

BEACON PLANNING BOARD
One Municipal Plaza - Courtroom
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026

The Planning Board will meet on **Tuesday, May 10, 2016** in the Municipal Center Courtroom. A training workshop will take place at 7:00 p.m. and the regular meeting will begin at 7:30 p.m.

- **Regular Meeting**

1. Public Hearing - 3 Beekman Street
Continue public hearing on application for Site Plan Approval (amendment), new maintenance building for Dia:Beacon, 3 Beekman Street, submitted by Dia Center for the Arts
2. Public Hearing - Beekman Street "The View"
Continue public hearing on application for Special Use Permit and Site Plan Approval, new residential building, 50 units, Beekman Street - (Parcel W) "The View", submitted by DMS Consolidators, Ltd. ***This item postponed to the June meeting at the applicant's request.***
3. Public Hearings - Spring Valley Street
Public hearing for SEQR review of application for Subdivision Approval, and public hearing for Subdivision Approval, 2-lot residential, 135-137 Spring Valley Street, submitted by John Milano

- **Miscellaneous Business**

1. Zoning Board of Appeals Review
May Agenda Review

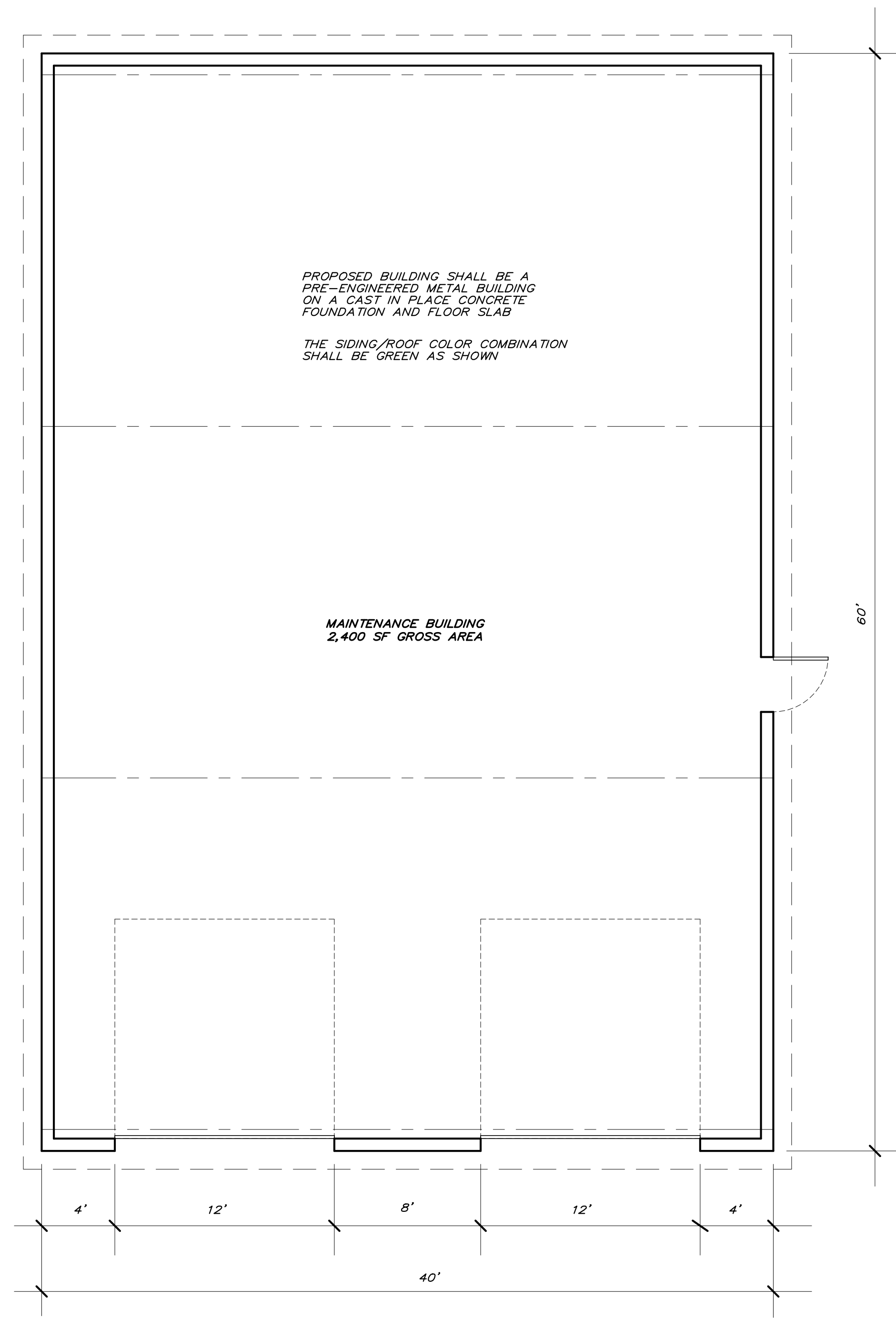
- **Architectural Review**

1. New Single Family House
New Single Family House - South Avenue - Rosenthe Estates (Parcel #2)
2. New Single Family House
New Single Family House - Annan Street - Joseph Subdivision (Lot #1)

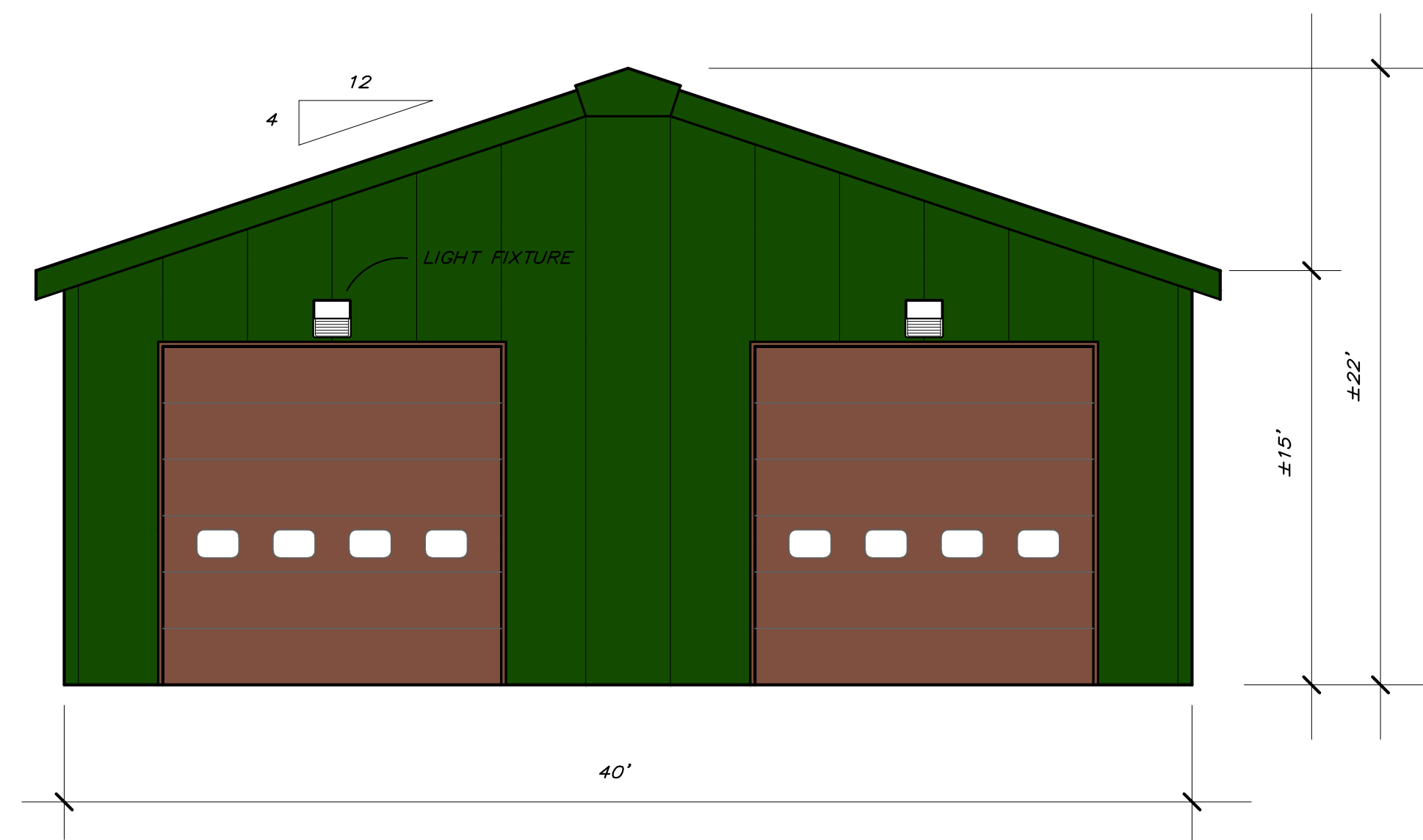
PROPOSED BUILDING SHALL BE A
PRE-ENGINEERED METAL BUILDING
ON A CAST IN PLACE CONCRETE
FOUNDATION AND FLOOR SLAB

THE SIDING/ROOF COLOR COMBINATION
SHALL BE GREEN AS SHOWN

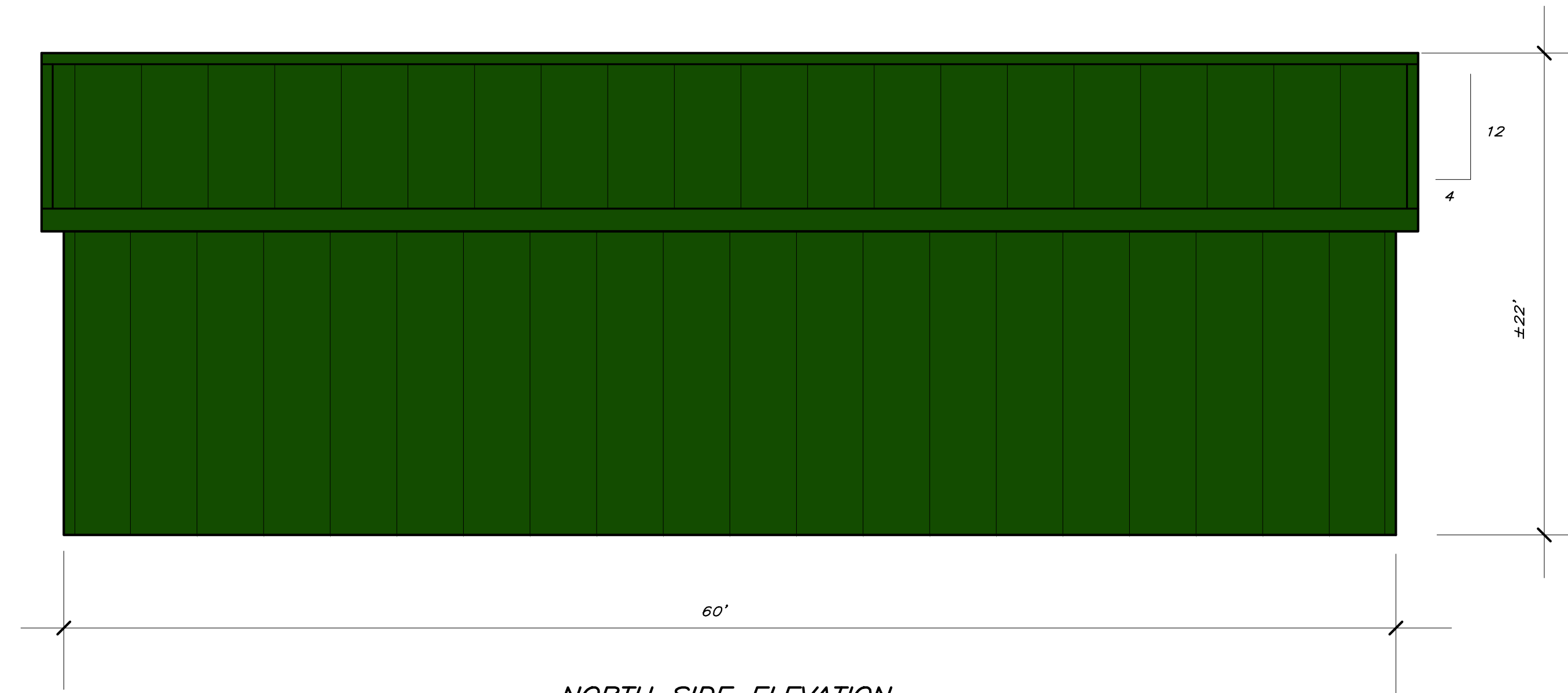
MAINTENANCE BUILDING
2,400 SF GROSS AREA



FLOOR PLAN



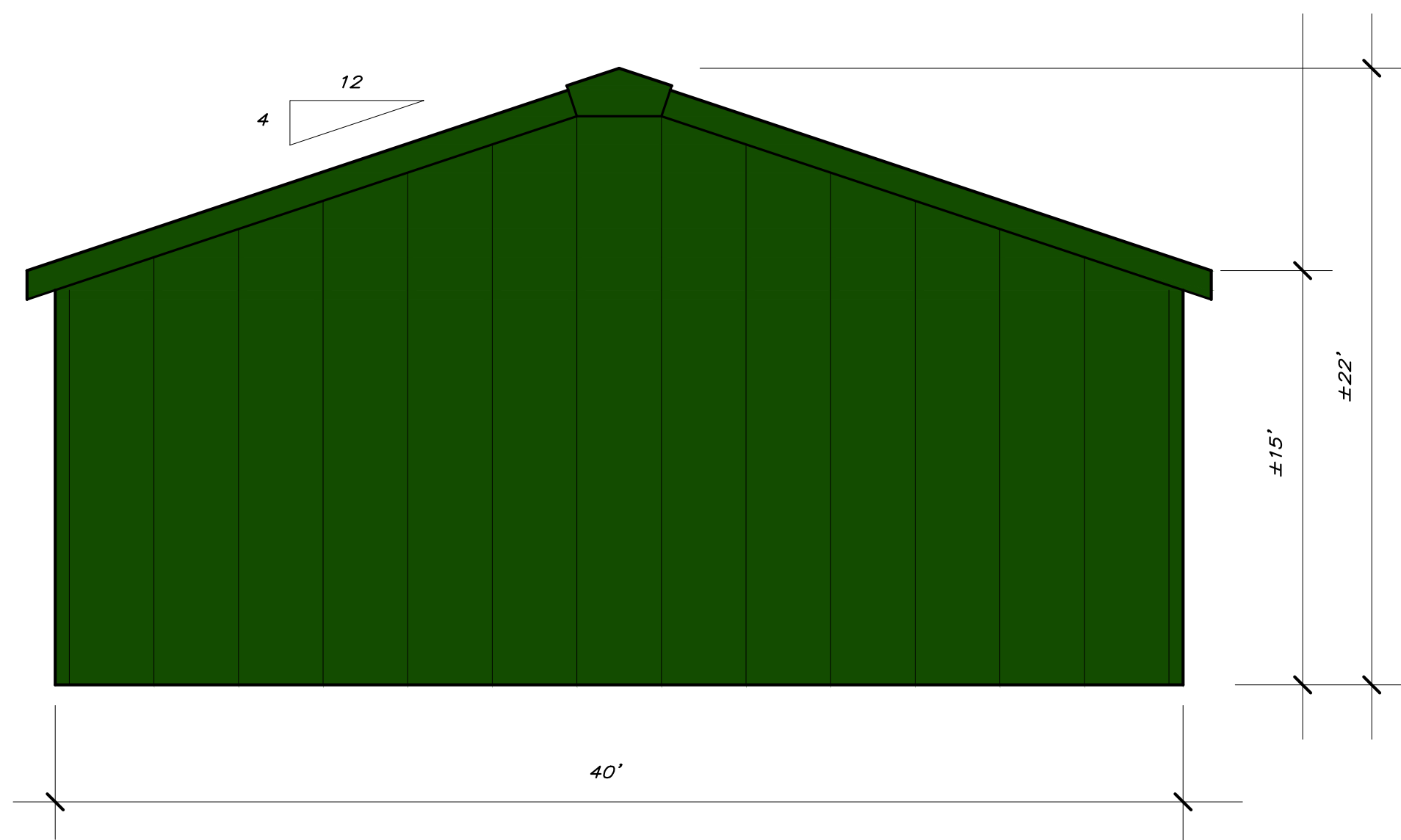
FRONT ELEVATION



NORTH SIDE ELEVATION



SOUTH SIDE ELEVATION



REAR ELEVATION

NO.	DATE	DESCRIPTION	BY
UNAUTHORIZED ALTERATION OR ADDITION THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NY STATE EDUCATION LAW		JOB NO. 99021	SCALE: 1" = 5'-0"
		DATE: APRIL 19, 2016	
		TITLE: BUILDING ELEVATIONS	
		PROJECT: DIA ART CENTER CITY OF BEACON ORANGE COUNTY, NEW YORK	
		J.T.M.DEPUY ENGINEERING & LAND SURVEYING, P.C. 2656 ROUTE 302, MIDDLETOWN, NY 10941 PHONE: (914) 361-5421 FAX: (914) 361-5229	
		DWG.	A-1
			OF 1

T.M. DePUY ENGINEERING AND LAND SURVEYING, P.C.

2656 Route 302
MIDDLETOWN, NEW YORK 10941

Tele # (845) 361-5421
Fax # (845) 361-5229

April 20, 2015

City of Beacon
One Municipal Plaza
Suite One
Beacon, New York 12508

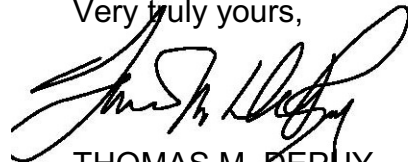
Re: Dia Center for the Arts
Proposed Maintenance Building
City of Beacon
Job #99021.MG

Dear Board Members:

Enclosed please find five copies of the proposed maintenance building elevations with colors and floor plan. Additionally we have included a color chart for the referenced project and CD with same information.

We have been placed on the May 10, 2016 Planning Board agenda for continuation of a public hearing on this project.

Very truly yours,



THOMAS M. DEPUY,
PE/LS/CPSWQ/CPESC

TMD/sld

Enclosures

cc: w/enc. - Jim Schaeufele, Dia Center for the Arts

Architectural COLOR CHART



SIGNATURE® 300 Standard Colors KYNAR 500® HYLAR 5000®



HARBOR BLUE
SR .28 SRI 29



COLONIAL RED
SR .34 SRI 37



MEDIUM BRONZE
SR .33 SRI 36



PACIFIC BLUE
SR .29 SRI 31



SNOW WHITE
SR .65 SRI 79



SLATE GRAY
SR .37 SRI 41



ALMOND
SR .63 SRI 76



MIDNIGHT BRONZE
SR .29 SRI 31



EVERGLADE
SR .33 SRI 36



BROWNSTONE
SR .47 SRI 54



TUNDRA
SR .46 SRI 53



SPRUCE
SR .36 SRI 40



SCARLET RED
SR .42 SRI 47



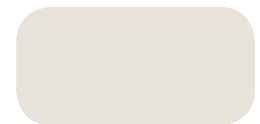
HUNTER GREEN
SR .35 SRI 38



CLASSIC GREEN
SR .28 SRI 29



NATURAL PATINA
SR .41 SRI 47



BONE WHITE *
SR .70 SRI 85

SIGNATURE® 200 Standard Colors SILICONIZED POLYESTER



BURNISHED SLATE
SR .28 SRI 29



POLAR WHITE
SR .58 SRI 69



CHARCOAL GRAY
SR .28 SRI 29



RUSTIC RED
SR .36 SRI 40



KOKO BROWN
SR .28 SRI 29



FERN GREEN
SR .28 SRI 29



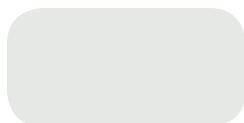
HAWAIIAN BLUE
SR .32 SRI 35



LIGHT STONE
SR .50 SRI 58



COAL BLACK
SR .30 SRI 31



SOLAR WHITE *
SR .70 SRI 85

SIGNATURE® 300 Metallic KYNAR 500® HYLAR 5000®

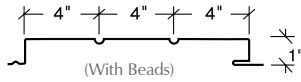
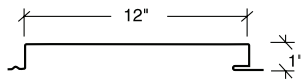


COPPER METALLIC
SR .45 SRI 51

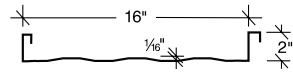


SILVER METALLIC
SR .55 SRI 64

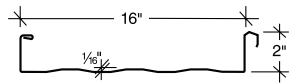
Architectural Panel Profiles



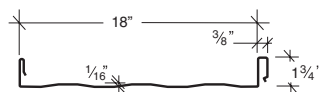
Artisan® Series



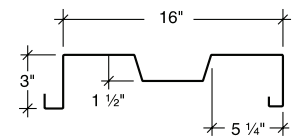
BattenLok® HS
Field Seamed System



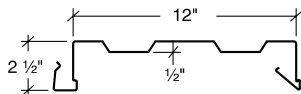
SuperLok®
Field Seamed System



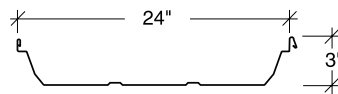
LokSeam®
Snap-Together System



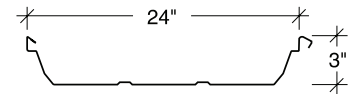
ShadowRib™
Wall Panel



NuWall®
Wall Panel



Ultra-Dek®
Snap-Together System



Double-Lok®
Field Seamed System

	Signature® 300 & Signature® 300 Metallic		Galvalume® Plus		
	24 GA.	22 GA.	26 GA.	24 GA.	22 GA.
Artisan® Series					
8" Wide	■	■	●	●	●
10" Wide	■	■	●	●	●
12" Wide	■	■	●	●	●
BattenLok® HS					
12" Wide	■	■		●	●
16" Wide	■	■		●	●
LokSeam®					
12" Wide	■	■	●	●	●
16" Wide	■	■		●	●
18" Wide	■	■		●	●
NuWall®					
12" Wide	■	■	●	●	●
ShadowRib™					
16" Wide	■	■		●	●
SuperLok®					
12" Wide	■	■	●	●	●
16" Wide	■	■	●	●	●
Ultra-Dek®					
12" Wide	■	■	●	●	●
18" Wide	■	■	●	●	●
24" Wide	■*	■	●	●	●
Double-Lok®					
12" Wide	■	■		●	●
18" Wide	■	■		●	●
24" Wide	■*	■		●	●

● Available in any quantity. Other colors, finishes, gauges and materials available — please inquire!

■ Minimum quantity may be required.

* Signature® 200 White available in any quantity.

- Final color selection should be made from actual color chips.
- See product selection chart for gauge and color availability.
- All products available in smooth or embossed finish.
- Heavier gauges, narrower widths, striations and embossing minimize "oil canning."
- All Signature® 300 and 300 Metallic are low gloss colors.

- Polar White is a Straight Polyester.
- A 25-year limited paint warranty available for all colors upon written request except for Scarlet Red, please inquire. (Outside the continental United States, please inquire.)
- * This color is California Title 24 compliant. Availability in certain areas may be restricted or require a surcharge.

- Signature® is a registered trademark of NCI Group, Inc. KYNAR 500® is a registered trademark of Arkema, Inc. HYLAR 5000® is a registered trademark of Solvay Solexis.



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal
John Queenan, P.E., Principal
Rodney C. Knowlton, L.S., Principal

John Lane, P.E., L.S.
Arthur R. Tully, P.E.

May 3, 2016

Mr. Jay Sheers
Beacon Planning Board Chair
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

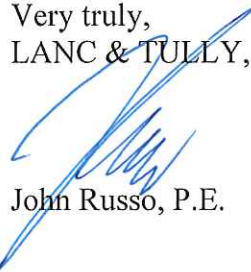
RE: DIA Art Center – Maintenance Building
City of Beacon
Tax Map No. 5954-41-605699

Dear Mr. Sheers:

Our office has reviewed the plan entitled "DIA Art Center – Building Elevations", dated April 19th, 2016, as prepared by T.M. Depuy Engineering & Land Surveying, P.C. The applicant has submitted the building elevations plan, along with a color chart for the Planning Board to discuss the colors for the proposed maintenance building to be constructed at the site.

As previously noted in our April 7, 2016, all engineering comments have been addressed. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,
LANC & TULLY, P.C.


John Russo, P.E.

Cc: Nicholas Ward-Willis, City Attorney
David Stolman, City Planner
Tim Dexter, Building Inspector

THE VIEW

BEEKMAN STREET

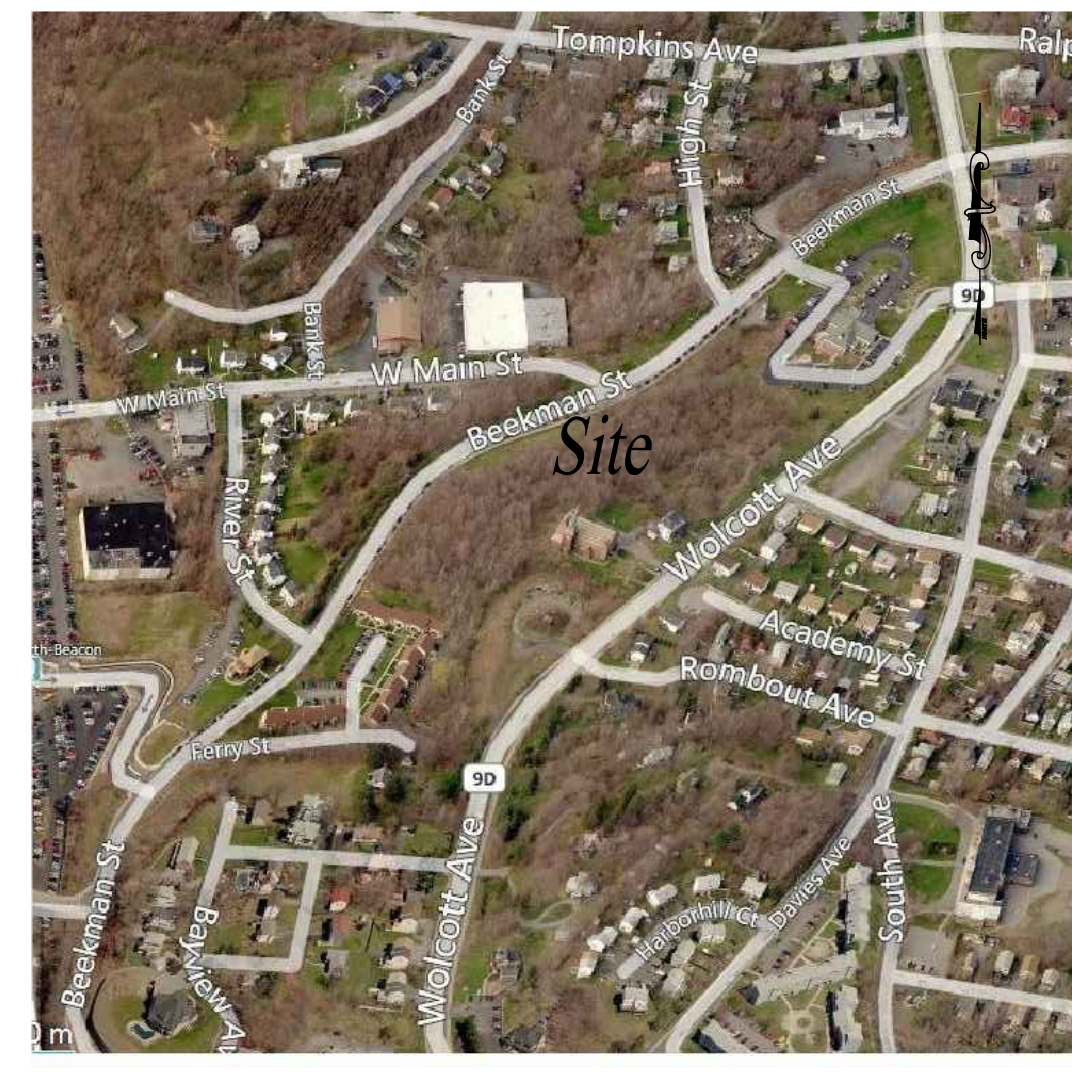
CITY OF BEACON NY

SITE PLAN

PREPARED FOR
DMS Consolidators, Ltd.
108 Village Square
Box 403
Somers, NY 10589



LOCATION MAP SCALE: N.T.S.



AREA MAP SCALE: N.T.S.

ADJOINING PROPERTY OWNERS

1 City of Beacon
1 Municipal Plaza
Beacon, NY 12524
For Property: 130200-5954-26-660924

2 Reformed Church of Beacon
RD#1 Magnolia Drive
Wappingers Falls, NY 12590
For Property: 130200-5954-26-661901

ZONING INFORMATION

Zone Classification Linkage (L)
Tax Map Parcel No.s 130200-5954-26-660924
Topographic Datum USGS (1988 NVDG)
Total Acreage: 2.3 Ac.
Water Supply: Central
Sewage Disposal: Central

Linkage (L) Zoning District			Parking Calculations	
Bulk Regulations:	Required (Min./Max.)	Proposed	Use:	Minimum Off-street Parking
Lot Area (square feet)	--/--	N/A	Residential	One Space per Unit
Lot Width	--/--	N/A		
Lot Depth	75'--	444'		
Floor Area Ratio (F.A.R)	--/--	N/A	proposed:	50 Units
Front setback (feet)	0'/20'	20'	Total Required Parking:	50
Side Setback (feet)	0'/30'	17'/57'	Total Proposed Parking:	79
Rear Setback (feet)	25'--	88'		
Landscaped Area	15%	>15%		
Frontage Occupancy	--/--	N/A		
Pedestrian Clearing	5'--	5'		
Maximum Building Height (Stories)	2/4*	4		

* minimum two stories, maximum four stories, as determined from the average street front level. Stories built below the grade of the street front shall not be counted toward building height. The second story of a two-story building shall be built in a manner that allows actual occupancy for one or more permitted uses and does not create the mere appearance of a second story. For any building over three stories, a stepback of at least 15 feet behind the facade shall be required above the third story.

GENERAL SITE NOTES

- THE CONTRACTOR IS TO VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AND REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR VARIATION FROM INTENT OF THE PLANS, PRIOR TO THE START OF WORK.
- DRAWINGS ARE NOT TO BE SCALED: USE DIMENSIONS ONLY.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED LOCAL PERMITS. NO WORK IS TO COMMENCE UNTIL ALL PERMITS ARE OBTAINED.
- THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE PERFORMANCE OF THE CONTRACT ARE CONSIDERED PART OF THE WORK.
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
- ALL WORK IS TO BE EXECUTED BY MECHANICS SKILLED IN THEIR TRADES.
- ALL CHANGES AND/OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
- ALL TRADES TO COOPERATE WITH EACH OTHER TO FACILITATE THE PROGRESS OF THE ENTIRE JOB.
- CONTRACTOR SHALL VERIFY WITH LOCAL UTILITY COMPANY THE POSSIBILITY OF ANY UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.
- ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO THE REGULATIONS OF THE BUILDING CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
- THE MITIGATION IN THE NEW YORK STATE OFFICE OF PARKS, RECREATION AND HISTORIC PRESERVATION (OPRHP) DATED DECEMBER 26, 2012 DOES NOT APPLY TO THIS PROPERTY.

Table of Content

Sheet No.	Sheet Title
1 of 17	Title Sheet
2 of 17	Existing Conditions Plan
3 of 17	Site Plan
4 of 17	Utility & Grading Plan
5 of 17	Landscape & Lighting Plan
6 of 17	Erosion & Sediment Control Plan
7 of 17	Construction Details - 1
8 of 17	Construction Details - 2
9 of 17	Landscape/Lighting Details
10 of 17	Landscaping Details
11 of 17	Stormwater Details
12 of 17	Profile Plan - 1
13 of 17	Profile Plan - 2
14 of 17	Profile Plan - 3
15 of 17	Plan & Profile
16 of 17	Construction Phasing Plan
17 of 17	Sight Distance Plan

Mark A. Day, PE
January 22, 2016
December 28, 2015
November 23, 2015
August 25, 2015
July 28, 2015
Project No. 2015/059 License No. 060646

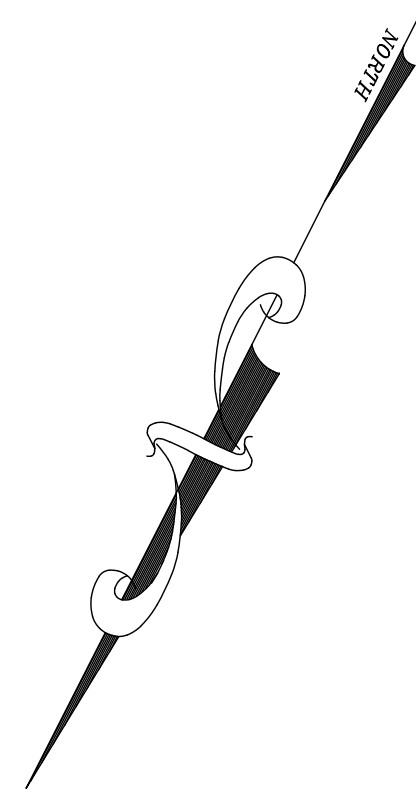
M.A. DAY Engineering, PC
Consulting Engineers
3 Van Wyck Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

PROJECT		
The View		
City of Beacon		Dutchess County, New York
DRAWING		
Title Sheet		
SCALE	DRAWN BY	DRAWING NO.
As Noted	DJD	TS.1
DATE	CHECKED BY	
06-23-15	MAD	1 of 17

Owner/Applicant
DMS Consolidators, Ltd.
108 Village Square
Box 403
Somers, NY 10589

Owner's Consent Note
THE UNDERSIGNED OWNER OF THIS PROPERTY HEREOF STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON
DMS CONSOLIDATORS, LTD MEMBER DATE

City of Beacon Planning Board
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CIT OF BEACON, NEW YORK ON THE _____ DAY OF _____, 2016 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
CITY OF BEACON PLANNING BOARD SIGNED THIS _____ DAY OF _____, 2016
JAMES C. SHEERS, CITY OF BEACON PLANNING BOARD CHAIR

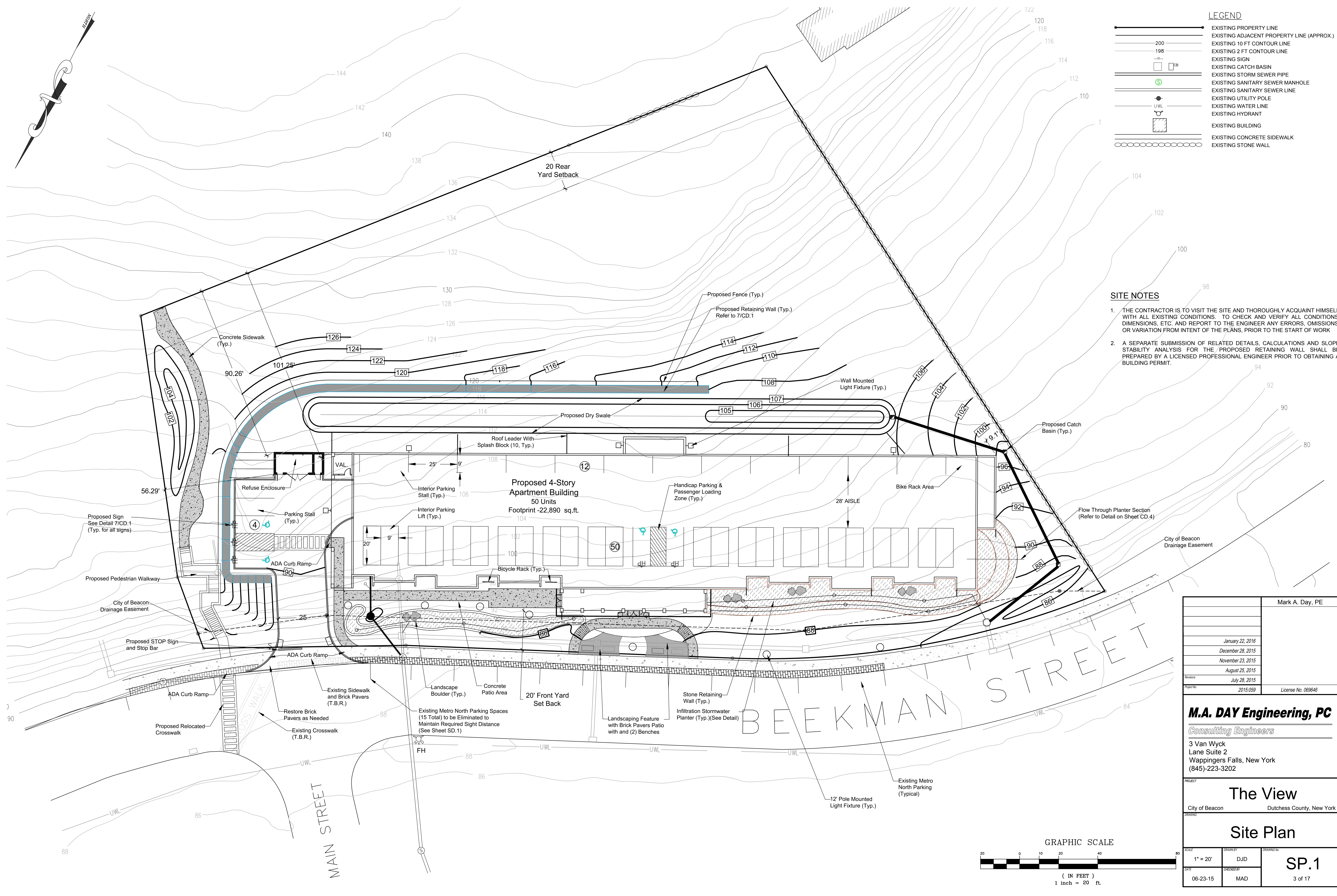


LEGEND

	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE (APPROX.)
	EXISTING 10 FT CONTOUR LINE
	EXISTING 2 FT CONTOUR LINE
	EXISTING SIGN
	EXISTING CATCH BASIN
	EXISTING STORM SEWER PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER LINE
	EXISTING UTILITY POLE
	EXISTING WATER LINE
	EXISTING HYDRANT
	EXISTING BUILDING
	EXISTING CONCRETE SIDEWALK
	EXISTING STONE WALL

SITE NOTES

1. THE CONTRACTOR IS TO VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AND REPORT TO THE ENGINEER ANY ERRORS, OMISSIONS, OR VARIATION FROM INTENT OF THE PLANS, PRIOR TO THE START OF WORK
2. A SEPARATE SUBMISSION OF RELATED DETAILS, CALCULATIONS AND SLOPE STABILITY ANALYSIS FOR THE PROPOSED RETAINING WALL SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO OBTAINING A BUILDING PERMIT.

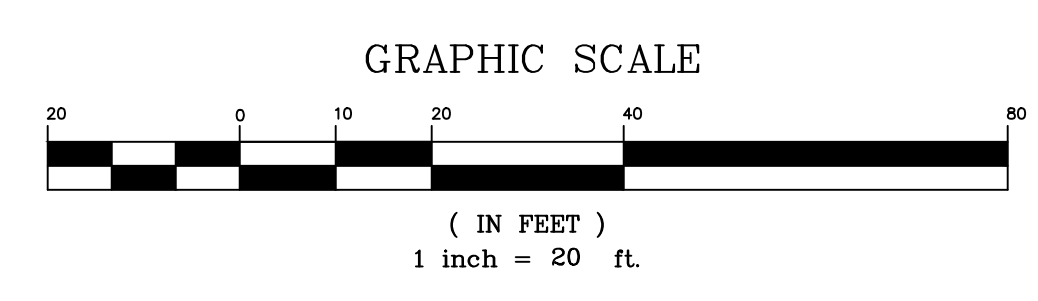


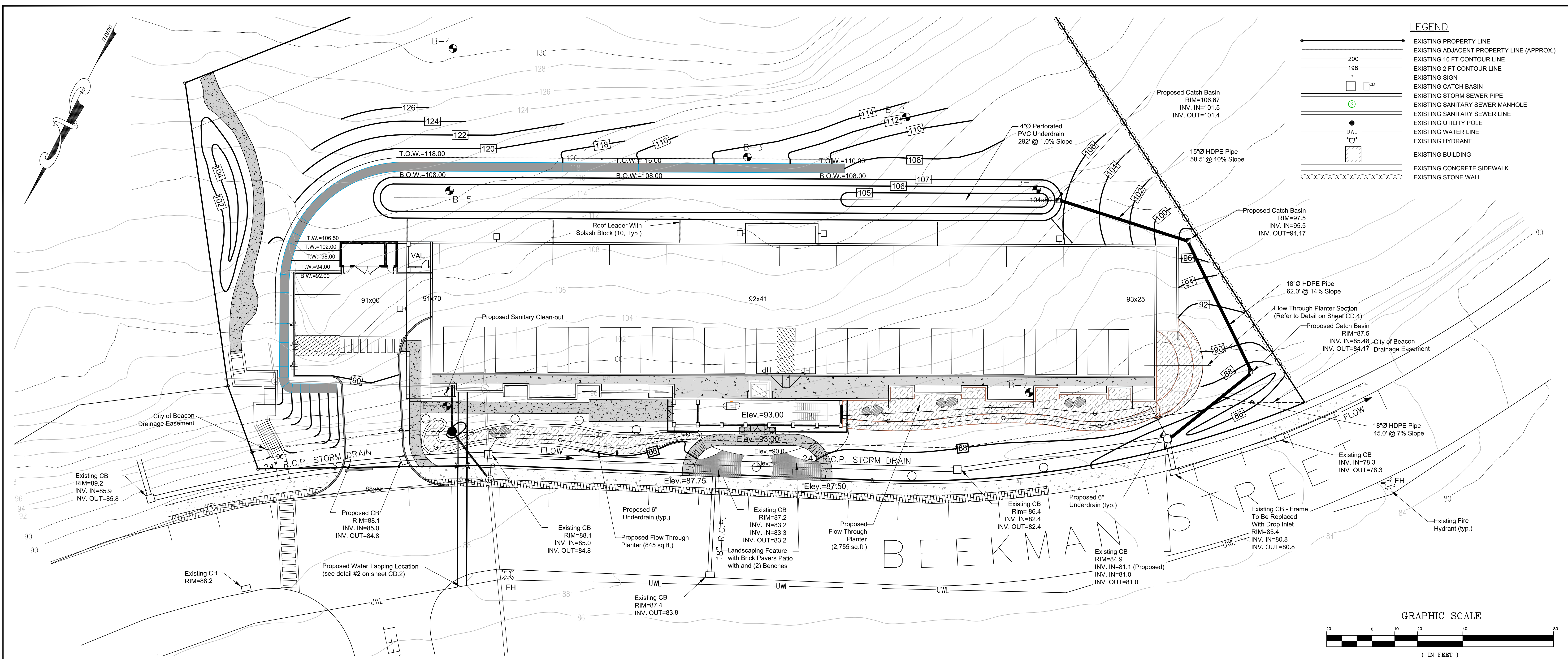
Mark A. Day, PE
January 22, 2016
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July 28, 2015
2015-059
License No. 069646

M.A. DAY Engineering, PC
Consulting Engineers
 3 Van Wyck Lane Suite 2
 Wappingers Falls, New York
 (845)-223-3202

The View
 City of Beacon Dutchess County, New York

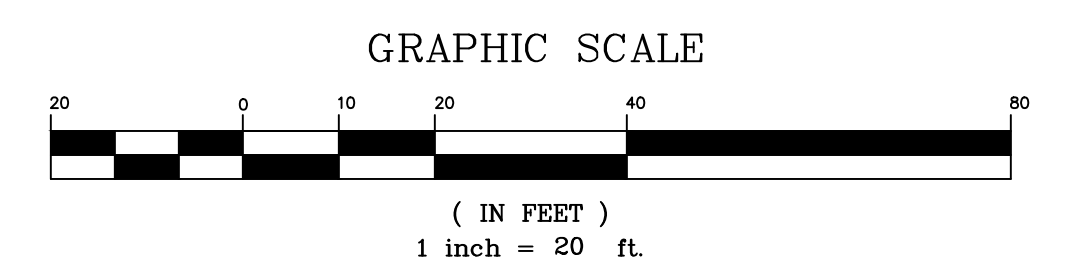
Site Plan		SP.1
SCALE 1" = 20'	DRAWN BY DJD	
DATE 06-23-15	CHECKED BY MAD	DRAWING NO. 3 of 17



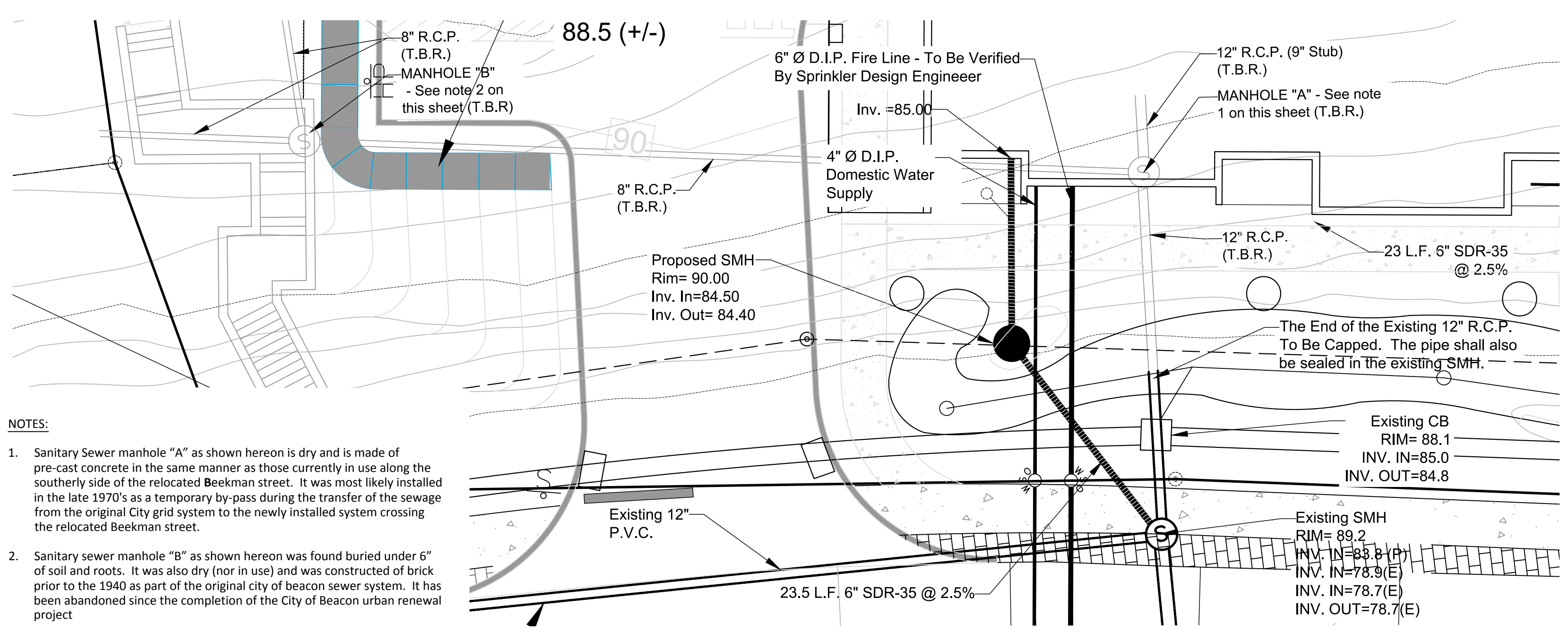


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	EXISTING UTILITY POLE
	EXISTING WATER LINE
	EXISTING HYDRANT
	EXISTING BUILDING
	EXISTING CONCRETE SIDEWALK
	EXISTING STONE WALL



1 GRADING & UTILITY PLAN
Scale: 1" = 20'



- NOTES:**
- Sanitary sewer manhole "A" as shown hereon is dry and is made of pre-cast concrete in the same manner as those currently in use along the southerly side of the relocated Beekman street. It was most likely installed in the late 1970's as a temporary by-pass during the transfer of the sewage from the original City grid system to the newly installed system crossing the relocated Beekman street.
 - Sanitary sewer manhole "B" as shown hereon was found buried under 6" of soil and roots. It was also dry (nor in use) and was constructed of brick prior to the 1940 as part of the original city of beacon sewer system. It has been abandoned since the completion of the City of Beacon urban renewal project

2 Water & Sewer Layout
Scale: 1" = 10'

Soil Boring Schedule

Boring	Soil Description
B-1	0'-4' brn F-M SAND & SILT, sm C sand, lit gravel, 4'-5.5' weathered BEDROCK, 5.5' AUGER REFUSAL, No water
B-2	0'-5.5' brn F-M SAND & SILT, sm C sand, lit gravel, 5.5' AUGER REFUSAL, No water
B-3	0'-1' brn F-M SAND & SILT, sm C sand, lit gravel, 1'-4" fractured BEDROCK, 4' AUGER REFUSAL, No water
B-4	0'-2' brn F-M SAND & SILT, sm C sand, lit gravel, 2'-6.5' fractured BEDROCK, 6.5' AUGER REFUSAL, No water
B-5	0'-2' brn F-M SAND & SILT, sm C sand, lit gravel, 2'-3' fractured BEDROCK, 3' AUGER REFUSAL, No water
B-6	0'-1.5' brn F-M SAND & SILT, sm C sand, lit gravel, 1.5'-3' fractured BEDROCK, 3' AUGER REFUSAL, No water
B-7	0'-8' brn CLAYEY SILT, lit gravel, 8'-10.5' fractured BEDROCK, 10.5' AUGER REFUSAL, No water

Soil Boring were performed by Soil Testing Inc. on June 17, 2015

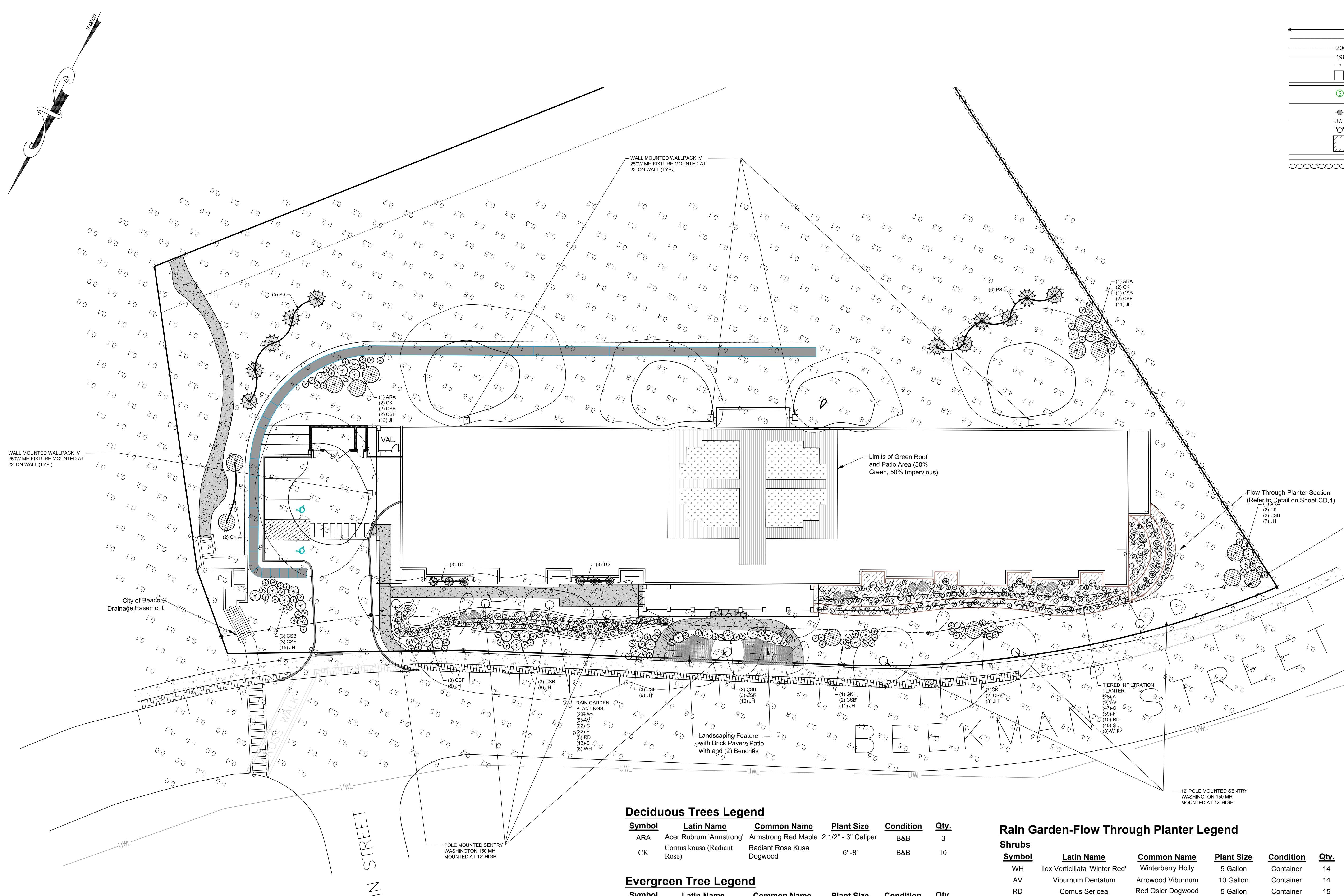
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M.A. DAY Engineering, PC
Consulting Engineers
3 Van Wyck Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

The View
City of Beacon Dutchess County, New York

Utility & Grading Plan

SCALE: 1" = 20'	DRAWN BY: DJD	DRAWING NO.: UP.1
DATE: 06-23-15	CHECKED BY: MAD	4 of 17



LEGEND

	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE (APPROX.)
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August 25, 2015	
July 28, 2015	
Project No. 2015-059	License No. 069646

M.A. DAY Engineering, PC
Consulting Engineers
 3 Van Wyck Lane Suite 2
 Wappingers Falls, New York
 (845)-223-3202

PROJECT		
The View		
City of Beacon		Dutchess County, New York
DRAWING		
Landscape & Lighting Plan		
SCALE	DRAWN BY	DRAWING NO.
1" = 20'	DJD	LLP.1
DATE	CHECKED BY	
06-23-15	MAD	5 of 17

Deciduous Trees Legend

Symbol	Latin Name	Common Name	Plant Size	Condition	Qty.
ARA	Acer Rubrum 'Armstrong'	Armstrong Red Maple	2 1/2" - 3" Caliper	B&B	3
CK	Cornus kousa (Radiant Rose)	Radiant Rose Kusa Dogwood	6' - 8'	B&B	10

Evergreen Tree Legend

Symbol	Latin Name	Common Name	Plant Size	Condition	Qty.
PS	Pinus strobus	Eastern White Pine	6' - 8'	B&B	11
TO	Thuja occidentalis	American Arborvitae	6' - 8'	B&B	9

Shrub Legend

Symbol	Latin Name	Common Name	Plant Size	Condition	Qty.
CSB	Cornus sericea "Bialeyn"	Bailey's Red Twigg'd Dogwood	2' - 3'	Container	15
CSF	Cornus sericea "Flaviramea"	Yellow Twig Dogwood	2' - 3'	Container	18
JH	Juniperus horizontalis	'Bar Harbor' Creeping Juniper	3 Gallon	Container	100

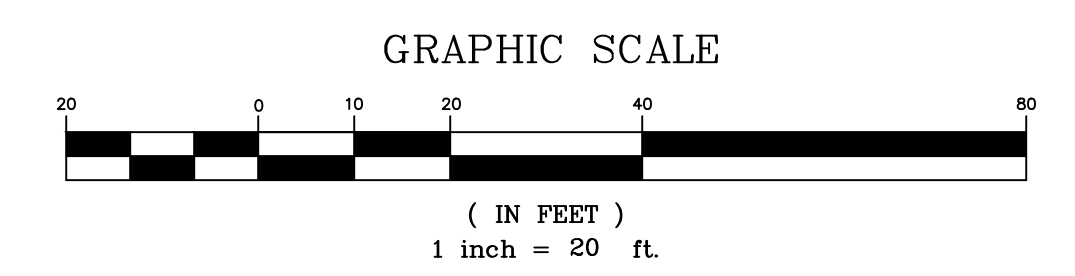
Rain Garden-Flow Through Planter Legend

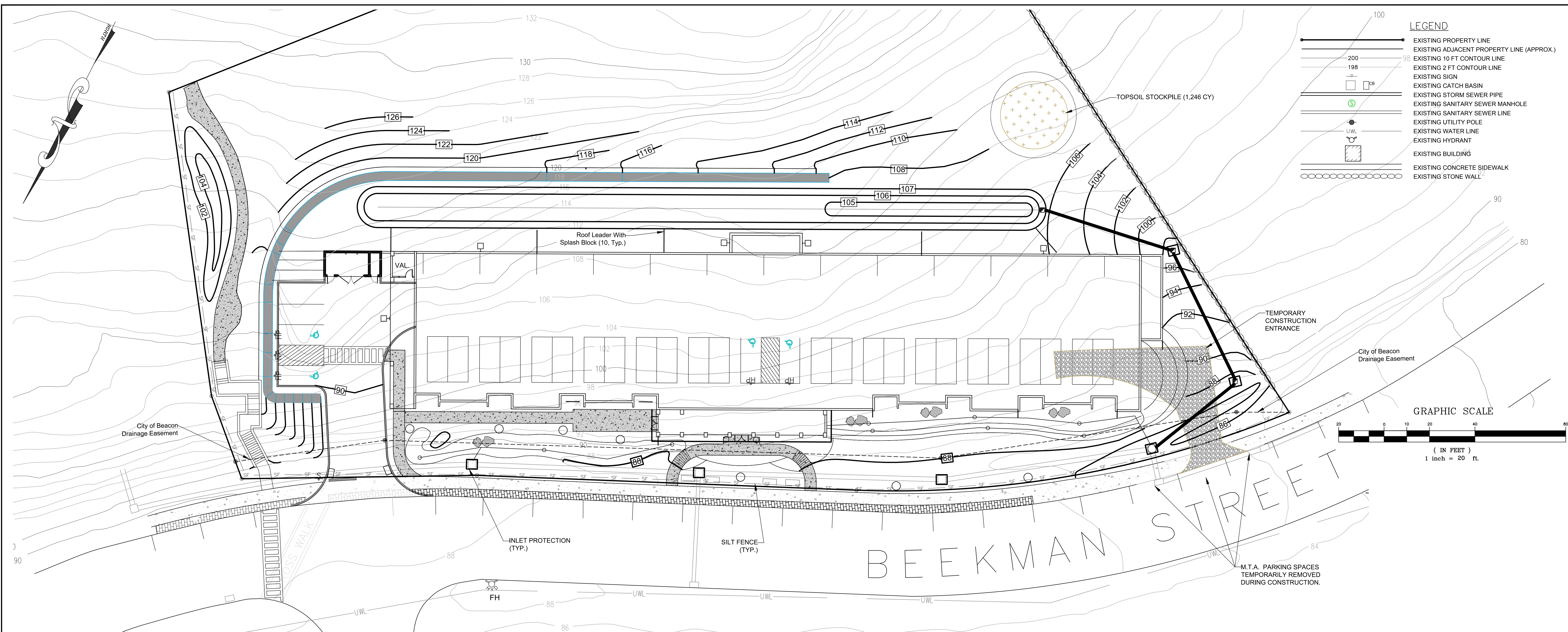
Shrubs

Symbol	Latin Name	Common Name	Plant Size	Condition	Qty.
WH	Ilex Verticillata 'Winter Red'	Winterberry Holly	5 Gallon	Container	14
AV	Viburnum Dentatum	Arrowwood Viburnum	10 Gallon	Container	14
RD	Cornus Sericea	Red Osier Dogwood	5 Gallon	Container	15

Herbaceous Plants

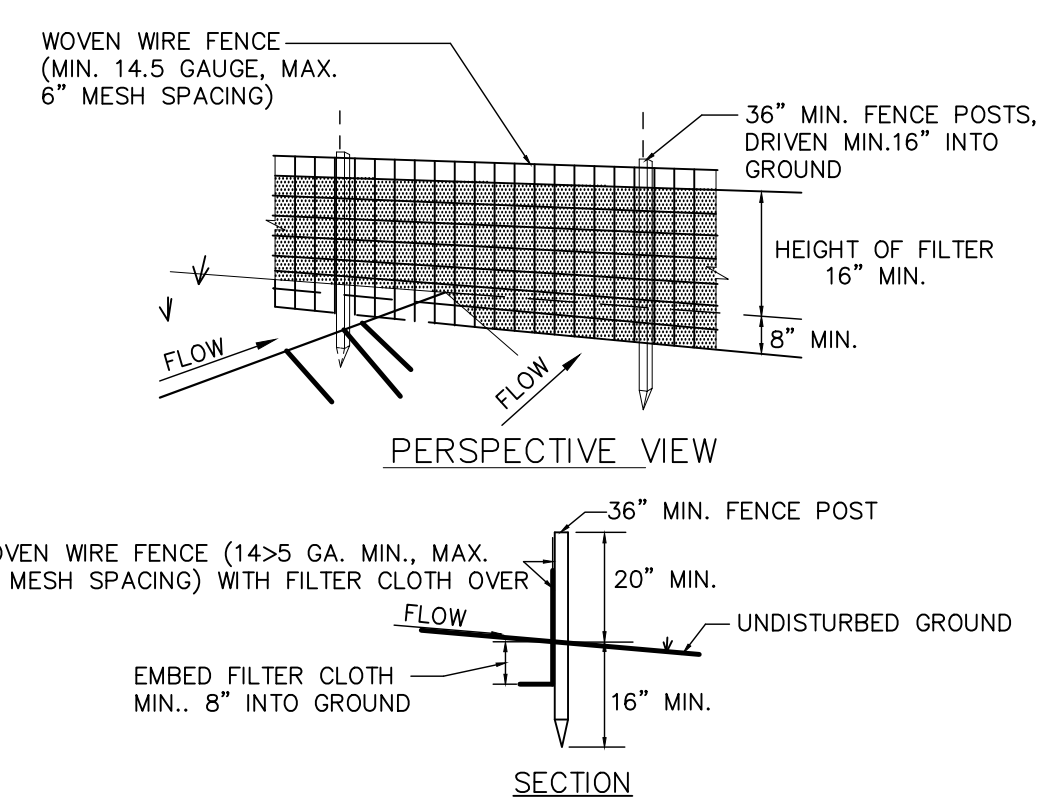
Symbol	Latin Name	Common Name	Plant Size	Condition	Qty.
S	Panicum Virgatum	Switch Grass	1 Gallon	Container	53
A	Aster Novae-Angliae	New England Aster	1 Gallon	Container	51
F	Carex Vulpinoidea	Fox Sedge	1 Gallon	Container	61
C	Osmunda Cinnamomea	Cinnamon Fern	1 Gallon	Container	69





Maintenance/Inspection Schedule (Long Term)

Maintenance Item	Frequency	Field Representative Shall Inspect for the Following	Maintenance/Repair Representative Shall Repair Respective Deficiency As Follows:
Catch Basins	Monthly	- Excess Silt & Sediment in Sumps	-Remove (Vacuum)
Pipe Network	Monthly	-Excess Silt & Sediment	-Remove (Vacuum)
Dry Swale	Annual & Monthly	- Vegetation - Adequate Vegetation - Undesirable Vegetative Growth - Undesirable Woody Vegetation - Standing Water/Wet Spots - Sediment and/or trash Accumulation	- Remove - Restore to Original Specification as Per Landscaping Plan - Remove - Remove - Add/ Remove Fill as Necessary to Restore Pond Base Elevation - Remove
Planter Plantings	Annually	- Survival of Desired Wetland Plants - 50% Cover of Plants After 2nd Growing Season - Distribution of Plants as Per Landscaping Plan - Any Evidence of Undesirable Invasive Species - Maintenance of Adequate Water Depth Plan Species - "Choking" of Plants Due to Excessive Sediment Depths	- Re-Plant Wetland Species as Necessary - Restore as Necessary - Re-Distribute as Necessary - Remove - Clean outlet to Restore Appropriate Water Levels - Remove Pond Sediments as Necessary
Green Roof	Monthly for first 24 months & Biannually	- Any Evidence of Undesirable/Invasive Vegetative Growth - Plant Health/Establishment Inadequate - Roof Drains Clogged or Impeded by Debris - Leaks or Structural Deficiencies	- Remove - Water, Fertilize, and Re-plant as Necessary - Remove Debris - Correct as Directed By a Trained and Qualified Contractor
Miscellaneous	Monthly	- Complaints from Residents - Aesthetics (Graffiti, Lack of Grass cover, Etc) - Signs of Hydrocarbon Build-up - Any Possible Public Hazards	- Note Complaint and Discuss with Owner and Engineers - Remove Any Graffiti and Scarfly, Seed And Mulch as Needed - Remove - Notify City and Discuss with Owner and Town as Necessary



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- 1) WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES
- 2) FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION
- 3) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED
- 4) MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE

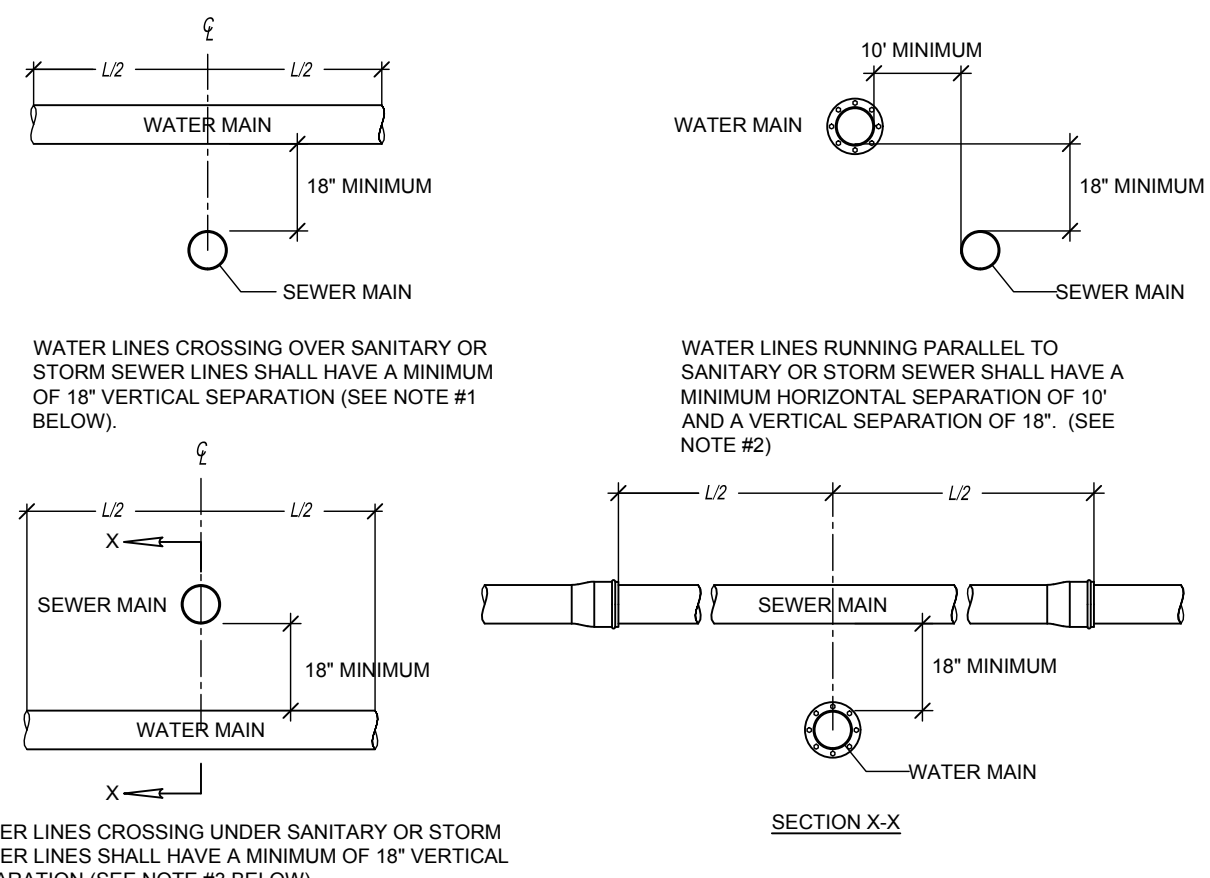
MATERIALS

- 1) POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
- 2) FILTER CLOTH: MIRAFI 100X, STABLINKA 1140N OR APPROVED EQUAL
- 3) FENCE: WOVEN WIRE, 14.5 GA. 6" MAX MESH OPENING
- 4) PREFABRICATED UNIT: GEOFAB, EVIROFENCE, OR APPROVED EQUAL

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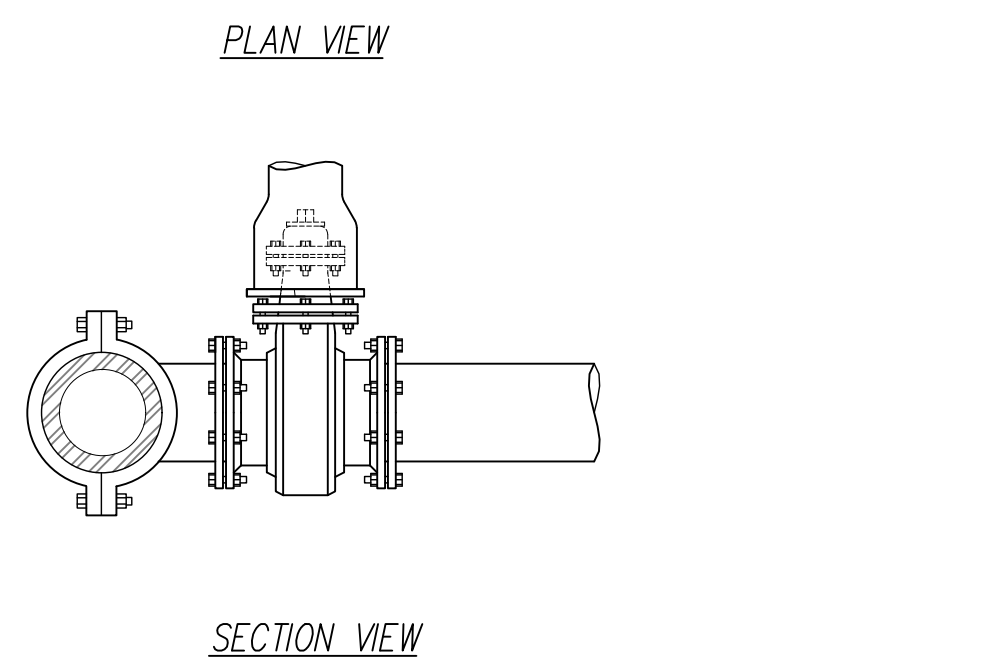
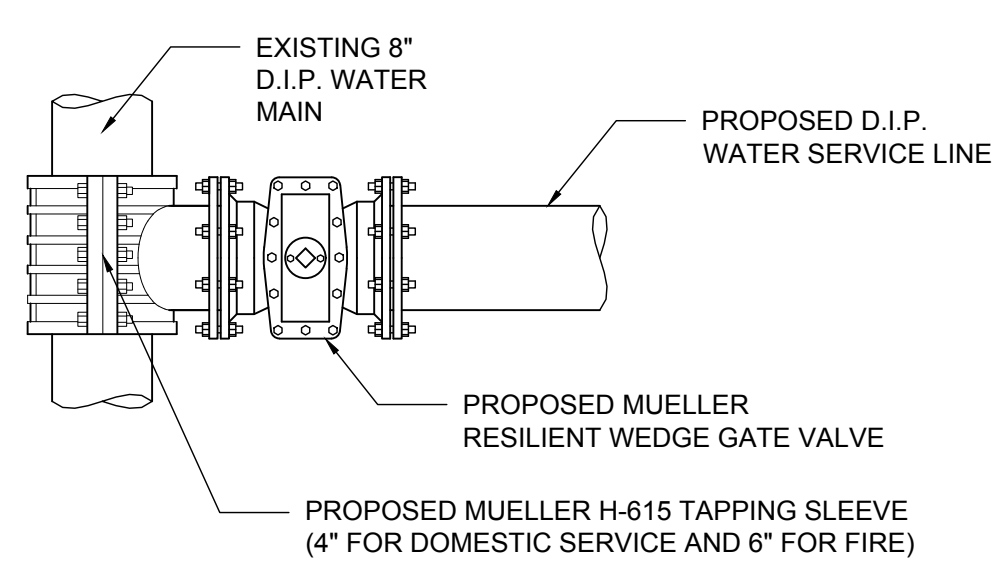
The View		
City of Beacon	Dutchess County, New York	
Erosion & Sediment Control Plan		
SCALE 1" = 20'	DRAWN BY DJD	ESC.1 6 of 17
DATE 06-23-15	CHECKED BY MAD	



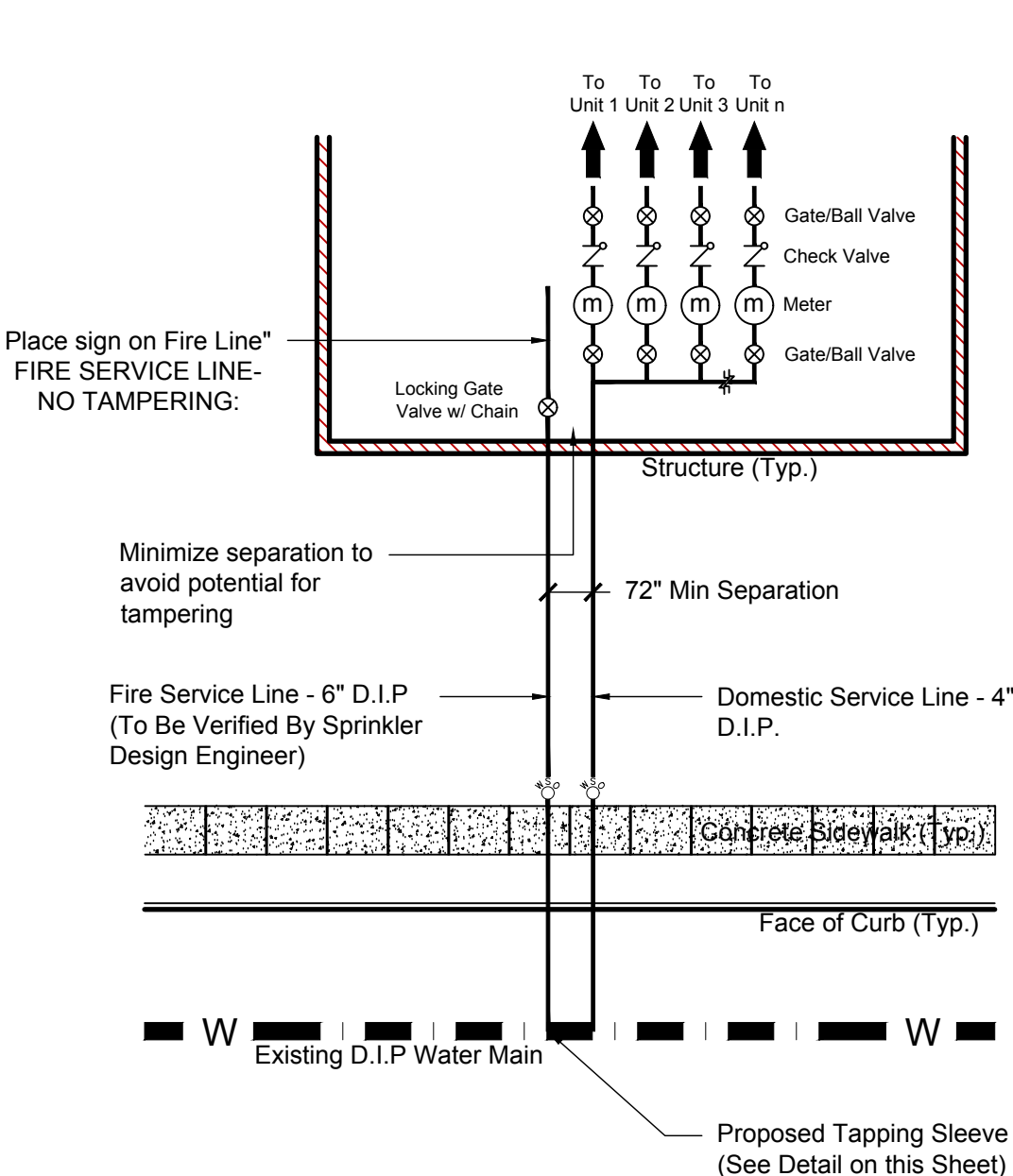
WATER LINES CROSSING OVER SANITARY OR STORM SEWER LINES SHALL HAVE A MINIMUM OF 18" VERTICAL SEPARATION (SEE NOTE #1 BELOW).

WATER LINES RUNNING PARALLEL TO SANITARY OR STORM SEWER SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 10" AND A VERTICAL SEPARATION OF 18". (SEE NOTE #2)

WATER LINES CROSSING UNDER SANITARY OR STORM SEWER LINES SHALL HAVE A MINIMUM OF 18" VERTICAL SEPARATION (SEE NOTE #3 BELOW).



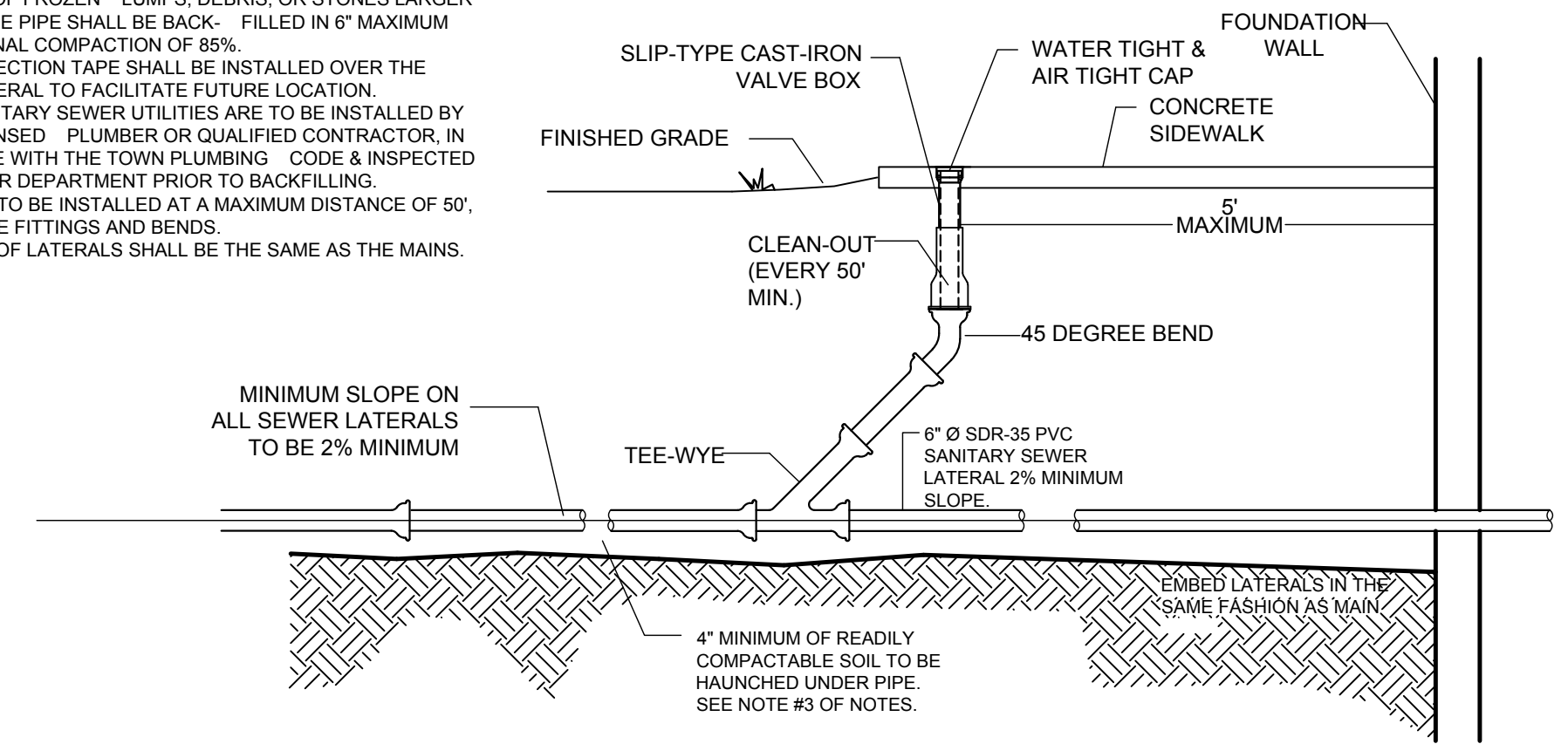
2 TAPPING SLEEVE AND VALVE INSTALLATION DETAIL
NOT TO SCALE



3 WATER SERVICE DETAIL
NOT TO SCALE

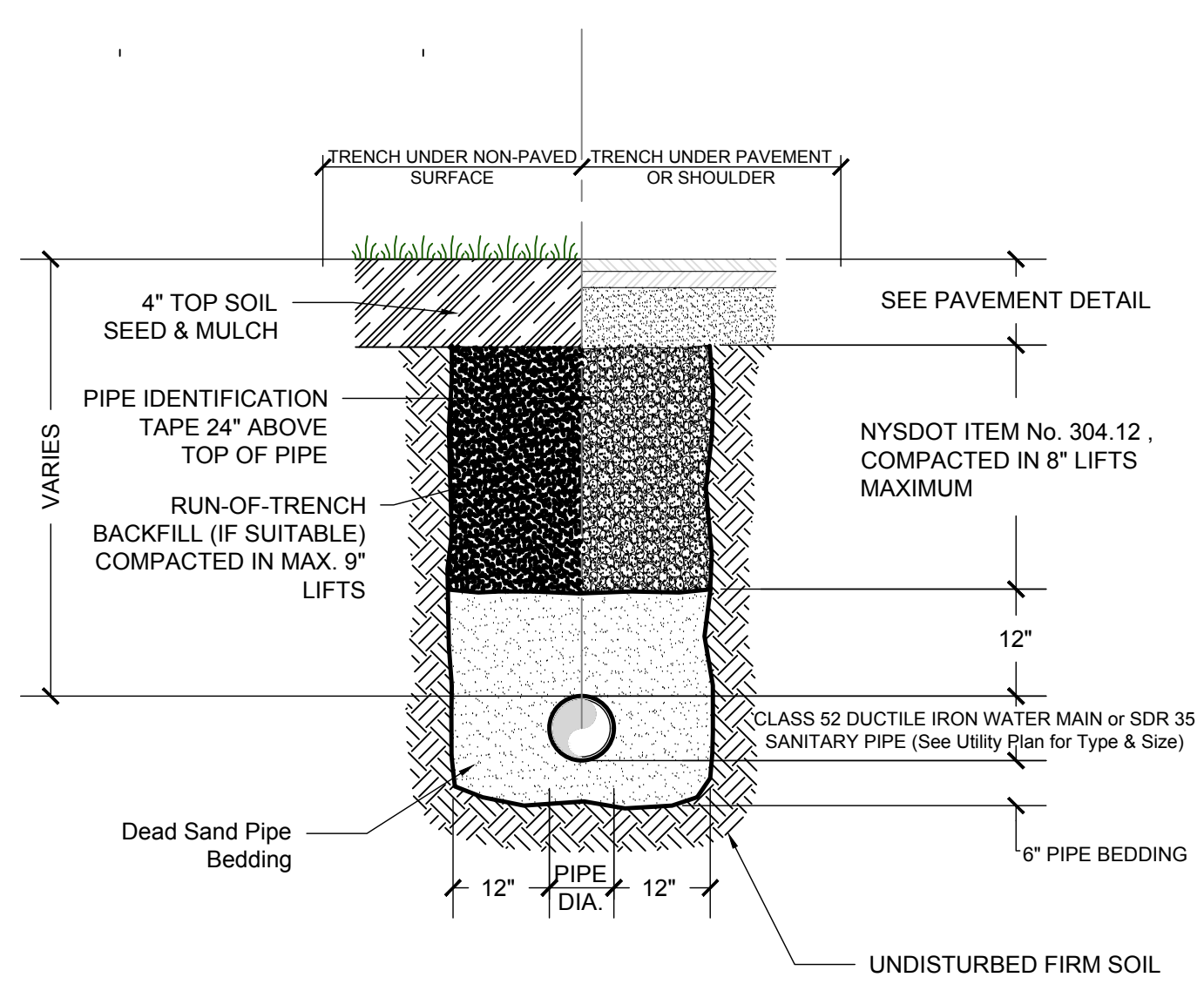
NOTE:

- A 10" MINIMUM SEPARATION DISTANCE SHALL BE MAINTAINED BETWEEN THE SEWER LATERAL AND THE WATER SERVICE LINE.
- THE FIRST 5' SEWER LATERAL IS TO BE 6" DIAMETER CAST-IRON PIPE AT 2% MIN. SLOPE. THE REMAINING SEWER LATERAL PIPING SHALL BE SDR-35 PVC AT 2% MIN. SLOPE. ALL JOINTS TO BE "BELL & SPIGOT" TYPE.
- THE MATERIAL IMMEDIATELY SURROUNDING THE PIPE TO BE READILY COMPACTABLE SOIL (SAND, LOAMY SAND OR LOAMY CLAY), FREE OF FROZEN LUMPS, DEBRIS, OR STONES LARGER THAN 3/4". THE PIPE SHALL BE BACK-FILLED IN 6" MAXIMUM LIFTS TO A FINAL COMPACTION OF 85%.
- A METAL DETECTION TAPE SHALL BE INSTALLED OVER THE SEWER LATERAL TO FACILITATE FUTURE LOCATION.
- ALL SITE SANITARY SEWER UTILITIES ARE TO BE INSTALLED BY A TOWN LICENSED PLUMBER OR QUALIFIED CONTRACTOR IN ACCORDANCE WITH THE TOWN PLUMBING CODE & INSPECTED BY THE SEWER DEPARTMENT PRIOR TO BACKFILLING.
- CLEAN-OUTS TO BE INSTALLED AT A MAXIMUM DISTANCE OF 50' AND AT ANGLE FITTINGS AND BENDS.
- EMBEDMENT OF LATERALS SHALL BE THE SAME AS THE MAINS.

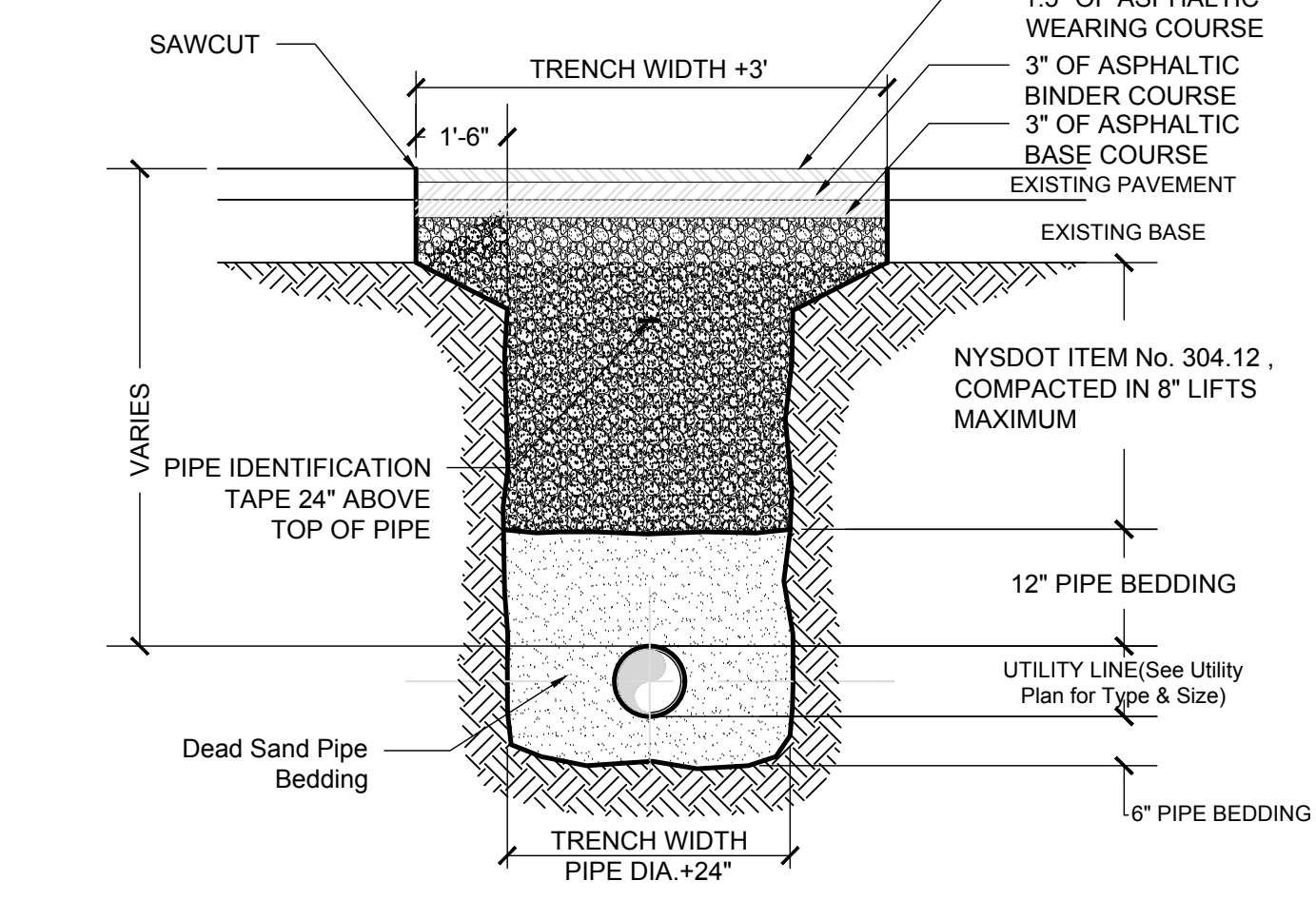


4 SANITARY SEWER LATERAL DETAIL
NOT TO SCALE

1 WATER & SEWER SEPARATION
NOT TO SCALE



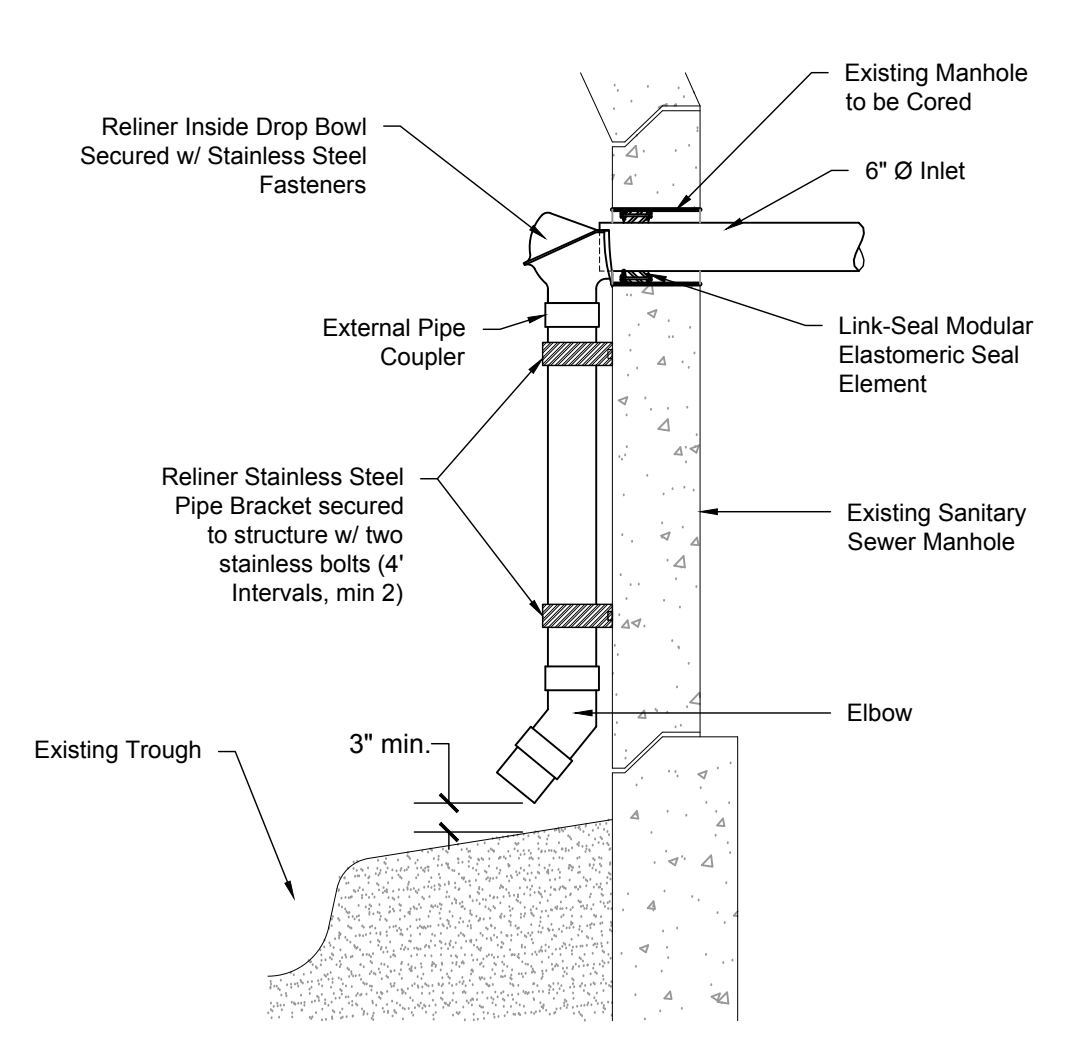
5 UTILITY TRENCH DETAIL
NOT TO SCALE



NOTES:

- DITCH WIDTH SHALL EXTEND A MINIMUM OF ONE AND ONE-HALF FT. FROM THE EDGES OF THE TRENCH.
- REPLACED BASE MATERIAL OVER TRENCH SHALL BE ITEM 4 COMPACTED IN 8" LIFTS.
- PIPE BEDDING SHALL BE A MINIMUM OF 6" ABOVE AND BELOW PIPE
- ALL JOINTS SHALL BE MECHANICALLY SAWED.
- ALL JOINTS SHALL BE SQUARED TO THE EXISTING EDGE OF CURB AND/OR PAVEMENT, AND TACK COATED PER DETAIL.
- ALL JOINTS SHALL BE SEALED WITH A POLYMER MODIFIED CRACK SEALANT.

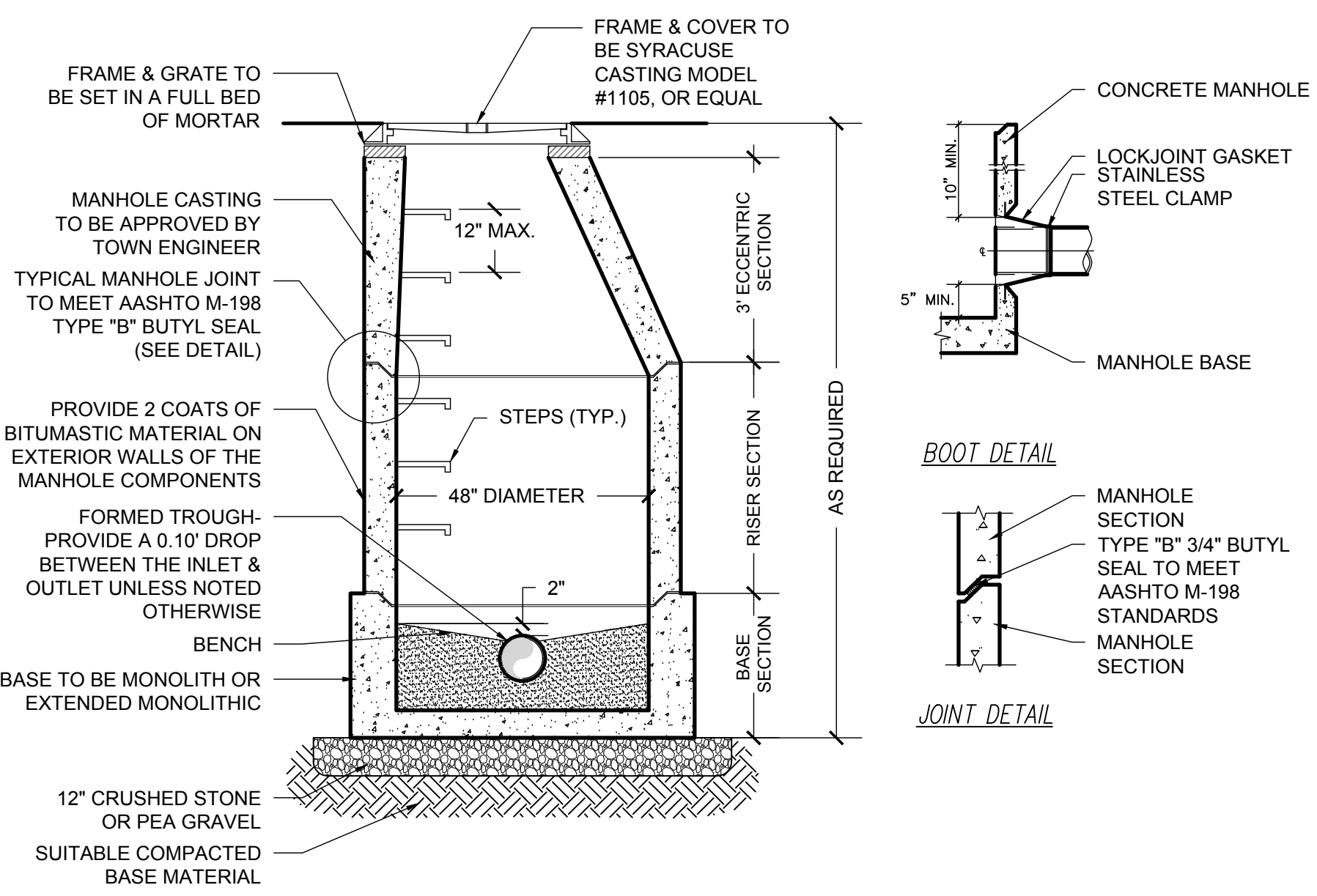
6 UTILITY TRENCH IN CITY R.O.W
NOT TO SCALE



7 EXISTING MANHOLE PENETRATION DETAIL
NOT TO SCALE

NOTES:

- PIPE CONNECTION TO BE STANDARD "LOCKJOINT" BOOT 5" OFF BASE OF MANHOLE (SEE DETAIL).
- CONCRETE STRENGTH OF MANHOLE COMPONENTS TO BE 4000 PSI @ 28 DAYS IN ACCORDANCE WITH ASTM C-478-86.
- STEEL REINFORCEMENT OF MANHOLE COMPONENTS TO MEET ASTM A615-A497 REQUIREMENTS.
- LOADING OF MANHOLE COMPONENTS TO MEET H-20 REQUIREMENTS.
- CONCRETE USED IN MANHOLE COMPONENTS TO CONTAIN 6% AIR ENTRAINMENT.
- 4" MAXIMUM FROM MANHOLE TO PIPE JOINT.
- MANHOLE FRAMES, COVERS & STEPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM A-48 CLASS 30B STANDARDS FOR GRAY IRON.
- ALL SANITARY SEWER MANHOLE COVERS SHALL BE NOMINAL 26" DIAMETER CAST IRON AND SHALL READ "SANITARY SEWER". FRAMES SHALL BE 8-INCHES IN HEIGHT AND COVER SHALL BE SYRACUSE CASTING No. 1009 OR AN APPROVED EQUAL.
- ALL SITE SANITARY SEWER UTILITIES ARE TO BE INSTALLED BY A QUALIFIED CONTRACTOR, IN ACCORDANCE WITH GOOD PRACTICE AND INSPECTED BY A LICENSED PROFESSIONAL ENGINEER, IN ACCORDANCE WITH THE DUTCHESS COUNTY SANITARY CODE.
- ALL NEW SANITARY SEWER UTILITIES ARE TO BE EITHER HYDROSTATICALLY OR VACUUM TESTED IN ACCORDANCE WITH ASTM C-244-93(2000) "TEST METHOD FOR SHEET CONCRETE SEWER MANHOLES BY NEGATIVE PRESSURE". SEE STANDARD ON THIS.
- ALL SANITARY SEWER SERVICE LATERALS THAT TIE INTO MANHOLES SHALL BE DIRECTED INTO THE TROUGH OF THE MANHOLE. NO LATERALS SHALL DISCHARGE ONTO THE BENCH. ANY LATERALS 2' OR GREATER ABOVE THE TROUGH SHALL BE DONE USING A DROP MANHOLE.

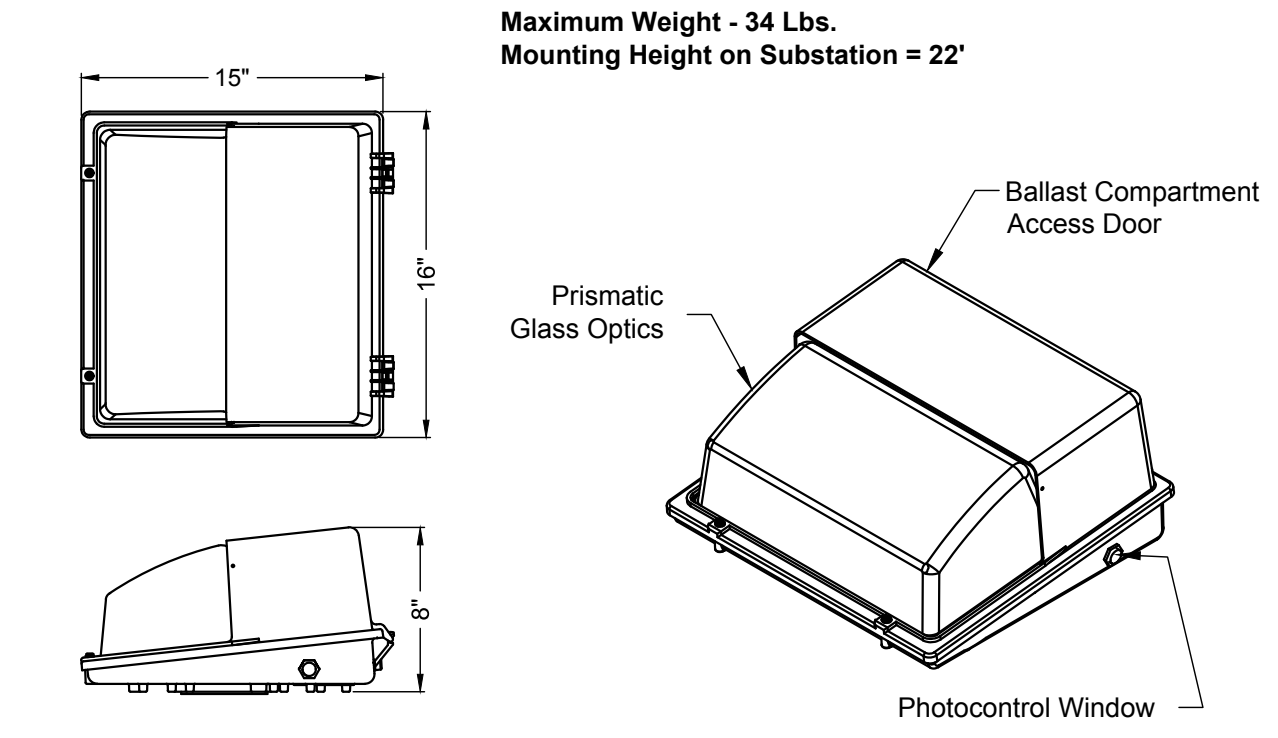
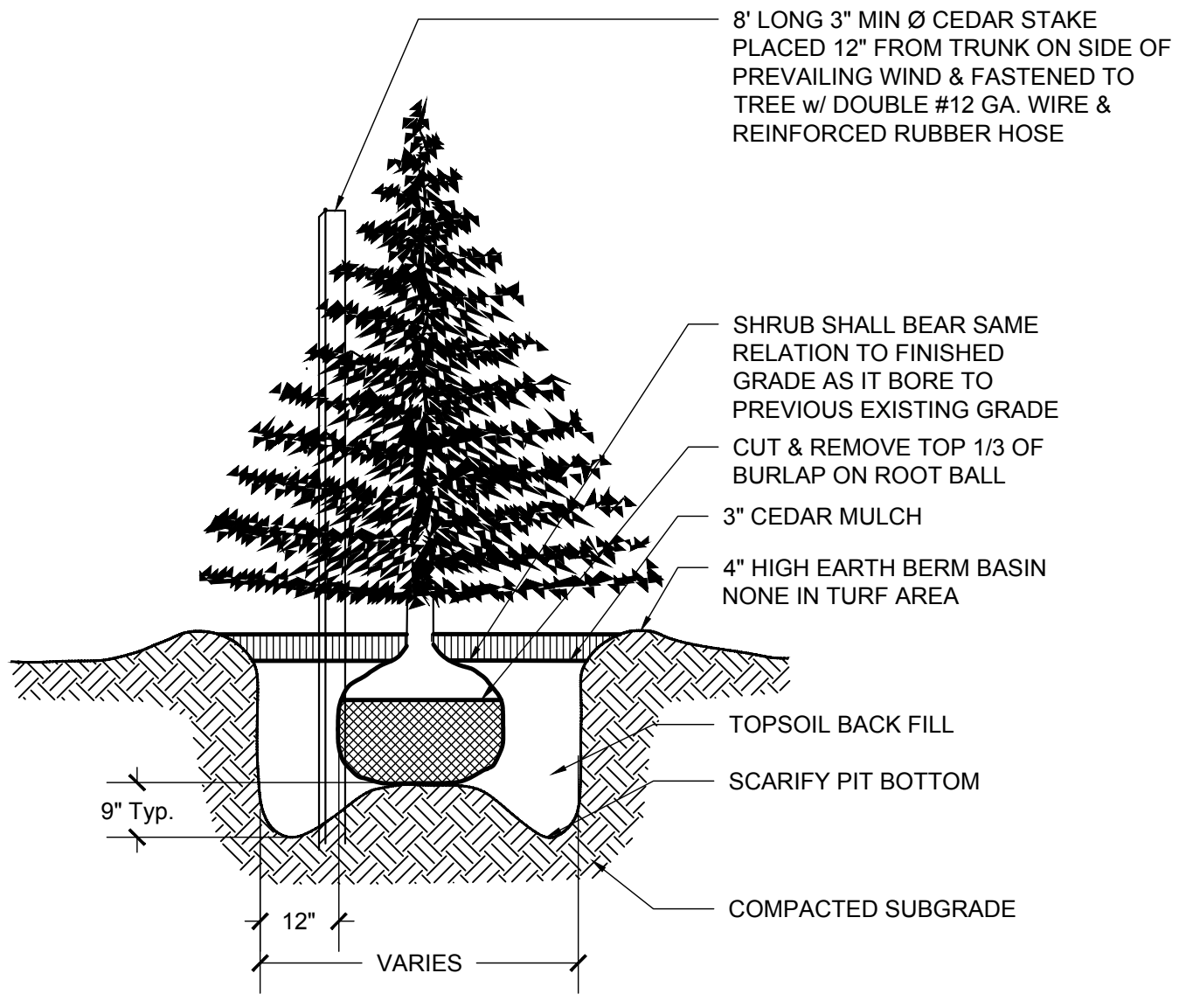
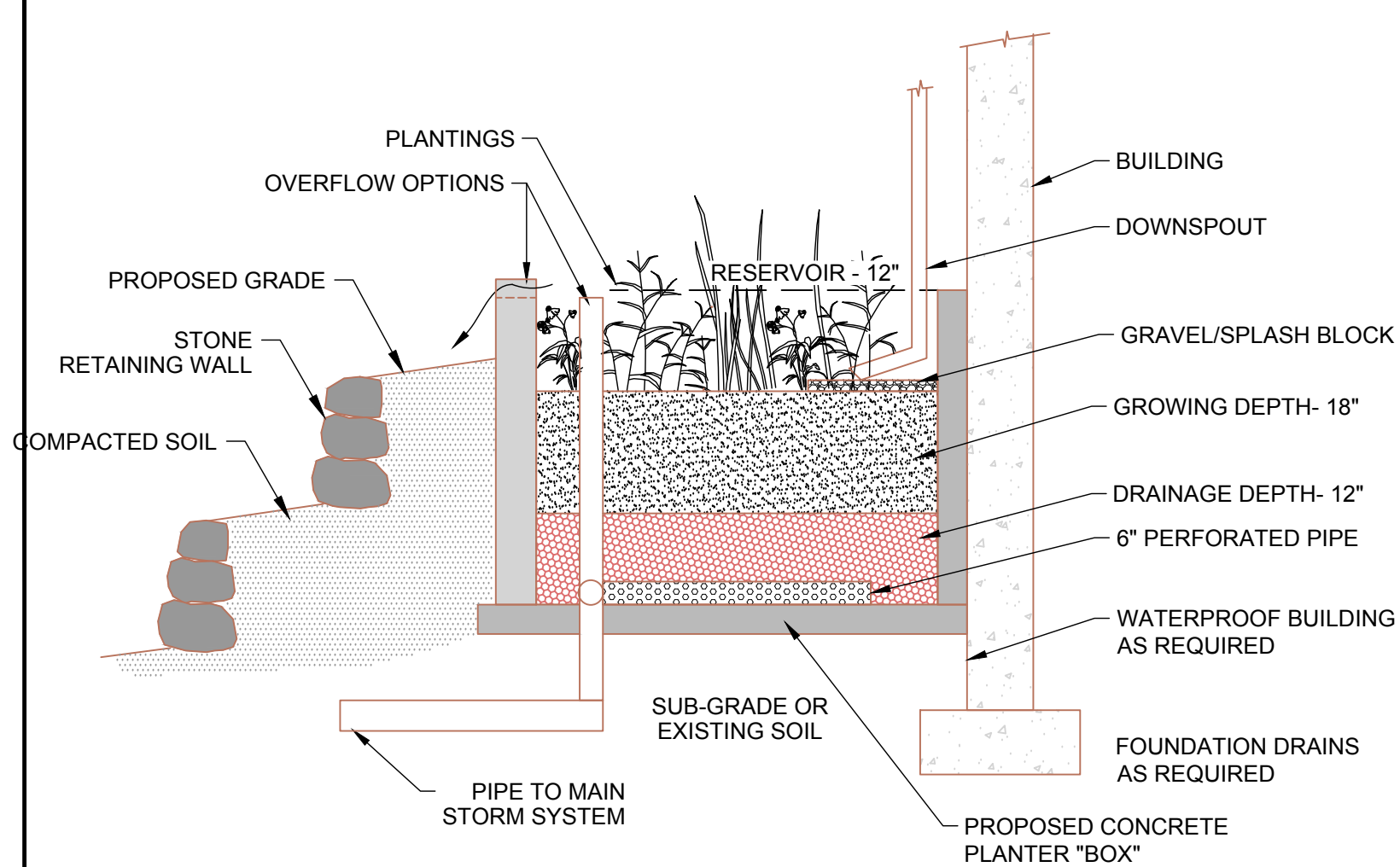


8 PRE CAST CONCRETE MANHOLE
NOT TO SCALE

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Construction Details		
SCALE	DRAWN BY	DRAWING NO.
As Noted	DJD	CD.2
DATE	CHECKED BY	
06-23-15	MAD	8 of 17



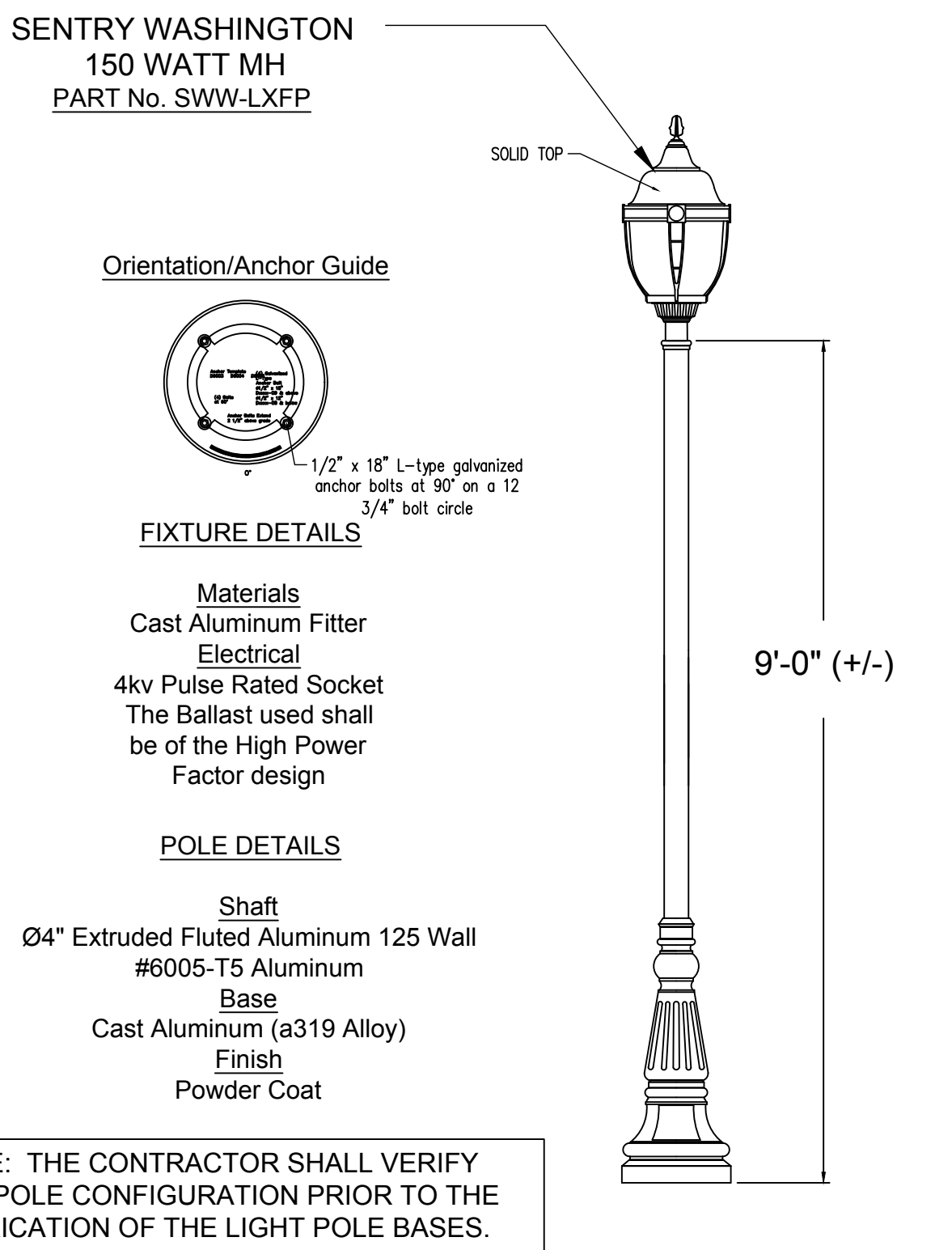
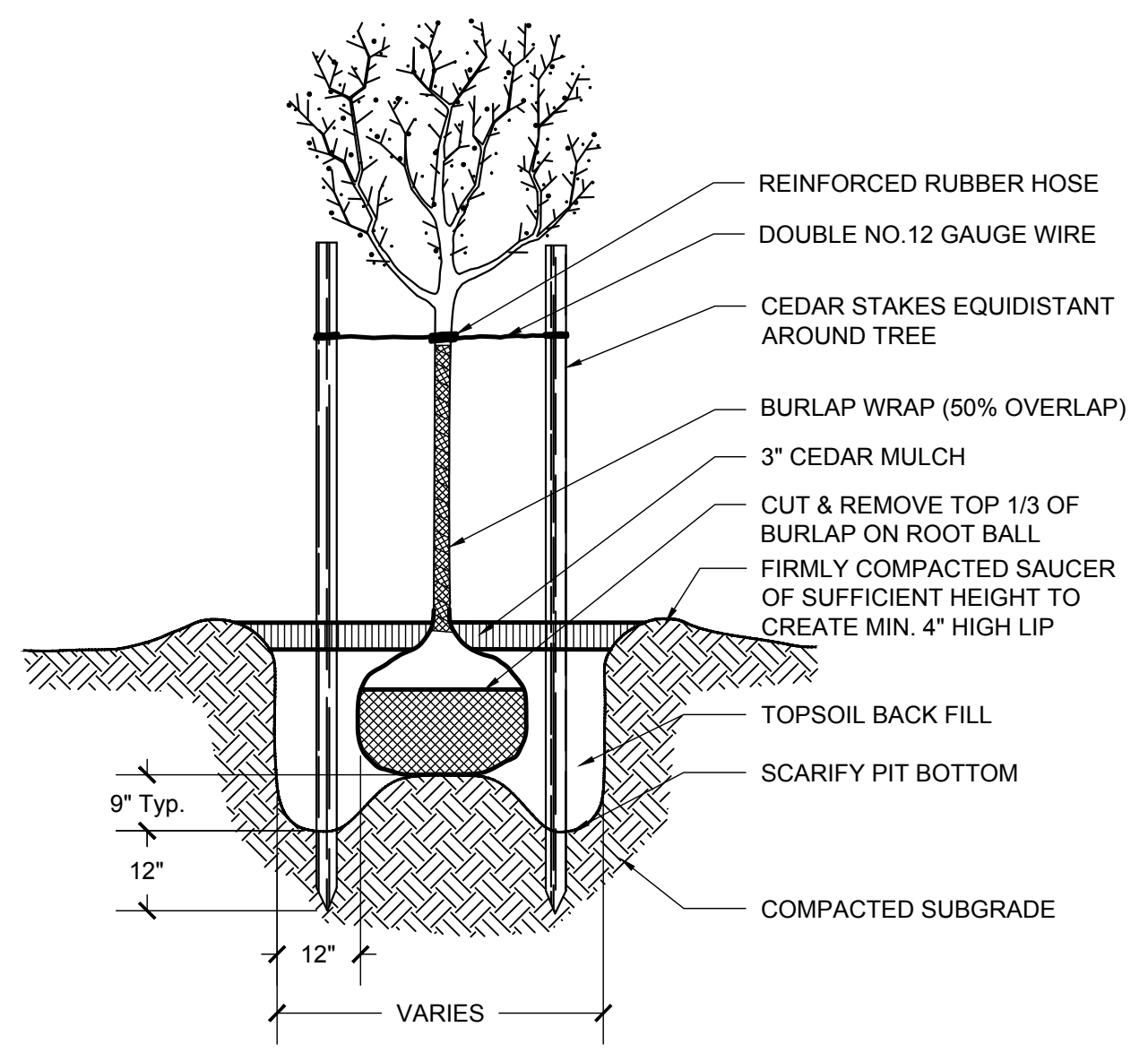
Wallpack® IV

250W CLEAR METAL HALIDE FIXTURE

1 FLOW THROUGH STORMWATER PLANTER SECTION
NOT TO SCALE

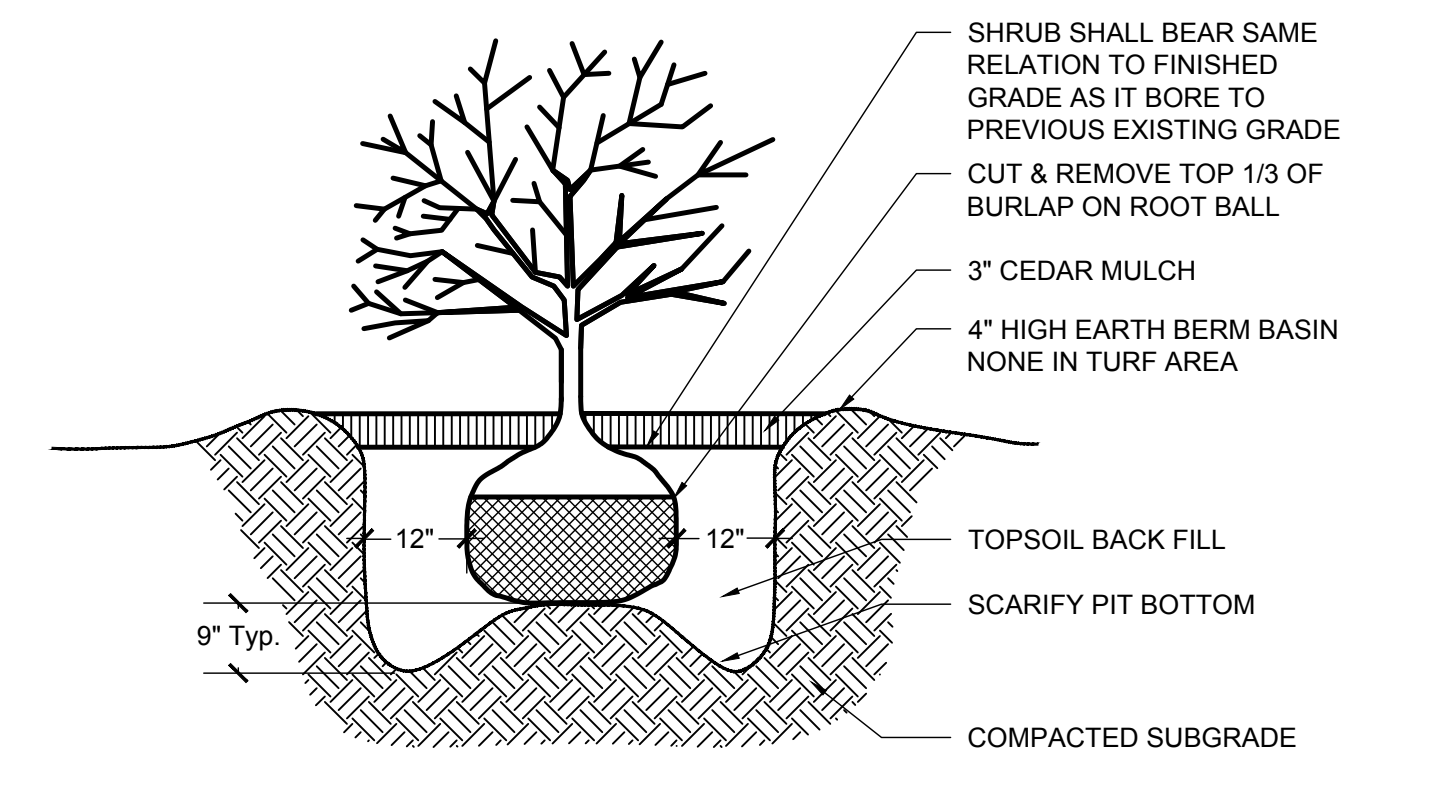
2 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

LANDSCAPE NOTES:
NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING FOR PROPOSED UTILITY LINES
THE OWNER IS RESPONSIBLE FOR MAINTAINING THE SITE LANDSCAPING AS SHOWN ON THE APPROVED SITE PLAN THROUGHOUT THE DURATION OF USE.
THE LANDSCAPE CONTRACTOR SHALL CAREFULLY CORRELATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE. ALL LANDSCAPED AREAS MULCHED UNLESS OTHERWISE NOTED.
WARRANTY:
ALL PLANT MATERIAL (LAWNS, TREES, SHRUBS, ETC.) AND PLANTING SUPPLIES (EDGING, BARK, MULCH, ETC.) SHALL BE WARRANTED FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE DATE OF COMPLETION OF THE LANDSCAPING INSTALLATION. ALL REPLACEMENT STOCK SHALL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. ANY DAMAGE DUE TO REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR. AT THE END OF THE WARRANTY PERIOD, INSPECTIONS SHALL BE MADE JOINTLY BY LANDSCAPE ARCHITECT, OWNER, TENANT AND LANDSCAPE CONTRACTOR. ALL PLANT AND LAWN AREAS NOT IN A HEALTHY GROWING CONDITION SHALL BE REMOVED AND REPLACED WITH PLANTS AND TURF COVER OF A LIKE KIND AND SIZE BEFORE THE CLOSE OF THE NEXT PLANTING SEASON.
SPECIES AND VARIETY AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY AND AS DEFINED WITHIN THE CURRENT EDITION OF INTERNATIONAL CODE OF NOMENCLATURE FOR CULTIVATED PLANTS, ISSUED BY THE INTERNATIONAL UNION OF BIOLOGICAL SCIENCES. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT TENANT'S LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALD, WINDBURN, ABRASION, AND HARMFUL INSECTS AND INSECT EGGS; AND SHALL HAVE HEALTHY, NORMAL, UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS AND STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. VINES AND GROUND COVER PLANTS WILL ESTABLISHED SHALL BE USED. PLANTS BUDDING INTO LEAF OR HAVING SOFT GROWTH SHALL BE SPRAYED WITH AN ANTI-DESICCANT AT THE NURSERY BEFORE DIGGING.
ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK. BARE ROOT STOCK OF ANY KIND IS UNACCEPTABLE.
SEED:
EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS. GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE. IN THE FOLLOWING PROPORTIONS:
KENTUCKY BLUEGRASS 40%
CREEPING RED FESCUE 40%
RYE GRASS 20%
GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD No. 1.
SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.
SEED SHALL BE A BLEND OF CERTIFIED LAWN GRASS AND/OR GROUND COVER PLANT SEEDS COMMON TO THE SITE LOCATION.
PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH ESTABLISHED TOLERANCES FOR GERMINATION AND PURITY IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE LATEST EDITION OF THE FEDERAL SEED ACT. SEED SHALL BE MIXED BY THE DEALER AND SHALL BE DELIVERED TO THE SITE IN SEALED CONTAINERS WHICH SHALL BEAR THE DEALER'S GUARANTEED ANALYSIS.
MULCHES FOR PLANTINGS:
MULCH USED IN THE PLANTING BEDS SHALL BE FIRE RETARDANT.
SHALL BE SHREDDED BARK MULCH, MEDIUM SIZE, FROM HARDWOOD TREES. NO PIECES OVER TWO INCHES (2") IN GREATEST DIMENSION. FREE FROM SAWDUST, STONES, DEBRIS, AND DELETERIOUS MATERIALS.
ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
ALL AREAS OF SITE NOT OCCUPIED BY BUILDINGS OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE SEED.
NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
LONG TERM PLANTING MAINTENANCE NOTES:
THE OWNER/OPERATOR SHALL BE RESPONSIBLE FOR THE LONG-TERM MONITORING AND MAINTENANCE OF THE PLANTINGS WITHIN THE THE SITE IN PERPETUITY AND TO THE SATISFACTION OF THE VILLAGE.
THE COVERAGE OF THE SEEDING AREAS SHALL BE UNIFORM WITH NO BARE AREAS LARGER THAN ONE-HALF SQUARE FEET.
THE ACCEPTABLE DENSITY OF COVERAGE SHALL BE A MINIMUM OF EIGHTY-FIVE PERCENT (85%) OF LANDSCAPE QUANTITY PLANTS SHOWN ON THE APPROVED PLANTING PLAN. IF LESS THAN EIGHTY-FIVE (85%) OF A PARTICULAR PLANT SPECIES SURVIVES, REPLACEMENT WITH SAME AND/OR ALTERNATIVE PLANT SPECIES ACCEPTABLE TO THE VILLAGE PLANNING BOARD SHALL OCCUR, SERVING THE INTENDED FUNCTION OF THE ORIGINALLY PROPOSED PLANTINGS.



5 LANDSCAPING NOTES

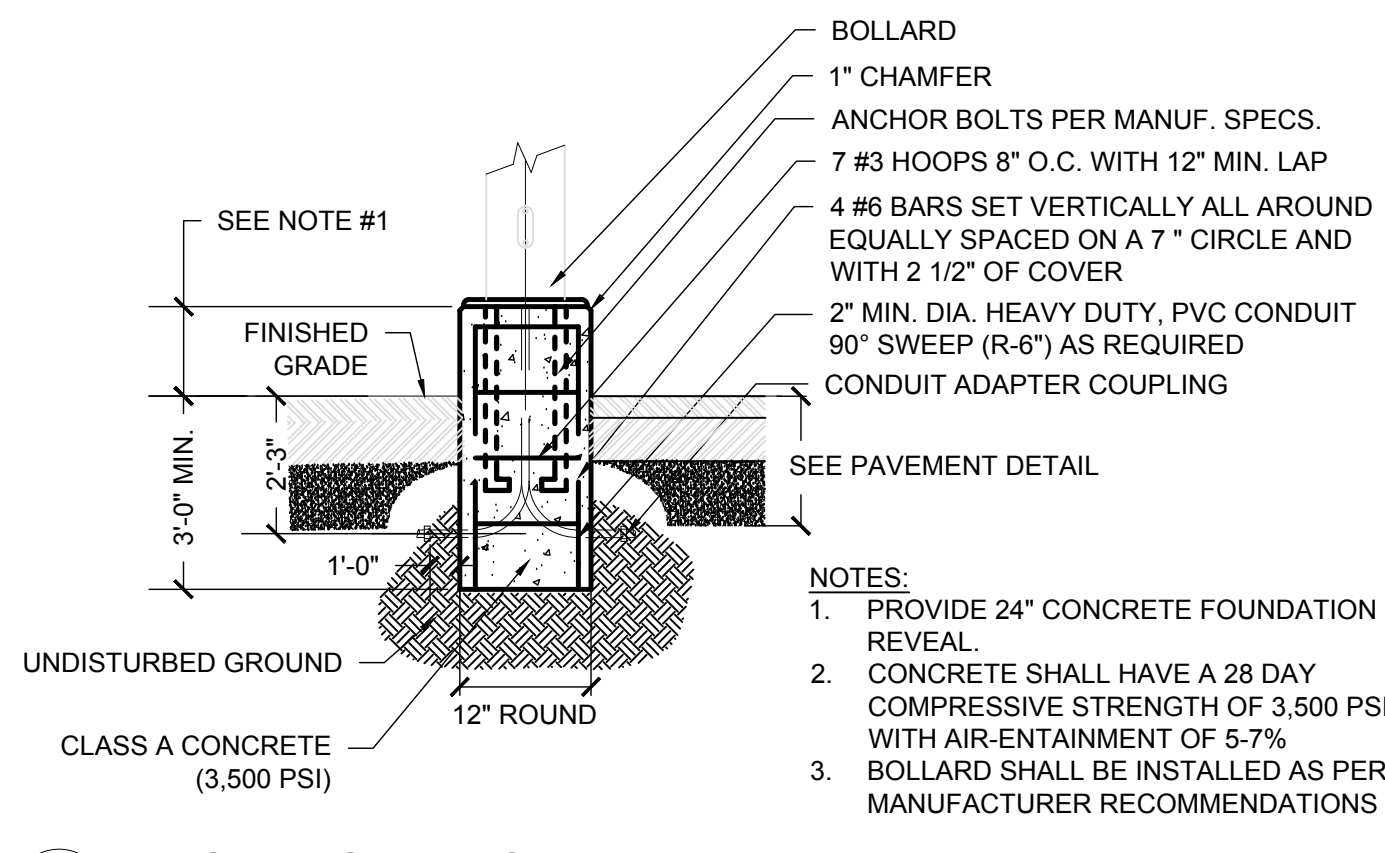
3 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



NOTES:
1. IF CONTAINERS ARE USED CAREFULLY REMOVE TOP 1/3 OF CONTAINER (IF CONTAINER IS NON-ORGANIC, REMOVE COMPLETELY); CUT VARIOUS SLITS IN ORGANIC CONTAINER TO FACILITATE ROOT PENETRATION (OR REMOVE CONTAINER BOTTOM).
2. DO NOT ALLOW ANY PORTION OF CONTAINER TO REMAIN EXPOSED.
3. WATER THOROUGHLY SUBSEQUENT TO INSTALLATION.

4 SHRUB PLANTING DETAIL
NOT TO SCALE

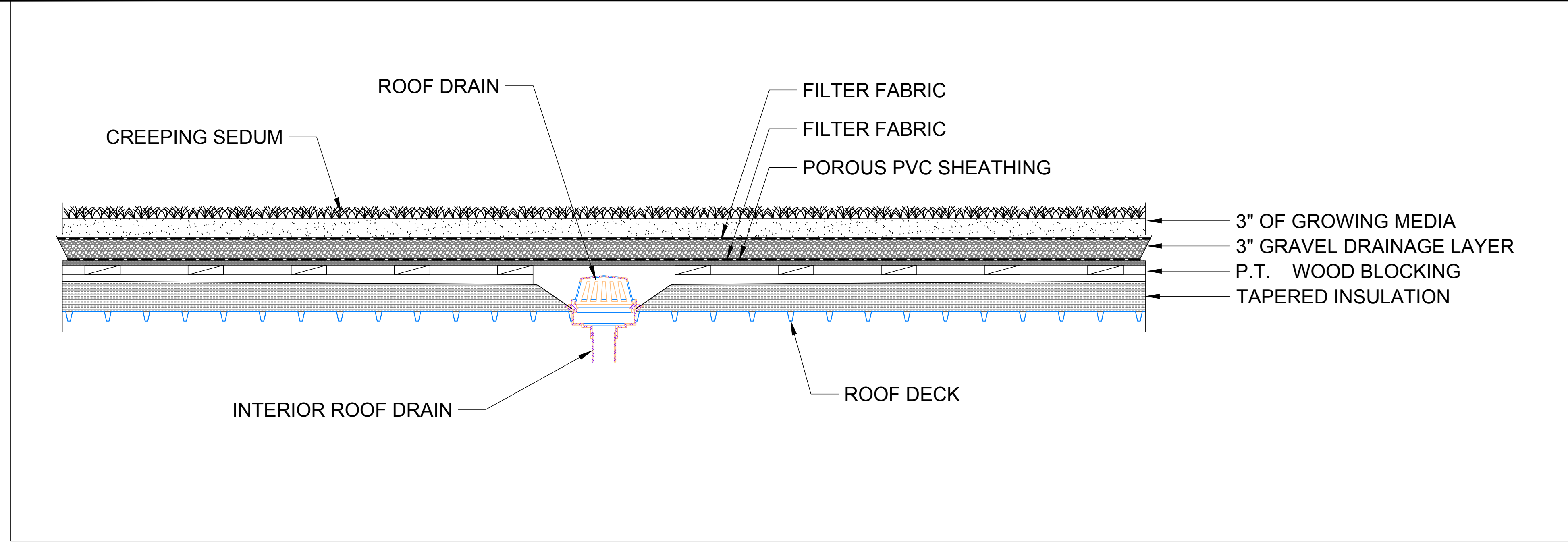
6 LIGHT POLE DETAIL
NOT TO SCALE



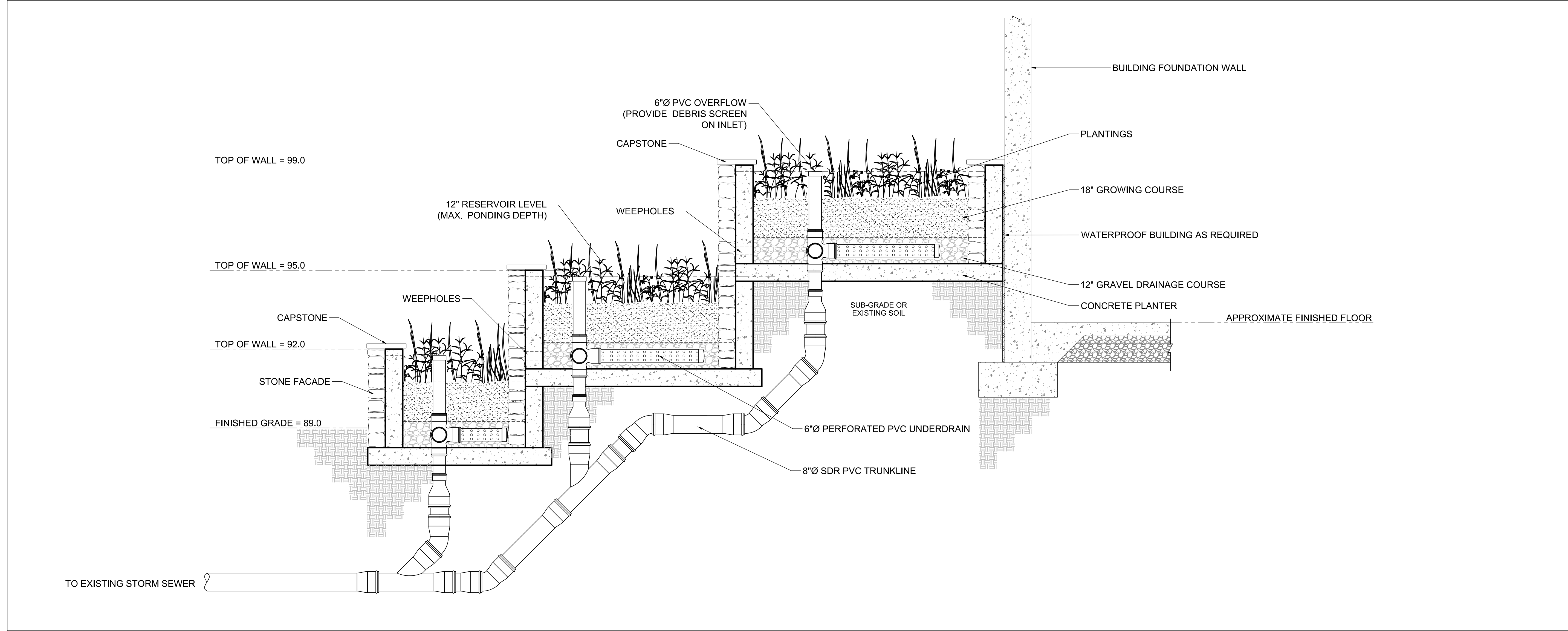
7 LIGHT POLE BASE DETAIL
NOT TO SCALE

8 WALL MOUNTED LIGHT FIXTURE
NOT TO SCALE

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9 of 17	



1 ROOFTOP GARDEN DETAIL
NOT TO SCALE

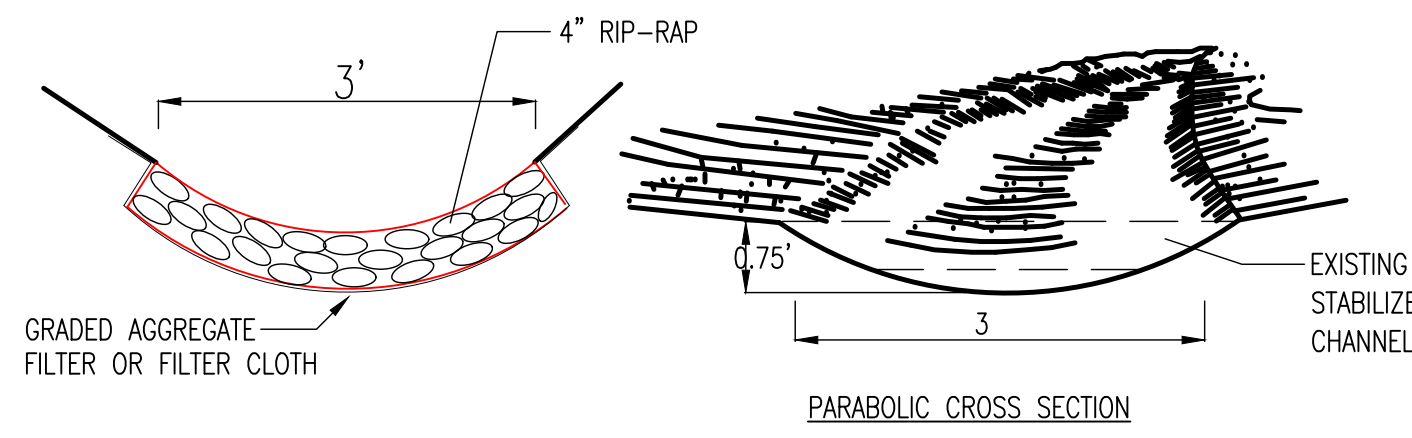


2 FLOW-THROUGH PLANTERS
NOT TO SCALE

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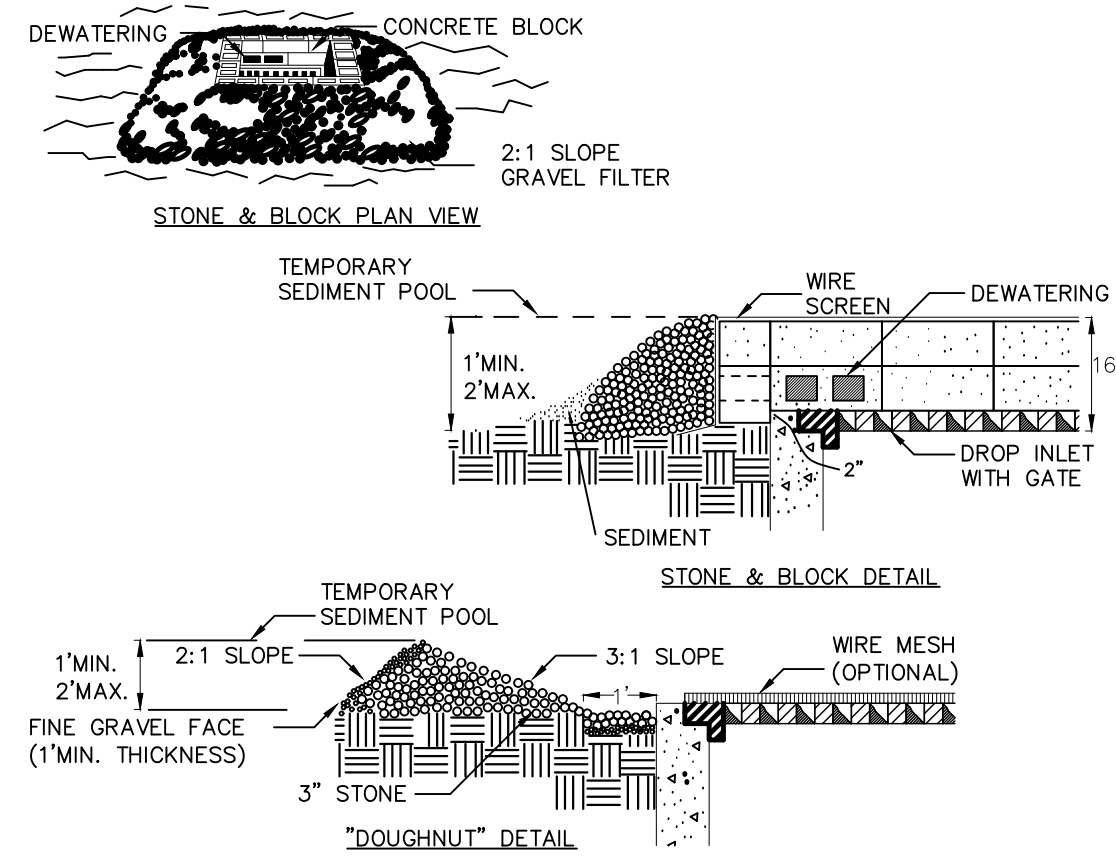
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The View		
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DRAWING		
Landscaping Details		
SCALE	DRAWN BY	DRAWING NO.
As Noted	DJD	CD.4
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06-23-15	MAD	10 of 17



CONSTRUCTION SPECIFICATIONS

- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
- THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPED E NORMAL FLOW.
- FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE WATERWAY.
- ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.

1 SWALE DETAIL
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE

5 STONE & BLOCK DROP INLET PROTECTION
NOT TO SCALE

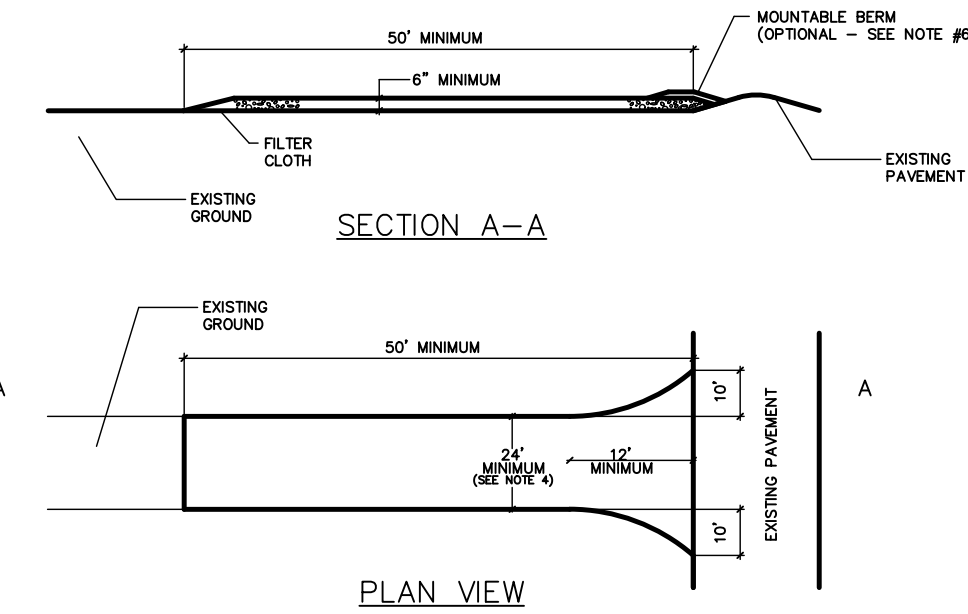
EROSION AND SEDIMENT CONTROL MEASURES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", AUGUST 2005.
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVEYANCE" SHALL BE AVOIDED. STABILIZATION CONTROL ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
- SEEDING AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:

- PERMANENT AND TEMPORARY VEGETATION:**
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE:**
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND

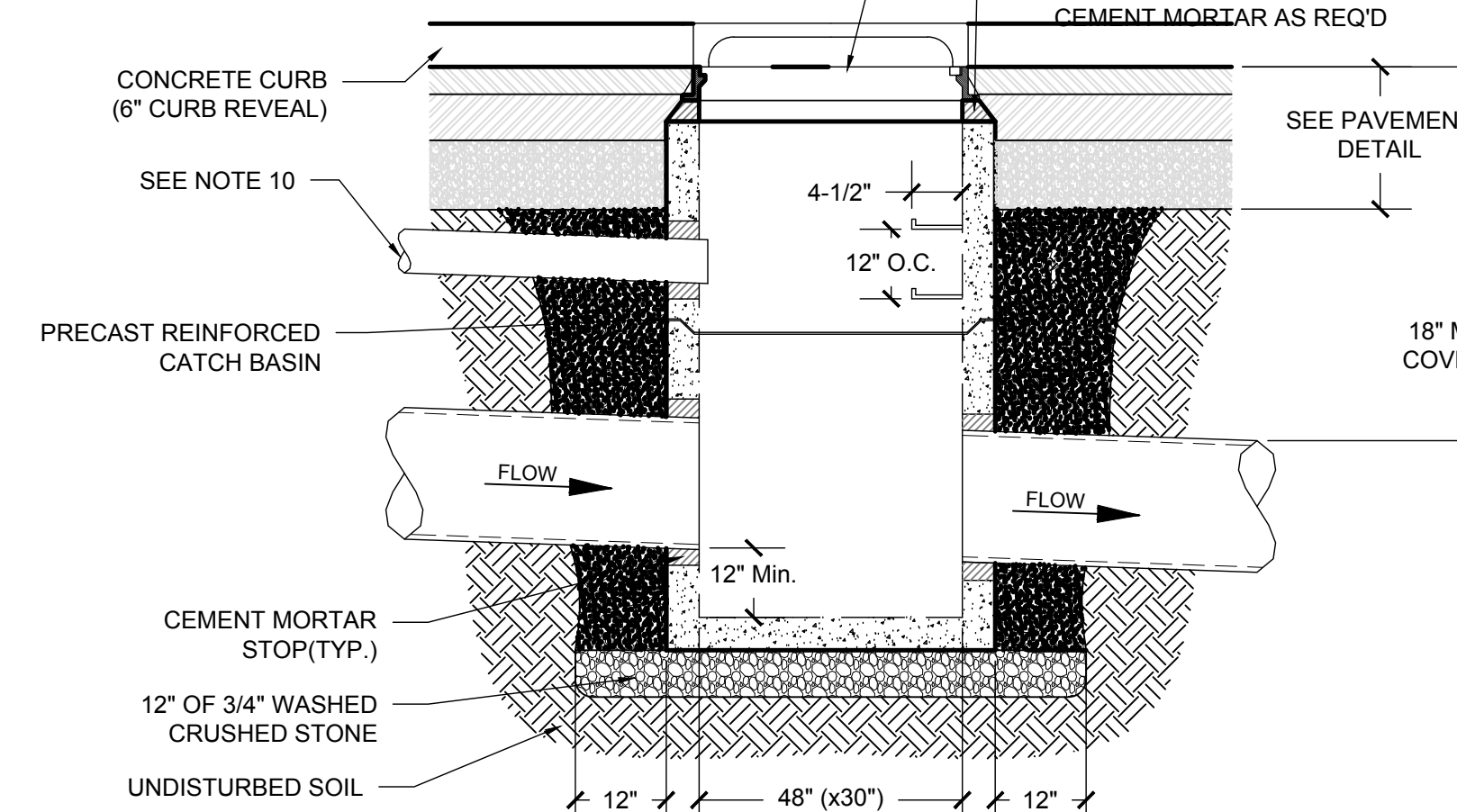
8 EROSION & SEDIMENT CONTROL NOTES
NOT TO SCALE



- NOTES:**
- STONE SIZE - USE #2 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM AT SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED ACROSS THE ENTRANCE. IF PILING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SKIPPED, DUMPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

3 TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE

NOTE: THE CONTRACTOR SHOULD BE AWARE THAT DUE TO THE VARYING SIZES & GEOMETRY OF THE PROPOSED STORM SEWER PIPING, THAT ACTUAL CATCH BASIN SIZES SHALL VARY. THE CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE OF 3" FROM THE OUTER DIAMETER OF THE PIPE TO THE INSIDE FACE OF THE CATCH BASIN WALL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL ACTUAL CATCH BASIN SIZES.



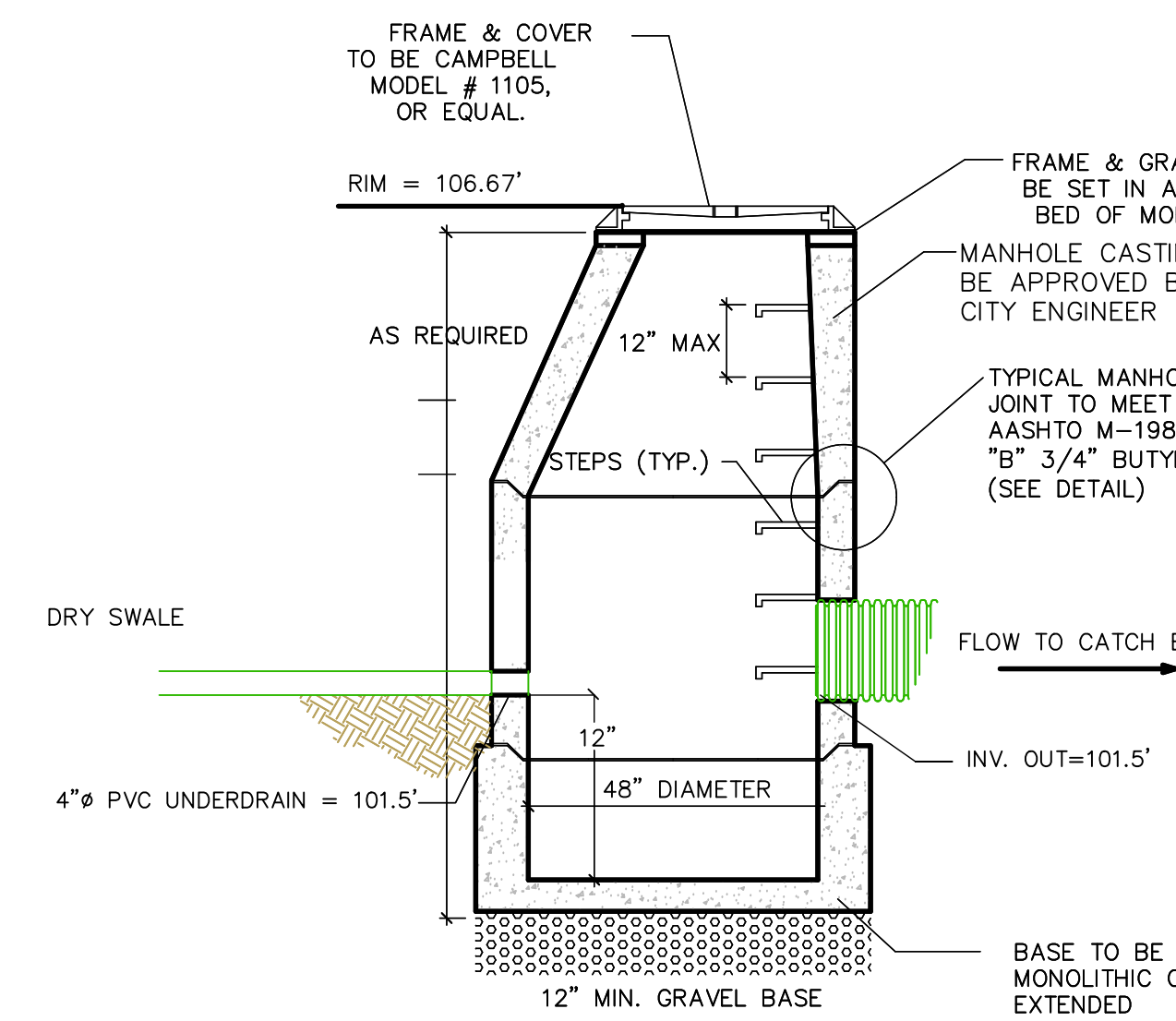
4 "DOG HOUSE" MANHOLE DETAIL
NOT TO SCALE

- CONSTRUCTION NOTES:**
- THE TOP OF THE PIPES TO BE SET AT EQUAL ELEVATIONS WHEN INLET PIPE IS SMALLER THAN OUTLET PIPE.
 - FRAME AND GRATE TO MEET OR EXCEED H-20 LOADING.
 - ALL PIPES SHALL BE INSTALLED FLUSH WITH THE INSIDE WALL OF THE CATCH BASIN AND GROUTED IN PLACE ON BOTH THE INSIDE AND OUTSIDE FACE OF THE BASIN.
 - BRICK FRAME AND GRATE TO GRADE MATCH BOTH CROWN OF ROAD AND SLOPE OF ROAD. A MAXIMUM OF TWO TIERS OF CONCRETE BRICKS OR ONE 6" SOLID CONCRETE BLOCK SHALL BE PERMITTED. RISERS SHALL BE PARGED BOTH INSIDE AND OUTSIDE.
 - BASE AND RISER SECTIONS SHALL BE INTEGRALLY CAST.
 - INSIDE DIMENSIONS SHALL REMAIN CONSTANT FROM TOP TO BOTTOM AND SHALL MATCH THE FRAME OPENING OF THE GRATE.
 - THE BASINS SHALL CONFORM TO ASTM C-478 SPECIFICATIONS AND SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
 - ALL BASINS WITH A TOTAL DEPTH OF GREATER THAN 8'-0" SHALL HAVE A MIN. WALL THICKNESS OF 8".
 - LADDER RUNGS TO BE PROVIDED FOR CATCH BASINS IN EXCESS OF 4'-0" TOTAL DEPTH (TOP TO BOTTOM OF SUMP).
 - PLANTER UNDERDRAINS DRAINS TO CONNECT TO STORM SEWER SYSTEM WHENEVER POSSIBLE.
 - SHOP DRAWINGS TO REFLECT KNOCKOUTS OR OPENING SIZES INDICATIVE OF OUTSIDE PIPE DIAMETER FOR VARIOUS PIPE SIZES AND LOCATIONS WHERE PIPE(S) DO NOT MEET BASIN AT RIGHT ANGLES.

7 PRE CAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE

- ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CAN NOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
- SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND EARTHWORK.
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS, GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:

KENTUCKY BLUEGRASS	40%
CREeping RED FESCUE	40%
RYE GRASS	20%
- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD No. 1.
- SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.
- SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
- CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR DIVERT SURFACE WATER ONTO ADJOINING PROPERTIES.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
- EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
- THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOWNSIDE CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
- AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE ADDED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY-OUT THE INTENT OF THIS PLAN.



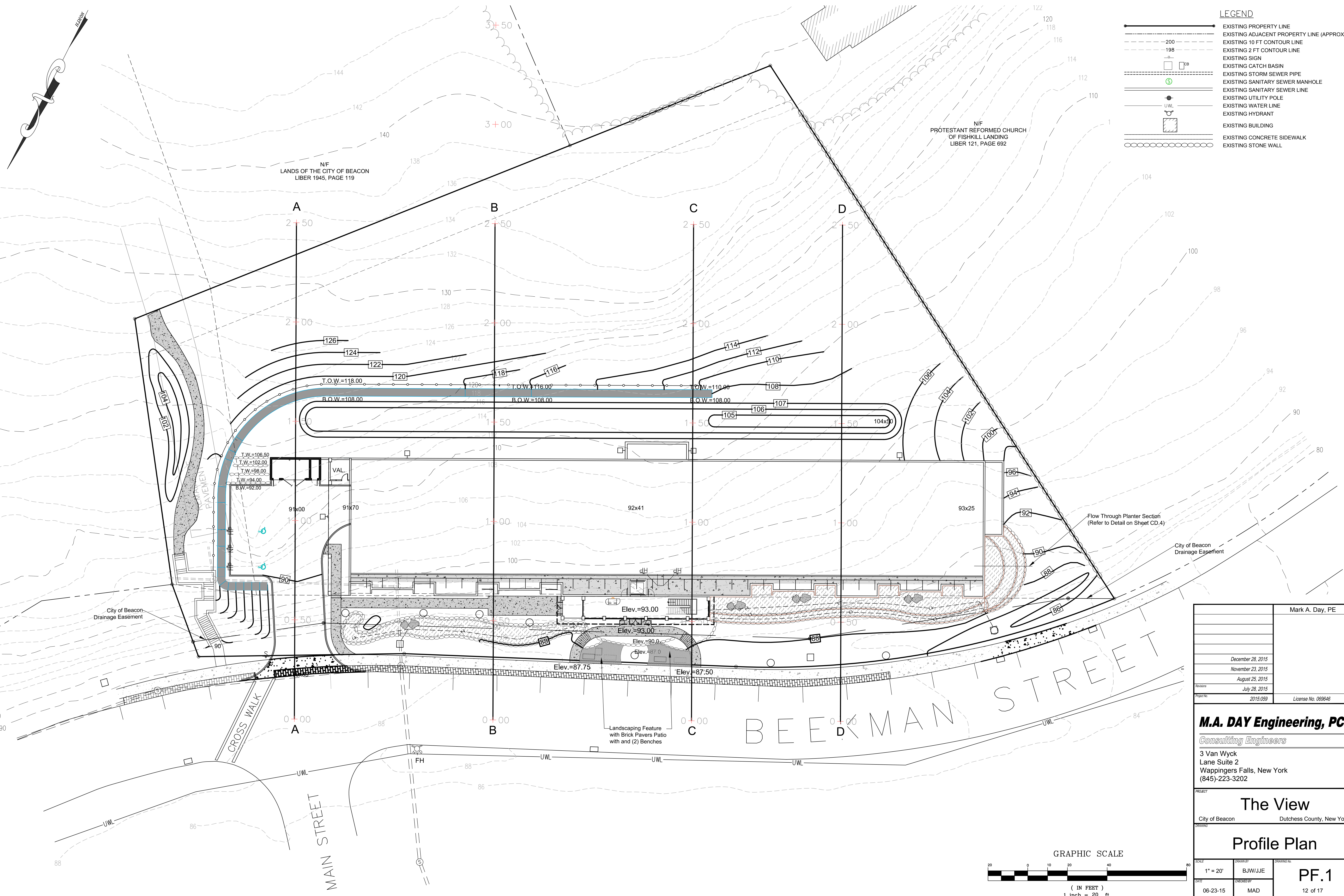
9 SEEDING & MULCHING NOTES
NOT TO SCALE

10 DRY SWALE OVERFLOW MANHOLE
NOT TO SCALE

Mark A. Day, PE	
January 22, 2016	
December 28, 2015	
November 23, 2015	
August 25, 2015	
July 28, 2015	
2015/059	License No. 069646

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Consulting Engineers
3 Van Wyck Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

PROJECT		The View	
City of Beacon		Dutchess County, New York	
DRAWING			
Stormwater Details			
SCALE	DRAWN BY	DESIGNED BY	
As Noted	DJD		
DATE	CHECKED BY		
06-23-15	MAD		
			SW.1
			11 of 17



LEGEND

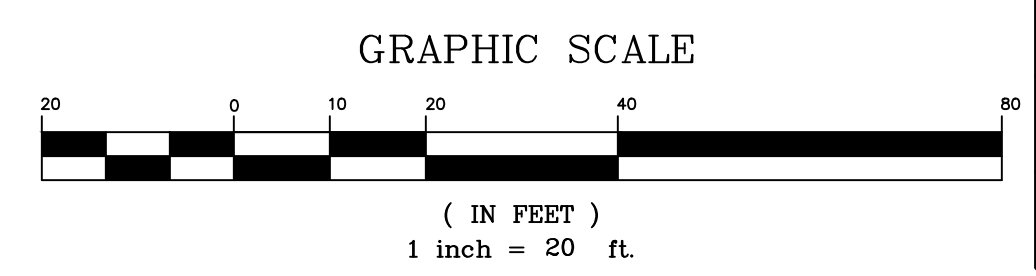
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	EXISTING ADJACENT PROPERTY LINE (APPROX.)
	EXISTING 10 FT CONTOUR LINE
	EXISTING 2 FT CONTOUR LINE
	EXISTING SIGN
	EXISTING CATCH BASIN
	EXISTING STORM SEWER PIPE
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	EXISTING UTILITY POLE
	EXISTING WATER LINE
	EXISTING HYDRANT
	EXISTING BUILDING
	EXISTING CONCRETE SIDEWALK
	EXISTING STONE WALL

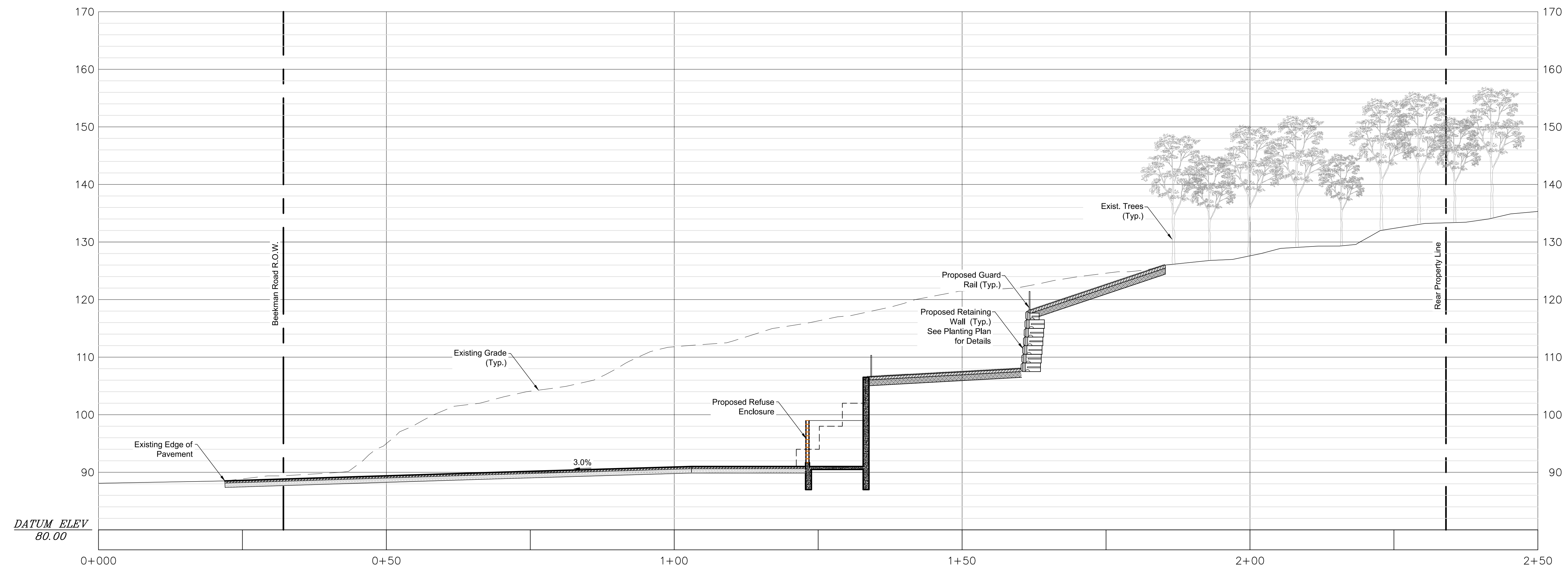
Mark A. Day, PE
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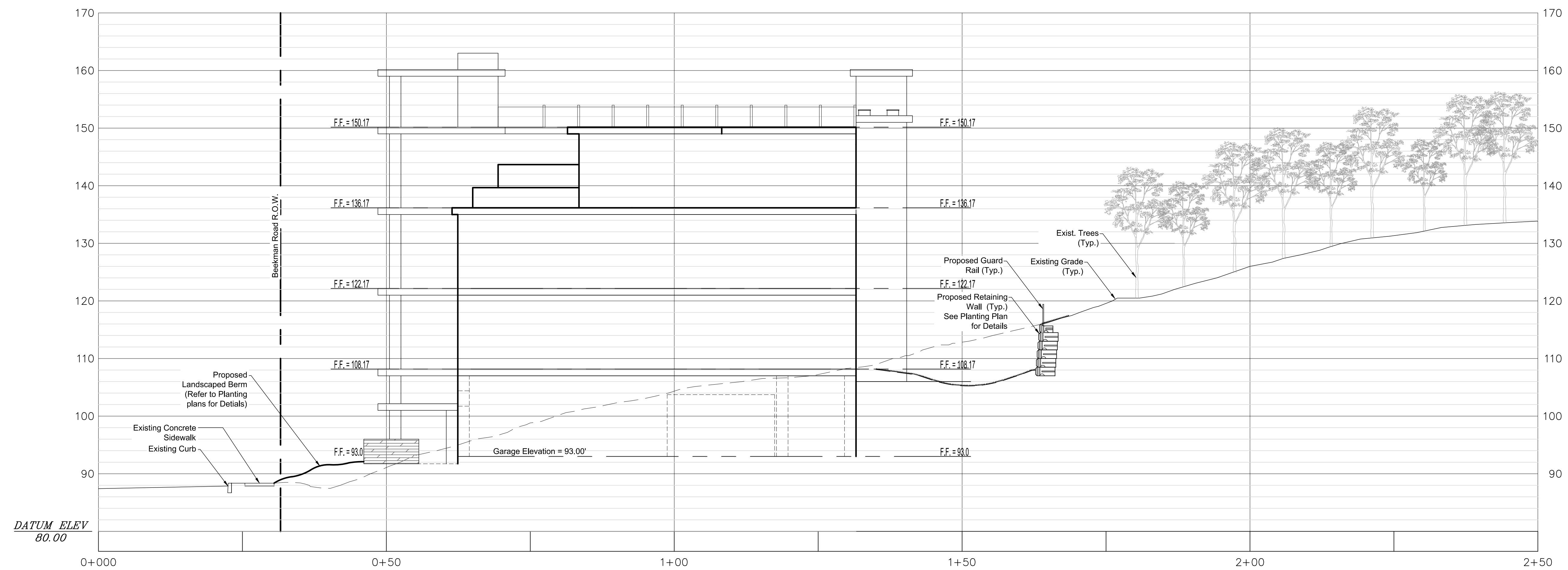
The View
 City of Beacon Dutchess County, New York

Profile Plan		
SCALE	DRAWN BY	DRAWING NO.
1" = 20'	BJW/JJE	PF.1
DATE	CHECKED BY	
06-23-15	MAD	12 of 17





1 SECTION "A-A"
Scale: 1" = 10'



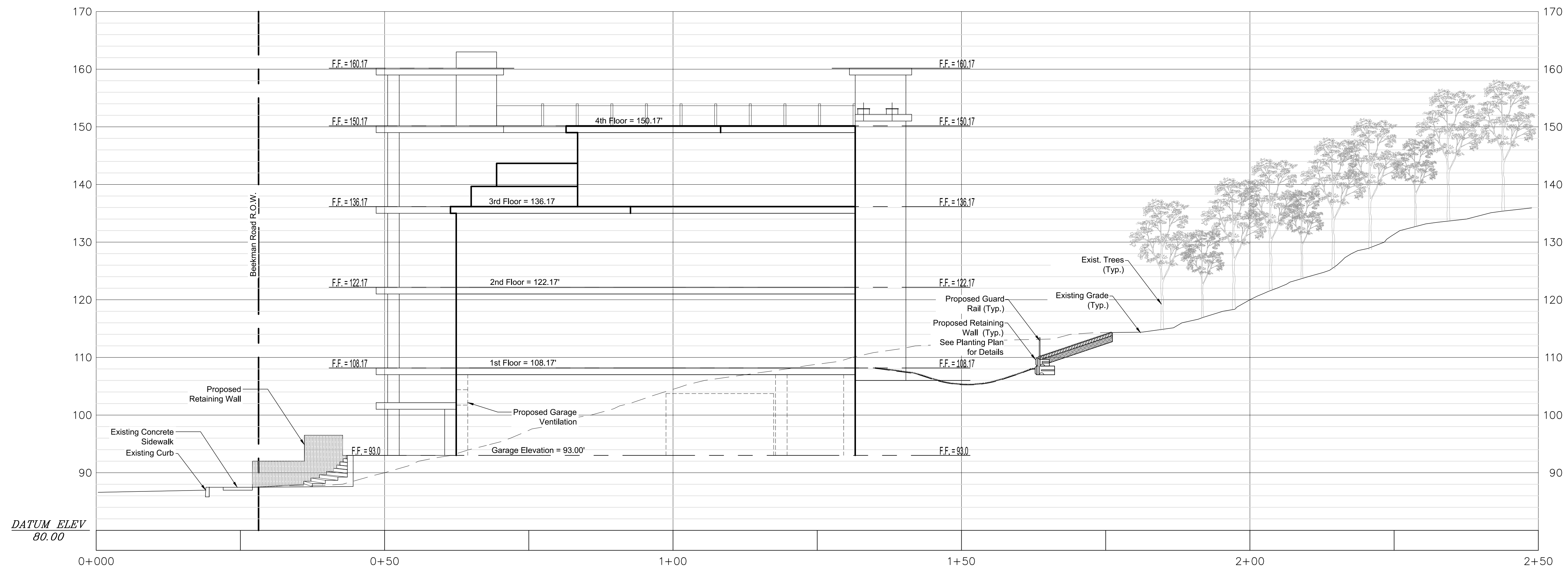
2 SECTION "B-B"
Scale: 1" = 10'

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December 28, 2015	
November 23, 2015	
August 25, 2015	
July 28, 2015	
Project No.	2015-059
License No.	069646

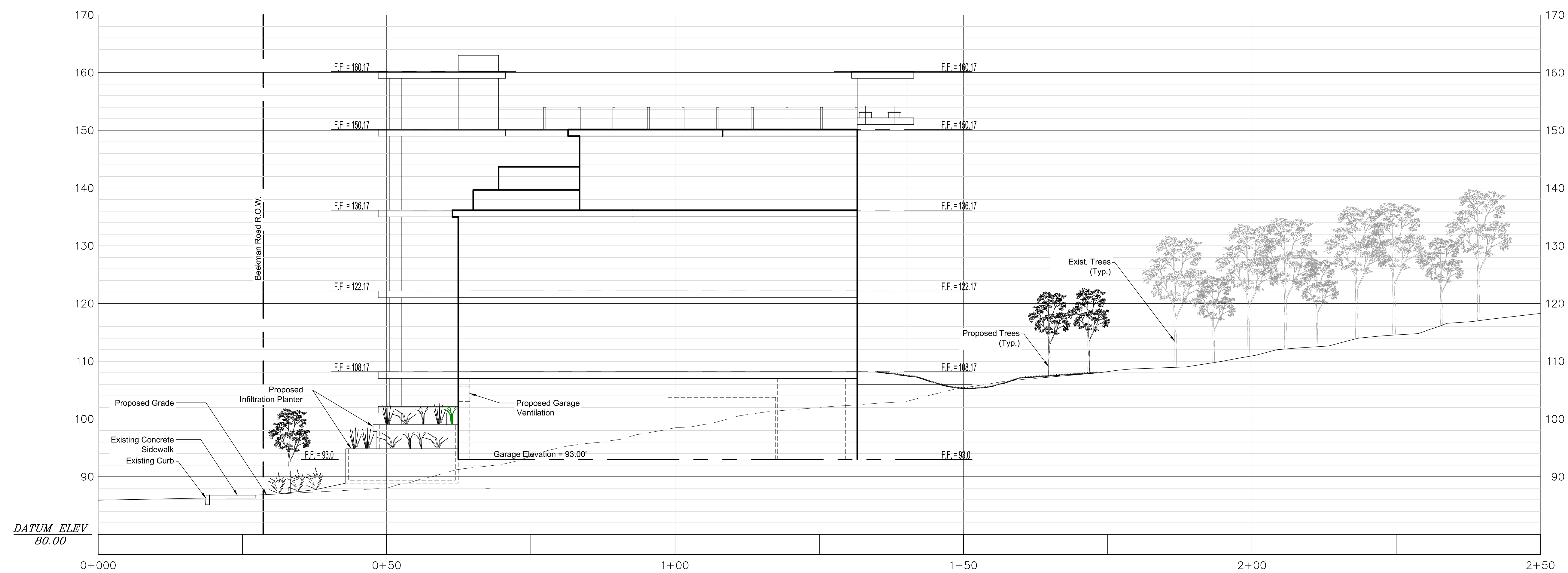
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The View
 City of Beacon Dutchess County, New York

Profile Plan		
SCALE	DRAWN BY	DRAWING NO.
1" = 10'	BJW/JJE	PF.2
DATE	CHECKED BY	
06-23-15	MAD	13 of 17



1 SECTION "C-C"
Scale: 1" = 10'



2 SECTION "D-D"
Scale: 1" = 10'


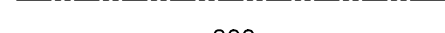
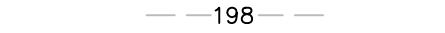

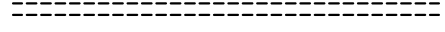
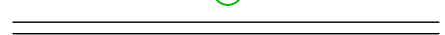

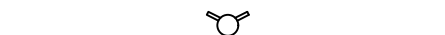







	Mark A. Day, PE
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	License No. 069646

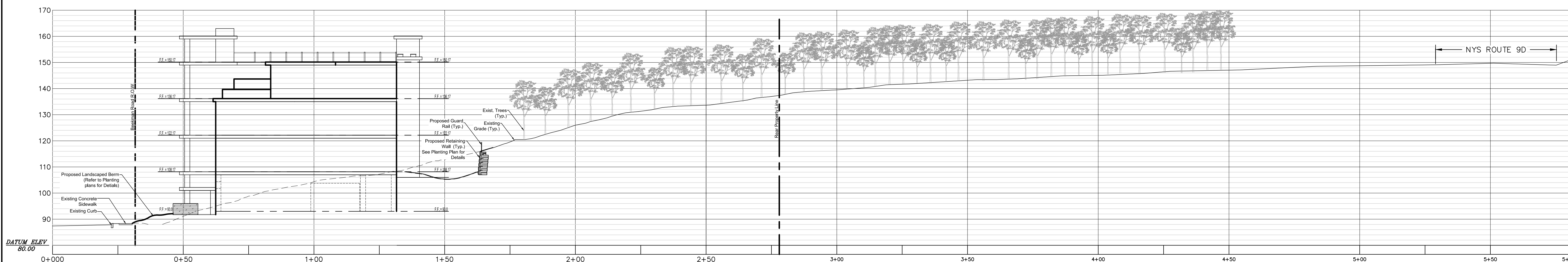
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PROJECT
The View
 City of Beacon Dutchess County, New York

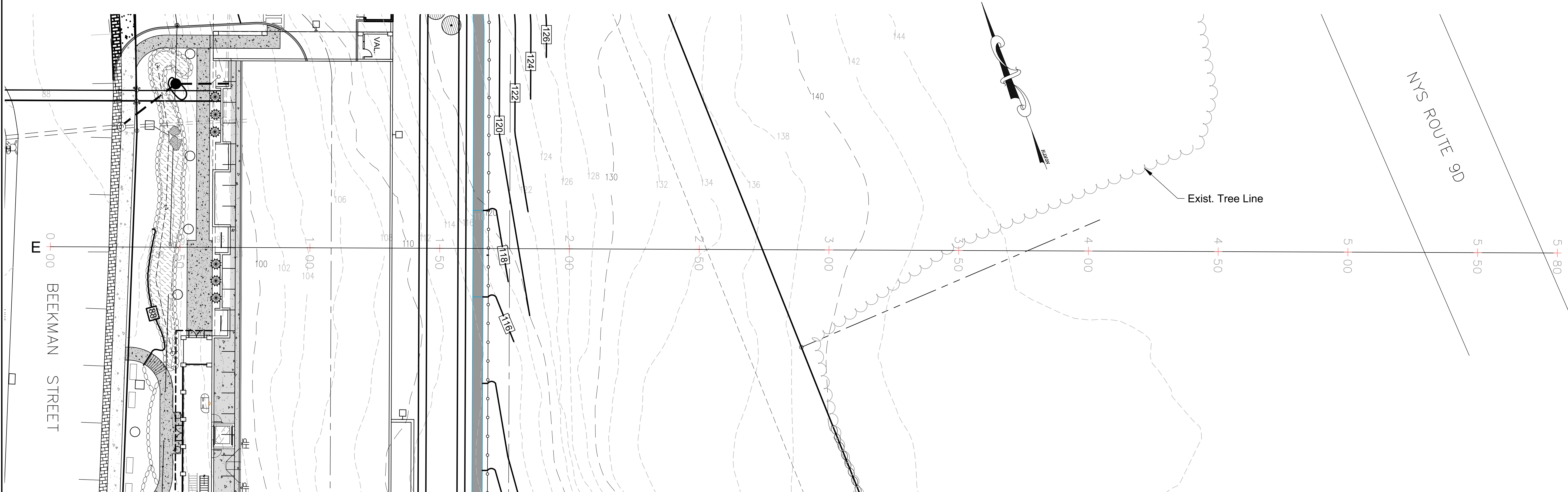
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SCALE 1" = 20'	DRAWN BY BJW/JJE	DRAWING NO. PF.3
DATE 06-23-15	CHECKED BY MAD	
		14 of 17

LEGEND

-  EXISTING PROPERTY LINE
-  EXISTING ADJACENT PROPERTY LINE (APPROX.)
-  EXISTING 10 FT CONTOUR LINE
-  EXISTING 2 FT CONTOUR LINE
-  EXISTING SIGN
-  EXISTING CATCH BASIN
-  EXISTING STORM SEWER PIPE
-  EXISTING SANITARY SEWER MANHOLE
-  EXISTING SANITARY SEWER LINE
-  EXISTING UTILITY POLE
-  EXISTING WATER LINE
-  EXISTING HYDRANT
-  EXISTING BUILDING
-  EXISTING CONCRETE SIDEWALK
-  EXISTING STONE WALL



1 SECTION "E-E"
Scale: 1" = 20'



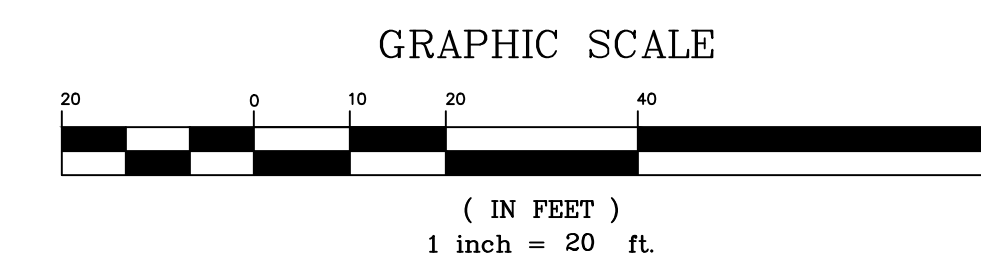
2 PLAN VIEW
Scale: 1" = 20'

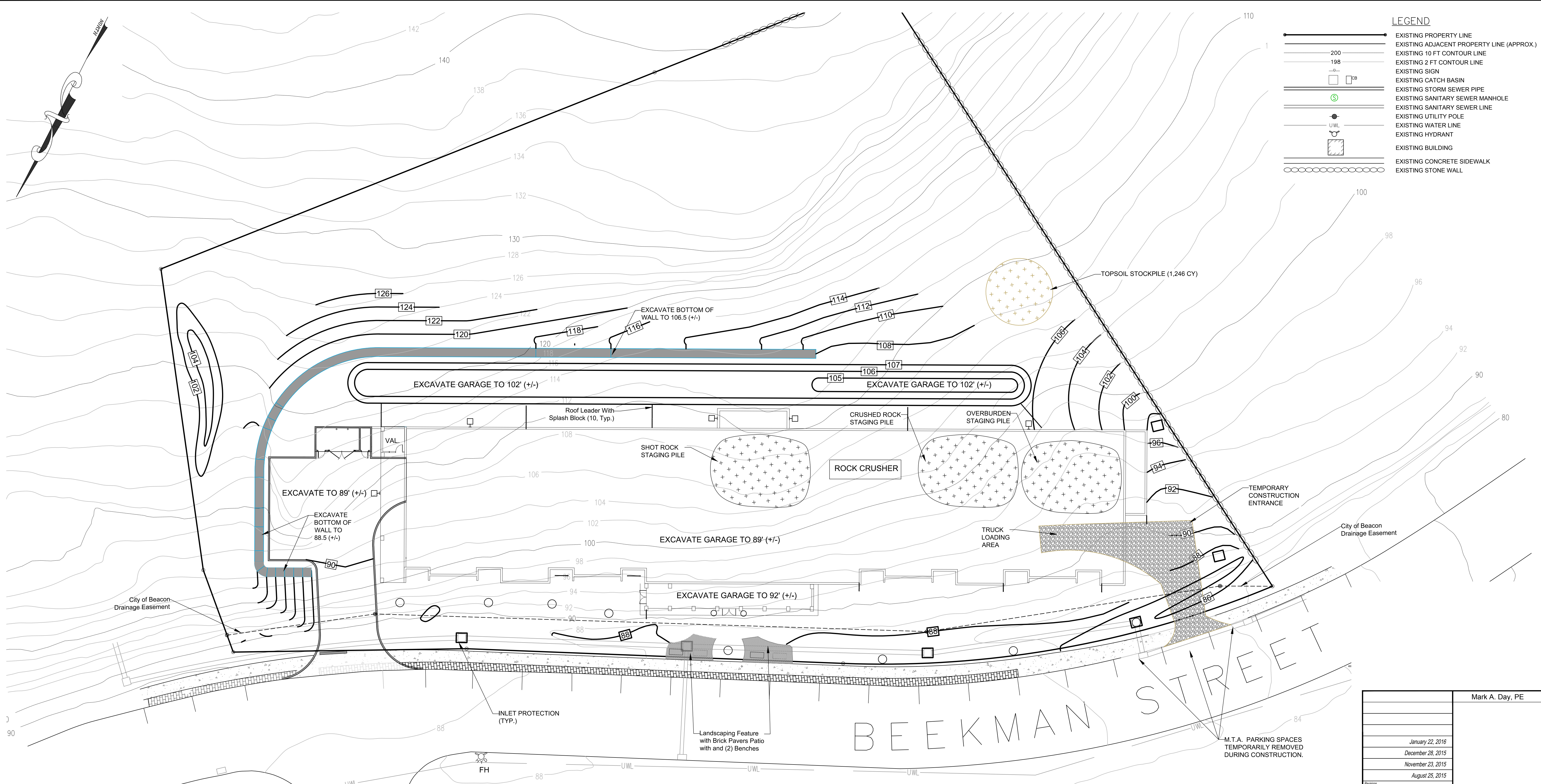
Mark A. Day, PE	
December 28, 2015	
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July 28, 2015	
Project No.	2015-059
License No.	069646

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PROJECT
The View
 City of Beacon Dutchess County, New York

DRAWING Plan & Profile		
SCALE 1" = 20'	DRAWN BY BJW/JJE	DRAWING NO. PF.4
DATE 06-23-15	CHECKED BY MAD	15 of 17





LEGEND

	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE (APPROX.)
	EXISTING 10 FT CONTOUR LINE
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	EXISTING SIGN
	EXISTING CATCH BASIN
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	EXISTING UTILITY POLE
	EXISTING WATER LINE
	EXISTING HYDRANT
	EXISTING BUILDING
	EXISTING CONCRETE SIDEWALK
	EXISTING STONE WALL

CONSTRUCTION PHASING

1. A BLASTING PLAN SHALL BE PREPARED BY A BLASTING COMPANY CERTIFIED TO OPERATE IN THE STATE OF NEW YORK. ALL FEDERAL, STATE AND LOCAL REGULATIONS SHALL BE FOLLOWED. THE BLASTING PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF ANY WORK ON THE SITE.
2. ALL EXCAVATION WORK HOURS SHALL BE BETWEEN 7AM & 4PM ON WEEKDAYS ONLY. THERE SHALL BE NO EXCAVATION OR CRUSHING OPERATIONS ON LEGAL HOLIDAYS.
3. INSTALL TEMPORARY CONSTRUCTION ENTRANCE ON WEST END OF SITE.
4. INSTALL ALL EROSION CONTROL MEASURES PRIOR TO CLEARING AND GRUBBING THE SITE. REFER TO SHEET 6 OF THIS PLAN SET.
5. THE LIMITS OF THE SITE WORK AND GRADE STAKES SHALL BE INSTALLED BY THE SURVEYOR.
6. ALL CLEARING AND GRUBBING SHALL BE COMPLETED.
7. THE TOPSOIL STOCKPILE AREA SHALL BE PREPPED.
8. STRIP & STOCKPILE THE TOPSOIL (1,246 CY BASED ON 6" DEPTH).
9. STABILIZE THE TOPSOIL STOCKPILE
10. OVERBURDEN SHALL BE REMOVED FROM THE WEST END OF THE SITE TOWARDS THE EAST END OF THE SITE. (4,550 CY BASED ON BORINGS). APPROXIMATELY 3,500 CY OF OVERBURDEN WILL BE EXPORTED OFF-SITE.
11. SOME OF THE OVERBURDEN WILL REMAIN IN PLACED AND USED FOR BACKFILL MATERIAL BEHIND THE BUILDING.

CONSTRUCTION PHASING - CONT'D:

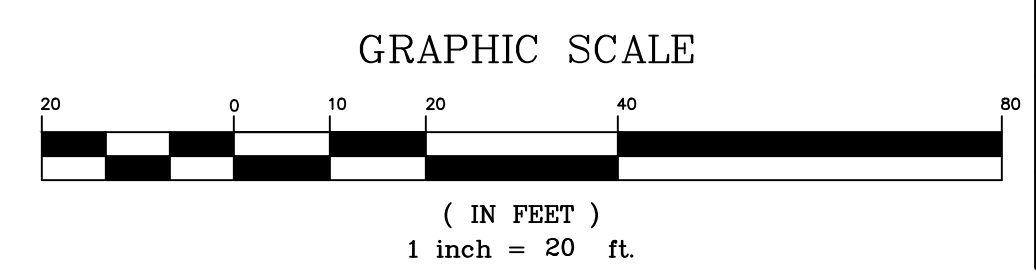
12. ONCE THE OVERBURDEN IS REMOVED, BLASTING OF APPROXIMATELY 11,655 CY OF MATERIAL SHALL BEGIN.
13. THE CONTRACTOR SHALL UTILIZE A PRIMARY ROCK CRUSHER, AS NECESSARY, TO CRUSH THE SHOT ROCK. THE CRUSHED MATERIAL SHALL BE STOCKPILED AND REMOVED TO AN OFFSITE LOCATION APPROXIMATELY 3 MILES SOUTH ON ROUTE 9D IN THE TOWN OF FISHKILL. SOME OF THE MATERIAL SHALL REMAIN ON SITE AND BE USED FOR BEDDING AND SUBBASE MATERIAL. APPROXIMATELY 9,500 CY SHALL BE EXPORTED TO AN OFF-SITE LOCATION.
14. SHOT ROCK SHALL BE PLACED IN A TEMPORARY STOCKPILE UNTIL IT IS LOADED INTO THE CRUSHER.
15. CRUSHED ROCK SHALL BE STORED IN A SEPARATE PILE UNTIL SUCH TIME THAT IT IS HAULED OFF-SITE.
16. IT IS ESTIMATED THAT THE WITH A 20% FLUFF FACTOR, THE REMOVAL OF THE ROCK AND OVERBURDEN (3,500 + 9,500 CY) OFF THE SITE SHALL REQUIRE APPROXIMATELY 780 TRUCK TRIPS. WITH 6 TRUCKS AND AN ESTIMATED CYCLE TIME OF 1 HOUR, EACH TRUCK SHALL HAUL 8 LOADS PER DAY. AT 8 LOADS PER DAY PER TRUCK, THE ENTIRE EXPORT OPERATION SHALL TAKE APPROXIMATELY 17 DAYS.
17. ONCE SOUTH END OF THE SITE HAS BEEN PREPPED, THE RETAINING WALL ON THE EAST & SOUTH SIDE OF THE SITE SHALL BE CONSTRUCTED.

CONSTRUCTION PHASING - CONT'D:

18. THE RETAINING WALL SHALL BE BACKFILLED AND THE UPPER SLOPE SHALL BE GRADED, SEEDED AND MULCHED.
19. THE FOUNDATION WALLS FOR THE BUILDING SHALL BE FORMED AND PLACED.
20. THE DECK SHALL BE PLACED AND THE FOUNDATION BACKFILLED.
21. THE AREA AROUND THE FOUNDATION SHALL BE BACKFILLED, SEEDED AND MULCHED AND STABILIZED.
22. THE WEST END OF THE SITE SHALL CONTINUE TO BE USED AS A CONSTRUCTION ENTRANCE AND STAGING AREA WHILE THE BUILDING IS BUILT.
23. PAVEMENT OF THE ENTRANCE ROAD AND PARKING AREA SHALL BE COMPLETED.
24. THE UTILITY WORK SHALL BE COMPLETED.
25. THE SITE SHALL BE STABILIZED AND THE LANDSCAPING AND THE LAWNS SHALL BE INSTALLED ONCE THE BUILDING HAS BEEN COMPLETED.

BLASTING NOTES:

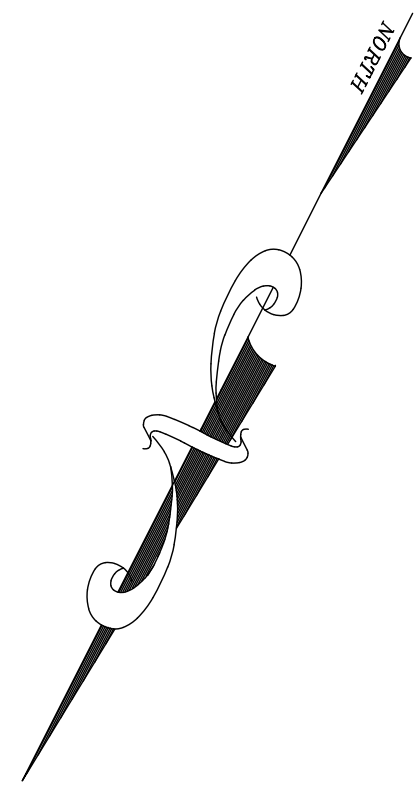
1. THE CONTRACTOR SHALL SUBMIT A BLASTING PLAN IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN CHAPTER 11 OF THE CITY OF BEACON CODE.
2. ALL REQUIREMENTS OF CHAPTER 11 SHALL BE THE RESPONSIBILITY OF THE BLASTING CONTRACTOR.



Mark A. Day, PE	
January 22, 2016	
December 28, 2015	
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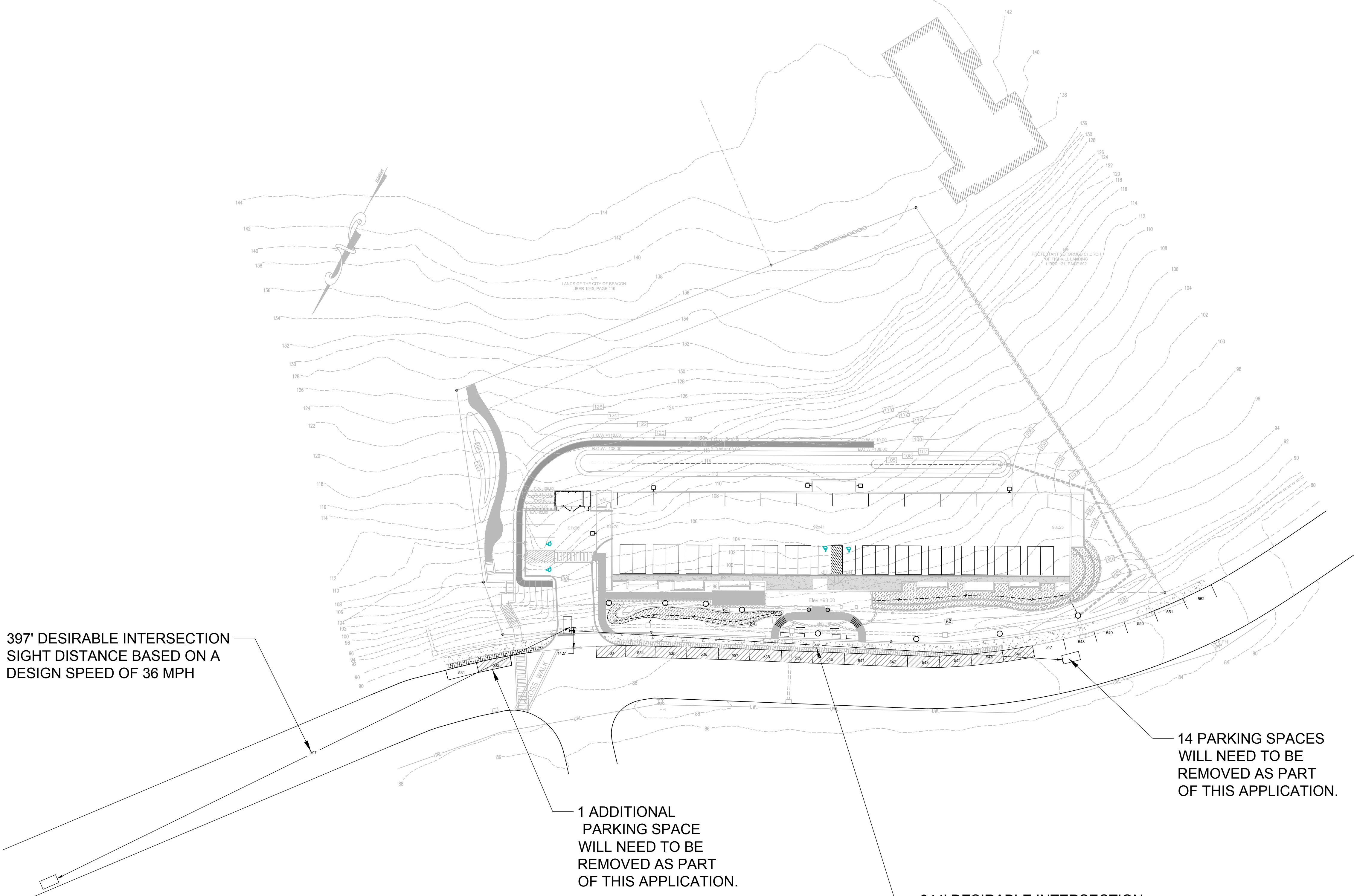
M.A. DAY Engineering, PC
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 3 Van Wyck Lane Suite 2
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The View		
City of Beacon		Dutchess County, New York
Construction Phasing Plan		
SCALE 1" = 20'	DRAWN BY DJD	CP.1 16 of 17
DATE 06-23-15	CHECKED BY MAD	



LEGEND

	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE (APPROX.)
	EXISTING 10 FT CONTOUR LINE
	EXISTING 2 FT CONTOUR LINE
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	EXISTING CATCH BASIN
	EXISTING STORM SEWER PIPE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER LINE
	EXISTING UTILITY POLE
	EXISTING WATER LINE
	EXISTING HYDRANT
	EXISTING BUILDING
	EXISTING CONCRETE SIDEWALK
	EXISTING STONE WALL



397' DESIRABLE INTERSECTION
SIGHT DISTANCE BASED ON A
DESIGN SPEED OF 36 MPH

14 PARKING SPACES
WILL NEED TO BE
REMOVED AS PART
OF THIS APPLICATION.

1 ADDITIONAL
PARKING SPACE
WILL NEED TO BE
REMOVED AS PART
OF THIS APPLICATION.

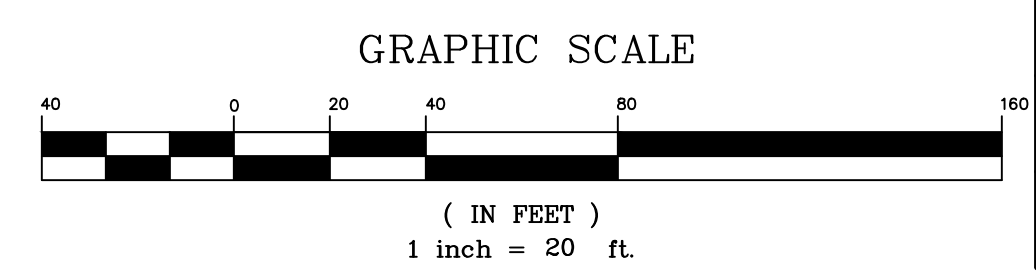
344' DESIRABLE INTERSECTION
SIGHT DISTANCE BASED ON A
DESIGN SPEED OF 36 MPH

	Mark A. Day, PE
January 22, 2016	
December 28, 2015	
November 23, 2015	
August 25, 2015	
July 28, 2015	
Project No. 2015-059	License No. 069646

M.A. DAY Engineering, PC
Consulting Engineers
3 Van Wyck
Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

The View
City of Beacon Dutchess County, New York

Sight Distance		SD.1 17 of 17
SCALE 1" = 40'	DRAWN BY DJD	
DATE 06-23-15	CHECKED BY MAD	



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal
John Queenan, P.E., Principal
Rodney C. Knowlton, L.S., Principal

John Lenc, P.E., L.S.
Arthur R. Tully, P.E.

May 3, 2016

Mr. Jay Sheers, Chairman
Beacon Planning Board
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: The View – 26 Beekman Street
City of Beacon
Tax Map No. 5954-26-660924

Dear Mr. Sheers:

As nothing new was submitted since the last planning board meeting, our office has no further comments except those as previously listed in our April 7, 2016 correspondence.

Further comments may be forth coming based upon future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.


John Russo, P.E.

Cc: David Stolman, AICP, PP
Nick Ward-Willis, Esq.
Tim Dexter, Building Inspector

City of Beacon Planning Board
5/10/2016

Title:

Public Hearings - Spring Valley Street

Subject:

Public hearing for SEQR review of application for Subdivision Approval, and public hearing for Subdivision Approval, 2-lot residential, 135-137 Spring Valley Street, submitted by John Milano

Background:

ATTACHMENTS:

Description	Type
Engineer Cover Letter	Cover Memo/Letter
Subdivision Page 1	Plans
Subdivision Page 2	Plans
Engineer Review Letter	Consultant Comment
Planner Review Letter	Consultant Comment



*Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com*

April 26, 2016

Mr. Jay Sheers, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: 135-137 Spring Valley Street Subdivision
Tax ID 6054-37-070632 (± 0.65 acre)
City of Beacon, New York

Dear Chairman Sheers:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the subdivision set in response to Lanc & Tully's April 7, 2016 comment letter, and F.P. Clark's April 8, 2016 comment memorandum. Below is a point-by-point response to the comments received.

Lanc & Tully April 7, 2016 Comment Letter

1. The lot width on proposed Lot 1 has been corrected in the "Lot Conformance Table".
2. No records have been found regarding any existing sewer easements through the property; therefore, a 20' utility easement to the City is provided on the plans.
3. The pipe material is 24" CIP. The manhole covers on this line are bolted shut and were inoperable. Therefore inverts weren't able to be obtained. However, the Beacon Sewer Superintendent would prefer that the sewer be tied into the existing 8" line in within Spring Valley Street as opposed to the 24" CIP main at the creek. The plans have been revised to show the proposed sewer lateral tying into the existing 8" sewer within Spring Valley Street.
4. The invert of the proposed sewer connection in Spring Valley Street is now shown on the plans. A check valve is no longer required as this portion of the City Sewer Main is not subject to overflow, and has no other service connections to it prior to this proposed connection.
5. The FFE's for the existing dwelling are shown on the plans.
6. The existing water main has been labeled on the plans as 6" CIP.
7. Additional grading has been added to the northern rear corner of the proposed dwelling on Lot 2.
8. The note has been revised to reflect 4" diameter pipes.
9. The tapping detail has been revised to show a tapping saddle model BR1B by Mueller or approved equal.

10. The detail is for the roof leader and footing drain trenches. Accordingly, the title has been revised to "Roof Leader and Footing Drain Trench Detail" on Sheet 2 of the plan set.

F.P. Clark April 8, 2016 Comment Memorandum

1. The lot width has been corrected within the "Lot Conformance Table" on Sheet 1.
2. The date has been corrected on the plans.
3. The SSD dimensions are shown on the plans.

Please find enclosed the following materials for the Planning Board's consideration at your next available regularly scheduled meeting:

- Revised Subdivision Plan Set – 2 Sheets (5 copies);
- Copy of the above materials on CD; and

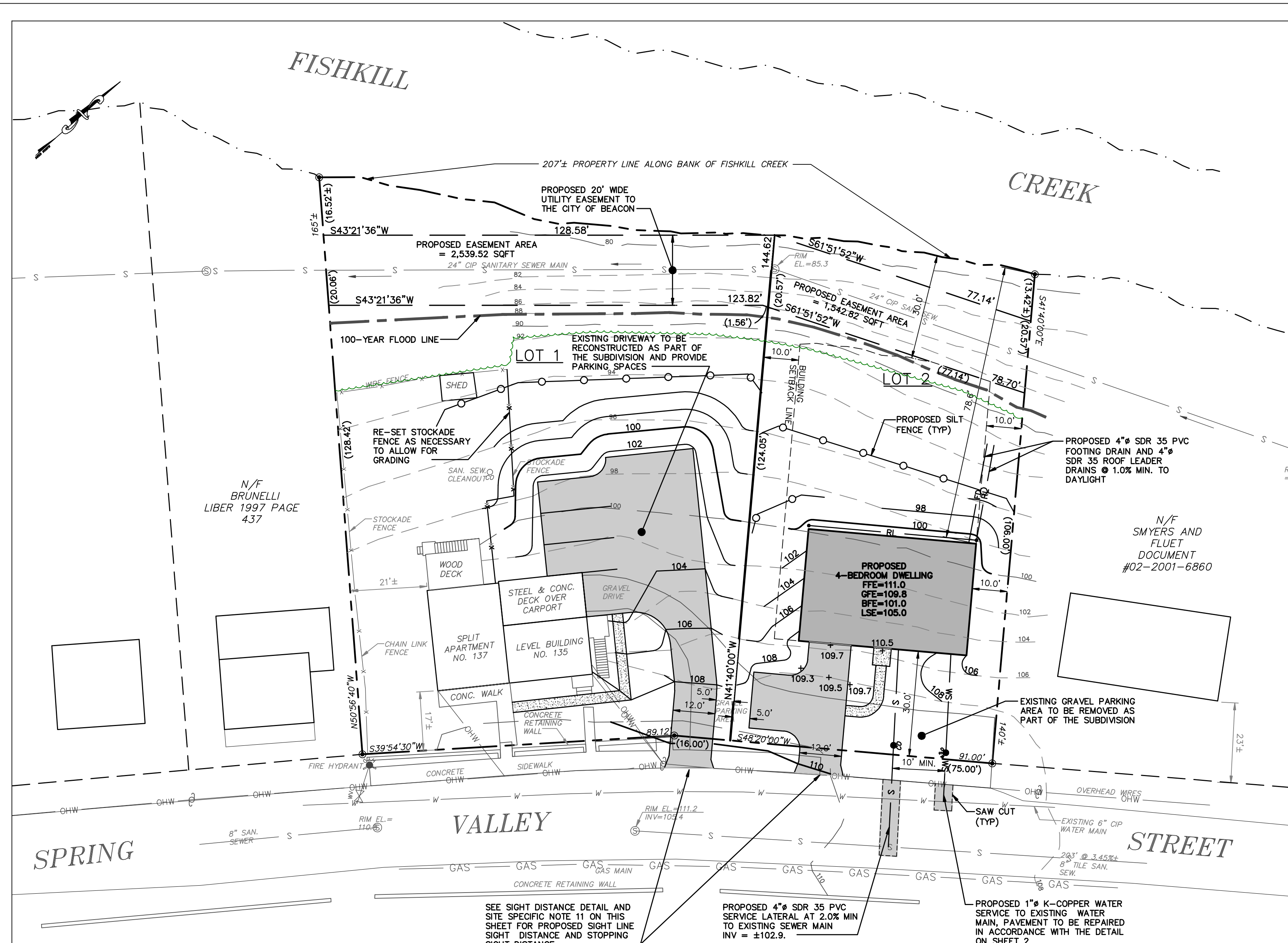
We look forward to discussing the design details of the project with you and your Board members. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Michael A. Bodendorf, P.E.
Principal

cc: John Milano
Jon D Bodendorf, P.E. (HLD File)



LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING ADJOINER LINE
- EXISTING 100-YEAR FLOOD LINE
- 240 --- EXISTING MAJOR CONTOUR
- 238 --- EXISTING MINOR CONTOUR
- 100 --- EXISTING UTILITY POLE
- 99.7 --- PROPOSED MAJOR CONTOUR
- 99.5 --- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED SILT FENCE
- S --- EXISTING SEWER MAIN
- S --- PROPOSED SEWER SERVICE LINE
- W --- EXISTING WATER MAIN
- WS --- PROPOSED WATER SERVICE LINE (1" K COPPER)
- PROPOSED WATER SHUT-OFF VALVE
- PROPOSED SEWER CLEAN OUT
- RL --- PROPOSED ROOF LEADER
- FD --- PROPOSED FOOTING DRAIN

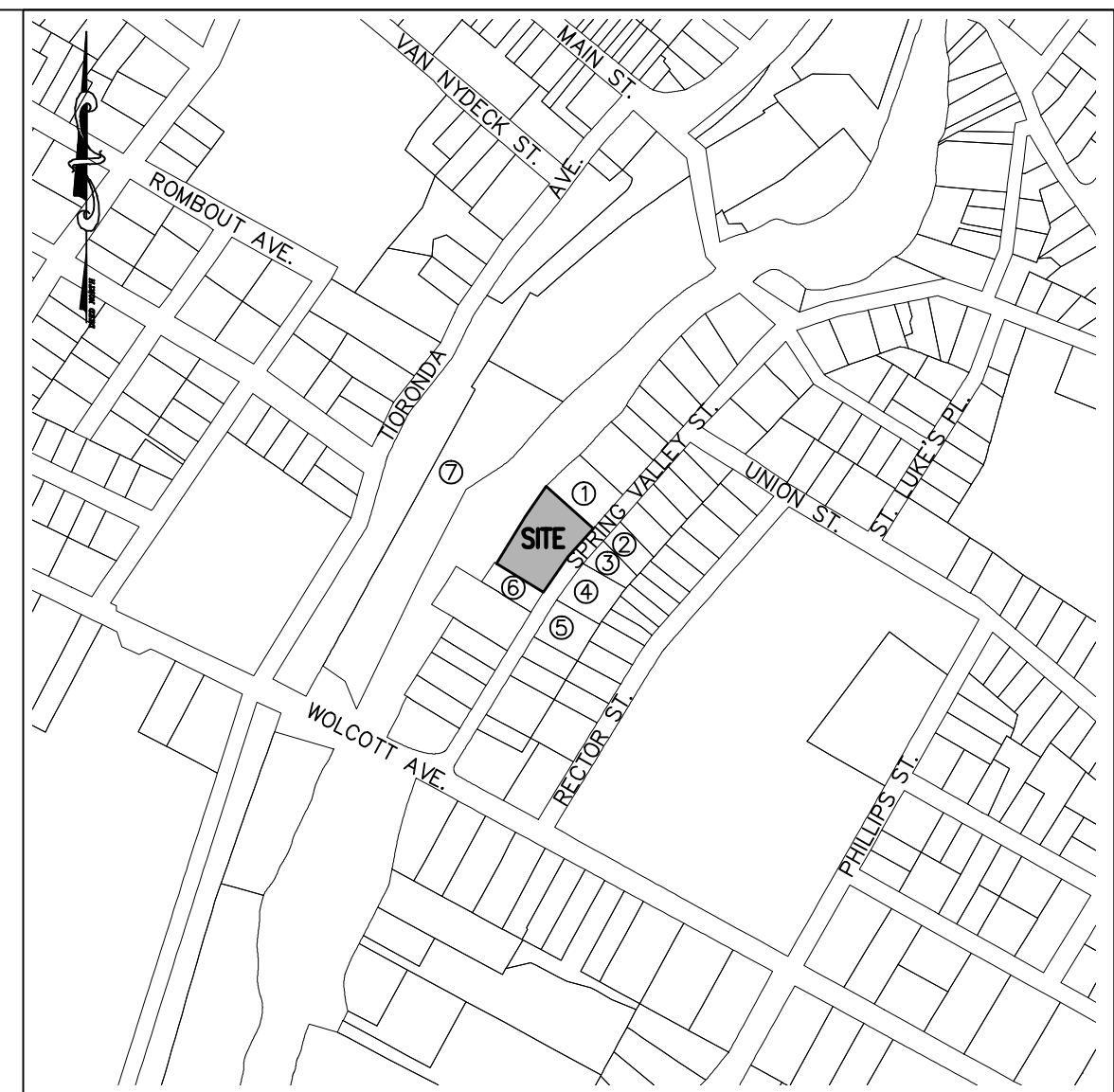
PROJECT INFORMATION:

PARCEL OWNER: JOHN MILANO, 29 LYDIA DRIVE, BEACON, NY 12508
 ENGINEER OF RECORD: HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON, NY 12508
 SURVEYOR OF RECORD: GARY R. LOTOUR, L.S., 273 EAST MAIN STREET, BEACON, NY 12508
 PROJECT LOCATION: 135-137 SPRING VALLEY STREET, BEACON, NY 12508
 TAX PARCEL ID: 6054-37-070632
 PARCEL AREA: ±0.65-ACRE TOTAL (28,000 SQFT)
 ZONING DISTRICT: R1-7.5 SINGLE-FAMILY RESIDENCE DISTRICT
 TOTAL PROPOSED LOTS: TWO (ONE EXISTING LOT)
 POTABLE WATER SUPPLY: CITY OF BEACON WATER
 SEWAGE DISPOSAL: CITY OF BEACON SEWER

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	7,500 SQUARE FEET MIN	17,753 S.F.	10,747± S.F.
LOT WIDTH:	75 FEET MINIMUM	107.6± FEET	75 FEET
LOT DEPTH:	100 FEET MINIMUM	147.6± FEET	143.3± FEET
YARD SETBACKS (RESIDENTIAL USE):			
FRONT YARD:	30 FEET MINIMUM	17± FEET	30.0 FEET
SIDE YARD:	10 FEET MINIMUM	21± FEET	10.0 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	58± FEET	27.0 FEET
REAR YARD:	30 FEET MINIMUM	92.6± FEET	78.6 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	30.1 FEET	N/A
REAR YARD:	5 FEET MINIMUM	50.8 FEET	N/A
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12 FEET	>12 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	9 FEET	N/A

*PRE-EXISTING NON-CONFORMING



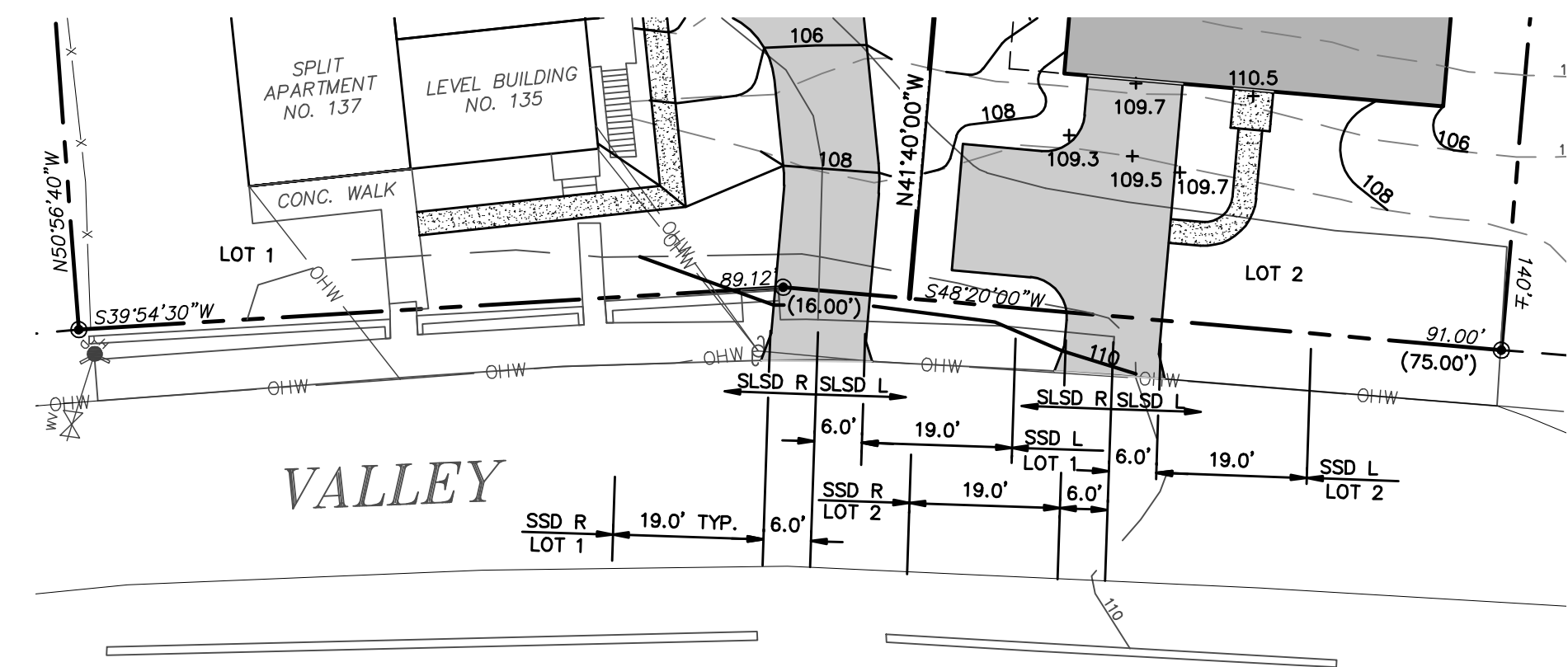
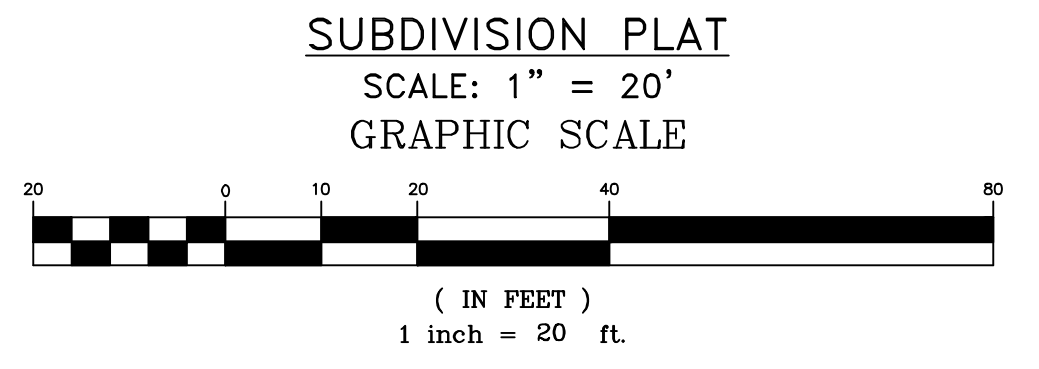
SITE LOCATION MAP SCALE: 1" = 400'

ADJOINING OWNERS:

PARCEL OWNER & MAILING ADDRESS

- ART & ANIK BUMS, 125 SPRING VALLEY ST., BEACON, NY 12508
- WENDY S. BROWN, 122 SPRING VALLEY ST., BEACON, NY 12508
- WILLIAM & DOREEN STEPHENS, 130 SPRING VALLEY ST., BEACON, NY 12508
- SILVIA DAVIS & GARY LOTOUR, 138 SPRING VALLEY ST., BEACON, NY 12508
- JANICE E. MACKAY, 144 SPRING VALLEY ST., BEACON, NY 12508
- ANNE M. BRUNELLI, 143 SPRING VALLEY ST., BEACON, NY 12508
- CITY OF BEACON, 1 MUNICIPAL PL., BEACON, NY 12508

- SITE SPECIFIC NOTES:**
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
 - THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
 - THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
 - THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
 - THE WATER SERVICE LINE SHALL BE 1" K-COPPER.
 - THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
 - PROPOSED 4" LSE IS BASED UPON PROPOSED BASEMENT FLOOR ELEVATION. CONTRACTOR MUST CONFIRM SLOPE OF SEWER MAIN AND MAKE NECESSARY ADJUSTMENTS TO TIE-IN ELEVATION IF NECESSARY.
 - A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER SERVICE FOR THE NEW LOT. STREET CLOSURE FOR WATER SERVICE CONNECTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY FOR THE NEW LOT SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
 - ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 1.0% MIN.
 - THE REQUIRED SIGHT DISTANCE SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE (SSD) OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT, AND 200 FEET IN BOTH DIRECTIONS FOR STOPPING SIGHT DISTANCE (SSD). THE MEASURED SSSD AND SSD FOR EACH LOT IS AS FOLLOWS:



SIGHT DISTANCE DETAIL
 SCALE: 1" = 20'

NOTE:
 1. SEE SITE SPECIFIC NOTE 11 FOR SIGHT DISTANCE MEASUREMENTS.

- SURVEYOR'S NOTES:**
- TOTAL AREA = 28,000± SQUARE FEET.
 - OWNER OF RECORD: JOHN MILANO, JR., 29 LYDIA DRIVE, BEACON, NY 12508
 - DEED REFERENCE: LIBER 1936, PAGE 653, DUTCHESS COUNTY CLERK DOCUMENT # 02-1993-7967.
 - VERTICAL DATUM: NAVD 1929.

MAP REFERENCES:

1. EXISTING FEATURES AS SHOWN ON THIS PLAN PROVIDED BY A SURVEY ENTITLED "LANDS OF JOHN MILANO", BY GARY R. LOTOUR PLS, LLC, DATED FEBRUARY 7, 2005.

SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON FEBRUARY 7, 2005.

OWNER'S CONSENT:
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

GARY R. LOTOUR, P.L.S.

SEAL

JOHN MILANO

DATE



DRAWN BY: MAB CHECKED BY: JDB JOB NO.: 2016-003

REVISIONS:

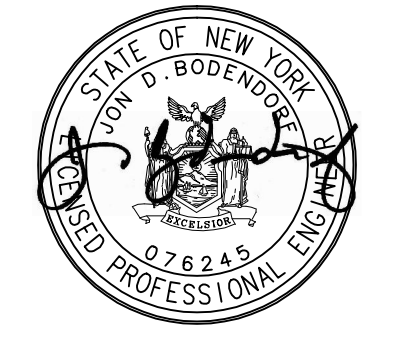
NO.	DATE	DESCRIPTION	BY
1	4/26/16	PER CONSULTANT'S COMMENTS	MAB

SUBDIVISION PLAT
MILANO SUBDIVISION

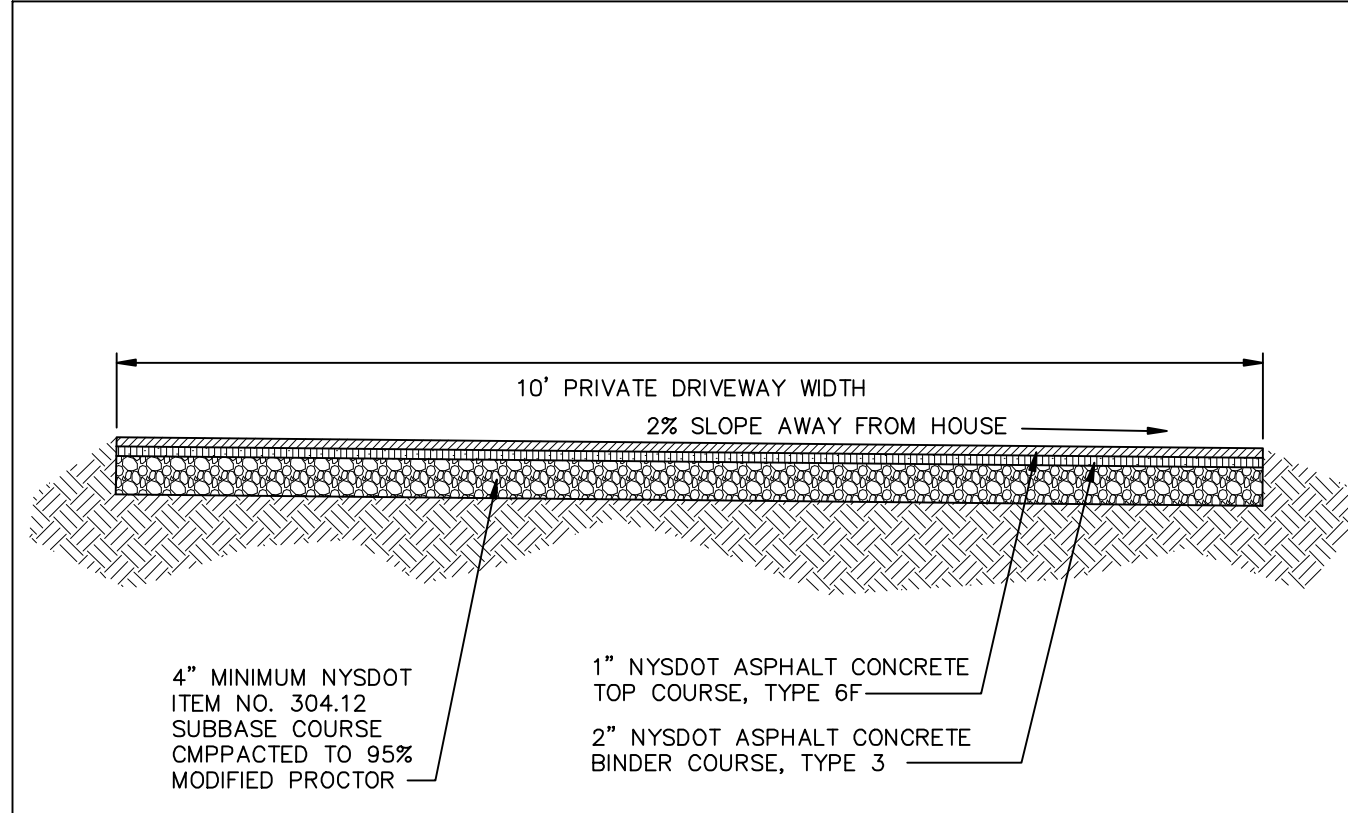
135-137 SPRING VALLEY STREET
 CITY OF BEACON
 DUTCHESS COUNTY, NEW YORK
 TAX ID: 6054-37-070632
 SCALE: 1" = 20'
 MARCH 29, 2016



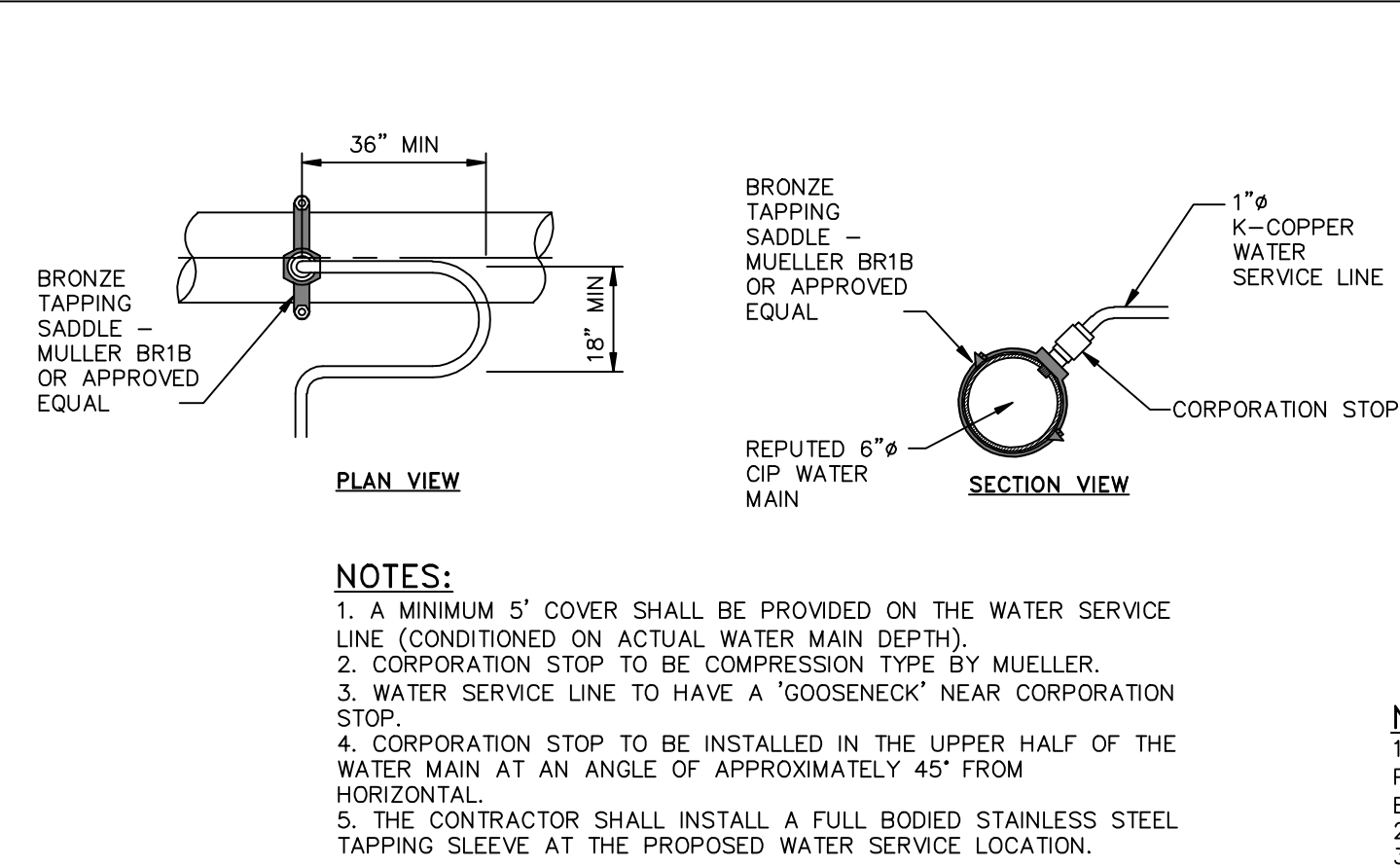
HUDSON LAND DESIGN
 PROFESSIONAL ENGINEERING P.C.
 174 MAIN STREET
 BEACON, NEW YORK 12508
 PH: 845-440-6926 F: 845-440-6637



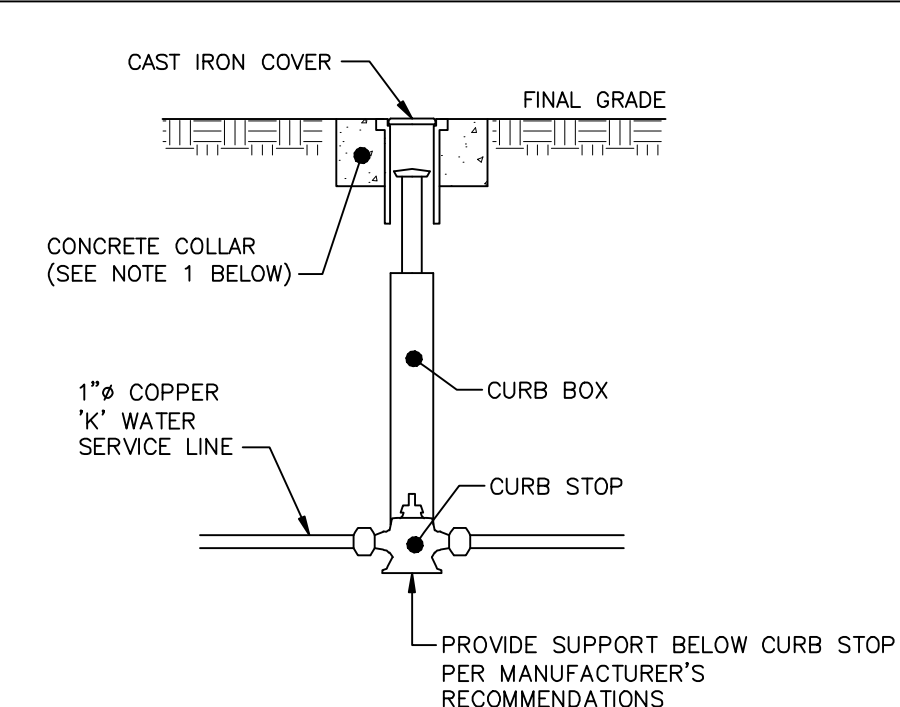
SEAL
 JON D. BODENDORF, P.E.
 NYS LICENSE NO. 078245
 DANIEL G. KOHLER, P.E.
 NYS LICENSE NO. 082716



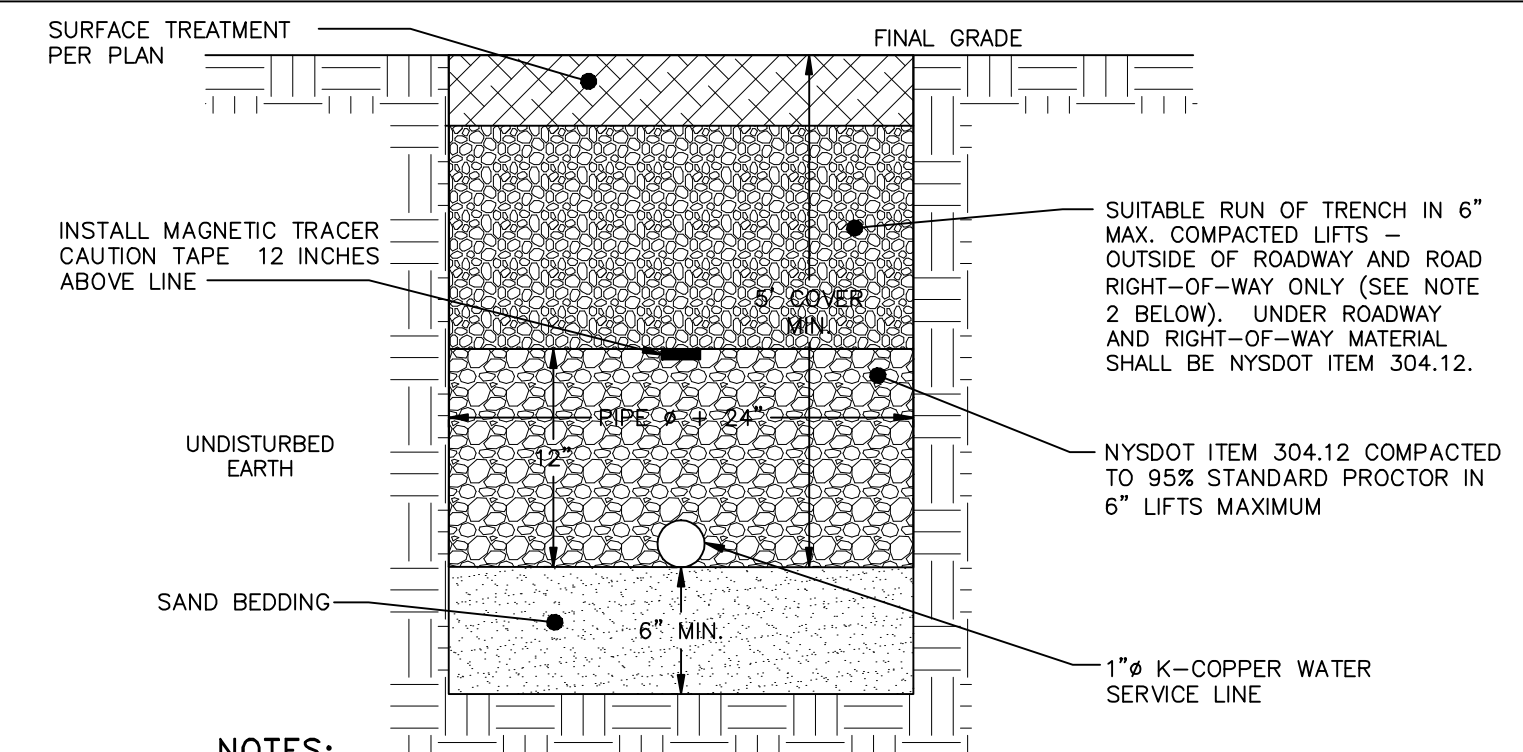
PAVED DRIVEWAY SECTION DETAIL
NOT TO SCALE



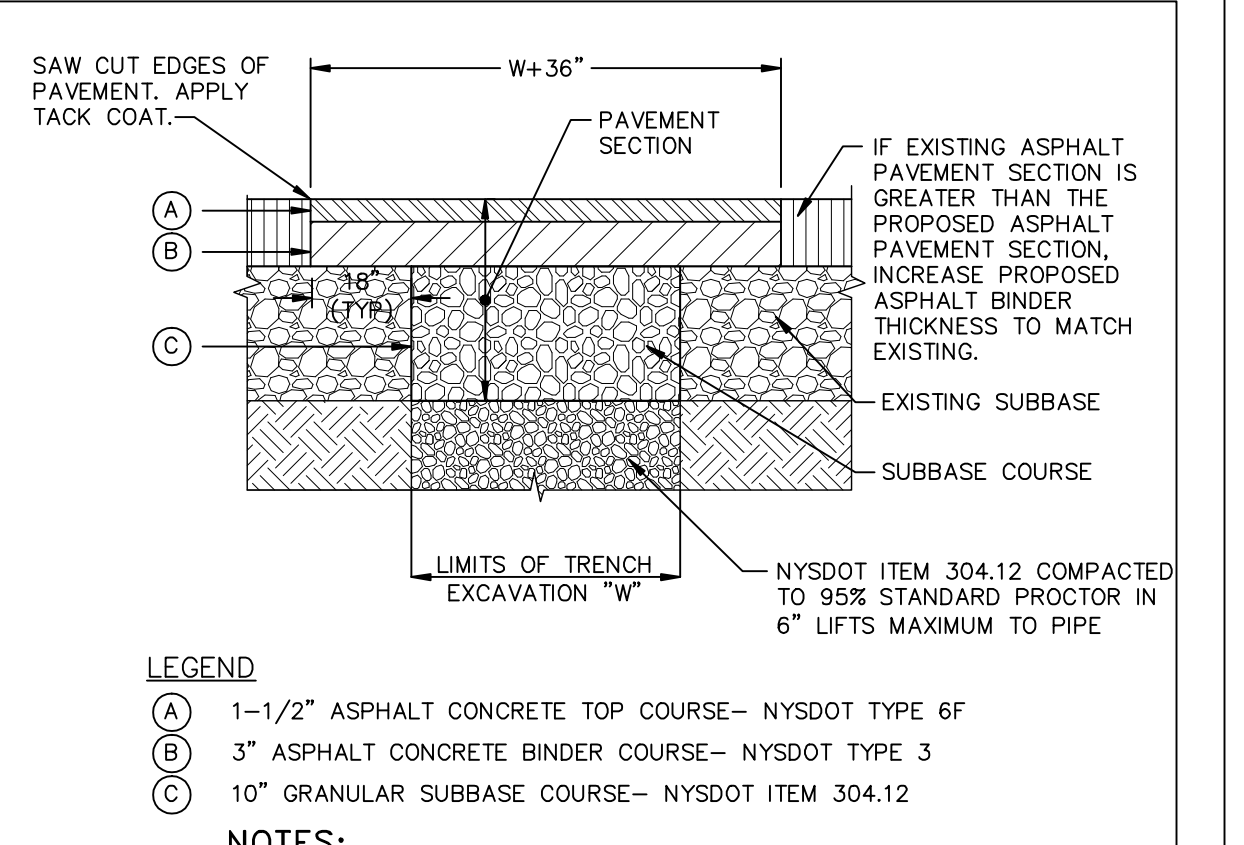
WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



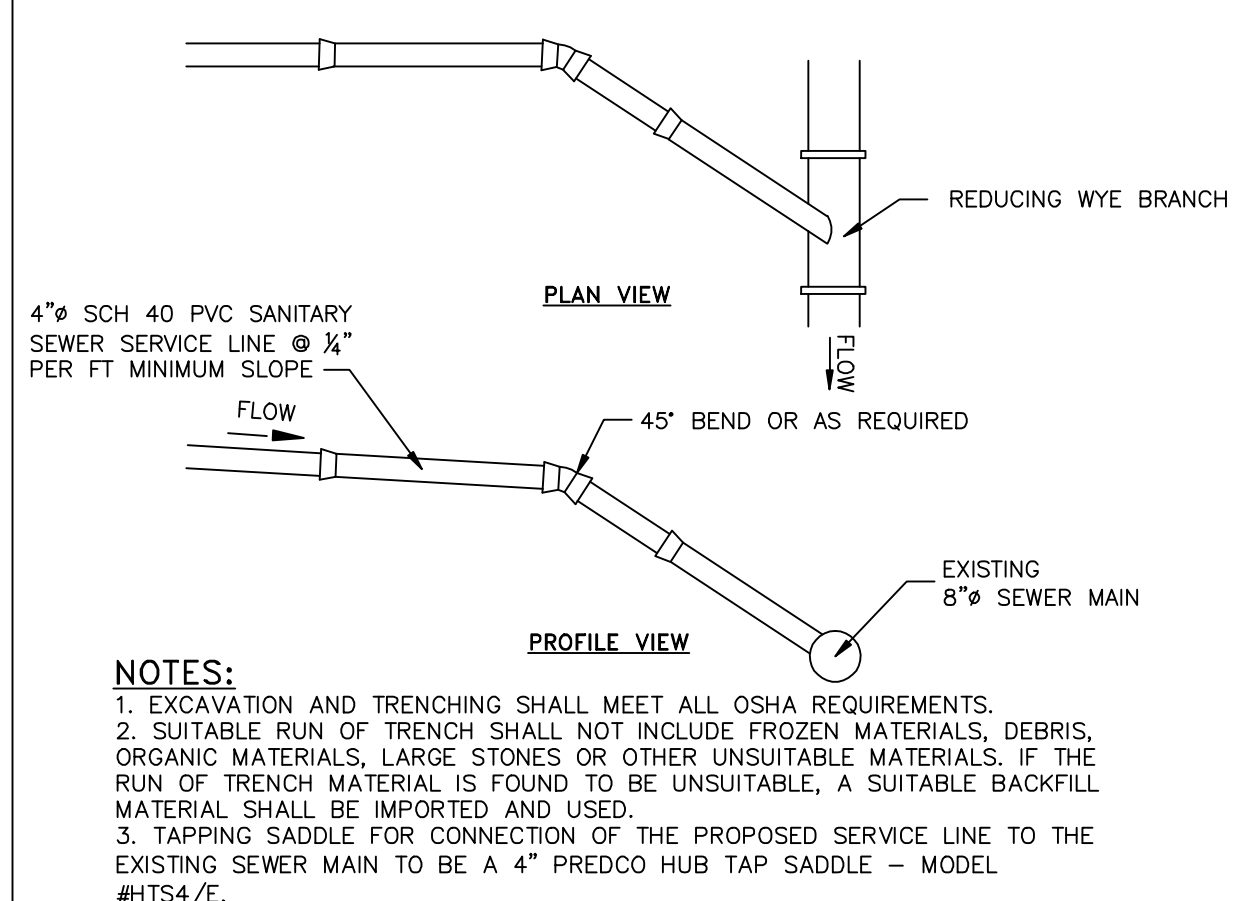
WATER SHUT-OFF VALVE DETAIL
NOT TO SCALE



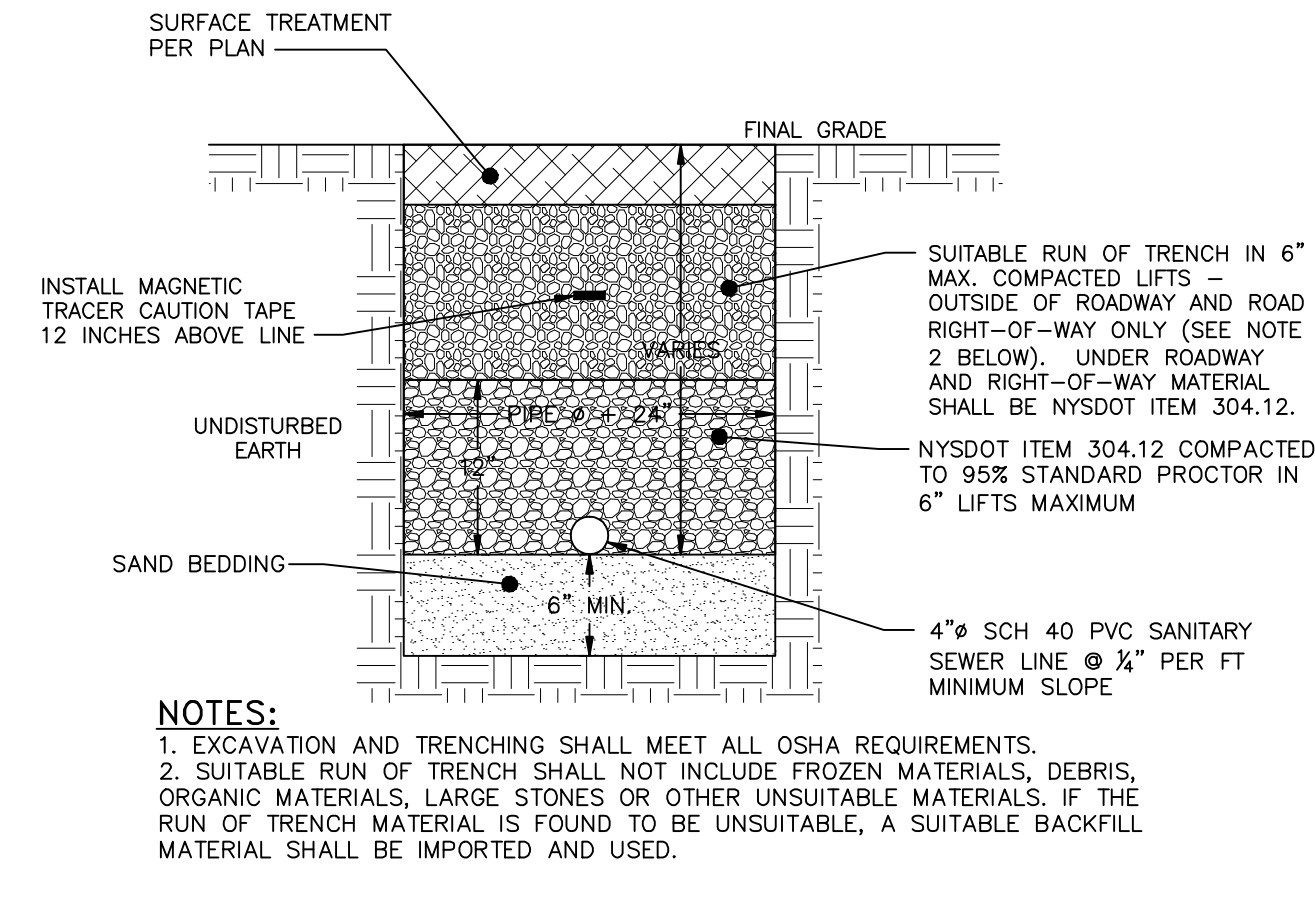
WATER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



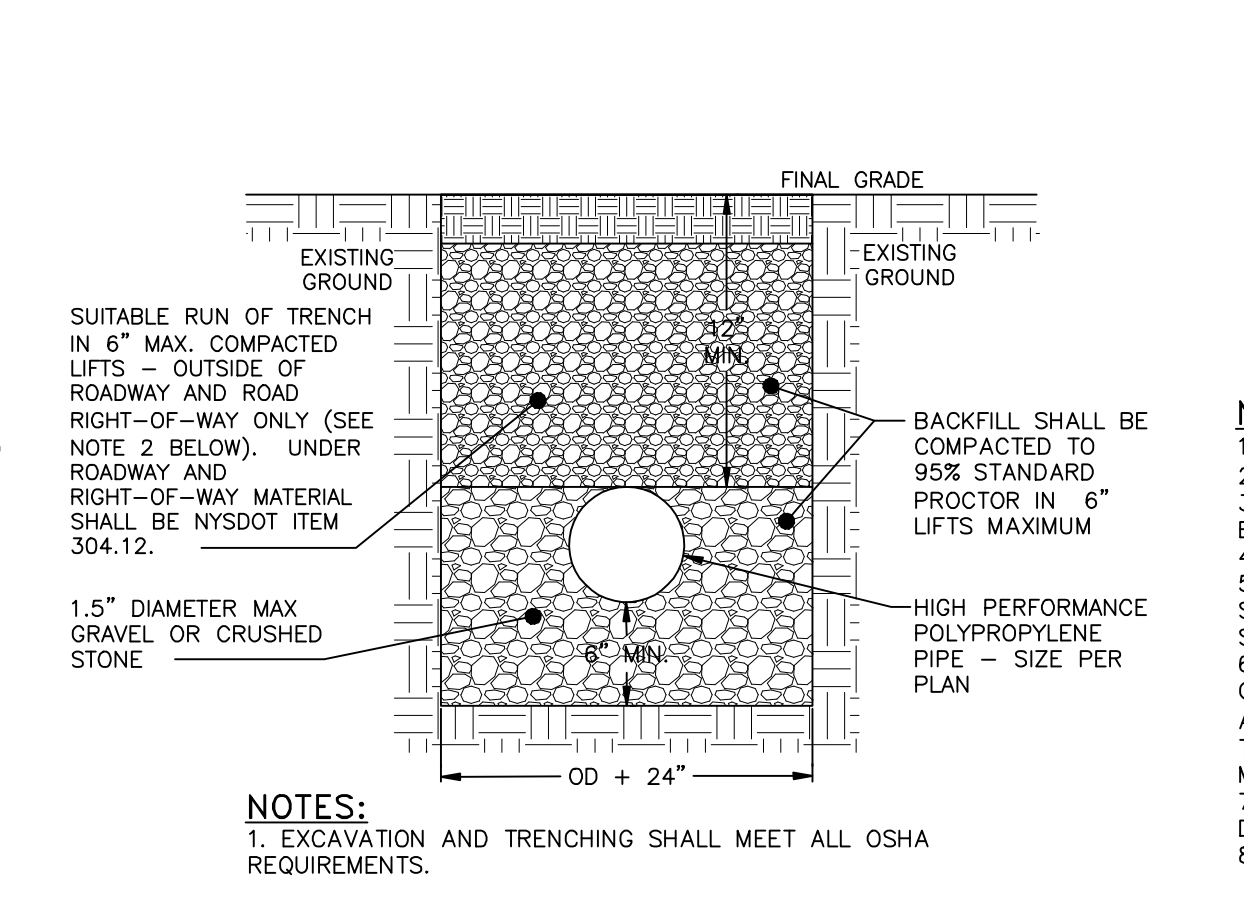
PAVEMENT RESTORATION DETAIL
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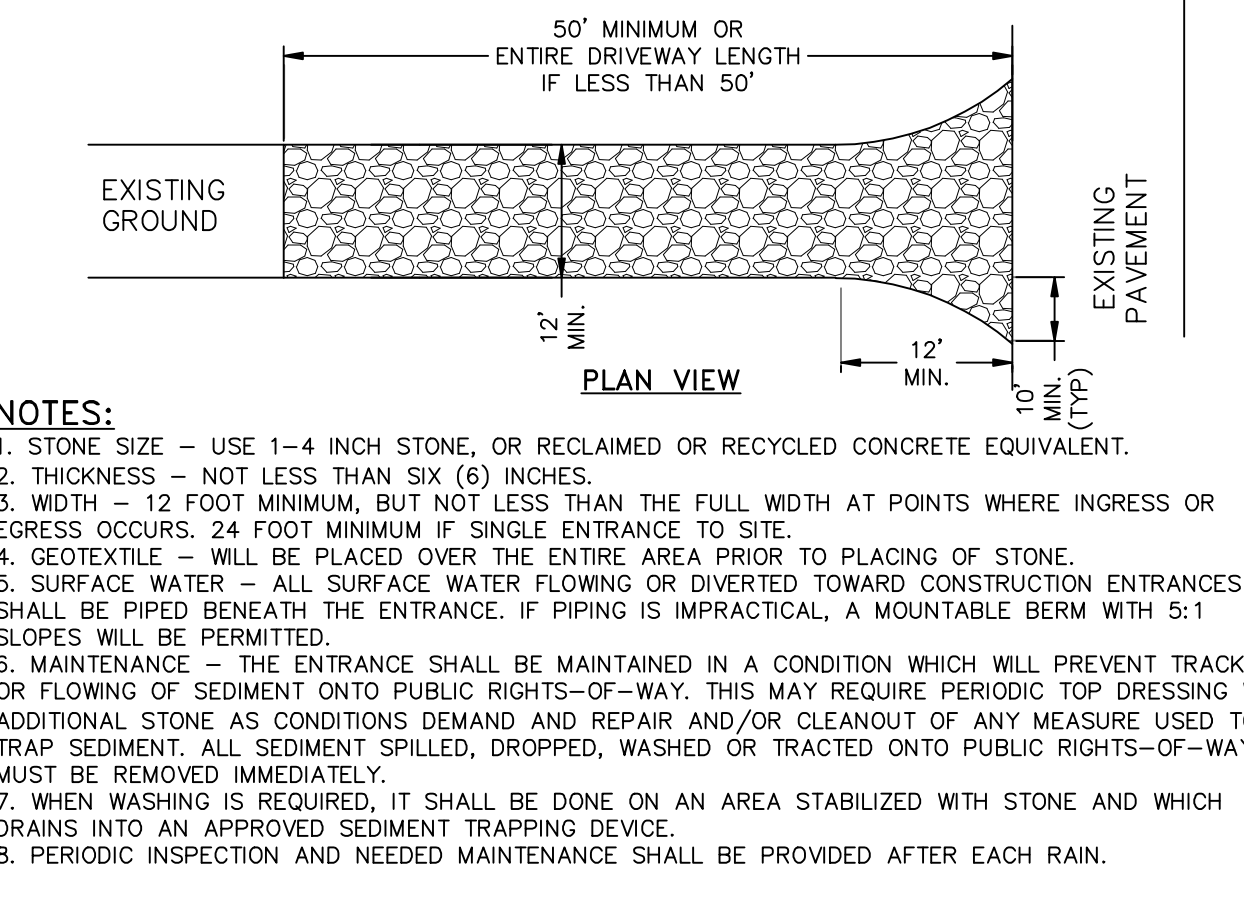
SANITARY SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE



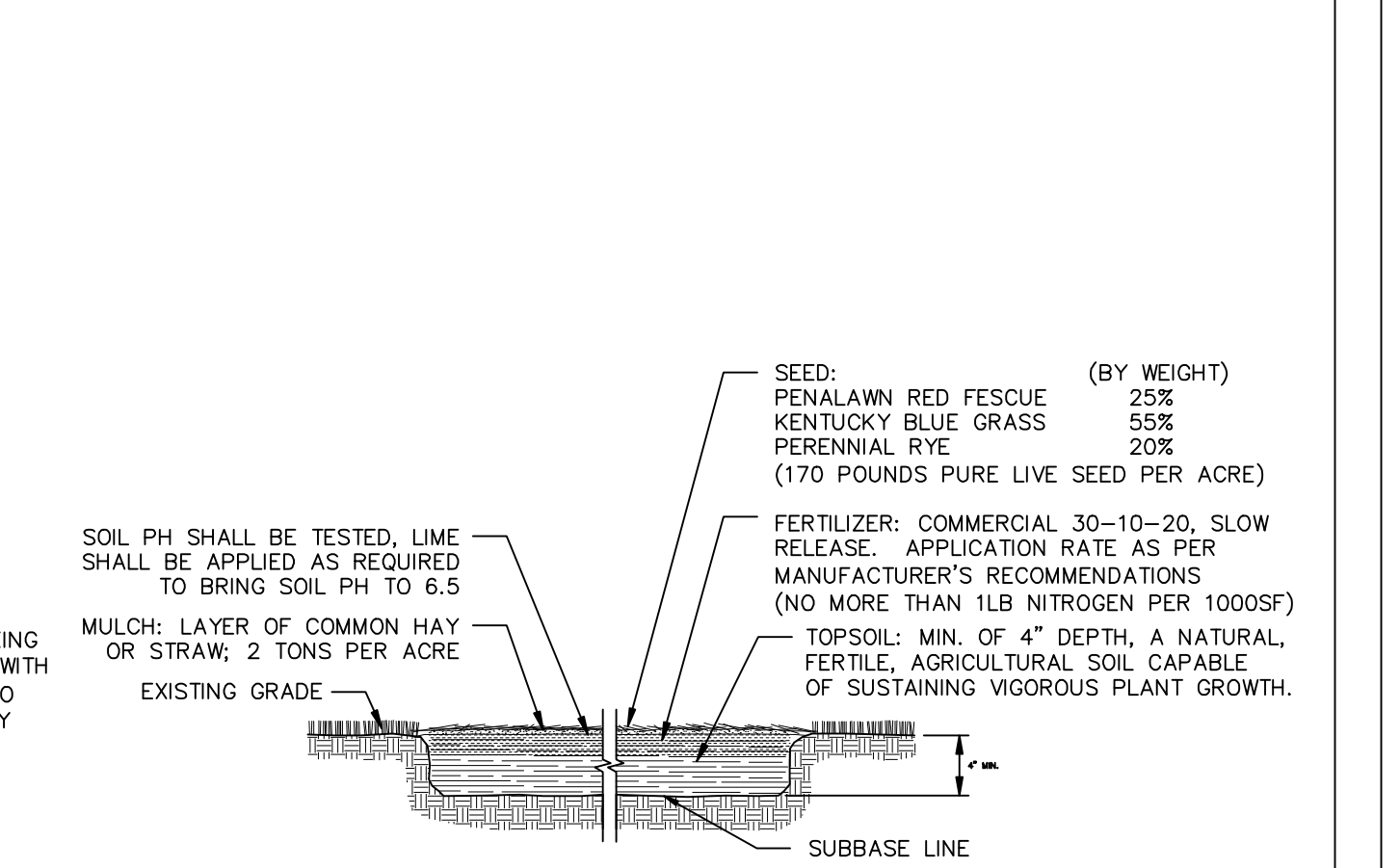
SANITARY SEWER SERVICE TRENCH DETAIL
NOT TO SCALE



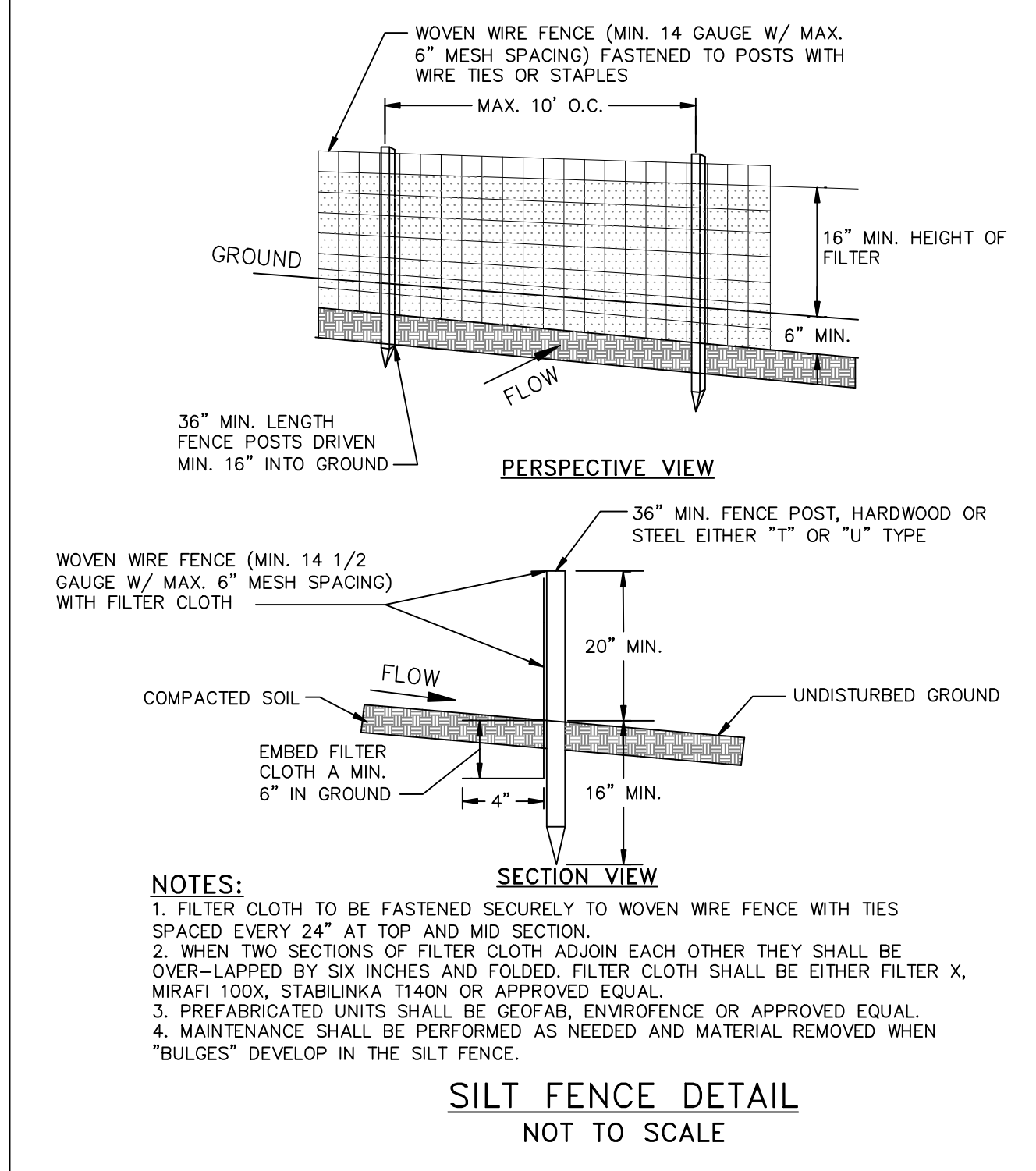
ROOF LEADER AND FOOTING DRAIN TRENCH DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



TOPSOIL SEED, FERTILIZER AND MULCH DETAIL
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

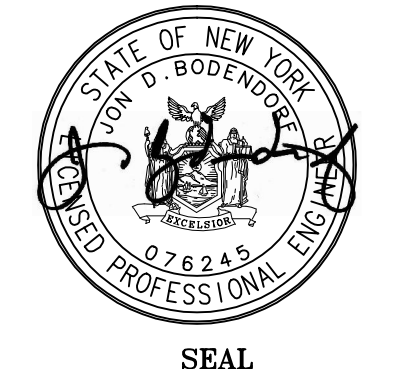
SIGNED THIS _____ DAY OF _____, 20____, BY _____
CHAIRMAN
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

CONSTRUCTION DETAILS
MILANO SUBDIVISION

135-137 SPRING VALLEY STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 8054-37-070632
SCALE: AS NOTED
MARCH 29, 2016

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



DRAWN BY: MAB CHECKED BY: JDB JOB NO.: 2016:003			
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	4/26/16	PER CONSULTANT'S COMMENTS	MAB

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal

John D. Russo, P.E., Principal
John Queenan, P.E., Principal
Rodney C. Knowlton, L.S., Principal

John Lane, P.E., L.S.
Arthur R. Tully, P.E.

May 3, 2016

Mr. Jay Sheers
Beacon Planning Board Chair
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: Milano Subdivision
City of Beacon
Tax Map No. 6054-37-070632

Dear Mr. Sheers:

We have reviewed the plans entitled "Milano Subdivision", as prepared by Hudson Land Design, and consisting of the following sheets:

- Sheet 1 of 2 – entitled "Subdivision Plat", with the latest revision date of April 26, 2016.
- Sheet 2 of 2 – entitled "Construction Details", with the latest revision date of April 26, 2016.

As previously noted, the applicant is looking to subdivide a 28,000 square foot (0.65 acre) parcel into two parcels, with the first parcel being 17,753 square feet in size, and the second parcel being 17,747 square feet in size. Based upon our review of the submitted plans, we offer the following comments:

1. The description(s) for the proposed sewer easements to be dedicated to the City of Beacon are to be submitted to the City Attorney and our office for review.

All other previous engineering comments have been addressed, and this completes our review at this time. Further comments may be forthcoming based upon future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,
LANC & TULLY, P.C.


John Russo, P.E.

Cc: David Stolman, AICP, PP
Nick Ward-Willis, Esq.
Tim Dexter, Building Inspector



FREDERICK P. CLARK ASSOCIATES, INC.
PLANNING, TRANSPORTATION, ENVIRONMENT AND DEVELOPMENT
RYE, NEW YORK FAIRFIELD, CONNECTICUT

DAVID H. STOLMAN
AICP, PP
PRESIDENT

MICHAEL A. GALANTE
EXECUTIVE
VICE PRESIDENT

350 THEO. FREMD AVE.
RYE, NEW YORK 10580
914 967-6540
FAX: 914 967-6615

CONNECTICUT
203 255-3100

HUDSON VALLEY
845 297-6056

LONG ISLAND
516 364-4544

www.fpclark.com

email@fpclark.com

MEMORANDUM

To: Jay Sheers, Chairman, and the City of Beacon Planning Board

Date: May 6, 2016

Subject: **Milano Subdivision – 135-137 Spring Valley Street**

As requested, we have reviewed the following plans generally entitled, “Milano Subdivision,” prepared by Hudson Land Design, last revised April 26, 2016:

1. Sheet 1 of 2, “Subdivision Plat;”
2. Sheet 2 of 2, “Construction Details.”

We have also received and reviewed the application forms and the Environmental Assessment Form (EAF).

Proposal

The Applicant is proposing to subdivide a 0.65 acre parcel into two separate parcels. Proposed Lot 1 would be 0.40 acres and proposed Lot 2 would be 0.25 acres. The property is located on Spring Valley Street within the R1-7.5 One Family Residence District.

Analysis and Recommendations

Based on our review of the stopping sight distance (SSD) values provided on the subdivision plat, it appears that adequate sight lines will be provided along Spring Valley Street to the proposed locations of the driveways. A sight distance detail has been provided on the plat. However, the plat should be revised to graphically depict the SSD measurements along the roadway on the plan view.

City of Beacon Planning Board
5/10/2016

Title:

Zoning Board of Appeals Review

Subject:

May Agenda Review

Background:

ATTACHMENTS:

Description
May Agenda

Type
Cover Memo/Letter

BEACON PLANNING BOARD
ONE MUNICIPAL PLAZA - SUITE 1
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026

The Planning Board will meet on **Tuesday, May 10, 2016** in the Municipal Center Courtroom. A training workshop will take place at 7:00 PM and the regular meeting will begin at 7:30 p.m.

Regular Meeting

1. Continue public hearing on application for Site Plan Approval (amendment), new maintenance building for Dia:Beacon, 3 Beekman Street, submitted by Dia Center for the Arts
2. Continue public hearing on application for Special Use Permit and Site Plan Approval, new residential building, 50 units, Beekman Street – (Parcel W) “The View”, submitted by DMS Consolidators, Ltd. *(no new plans submitted)*
3. Public hearing for SEQR review of application for Subdivision Approval, and public hearing for Subdivision Approval, 2-lot residential, 135-137 Spring Valley Street, submitted by John Milano

Miscellaneous Business

1. Zoning Board of Appeals Agenda Review

Architectural Review

1. New Single Family House: South Avenue – Rosenethe Estates (Parcel #2)
2. New Single Family House: Annan Street – Joseph Subdivision (Lot #1)

City of Beacon Planning Board
5/10/2016

Title:

New Single Family House

Subject:

New Single Family House - South Avenue - Rosenthe Estates (Parcel #2)

Background:

ATTACHMENTS:

Description	Type
Application	Application
Elavations	Plans

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: April 26, 2016

Project Address: South Avenue Rosnethe Parcel 2

Project Architect/Engineer: Aryeh Siegel Architect

Owner/Builder: Priscille & Chris Voekler

Approval Requested: [] Certificate of Appropriateness [x] New Single Family House

Color/Materials:

Siding: Standing seam or cedar siding, grey

Roofing: Standing seam or cedar siding, grey

Windows: Color: DARK GRAY Type: CASEMENT

Trim: DARK GRAY

Garage Door: WOOD - DARK GRAY - FLAT PANEL

Stone/Brick: N/A

[Handwritten Signature]

Signature of Owner

FOR OFFICE USE ONLY:

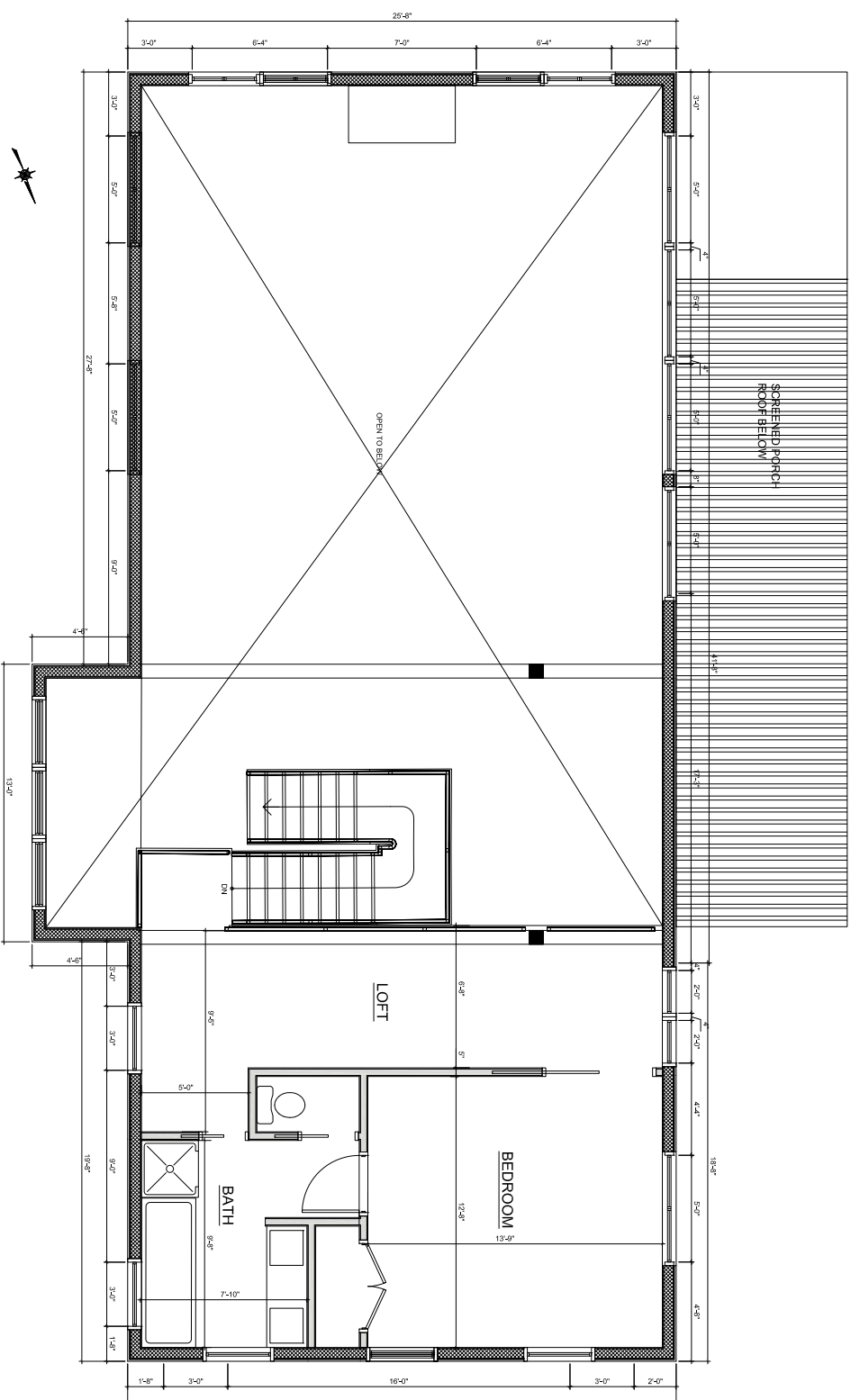
The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied _____ (Date)

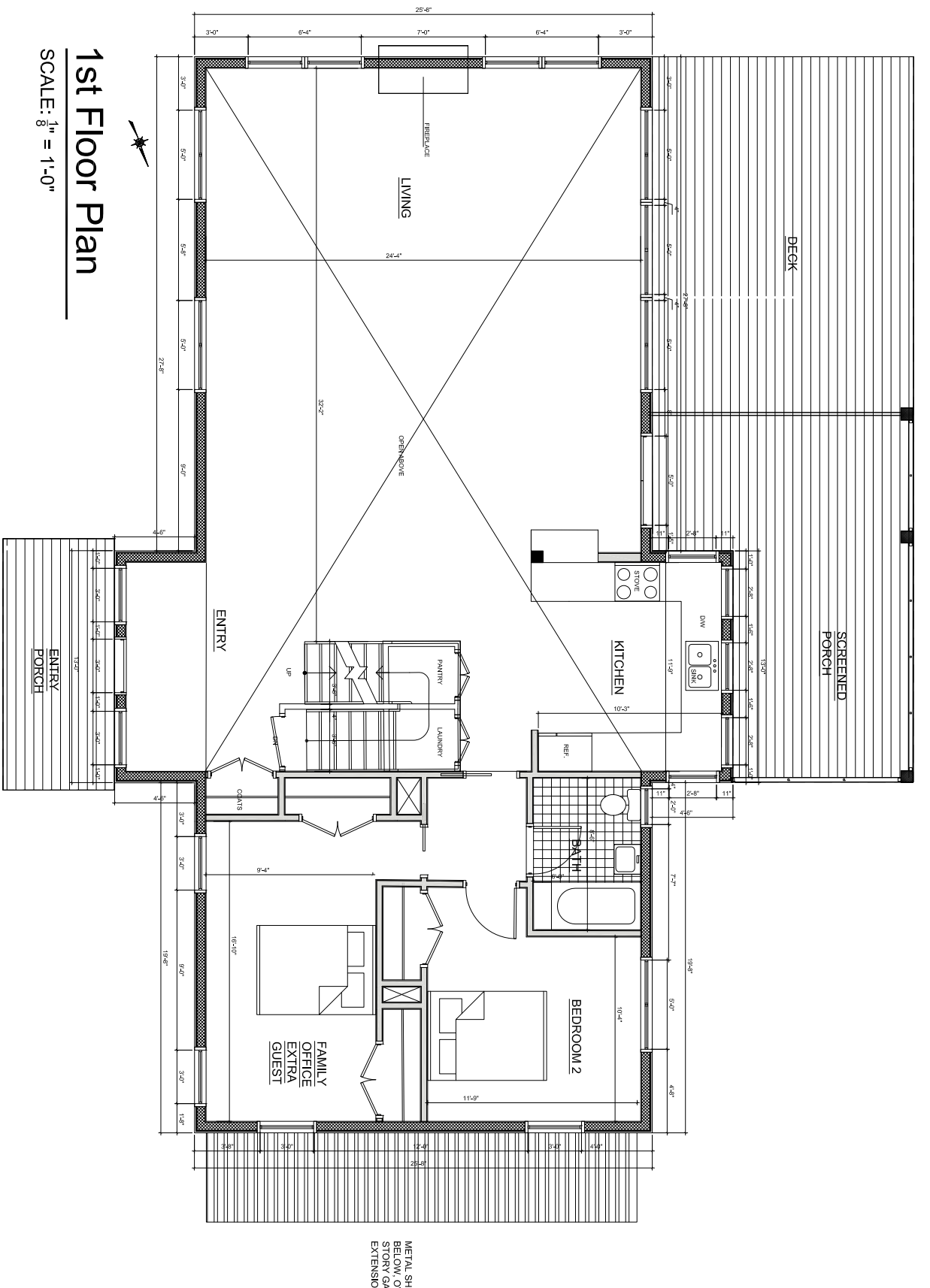
Plan Approved _____ (Date)

Subject to the following: _____

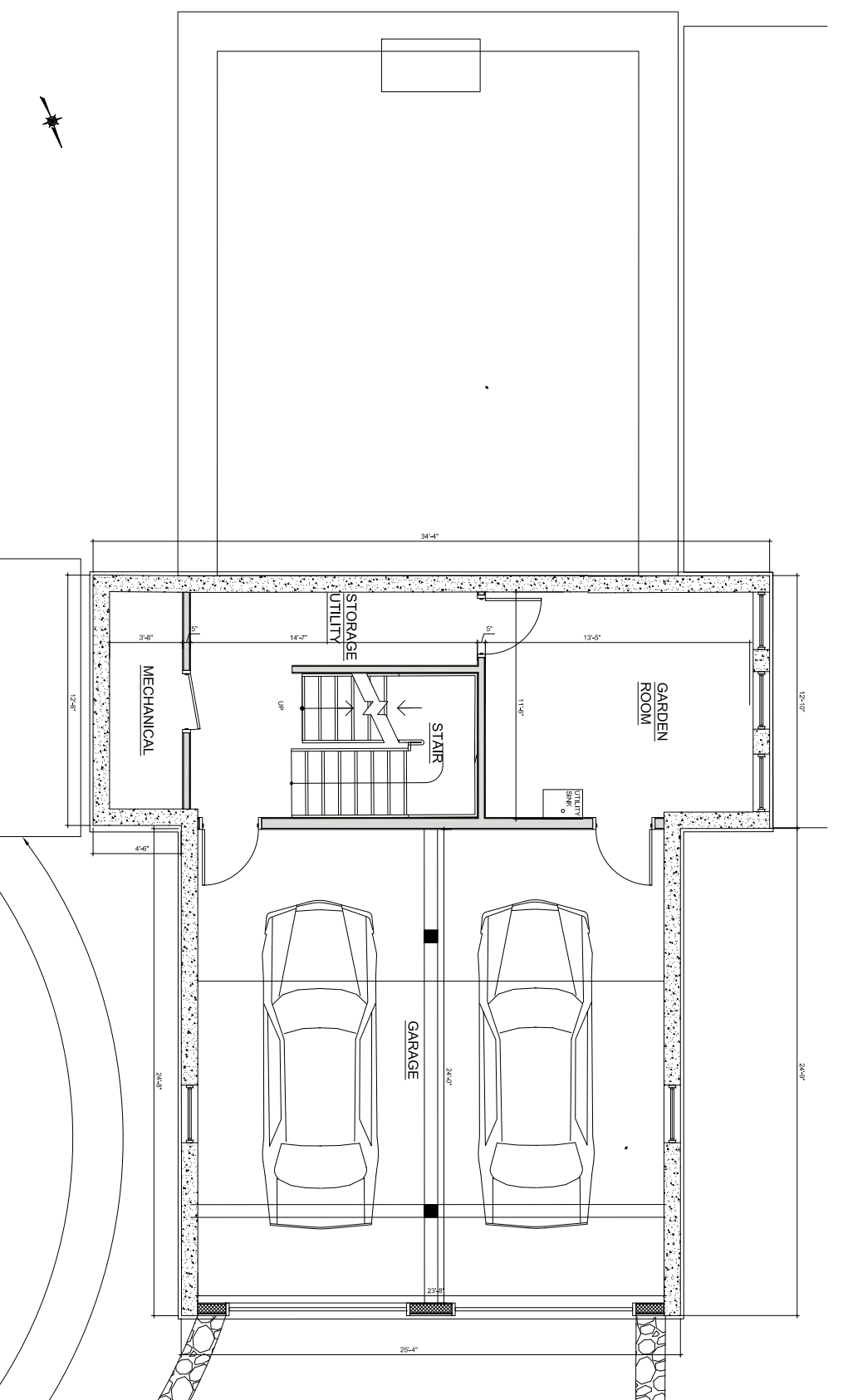
FEE: \$100.00



2nd Floor Plan
SCALE: 1/8" = 1'-0"



1st Floor Plan
SCALE: 1/8" = 1'-0"



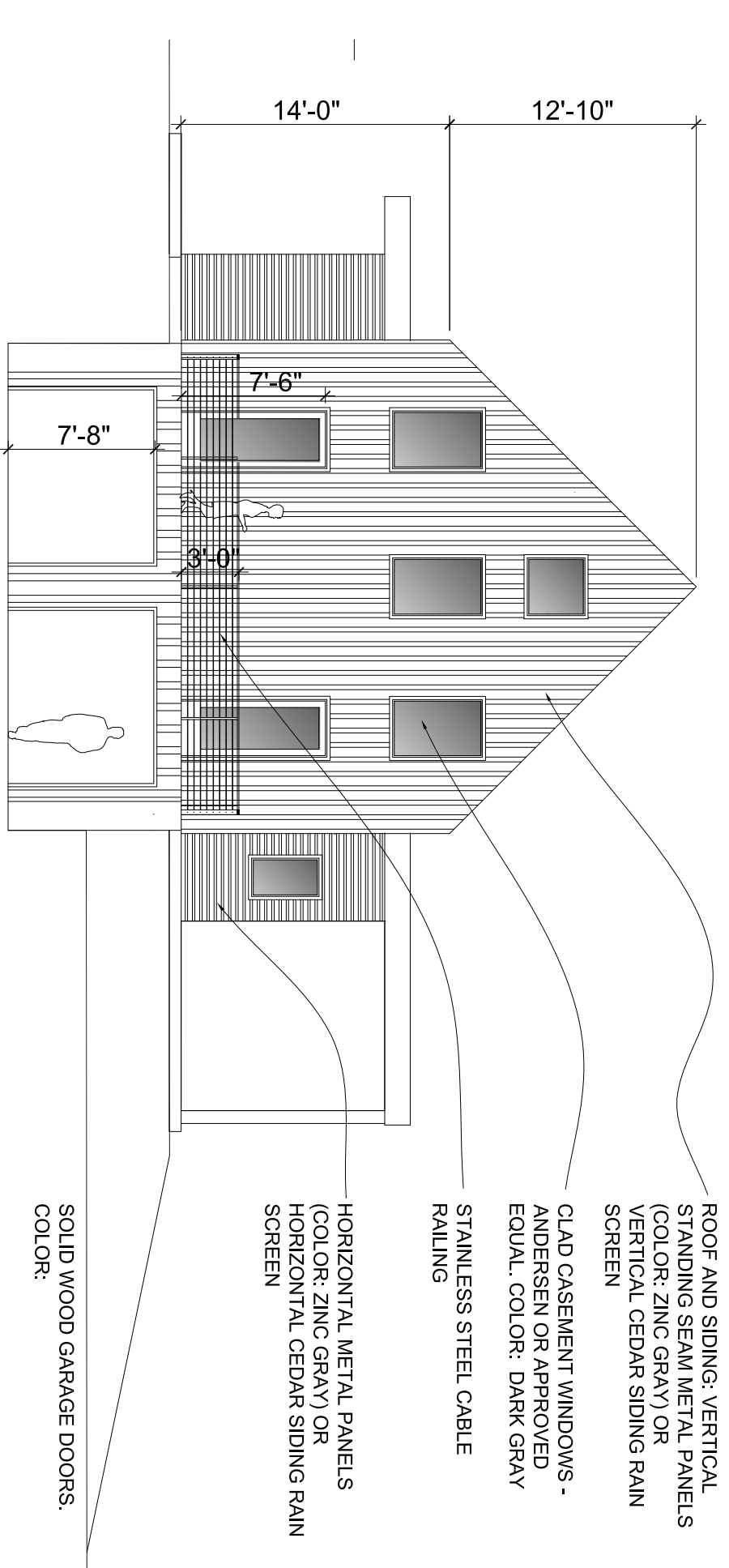
Basement Plan
SCALE: 1/8" = 1'-0"



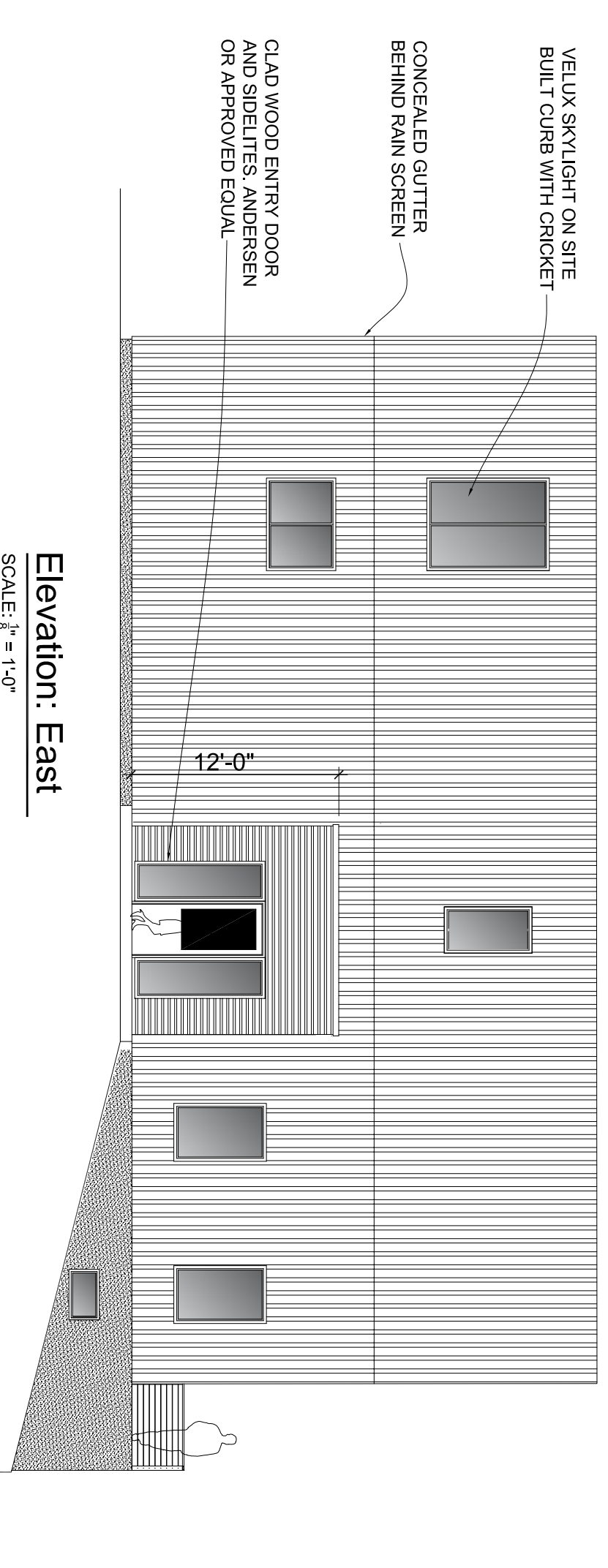
Location Map
SCALE: NTS



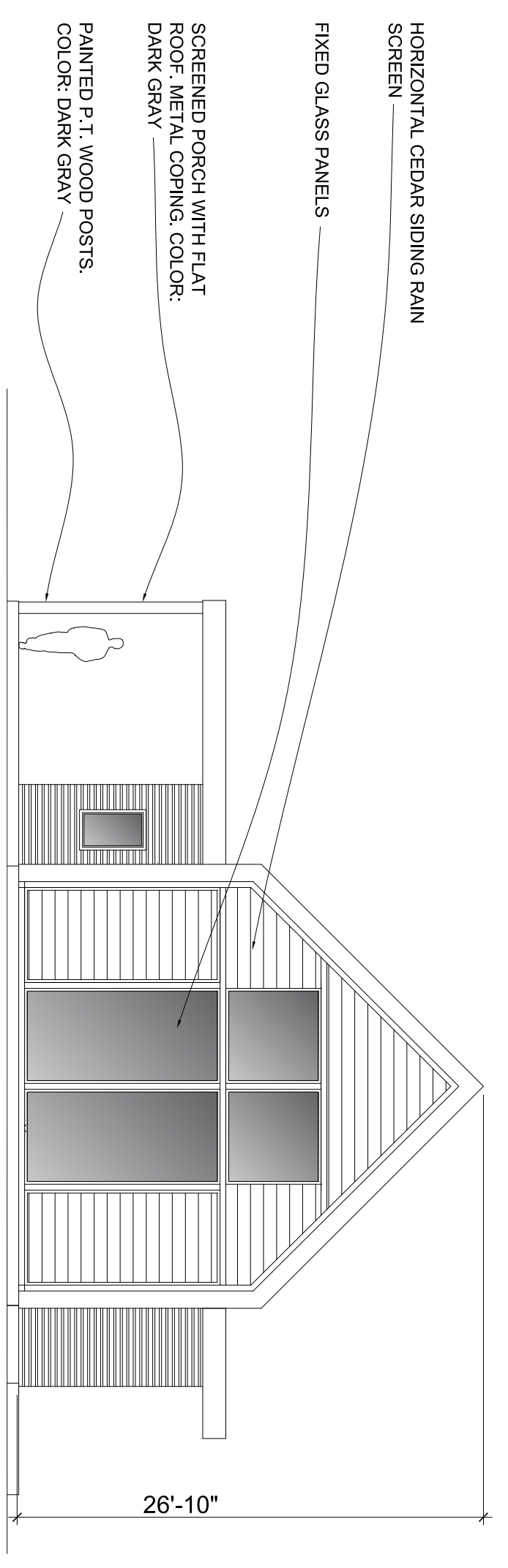
Site Plan
SCALE: 1/4" = 8'-0"
NOTE: SITE PLAN COMPLIES WITH SETBACK REQUIREMENTS ON APPROVED SUBDIVISION PLAN. HOUSE COMPLIES WITH REQUIREMENTS OF DEVELOPER'S CONTRACT OF SALE WITH THE CITY OF BEACON



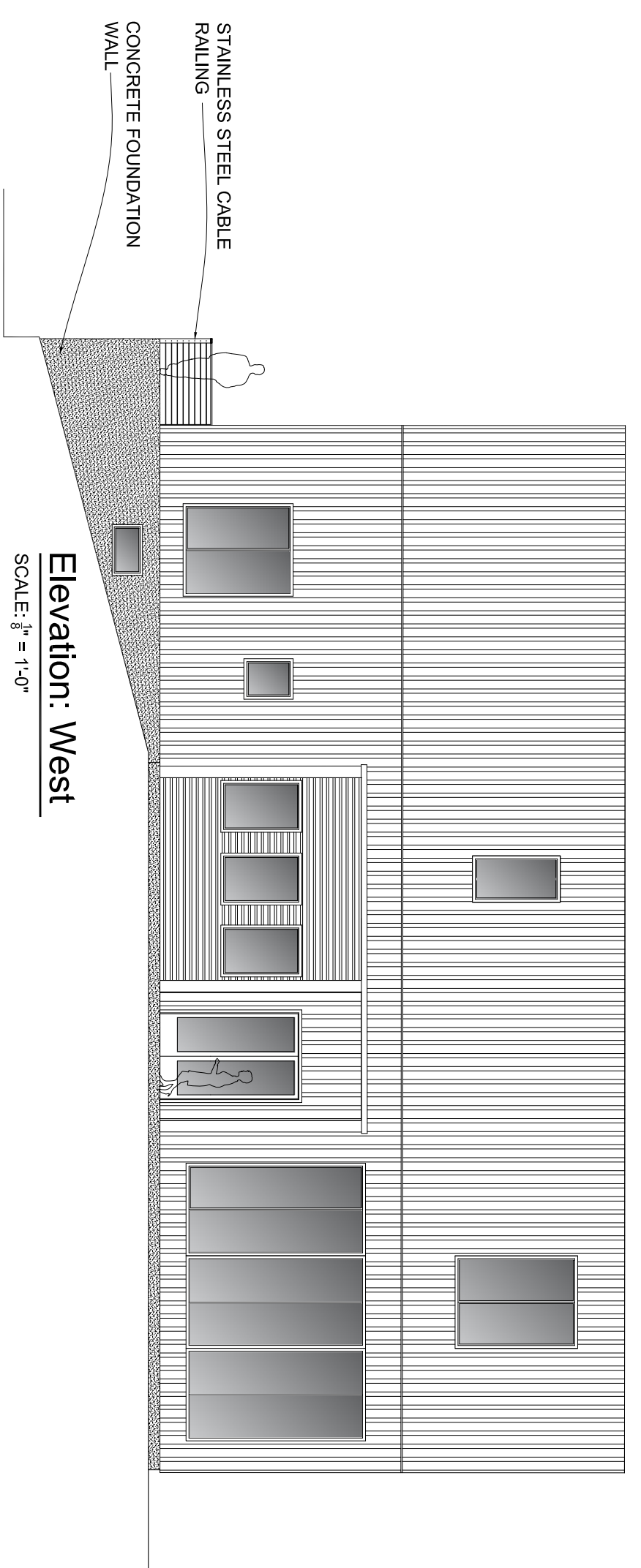
Elevation: North
SCALE: 1/8" = 1'-0"



Elevation: East
SCALE: 1/8" = 1'-0"



Elevation: South
SCALE: 1/8" = 1'-0"



Elevation: West
SCALE: 1/8" = 1'-0"

Certificate of Appropriateness Application

Owner:
Priscille & Chris Voekler
154 Attorney Street
New York, NY 10002

Architect:
Aryeh Siegel Architect
514 Main Street
Beacon, New York 12508

Voekler Residence
South Avenue, Rosereth Estate, Beacon, New York
Scale: As Noted
April 26, 2016

City of Beacon Planning Board
5/10/2016

Title:

New Single Family House

Subject:

New Single Family House - Annan Street - Joseph Subdivision (Lot #1)

Background:

ATTACHMENTS:

Description	Type
Application	Application
Elavations	Plans
Location Map	Map

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: April 26, 2016

Project Address: Annan Street (Joseph Subdivision - Lot #1) 6054-48-423562

Project Architect/Engineer: M. Gillespie & Associates

Owner/Builder: Lori Joseph Builders

Contact Phone No.:

Approval Requested: Certificate of Appropriateness X New Single Family House

Color/Materials:

Siding: Pebble Stone Clay

Roofing: Charcoal Shutters: Black, 2 panel

Windows: Color: White Type: Double hung - vinyl

Trim: White

Garage Door: White

Stone/Brick: n/a

[Handwritten Signature]
Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied (Date)

Plan Approved (Date)

Subject to the following:

FEE: \$100.00



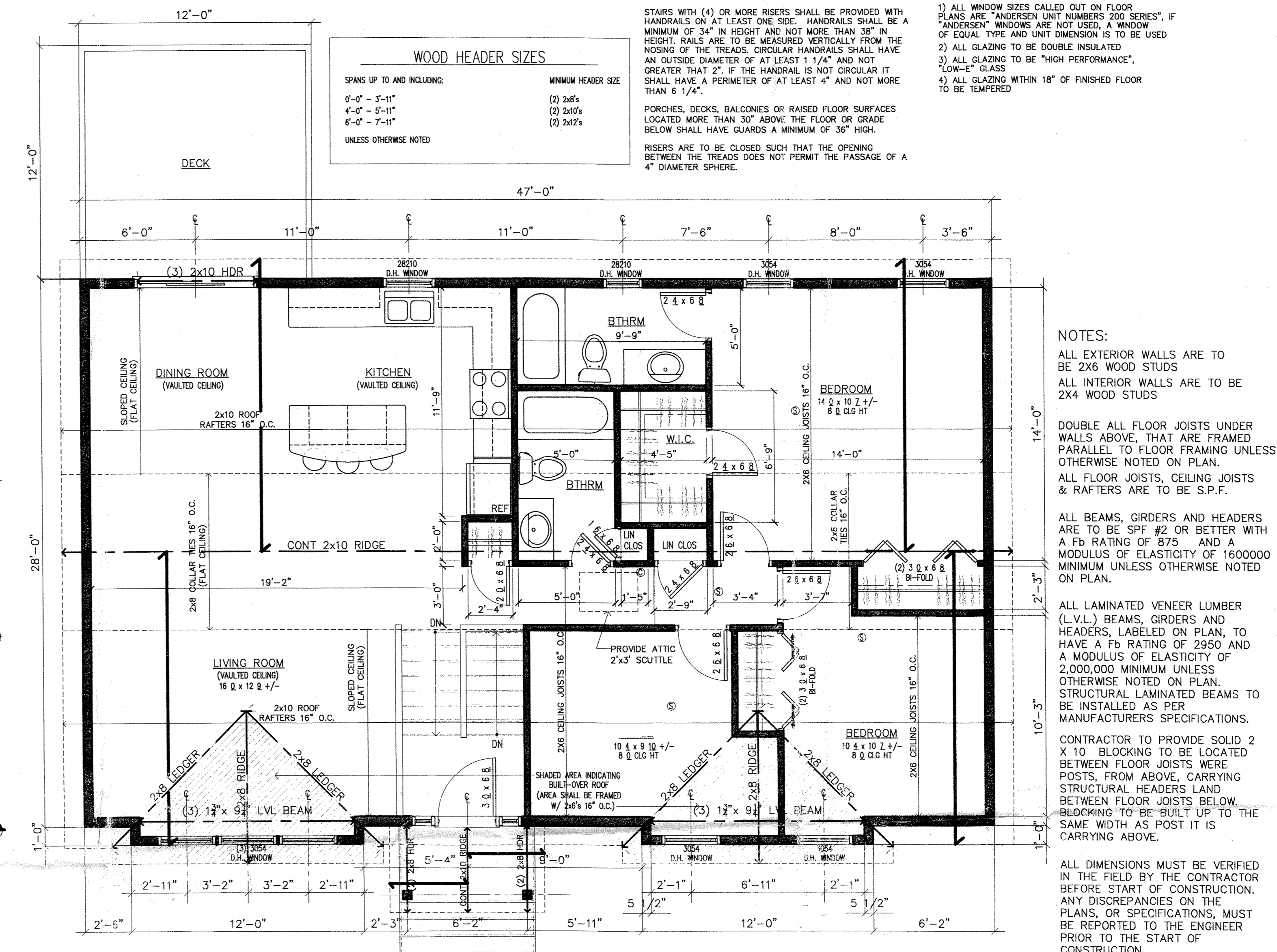
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION (LEFT SIDE OPPOSITE HAND)

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN W/ ROOF FRAMING

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

NEW RESIDENCE FOR:
Lori Joseph Builders
Union St lot #1 Beacon, New York

M. GILLESPIE & ASSOCIATES
CONSULTING ENGINEERING, P.L.L.C.
847 ROUTE 376 WAPPINGERS FALLS, NY 12986
P. (845) 227-6227 F. (845) 226-1430
WWW.MGILLESPIEASSOCIATES.COM

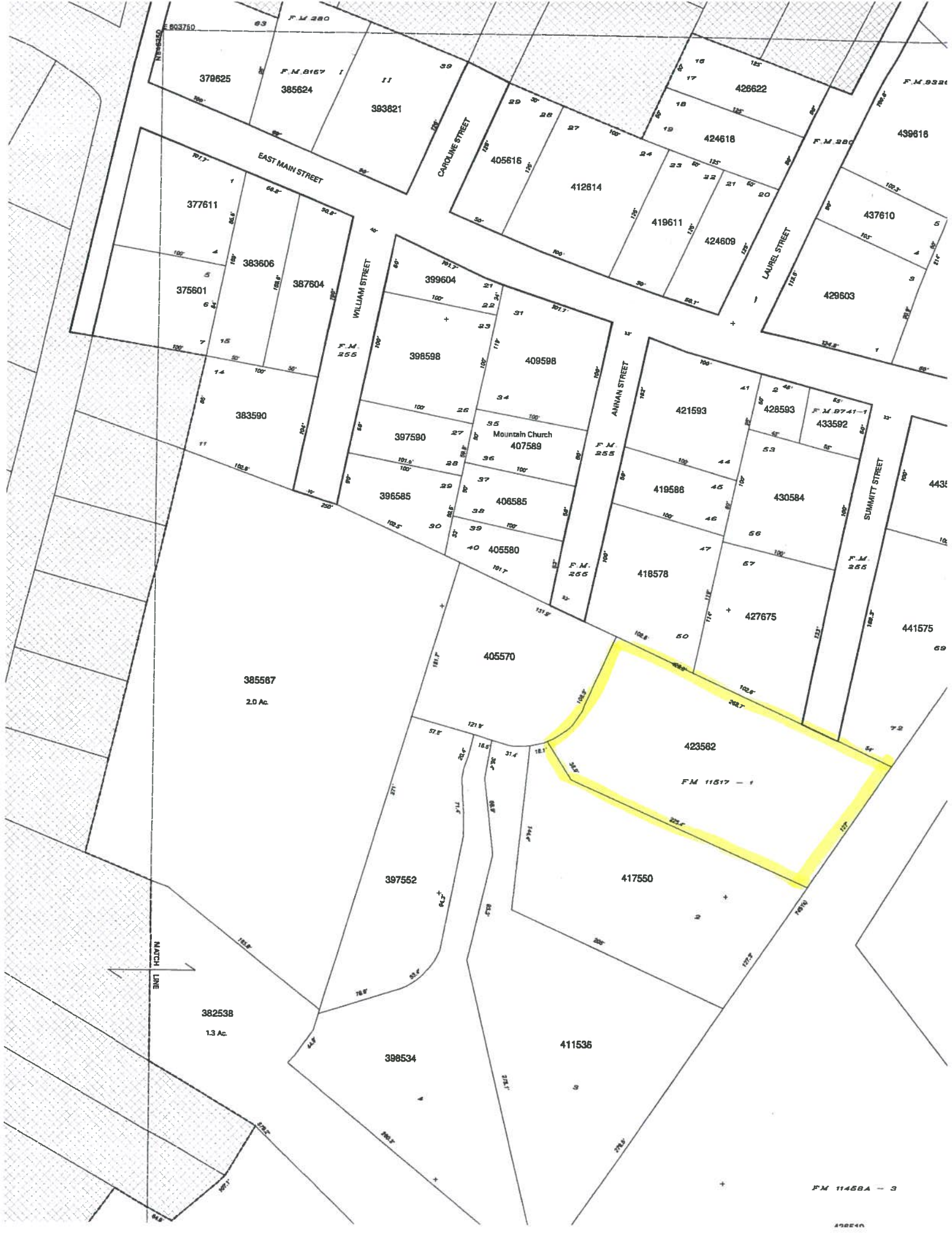
PROJECT No.	2014:022
DRAWN BY:	J.V.S.
CHECKED BY:	M.E.G.
REVISIONS	
FEBRUARY 3, 2014	
FEBRUARY 18, 2014	

[Signature]

NYSPE #074666

SHEET No.

A



E 903760

F.M. 280

F.M. 9167 - 1

F.M. 9921

379625

385624

393821

426622

439616

EAST MAIN STREET

CAROLINE STREET

F.M. 280

377611

383606

387604

399604

412814

424618

437610

375601

398598

409598

419611

424609

429603

WILLIAM STREET

F.M. 255

383590

397590

407589

421593

428593

F.M. 9741-1

433592

385567

385567

2.0 Ac.

Mountain Church

407589

408585

405580

419586

430584

4431

396585

405580

405580

418578

427675

441575

405570

423582

F.M. 11517 - 1

417550

397552

MATCH LINE

382538

1.3 Ac.

398534

411536

F.M. 11458A - 3

49640