential Floor Space: Existing 0 Proposed 3,465  
TOTAL: 3,465  
Dwelling Units (by type): Existing 0 Proposed 8  
TOTAL: 8

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. Five (5) **folded** copies and One (1) digital copy of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. Five (5) **folded** copies and One (1) digital copy of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. Five (5) **folded** copies and One (1) digital copy of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.



**INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH**

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

**INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN**

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board  
on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_  
subject to all conditions as stated therein**

\_\_\_\_\_  
**Chairman, City Planning Board**

\_\_\_\_\_  
**Date**

OWNER'S AUTHORIZATION

for Application to Planning Board

Mary Sorci, Executrix of the Estate of Jeffrey McGarvey, hereby states:

1. I am the owner of the parcel know as 226 Main Street, Beacon, New York, with tax grid number 5954-27-860918.
2. I am in contract to sell the property to 328 Main Street LLC.
3. I hereby give authorization to 328 Main Street LLC to apply for zoning and site plan approval on said lot.

Dated:

Estate of Jeffrey McGarvey

By Mary Sorci, Executrix  
Mary Sorci, Executrix

# APPLICATION PROCESSING RESTRICTION LAW

## Affidavit of Property Owner

Property Owner: 328 Main Street LLC

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 445 Main Street, Beacon, NY

Project Address: 226 Main Street, Beacon, NY

Project Tax Grid # 5954-27-86091

Type of Application Special Use Permit Site Plan

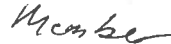
Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Brendan McAlpine, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current



Signature of Owner



Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Bm</u>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Bm</u>
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>KS</u>

**CITY OF BEACON  
SITE PLAN SPECIFICATION FORM**

Name of Application: 226 Main Street

**PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.**

	YES	NO
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>LEGAL DATA</b>		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.		
<b>NATURAL FEATURES</b>		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>EXISTING STRUCTURES, UTILITIES, ETC.</b>		
Outlines of all structures and the location of all uses not requiring structures. Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<b>PROPOSED DEVELOPMENT</b>	<b>YES</b>	<b>NO</b>
The location, use and design of proposed buildings or structural improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed division of buildings into units of separate occupancy.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, direction, power, and time of use for any proposed outdoor lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and plans for any outdoor signs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any contemplated public improvements on or adjoining the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevations of all proposed principal or accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed fences or retaining walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>MISCELLANEOUS</b>		
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erosion and sedimentation control measures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An indication of proposed hours of operation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: 226 Main Street		
Project Location (describe, and attach a general location map): 226 Main Street, at the corner of North Elm		
Brief Description of Proposed Action (include purpose or need): Demolition of existing 1 story service garage building. New construction of 4 story multifamily residential building with retail at the 1st floor		
Name of Applicant/Sponsor: 328 Main Street LLC	Telephone: (845) 765-0063	
	E-Mail: bmcalpine@highviewdevelopment.com	
Address: 445 Main Street		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Same as sponsor	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board - Special Use Permit	April 25, 2017
c. City Council, Town or <input type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• <b>If Yes</b>, complete sections C, F and G.</li> <li>• <b>If No</b>, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Central Main Street District, Parking Overlay District

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Beacon City

b. What police or other public protection forces serve the project site?  
Beacon City

c. Which fire protection and emergency medical services serve the project site?  
Beacon City

d. What parks serve the project site?  
Memorial Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential and Commercial

b. a. Total acreage of the site of the proposed action? 0.126 acres  
b. Total acreage to be physically disturbed? 0.126 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.126 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	8
At completion of all phases	_____	_____	_____	8

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 1  
 ii. Dimensions (in feet) of largest proposed structure: 48' height; 84' width; and 56' length  
 iii. Approximate extent of building space to be heated or cooled: 12,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_  
\_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:  
i. Total anticipated water usage/demand per day: \_\_\_\_\_ 1,708 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

- If Yes:
- Name of district or service area: City of Beacon
  - Does the existing public water supply have capacity to serve the proposal?  Yes  No
  - Is the project site in the existing district?  Yes  No
  - Is expansion of the district needed?  Yes  No
  - Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

- If Yes:
- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
  - Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

- If, Yes:
- Applicant/sponsor for new district: \_\_\_\_\_
  - Date application submitted or anticipated: \_\_\_\_\_
  - Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:  
i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 1,708 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

- If Yes:
- Name of wastewater treatment plant to be used: City of Beacon
  - Name of district: City of Beacon
  - Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
  - Is the project site in the existing district?  Yes  No
  - Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_  
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No  
 iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

---

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 Approximately 120,000 kwh/year

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
 Grid/Local Utility \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7am-10pm</li> <li>• Saturday: _____ 7am-10pm</li> <li>• Sunday: _____ 7am-10pm</li> <li>• Holidays: _____ 7am-10pm</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
All noise associated (machinery, power tools, etc) with the construction of a 4 story apartment building during 8 AM to 4 PM, Monday through Friday.

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

n.. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Outdoor lighting at 1st floor entrance doors to retail spaces, and residential lobby. 8' high, shielded to prevent light spill onto neighboring properties

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 Main Street commercial and multifamily residential; single family residential  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.126 acres	0.126 acres	0
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): 9309180, 1700416  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): B00130  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
ID: 9309180; Closed  
1700416; Open  
B00130; Classification Code C -Completed



v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >6.5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Urban Land (Ur) \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >6.5 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained 100 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 Seasonal Birds \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Brendan McAlpine Date April 25, 2017

Signature  Title Member

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Bulk Zoning Regulations Table

Zoning District	Required Setbacks			Proposed Setbacks			Frontage Required	Frontage Proposed	Minimum Lot Depth	Proposed Lot Depth	Allowable Building Height	Proposed Building Height	Lot Area	Proposed Floor Area
	Front	Side	Rear	Front	Side	Rear								
CMS	0'	0'	25'	6'	0'	10'	100%	100%	75'	65'	4 stories	4 stories	5,476 sf	15,528

\* To conform with neighboring building setbacks  
 \*\* Existing non-conforming condition



Location Map  
Not to Scale

Zoning Summary

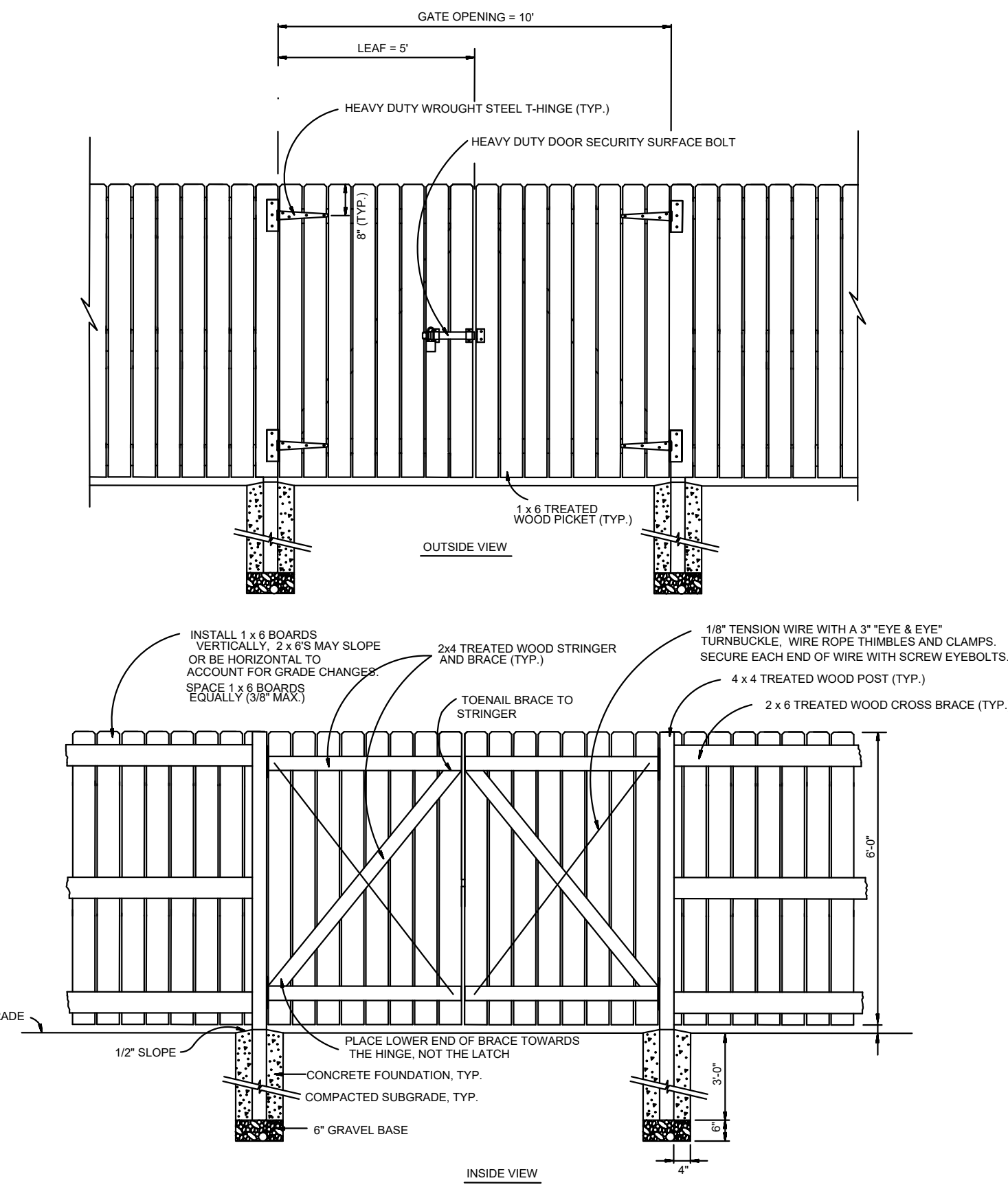
Zoning District:	CMS (Central Main Street)
Tax Map No.:	5954-27-86091
Lot Area:	0.13 Acres
Building Footprint:	3,882 square feet
Historical Overlay District:	Yes
Parking Overlay District:	Yes
Existing Use:	Automobile Service Station
Proposed Use:	R-2 Residential / Retail

Parking & Loading

Use & Parking Requirements	Proposed Area	Current Parking Requirement
<b>Residential</b>		
1 space per apartment	(8) apartments	8 parking spaces
<b>Retail</b>		
3 spaces per 1,000 sf of floor area	3,465 sf	11 parking spaces
<b>Total Required Parking Spaces</b>		<b>19 Parking Spaces</b>
<b>Total Proposed Parking Spaces</b>		<b>0 Parking Spaces</b> <i>See Note 1</i>

Notes:

- There are public parking lots within 800' of the property.
  - Pleasant Ridge Plaza
  - Dutchess County Motor Vehicles
- The Applicant proposes a rear yard setback of 10' instead of the required setback of 25'. This allows the building to be large enough to feasibly support the creation of a minimum number of apartments.
- 8 apartments are proposed. Therefore, the project is not required to comply with Workforce Housing requirements.
- Retail Hours of operation: 7am - 10pm, Monday through Sunday, inclusive
- No signage is proposed as part of this application. Retail tenants will apply separately to the Planning Board for their own signage.



Wood Fence & Gate Details

Not to Scale



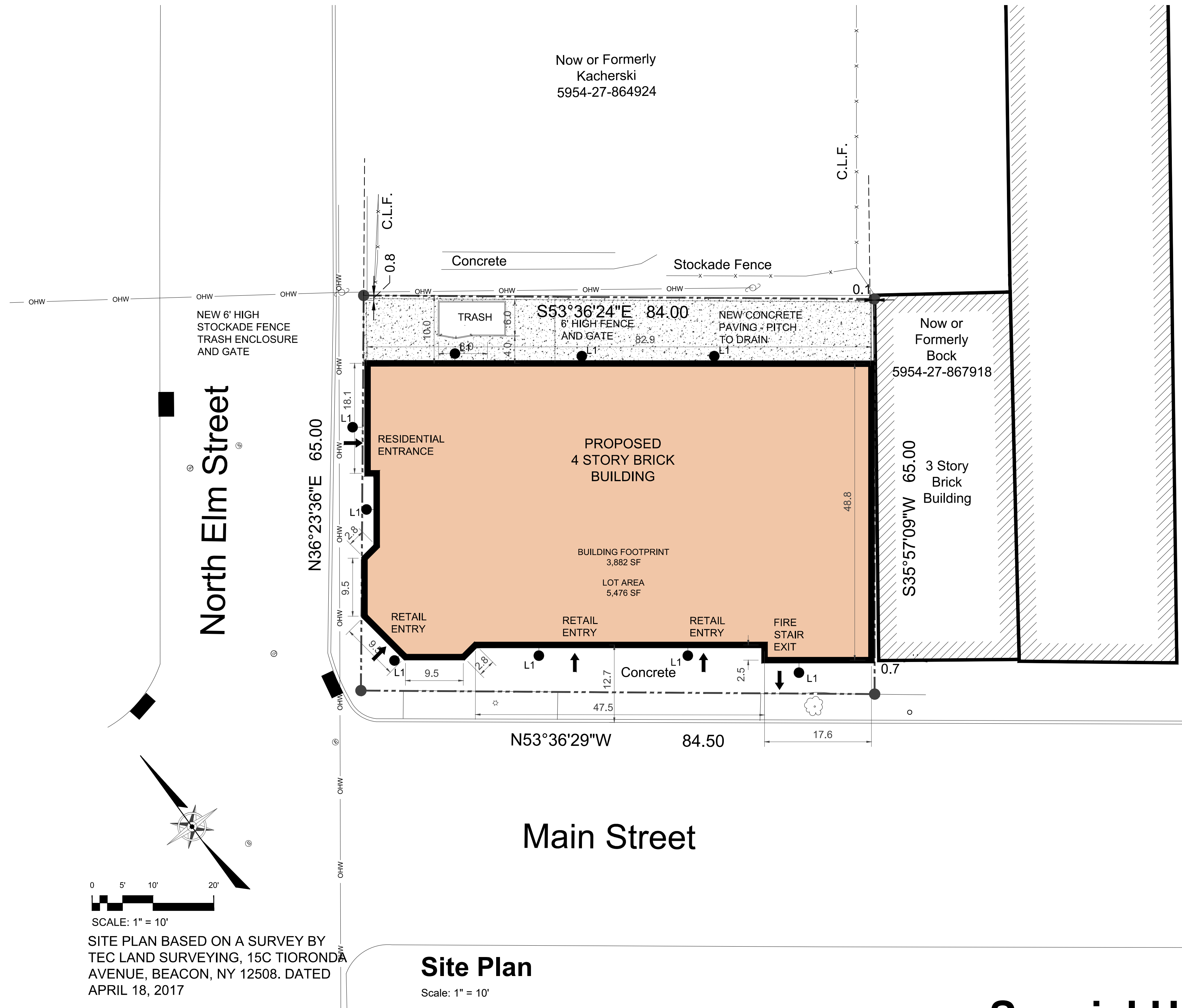
HUBBARDTON FORGE "HOOD" OUTDOOR DARK SKY COMPLIANT WALL SCONCE #306563. 15" HIGH X 6 1/2" WIDE. BURNISHED STEEL FINISH. 60 W INCANDESCENT LAMP

L1: Wall Mounted

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

Lighting

Not to Scale



Site Plan

Scale: 1" = 10'

Index of Drawings

Sheet 1 of 4	Site Plan
Sheet 2 of 4	Existing Conditions Survey
Sheet 3 of 4	Building Plans & Elevations
Sheet 4 of 4	Utility Plan & Details

REVISIONS:

NO.	DATE	DESCRIPTION	BY

Special Use Permit Application  
Sheet 1 of 4 - Site Plan

226 Main Street

Beacon, New York  
Scale: 1" = 10'  
April 25, 2017

Owner:  
**Estate of Jeffrey McGarvey**

C/O Epstein & Epstein,  
PO Box 2, Beacon, NY 12508

Applicant:  
**328 Main Street, LLC**

445 Main Street  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**

514 Main Street  
Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**

174 Main Street  
Beacon, New York 12508

Surveyor:  
**TEC Surveying**

15C Tioronda Avenue  
Beacon, New York 12508

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	06/28/16	REVISED PER PLANNING BOARD COMMENTS	AJS
2	07/28/16	NO CHANGE	AJS

**SURVEY NOTES**

- Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
- Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
- Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
- Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
- The certifications herein are not transferable.
- The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
- Subject to the findings of a current title search.
- Subject to covenants, easements, restrictions, conditions and agreements of record.
- Subject to any right, title or interest the public may have for highway use.

**DEED REFERENCE**

LIBER 1380 PAGE 238  
 JOHN J. HETLING  
 To  
 JEFFEREY MCGARVEY  
 APRIL 1, 1974

**TAX PARCEL NUMBER**

City of Beacon, Dutchess County, New York  
 130200-5954-27-860918-0000

**AREA**

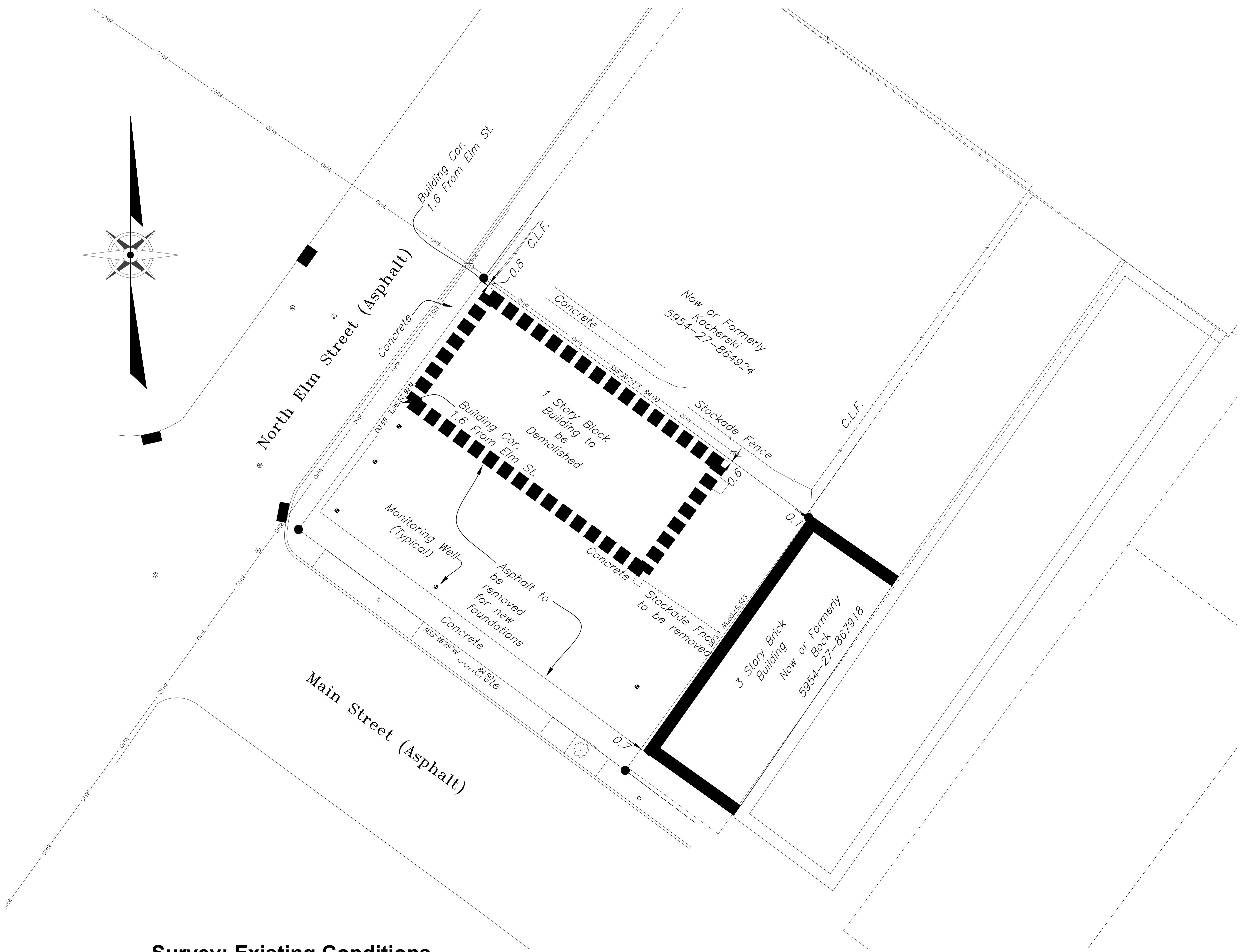
5,476 Square Feet  
 0.126 Acres

**CERTIFICATIONS**

High View Development

**DATE OF SURVEY**

Field Completion: February 28, 2017



**Survey: Existing Conditions**

Scale: 1" = 10'

**Site Plan Application**  
 Sheet 2 of 4 - Survey: Existing Conditions

**Owner:**  
 Estate of Jeffrey McGarvey  
 C/O Epstein & Epstein,  
 PO Box 2, Beacon, NY 12508

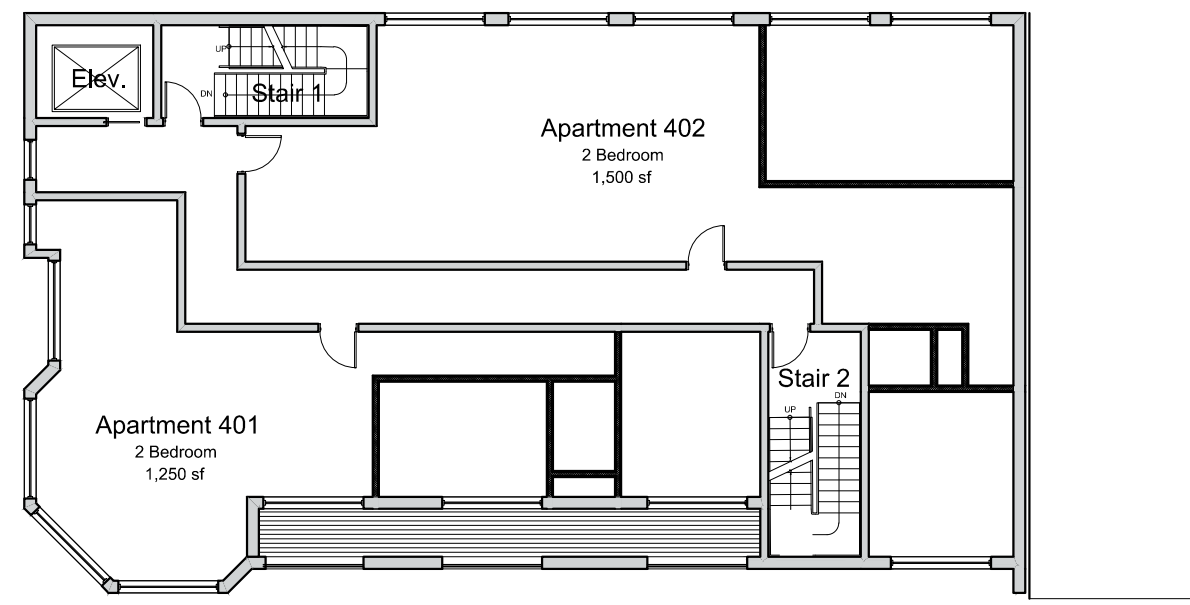
**Applicant**  
 328 Main Street, LLC  
 445 Main Street  
 Beacon, New York 12508

**Architect:**  
 Aryeh Siegel, Architect  
 514 Main Street  
 Beacon, New York 12508

**Site / Civil Engineer:**  
 Hudson Land Design  
 174 Main Street  
 Beacon, New York 12508

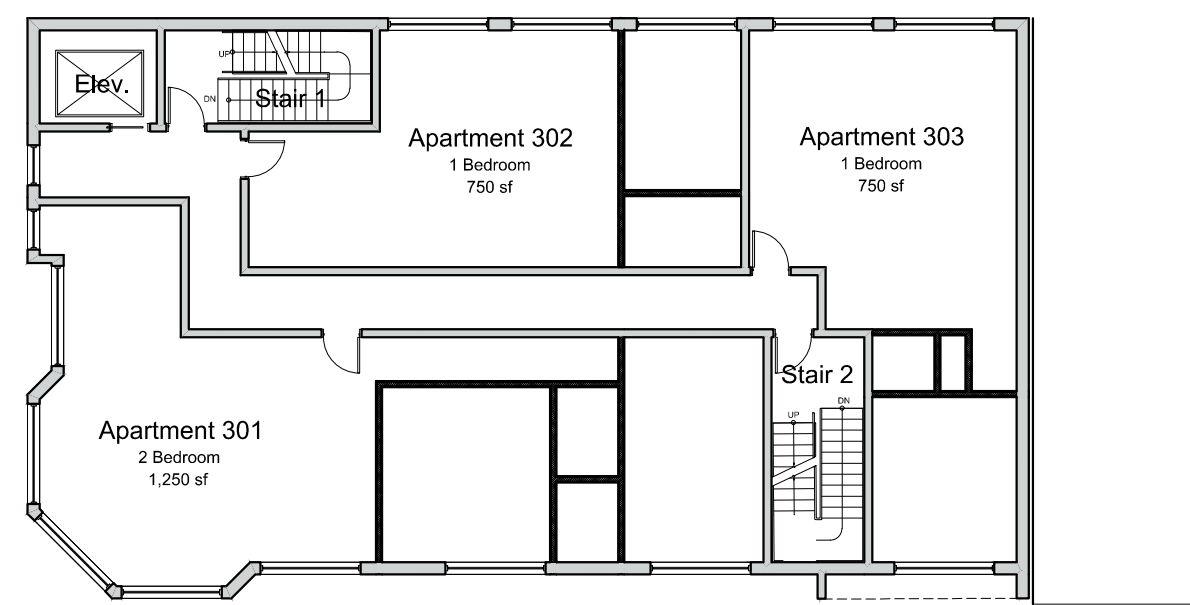
**Surveyor:**  
 TEC Surveying  
 15C Tioronda Avenue  
 Beacon, New York 12508

**226 Main Street**  
 Beacon, New York  
 Scale: 1" = 10'  
 April 25, 2017



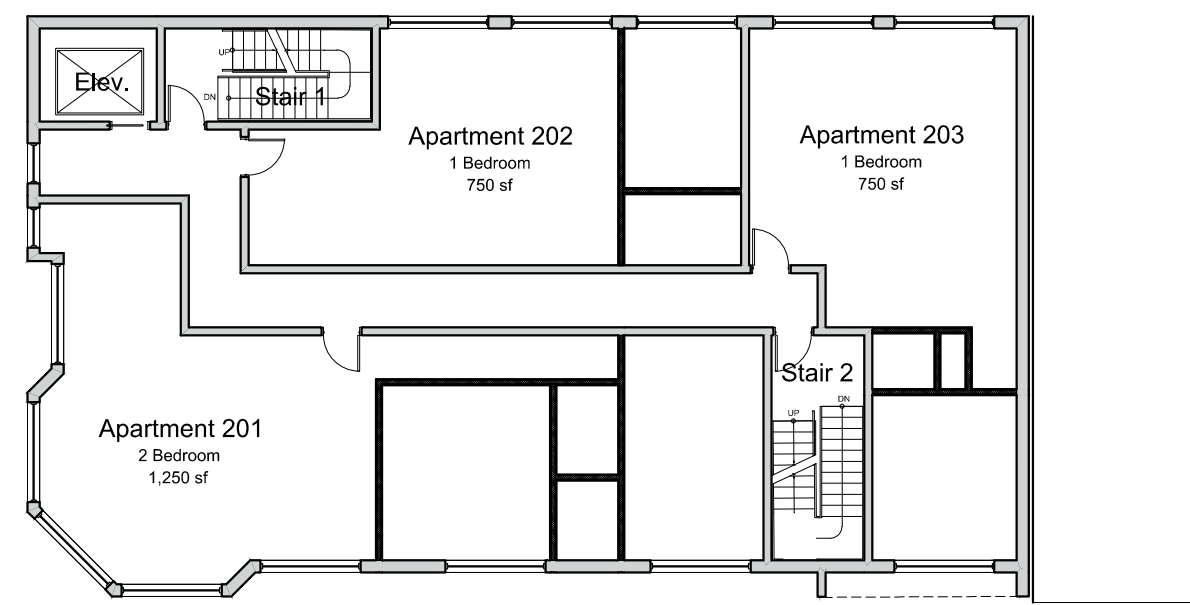
**4th Floor Plan**

Scale: 1/16" = 1'-0"



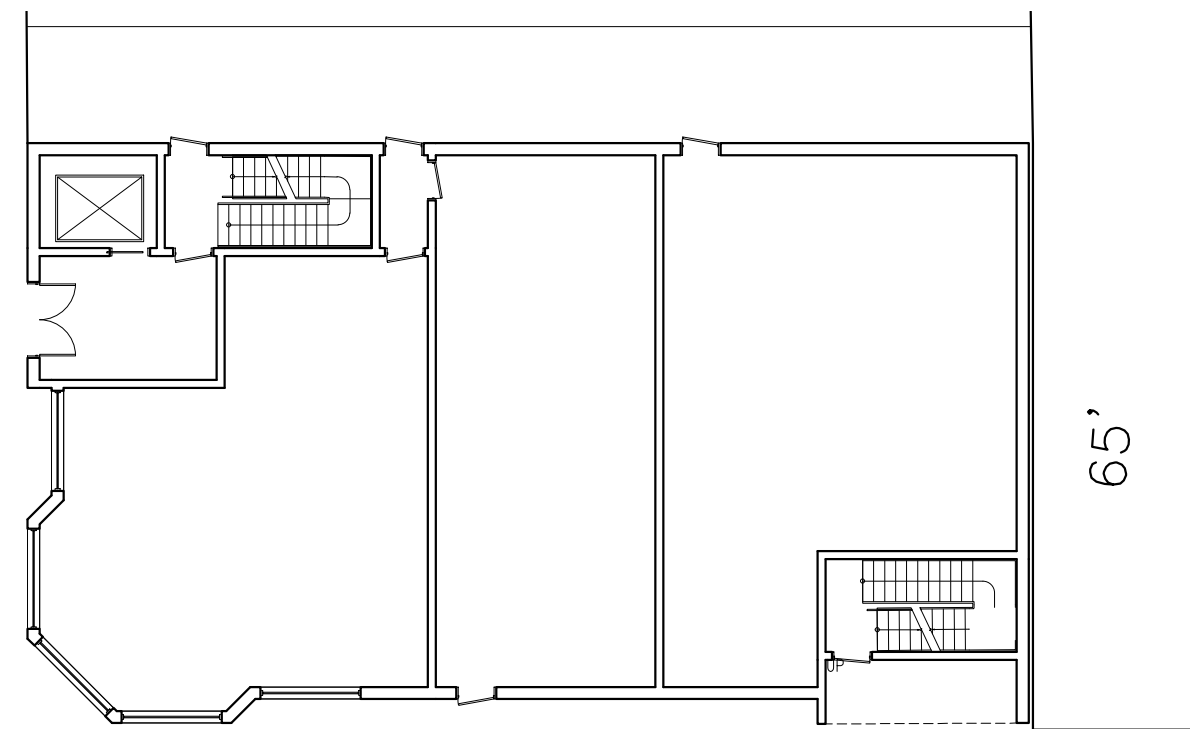
**3rd Floor Plan**

Scale: 1/16" = 1'-0"



**2nd Floor Plan**

Scale: 1/16" = 1'-0"



**1st Floor Plan**

Scale: 1/16" = 1'-0"



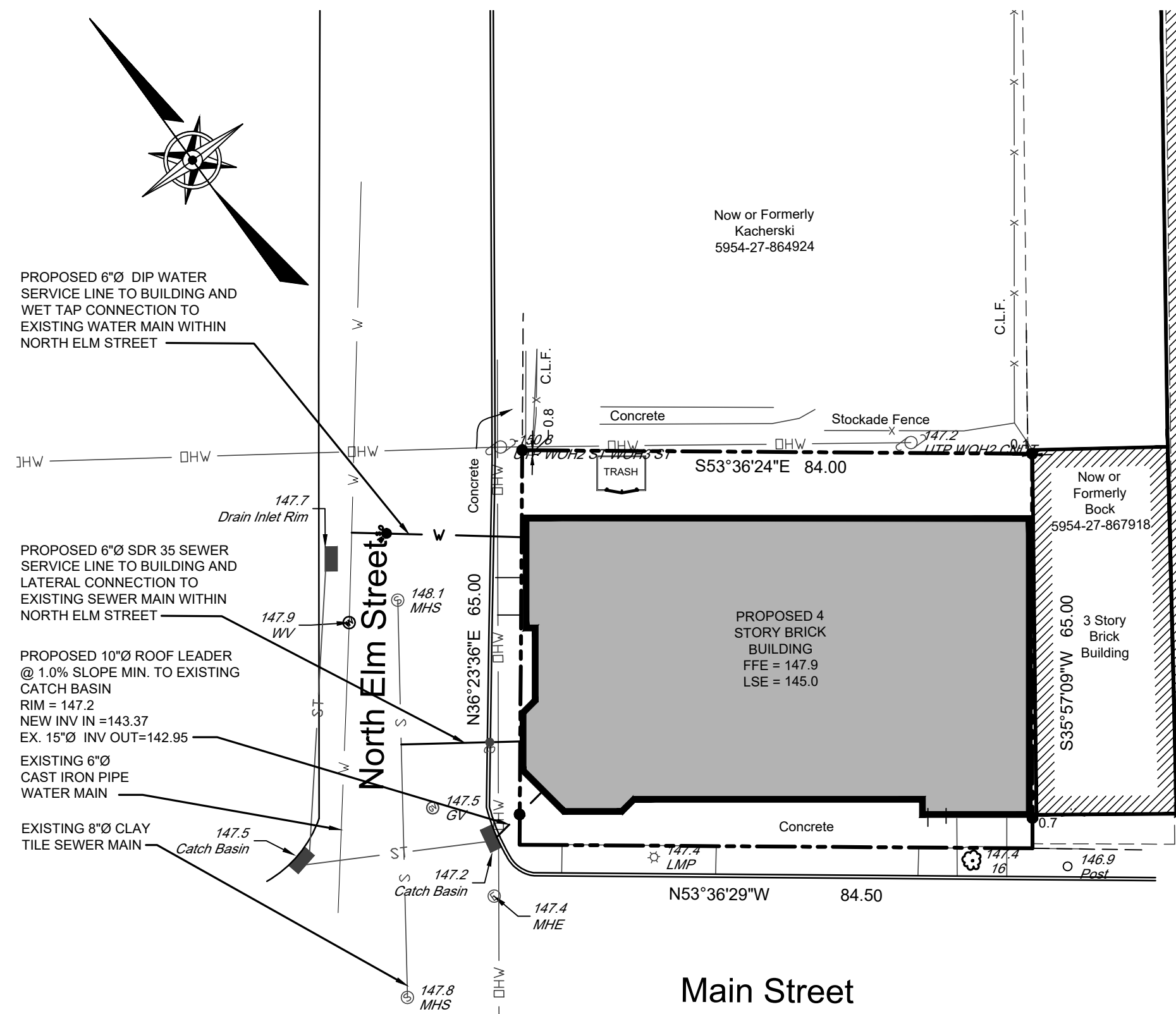
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ SECRETARY

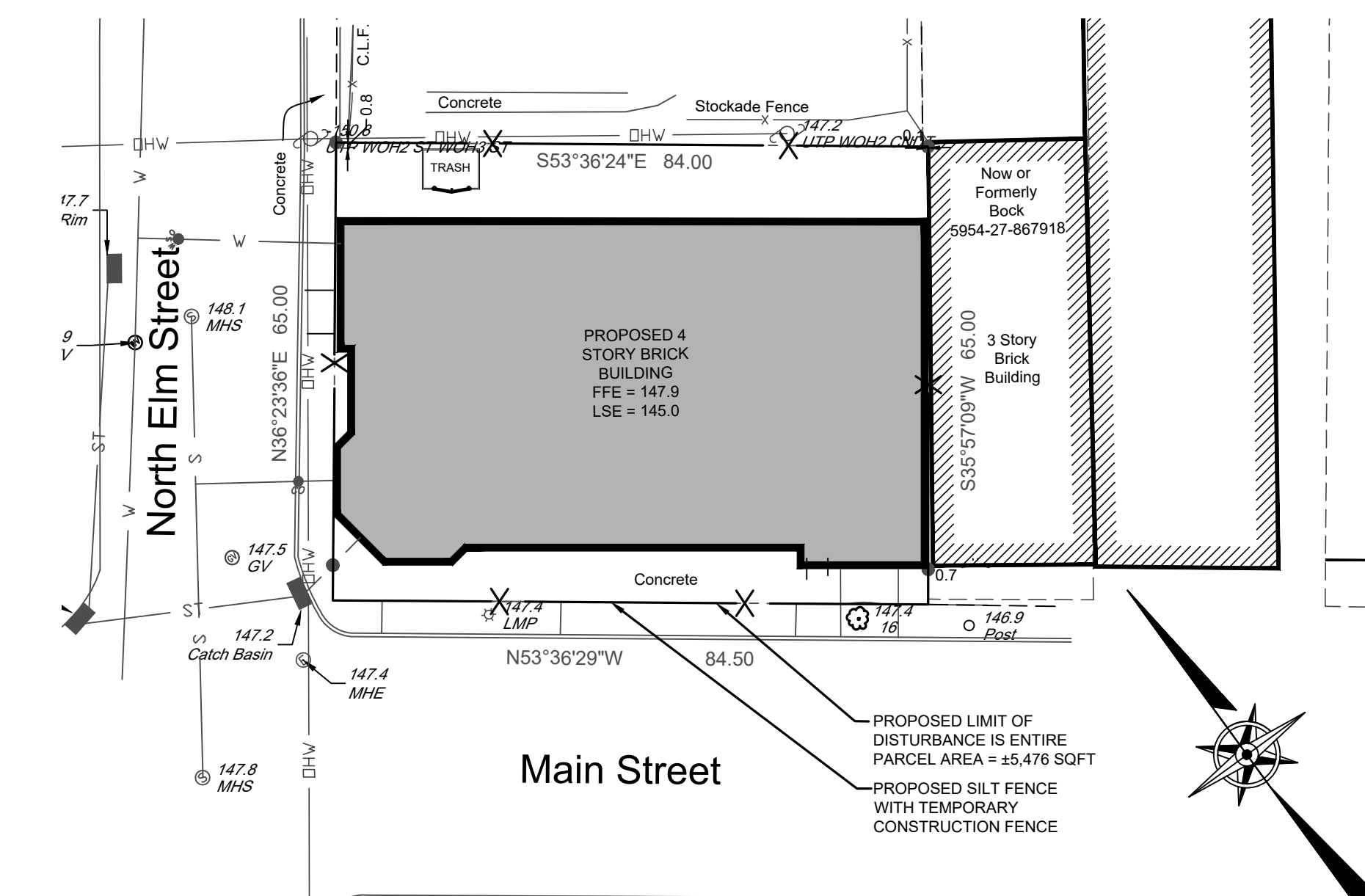
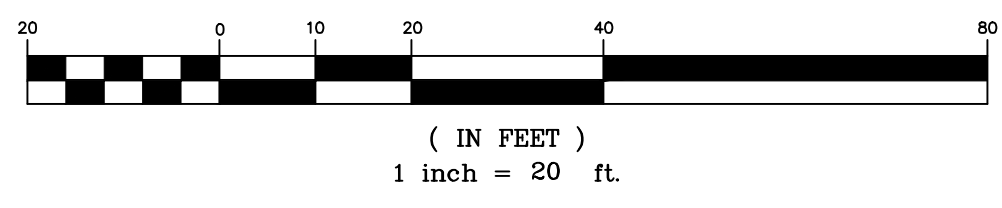
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	06/28/16	REVISED PER PLANNING BOARD COMMENTS	AJS
2	07/28/16	REVISE PER PLANNING BOARD COMMENTS	AJS

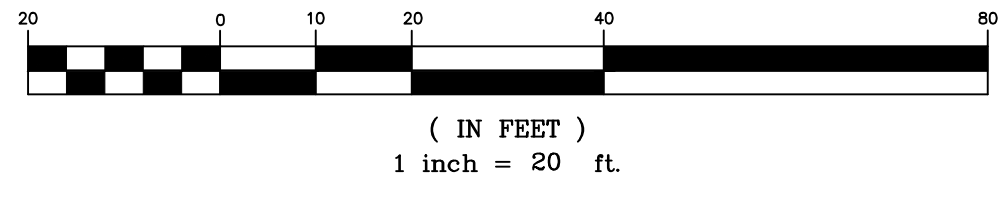
**Site Plan Application**  
Sheet 3 of 4 - Plans & Elevations



**UTILITY PLAN**  
SCALE: 1" = 20'



**EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1" = 20'

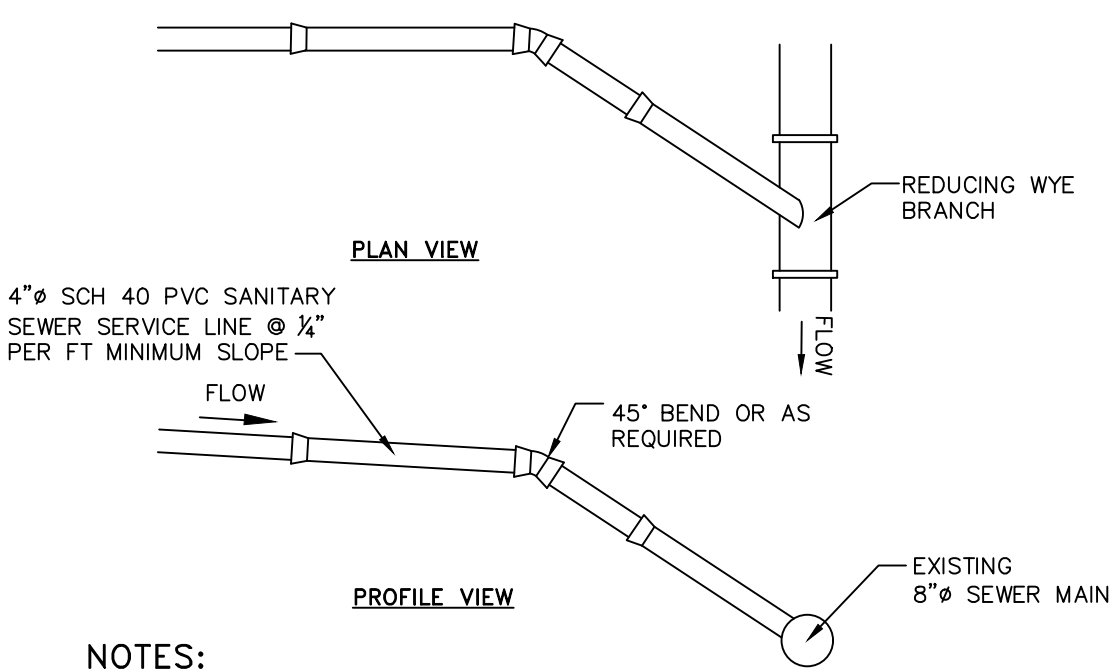


**LEGEND**

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING ADJOINER LINE
○	EXISTING TREE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED FUTURE CONTOUR
---	PROPOSED SILT FENCE
DHW	EXISTING OVERHEAD WIRE
S	EXISTING SEWER MAIN
W	EXISTING WATER MAIN
WS	EXISTING WATER SERVICE LINE
WS	PROPOSED WATER SERVICE LINE
WS	PROPOSED WATER SHUT-OFF VALVE
CO	PROPOSED CLEAN OUT
X-X-X-X	PROPOSED SILT FENCE

**SITE SPECIFIC NOTES:**

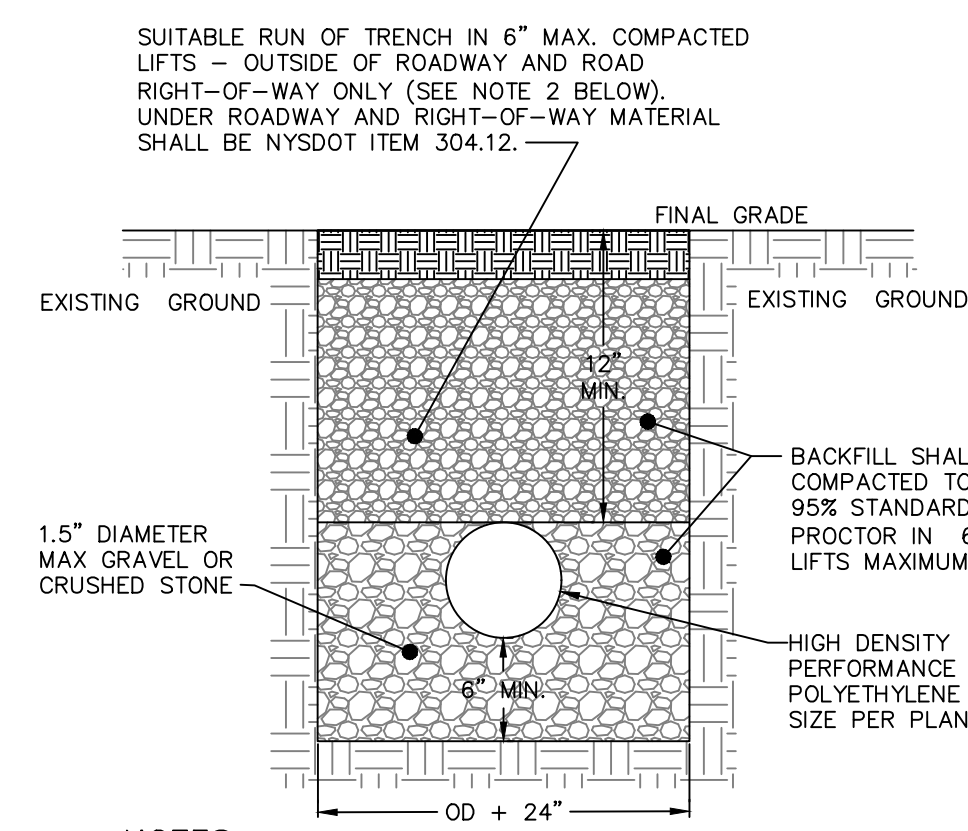
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPD @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS, WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL DRAINAGE, SANITARY SEWER, WATER AND GAS LINES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT.
- THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES. AS SUCH, THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
- THE WATER SERVICE LINE SHALL BE 6" DIP.
- THE SEWER SERVICE LINE SHALL BE 6" SDR-35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
- STREET CLOSURE FOR WATER, SEWER AND GAS SERVICE CONNECTIONS AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS. A PLAN SHALL BE IN PLACE FOR MAINTENANCE AND PROTECTION OF TRAFFIC.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. MAIN STREET AND NORTH ELM STREET SHALL BE KEPT CLEAN AND SWEEP DURING CONSTRUCTION.
- SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, AS REQUIRED. THE TYPES OF PUMPS AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
- THE TOTAL DISTURBANCE ASSOCIATED WITH THE PROJECT HAS BEEN ESTIMATED TO BE 5,476 SQUARE FEET (±0.13 ACRE).
- THE BUILDING DEPARTMENT SHALL INSPECT THE EXISTING BUILDING TO CONFIRM THAT THERE ARE NO EXISTING STORMWATER CONNECTIONS TO THE CITY'S SANITARY SEWER SYSTEM PRIOR TO THE MAP BEING SIGNED.



**NOTES:**

- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
- SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
- TAPPING SADDLE FOR CONNECTION OF THE PROPOSED SERVICE LINE TO THE EXISTING SEWER MAIN TO BE A 4" PRECO HUB TAP SADDLE - MODEL #HTS4/E.

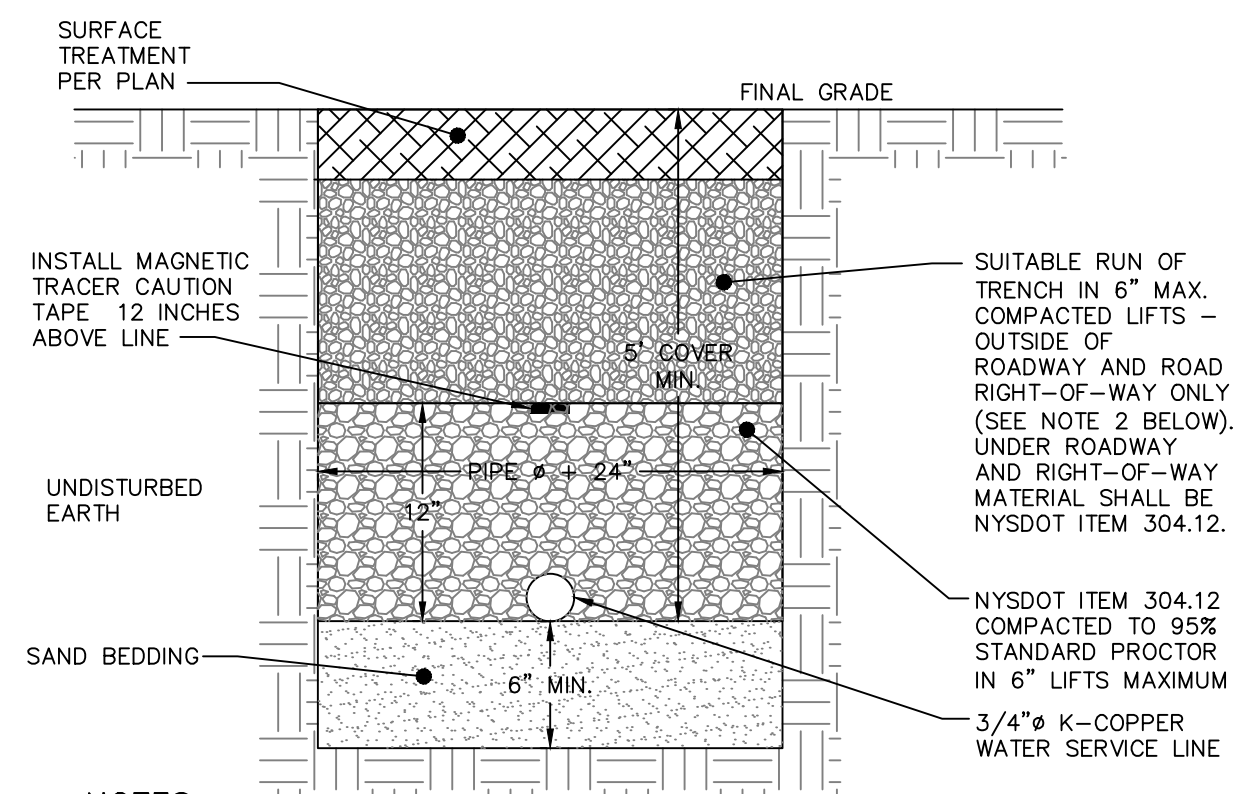
**SANITARY SEWER SERVICE CONNECTION DETAIL**  
NOT TO SCALE



**NOTES:**

- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

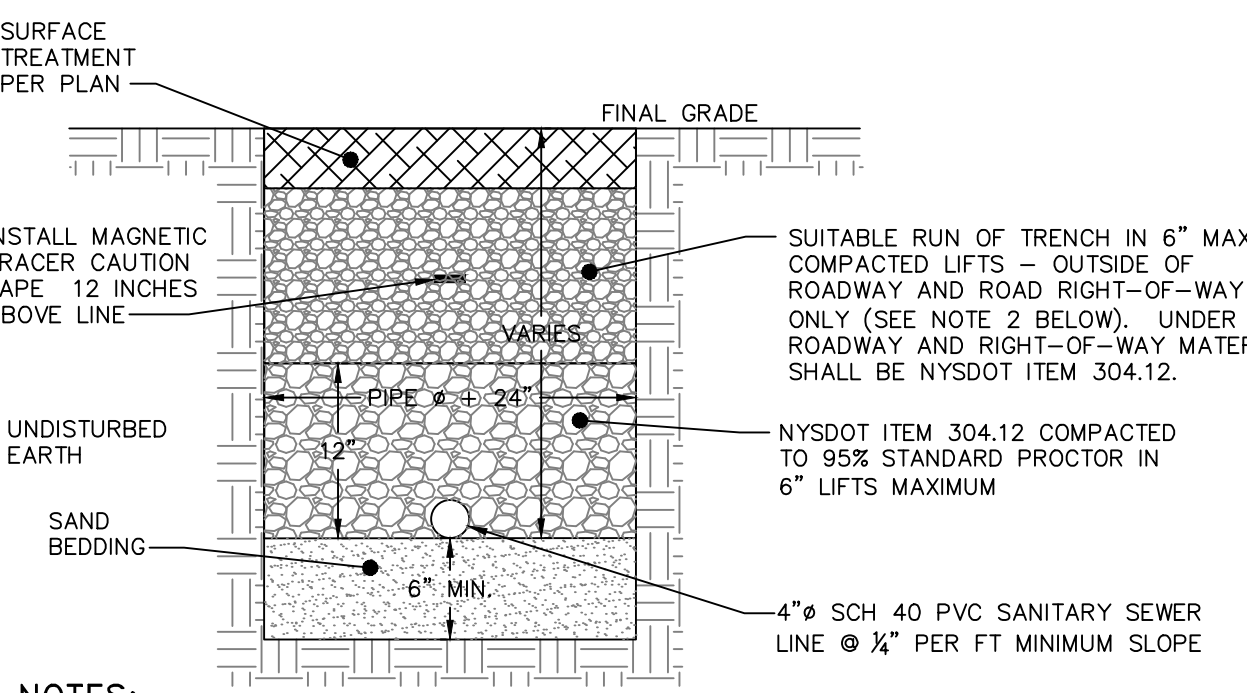
**STORM LINE TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
- SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLOGATED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
- IN AREAS WHERE 6" COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.
- IF WATER SERVICE AND SEWER SERVICE LINE CROSSINGS ARE NEEDED, PROVIDE 18" OF VERTICAL SEPARATION.

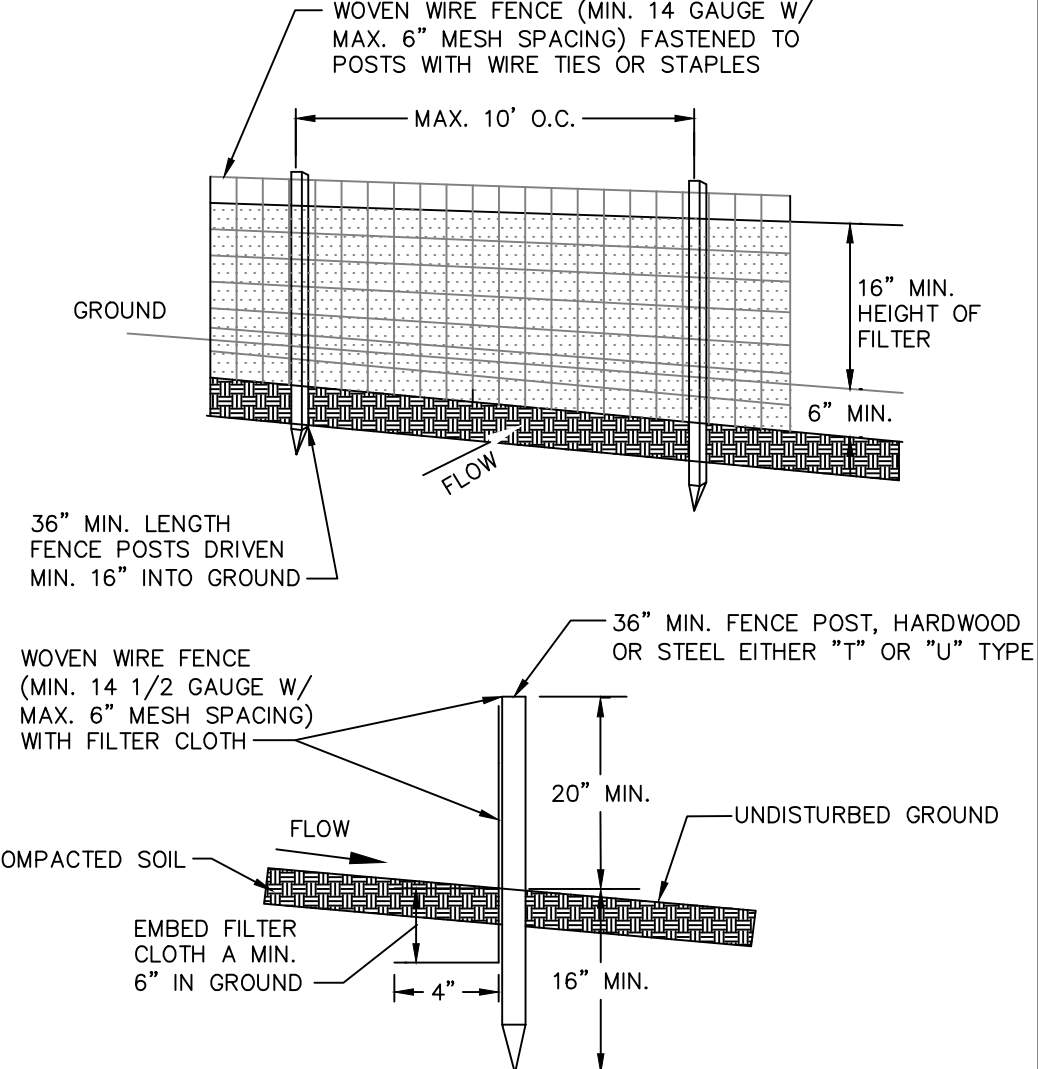
**WATER SERVICE LINE TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

- EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
- SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

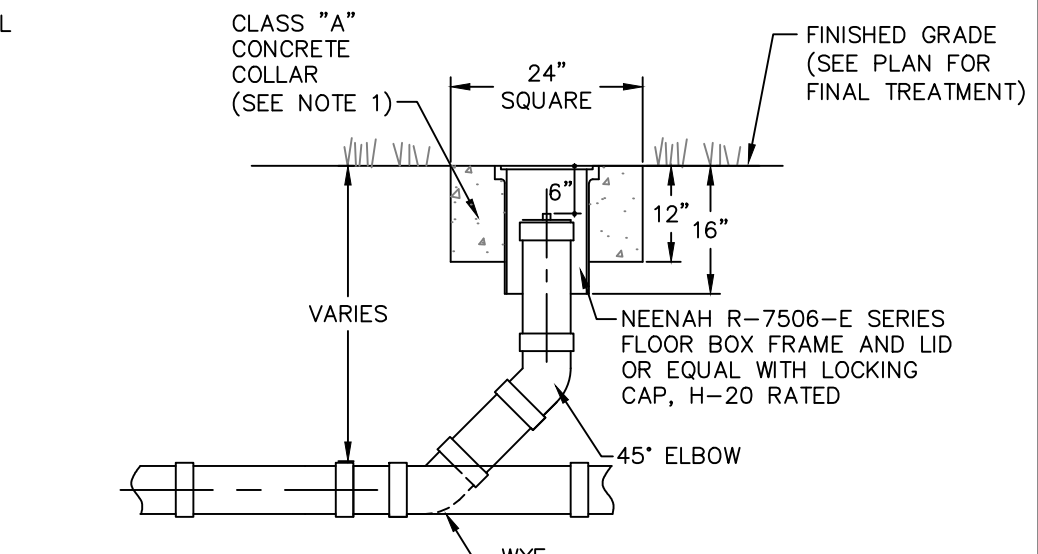
**SANITARY SEWER SERVICE TRENCH DETAIL**  
NOT TO SCALE



**NOTES:**

- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**  
NOT TO SCALE



**NOTES:**

- CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.

**CLEANOUT DETAIL**  
NOT TO SCALE

**PROJECT INFORMATION:**

PARCEL OWNER:	328 MAIN, LLC.
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	226 MAIN STREET BEACON, NEW YORK 12508
TAX PARCEL ID:	5954-27-860918
PARCEL AREA:	±0.13-ACRE
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL
ZONING DISTRICT:	CENTRAL MAIN STREET (CMS)

**MAP REFERENCES:**

- EXISTING FEATURES AS SHOWN ON THIS SKETCH PLAN PROVIDED BY A SURVEY BY TEC LAND SURVEYING.

**UTILITY PLAN AND DETAILS**  
**226 MAIN STREET**

226 MAIN STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5954-27-860918  
SCALE: AS NOTED  
APRIL 25, 2017



HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

**DRAWN BY: MAB CHECKED BY: JDB JOB NO.: 2017-013**

REVISIONS:			
NO.	DATE	DESCRIPTION	BY

**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

**SURVEY NOTES**

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.

**DEED REFERENCE**

LIBER 1380 PAGE 238  
JOHN J. HETLING  
TO  
JEFFEREY MCGARVEY  
APRIL 1, 1974

**TAX PARCEL NUMBER**

City of Beacon, Dutchess County, New York  
130200-5954-27-860918-0000

**AREA**

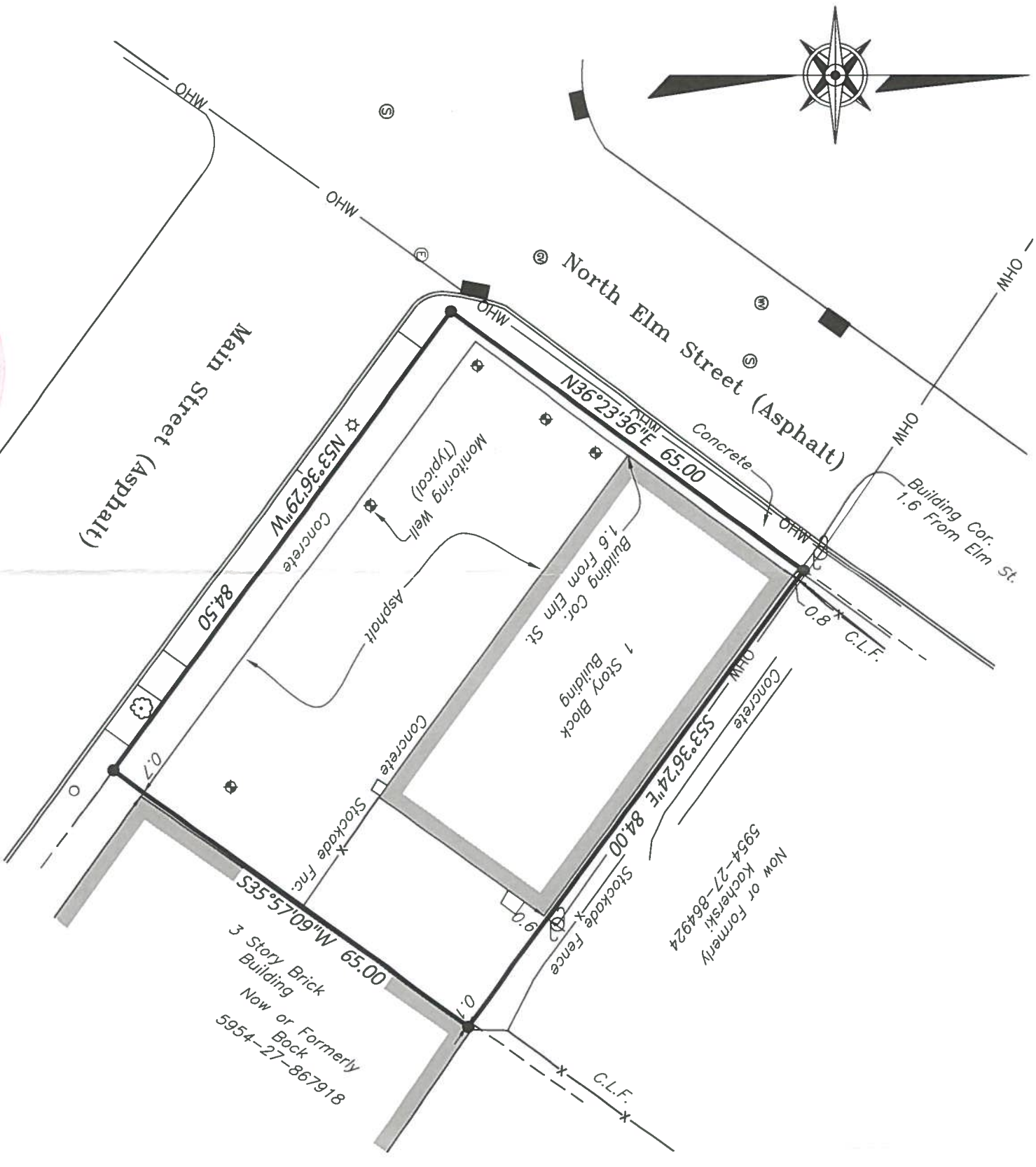
5.476 Square Feet  
0.126 Acres

**CERTIFICATIONS**

High View Development

**DATE OF SURVEY**

Field Completion: February 28, 2017



**TEC LAND SURVEYING**  
150 TIORONDA AVE. BEACON, NY 12508  
PH: 845.445.6590 FX: 845.445.6591



**BOUNDARY SURVEY OF 226 MAIN STREET**  
CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id	130200-5954-27-860918	address	226 MAIN ST
date	04/18/2017	drawn	CJB
scale	1"=20'	checked	TEC
project no.	17-025	project name	226 MAIN ST
sheet	1 OF 1		





*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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April 25, 2017

Mr. Jay Sheers, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: Infiltration and Inflow Investigation  
226 Main Street  
City of Beacon, New York  
Tax ID:

Dear Chairman Sheers,

Hudson Land Design (HLD) has completed an infiltration and inflow investigation at the above referenced parcel as required by the City of Beacon. The investigation was conducted on April 24, 2017 at the existing commercial building located at 226 Main Street, which consists of a one-story brick building currently used as an automotive service station.

The first phase of the study consisted of an exterior inspection of the building to determine the location of roof leader discharge points. The existing one-story building has a flat roof with no observable collection system or roof leaders. Rainwater reputedly flows off the building towards the rear property line.

The second phase of the study consisted of interior inspection of the building in an attempt to determine if there are any illicit connections to the building sewer line from sump pumps, floor drains and the like. HLD personnel were not able to observe any sections of interior sanitary sewer plumbing. The sanitary sewer line reputedly flows westerly towards North Elm Street's sanitary sewer collection system from the western building foundation. The sanitary sewer line is assumed to flow into the municipal sewer system, at North Elm Street or towards Main Street. At this time, no dye tests were conducted to verify flow direction.

Two floor drains were observed, one in the garage which reputedly flows towards Main Street's sewer collection system, and one in the bathroom on the western side of the

building. The bathroom floor drain reputedly flows into North Elm Street's sewer collection system.

Based on our observations, HLD does not believe that there are any illicit stormwater connections from the building located at 226 Main Street to the City of Beacon's sanitary sewer collection system. The building is proposed to be removed, so the existing floor drains will be cut and capped at that time.

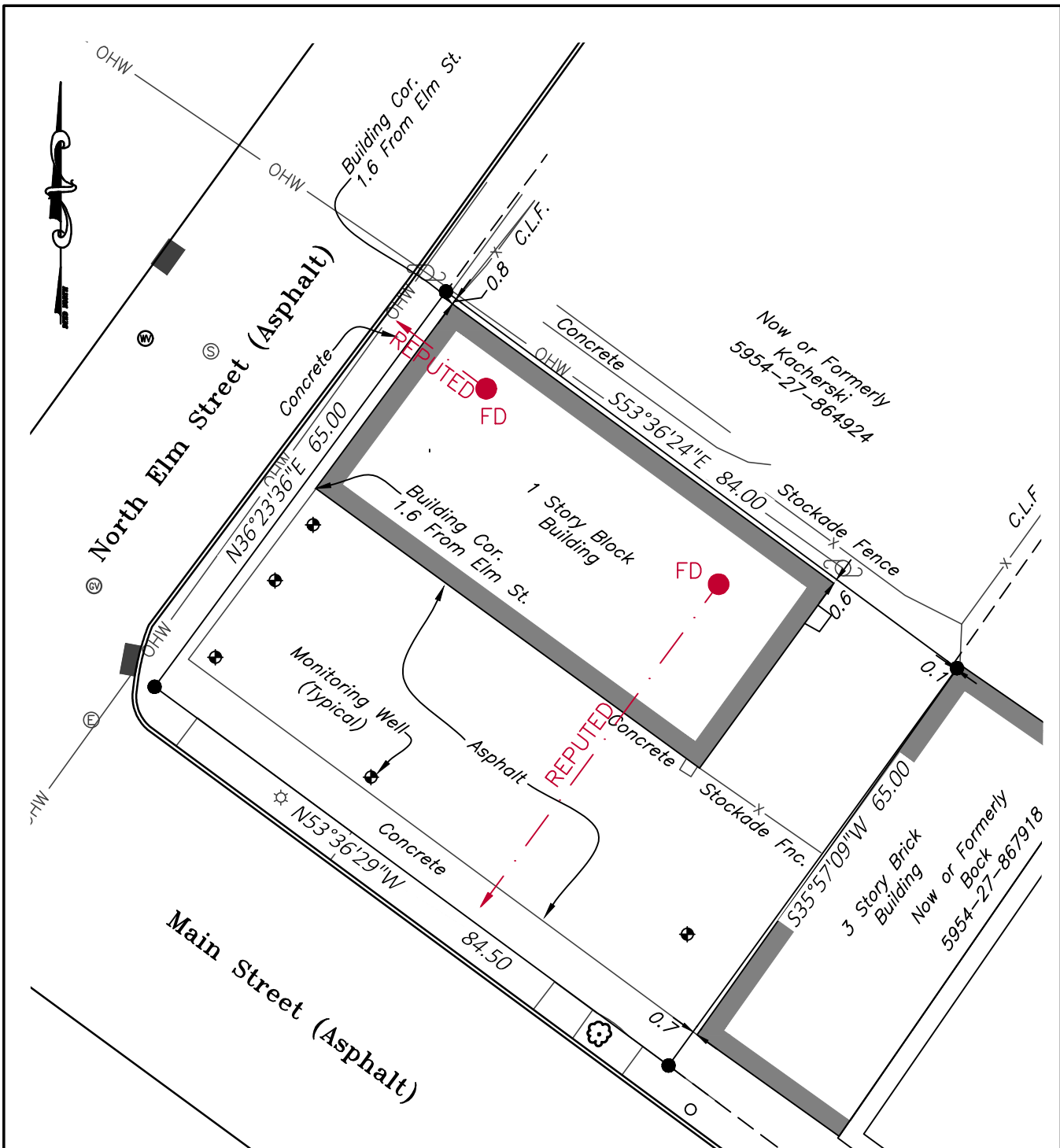
Should you have any questions, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Mr. Bodendorf". The signature is fluid and cursive, with the first name "Mr." written in a smaller, more compact script than the last name.

Michael A. Bodendorf, P.E.

cc: Brendan McAlpine (via email)  
Jon D. Bodendorf, P.E. (HLD file)



NOTE: FLOOR DRAIN (FD) DISCHARGE DIRECTIONS PER OWNER, ASSUMED TO DISCHARGE TO THE SEWER. NO DYE TESTS WERE CONDUCTED.

**I&I INVESTIGATION**  
 SCALE: 1" = 20'  
 DATE: APRIL 25, 2017



PREPARED FOR:  
 226 MAIN STREET  
 ±0.13-ACRE PARCEL  
 MAIN STREET AND NORTH ELM STREET  
 CITY OF BEACON  
 DUTCHESS COUNTY, NEW YORK  
 TAX PARCEL 5954-27-860918

PREPARED BY:  
 HUDSON LAND DESIGN  
 PROFESSIONAL ENGINEERING  
 174 MAIN STREET  
 BEACON, NY 12508  
 PH: 845-440-6926

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: May 5, 2017

Re: **226 Main Street, Special Use Permit**

I have reviewed an April 25, 2017 Special Use Permit Application and Site Plan Specification Form, an April 25, 2017 Full EAF Part 1, a Boundary Survey, dated April 18, 2017, an April 25, 2017 Infiltration and Inflow Investigation letter from Hudson Land Design, and a 4-sheet Special Use Permit and Site Plan set, dated April 25, 2017.

### **Proposal**

The applicant is proposing to demolish an existing one-story structure and construct a four-story mixed-use building, creating eight apartments and ground-floor storefronts. The building is in the Central Main Street zoning district.

### **Comments and Recommendations**

1. There is no provision in the CMS district that requires a Special Use Permit for this project. Sheet 1 should be retitled and EAF question B.b should be changed to Site Plan approval. The EAF Question D.2.r should be answered yes. The EAF Mapper Summary Report should be attached to the EAF.
2. This proposed building supports the overall intent of the CMS district by replacing an auto-oriented business and front yard parking with a multi-story, mixed-use, storefront building type that will enhance the pedestrian experience along Main Street. However, it does not meet several standards of the CMS district:
  - The minimum rear yard setback in the CMS district is 25 feet. The proposed rear setback of 10 feet will require an area variance based on the limited depth of the existing lot.
  - A minimum of 10 percent of the lot is required to be landscaped under Section 223-41.17 D(12). The rear area should include plantings to meet this standard.
  - The proposal has no off-street parking, although elimination of existing curb cuts could create at least three new on-street spaces. The required parking may be modified by the Planning Board if there is sufficient public parking available within 800 feet of the site to meet the foreseeable needs of the uses. The applicant may also request a ZBA variance.
3. The plans should show the location of the adjacent residential building to the rear for site context. It is not clear on the plans where the fence and gate are located.
4. The Sheet 1 Zoning Summary should state that this parcel is not in the Historic Overlay District.
5. One existing street tree is located in front of the property along Main Street. Additional street trees should be added along both streets as part of this project, consistent with Section 223-41.17 G(2) and similar to the spacing of trees across Main Street.

Page 2, May 5, 2017 memo for 226 Main Street

6. Also according to Section 223-41.17 G(2), a pedestrian clearway at least eight feet wide should be provided along the sidewalk from the street tree plantings to the building face. This may require the building be set back two feet from the adjacent storefront. Doors should be designed to not open into the clearway.
7. The Board may also require bicycle racks and should require a brick transition zone in the former driveway to match existing sidewalk conditions.
8. Once the Board has agreed on the overall size of the building, the architecture should be reviewed by the Architectural Review Subcommittee to meet the Design Standards in Section 223-41.17 K. The plans will need elevations with materials and colors noted for all four sides of the proposed building.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c:     Tim Dexter, Building Inspector  
       Jennifer L. Gray, Esq., City Attorney  
       Arthur R. Tully, P.E., City Engineer  
       John Russo, P.E., City Engineer  
       Aryeh Siegel, Project Architect

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lenc, P.E., L.S.  
Arthur R. Tully, P.E.

May 3, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 226 Main Street  
Tax Map No. 5954-27-86091

Dear Mr. Sheers:

My office is in receipt of the following:

1. Plans entitled "Special use Permit Application", Sheet 1 of 4 thru 4 of 4, dated April 25, 2017, as prepared by Aryeh Siegel, Architect and others.
2. Application for Special Use Permit and Site Plan Application dated April 25, 2017.
3. Full Environmental Assessment Form dated April 25, 2017.

Based on our review of the above, we would like to offer the following comments:

1. Several observation wells are located on the property. The applicant should provide information regarding the purpose and status of these wells.
2. Existing utilities should be shown on the plans.
3. The Inflow and Infiltration investigation Study prepared by Hudson Land Design indicates that there are floor drains in the existing building. These drains should be dye tested to verify their connection to the City's Sewer System. If possible, the new sanitary sewer service should be installed in the same location of one of the floor drains (after it has been removed) and the other floor drain capped at the property line.
4. Existing curb cuts will need to be removed and the sidewalk and curbing repaired or replaced, as necessary.
5. The condition of the existing street tree should be evaluated to determine whether it should remain or be replaced.

6. Additional information should be provided regarding proposed roof leaders and footing drains (if required) as well as how drainage is to be handled at the rear of the building.
7. How will access be provided to remove trash from the trash enclosure
8. Vents were observed on the sidewall of the adjacent building on Main Street. Will the proposed construction impact these vents.

Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



Arthur R. Tully, P.E.

cc: Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**177 Main Street**

**Subject:**

Review application for Special Use Permit, retail/residential building, 177 Main Street, submitted by Frog Leap, LLC

**Background:**

**ATTACHMENTS:**


Description	Type
177 Main - Application	Application
177 Main - Full EAF	EAF
177 Main - Site Plan	Plans
177 Main - Planner Review	Consultant Comment
177 Main - Engineer Review	Consultant Comment



**APPLICATION FOR SPECIAL USE PERMIT**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

Name: Frog Leap, Inc.  
Address: 177 Main Street  
Beacon, NY 12508  
Signature:   
Date: April 25, 2017  
Phone: (845) 440-7122

*(For Official Use Only)*

Application & Fee Rec'd 425.17 tk  
Initial Review 5-9-17  
PB Public Hearing \_\_\_\_\_  
Sent to City Council \_\_\_\_\_  
City Council Workshop \_\_\_\_\_  
City Council Public Hearing \_\_\_\_\_  
City Council Approve/Disapprove \_\_\_\_\_

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: Aryeh Siegel Architect  
Address: 84 Mason Circle  
Beacon, NY 12508

Phone: 845-838-2490  
Fax: 845-838-2657  
Email address: ajs@ajsarch.com

**IDENTIFICATION OF SUBJECT PROPERTY:**

Property Address: 177 Main Street  
Tax Map Designation: Section 5954 Block 27 Lot(s) 79194  
Land Area: 4,679 sf (0.107 acres) Zoning District(s) CB

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Proposed Use: Multifamily residential, retail  
Gross Non-Residential Floor Space: Existing 800 Proposed 0  
TOTAL: 800  
Dwelling Units (by type): Existing 3 Proposed COMBINE 2 EXISTING INTO 1  
TOTAL: 2

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. Five (5) **folded** copies and One (1) digital copy of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. Five (5) **folded** copies and One (1) digital copy of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. Five (5) **folded** copies and One (1) digital copy of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

# APPLICATION PROCESSING RESTRICTION LAW

## Affidavit of Property Owner

Property Owner: Frog Leap, Inc.

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 177 Main Street, Beacon, NY

Project Address: 177 Main Street, Beacon, NY

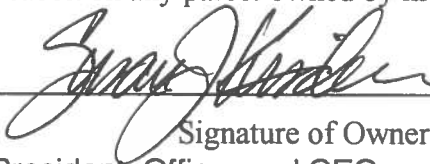
Project Tax Grid # 5954-27-79194

Type of Application Special Use Permit Site Plan

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Susan J. Kirschner, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current

  
\_\_\_\_\_  
Signature of Owner  
President, Officer and CEO

Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>SK</u>
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>SK</u>
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>SK</u>

**CITY OF BEACON  
SITE PLAN SPECIFICATION FORM**

Name of Application: 177 Main Street

<b>PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.</b>	<b>YES</b>	<b>NO</b>
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>LEGAL DATA</b>		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.		
<b>NATURAL FEATURES</b>		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>EXISTING STRUCTURES, UTILITIES, ETC.</b>		
Outlines of all structures and the location of all uses not requiring structures. Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<b>PROPOSED DEVELOPMENT</b>	<b>YES</b>	<b>NO</b>
The location, use and design of proposed buildings or structural improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed division of buildings into units of separate occupancy.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, direction, power, and time of use for any proposed outdoor lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and plans for any outdoor signs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any contemplated public improvements on or adjoining the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevations of all proposed principal or accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed fences or retaining walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>MISCELLANEOUS</b>		
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erosion and sedimentation control measures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An indication of proposed hours of operation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: 177 Main Street		
Project Location (describe, and attach a general location map): 177 Main Street, near the corner of Cliff Street		
Brief Description of Proposed Action (include purpose or need): Amendment to existing Site Plan. Applicant proposes to combine 2 apartments into 1, and add to the existing building.		
Name of Applicant/Sponsor: Frog Leap, Inc.		Telephone: (845) 440-7122
		E-Mail: soozala@earthlink.net
Address: 177 Main Street		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Same as sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Same as sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board - Site Plan Review	April 25, 2017
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No	City Council - Amended Special Use Permit	June, 2017
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
 Central Business District, Parking Overlay District

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Beacon City

b. What police or other public protection forces serve the project site?  
Beacon City

c. Which fire protection and emergency medical services serve the project site?  
Beacon City

d. What parks serve the project site?  
Memorial Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential and Commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 0.107 acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ 0.107 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 0.107 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 30 floor area Units: 1,460 sf

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase				3
At completion				
of all phases				2

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 35' height; 25' width; and 100' length

iii. Approximate extent of building space to be heated or cooled: 4,500 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will line extension within an existing district be necessary to serve the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

\_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

\_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

\_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)

\_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)

ii. Describe types of new point sources. \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

\_\_\_\_\_

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_

\_\_\_\_\_

- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

\_\_\_\_\_

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

\_\_\_\_\_

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

\_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

---

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday: _____	7am-5pm	• Monday - Friday: _____	7am-10pm
• Saturday: _____	7am-5pm	• Saturday: _____	7am-10pm
• Sunday: _____	N/A	• Sunday: _____	7am-10pm
• Holidays: _____	N/A	• Holidays: _____	7am-10pm

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Outdoor lighting at 1st floor entrance doors to retail spaces, and residential lobby. 8' high, shielded to prevent light spill onto neighboring properties. No change to existing lighting design

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally describe proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_
- ii. Anticipated rate of disposal/processing:
  - \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
  - \_\_\_\_\_ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_
- ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_
- iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)
- Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe:

Main Street commercial and multifamily residential; single family residential

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.086 acres	0.086 acres	0
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.021	0.021	0
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

---

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
\_\_\_\_\_

---

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
\_\_\_\_\_

---

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_  
\_\_\_\_\_

---

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

---

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_  
\_\_\_\_\_

- v. Is the project site subject to an institutional control limiting property uses?  Yes  No
- If yes, DEC site ID number: \_\_\_\_\_
  - Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
  - Describe any use limitations: \_\_\_\_\_
  - Describe any engineering controls: \_\_\_\_\_
  - Will the project affect the institutional or engineering controls in place?  Yes  No
  - Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 6 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Ur (Urban Land)	_____	100 %
_____	_____	_____ %
_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 8 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	100 % of site
<input type="checkbox"/> Moderately Well Drained:	_____	_____ % of site
<input type="checkbox"/> Poorly Drained	_____	_____ % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	100 % of site
<input type="checkbox"/> 10-15%:	_____	_____ % of site
<input type="checkbox"/> 15% or greater:	_____	_____ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

**h. Surface water features.**

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:  
 i. Name of aquifer: \_\_\_\_\_



m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Susan J. Kirschner Date April 25, 2017

Signature  Title President, Officer and CEO of Frog Leap, Inc.

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Zoning District	Required Setbacks			Proposed Setbacks			Lot Depth Required	Lot Depth Existing	Maximum Building Coverage	Proposed Building Coverage	Allowable Building Height	Proposed Building Height	Zoning District Area	Allowable FAR	Allowable Floor Area	Proposed Floor Area
	Front	Side	Rear	Front	Side	Rear										
CB (Central Business)	N/A	20'	25'	10.04'	0	68'-8"	100'	185.98'	NA	NA	35'	35' (No Change)	N/A	2	9,358sf	6,280sf

\* Existing Condition

**Zoning Summary**

Zoning District: CB - (Central Business)  
 Tax Map No.: 5954-27-791947  
 Lot Area: 4,679 Square feet  
 Building Footprint: 2,705 Square feet  
 Historical Overlay District: Included  
 Parking Overlay District: Included  
 Existing Use: 1 Mercantile / 3 Residential (3) One Bedroom  
 Proposed Use: 1 Mercantile / 2 Residential (2) Two Bedroom

**Parking & Loading**

Per Beacon Zoning Resolution Section 223 -26B (1) parking requirements are waived for structures in existence in 1964, for which there is not increased intensity of use greater than 25%.

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
<b>Mercantile</b>				
1 space per 200sf	1800sf	9 Spaces	800sf	4 Parking Spaces
<b>Residential</b>				
1 Space per Apartment 1/4 Space per Bedroom	(3) One Bedroom at (3) Bedroom	3 Parking Spaces 1 Parking Space	(1) One Bedroom (1) Two Bedroom	3 Parking Spaces
<b>Total Required Parking Spaces</b>		<b>13 Parking Spaces</b>		<b>7 Parking Spaces</b>
<b>Total Proposed Parking Spaces</b>				<b>2 Parking Spaces Existing-Approved</b>

**Notes:**

1. 13 Parking Spaces is less than 25% greater than 7 parking spaces. No parking is required. (2) Parking Spaces are provided.



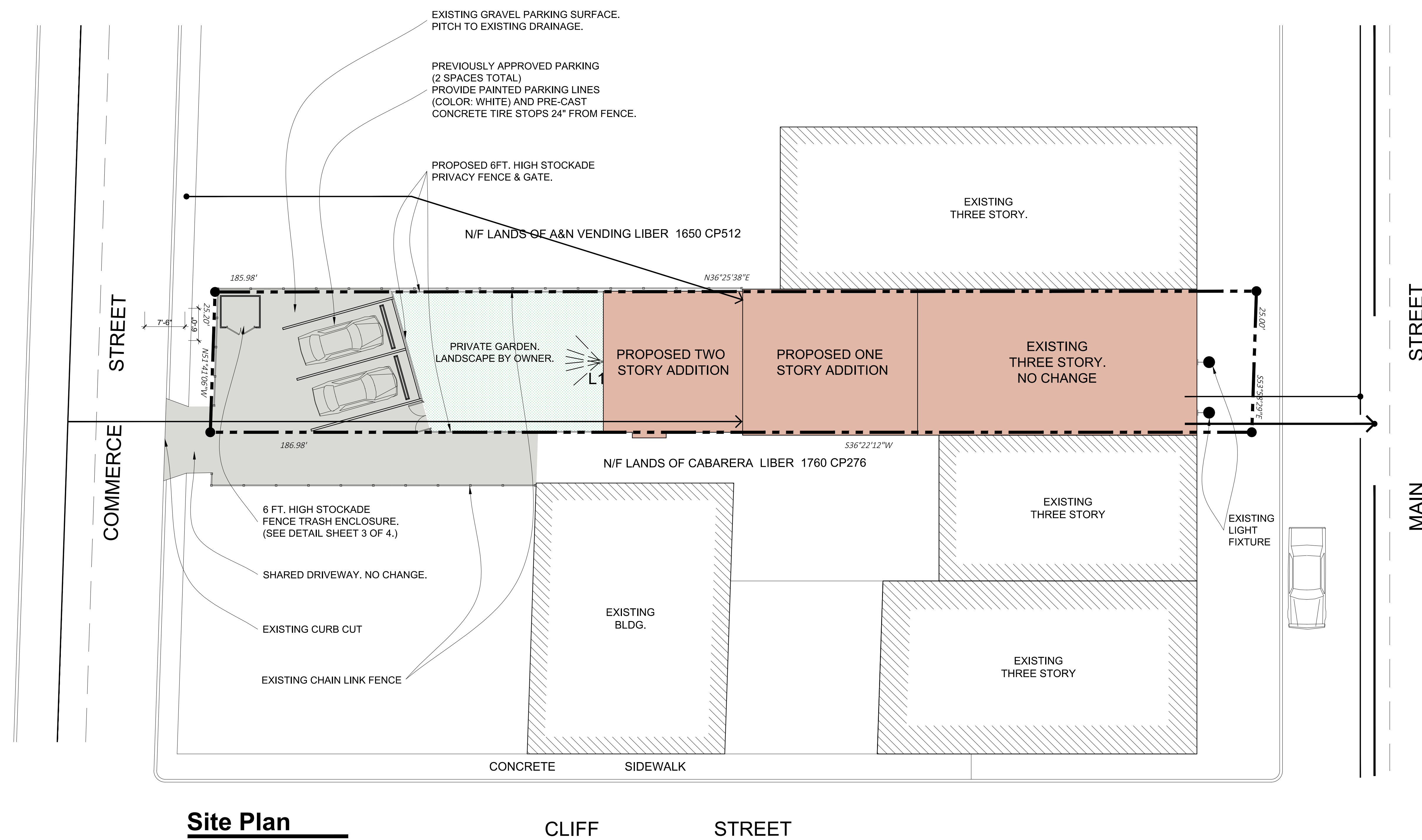
Location Map  
Not to Scale

**Index of Drawings**

Sheet 1 of 4	Site Plan
Sheet 2 of 4	Existing Conditions
Sheet 3 of 4	Floor Plans
Sheet 4 of 4	Building Section & Elevations

**REVISIONS:**

NO.	DATE	DESCRIPTION	BY



# Amended Special Use Permit Application

Sheet 1 of 4 - Site Plan

Owner:  
**Frog Leap, Inc.**  
177 Main Street  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Surveyor:  
**David Scott Freeman**  
176 Bell Hollow Road  
Putnam Valley, New York 10579  
Tel: (631) 926-4563

**177 Main Street**  
Beacon, New York  
Scale: As Noted  
April 25, 2017

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_, SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE VALID TRUE COPY.

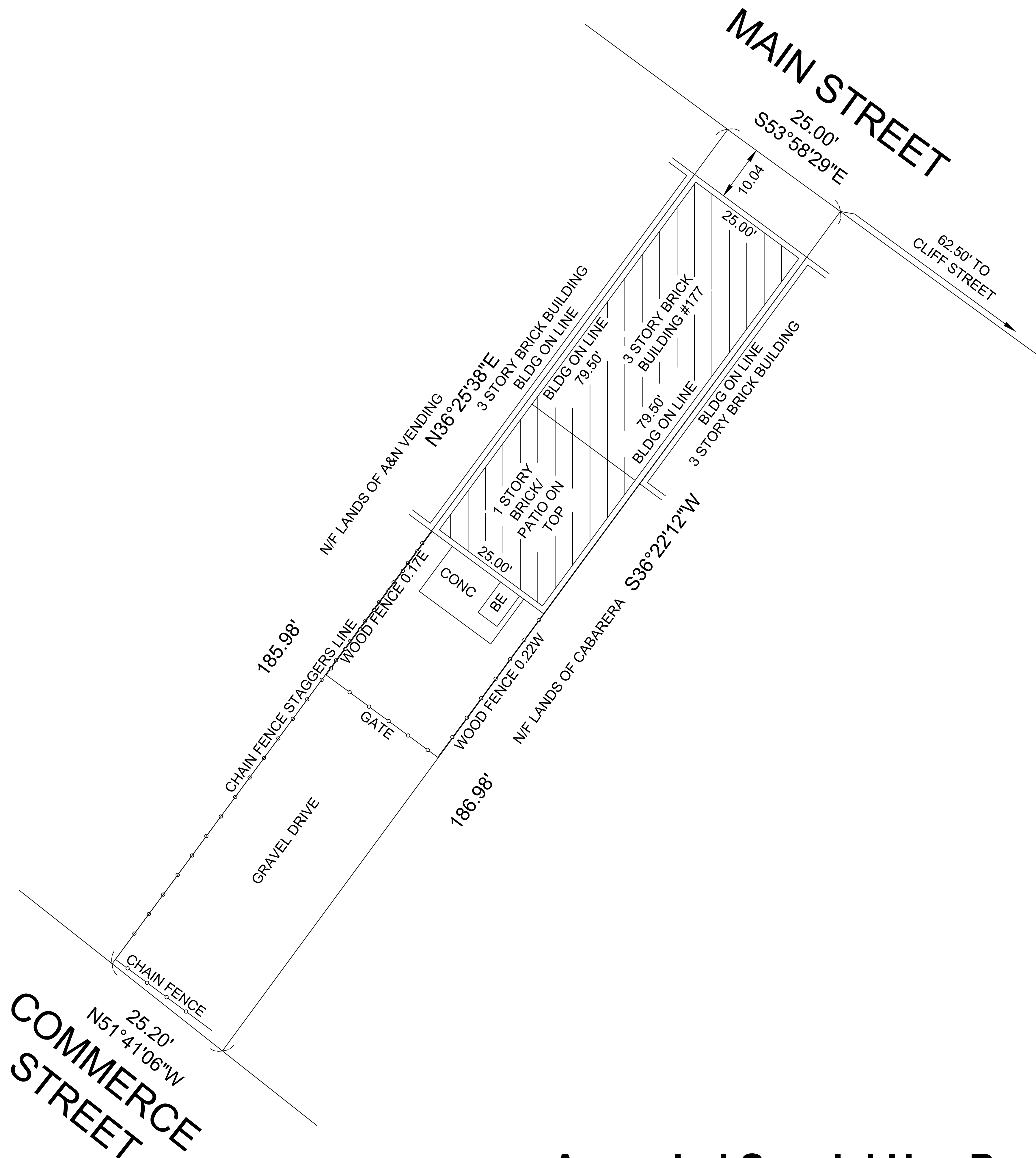
CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE

PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR TITLE SURVEYS AS ESTABLISHED BY THE L.I.A.L.S. AND APPROVED AND ADOPTED FOR SUCH USE BY THE NEW YORK STATE LAND TITLE ASSOCIATION.

THE OFFSET OR DIMENSIONS SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOL, PATIOS, PLANTING AREAS, ADDITIONS TO BUILDINGS AND ANY OTHER TYPE OF CONSTRUCTION.

SURVEY OF LOT 791947  
D.C.T.M. DUTCHESS-5954-27-791947  
SITUATED AT 177 MAIN STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK

THIS SURVEY IS CERTIFIED TO THE FOLLOWING PARTIES:  
THOROUGHbred TITLE SERVICES LLC (61456)  
ENTITLE INSURANCE COMPANY  
HUDSON VALLEY FEDERAL CREDIT UNION  
FROG LEAP INC  
FRANK E. DEESSO ESQ



**Existing Conditions Plan**

Scale: 1" = 10'

**Amended Special Use Permit Application**  
Sheet 2 of 4 - Existing Conditions Plan

REVISIONS:			
NO.	DATE	DESCRIPTION	BY

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

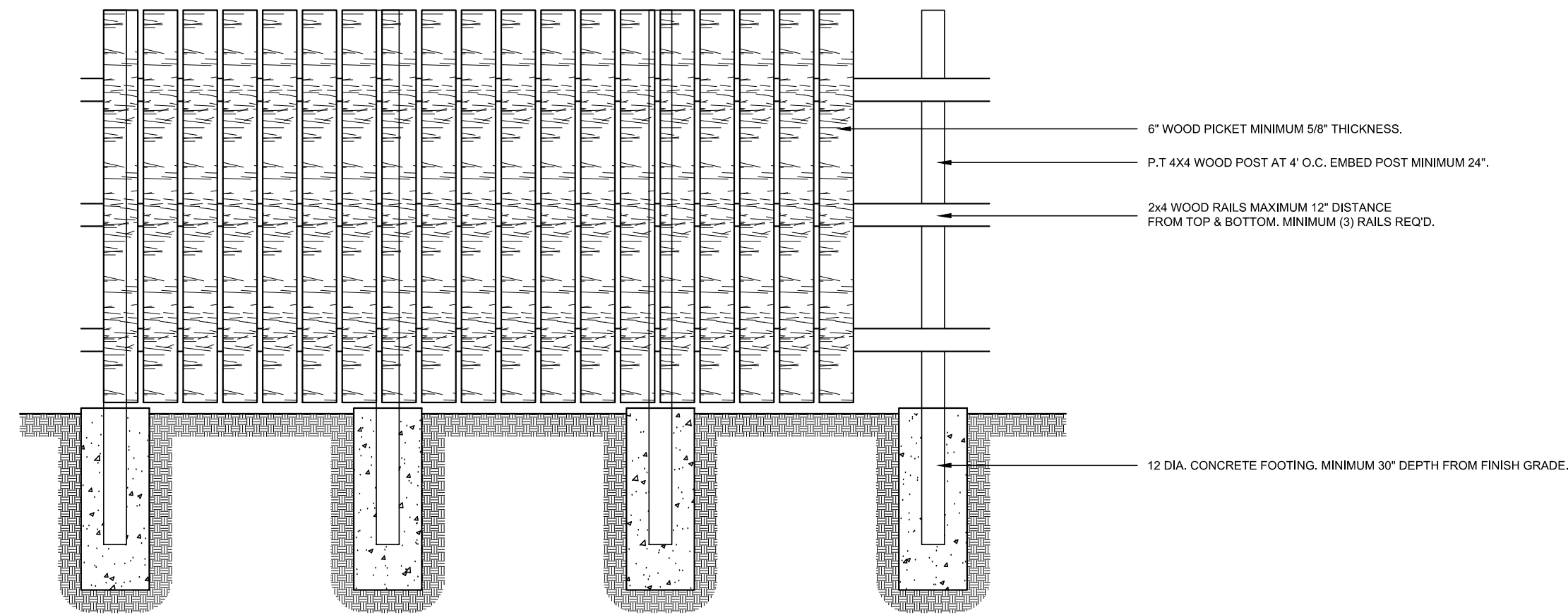


HUBBARDTON FORGE "HOOD" OUTDOOR DARK SKY COMPLIANT WALL SCONCE #306563. 15" HIGH X 6 1/2" WIDE. BURNISHED STEEL FINISH. 60 W INCANDESCENT LAMP

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY.

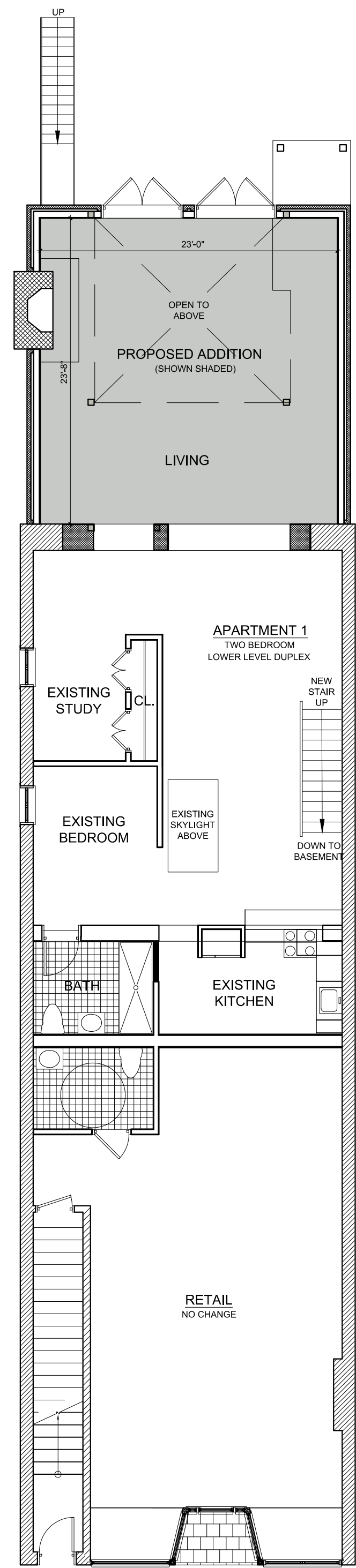
**L1: Wall Mounted Lighting Detail**

Not to Scale



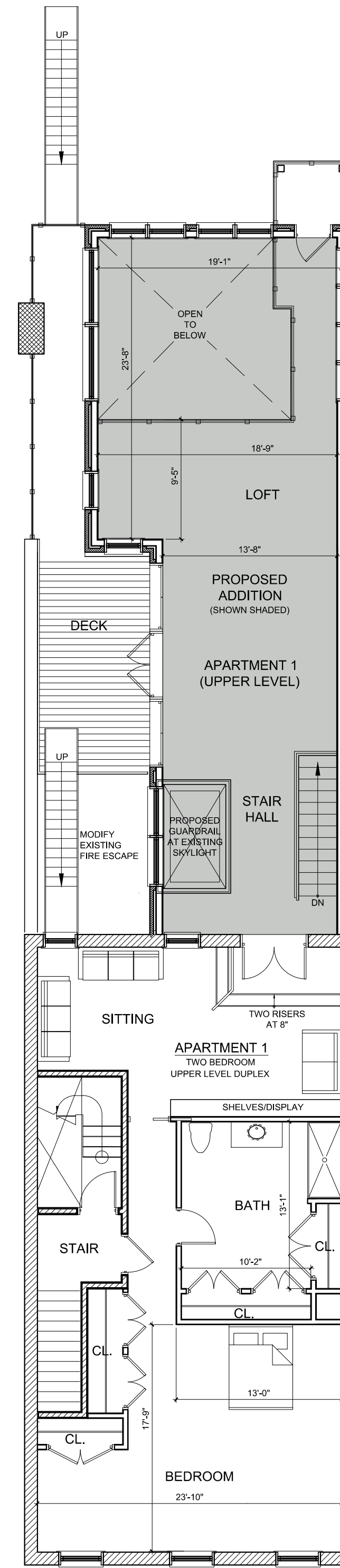
**Proposed Picket Fence Elevation**

Scale: 1/2" = 1'-0"



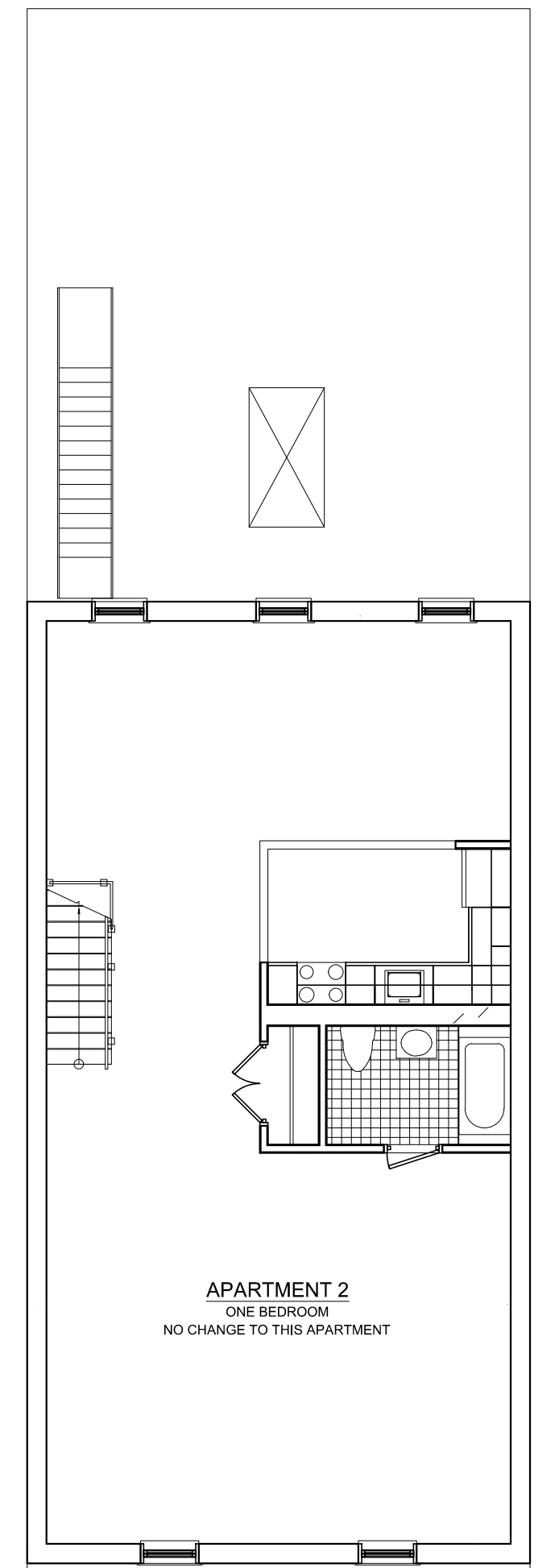
**First Floor Plan**

Scale: 1/8" = 1'-0"



**Second Floor Plan**

Scale: 1/8" = 1'-0"



**Third Floor Plan - No Change**

Scale: 1/8" = 1'-0"

**Amended Special Use Permit Application**  
Sheet 3 of 4 - Floor Plans

**177 Main Street - Renovation**

Beacon, New York  
Scale: As Noted  
April 25, 2017

Owner:  
**Frog Leap, Inc.**

177 Main Street  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**

84 Mason Circle  
Beacon, New York 12508

Surveyor:  
**David Scott Freeman**

176 Bell Hollow Road  
Putnam Valley, New York 10579  
Tel: (631) 926-4563

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

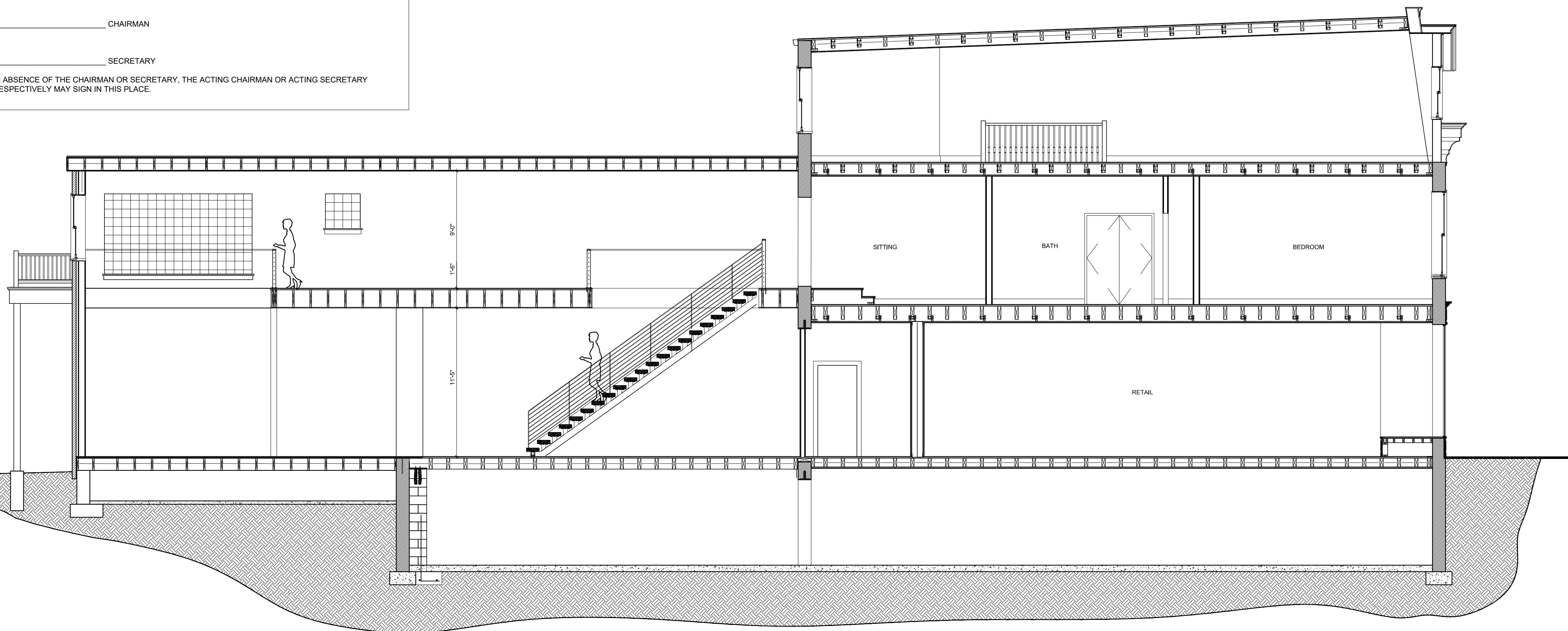
DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY

\_\_\_\_\_ CHAIRMAN

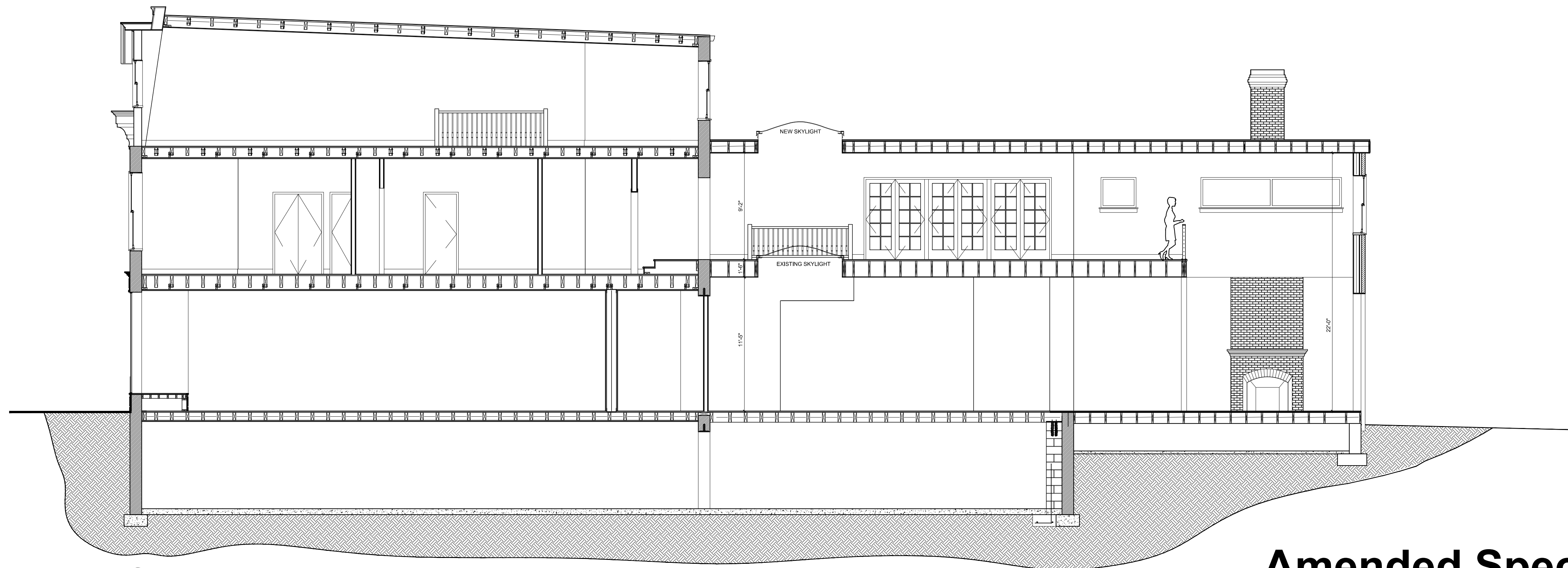
\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**Section**

Scale: 3/16" = 1'-0"



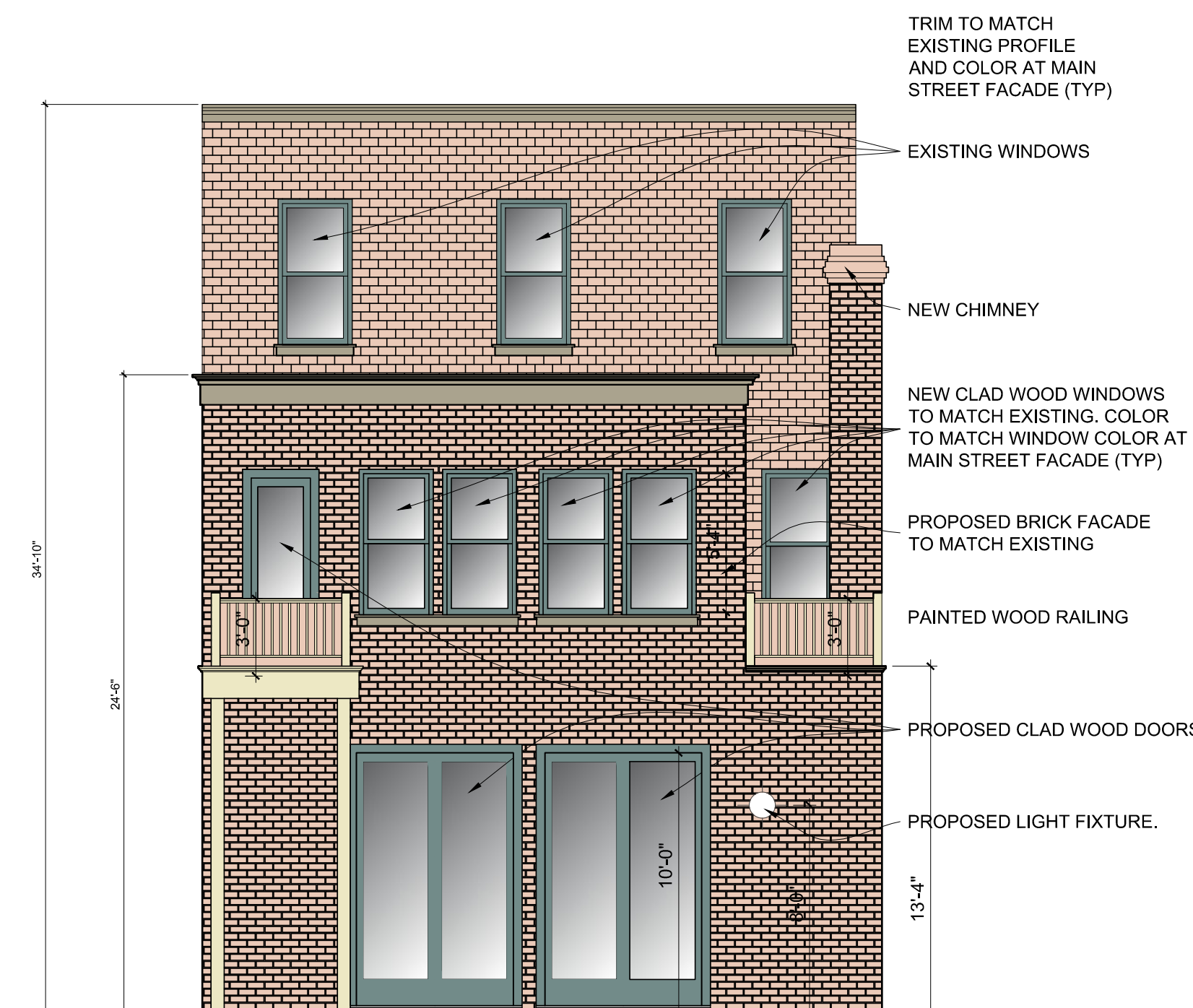
**Section**

Scale: 3/16" = 1'-0"



**Front Elevation (Existing No Change)**

Scale: 3/16" = 1'-0"



**Rear Elevation**

Scale: 3/16" = 1'-0"

**Amended Special Use Permit Application**  
Sheet 4 of 4 - Sections & Elevations

**177 Main Street - Renovation**  
Beacon, New York  
Scale: As Noted  
April 25, 2017

Owner:  
**Frog Leap, Inc.**  
177 Main Street  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Surveyor:  
**David Scott Freeman**  
176 Bell Hollow Road  
Putnam Valley, New York 10579  
Tel: (631) 926-4563

To: Jay Sheers, Chair, and the City of Beacon Planning Board

Date: May 5, 2017

Re: **177 Main Street, Amended Special Use Permit**

I have reviewed an April 25, 2017 Special Use Permit Application and Site Plan Specification Form, an April 25, 2017 Full EAF Part 1, a Boundary Survey, dated April 18, 2017, an April 25, 2017 Infiltration and Inflow Investigation letter from Hudson Land Design, and a 4-sheet Amended Special Use Permit Application set, dated April 25, 2017.

### **Proposal**

The applicant is proposing to add to the rear of a three-story structure, maintaining the ground-floor storefront and creating two apartments in place of the three existing apartments. The building is in the Central Business zoning district and Historic District and Landmark Overlay Zone.

### **Comments and Recommendations**

1. The EAF Question E.3.e should be answered yes. The building is in the Lower Main Street Historic District, placed on the National Register January 7, 1988. The EAF Mapper Summary Report should be attached to the EAF.
2. The Sheet 1 Zoning Table should note that the side yard setback of 20 feet is only required if abutting a residential district or a driveway is proposed between the building and lot line. The Zoning Summary should list the proposed use as (1) one-bedroom and (1) two-bedroom.
3. This building has two existing off-street parking spaces accessed by a shared driveway with the adjacent parcel. Is there a legal agreement for the shared access? The Building Inspector should make a recommendation for the required parking based on the building's pre-1964 use.
4. The western parking space does not seem to have adequate back-up distance to the proposed fence. A note on the plan should state that the existing chain link fence is to be removed.
5. The survey sheet should be stamped and signed.
6. Since this application involves alterations to a property in the Historic Overlay Zone, the proposal will need a Certificate of Appropriateness under Chapter 134, Historic Preservation. The Board should determine if the proposed rear addition needs to be reviewed by the Architectural Review Subcommittee.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector  
Jennifer L. Gray, Esq., City Attorney  
Arthur R. Tully, P.E., City Engineer  
John Russo, P.E., City Engineer  
Aryeh Siegel, Project Architect

**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.

---

John J. O'Rourke, P.E., Principal  
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal  
John Queenan, P.E., Principal  
Rodney C. Knowlton, L.S., Principal

John Lane, P.E., L.S.  
Arthur R. Tully, P.E.

May 3, 2017

Mr. Jay Sheers  
Beacon Planning Board Chair  
City of Beacon  
1 Municipal Plaza  
Beacon, NY 12508

RE: 177 Main Street/Frog Leap, LLC  
Tax Map No. 5954-27-79194

Dear Mr. Sheers:

My office is in receipt of the following:

1. Plans entitled "Amended Special Use Application – 177 main Street", Sheet 1 of 4 thru 4 of 4, dated April 25, 2017, as prepared by Aryeh Siegel Architect and others.
2. Application for Special use Permit, Site Plan Application, Full environmental Assessment Form all dated April 25, 2017.

Based on our review of the above, we would like to offer the following comments:

1. It appears that an easement will be required from the adjacent property owner for access to the two proposed parking spaces. This easement should be shown on the plans.
2. Additional information should be provided as to how site drainage is to be accomplished.
3. Roof leaders and footing drains (if required) should be shown on the plans.
4. An Infiltration Inflow Analysis should be provided for the existing building.
5. Lighting and Landscaping details should be provided.



Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



Arthur R. Tully, P.E.

cc: Nick Ward-Willis, Esq.  
Tim Dexter, Building Inspector  
Beacon.177.Main.5.17.art.docx

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**Zoning Board of Appeals**

**Subject:**

Zoning Board of Appeals – May Agenda

**Background:**

**ATTACHMENTS:**

Description  
ZBA - May Agenda

Type  
Backup Material

**CITY OF BEACON**  
**ONE MUNICIPAL PLAZA - SUITE 1**  
**BEACON, NEW YORK 12508**  
*Phone (845) 838-5002 Fax (845) 838-5026*

The Zoning Board of Appeals will meet on **Tuesday, May 16, 2017** in the Municipal Center courtroom, located at One Municipal Plaza, Beacon, New York at 7:00 p.m.

**Regular Meeting**

1. Continue public hearing on application submitted by My Four Dgthr's Realty Corp., 123 Rombout Avenue, Tax Grid No. 30-5954-35-794799-00, R1-5 Zoning District, seeking relief from Section 223-17(C) for a Use Variance to allow multi-family apartments (10 units) in a single family zoning district
2. Application submitted by Jose Santos, 9 DePuyster Avenue, Tax Grid No. 30-6054-40-383634-00, R1-10 Zoning District, seeking relief from Section 223-10(C)(1) to construct a two story addition on a pre-existing non-conforming use (two family dwelling), and Section 223-17(C) to construct an entrance hall with a 17 ft. front yard setback (*35 ft. required*)
3. Application submitted by The Hose Company, LLC, 162 Main Street (Hudson Beach Glass), Tax Grid No. 30-5954-27-781973-00, CB Zoning District, seeking relief from Section 223.26(B)(2) to provide 4 off-street parking spaces (*28.5 spaces required*)
4. Application submitted by Judy Novotny (with Michael Novotny and Janet Ganzer), 3 Miller Street, Tax Grid No. 30-5954-44-931671-00, R1-5 Zoning District, seeking relief from Section 223-17(C) for an in-ground pool with 6.1 ft. side yard setback (*10 ft. required*)
5. Application submitted by Halvey Funeral Home (Patrick Halvey c/o Crossix, LLC), 2 Beekman Street, Tax Grid No. 30-5954-33-610763-00, R1-10 Zoning District, to change an existing Use Variance from a restaurant into a Funeral Home

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**City Council Request for Review**

**Subject:**

City Council Request to Review Proposed Local Law Amending Chapter 223, Article III, Section 26 Subsection C – Off-Street Parking

**Background:**

**ATTACHMENTS:**

Description	Type
City Council Local Law	Local Law

**LOCAL LAW NO. \_\_\_\_ OF 2017**

**CITY COUNCIL  
CITY OF BEACON**

**PROPOSED LOCAL LAW AMENDING  
CHAPTER 223 OF THE CODE OF THE CITY OF BEACON**

A LOCAL LAW to amend Chapter 223, Article III, Section 26 Subsection C concerning Off-Street Parking.

A LOCAL LAW to amend Chapter 223, Article III, Section 26 concerning the specific parking specifications for off-street parking.

BE IT ENACTED by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 223, Article III, Section 26, Subsection C of the Code of the City of Beacon entitled “Location, use, design, construction and maintenance” is hereby amended as follows:

**§ 223-26. Off-Street parking, loading and vehicular access.**

...

**C. Location, use, design, construction and maintenance.**

- (1) Location. The off-street parking facilities which are required by this section shall be provided on the same lot or premises with such structure or land use; except that off-street parking spaces required for structures or land uses on two or more adjoining lots may be provided in a single common facility on one or more of said lots, provided that a binding agreement, in a form approved by the Corporation Counsel, assuring the continued operation of said parking facility during the life of the structure or the land use the parking is designed to serve, is filed on the land records

prior to approval of the plans for said parking facility. In any residence district, no off-street parking facility shall be developed in any required front yard or in any required side or rear yard adjacent to a street line or in any other side or rear yard within five feet of the lot line. However, off-street parking spaces shall be permitted in residential districts as indicated in § 223-17C.

(2) Parking Specifications

- (a) Each parking space provided in an unenclosed area shall be at least nine feet wide and at least ~~20~~ 18 feet long, except that the Planning Board, in approving a plan under § 223-25, may permit that portion of the total required parking which is specifically set aside for and limited to employee parking to have a width of at least 8 1/2 feet and a depth of at least ~~20~~ 18 feet. This possible exception shall not be permitted in the CB District.
- (b) Each parking space which is bordered by walls or columns on two or more sides shall be not less than 10 feet wide nor less than ~~20~~ 18 feet long. Enclosed or garaged parking areas shall not contain any columns, walls or other obstacles which would prevent or obstruct the use of any parking space.
- (c) The maneuvering area needed to permit parked vehicles to enter and exit off-street parking spaces shall have a width of at least ~~25~~ 24 feet, except where the Planning Board approves a lesser distance as adequate for areas with parallel or angled parking spaces ~~and except where such area is also utilized for the through circulation of vehicles, in which case a minimum width of at least 30 feet shall be provided.~~

(3) Landscaping. Except for parking spaces accessory to a one-family dwelling, all off-street parking areas shall be ~~curbed and~~ landscaped with appropriate trees, shrubs and other plant materials and ground cover, as approved by the Planning Board based upon consideration of the adequacy of the proposed landscaping to assure the establishment of a safe, convenient and attractive parking facility with a minimum amount of maintenance, including plant care, snowplowing and the removal of leaves and other debris. At least one tree with a minimum caliper of three inches at a height of four feet above ground level shall be provided within such parking area for each 10 parking spaces

- (a) Wherever possible, planting islands, at least eight feet in width, shall be provided to guide vehicle movement and to separate opposing rows of parking spaces so as to provide adequate space for plant growth, pedestrian circulation and vehicle overhang. Such planting islands and the landscaping within them shall be designed and arranged in such a way as to provide vertical definition to major traffic circulation aisles, entrances and exits, to channel internal traffic flow and prevent indiscriminate diagonal movement of vehicles and to provide relief from the visual monotony and shadeless expanse

of a large parking area. ~~Curbs of such islands shall be designed so as to facilitate surface drainage and prevent vehicles from overlapping sidewalks and damaging landscaping materials.~~

(b) The Planning Board may require curbing to facilitate surface drainage and prevent vehicles from overlapping sidewalks and damaging landscaping materials. ~~In all off-street parking areas containing 25 or more parking spaces, at least 10% of the total parking area shall be curbed and landscaped with trees, shrubs and other plant materials.~~

(c) No obstruction to driver vision shall be erected or maintained on any lot within the triangle formed by the street line of such lot, the outer edge of the access driveway to the parking area and a line drawn between points along such street line and access drive 30 feet distant from their point of intersection.

(4) Grades, drainage, paving and marking. All proposed and required parking facilities, regardless of size, shall be graded, surfaced, drained and maintained throughout the duration of their use so as to comply with the New York State Stormwater Management Design Manual, as amended from time to time, and/or Chapter 190, Stormwater Management and Erosion and Sediment Control, of this Code, or other acceptable stormwater management practice(s), as deemed suitable to the City Engineer to the extent necessary to avoid nuisances of dust, erosion or excessive water flow across public ways or adjacent lands. The drainage analysis for said parking facilities shall include pre- and post-development conditions as well as remediation and/or mitigation of stormwater runoff. The maximum slope within a parking area shall not exceed 5%. In RD and RMF Districts and in nonresidential developments, the Planning Board shall require the provision of suitable markings to indicate individual parking spaces, maneuvering area, entrances and exits.

(5) Traffic circulation. In order to encourage safe and convenient traffic circulation, the Planning Board may require the interconnection of parking areas via access drives within and between adjacent lots. The Board shall require written assurance and/or deed restrictions, satisfactory to the Corporation Counsel, binding the owner and his heirs and assignees to permit and maintain such internal access and circulation and inter-use of parking facilities.

(6) Two or more uses on same lot. Where two or more different uses occur on a single lot, the total amount of parking facilities to be provided shall be the sum of the requirements of each individual use on the lot, except that the ~~Board of Appeals~~ Planning Board may approve the joint use of parking space by two or more establishments on the same lot or on contiguous lots, the total capacity of which is less than the sum of the spaces required for each, provided that said Board finds that the capacity to be provided will substantially meet the intent of this article by reason of variation in the probable time of maximum use by patrons or employees at such

establishments and provided that such approval of such joint use shall be automatically terminated upon a change of use at any such establishment.

(7) Designed residence and multifamily residence districts.

- (a) In RD and RMF Districts, in order that some of the required parking spaces may be convenient for use by visitors as well as by occupants, 2/3 of the required car spaces for a residential building shall be directly accessible to ~~the normal approach from the street to each~~ a main entrance to that building and within 100 feet of that entrance. ~~Upon recommendation from the Planning Board that a specific parking plan will provide comparable convenience of parking space location, the City Council may so modify the above requirement in approving any specific apartment development plan.~~
- (b) In RD or RMF Districts, ~~not more than 50% of the required parking shall be provided in enclosed or garaged areas. Roofed areas, open on at least two sides, shall be considered open or unenclosed spaces. off-street parking lots shall be located behind, underneath, or to the side of the building. Any parking to the side of the building shall be screened from street views by a low wall, hedge, fence, and/or other landscaping and, whenever possible, it shall be located at least 40 feet from any property line that fronts on a street.~~

**Section 2.** Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

**Section 3.** Numbering for Codification

It is the intention of the City of Beacon and it is hereby enacted that the provisions of this

Local Law shall be included in the Code of the City of Beacon; that the sections and subsections of this Local Law may be re-numbered or re-lettered by the Codifier to accomplish such intention; that the Codifier shall make no substantive changes to this

Local Law; that the word “Local Law” shall be changed to “Chapter,” “Section” or other appropriate word as required for codification; and that any such rearranging of the numbering and editing shall not affect the validity of this Local Law or the provisions of the Code affected thereby.

**Section 4.** Severability



The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**Section 5. Effective Date**

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**344 Main Street**

**Subject:**

344 Main Street – Approval of Building Elevations

**Background:**

**City of Beacon Planning Board**  
**5/9/2017**

**Title:**

**(79) Anderson Street**

**Subject:**

New Single Family House – 79 Anderson Street

**Background:**

**ATTACHMENTS:**

Description	Type
Anderson Street - Application	Application
Anderson Street - Elevations	Plans
Anderson Street - Location	Map

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: April 25, 2017

Project Address: 79 Anderson St Beacon N.Y.

Project Architect/Engineer: Roundtable I Inc. / Talbot Engineers

Owner/Builder: Roundtable I Inc. / DAVID MARCINAK

Contact Phone No.: 914-213-3902 6054-32-390842

Approval Requested: Certificate of Appropriateness New Single Family House

Color/Materials:

Siding: taupe grey, shiplap

Roofing: 25 year Black Architectural + Black metal on accents

Windows: Color: Brown/DARK Brown Type: Vingle

Trim: taupe grey wood 5/4"

Garage Door: Brown, aluminium

Stone/Brick: N/A

Signature of Owner (Handwritten Signature)

Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied (Date)

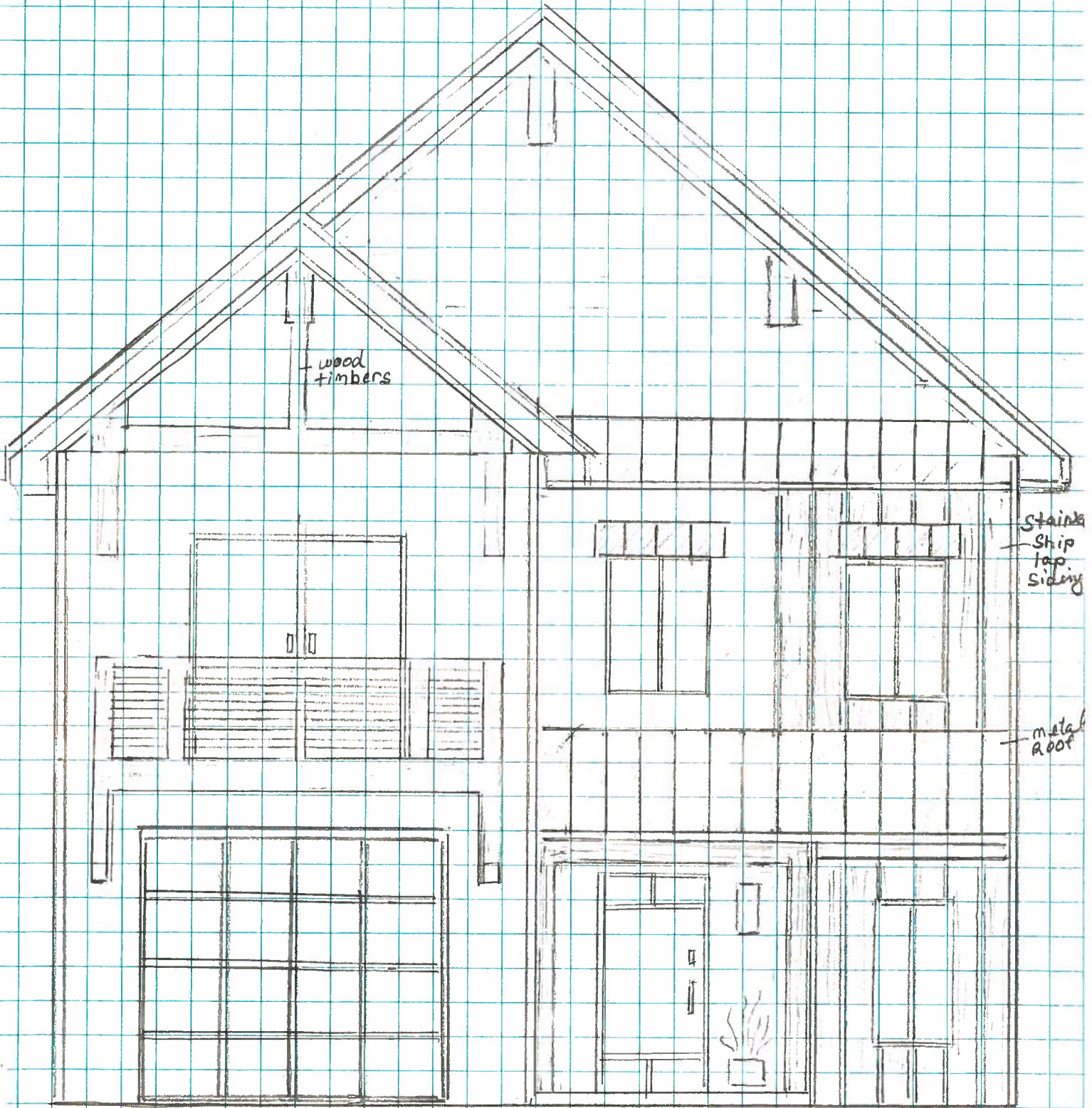
Plan Approved (Date)

Subject to the following:

FEE: \$100.00

1 Block = 1 ft

DAVE MARCINAK  
79 ANDERSON ST

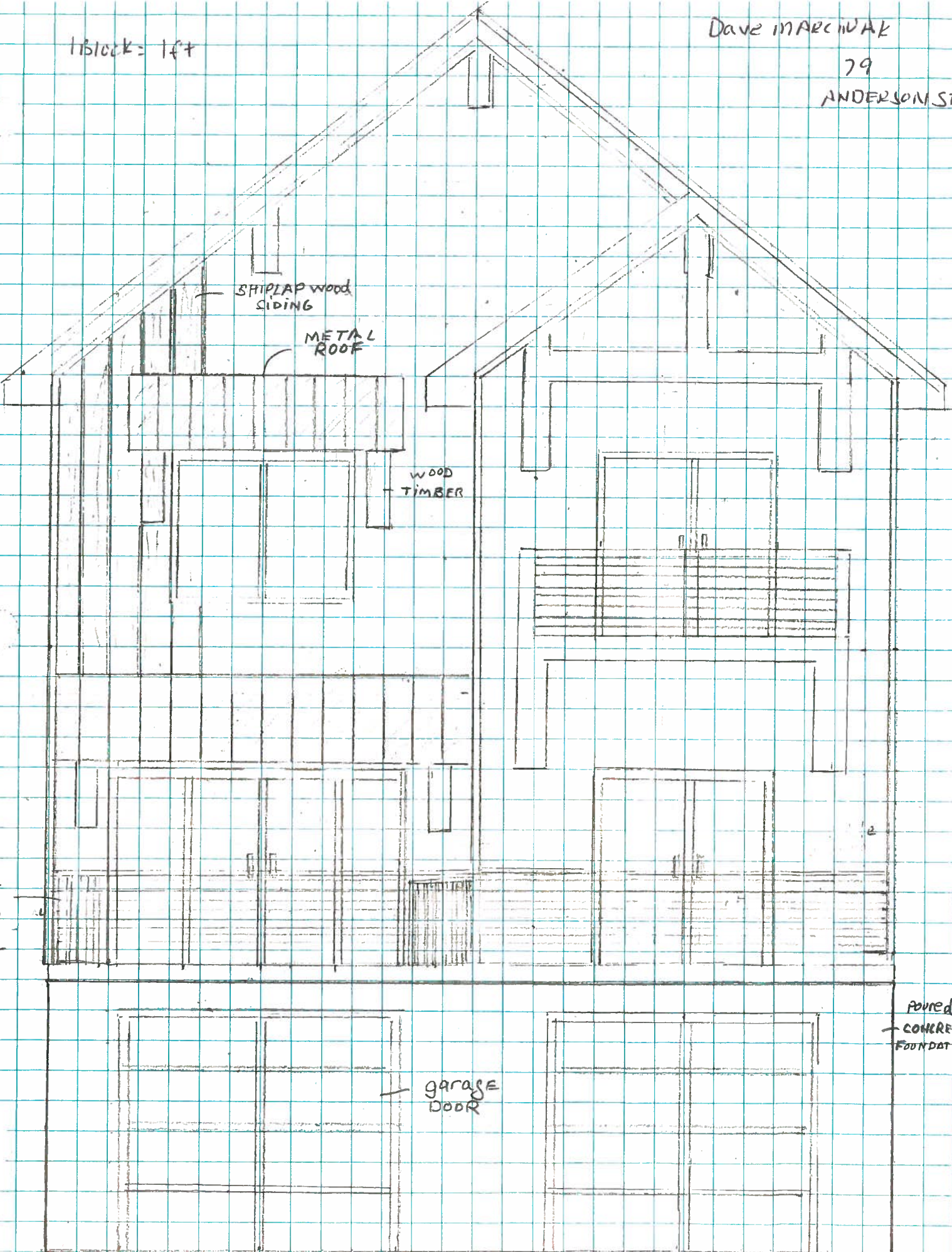


FRONT ELEVATION

1 block = 1ft

DAVE MARCINIAK

79  
ANDERSON ST



ACK table  
GOOD  
2ST  
FAIL

POURED  
CONCRETE  
FOUNDATION

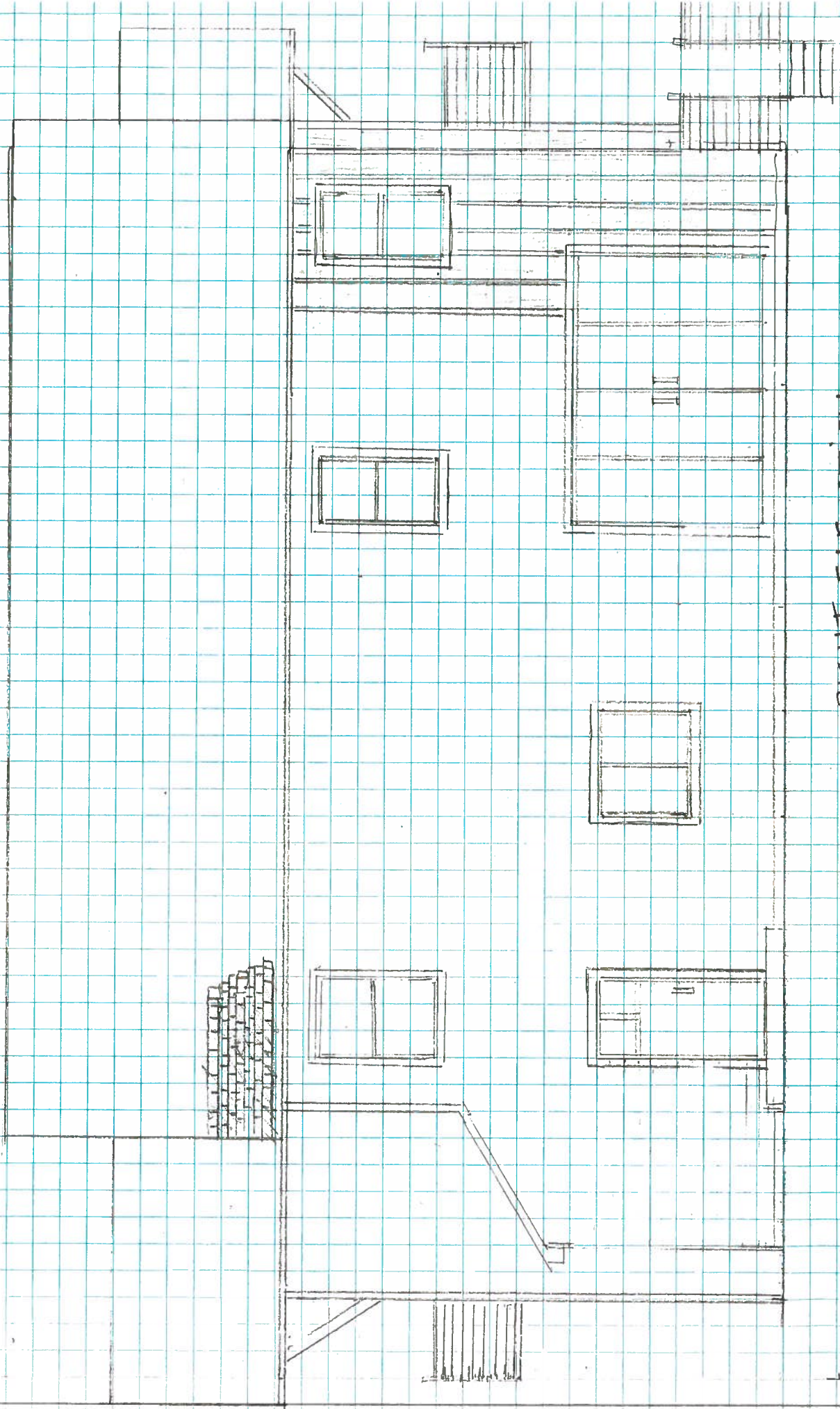
garage  
DOOR

REAR ELEVATION

DAVE MAELIANK

79 ANDERSON ST

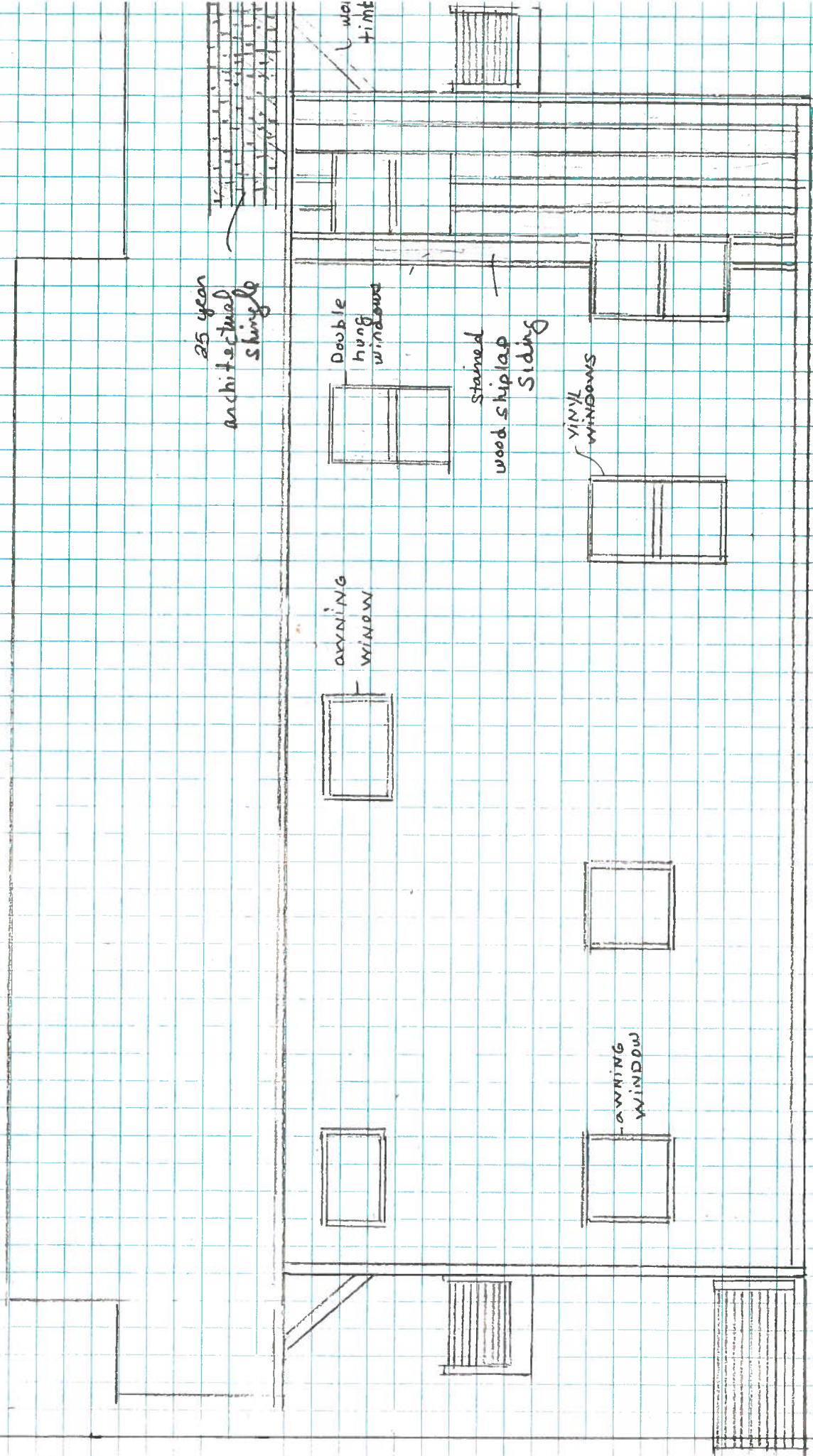
1 Block = 1 ft



RIGHT ELEVATION

Block = 1ft

DAVE MARCINAK  
79 ANDERSON ST



LEFT ELEVATION



